

# **URBAN**

## **WASTE MANAGEMENT PLAN**

<b>PROJECT NAME:</b>	CCQ2
<b>SITE ADDRESS:</b>	26-30 Mann Street Gosford NSW
<b>REVISION:</b>	01
<b>ISSUE DATE:</b>	13.12.25

REGISTER OF REVIEW - MASTER				
REVISION	DATE	SECTION	DESCRIPTION OF AMENDMENTS	AMENDED BY
1	10/11/2025	ALL	COMPANY TEMPLATE	RM

REGISTER OF REVIEW - PROJECT				
REVISION	DATE	SECTION	DESCRIPTION OF AMENDMENTS	AMENDED BY
01	13.12.25	All	Initial Project Revision	BT

APPROVALS			
NAME	POSITION	SIGNATURE	DATE
Roy Massoud	Construction Director		
Michael Boutross	Construction Manager		
Ben Taylor	Senior Project Manager		

## ACKNOWLEDGEMENT OF UNDERSTANDING

Project team personnel are to be inducted into this plan before starting work on the project. Insert your name and role in the register below, then sign and date to acknowledge that you have read and understood the company requirements and agree to implement the procedures as applicable to your role. Note: Nominated approvers who have signed above are not required to sign below.

NAME	POSITION	SIGNATURE	DATE

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## 1. Waste Management Plan

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### 1.1 Purpose

The purpose of the Waste Management Plan is to outline Urban’s requirements for the effective management of waste to prevent pollution and ensure compliance with all relevant local authority obligations. This plan provides clear guidance on the identification, handling, segregation, storage, and disposal of waste generated throughout the construction process. It establishes the measures necessary to minimise waste at its source, promote recycling and resource recovery, and ensure environmentally responsible practices across all work fronts. By implementing this plan, Urban seeks to maintain a controlled and compliant construction environment, reduce environmental impact, and uphold best-practice waste-management standards.

### 1.2 Scope

The scope of the Waste Management Plan encompasses all activities undertaken by Urban and its Subcontractors that generate, handle, store, transport, or dispose of waste throughout the duration of the project. It applies to every stage of construction, including site establishment, excavation, structural works, fit-out, and demolition or strip-out activities where applicable. The plan covers all waste streams—general, recyclable, hazardous, contaminated, and construction-specific materials—and defines the responsibilities, procedures, and controls required to manage these streams effectively. This scope extends to all personnel on site, ensuring consistent implementation of waste-minimisation initiatives, regulatory compliance, and adherence to Urban’s environmental and operational objectives.

### 1.3 Definitions

Task	Definition
Recycling	The collection and often reprocessing of discarded materials for reuse.
Waste	Being material, substance, or by-product eliminated or discarded as no longer useful or required after the completion of a process
Waste Management	Is the collection, transport, processing or disposal, managing and monitoring of waste materials.

## 2. Specific Requirements

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### 2.1 General Waste

Waste generated on the construction sites shall be avoided or recycled wherever practicable in accordance with the Waste Management Hierarchy detailed in the Urban Risk Management Procedure and as detailed within the Waste Minimisation Plan.

The method of waste management shall be either of the following processes as determined by the project team:

- Waste sorting and recycling shall be carried out by the waste contractor and records provided to Urban to enable the monitoring and review of waste recycling targets, OR
- Where sufficient storage area is available waste management shall be adopted through the use of at the workplace sorting and separation bins for recyclable materials, and non-recyclable waste materials.

In addition, the Project Manager/Site Manager or nominated representative shall assure:

- Material is reused wherever practicable, in particular top soil
- The establishment of a workplace waste management area(s) for sorting and segregating waste where available space allows
- Waste minimization identification and awareness for all workplace personnel via the Workplace Induction Manual
- Recyclable materials are reprocessed wherever practicable, e.g. plasterboard off cuts and steel reinforcement
- Subcontractors, where practicable, identify areas where they can reduce waste and reuse materials in their respective trades
- Waste management is included in subcontractor Safe Work Method Statement (SWMS), or equivalent, where waste forms a part of their activity
- Pollution and damage to the environment is prevented
- The safety and health of employees, Subcontractors and the public is protected
- Prescribed waste, e.g. hazardous or contaminated material, asbestos, aqueous waste (paint washout residue/sludge), shall be removed by a licensed contractor and dockets retained at the workplace for audit verification purposes. Further detail is described in the Urban Hazardous Waste Disposal Procedure

For construction, the use of building materials that are fully recycled or include post-consumer recycled material in production will be considered wherever practicable. Suppliers of building materials will be encouraged to nominate packaging minimization and reuse initiatives, as part of product supply to a

construction workplace. Bulk handling and reusable/returnable transport containers shall also be encouraged e.g. timber pallets.

Works that constitute a 'material' risk to the environment or generate significant waste streams will be recorded in the Workplace Risk Assessment and where required subcontractors shall submit a SWMS, or equivalent, prior to commencing work.

This will include as a minimum:

- Two practical measures associated with the works to prevent waste
- Two waste streams resulting from the works which can be recycled and will be actively managed as part of a waste reduction plan
- Consideration of alternative products containing recycled material, which conform to the design specification that could be utilized in the works in place of more traditional materials

Additional separation bins shall be provided for workplace amenity waste streams. Material collected shall include:

- Food waste
- Glass & Aluminium
- Steel cans and PET (recyclable plastic)
- Paper/cardboard
- Sand pots to outdoor designated smoking areas to capture cigarette butts

In addition, a Waste Minimisation Plan will be developed for all construction sites.

## 2.2 Washout Areas

Washout areas shall be minimised and water recycling for these activities encouraged where possible. For paint washout refer to item 2.8 and 2.9. Where waste is required to be discharged from the workplace to sewer a trade waste agreement may need to be obtained from the relevant water authority. Discharge to sewer is to be conducted in accordance with local water authority requirements.

## 2.3 Recycled Materials

Where practicable suppliers are encouraged to nominate products that include a post-consumer recycled component and ability/opportunity for recycling of unused components.

## 2.4 Induction

Waste minimisation will be incorporated into the site induction. Where segregated waste streams are initiated onsite it will be the responsibility of everyone onsite to assure that waste materials go into the correct bins to prevent co-mingling and contamination of waste streams.

## 2.5 Reporting

The following reporting will take place for any construction sites:

- The Project Manager/Site Manager, or nominated Urban representative, will coordinate waste recycling, recovery and disposal of all waste during all of the construction stages. This may include engaging a specialist waste management contractor that will provide the number and size of bins removed; tonnage (by weight) removed, and tonnage (by weight) recycled for general waste – the information shall be reported on a monthly basis via the Project Control Group report.
- The waste system (bins/signage/education) will be in place prior to any major waste generation works and will be included in the workplace induction.
- A process for the verification of disposal of potentially hazardous (prescribed) waste will be maintained to assure appropriate disposal of this material. Copies of all tipping/disposal documentation for hazardous waste will be retained at the workplace for audit verification purposes and tonnage (by weight) removed shall be reported on a monthly basis via the Project Control Group report

## 2.6 Water Discharges from Concrete Works

Concrete work is recognised as a significant environment risk. To prevent contamination of surrounding waterways or the stormwater system with concrete washings the Site Manager and other appointed Urban personnel will assure the implementation of the following controls:

- Wherever practicable concrete pumping will be undertaken away from stormwater inlets, watercourse or other environmentally sensitive areas
- Where the above is not practicable temporary bunding, drain seals or other environment barriers will be in place before commencing pumping operation
- An impervious plastic lining will be placed below the pump's hopper to contain any possible spillage or droppings
- A spill kit will be retained at the workplace for emergency incident clean up
- Two basic options are to be decided on construction workplaces:
  - Concrete wash downs will not be provided at the workplace and by agreement with the supplier, concrete trucks will 'washout' at the concrete supplier's facility (preferred), OR
  - A dedicated wash down area will be provided which is fitted with an impervious floor and sufficient swales, hay bales and other barriers to contain slurry residues.

## 2.7 Hazardous Waste

Where waste material classified as hazardous is located at the workplace and is identified as part of any hazardous materials survey, the material shall be disposed from the workplace in accordance with the Urban Hazardous Waste Disposal Procedure.

Control measures to minimise the potential risks and environment impacts associated with hazardous waste shall include:

- Conducting a hazardous materials survey where such material is reasonably expected (e.g. age of structure or pre-existing uses) or where such a requirement is outlined in the conditions of contract
- Identification of any hazardous materials to be recorded in the workplace induction, and any relevant exclusion zones related to the position of such materials
- Containment or encapsulation of any hazardous materials identified or exposed during construction works
- Removal and disposal in accordance with relevant legislative requirements and Jurisdictional Legislative requirements; and
- The retention of records of disposal of hazardous materials (prescribed waste) as required by legislation in each Jurisdiction

## 2.8 Paint & Other

Painting is recognised as a significant environment risk. To prevent contamination of surrounding waterways or the storm water system by the disposal of paint and associated wastes and to minimise the effects of paint off gassing on indoor air quality the Project Manager/Site Manager and other appointed Urban personnel shall assure the implementation of the following controls:

- Paint Selection – low emission or low off-gassing paint recommended to the Client to minimise impact on indoor air quality and occupant health
- Use of acrylic paints only where practicable and agreed by the Client
- Application of any oil-based enamel finishes off of the workplace or in a dedicated area where practicable or agreed by the Client
- Paint storage areas to include:
  - A secure/lockable area where paints can be stored without risk of vandalism, theft or damage
  - Appropriate washout facilities to contain paint residue
  - A fire extinguisher positioned at the entry point to the storage area in the case of enamel paints and thinners
  - Warning signs to AS1319 where flammable goods are stored
  - A well-ventilated storage area

## 2.9 Water-Based Paints Waste Management

Where water-based paints are used at the workplace the following is to be considered.

Do:

- Provide dedicated paint wash out areas
- Transfer as much paint from rollers, brushes and trays back into the paint containers at the end of the day or job
- Transfer the water used to clean one roller tray into the next tray to be cleaned, and so on
- Spin brushes and roller sleeves (if possible) into a waste paint drum before washing them
- Let the waste paint dry and dispose of it as solid waste
- Wash brushes and roller sleeves in a bucket or drum using as little water as possible
- Re-use the water used to clean painting equipment where practicable (for example, use it for cleaning again the following day)
- Place all wastewater from equipment cleaning into larger drums and allow the solids to settle
- Siphon wastewater (after solids have been allowed to settle) to reuse for wash out or tip on a flat, grassy area or area of soil that can retain the liquid; in a place where it will not drain to any sewer, storm water drain or natural waterway
- Dispose of solid waste by sealing it and placing it for disposal with other hazardous waste

## 3. Site Specific Information

### 3.1 Waste Management Targets

Waste generated on site shall be avoided or recycled wherever practicable in accordance with the Waste Management Hierarchy detailed in Resource Management Hierarchy in section 3.5 below. Waste targets are > 95% diversion of waste from landfill by recycling, reuse, design or other methods.

The method of waste management shall be either of the following processes, or both as determined by the Project Manager:

- Waste sorting and recycling shall be carried out by the waste contractor and records provided to Urban to enable waste targets to be determined
- Where sufficient storage area is available waste management shall be adopted through the use of on-site sorting and separation bins for recyclable materials, and non-recyclable waste materials.

