

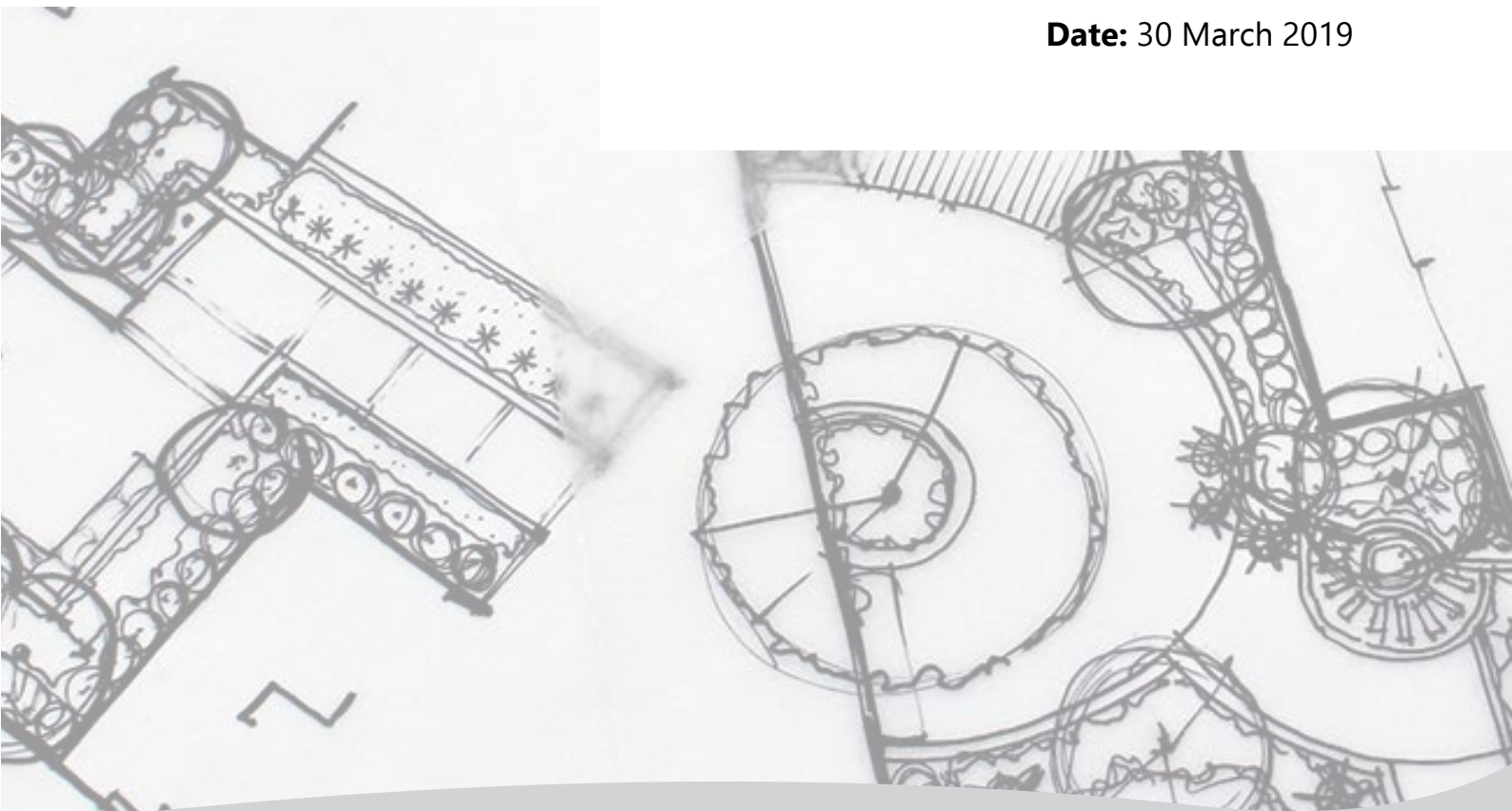
Consultation Outcome Report

Project: SSD 9143 Goulburn Mixed Use
Development

Address: 52 Sinclair Street, Goulburn

Submitted to: Department of Planning and
Environment

Date: 30 March 2019



Project Name	STAKEHOLDER CONSULTATION
Location:	Goulburn NSW
Project Number	1866
Client	Woodlands Ridge Poultry
Mara Consulting Document Number	20190327_1866_Stakeholder Consultation Report

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Revision History

REVISION	DATE OF ISSUE	DETAILS
01	Draft	For review
02	FINAL	Final issue
03	13 JUNE 2019	AMENDMENT TO CHILDCARE

Register of Changes

PAGE / REFERENCE	DETAILS
Page 6	Number of child care places reduced from 80 to 68

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Executive summary

This consultation outcomes report has been prepared by Mara Consulting (Mara) on behalf of Woodlands Ridge Poultry Pty Lt (WRP) to outline the key issues raised by the local community and key stakeholders during the approval process for the proposed facility.

A number of activities were completed to provide stakeholders the opportunity to provide feedback during the consultation process. Consultation activities included:

- Project email address
- Letterbox drop
- Meetings with Goulburn Mulwaree Council
- Meetings with NSW Government agencies
- Community information sessions (two sessions, one afternoon/evening and one morning session)
- Advertising in the Goulburn Post.

