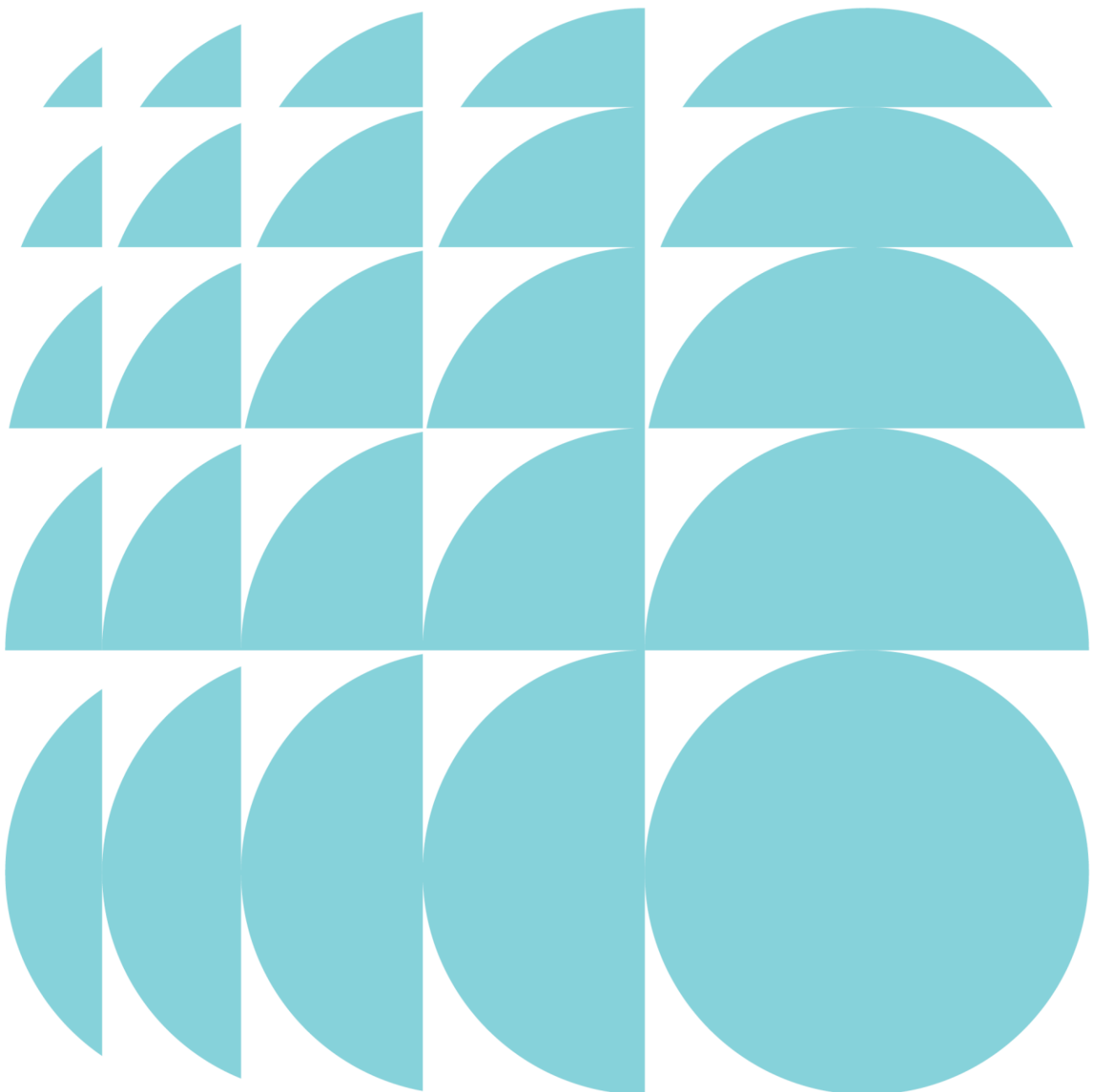




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Appendices

- A Distribution area for notification letter
- B Notification letter
- C Information display boards

1.0 Executive Summary

This Consultation Outcomes Report has been prepared by Ethos Urban on behalf of IP Generation to outline the key issues raised by the local community and key stakeholders during the preparation of the State Significant Development Application (SSDA) for the redevelopment of Block 4B Central Park (the site).