Description	Details
Project Name	Central Coast Quarter Stage 2 (CCQ2)
Address	26-30 Mann Street Gosford NSW 2250
Site Size (m2)	5,500m2
Total GFA (m2)	Approx. 55,000sqm
Is there a Demolition component?	No
Under the Demolition contractor's Waste Minimisation Plan, what are the possible limitations to obtaining optimum waste management?	N/A
Plan Prepared By	Ben Taylor
Responsibility for Plan	Ben Taylor
Specific contractual requirements?	Nil
Possible limitations and barriers for optimum waste management	Nil
Proposed number and location of bins taking into consideration space available including front lift bins for unavoidable waste material	This will vary through the lifecycle of the project

## 3.2 Waste Prevention Planning

The Project Manager shall assure:

- Material is reused wherever practicable, in particular topsoil
- The establishment of a waste management area(s) for sorting and segregating waste where available space allows (for construction workplaces)
- Recyclable materials are reprocessed wherever practicable, e.g. plasterboard off cuts, steel reinforcement and concrete
- Subcontractors identify areas where they can reduce waste and reuse materials in their respective trades (waste avoidance initiatives to be provided by each Subcontractor in the SWMS or equivalent)
- Prescribed waste, e.g. hazardous or contaminated material, asbestos, aqueous waste (paint washout residue/sludge), shall be removed by a licensed contractor and dockets retained at the workplace for audit verification purposes; and
- Pollution and damage to the environment is prevented.

The use of building materials that are fully recycled or include post-consumer recycled material in production will be considered wherever practicable in design stages. Bulk handling and reusable/returnable transport containers shall also be encouraged, e.g. timber pallets.

## 3.3 Communication and Education

Urban will conduct an on-site pre-construction meeting with Subcontractors that generate medium- to high-volume waste streams. The purpose of this meeting is to reinforce the commitments made by each Subcontractor regarding workplace waste-management goals and requirements, and to ensure that their operatives clearly understand the expected standards.

Waste-prevention and recycling initiatives are discussed at all Subcontractor Coordination Meetings, where waste management is a standing agenda item. This provides a consistent forum to reinforce workplace goals, monitor compliance, and communicate progress to date.

As each new Subcontractor commences on the construction workplace, they are provided with a copy of the Waste Minimisation Plan. Subcontractors are responsible for ensuring that all their operatives and any secondary contractors comply with the requirements of this plan.

All Subcontractors are also informed during the workplace induction of the importance of maintaining clean and uncontaminated waste streams, and the need to avoid mixing rubbish or other materials across designated waste categories.

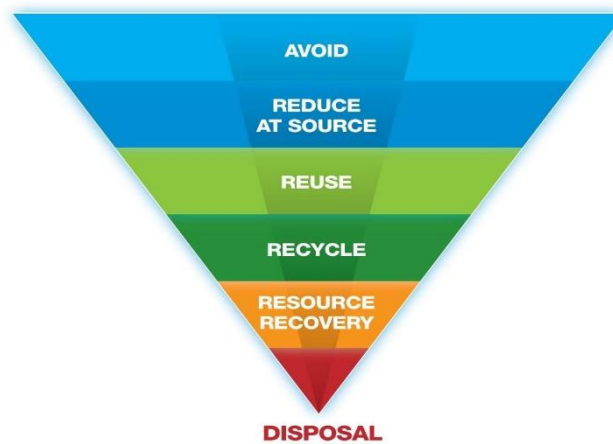
## 3.4 Evaluation

The Project Manager will review the Project Control Group report to assure that the waste targets achieved are in accordance with this waste minimisation plan.

Waste will be a standard item in Health Safety Environment auditing to assure waste is being managed to meet objectives and targets.

## 3.5 Control of Environmental Risk

The extent of controls and their physical characteristics for the environment is based on the Resource Management Hierarchy outlined in figure below. Avoidance of the use of resources is the primary objective of this process.



## 3.6 Estimated Waste Quantities

No. of Apartments:	394 + 150 Bed Hotel
No. of Levels:	36 + 42
No. of Basements:	4
Estimated Tonnage of Waste:	112,275

Waste Composition	Total Volume Expected Waste (%)	Potential to Avoid, Reduce, Recycle, Reuse (%)	Method
Excavation Material	112,000 t	(99%) (Dependent on soil classification)	Waste Recycle Company (Bingo)
Soil / Clay	Included in Excavation Material		Waste Recycle Extract (Resource Co)
Green Waste	Nil		
Bricks / Block	10 t	100%	Waste Recycle Company (Bingo)
Tile / Stone	5 t	100%	Waste Recycle Company (Bingo)
Concrete	50 t	100%	Waste Recycle Company (Bingo)
Metal / Steel	50 t	100%	One steel recycling
Timber	50 t	100%	Waste Recycle Extract (Resource Co)
Cardboard / Paper	10 t	100%	Polly Trade
Plasterboard	50 t	100%	Regyp
Waste to Landfill			Waste Recycle Extract (Resource Co)
Asbestos	Nil		
Food scrap	50 t	0%	Suez Environment
<b>TOTAL (T)</b>	<b>112,275 t</b>	<b>112,225 t</b>	



Central Coast Quarter, 26-30 Mann St, Gosford  
Mixed Use Development

## OPERATIONAL WASTE MANAGEMENT PLAN

17/02/2026  
Report No. 6765  
Revision E

Client

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UPG Waterfront Pty Ltd

Architect

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DKO and Furtado Sullivan

<https://dko.com.au/>

<https://www.furtadosullivan.com/>

## REVISION REFERENCE

Revision	Date	Prepared by	Reviewed by	Description
A	17/03/2025	M. Bechara	M. Cuevas	Draft
B	31/03/2025	M. Cuevas	J. Parker	Updated Plans
C	05/12/2025	M. Bechara	M. Cuevas	Amendment
D	19/12/2025	M. Cuevas	J. Parker	Amendment
E	17/02/2026	M. Cuevas	J. Parker	Final

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## EXECUTIVE SUMMARY

This Operational Waste Management Plan (OWMP) has been prepared by Elephants Foot Consulting (EFC) to accompany a Concept and Stage 1 State Significant Development Application (SSDA) with concurrent rezoning proposal for a mixed-use development at Leeds Street and Averill Street, Rhodes.

This report has been prepared to address the Secretary's Environmental Assessment Requirements (**SEARs**) issued for the project (**SSD-9096020**)

This OWMP describes the proposed waste generation, storage, handling and collection arrangements for the residential, commercial and retail components of the mixed-use development. The strategy has been prepared in accordance with the Central Coast Development Control Plan 2023 and relevant NSW waste guidelines, and provides compliant bin capacities, chute systems, waste rooms and collection points for general waste, recycling and future FOGO services.

This report concludes that the proposed mixed-use development is suitable and warrants approval subject to the implementation of the following mitigation measures.

- Provide and maintain adequate bin storage areas, chutes, volume-handling equipment and collection points sized to service all waste streams generated by the development.
- Implement clear source-separation procedures, signage and resident/tenant education to minimise contamination and maximise recycling and FOGO recovery.
- Maintain regular cleaning, inspection and maintenance of waste rooms, chutes and bins to control odour, pests and occupational health and safety risks.

Following the implementation of the above mitigation measures, the remaining impacts are considered appropriate.

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## GLOSSARY OF ABBREVIATIONS AND TERMS

<b>TERM</b>	<b>DESCRIPTION</b>
<i>Bin-Carting Route</i>	Travel path for transporting bins from their allocated storage location to the nominated collection point
<i>Bin Lifter</i>	A device used to mechanically lift bins for the purpose of emptying them into larger bins and/or compactors.
<i>Bin Mover</i>	Either a handheld device (commonly referred to as a bin tug) or a ride-on device (typically a tractor or Class C vehicle with an attached bin trailer) used to facilitate the movement of bins across long distances or up ramps
<i>Bulk Bins</i>	Containers with a capacity greater than 1100L designed to be collected by a front-loading vehicle
<i>Bulky Waste</i>	Recycling items that are too large to be deposited into bins, including furniture, whitegoods, electronics and mattresses
<i>Chute</i>	A vertical pipe passing from floor to floor of a building with openings at each level for the disposal of general waste, recycling or FOGO.
<i>Chute Discharge</i>	The termination point of a chute whereby the chute offsets deposited general waste, recycling or FOGO into bins
<i>Chute Discharge Room</i>	A room enclosing the termination point of the chute/s, including bins and volume handling equipment that is accessible only to the building caretaker
<i>Collection Area/Point</i>	Designated area or point where bins are loaded onto the collection vehicle for servicing
<i>Communal Bin Room</i>	A central, shared bin room accessible to all residents or staff to dispose of their waste stream
<i>DA</i>	Development Application
<i>DCP</i>	Development Control Plan
<i>EPA</i>	Environment Protect Authority
<i>FOGO</i>	Food Organics and Garden Organics
<i>General Waste</i>	All non-recyclable and non-hazardous waste that is sent to landfill
<i>HRV</i>	Heavy Rigid Vehicle
<i>Kerbside Collection</i>	A collection arrangement whereby bins are presented in a single row along the kerb and serviced by a collection vehicle on the street.
<i>L</i>	Litre
<i>LEP</i>	Local Environmental Plan
<i>Mixed Use Development</i>	A development comprising a combination of both residential and commercial units or two or more different land uses within the one development.

<i>Mobile Bins</i>	Containers with a capacity up to and including 1100L designed to be collected by a rear-loading vehicle
<i>Multi-unit Residential Development</i>	Also known as MUD's, residential flat buildings, or apartment blocks, this is a residential development with multiple units that typically share facilities and services such as bins and collections.
<i>Onsite Collection</i>	A collection arrangement whereby all bins are serviced by a collection vehicle within the property boundary, either in the building's basement or at grade and off-street.
<i>Owners Corporation</i>	An organisation or group of persons that is identified by a particular name and that acts, or may act, as an entity
<i>Recycling</i>	Waste stream that combines all recycling, including comingled recycling, paper/cardboard and metals.
<i>Service Bins</i>	Supplementary bins which are provided to residents or staff for use during collection periods either in communal bin rooms or under chutes
<i>Source Separation Receptacles</i>	Communal containers used throughout the development for the day-to-day disposal of different waste streams
<i>Volume Handling Equipment</i>	Equipment which comes in the form of either carousel or linear tracks positioned at the base of the chute/s to mechanically replace full bins with empty bins
<i>Waste Stream</i>	A classification used to describe waste of a particular type (eg. food waste stream)
<i>WHS</i>	Workplace Health and Safety



## 1.0 INTRODUCTION

This OWMP has been prepared by Elephants Foot Consulting on behalf of UPG Waterfront Pty Ltd (the Applicant) to accompany a concurrent rezoning and State Significant Development Application (SSDA) at 26-30 Mann Street, Gosford, also known as 'Central Coast Quarter' (the site).

The site is located on the Stage 2 component of the Central Coast Quarter site in Gosford City Centre, within the Central Coast Local Government Area (LGA). The Stage 2 site is legally described as Lots 3 and 4 in Deposited Plan 1319239.

Figure 1 Aerial Photography of the Site



Source: Urbis

SSD-90960208 seeks consent for the detailed design, construction and operation of a mixed-use development comprising:

- Construction of two towers (36 and 42 storeys in height) above a retail podium (including pavilion building), comprising:
  - Retail, residential and hotel gross floor area (GFA).
  - 394 apartments, comprising the following mix:
    - 296 market apartments.
    - 98 affordable housing apartments to be managed by a CHP for 15 years (equating to approximately 20% of the residential GFA).
    - 152 hotel keys (eastern tower).
- Five parking levels, with vehicular access from Vaughan Avenue
- Storage areas and services.

- Communal open space and deep soil planting (including retention of the Port Jackson Fig).
- Publicly accessible through site links, including stairs, walkways public art and landscaping.
- Provision of utilities and services infrastructure, as required.