An email address was created for written feedback, which was advertised through a letterbox drop to approximately 100 nearby residents and businesses, in the Goulburn Post and at the information sessions held at the Goulburn Soldiers Club on 4 March and 5 March 2019. No submission were received during the period between 25 February and 30 March 2019. A total of 8 people attended the two drop-in sessions including directly impacted neighbours.

While a number of questions were raised through the information sessions, the response to the proposal was supportive, with no negative feedback received.



Feedback received during these sessions included:

"I one hundred percent support the project and look forward to seeing it in operation", business owner.

"Looking forward to seeing the project built", local Resident.

"The proposed facility will bring more business to our local area", local resident and business owner.

"It's a positive for employment. It will bring workers into town which will benefit our business", Business owner.

Introduction

Overview

WRP proposes to construct and operate a mixed-use development, including a poultry processing, cold storage and associated ancillary infrastructure, as well as a child care and community centre, approximately 1.2 kilometres (km) from the CBD of Goulburn (Figure 1) (the project).

The project is a State significant Development (SSD) under the under the State Environmental Planning Policy (State and Regional Development) 2011 (SRD SEPP). Therefore, a development application (DA) for the project is required to be submitted under Part 4, Division 4.1 of the NSW Environmental Planning and Assessment Act 1979 (EP&A Act). Part of the approvals process is the preparation of an environmental impact statement (EIS) and this consultation report forms part of that document.

The consultation report includes:

- a detailed community engagement strategy identifying who in the community has been consulted and a justification for the selection, other stakeholders consulted and the form/s of the consultation
- a report detailing the issues raised and how they have been addressed including any changes to the proposal
- details of proposed future community and stakeholder engagement activities through the construction of the development.

Project context

The development site is located at 52 Sinclair Street, Goulburn NSW 2580 and is legally described as Lot 22 in DP 750050. The total area of the site is approximately 82,606m². The site is in the Goulburn Mulwaree local government area (LGA), within the southern and eastern locality Goulburn South-East, and is zoned B6 Enterprise Corridor, RU6 Transition and E3 Environmental Management under the Goulburn Mulwaree Local Environmental Plan (LEP) 2009.

There are approximately five residential properties within 200m of the proposed site location. Additionally, within the 200m radius there are industrial properties including the Goulburn Resource Recovery Centre, a electrical and plumbing trades supplier and waste facility. There are a number of hotels and accommodation facilities between 200m and 400m from the proposed site. The central business area of Goulburn is more than 1km from the site.

About the project

The project includes the construction and operation of:

- a processing facility building consisting of a truck wash area, poultry processing infrastructure, plant room, boiler room, workshop, packaging room, amenities, lunch room, offices and laboratory,
- overhead conveyor tunnel transporting packaged poultry from the processing facility building to the cold storage building,
- cold storage building and associated infrastructure,
- office buildings and amenities,
- childcare and community centre to provide 68 child care spaces for staff and community use,
- truck maintenance facility,
- by-product rendering facility for the processing of poultry waste to be sold as pet food and fertilisers,
- gatehouse and weigh bridges,
- wastewater treatment plant,
- internal roads, walkways and landscaped areas, and
- car parking for 340 spaces.