Participants in the consultation process included the NSW Department of Planning and Environment, City of Sydney Council, and government agencies including the Heritage Council, NSW Government Architect's Office, Roads and Maritime Services (RMS) and Transport for NSW (TfNSW). The consultation process also involved local interest groups and property owners in the vicinity of the site. The feedback received has been considered during the preparation of the SSDA, which will be lodged with the NSW Department of Planning and Environment.

The purpose of the consultation process was to ensure that all stakeholders were informed about the proposed development and had an opportunity to provide feedback prior to lodgement of the SSDA.

Activities included:

- Notification letter box drop to surrounding residents;
- Letters to stakeholders and agencies;
- One community information session held off-site; and
- Meetings with key stakeholders and agencies.



Figure 1 Information display boards presented at the Community Information Session held 28 August 2018

Source: Ethos Urban

Consultation outcomes overview:

An overview of the consultation outcomes is detailed below. Overall, the majority of stakeholders and community members gave positive feedback about the SSDA.

- Those engaged in the consultation process indicated they were supportive of the adaptive reuse of the building and the potential to reinvigorate a historically important but unusable site.
- A few local residents expressed concern pertaining to the proposal's potential to generate additional traffic generation during the construction and operational phase, and increase the demand for on-street parking.
- Generally, stakeholders provided positive feedback on the design, particularly the integration of contemporary built forms alongside the retention of the Brewery Building.
- Generally, stakeholders provided support for the proposed land-use mix, however some residents considered that given the site's historic importance and central location, a community space capable of accommodating more interactive uses should be accommodated.
- Some stakeholders expressed concern regarding whether there is an adequate demand for additional retail given the large number of existing retail tenancies already accommodated within Central Park.
- Stakeholders provided support for the proposal not including underground parking.
- General support was given for reinvigorating the Brewery forecourt and allowing it to function as a publicly accessible space.

Further consultation will occur during the formal public exhibition of the SSDA.

2.0 Site Analysis

2.1 Project Context

This State Significant Development Application (SSDA) seeks approved for the adaptive re-use of the Brewery Yard building and forecourt contained within Block 4B of Central Park. Specifically, the proposal involves the adaptive reuse of the existing Brewery Yard building to accommodate a commercial premise providing a total GFA of 6,396m². The alterations and additions to the building to facilitate its use include the:

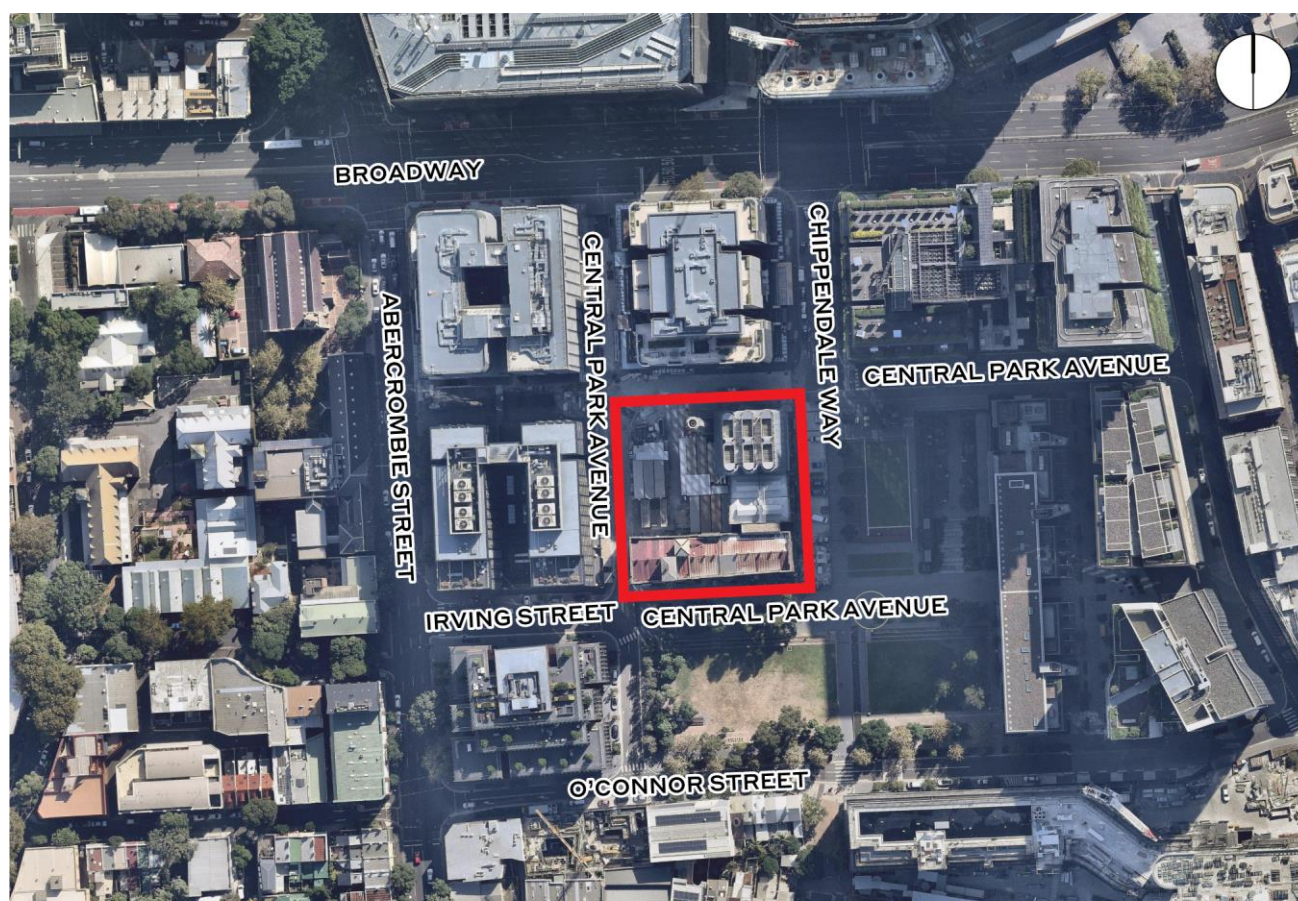
- demolition of some internal walls and structures;
- removal of brewery machinery and structures including:
 - 1 of the 3 metal coal hoppers and 6 of the 8 malt silos in their entirety;
 - partial removal of 2 of the remaining malt silos with the works limited to Level 3 and above;
- introduction of a foyer within in the Brewery Yard;
- external additions within the southern portion to accommodate two levels above, including an additional storey above the existing parapet;
- inclusion of heritage interpretation/display areas;
- demolition and reinstatement of the fire stairwell between Building 22 and Building 26;
- introduction of a full-height glazed façade on the northern elevation of Building 30;
- addition of an external fire stair connecting to the northern elevation;
- inclusion of a new roof; and
- external public domain works within the forecourt.

In addition to the above, the proposal seeks approval for the construction of an urban plaza in the Brewery Yard forecourt.

Central Park (formerly Frasers Broadway / CUB Broadway) is located on the southern edge of the Sydney Central Business District (CBD). The site is in proximity to Central Station, Broadway Shopping Centre, the University of Technology, Sydney and the University of Notre Dame. The site is generally square in configuration and has four frontages, including Irving Street to the east and Central Park Avenue to the north, west, and south.