To facilitate the built form proposed under SSD-90960208, concurrent amendments are sought to the *State Environmental Planning Policy (Precincts – Regional) 2021* (Regional SEPP) pursuant to the concurrent SEPP Amendment process facilitated by the HDA planning pathway.

## 2.0 RESPONSE TO SEARS

This report has been prepared in response to the requirements contained within the Secretary’s Environmental Assessment Requirements (SEARs) dated 20 August 2025 issued for the SSDA (SSD-90960208). Specifically, this report has been prepared to respond to the SEARS requirement issued below.

*Table 1– SEARs Requirements*

Item	Description of Requirement	Section Reference
Waste Management	<ul style="list-style-type: none"> <li>- Identify, quantify and classify the likely waste streams to be generated during construction and operation.</li> <li>- Provide the measures to be implemented to manage, reuse, recycle and safely dispose of waste in accordance with any council waste management requirements.</li> <li>- Identify appropriately sited waste storage areas, collection access paths/roads, and appropriate servicing arrangements for the site.</li> <li>- If buildings are proposed to be demolished or altered, provide a hazardous materials survey.</li> </ul>	<p>Sections 7.1, 7.2, 7.3, 7.4, 7.5, 7.6, 8.1, 8.2, 8.3, and 8.4 identify the waste streams and provide the waste estimations, disposal procedures, and waste collections for the residential and retail components in the development’s operation stage.</p> <p>The report also describes the measures to be implemented, such as source separation, education, signage, and construction of waste room requirements detailed in sections 9 to 14.</p>

### 3.0 SCOPE OF REPORT

Elephants Foot Consulting (EFC) has been engaged to prepare the following waste management plan for the operational management of waste generated by the mixed use development located at Central Coast Quarter, 26-30 Mann St, Gosford.

Waste management strategies and audits are required for new developments in order to support the design and sustainable performance of the building. It is EFC's belief that a successful waste management strategy contains three key objectives:

- i. **Promote responsible source separation** to reduce the amount of waste that goes to landfill by implementing convenient and efficient waste management systems.
- ii. **Ensure adequate waste provisions and robust procedures** that will cater for potential changes during the operational phase of the development.
- iii. **Comply** with all relevant council codes, policies, and guidelines.

To achieve these objectives, this operational waste management plan (OWMP) identifies the different waste streams likely to be generated during the operational phase of the development, as well as how the waste will be handled and disposed, details of bin sizes/quantities and waste rooms, descriptions of the proposed waste management equipment used, and information on waste collection points and frequencies.

It is essential that this OWMP is integrated into the overall management of the building and is clearly communicated to all relevant stakeholders.

This operational waste management plan (OWMP) only applies to the **operational** phase of the proposed development; therefore, the requirements outlined in this OWMP must be implemented during the operational phase of the site and may be subject to review upon further expansion of, and/or changes to the development.

The waste management of the **construction** and **demolition** phases of the development are not addressed in this report.

## 4.0 REPORT CONDITIONS

The purpose of this report is to document an OWMP as part of State Significant Development Application, which is supplied by EFC with the following limitations:

- Drawings, estimates and information contained in this OWMP have been prepared by analysing the information, plans and documents supplied by the client and third parties including Council and other government agencies. The assumptions based on the information contained in the OWMP is outside the control of EFC,
- The figures presented in the report are an estimate only – the actual amount of waste generated will be dependent on the occupancy rate of the building/s and waste generation intensity as well as the building management’s approach to educating residents and tenants regarding waste management operations and responsibilities,
- The building manager will adjust waste management operations as required based on actual waste volumes (e.g. if waste is greater than estimated) and increase the number of bins and collections accordingly,
- The report will not be used to determine or forecast operational costs or prepare any feasibility study or to document any safety or operational procedures,
- The report has been prepared with all due care; however no assurance is made that the OWMP reflects the actual outcome of the proposed waste facilities, services, and operations, and EFC will not be liable for plans or results that are not suitable for purpose due to incorrect or unsuitable information or otherwise,
- EFC offer no warranty or representation of accuracy or reliability of the OWMP unless specifically stated,
- Any manual handling equipment recommended in this OWMP should be provided at the recommendation of the appropriate equipment provider who will assess the correct equipment for supply,
- Design of waste management chute equipment and systems must be approved by the supplier,
- EFC cannot be held accountable for late changes to the design after the OWMP has been submitted to Council,
- EFC will provide specifications and recommendations on bin access and travel paths within the OWMP, however it is the architect’s responsibility to ensure the architectural drawings meet these provisions,
- EFC are not required to provide information on collection vehicle swept paths, head heights, internal manoeuvring or loading requirements. It is assumed this information will be provided by a traffic consultant,
- Council are subject to changing waste and recycling policies and requirements at their own discretion.

This OWMP is only finalised once the Draft Watermark has been removed. If the Draft Watermark is present, the information in the OWMP is not confirmed.

## 5.0 LEGISLATION & GUIDANCE

Waste management and resource recovery regulation in Australia is administered by the Australian Constitution, Commonwealth laws, and international agreements. State and territory governments maintain primary responsibility for controlling development and regulating waste. The following legislation has been enacted in New South Wales, and provides the lawful underpinnings of this OWMP.

- NSW Environmental Planning & Assessment Act 1979
- NSW Protection of the Environment Operations Act 1997
- NSW Waste Avoidance & Resource Recovery Act 2001

At the local level, councils or Local Government Areas (LGAs) require OWMPs to be included in new development applications. This OWMP is specifically required by:

- Central Coast Development Control Plan 2022
- Central Coast Local Environmental Plan 2022

The primary purpose of a Development Control Plan (DCP) is to guide the planning process according to the aims of the corresponding local environmental plan (LEP). The DCP must be read in conjunction with the provisions of the relevant LEP.

Information provided in this OWMP comes from a wide range of waste management guidance at the local, state, and federal levels. The primary sources of guidance include:

- Central Coast Council DA Guidelines: Resource and Waste Management Planning
- Central Coast Development Control 2022, Chapter 2.14 – Site Waste Management
- NSW Better Practice Guide For Resource Recovery In Residential Developments 2019
- NSW Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities 2012
- NSW Waste Avoidance and Resource Recovery (WARR) Strategy 2014-2021
- NSW Waste Classification Guidelines 2014
- Australia's National Waste Policy 2018

## 6.0 DETAILED AND PROJECT DESCRIPTION

### 6.1 SITE DESCRIPTION

The site is located at 26-30 Mann Street, Gosford within the Central Coast Local Government Area (LGA), It has an area of 8,861sqm and is legally described as Lots 1-4 in DCP 1296100.

The site is within convenient walking distance (600m) of Gosford Train Station provides rail connections to Newcastle and Sydney. It is also benefits for access to local bus services along Mann Street and Donnison Street and is well connected to the regional road network via the Pacific Highway and Central Coast Highway.

The key features of the site which have the potential to impact or be impacted by the proposed development are summarised in the table below.

Table 2– Site Details

Feature	Description
Street Address	26-30 Mann Street, Gosford NSW 2250
Legal Description	Lots 1-4 in DP 1296100
Land Configuration	The site has an area of 8,861sqm, including multiple allotments and falls approximately 8m from east to west.
Site Access	<p>The principal frontages and access to the site are from Mann Street and Vaughan Avenue. Secondary access is provided via a 7.85m wide access easement adjacent to the northern boundary of the site, which also provides vehicular access to neighbouring 32 Mann Street.</p> <p>Baker Street (south of Georgiana Terrace) was previously constructed to provide access to the ATO Building and the commercial building at 32 Mann Street. This section of Baker Street has recently been converted to one-way and has now been extended through to Vaughan Avenue as part of the Leagues Club Field upgrade. Baker Street is now a one-way (southbound) shared zone, with a 10/kph speed limit.</p>
Local Context	<p>The site is located within a diverse urban context at the southern end of the Gosford City Centre and the buildings and spaces surrounding the site vary in use, form, age height and architectural design. The surrounding development includes:</p> <p><b>North:</b> north of the site is a six-storey modern commercial building at 32 Mann Street, including service access road / easement connected to Baker Street. Further north is 99 Georgiana Terrace, which comprises the five storey Australian Tax Office building on the corner of Georgiana Terrace and Baker Street and the Former S I of Arts building (local heritage item) on the corner of Georgiana Terrace and Mann Street.</p>

Feature	Description
	<ul style="list-style-type: none"> <li>▪ <b>East:</b> east of the site is a variety of two and three storey commercial buildings fronting Mann Street and including the Gosford South Post Office (local heritage item). Further east, is a 15-storey residential tower at 21-37 Mann and older established apartment buildings and houses. Immediately to the east is a substation on Mann Street (located on its own allotment) which services the commercial office building at 32 Mann Street.</li> </ul> <p><b>South:</b> south of the site is the Gosford City Park, which includes the Gosford War Memorial (local heritage item) and substantial mature trees and grassed open space areas. Further south is the Brisbane Water foreshore, including the Gosford Wharf, Breakwater and Sailing Club.</p> <p><b>West:</b> west of the site is the northern extension of Gosford City Park, commonly referred to as the Leagues Club Field. Beyond this is the Central Coast Highway, Brisbane Water foreshore and Central Coast Stadium.</p>

## 7.0 RESIDENTIAL WASTE MANAGEMENT

The following section outlines best practice waste management for the residential component of the development, including waste stream generation estimates and disposal and collection procedures.

### 7.1 RESIDENTIAL WASTE GENERATION ESTIMATES

The Central Coast Council DA Guidelines – Resource and Waste Management Planning has been referenced to calculate the total number of bins required for the residential units. Calculations are based on generic general waste, recycling and Food Organics and Garden Organics (FOGO) rates. Actual volumes of general waste, recycling and FOGO generated in operation may differ according to the residents’ actual waste management practices.

The following table shows the estimated volume (L) of general waste, recycling and FOGO generated by the residential component of the development.

Table 3: Estimated Waste and Recycling Volumes – Residential

Tower	# Units	General Waste Generation Rate (L/unit/week)	Generated General Waste (L/week)	Recycling Generation Rate (L/unit/week)	Generated Recycling (L/week)	FOGO Waste Generation Rate (L/unit/week)	Generated FOGO Waste (L/week)
Tower S	196	120	23520	120	23520	50	9800
Tower E	198	120	23760	120	23760	50	9900
<b>TOTAL</b>	<b>394</b>		<b>47280</b>		<b>47280</b>		<b>19700</b>
<b>Bins &amp; Collections</b>	General Waste Bin Size (L)		1100	Recycling Bin Size (L)	1100	FOGO Waste Bin Size (L)	240
	General Waste Collections per Week		2	Recycling Collections per Week	2	FOGO Waste Collections per Week	2
	<b>Total General Waste Bins Required</b>		<b>22</b>	<b>Total Recycling Bins Required</b>	<b>22</b>	<b>Total FOGO Waste Bins Required</b>	<b>42</b>
<b>Bins per Building/ Core</b>	<b>Building/ Core</b>	<b># Bins</b>		<b>Building/ Core</b>	<b># Bins</b>	<b>Building/ Core</b>	<b># Bins</b>
	Tower S	11		Tower S	11	Tower S	21
	Tower E	11		Tower E	11	Tower E	21

*Note:* An additional bin should be provided for each chute discharge for use during collection periods. These bins are not included in the above figures.

*Note:* It is strongly recommended bins/equipment at the base of each chute allow for 2-days’ worth of waste or recycling generation.