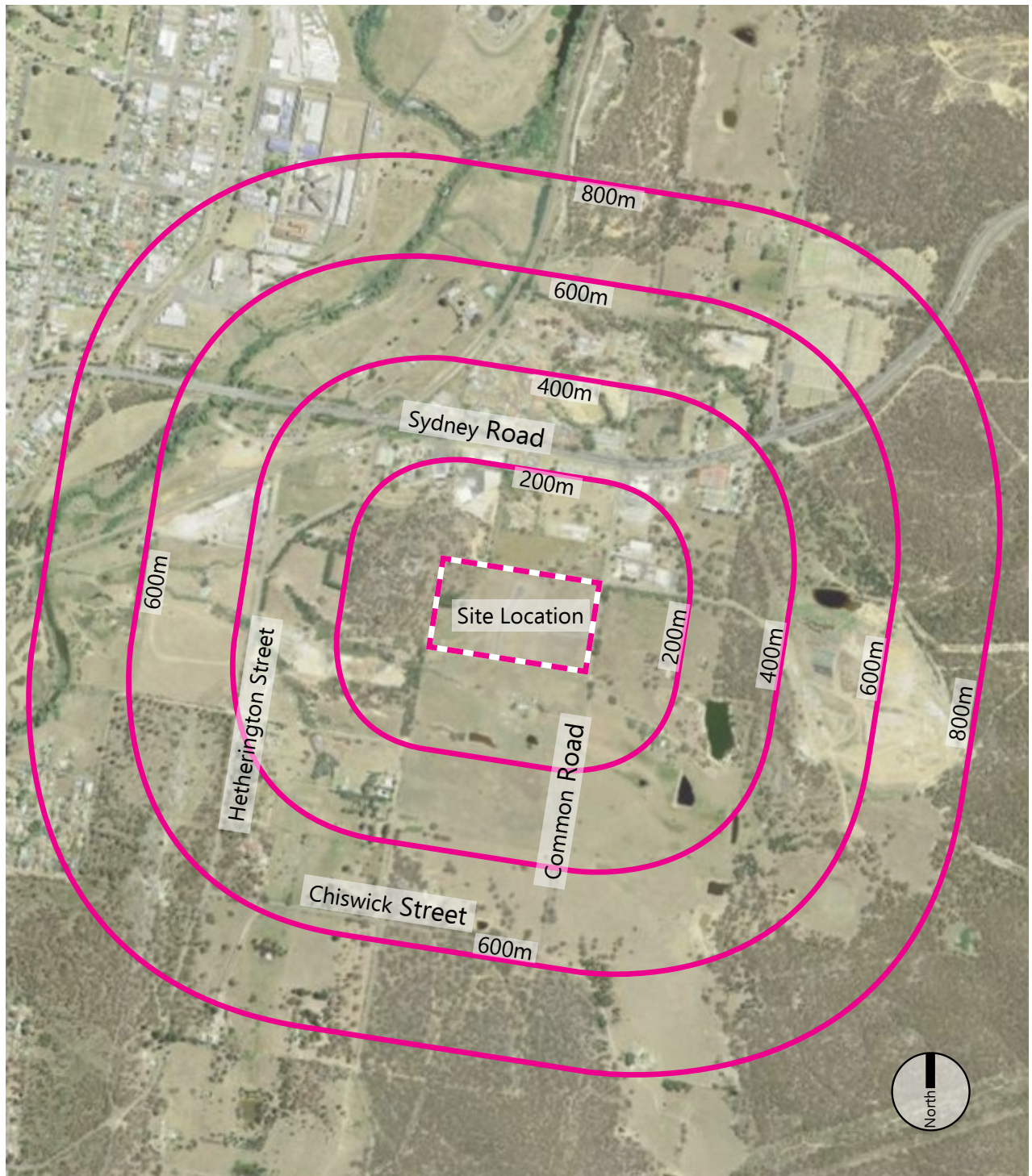


FIGURE 1: SITE PLAN

Consultation

Consultation approach

The consultation program was designed to meet the requirements of the SEARs, specifically:

- the approach to stakeholder consultation was to ensure that potentially impacted individuals and groups have the opportunity to have input and provide feedback on the proposed development.
- activities were designed to ensure that accurate information was provided to stakeholders in a timely fashion, responding to enquiries and answering questions.

Consultation objectives

The objectives of the consultation were to:

- make the community and stakeholders aware of the project
- distribute information to stakeholders, residents and local businesses,
- provide an opportunity for the community and stakeholders to provide feedback.

Summary of consultation

Community and stakeholder feedback was invited on the proposed development between 7 January and 30 March 2019. A range of activities were used to engage the community including:

- letterbox drop and direct mail to 150 residents and businesses in the proposal area providing information about the proposal and inviting feedback (Appendix A)
- advertising in the Goulburn Post promoting the feedback period and community information sessions (Appendix C)
- two community information drop-in sessions at the Goulburn Soldiers Club on Monday 4 and Tuesday 5 March where community members could view the proposal and speak with members of the project team (presentation included at Appendix F)
- dedicated project email address for community enquiries and submissions
- telephone calls to local businesses inviting them to view and provide feedback on the proposal
- meetings with key stakeholders specified in the SEARs including Goulburn Mulwaree City Council, NSW Environment and Protection Authority, Office of Environment and Heritage. Meetings were held at Goulburn Mulwaree Council on 9 February 2018 and 20 February 2019.

Stakeholder communication

Stakeholders were made aware of the project through a number of communication channels including a letterbox drop to nearby residents and businesses, phone calls, emails letters, meetings and advertising. The stakeholder list below were directly contacted and were invited to the drop-in sessions and asking them to provide feedback on the proposed mixed-use development.

Stakeholders were selected through analysis of the potential impacts and identifying individuals, businesses and groups that may be impacted or may have an interest in the proposed facility.

Key potential impacts including noise, odour, traffic, were identified through the stakeholder strategy and were the key considerations underpinning stakeholder mapping. The acoustic report helped to identify properties that may hear the facility once in operation, traffic report to identify impacts from increases in traffic and air quality for potential odour concerns. These stakeholders were contacted through the consultation period. Other stakeholders included were those specified in the Secretary's Environmental Assessment Requirements (SEARs).

Stakeholder	Letterbox drop	Meeting	Drop in session	Presentation	Email	Phone call	Letter
Adjoining property owners	✓		✓		✓		
Local residents	✓		✓				
Local businesses (Sydney Road, Common Street, Hetherington Street, Long Street, Sinclair Street, Day Street, Lawford Lane, and Cundwell Street)	✓		✓		✓	✓	
Goulburn Mulwaree Council	✓	✓	✓	✓	✓	✓	✓
Department of Planning and Environment		✓			✓		
Office of Environment and Heritage		✓			✓		✓
Environment Protection Authority					✓		
Department of Primary Industries		✓		✓	✓		✓
Regional Development Australia, Southern Inland				✓	✓		
Roads and Maritime Services				✓	✓		✓
Geological Survey of NSW – Division of Resources and Geoscience				✓	✓		✓
Department of Health					✓		✓
NSW Rural Fire Service					✓		✓
NSW Resources and Geoscience					✓		✓
WaterNSW					✓		✓
Southern NSW Local Health District					✓		✓
Essential Energy					✓		✓
TOTAL NUMBER	150	2	2	2	43	16	28

Community information sessions

Two drop-in sessions were held at the Goulburn Soldiers Club on Monday 4 March and Tuesday 5 March. The below stakeholders attended the drop-in sessions.