The Brewery Yard is located in the western half of the site and comprises a group of heritage-listed former brewery buildings which have been retained on the site. The layout and configuration of the existing Brewery buildings and yard are shown below in **Figures 2 - 3**. The site is referred to as Block 4B (Brewery Yard buildings) and Site 7 (Brewery Yard forecourt) under the Central Park Concept Plan (refer to **Figure 3**). The site is surrounded by the following developments that are under construction or recently completed:

- North: Block 1 (SSD 6554) being an 18 storey residential flat building with ground floor retail.
- North West: Block 4N (SSD 6673) being a 19 storey mixed use building including retail, hotel, child care, commercial office, and residential apartments.
- West: Block 4S (SSD5700) being a part 15, part 16 storey student accommodation building with ground floor retail.
- South and East: Chippendale Green being a large public open space within the Central Park precinct.



 The Site

Figure 2 Aerial image of the site

Source: Nearmap / Ethos Urban

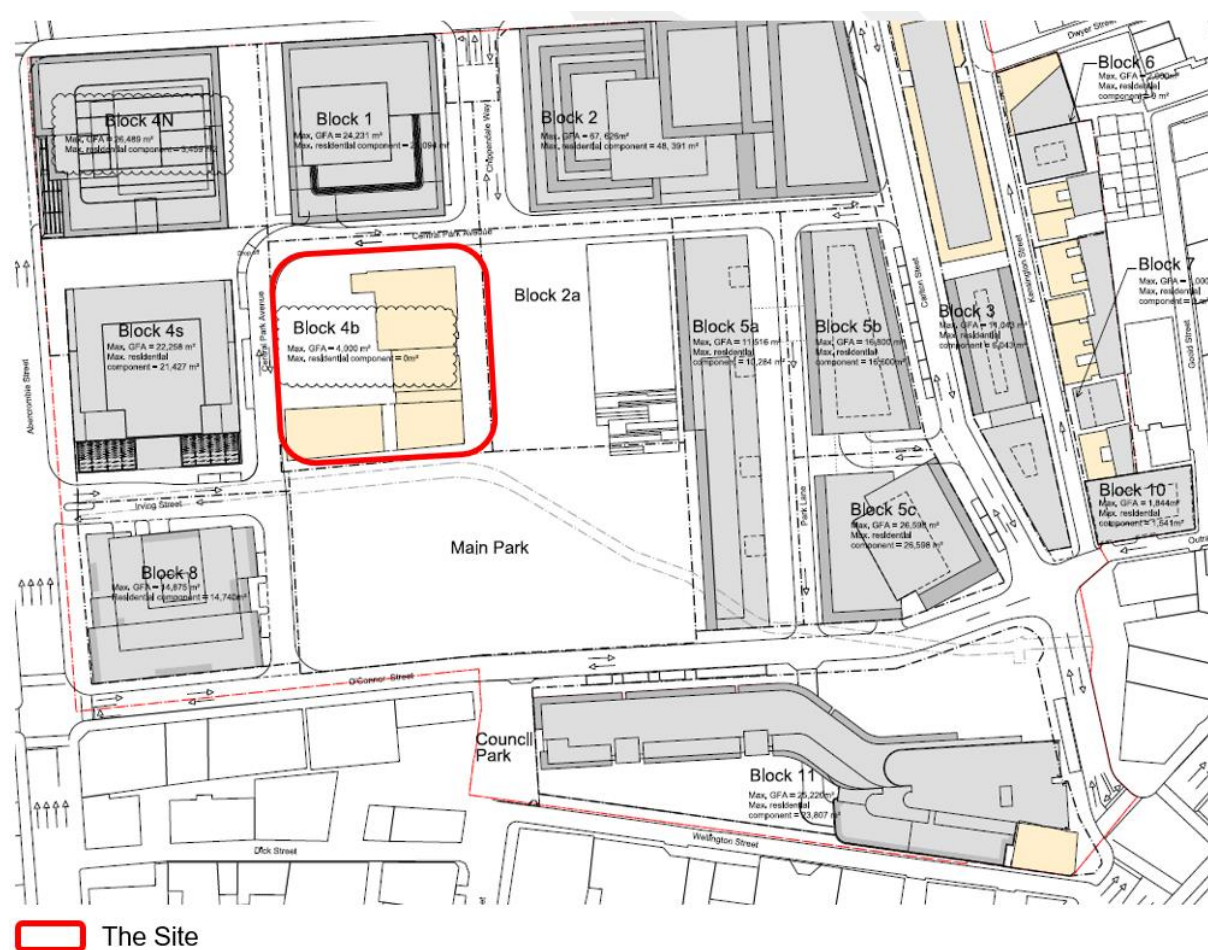


Figure 3 Location of the Brewery Yard (Block 4B) within the Central Park site

Source: Foster + Partners

1.1 Central Park Concept Plan

MP 06_0171, as modified, is a Concept Plan approval applying to the Central Park site (formally CUB Broadway) which permits the construction of a mixed use precinct comprising:

- 11 development blocks;
- A maximum Gross Floor Area (GFA) of 255,621m² with minimum non-residential and maximum residential floor space mix.
- A maximum GFA of 3,898m² for Block 4B (Brewery Yard);
- Combined basement car parks, providing car parking for Blocks 1, 4 and 8 and Blocks 2, 5, 9 and the Kensington Precinct;
- A new public park and public domain works;
- Tri-generation and re-cycle water treatment plants;
- Retention of heritage items; and
- Contributions.

Under this Concept Plan the site is identified as Block 7. The heritage significant Brewery buildings are identified for retention and the forecourt designated to function as a publicly accessible square.

1.2 Brewery Yard Project Approval (MP 10_0217)