### 7.2 RESIDENTIAL BIN SUMMARY

Based on the estimated volumes of general waste, recycling and FOGO generated by the residential component of this development, the recommended bin quantities and collection frequencies are as follows:

**General Waste:** 22 x 1100L bins collected **2 x weekly**  
**Recycling:** 22 x 1100L bins collected **2 x weekly**  
**FOGO:** 42 x 240L bins collected **2 x weekly**  
**Service Bins:** 2 x 1100L bin

During operation, it is the responsibility of the building manager to monitor the number of bins required for the residential component of the development. General waste, recycling and FOGO volumes may change according to residents’ attitudes to waste disposal, building

occupancy levels or the development's management. Any requirements for adjusting the capacity of the waste facilities may be achieved by changing the number of bins, the bin sizes or collection frequencies. Building management will be required to negotiate any changes to bins or collections with the collection service provider.

### 7.3 RESIDENTIAL CHUTE DISCHARGE EQUIPMENT SUMMARY

It is strongly recommended that the bins and equipment at the base of each chute allows for at least 1 days' worth of general waste and recycling generation. Based on the estimated general waste and recycling volumes generated by each building/core, the following equipment is recommended:

Table 4: Chute Discharge Equipment Summary

Volume Handling Equipment							
General Waste				Recycling			
Tower	Generated General Waste (L/week)	# 1100L Bins Required for 1 days' Capacity	Recommended Chute Discharge Equipment	Tower	Generated Recycling (L/week)	# 1100L Bins Required for 1 days' Capacity	Recommended Chute Discharge Equipment
S	23520	3	4-Bin Carousel System	S	23520	3	4-Bin Carousel System
E	23760	3.1	4-Bin Carousel System	E	24000	3.1	4-Bin Carousel System

The above is a recommendation only and equivalent volume handling equipment may be used subject to equipment supplier's recommendation/review.

### 7.4 RESIDENTIAL WASTE DISPOSAL PROCEDURES

Each residential unit will be provided with a storage area capable of holding separate receptacles for general waste, recycling and FOGO. This is typically located within kitchen areas beneath the workbench. This space should be sized to accommodate 40L receptacles (minimum) to account for 2 days' worth of general waste, recycling and 20L for FOGO storage.

#### 7.4.1 RESIDENTIAL GENERAL WASTE AND RECYCLING DISPOSAL PROCEDURES

Dual chute systems comprising of a single general waste chute and single recycling chute will be installed in each tower. Access will be provided to all residents on each residential level.

Residents will be responsible for walking their own general waste and recycling to their allocated disposal point and placing their general waste into the general waste chute and recycling into the recycling chute.

Residents will wrap or bag their general waste before placing in the general waste chute. Bagged waste should not exceed 3kg in weight, or 35cm x 35cm x 35cm. Residents will be responsible for loosely placing their recycling into the recycling chute. Recycling should be clean and must not be bagged as soft plastics contaminate recycling.

Cardboard boxes or large containers should not be disposed of in the recycling chute. These items should be disposed of directly into the collection bins in coordination with the building manager.

The general waste will discharge from the chute into 1100L bins on a carousel and the recycling will discharge into 1100L bins on a carousel in the Chute Discharge Rooms located in basement 01.

The building manager will monitor bin capacities under the dual chute systems and exchange full bins with empty bins on the track systems when required.

Full and spare bins will be kept in the Bin Holding Room.

Refer to Council guidance for the types of materials accepted in the general waste and recycling streams.

#### **7.4.2 RESIDENTIAL FOGO DISPOSAL PROCEDURES**

The majority of organics waste generated from multi-unit residential developments (MUD's) comprises of food waste as opposed to garden waste. As such, calculations and management recommendations provided in this report considers that FOGO bins will primarily comprise of food organics.

The residents of each unit will be provided with a kitchen caddy for the separation of FOGO. Food organics must be contained in accordance with Central Coast Council's future FOGO collection service procedures (for example a compostable liner). Any clippings from residential units can also be disposed of with the FOGO.

The building will be provided with a Communal FOGO Bin Room which contains 240L bins for FOGO. The residents will be responsible for walking their own FOGO down to the Communal FOGO Bin Room and placing it into the bins.

Building management is responsible for ensuring that the Communal FOGO Bin Room and FOGO bins are washed down frequently to ensure that hygiene and odour is managed.

#### **7.5 RESIDENTIAL BIN COLLECTION PROCEDURES**

Council will be engaged to collect the residential general waste, recycling and FOGO in accordance with Council's collection schedule. This report assumes that general waste, recycling and FOGO will be collected twice weekly.

Prior to collections, the Building Manager/Caretaker will be responsible for transporting the bins from the Chute Discharge Rooms and the FOGO communal bin rooms to the allocated residential bin holding/collection point located in Basement 1. The Building Manager/Caretaker is also responsible for ensuring that the bins are adequately arranged for an efficient collection. It is recommended that additional 1100L service bins be placed under the chute to collect discharge while the other bins are being serviced.

It is the responsibility of the caretaker to ensure that the loading area is clear of any vehicles or obstructions prior to waste collection.

On the day of collection, a Council collection vehicle will enter the stage 1 site via Baker Street, and all waste will be collected from Stage 1. The Building Manager/Caretaker will be responsible for ensuring that the collection staff have access to the collection point. The collection staff will exit the vehicle and collect the bins from the bin holding room and return the empty bins once serviced.

Upon completion of servicing, the collection vehicle will exit the site onto Baker Street in a forward direction. The Building Manager/Caretaker is responsible for returning the bins to their operational location to resume use.

All access and clearances to the waste collection point must be able to accommodate a HRV per AS2890.2-2002/ Council's collection vehicle.

## **7.6 OTHER RESIDENTIAL WASTE MANAGEMENT CONSIDERATIONS**

The following sections outline other waste management considerations for the residential components.

### **7.6.1 RESIDENTIAL COMMON AREAS**

Residential common areas will be supplied with suitably branded source separation receptacles where considered appropriate. Receptacles should be placed in convenient locations which are accessible to all residents. The building manager will monitor the capacity of these receptacles and empty the contents into the central collection bins as required.

### **7.6.2 LANDSCAPED AREAS AND GARDEN ORGANICS**

Garden organics generated from landscaped areas and indoor foliage typically consists of lawn clippings, cuttings, leaves and branches.

Garden organics generated from landscaped areas will be managed and removed from the site by the designated landscaping contractors as they carry out scheduled landscaping maintenance works.

Garden organics generated from within residential units will be managed by the residents and should be disposed of into the FOGO bins.

### **7.6.3 RESIDENTIAL BULKY WASTE PROCEDURES**

An area will be made available for the storage of discarded residential bulky waste items (e.g. whitegoods, furniture, etc.). This room should be located within close proximity of the collection point and must have a minimum doorway width of 1.5m to facilitate the movement of large items in and out of the room.

Central Coast Council requires that size of the bulky waste room provided is proportional to the number of units in the building at a rate of 10m<sup>2</sup> for the first 40 units then 2m<sup>2</sup> for every 10 units thereafter.

Based on this rate, the Bulky Waste Room required for this site is 82 m<sup>2</sup>.

Residents will need to liaise with building management regarding the transportation of bulky items and the availability of the bulky waste room. It is the caretaker's responsibility to arrange collection dates with Council and coordinate these times with the residents.

On the day of bulky waste collection, a Council collection vehicle will enter the site from Baker Street. Collection staff will collect the bulky waste items from the bulky waste room. Once bulky items have been loaded onto the vehicle, the collection vehicle will exit the site onto Baker Street in a forward direction.

## 8.0 HOTEL AND RETAIL WASTE MANAGEMENT

The following section outlines best practice waste management for the hotel and retail components of the development, including waste generation estimates and waste disposal and collection procedures.

### 8.1 HOTEL AND RETAIL WASTE GENERATION ESTIMATES

The Central Coast Council DA Guidelines – Resource and Waste Management Planning has been referenced to calculate the total number of bins required for the anticipated tenants. Calculations are based on generic generation rates. Actual volumes of waste and recycling may differ in operation according to the tenants’ actual waste management practices.

The NSW EPA’s Better Practice Guide for Resource Recovery in Residential Developments (2019) has been referenced to calculate the total number of bins for the gymnasium tenancy.

The following table shows the estimated volume (L) of general waste and recycling that will be generated by the hotel and retail tenants.

Table 5: Estimated Waste and Recycling Volumes – Hotel and Retail

Tenancy Type	Premises Type	nb. of guest rooms	General Waste Generation Rate (L/guest room/day)	Generated General Waste (L/week)	Recycling Generation Rate (L/guest room/day)	Generated Recycling (L/week)	Food Waste Generation Rate (L/guest room/day)	Generated Food Waste (L/week)
Hotel	Motel*	154	10	10780	5	5390	2.5	2695
<b>TOTAL</b>		<b>154</b>		<b>10780</b>		<b>5390</b>		<b>2695</b>
<b>Bins &amp; Collections</b>			General Waste Bin Size (L)	1100	Recycling Bin Size (L)	1100	Recycling Bin Size (L)	240
			General Waste Collections per Week	3	Recycling Collections per Week	3	Recycling Collections per Week	2
			<b>Total General Waste Bins Required</b>	<b>4</b>	<b>Total Recycling Bins Required</b>	<b>2</b>	<b>Total Recycling Bins Required</b>	<b>6</b>
Tenancy Type	Premises Type	nb. of guest rooms	General Waste Generation Rate (L/guest room/day)	Generated General Waste (L/week)	Recycling Generation Rate (L/guest room/day)	Generated Recycling (L/week)	Food Waste Generation Rate (L/guest room/day)	Generated Food Waste (L/week)
Hotel Bar	Pub	271.4	50	950	50	950	12.5	237
1 day dining/kitchen	Restaurant	609.9	400	17077	280	11954	100	4269
Gym/Yoga	Gymnasium	125.7	20	176	15	132	5	44
Meeting Room	Offices	176.6	10	124	15	185	2.5	31
<b>TOTAL</b>		<b>1183.6</b>		<b>29107</b>		<b>18611</b>		<b>7277</b>
<b>Bins &amp; Collections</b>			General Waste Bin Size (L)	1100	Recycling Bin Size (L)	1100	Recycling Bin Size (L)	240
			General Waste Collections per Week	5	Recycling Collections per Week	5	Recycling Collections per Week	5
			<b>Total General Waste Bins Required</b>	<b>6</b>	<b>Total Recycling Bins Required</b>	<b>4</b>	<b>Total Recycling Bins Required</b>	<b>7</b>

\*Motel is calculated per room instead of per 100m<sup>2</sup>

### 8.2 HOTEL AND RETAIL BIN SUMMARY

Based on the estimated waste and recycling volumes generated the hotel and retail tenancies, the recommended bin quantities and collection frequencies are as follows:

#### Hotel

**General Waste:** 4 x 1100L bins collected **3 x weekly**  
**Recycling:** 2 x 1100L bins collected **3 x weekly**  
**Food Waste:** 6 x 240L bins collected **2 x weekly**

## **Retail**

<b><u>General Waste:</u></b>	6 x 1100L bins collected <b>5 x weekly</b>
<b><u>Recycling:</u></b>	4 x 1100L bins collected <b>5 x weekly</b>
<b><u>Food Waste:</u></b>	7 x 240L bins collected <b>5 x weekly</b>

Bin sizes, quantities, and/or collection frequencies may be modified by the building manager once the proposed development is operational. Building management will be required to negotiate any changes to bins or collections with the collection service provider. Seasonal peak periods should also be considered.

## **8.3 HOTEL AND RETAIL WASTE DISPOSAL PROCEDURES**

The café, bar, F&B and Gym located within the hotel, will be responsible for their general waste and recycling back of house during operations. At the end of each trading day, or as required, nominated staff or contracted cleaners will transport all general waste and recycling to the retail bin room on the Ground Level.