Table 2: Attendees – Drop-in Sessions

Name	Stakeholder group
Kel Fitzpatrick - Heritage Motor Inn	Business
Jamie Hinton - Safety Glass Solutions	Business, local resident
Karen Lyne - BIG4 Governor's Hill Carapark	Business
Peter Lyne - BIG4 Governor's Hill Carapark	Business
John Charles	Local resident
Daimon Poole - McDonalds Goulburn	Business
Jeremy Gilchrist	Adjoining property owner
Miriam Gilchrist	Adjoining property owner
Ian James	Local resident

The workshop was also attended by Eddie Wehbe (Woodlands Ridge Poultry), Dale Redwood (KDC Planning), Kelly Lofberg (Mara Consulting), Ali Minogue (Mara Consulting) and Vanessa Swilks (Mara Consulting).

The drop-in session was structured to generate conversation to gain an understanding of what stakeholders feel about the proposed facility. It was important that everyone who attended had the ability to have their opinion heard and included in the discussion.

All attendees at the drop-in sessions were asked to share their thoughts about the proposed facility. The majority of stakeholders and community members gave positive feedback about the proposed facility.

Feedback from community information sessions

During the feedback period responses were received from nine people twenty-one issues raised. There were no submissions received during the public exhibition period however the below table provides a summary of the feedback received during the consultation.

Subject	Issue	Response
Traffic	How will traffic be slowed before the intersection of Sydney Road and Common Street?	Turn lanes from Sydney Road turning into Common Street are approximately 75m long sufficient for vehicles to slow down to an appropriate speed. Note: stakeholder raised specific concerns about exiting traffic issues not related to this project. These will be forward to Council for consideration.
	What will the traffic be at peak times?	During peak operation, there will be approximately 230 to 240 vehicles per hour two-way during weekday morning and afternoon peak hours. The existing road network is considered to be adequate to accommodate the increase in traffic movements. Refer Section 6.5 of the EIS.
	How will compression braking be managed on Sydney Road.	New drivers will be inducted which includes approved vehicle routes and procedures if they are delivering to the site. This will include procedures to reduce noise including limiting noisy breaking at night. Note: stakeholder raised specific concerns about exiting traffic issues not related to this project, requiring changes to speed limits. These will be forward to Council for consideration.
	Will there be a traffic management plan?	Yes. A traffic management plan will be implemented prior to the commencement of operation of the facility.
	Will the intersection will be able to manage the increase in traffic?	Traffic Impact Assessment has indicated that the existing Sydney Road and Common Street will be able to manage the increase in traffic. Refer Section 6.5 of the EIS.
	Will there be an upgrade to the intersection of Sydney Road and Common Street?	This is outside the scope of this project. Comments will be forwarded to Goulburn Mulwaree Council for consideration.
	The bypass was introduced to keep large trucks going through the town of Goulburn. How many trucks will be going through town?	Only trucks which are to travel southbound on the Hume Highway from the site. This will be approximately 37-38 truck movements along heavy vehicle rated route through town. Southbound traffic will travel via Common Street, Sydney Road, Union Street, Reynolds Street, Grafton Street, Sloane Street, and Garroorigang Road Traffic Impact Assessment has indicated the existing network will accommodate the vehicle movements.

Subject	Issue	Response
	How much will traffic increase?	Traffic modelling indicates that at peak operation, approximately 1500 two-way vehicle trips per day will be generated by the site with heavy vehicles accounting for approximately 10 per cent. This will result in approximately 230 to 240 vehicles per hour two-way during weekday morning and afternoon peak hours. The existing road network is considered to be adequate to accommodate the increase in traffic movements. See Traffic Assessment EIS Chapter 6.5.
Odour	Will there be any odour?	The facility has been designed to mitigate potential odour impact on the surrounding community. The facility is designed with most of the operation contained within heavily engineered buildings to reduce potential odour. The proposed development will comply with all relevant standards and guidelines and subject to strict environmental protections.
Noise	How much noise will there be during operation?	Predicted noise generated by the proposed development has been modelled and found to comply with relevant standards. Additionally, the facility has been designed to ensure noise generating operations are enclosed within buildings to effectively manage of noise. Noise is likely to be generated from vehicles movements. To manage this, noise walls are proposed to be installed along the car park and truck parking areas. According to the noise assessment (see Chapter 6.1 of the EIS), one property may be impacted by noise. Mitigation methods can be addressed with the individual property owner.
	As the basin becomes an amphitheatre. How will noise be monitored?	Predicted noise generated by the proposed development has been modelled and found to comply with relevant standards. Noise monitoring will likely be a requirement of approval. The facility will need to comply with any conditions of approval. Noise impacts are projected to be below the relevant criteria. Businesses along Sydney Road are not expected to be impacted by noise.
Water	Where do you get water from?	As the facility is a food processing plant, all water used in the process must be obtained from the mains water system. Rainwater will be collected and stored in a series of tanks for landscaping. A detention basin will be created to treat water prior to discharge from the site.
	What will happen to water next to the property in flood times?	Council records note the site is not located in flood prone land. Stormwater is discharged to channels directing to a creek line. This is in line with existing arrangement for the subdivision.

