

General Notes:
 1. This drawing is the copyright of Group GSA Pty Ltd and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without the written permission of Group GSA.
 2. Drawings to be printed in colour.
 3. Do not scale drawings. Dimensions govern.
 4. All dimensions are in millimetres unless noted otherwise.
 5. All dimensions shall be verified on site before proceeding.
 6. Any areas indicated on this sheet are approximate and indicative only.

Drawing Notes:
 1. Refer to COM-AR-9010 for legend of all symbols and codes.
 2. Refer to COM-AR-9011/9012 for all drawing notes.
 3. Refer to COM-AR-9700 for Technical Schedule.

Amendments Issue	Description	Date
1	ISSUED FOR APPROVAL	28.11.2019
2	REVISED SITE PLAN	08.09.2020
3	School name amended and landscape changes reflected	20.08.2020
4	UPDATED LANDSCAPE PLAN ADOPTED	08.09.2020

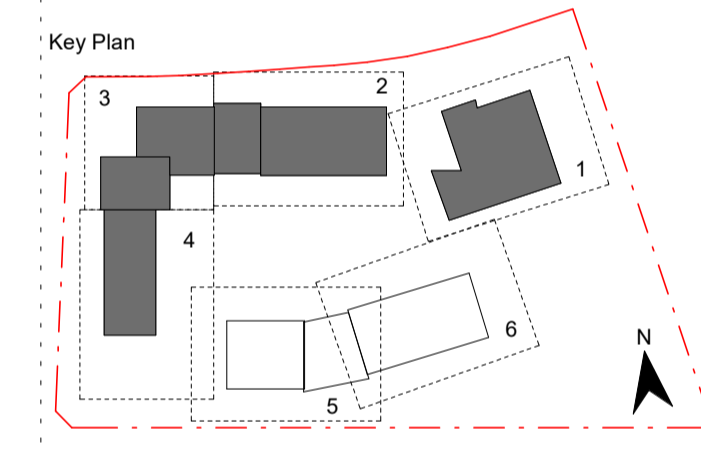
- NOTES - SITE PLANS**
- Refer Landscape Architect's documentation for planting, fencing, and outdoor furniture equipment details.
 - Refer Civil Engineer's documentation for details of site and ground works, including pavements and retaining walls.
 - Refer Bushfire Report for requirements and details for Defendable Space.

LEGEND

- Site boundary
- Proposed boundary
- Extent of easement
- Existing neighbouring buildings
- Pedestrian entry
- Vehicular entry

ZONES

- ADMIN / LIBRARY
- HALL / OSHC / CANTEEN
- HOME BASES



Contractor
RICHARD CROOKES CONSTRUCTIONS

Client
NSW Education

GROUP GSA
 Group GSA Pty Ltd ABN 76 002 113 779
 Level 7, 80 William St East Sydney NSW Australia 2011
 www.groupgsa.com
 T +612 9361 4144 F +612 9332 3458
 architecture interior design urban design landscape
 nom architect M. Sheldon 5990

Project Title
GALUNGARA PUBLIC SCHOOL

Drawing Title
PROPOSED SITE AND ROOF PLAN - STAGE 1

Scale @ A1 1:500
 Drawing Created (date) 28/11/19
 Drawing Created (by) DN
 Plotted and checked by DN
 Verified JS
 Approved JS
 Project No 180645 Drawing No AA-AR-1101 Issue 4

Not available for D1T1 2021



1 SITE AND ROOF PLAN - STAGE 1
1:500

- NOTE: EASEMENTS**
- EASEMENT (A) SHALL BE EXTINGUISHED FOLLOWING THE CREATION OF EASEMENT (B)
 - EASEMENT (B) IS TO BE CREATED FOLLOWING THE COMPLETION OF PELICAN ROAD
 - BENEFIT OF EASEMENT (B) SHALL BE ASSIGNED TO BLACKTOWN COUNCIL FOR THE PURPOSE OF PROVIDING PUBLIC ACCESS FROM CATALINA TO PELICAN ROAD