At the end of each trading day, or as required, nominated staff or contracted cleaners will transport all general waste and recycling from the hotel rooms and bar lounge to the waste bin room located on level 1 and place them in the appropriate collection bins. To guarantee effective waste management and disposal, staff should be informed about the following procedures:

- All general waste should be bagged, and waste bins should be plastic lined;
- Recyclables should not be bagged;
- All bar lounge waste storage is located back of house during operation;
- A suitable storage area needs to be provided and effectively bunded for chemicals, pesticides and cleaning products, if any;
- All flattened cardboard will be collected and removed to the waste room.

## **8.4 HOTEL AND RETAIL WASTE COLLECTION PROCEDURES**

A private waste contractor will be engaged to service the hotel and retail general waste and recycling bins as per an agreed collection schedule.

The Building Manager/Caretaker will be responsible for ensuring that the bins are adequately arranged for an efficient collection. It is also the responsibility of the Building Manager/Caretaker to ensure that the loading area is clear of any vehicles or obstructions prior to waste collection.

On the day of service, a private waste collection vehicle will enter the site from Vaughan Avenue and park in the loading bay. Hotel and retail bins will be taken down using a bin hoist to the basement 1 for collection. Once the bins are serviced, the collection vehicle will exit the site onto Vaughan Avenue in a forward direction.

Please note: The collection of hotel/retail bins should occur on separate days from the collection of residential bins to ensure proper segregation of waste streams.

## **8.5 OTHER HOTEL AND RETAIL WASTE MANAGEMENT CONSIDERATIONS**

Based on the types of tenancies anticipated for this development, the following waste management practices are recommended.

### **8.5.1 WASHROOM FACILITIES**

Washroom facilities should be supplied with collection bins for paper towels (if used). Sanitary bins for female restroom facilities must also be arranged with an appropriate contractor.

### **8.5.2 RE-USEABLE COMMERCIAL ITEMS**

Space will be provided back of house for the storage of re-usable commercial items such as crates, pallets, kegs and strip out waste. The building manager will be responsible for ensuring that storage of these items in public places is completely avoided.

### **8.5.3 BULKY & SPECIAL WASTE**

A room or caged area will be made available for the storage of discarded bulky items and special waste for recycling, such as e-waste and chemical waste. This room should have a minimum doorway width of 1.5m to allow for easy movement of large waste items in and out of the room. Based on the Central Coast Council requirements, it is recommended that the bulky waste room is at least 8m<sup>2</sup> for this development.

Tenants will need to liaise with building management regarding the transportation of bulky items and the availability of the bulky waste area. It is the tenant's responsibility to arrange collection dates with an appropriate contractor and coordinate these times with building management.

On the day of bulky waste collection, a collection vehicle will enter the site from Vaughan Avenue and park in the loading area. Collection staff will collect the bulky waste items from the bulky waste area. Once bulky items have been loaded onto the vehicle, the collection vehicle will exit the site onto Vaughan Street in a forward direction

### **8.5.4 LIQUID WASTE**

Liquid wastes as such cleaning products, chemicals, paints, solvents, and motor and cooking oil will be stored in a secure room and enclosed by a low wall intended to contain any liquid spillage or inundation to other areas. Liquid waste will be drained to a grease trap, in accordance with legislation and the requirements of State government authorities and agencies. Further information can be provided by the Services Consultant.

### **8.5.5 PROBLEM WASTE**

The building manager is responsible for making arrangements for the disposal and recycling of problem waste streams with an appropriate contractor. Problem wastes cannot be placed in the general waste stream as they can have adverse impacts to human health and the environment if disposed of in landfill. Retail and commercial tenants must liaise with the building manager when disposing of problem waste streams.

Problem waste streams include:

- Chemical Waste
- Liquid wastes
- Toner cartridges
- Lightbulbs
- eWaste
- Batteries

## 9.0 STAKEHOLDER ROLES & RESPONSIBILITIES

The following table outlines the primary roles and responsibilities of the respective stakeholders:

*Table 6: Stakeholder Roles and Responsibilities*

Roles	Responsibilities
Hotel Management	<ul style="list-style-type: none"> <li>Co-ordinate the waste strategy within the site.</li> <li>Ensure all waste service providers submit monthly reports on all equipment movements and waste quantities/weights.</li> <li>Organise internal waste audits/visual assessments on a regular basis.</li> <li>Purchase any on-going waste management equipment or maintenance of equipment once building is operational; and</li> <li>Manage any non-compliances/complaints reported through waste audits.</li> </ul>
Building Manager or Waste Caretaker	<ul style="list-style-type: none"> <li>Co-ordinate general waste, recycling and FOGO collections</li> <li>Clean and transport bins as required.</li> <li>Maintain and clean chute doors on each level.</li> <li>Organise replacement or maintenance requirements for bins.</li> <li>Organise, maintain and clean bin storage areas.</li> <li>Organise bulky waste collections when required.</li> <li>Investigate and ensure prompt clean-up of illegally dumped waste materials.</li> <li>Prevent storm water pollution by taking necessary precautions (secure bin rooms, prevent overfilling of bins).</li> <li>Abide by all relevant WH&amp;S legislation, regulations, and guidelines.</li> <li>Provide staff/contractors with equipment manuals, training, health and safety procedures, risk assessments, and PPE to control hazards associated with all waste management.</li> <li>Assess any manual handling risks and prepare a manual handling control plan for bin transfers.</li> <li>Ensure site safety for residents, children, visitors, staff and contractors; and</li> <li>Ensure effective signage, communication and education is provided to occupants, tenants, maintenance staff, and cleaning contractors.</li> </ul>
Residents	<ul style="list-style-type: none"> <li>Dispose of all general waste, recycling and FOGO in the allocated chutes and/or bins provided.</li> <li>Ensure adequate separation of general waste, recycling and FOGO; and</li> <li>Comply with the provisions of Council and the OWMP.</li> </ul>
Retail Tenants	<ul style="list-style-type: none"> <li>Management co-ordinates own private contractor collections.</li> <li>Manage general waste and recycling within their tenancy during daily operations.</li> <li>Correctly separate general waste and recycling streams.</li> <li>Flatten cardboard within the recycling bin.</li> <li>If required, arrange for storing used and unused cooking oil in a bunded area,</li> <li>Organise grease interceptor trap servicing, and</li> <li>Ensure the suitable storage for chemicals, pesticides and cleaning products waste back of house.</li> </ul>
Waste Collection Contractor	<ul style="list-style-type: none"> <li>Provide a reliable and appropriate bin collection service.</li> <li>Provide feedback to building managers/residents regarding contamination of recyclables; and</li> <li>Work with building managers to customise waste systems where possible.</li> </ul>
Gardening/Landscaping Contractor	<ul style="list-style-type: none"> <li>Remove all garden organics generated during gardening maintenance activities for recycling at an offsite location.</li> </ul>
Developer	<ul style="list-style-type: none"> <li>Purchase all equipment required to implement this OWMP prior to the occupation of the building to be provided to the Strata or Body Corporate.</li> </ul>

## 10.0 SOURCE SEPARATION

Better practice waste management includes the avoidance, reuse, and recovery of unwanted items, which can be achieved through source separation. The table below outlines what is typically included in various waste streams and how they can be managed. Refer to your local council for a list of accepted materials. Planet Ark can be accessed online to find other facilities that recover unwanted items.

*Table 7: Operational Waste Streams*

Waste Stream	Description	Typical Destination	Waste Stream Management
<b>General Waste</b>	The remaining portion of the waste stream that is not recovered for reuse, processing, or recycling. May include soft plastics, food scraps, polystyrene, etc.	Landfill	Waste should be bagged before placing in chutes, or in designated waste bins.
<b>Recycling</b>	A mixture of items that are commonly recycled usually segregated through a MRF. Typically include food and beverage containers (e.g. aluminium, glass, steel, hard plastics, cartons). Also included cardboard and paper products.	Resource Recovery Centre	Recycling must not be bagged, and instead should be placed loosely in the designated recycling chute.  Bulky cardboard must not be placed in any chute. Cardboard should be flattened before placing in the designated cardboard recycling bin.
<b>FOGO</b>	FOGO consists of unwanted or uneaten kitchen scraps that are easily compostable/biodegradable (e.g. vegetable peels, fruit rinds, coffee grounds) and garden organics including lawn clippings, leaves, pruning's and branches.	Composting Facility	FOGO should be bagged in compostable liners when deposited into the bins and will be collected by Council.
<b>Garden Organics</b>	Garden organics consists of unwanted organic materials that are easily biodegradable and/or compostable (e.g. lawn clippings, branches)	Resource Recovery Centre	Landscape Maintenance Contractors will remove the garden organics from site during scheduled maintenance.  Garden organics will be collected in Council or private contractor bins and removed from site.
<b>Food Waste</b>	Food waste consists of unwanted or uneaten kitchen scraps that are easily compostable/biodegradable (e.g. vegetable peels, fruit rinds, coffee grounds).	Composting facility or Landfill	Food waste can be composted on-site, off-site, or else included in the general waste stream.
<b>Electronic Waste</b>	Discarded e-waste, electronic components and materials such as computers, mobile phones, keyboards, etc.	Resource Recovery Centre	Building manager arranges collection for e-waste recycling as needed by residents. Hotel/Retail tenants arrange for recycling of their own e-waste.
<b>Bulky Waste Items</b>	Items that are too large to place into general rubbish collection. This includes disused and/or broken furniture, mattresses, white goods, etc.	Resource Recovery Centre or Landfill	Residents liaise with building manager to store in Bulky Waste Room. Building manager arranges with Council for removal. Hotel/Retail tenants are responsible for removal of their bulky items.

Waste Stream	Description	Typical Destination	Waste Stream Management
<b>Sanitary Waste</b>	Feminine hygiene waste generated from female bathrooms.	Incineration or Landfill	Sanitary bins are serviced by sanitary waste contractor.
<b>Other</b>	Other recyclable items that require special recovery may include ink cartridges, batteries, chemical waste, fluorescent tubes, etc.	Resource Recovery Facility	Building manager arranges collection by appropriate recycling services when required.

## 11.0 EDUCATION

Educational material encouraging correct separation of general waste, recycling and FOGO must be provided to each resident and hotel/retail tenant. This should include the correct disposal process for bulky waste such as old furniture, large discarded items, and other materials including electronic and chemical wastes. It is recommended that the building caretaker provide information in multiple languages to support correct behaviours, and to minimise the possibility of chute blockages and contamination in communal bins.

Education and communication must be provided consistently on a regular basis to encourage behaviour change and account for transient building personnel such as new residents, tenants, or cleaning staff. It is also recommended that the owners' corporation website contain information for residents' referral regarding use of the chute. Information should include:

- Directions on using the chute doors;
- Descriptions of items accepted in the general waste, recycling and FOGO streams (refer to Council guidance);
- How to dispose of bulky waste and any other items that are not general waste, recycling or FOGO (refer to Council guidance);
- Residents' obligations to health and safety as well as building management; and
- How to prevent damage or blockages to the chute (example below).

### 11.1 SIGNAGE

Signage and education are essential components to support best practice waste management including resource recovery, source separation, and diversion of waste from landfill.

Signage should include:

- Clear and correctly labelled bins,
- Instructions for separating and disposing of waste items. Different languages should be considered,
- Locations of, and directions to, the waste storage areas with directional signs, arrows, or lines,
- The identification of all hazards or potential dangers associated with the waste facilities, and
- Emergency contact information should there be issues with the waste systems or services in the building.

The building manager is responsible for waste room signage including safety signage. Appropriate signage must be prominently displayed on doors, walls and above all bins, clearly stating what type of waste or recyclables is to be placed in each bin.

All chute doors on all residential levels will be labelled with signs directing chute operations and use of chute door.