Subject	Issue	Response
Waste	What do you do with waste?	94 per cent of waste is to be used as product. Where ever possible, waste is minimised, reused or recycled. Due to the high quality of the waste from processing, a proportion may be used as pet food. All other waste is directed to the by-product processing facility where it is turned into fertiliser or meal. Some components such as feathers may be purchased directly as a product Geographically,
Operation	Will the facility run 24/7?	At peak operation the facility will operate 24 hours and seven days per week.
Location	Why was this site chosen for the facility?	The area is a priority area for Council identified in a number of strategies to encourage investment and jobs growth. The land is part of an Enterprise Corridor as part of the North East Goulburn Enterprise Corridor Precinct. The aim of this area is to attract employment generating development compatible with the adjacent recycling and the landfill facilities. Geographically, Goulburn is close to major transport routes (road, rail and air), existing breeders (poultry farms) and suppliers. Goulbourn Mulwaree Council has identified the site as a priority area in the employment land strategy, to encourage business investment and job creation.
Economy	How many jobs will be created by the facility?	Approximately 264 jobs will be directly created from the facility.
Other	Will the property next door be used to extend the facility?	No plans to incorporate surrounding land to extend the development. Existing roads on the site were a result of a previous subdivision by another party, which was not completed. It is not part of the scope of this project.
	Can a neighbouring property have assistance to rezone their property?	Comment noted. Rezoning is a matter to be taken up with Council Strategic Planning staff.
	Will the facility devalue the neighbouring properties?	With consideration to the current B6 Enterprise Corridor zoning it is not expected to devalue the land, rather it is considered it will enable enterprise development in the area which may draw further investment in the area.
	Are there opportunities for businesses to be preferred suppliers?	Business arrangements such as preferred suppliers have not been considered at this early stage. However, businesses are encouraged to participate in any opportunities that may come from the development. Note: the proponent made an undertaking to keep in contact with local businesses.
Support for project	Stakeholders attending the drop in sessions indicated they supported the facility, particularly the business opportunities and jobs for the region.	Noted

Conclusion

Outcomes report

The outcomes report is a summary of the activities completed and feedback received through the consultation program to support the lodgement of the SSD9143 application for the Goulburn Mixed Use Development.

Mara was engaged to conduct consultation to meet the environment approval requirements for the proposed Goulburn Mixed Use Development. The SEARs state that the Environmental Impact Statement (EIS) must address specific matters including community and stakeholder engagement.

Specifically, a detailed community and stakeholder engagement strategy was developed, identifying who has been consulted and why. Additionally, this outcomes report details the issues raised and how they have been addressed including any changes to the proposed development. (A copy of the strategy is available on request.)

The consultation program was designed meet the requirements of the SEARs and other NSW Government policies that guide consultation and engagement.

Consultation with aboriginal and first nations stakeholders is covered by work completed by specialist consultants, Navin Officer Heritage Consultants Pty Ltd, who were commissioned to conduct a cultural heritage assessment for the project.

Appendix A: Invitation to stakeholders



Landscape Design | Urban Planning | Environmental Planning
Communication | Consultation | Government Relations



HAVE YOUR SAY

Mara Consulting has been engaged by KDC Development Planners to seek feedback from the community the proposed Mixed-Use Development at 52 Sinclair Street, Goulburn.

ABOUT THE PROPOSAL

PROJECT: Goulburn Mixed Used Develop
ADDRESS: 52 Sinclair Street, Goulburn

Woodlands Ridge Poultry is seeking to build a warehouse and distribution centre in Goulburn. The facility is mixed, meaning that several businesses will be located at the site in Sinclair Street, Goulburn.

The proposed development is considered State Significant Development (SSD) due to the value to construct the facility. As a result, an environmental impact statement (EIS) must be completed.

The EIS must consider and investigate potential issues and impacts, as well as opportunities that may result from the development. This includes; potential impacts from noise, odour, traffic and economic opportunities such as the creation of new jobs, the use of local suppliers and new infrastructure.

HOW TO PROVIDE FEEDBACK

We encourage all members of the community to have their say by visiting one of the drop-in sessions.

In person

You can provide your feedback in person by visiting our pop-up event on

Monday 4 March 2019 from 4pm to 7pm
Merino Room - Goulburn Soldiers Club
15-17 Market Street Goulburn

or on

Tuesday 5 March from 9am to 11am
Market Room - Goulburn Soldiers Club
15-17 Market Street Goulburn

A team of consultants will be on hand to provide you with information on the project.