Subsequently, a Part 3A Project Application (MP 10_0217) was approved on 15 May 2012 for the alterations to and adaptive reuse of the Brewery Yard buildings. The approval included two construction stages, being:

- Stage 1: construction of associated plant related to the approved Central Thermal Plant including cooling towers and metal enclosure to the roof of the Old Boiler House, external chimney flues, reuse of chimney stack and stairs and air ducts in Brewery Yard.
- Stage 2: partial demolition of some existing building fabric and the adaptive reuse of the Brewery Yard buildings providing 2,976.7m² of commercial floor space and 1,281.2m² of retail floor space.

This consent has been acted upon and the first stage has been constructed in accordance with the consent.

As a condition of approval of any SSDA to which this SEARs request relates, stage 2 of the above consent would be relinquished.

1.3 SEARs for Brewery Yard Building (SSD8336)

In 2017, Secretary's Environmental Assessment Requirements (SEARs) were issued for SSD8336 for the adaptive reuse of the Brewery Yard buildings for the purpose of hotel. No further development application has been lodged in respect of this application.

As a condition of approval of any SSDA to which this SEARs request relates, the SEARs for SSD8336 would be rescinded.

1.4 Central Park Concept Plan (MOD 13)

A modification (MOD 13) to the Central Park Concept Plan (MP 06_0171) was lodged by Frasers Property in June 2018. The modification was on public exhibition from 22 September 2017 to the 6 October 2017. This modification related to the designation of publicly accessible privately owned open space within the Brewery Yard forecourt. It sought consent for amendments to the public domain plans to allow for vehicle access and servicing arrangements to occur within the forecourt area.

Following the exhibition period, the modification was withdrawn. Consequently, the proposed public domain amendments, including the servicing arrangements, are no longer proposed within the forecourt area.

In light of the site's planning history, many members of the local community are already aware that redevelopment of the site is being sought, having been involved in previous rounds of community consultation.

2.2 Objectives of the Development

The objectives of the proposed development are detailed below.