All signage should conform to the relevant Australian Standards.

## 12.0 POLLUTION PREVENTION

Building management shall be responsible for the following to minimise dispersion of site litter and prevent stormwater pollution to avoid impact to the environment and local amenity:

- Promoting adequate waste disposal into the bins
- Securing all bin rooms (whilst affording access to staff/contractors)
- Prevent overfilling of bins, keep all bin lids closed and bungs leak-free
- Taking action to prevent dumping or unauthorised use of waste areas
- Require collection contractor/s to clean up any spillage when clearing bins

## 13.0 BIN WASHING

The bins will be cleaned by the building manager periodically to ensure hygiene and minimise odour.

Bin washing can occur within the bin rooms, using the room clean down facilities (i.e tap connection and drain). Alternatively, a specialist bin washing contractor can be engaged to clean the bins to an agreed schedule. The specialist bin contractor would collect the bins from the bin holding area and clean the bins with their specialised vehicle.

## 14.0 BIN MOVING PATHS

The building manager is responsible for the transportation of bins from their designated operational locations to the collection area, returning them once emptied to resume operational use.

Any movement of bins should minimise manual handling where possible, as bins become heavy when full. The building manager must assess manual handling risks and provide any relevant documentation to key personal.

The routes along the bin moving path should;

- Allow for a continuous route that is wholly within the property boundary.
- Be free from obstruction and obstacles such as steps and kerbs.
- Be constructed of solid materials with a non-slip surface
- Be A minimum of 300mm wider than the largest bin used onsite.
- If bins are moved manually, the route must not exceed a grade of 1:14.
- If a bin moving device is used, the route cannot exceed the maximum operating grade of the device. This is typically a grade of 1:4, however this will vary depending on the model of bin moving device acquired for the site.

As the bins are intended to be moved up the vehicle ramp/As the distance of the bin moving paths exceeds 10m, a bin moving device will be required to aid the movement of full bins. The developer is responsible for supplying all equipment required for moving bins this includes any bin lifters, bin moving devices and waste transfer bins. This equipment must be new and appropriate for the site. The developer should contact a bin-tug, trailer or tractor consultant to provide equipment recommendations.

Once the site is operational (and the developers is no longer involved) the building proprietors/strata will be responsible for maintaining, repairing and replacing waste management equipment.

Bins may have to be fitted with hitches to enable the simultaneous transportation of multiple bins to the collection area. Council must be informed of any hitch attachments required to be installed on bins.

## 15.0 EQUIPMENT SUMMARY

*Table 8: Equipment Summary*

	Part	Qty	Notes
Chutes	Please refer to supplier's information	2	(See APPENDIX: B.1 for Typical Dual Chute Layout)
Chute Equipment	Waste 4-bin 1100L MGB Carousel	2	(See APPENDIX B.2 for Typical Carousel)
	Recycling 4-bin 1100L MGB Carousel	2	
Other Equipment	Suitable Bin Moving Equipment	2	(See APPENDIX: D.1 and APPENDIX: D.2 for Typical Bin Movers)

## 16.0 WASTE ROOMS

The areas allocated for waste storage and collection areas are detailed in the table below and are estimates only.

The equipment recommended in the chute discharge rooms is to manage 1 days' worth of estimated general waste and recycling from that building core. Therefore, this represents the minimum equipment required in these rooms to satisfy best practice requirements. Additional bins or volume handling equipment can be included in these rooms to increase days of capacity or manual labour required in operation.

Table 9: Waste Room Areas

Level	Waste Room Type	Equipment	Actual Area Provided (m <sup>2</sup> )
B1	Chute Discharge Room – Tower S	<b>General waste:</b> 1x4-1100L bin carousel <b>Recycling:</b> 1x4-1100L bin carousel <b>Service bins:</b> 1x1100L bins	57.8
B1	FOGO Bin Room – Tower S	21 x 240L bins	51.9
B1	Chute Discharge Room – Tower E	<b>General waste:</b> 1x4-1100L bin carousel <b>Recycling:</b> 1x4-1100L bin carousel <b>Service bins:</b> 1x1100L bins	55.5
B1	FOGO Bin Room – Tower E	21 x 240L bins	36
B1	Residential Bin Holding Room	<b>General waste:</b> 22 x 1100L bins <b>Recycling:</b> 22 x 1100L bins <b>FOGO:</b> 42 x 240L bins	93.4
B1	Bulky Waste Room		65.9
Ground Level	Retail Bin Room	<b>General waste:</b> 6 x 1100L bins <b>Recycling:</b> 4 x 1100L bins <b>Food waste:</b> 7 x 240L bins	62.42
Level 1	Hotel Room	<b>General waste:</b> 4 x 1100L bins <b>Recycling:</b> 2 x 1100L bins <b>Food waste:</b> 6 x 240L bins	26.3
Level 1	Hotel Bulky Waste Room		9.4

EFC recommends bins sizes, collection frequencies and/or equipment for best practice waste management at this site, however EFC also acknowledges there are a range of other suitable options that may alter waste room requirements (e.g. floor area, accessibility, head height, etc.)

The waste room areas have been calculated based on equipment requirements and/or bin dimensions with an additional 70% of bin GFA factored in for manoeuvrability.

In addition, all doorways and passageways facilitating the movement of bins and/or bulky waste items must be at least 1500mm wide.

The following table provides further waste room requirements.

Table 10: Waste Room Requirements

Waste Room Type	Waste Room Requirements
Chute Discharge Room	<ul style="list-style-type: none"> <li>• Ceiling clearance height must be a minimum of 3000mm (subject to penetration location)</li> <li>• The chute penetration must have a minimum 500mm clearance of any service pipes or other overhead obstacles</li> <li>• All chute discharge points should be caged off to ensure the safety of any personnel accessing the waste room</li> <li>• 200mm clearance is required around compaction equipment</li> <li>• Where a chute offset is required, the angle of the offset must not exceed 30 degrees (subject to number of consecutive offset and/or up to 1500mm)</li> </ul>
Residential Bin Holding Room and/or Bin Collection Area	<ul style="list-style-type: none"> <li>• Bins must not be stacked in rows that are more than two bins deep.</li> </ul>
Communal FOGO Rooms	<ul style="list-style-type: none"> <li>• Bins should be arranged so that all bins are accessible. Bins are not to be placed in front of one another or in such a way as to restrict access to the other bins for use.</li> <li>• Rooms must be well ventilated either naturally or mechanically in accordance with AS1668.4.2012</li> <li>• Cleaning facilities such as hose hock and drainage for odour and hygiene control must be provided.</li> <li>• It is recommended a dustpan and broom is provided in this room for residents to clean up unexpected spillages when using bins.</li> </ul>
Bulky Waste Room	<ul style="list-style-type: none"> <li>• May be a dedicated room or screened area within another waste room</li> <li>• Must be in close proximity to the collection area</li> <li>• Area must also be allocated for the segregation of e-waste, gas bottles, cardboard, etc.</li> <li>• Doorway should be a minimum of 1500mm wide</li> </ul>
Retail/Commercial Bin Room	<ul style="list-style-type: none"> <li>• In order to ensure staff safety, all bins should be arranged so they can be accessed without moving another bin</li> <li>• Bins must be coordinated with the hinge of the lid facing the back. This is to allow for ideal access to the bin.</li> </ul>

## 17.0 CONSTRUCTION REQUIREMENTS

Waste room construction must comply with the minimum standards as outlined in the *Central Coast Development Control Plan 2022*, in order to minimise odours, deter vermin, protect surrounding areas, and make it a user-friendly and safe area.

The *NSW Better practice guide for resource recovery in residential developments (2019)* also states that better practice bin storage areas should achieve more than the minimum compliance requirements, which are as follows:

- Ensuring BCA compliance, including ventilation. Where required, ventilation system must comply with AS1668.4-2012 The use of ventilation and air conditioning in buildings.
- Ensuring storage areas are well lit (sensor lighting preferred) and have lighting available 24 hours a day.
- Provision of bin washing facilities, including taps for hot and cold water provided through a centralised mixing valve. The taps must be protected from bins and be located where they can be easily accessed even when the area is at bin capacity.
- Floor constructed of concrete at least 75mm thick.
- Floor graded so that any water is directed to a sewer authority approved drainage connection to ensure washing bins and/or waste storage areas do not discharge flow into the stormwater drain.
- Provision of smooth, cleanable and durable floor and wall surfaces that extend up the wall to a height equivalent to any bins held in the area.
- Ensuring ceilings are finished with a smooth-faced non-absorbent material capable of being cleaned.
- All surfaces (walls, ceiling and floors) finished in a light colour.

### 17.1 ADDITIONAL CONSIDERATIONS

- Waste room floor to be sealed with a two-pack epoxy;
- All corners coved and sealed 1,200mm up, this is to eliminate build-up of dirt;
- Hot and cold water tap height and light switch height of 1.6m;
- Storm water access preventatives (grate);
- All walls painted with light colour and washable paint;
- Equipment electric outlets to be installed 1700mm above finished floor level;
- Optional automatic odour and pest control system installed
- If 660L or 1100L bins are utilised, 2 x 820mm (minimum) double-doors must be used;
- All personnel doors are hinged, lockable and self-closing;
- Conform to the Building Code of Australia, Australian standards and local laws; and
- Childproofing and public/operator safety shall be assessed and ensured
- Waste and recycling rooms must have their own exhaust ventilation system either;
  - Mechanically - exhausting at a rate of 5L/m<sup>2</sup> floor area, with a minimum rate of 100L/s minimum. Mechanical exhaust systems shall comply with AS1668.4.2012 and not cause any inconvenience, noise or odour problem; or
  - Naturally - permanent, unobstructed, and opening direct to the external air, not less than one-twentieth (1/20) of the floor area.

## 18.0 ASSESSMENT OF IMPACTS

The site is located within a mixed-use, high-density precinct where waste movements, noise, traffic and odour must be carefully managed to protect local amenity. The proposed system has been designed in accordance with all relevant legislation, including the Central Coast DCP 2022, NSW waste guidelines and applicable planning and environmental requirements, ensuring compliant bin storage, chute infrastructure, collection areas and operational procedures. The technical assessment confirms that all anticipated waste streams can be accommodated within the allocated rooms and equipment without exceeding capacity, and that no serious, irreversible or unacceptable impacts are expected.

The proposal's impacts on existing surrounding development—including traffic movements, access, and amenity—are minimal due to enclosed waste rooms, controlled collection arrangements and the separation of residential and commercial collections. Likewise, the impacts of surrounding development on the proposal have been considered, with adequate capacity, ventilation and operational controls incorporated to ensure that external activities do not compromise waste management performance on-site.

The development has been considered within the wider Gosford City Centre, where multiple mixed-use projects contribute to overall waste generation and servicing demands. All waste collections for this site occur internally within the loading bay, avoiding kerbside presentation and preventing cumulative congestion on Vaughan Avenue and surrounding streets.

Residential and commercial collections are separated to reduce peak impacts, and traffic movements are contained within designated service areas. Amenity impacts, such as odour, noise and overflow, are minimised through sealed and ventilated waste rooms, adequate bin capacity and ongoing building management procedures.

Overall, the cumulative impacts of the development's waste operations are expected to be low to negligible and effectively managed through the proposed design and servicing arrangements.