If you are unable to make one of our community information sessions but would like to provide feedback or have a question about the proposal, you can get in touch in the following ways:

In writing

Send your written feedback to:

Mara Consulting
Attention: Goulburn Mixed Use Development
consultation team
Level 1, 161 King Street Newcastle 2300

Via email

Send your email to:

E: projects@maraconsulting.com.au

Subject line: Goulburn Mixed Use Development
consultation team

Please include your name and address and the application number **SSD 9143**. Please provide feedback to Mara by 30 March 2019.

HAVE YOUR SAY

HOW WILL FEEDBACK BE USED

All feedback will be used in a report as part of the Environmental Impact Assessment application for the State Significant Development for the proposed development.

When the proposal is submitted to the Department of Planning and Environment for assessment, there will be a public exhibition period and interested members of the community will be able to provide formal feedback on the proposed development.

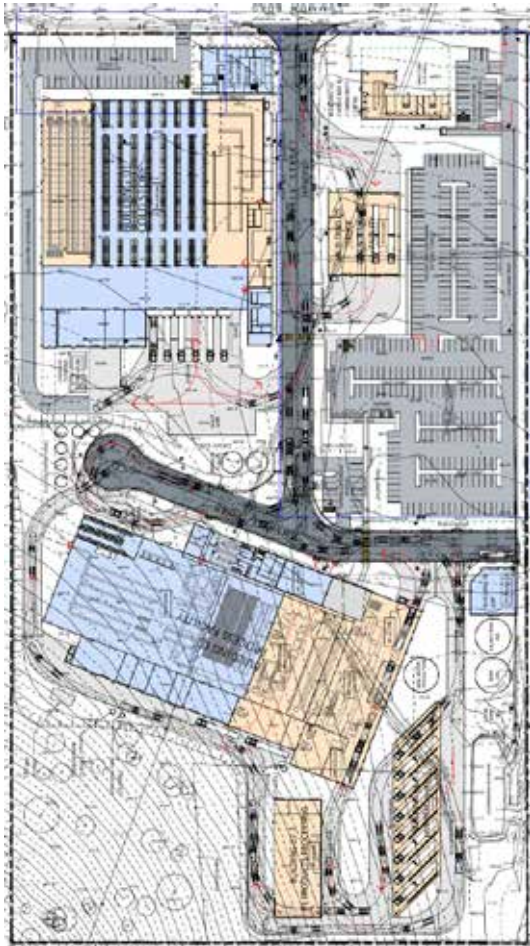


Image: Concept design of proposed facility.

PROJECT PROCESS

The proposed Goulburn Mixed Use Development



Appendix B: Advertising in newspaper

HAVE YOUR SAY – State Significant Development Application

Woodlands Ridge Poultry is preparing a development application for a Mixed Use Development at 52 Sinclair Street, Goulburn.

We are committed to working with our stakeholders during the planning process to gather feedback. Please come along to one of two information sessions to be held at:

**Goulburn Soldiers Club,
15-17 Market Street Goulburn
Monday 4 March, 4pm to 7pm
(Merino Room)**

**Tuesday 5 March from 9am to 11am
(Market Room)**

Come along, ask questions and provide feedback prior to the lodgement of the proposed development.

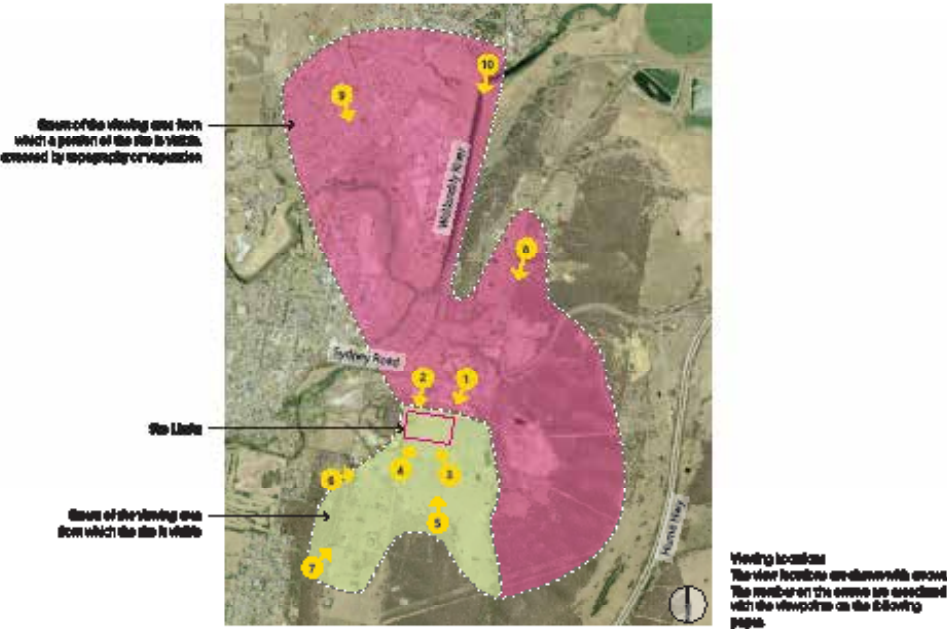
For more information email:

projects@maraconsulting.com.au

Appendix C: Images used at information session

Mixed Use Development
52 Sinclair Street, Goulburn

Viewpoint Locations



MARA CONSULTING

Draft, 01 March 2019
Version A

Woodlands Ridge Poultry

Mixed Use Development
52 Sinclair Street, Goulburn

Viewpoint 1
Artist's Impression



MARA CONSULTING

Draft, 01 March 2019
Version A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 2
Artist's Impression