- To adaptively repurpose the historic industrial building for a mix of contemporary commercial and retail uses.
- To accommodate commercial and retail uses that are suitable for the building's unique 'L' shape configuration and co-location with the Central Thermal Plant (CTP) that is situated beneath the Brewery Yard building.
- To retain the building's significant heritage fabric for the purpose of conserving its significant industrial heritage character.
- Undertake alterations and additions only where upgrades are required and ensure that these new elements are sympathetic to the existing heritage fabric.
- Utilise materials that are high quality, contemporary and yet sympathetic to the building's heritage fabric.
- Provide retail uses and a commercial foyer at ground level to facilitate in activating the forecourt and surrounding public domain.
- Strategically distribute the additional proposed building mass to protect solar access to Chippendale Green.

3.0 Consultation

3.1 Consultation Approach

Ethos Urban's approach was based on extensive experience designing and delivering strategic communication and consultation processes for a variety of similar projects across Sydney.

The consultation program was designed to be practical and effective in capturing valuable feedback, mitigating risk and highlighting key benefits of the project.

The transparent and comprehensive engage process was:

- *Accessible* – with a consultation session held in the Four Points Hotel within the Central Park Precinct directly adjacent to the subject site, which was considered to be a central location for local interested stakeholders;
- *Engaging* – it motivated participation, particularly for time poor people;
- *Respectful, genuine and constructive* – IP Generation is committed to contributing positively to the Chippendale community and working closely with all stakeholders to ensure the best outcome for everyone; and
- *Inclusive* – groups were strategically targeted.

3.2 Consultation Overview

The public consultation process commenced on Wednesday 16 August 2018 with the issue of a formal notification letter to surrounding property owners and key stakeholder groups. This was followed by an information session on Tuesday 28 August 2018 to present and gain feedback on the proposed development. Additional contact with government agencies was also undertaken.



Figure 4 Community members attending the Community Information Session held 28 August 2018

Source: Ethos Urban

3.3 Stakeholder and Community Consultation

Letters and emails were sent to the following stakeholders involving them to provide feedback on the proposed development and / or informing them about the upcoming consultation:

- Residents within the vicinity of the site (see **Appendix A** for map of distribution area);
- Residential property owners within Central Park via each building's Strata Managers for the following buildings:
 - One Central Park – 28 Broadway, Chippendale;
 - 8 Park Lane, Chippendale;
 - The Mark, Carlton Street Chippendale;
 - 5 Park Lane, Chippendale;
 - 1 Park Lane, Chippendale;
 - 3 Park Lane, Chippendale;
 - Connor, 8 Central Park Avenue, Chippendale;
 - Duo, 1 Chippendale Way, Chippendale; and
 - Wonderland, 2881 O'Connor Street, Chippendale.
- Emails and meetings with agencies including:
 - City of Sydney (11 September 2018);
 - Office of Environment and Heritage (11 September 2018);
 - Transport for NSW (11 September 2018); and
 - Roads and Maritime Services (11 September 2018).



Figure 5 Information display boards present at the Community Information Session held 28 August 2018

Source: Ethos Urban

3.4 Distribution to neighbouring landowners and residents

A notification letter was distributed to residents within the suburb of Chippendale in the vicinity of the site, including those within the Central Park precinct. The notification letter detailed the scope of the proposal and invited recipients to attend a 'drop in style' community information session. A copy of the notification letter is included at **Appendix B**.

3.5 Consultation materials

A series of information session display boards were prepared to support the consultation. The display boards were exhibited at the 'drop-in' style information session held on 28 August 2018. The display boards can be found at **Appendix C**.

3.6 Feedback mechanisms

Information session attendees were encouraged to complete a feedback form. Approximately 22 people attended the information session and nine (9) submitted written feedback forms. In addition, project consultants took notes of conversations and with attendees to record the issues raised.

Attendees and those in receipt of the notification letter were also provided with an email address and contact number for a member of the project in the instance they wanted to provide feedback or submit enquiries. A total of four (4) people contacted the project team member. Their concerns pertained to the following:

- potential view loss impacts arising from the additional storey;
- general enquiries regarding the scope of the project;

- the proposed land use mix; and
- on-going opportunities for the public to comment on the final scheme.

4.0 Consultation Outcomes

This section provides a summary of the feedback received at the community information session and from the correspondence between agencies and the project team.