## 19.0 MITIGATION MEASURES

Project Stage Design (D), Construction (C), Operation (O)	Mitigation measure	Reason for mitigation measure	Relevant section of report
O	Waste generation rates will be monitored, and bin capacities will be adjusted based on actual data to meet operational needs	To ensure waste management remains efficient.	Section 7.1
O	Separate bins for general waste and recycling will be provided in designated areas and collected as per the agreed schedule with the waste service provider.	To ensure higher recycling rates	Section 7.4, Section 7.5, Section 7.6.3
O	Source separation bins for different waste streams, including food waste and recyclables, will be strategically located throughout the school.	To promote waste diversion from the landfill and increase recycling.	Section 10
O	Bins will be regularly cleaned either onsite using bin washing facilities or by engaging specialist contractors.	To maintain hygiene and minimize odors in waste storage areas.	Section 13
D	Waste storage areas will be designed and maintained to ensure ease of access, proper ventilation, and compliance with safety standards.	To provide safety and efficiency for waste storage and collection.	Section 16
D, C	Design and construction of waste storage areas shall comply with NSW Better Practice Guide (2019), and relevant standards (e.g., AS1668.4-2012 and BCA). Requirements to include proper ventilation, lighting, smooth and durable surfaces and sewer-approved drainage connections.	To minimize odors, deter vermin, ensure safety and maintain hygiene	Section 17
D, C, O	All designs and requirements included shall comply with the OWMP	To avoid adverse impacts on the environment	OWMP

## 20.0 CONCLUSION

The waste management approach for this development establishes a robust, compliant system for handling all operational waste streams. It provides sufficient capacity, enables practical and efficient source separation, and integrates design and management measures to reduce odour, noise, and traffic impacts.

When the recommended mitigation actions are implemented, the waste impacts of the development are considered acceptable, and the proposed waste strategy is appropriate for approval.

## 21.0 USEFUL CONTACTS

EFC does not warrant or make representation for goods or services provided by suppliers.

### LOCAL COUNCIL

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Central Coast Customer Service      Ph: (02) 4306 7900

### PRIVATE WASTE COLLECTION PROVIDER

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Capital City Waste Services	Ph: 02 9599 9999	E: <a href="mailto:service@ccws.net.au">service@ccws.net.au</a>
Sydney Waste	Ph: 02 8661 0031	
Waste Clear	Ph: 1300 525 352	E: <a href="mailto:admin@wasteclear.com.au">admin@wasteclear.com.au</a>

### BIN MOVING DEVICE SUPPLIERS

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Elephants Foot Equipment	Ph: 1300 435 374	E: <a href="mailto:equipment@elephantsfoot.com.au">equipment@elephantsfoot.com.au</a>
Sitecraft	Ph: 1300 363 152	E: <a href="mailto:sales@sitecraft.com.au">sales@sitecraft.com.au</a>

### BALER SUPPLIERS

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Elephants Foot Equipment	Ph: 1300 435 374	E: <a href="mailto:equipment@elephantsfoot.com.au">equipment@elephantsfoot.com.au</a>
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### ORGANIC DIGESTERS AND DEHYDRATORS

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Elephants Foot Equipment	Ph: 1300 435 374	E: <a href="mailto:equipment@elephantsfoot.com.au">equipment@elephantsfoot.com.au</a>
Waste Master	Ph: 1800 614 272	E: <a href="mailto:hello@wastemasterpacific.com.au">hello@wastemasterpacific.com.au</a>

### COOKING OIL CONTAINERS AND DISPOSAL

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Cookers	Ph: 1300 882 299	E: <a href="mailto:info@cookers.com.au">info@cookers.com.au</a>
Auscol	Ph: 1800 629 476	E: <a href="mailto:sales@auscol.com">sales@auscol.com</a>

### ODOUR CONTROL

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Elephants Foot Equipment	Ph: 1300 435 374	E: <a href="mailto:equipment@elephantsfoot.com.au">equipment@elephantsfoot.com.au</a>
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### SOURCE SPERATION BINS

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Method Recycling	Ph: 0499 890 455
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### BINS AND BIN EQUIPMENT

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Elephants Foot Equipment	Ph: 1300 435 374	E: <a href="mailto:equipment@elephantsfoot.com.au">equipment@elephantsfoot.com.au</a>
SULO	Ph: 1300 364 388	E: <a href="mailto:sulosales@pactgroup.com">sulosales@pactgroup.com</a>

### CHUTES, COMPACTORS AND EDIVERTER SYSTEMS

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Elephants Foot Chute Solutions	Ph: 1300 435 374	E: <a href="mailto:chutes@elephantsfoot.com.au">chutes@elephantsfoot.com.au</a>
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## APPENDIX A: ARCHITECTURAL PLANS

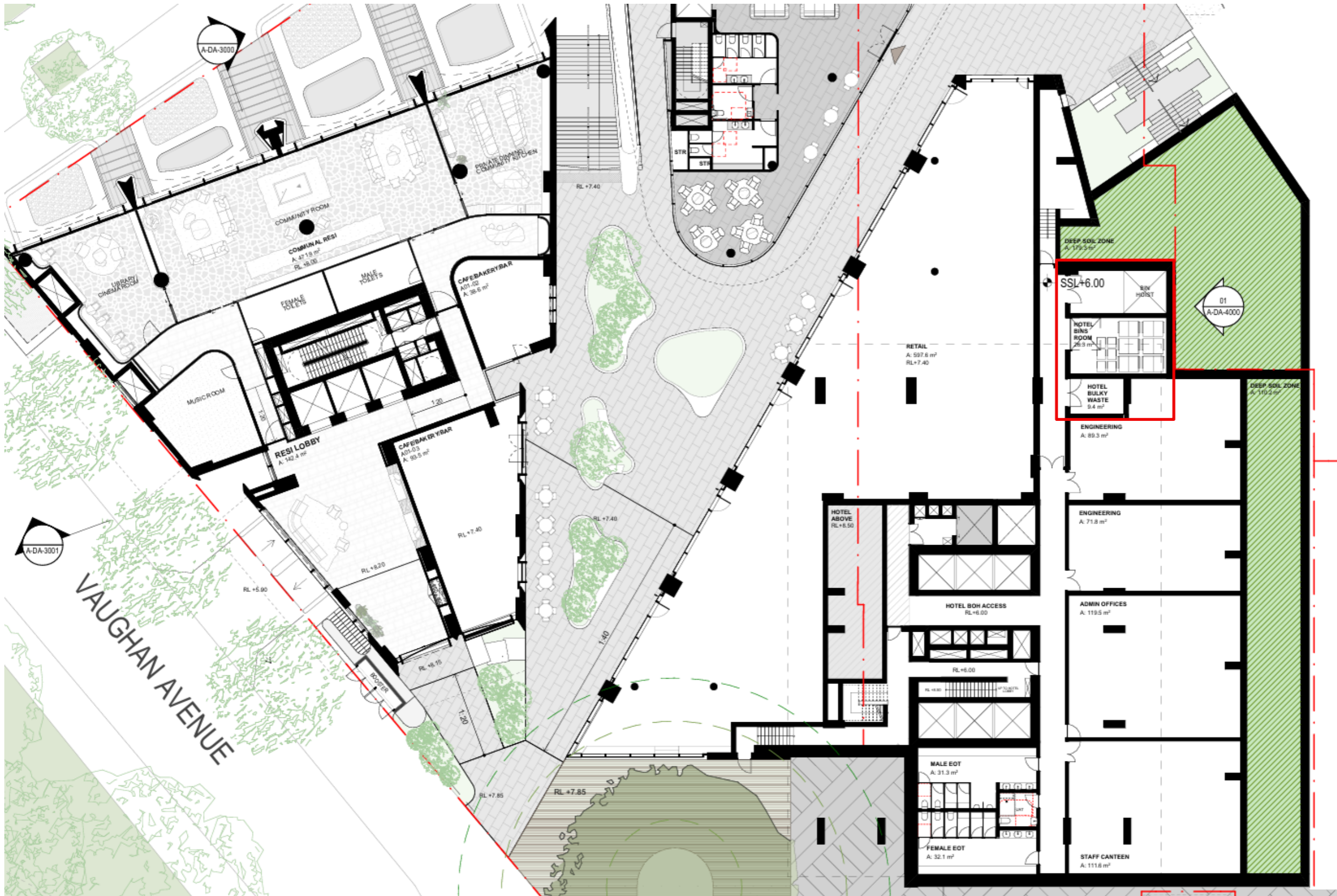
APPENDIX: A.1 BASEMENT PLAN



Source: DKO and Furtado Sullivan, Date: 12/12/2026, Drawing No. DA2003, Revision: 09, Basement 01



APPENDIX: A.3 LEVEL 1 PLAN



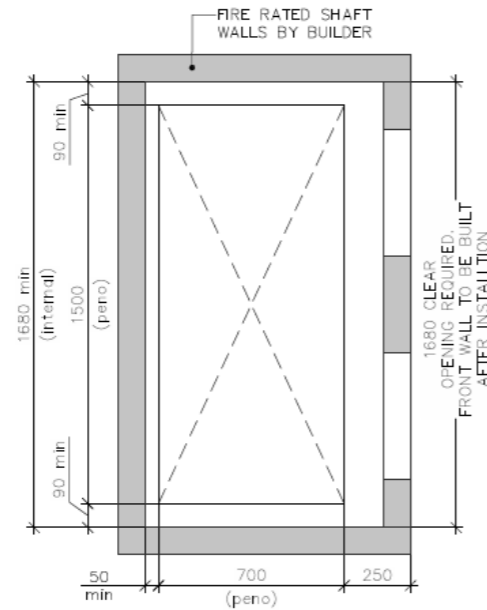
Source: DKO and Furtado Sullivan, Date: 12/12/2026, Drawing No. DA2005, Revision:9, Level 1

## APPENDIX B: INSTALLATION EQUIPMENT

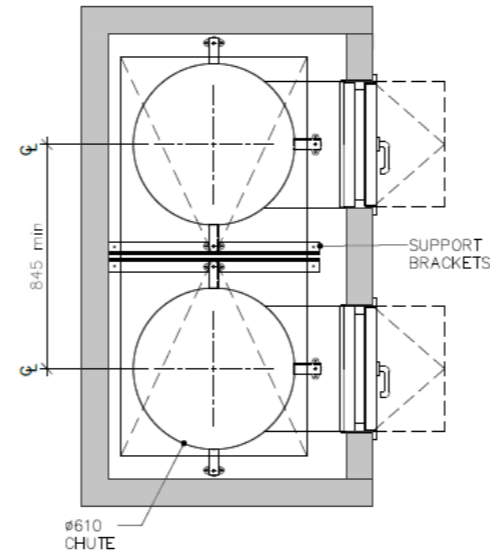


## CHUTE SHAFT & PENETRATION SET-OUT

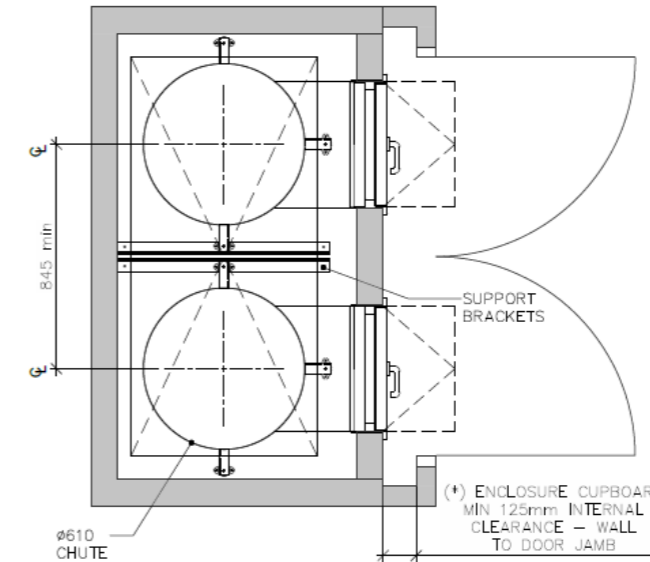
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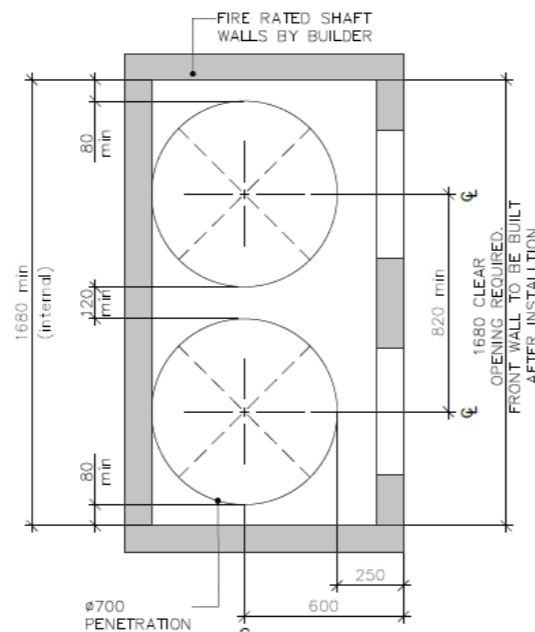
01 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT PENETRATION SET-OUT