MARA
MARA CONSULTING

Draft, 01 March 2019
Version: A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 3
Artist's Impression



MARA
MARA CONSULTING

Draft, 01 March 2019
Version: A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 4
Artist's Impression



MARA
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Draft, 01 March 2019
Revision A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 5
Artist's Impression



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Draft, 01 March 2019
Revision A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 6
Artist's Impression



MARA
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Draft, 01 March 2019
Version A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 7
Artist's Impression



MARA
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Draft, 01 March 2019
Version A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 8
Artist's Impression



MARA
MARA CONSULTING

Draft, 01 March 2019
Revision A

Woodlands Ridge Poultry

Mixed Use Development
52 Sindair Street, Goulburn

Viewpoint 9
Artist's Impression



MARA
MARA CONSULTING

Draft, 01 March 2019
Revision A

Woodlands Ridge Poultry

Mixed Use Development
52 Sinclair Street, Goulburn

Viewpoint 10
Artist's Impression



MARA
MARA CONSULTING

Plot: 91 Manda 3770
Parish: A

Woodlands Ridge Poultry

Mixed Use Development
52 Sinclair Street, Goulburn

Aerial View
Architectural Rendering



View from north east

MARA
MARA CONSULTING

Resolving owner: Valley to Go Pty Ltd

Plot: 91 Manda 3770
Parish: A

Woodlands Ridge Poultry

Mixed Use Development
52 Sinclair Street, Goulburn

Aerial Views
Architectural Rendering



View from south west



View from east

Woodlands Ridge Poultry

Renewing resources Valley to City Pty Ltd



Draft: 01 March 2019
Revision: A

Appendix D: KDC presentation





The Proponent

Woodland Ridge Poultry (WRP) is an existing Poultry business which currently grows broiler chickens for sale to established poultry processors.

WRP currently operates 6 broiler sheds with approval for a further 6 sheds.

Acknowledging the projected growth of the poultry industry, WRP is looking to expand its operation into processing to meet the demands of the future.

KDC



Site Overview

- The Site is legally described as Lot 22 in DP 750050 and is generally referred to as 52 Sinclair Street, Goulburn NSW 2580.
- The total area of the Site is approximately 82,606sq.m.
- It is located within the Goulburn Mulwaree local government area (LGA) and zoned B6 Enterprise Corridor, RU6 Transition and E3 Environmental Management under the LEP 2009.

KDC

Initial Layout



Proposed Layout





The Proposal

The proposal is for a mixed used development comprising:

- Poultry processing and rendering plant (approx. 500,000 birds per week and eventually up to 1,000,000 birds per week);
- Cold storage and distribution centre;
- Childcare facility; and
- Other Ancillary infrastructure.

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Changes to Project

Since the SEARs has been received, various alterations have been incorporated into the design to ensure improved outcomes and minimise impacts. See below for a list of changes made to the design:

- Rationalised building layout to improve efficiency and reduce impacts;
- Revised building structure to minimise building footprint from 30,000m² to 25,005m²;
- Detached Office building;
- New Waste Water Treatment building;
- New Poultry Holding and Truck Parking Building;
- Rationalisation for car parking and childcare parking and access structure; and
- Other minor works.

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Operational Components

There are three main land uses on the site which operate independently of each other, these include:

- Poultry Processing Facility;
 - Warehouse and Distribution Centre; and
 - Childcare Facility.
- The location of these land uses on the site are shown on the site plan enclosed.

KDC



Poultry Processing Facility

- The poultry processing plant is proposed to be 10,338m² and located in the western portion of the Site.
- At maximum capacity approximately 1,000,000 birds per week are intended to be processed and packaged for sale to local and international markets.
- Poultry waste is proposed to be sent to the supporting byproduct building for the manufacture of recycled meat, bone meal and animal fat products. Based on current projections, this process minimises the amount of waste generated by the operation by 99.4%.