4.1 Community consultation

Issue	No. of Comments	Summary of Issues Raised
Land Use Mix	2	Incorporate space for a community facility capable of accommodating activities associated with the arts or alternatively a small library.
	2	Accommodate space for commercial premise which may incorporate a tech, start up or innovation hub that will complement the nearby educational uses and the innovation precinct being established between UTS and Eveleigh.
	1	Concern that the Concept Plan should have accommodated greater space for public amenities.
	1	Request to accommodate office uses only on the basis that there is an oversupply of retail uses within Central Park.
Design	1	Criticism regarding the aesthetics of the design.
	1	Support for the overall design and the proposed restoration of the building to a useable condition.
	1	Support for the retention of the heritage items and their adaptive reuse.
Public Domain	1	Access to the public domain should be provided from each of the building's aspects in order to facilitate the activation of the public domain.
	1	The forecourt area should remain publicly accessible.
Construction	1	Questions around the impact construction activities will have on the surrounding road network.
Traffic and Parking	1	Queries around the location of the loading bay internal to the site and it's hours of operation.
	1	Questions pertaining to the access point for the service vehicles.
	1	Concern that the narrow street network internal to Central Park will lead to traffic congestion.
	1	Concern that an additional seven stories of commercial floorspace will contribute to a greater demand for parking, particularly within the surrounding road network.

4.2 Agency consultation

In accordance with the SEARs issued for the SSDA, the proponent was required to consult with relevant local, State or Commonwealth Government Authorities, service providers and the local community. In particular, the SEARs nominated that the following agencies be consulted with:

- Government Architect NSW;
- City of Sydney Council;
- Roads and Maritime Services;
- Transport for NSW (including the Sydney Coordination Office); and
- Heritage Council.

As noted above, notification letters and accompanying preliminary architectural plans were distributed to the above agencies via email during September 2018. The notification letters detailed the scope of the proposal and advised that recipients had the option of providing feedback on the proposal and had the option of meeting with the project team to discuss the proposal further. Relevant contact details were provided.

Upon receiving the notification letter, Roads and Maritime Services highlighted their preliminary concern pertaining to traffic generation. In response, the agency was informed that the proposal does not seek to increase the quantity of parking available within Central Park and the extent of the traffic generation impacts will be made available for comment during the formal public exhibition of the SSDA.

Notwithstanding the above, no formal feedback was received from the agencies during the notification period.

4.3 Ongoing design development

Following the information session and the distribution of the agency notification letters, the project team revised the use of the building to accommodate a land use suited to commercial premises.

The decision to amend the use is a consequence of on-going design development and the recognition that the configuration of the building is well suited to accommodate flexible commercial areas. The revised use is also a response to the increased demand for diversified floorspace, particularly in the context of the site and the surrounding innovation precincts which support commercial uses.

The proposed design remains largely consistent with the scheme exhibited in the consultation materials. In particular, there is no change to key built form elements including the aesthetic appearance of the development; the new built form additions; the absence of additional parking; and the proposed approach to the treatment of the building's heritage fabric.

It is noted however that following the withdrawal of MOD 13, the proposed vehicle access/servicing arrangements are no longer proposed in the forecourt area. Accordingly, the concerns raised by stakeholders pertaining to the access arrangements for service vehicles being internal to the site have now been addressed.

5.0 Next Steps

The Consultation Outcomes Report provides a succinct overview of the communication and stakeholder engagement approach that was undertaken prior to lodgement of the SSDA for the proposed redevelopment.

In accordance with the SEAR's requirements for communication and stakeholder engagement, Ethos Urban implemented a strategy that informed local residents, landowners, businesses, key agencies and internal stakeholders about the Development Application.

Ethos Urban is committed to contributing positively to the Chippendale community and will continue to engage with stakeholders and community members as the proposal develops to ensure the best outcomes for all involved.



Figure 6 Community members attending the Community Information Session held 28 August 2018

Source: Ethos Urban