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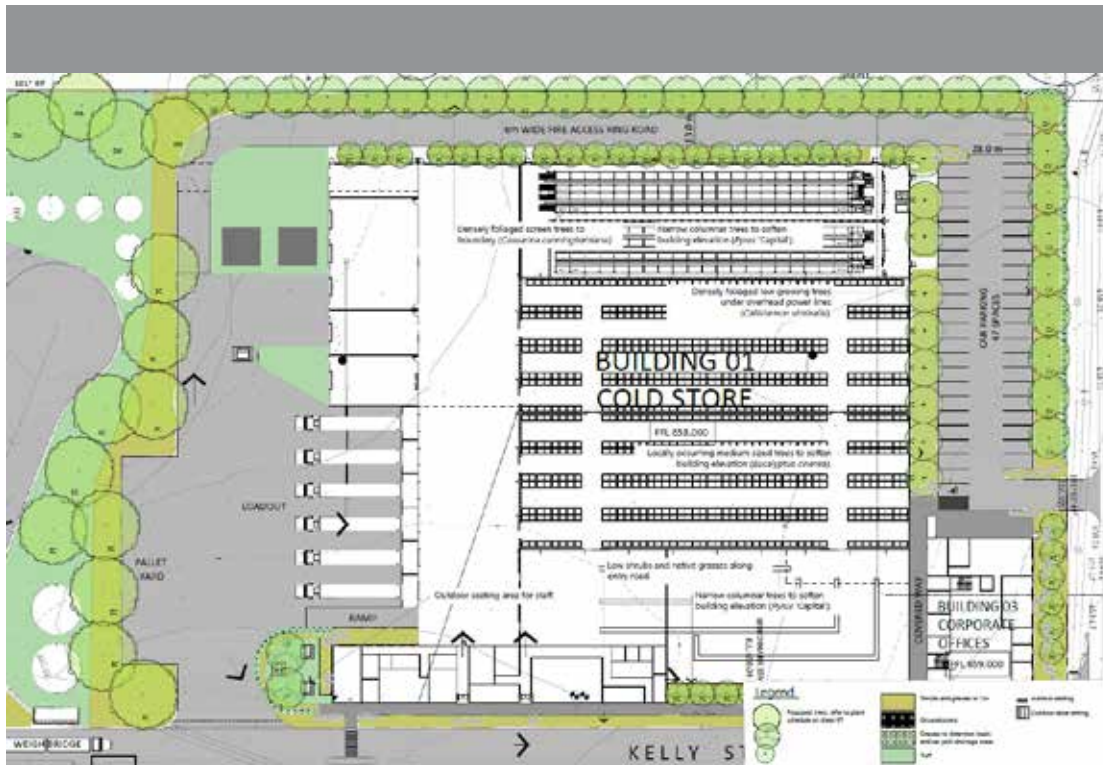


Warehouse and Distribution Centre

- The cold storage and distribution centre is proposed to be 9,101m² and is to be located in the north eastern corner of the Site and is planned to include a cold storage area, staff and visitor car parking spaces, amenities, and truck loading/unloading bays.
- The cold storage area is intended to be leased to a number of tenants for the storage of refrigerated goods, including poultry from the poultry processing operation, for distribution to retailers and wholesalers.

KDC





Childcare Facility

- A child care facility is proposed in the south east corner of the Site.
- It is intended primarily to accommodate children of staff working at the Site, however if capacity exists will accept children from families not associated with this project.
- The proposed child care facility includes an outdoor play ground and car parking spaces for child care staff and visitors.

KDC

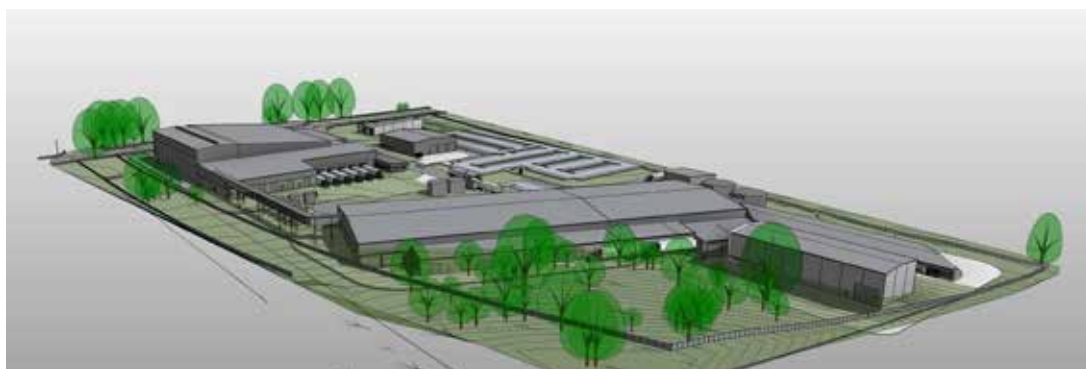


Ancillary Development

Other infrastructure proposed in association with the Project include:

- By-product Processing building;
- Live bird Holding Shed including 8 truck parking spaces;
- Waste Water Treatment building supported by waste water tanks;
- Visitor and staff car parking (approximately 341 car parking spaces);
- Truck maintenance and workshop area;
- Office buildings and amenities;
- Internal roads and services;
- Walkways and awnings; and
- Two Weighbridges with weighbridge office

KDC





Findings to Date

Drafts for the following reports have been received:

- Noise;
- Traffic;
- Economic;
- Biodiversity;
- Bushfire;
- Contamination/Geotechnical;
- Civils (cut and fill);
- Stormwater and Water Balance;
- Heritage;
- Hazard and Risk;
- Bio Security;
- Waste; and
- Landscape and Visual Impact.

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Next Steps

The next steps with the project include:

- Finalisation of project design;
- Finalisation of Assessment Reports;
- Completion of Consultation; and
- Lodgement.

KDC



Creating vibrant communities through powerful conversations

Consultation and urban design working together

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