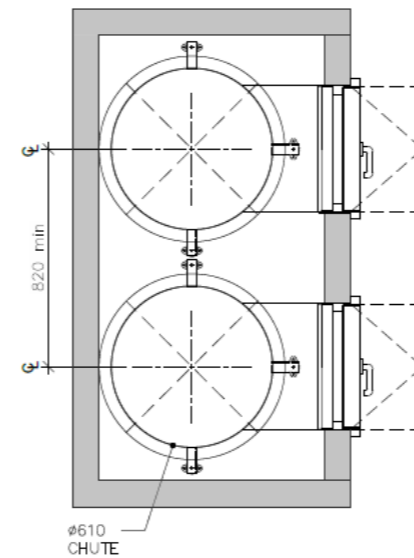
02 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT



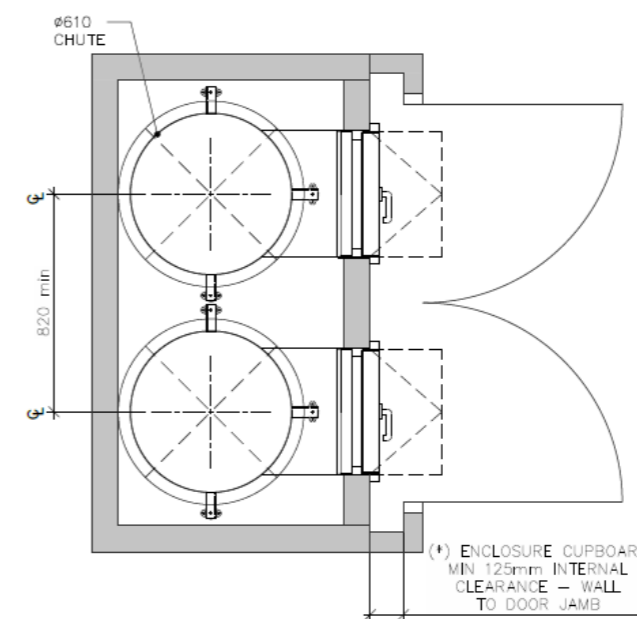
03 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT with ENCLOSURE CUPBOARD (\*)



04 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT WITH CIRCULAR PENETRATION SET-OUT



05 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT (W/ CIRCULAR PENETRATION)




06 DUAL (610Ø) GALV. STEEL CHUTE LAYOUT with ENCLOSURE CUPBOARD (\*)

(\*) NOTE: ENCLOSURES ARE RECOMMENDED IF THE CHUTE OPENS DIRECTLY TO A CORRIDOR OR IS NOT LOCATED IN A WASTE ROOM. IF CHUTE ACCESS IS WITHIN A WASTE ROOM THEN THE CUPBOARD ENCLOSURES ARE NOT REQUIRED.

SCALE 1:25 @ A3

Please Note: This is an example only – please refer to supplier's information and specification.

APPENDIX: B.2 EXAMPLE CAROUSEL SYSTEM FOR 1100L MGBS



ELEPHANTS FOOT RECYCLING SOLUTIONS  
44-46 GIBSON AVE. PADSTOW NSW 2211  
E info@elephantsfoot.com.au W elephantsfoot.com.au  
Free Call: 1300 4 ELEPHANT (1300 435 374)

# 1100 LITRE CAROUSEL SYSTEM

## PRODUCT INFORMATION

Elephants Foot 1100 Litre bin Carousel System is a versatile waste handling solution for many types of multi-storey or multi-level developments. The Carousel System collects waste or recycling being disposed from the floors above through the chute system, discharging the material via a hopper that feeds the bins positioned on the unit. Electromechanically driven with automated operation, the Carousel System automatically replaces full bins by a revolving circular platform. Once all the bins on the system are filled, an indicator light will illuminate signifying that the bins are ready for withdrawal and collection. Available with or without compaction unit, our standard 660litre bin Carousel System is available in standard 2, 3 or 4 bin options. Our 5 Bin option is available as a special order.



### SPECIFICATIONS

System Control	Electric PLC
Power Supply	415 V AC / 10A / 5 PIN
Motor Size (kW)	0.37
Maximum bin load	440 kg
Noise (dBA)	<85
Bin Size (L)	660
Cycle time (sec)	60
Bin Quantity options	2, 3, 4 or 5

### STANDARD FEATURES & BENEFITS

- Simple operation with user friendly controls
- Increased waste servicing efficiency for the development.
- Automatic system control with manual override
- Robust unit construction for long performance life
- Low service and maintain costs
- Rotating flashing beacon (activated during operation)
- Quiet and efficient system operation
- Maximise safety for residents, caretakers and collectors
- Restrained design with minimal moving parts
- Can suit low ceiling clearances
- Floor contact components fully galvanised steel
- Retro fitting options to suit other chutes systems
- Compliant with relevant Building Codes and Standards
- Standard 12 month warranty

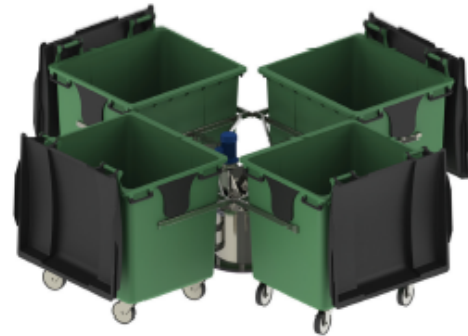
### OPTIONAL EXTRAS

- Compaction unit – Please refer to the bin compactor product information sheet for details and specifications
- Enhanced safety add on's - Interlocking barriers, occupancy sensors or safety light curtains (presence sensing light barriers)
- Full bin SMS and email notification
- CMMS and BMS integration
- Extend warranty – Terms and conditions apply

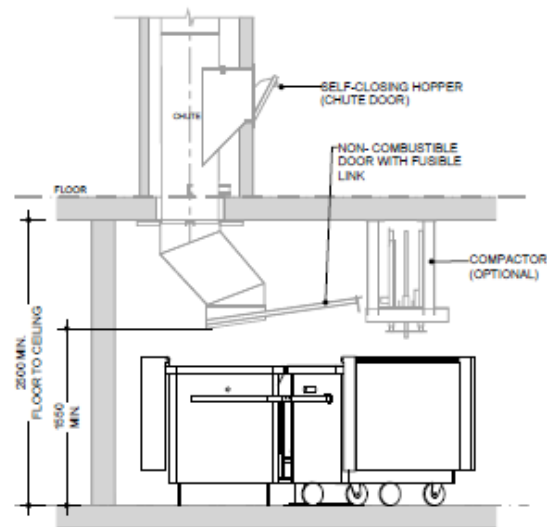
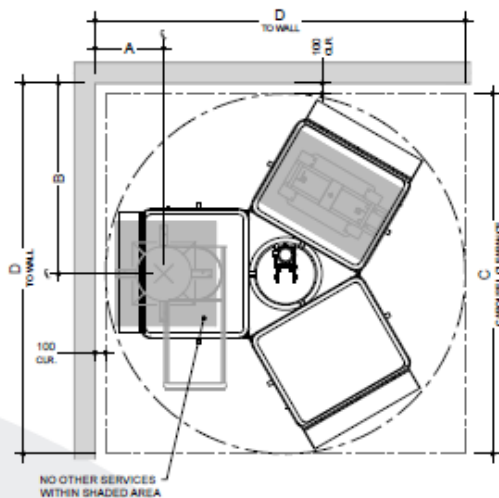


# 1,100 LITRE CAROUSEL SYSTEM

No. of Bins	Reference (mm)			
	A	B	C	D
2	650	1700	3200	3350
3	650	1850	3480	3800
4	650	2050	3940	4050



Available with or without compaction unit, our standard 1100 litre bin Carousel System is available in standard 2, 3 or 4 bin options. Our 5 Bin option is available as a special order.



**Notes:**

Bins not provided by Elephants Foot

Drawings shown are for general information purposes only and provide minimum equipment special requirements for waste room design.

These drawings are not intended for site specific use or for construction. Each project is unique and will be designed to suit.

Additional equipment options, systems and configurations are available. For design assessment, information and advice, please contact an Elephants Foot design consultant on 1300 435 374

*Please Note: This is an example only – please refer to supplier's information and specification*

## APPENDIX C: PRIMARY WASTE MANAGEMENT PROVISIONS

## APPENDIX: C.1 TYPICAL BIN SPECIFICATIONS


### Mobile bins

Mobile bins come in a variety of sizes and are designed for lifting and emptying by purpose-built equipment.

Mobile bins with capacities of up to 1700L must comply with *AS4123.6-2006 Mobile waste containers* which specifies standard sizes and sets out the colour designations for the bodies and lids of mobile waste containers indicating the type of materials they are used to collect.

The most common bin sizes are provided below, although not all sizes are shown. The dimensions are a guide only and differ slightly between manufacturers. Some bins have flat or domed lids and are used with different lifting devices. Refer to *AS4123.6-2006* for further details.

**Table G1.1: Average dimension ranges for two-wheel mobile bins**




Bin capacity	80L	120L	140L	240L	360L
Height (mm)	870	940	1065	1080	1100
Depth (mm)	530	530	540	735	820
Width (mm)	450	485	500	580	600
Approximate footprint (m <sup>2</sup> )	0.24	0.26–0.33	0.27-0.33	0.41–0.43	0.49
Approximate weight (kg)	8.5	9.5	10.4	15.5	23
Approximate maximum load (kg)	32	48	56	96	Not known

**Wheelie bin**

Sources include Sulo, Single Waste, Cleanaway, SUEZ, just wheelie bins and Perth Waste for two-wheel mobile bins

**Table G1.2: Average dimension ranges for four-wheel bulk bins**



Bin capacity	660L	770L	1100L	1300L	1700L
Height (mm)	1250	1425	1470	1480	1470
Depth (mm)	850	1100	1245	1250	1250
Width (mm)	1370	1370	1370	1770	1770
Approx footprint (m <sup>2</sup> )	0.86–1.16	1.51	1.33–1.74	2.21	2.21
Approx weight (kg)	45	Not known	65	Not known	Not known
Approx maximum load (kg)	310	Not known	440	Not known	Not known

**Dome or flat lid container**

Sources include Sulo, Signal Waste, Cleanaway, SUEZ, Just Wheelie Bins and Perth Waste

Source: *Better Practice Guide For Resource Recovery In Residential Developments 2019, NSW Environmental Protection Authority*

## APPENDIX: C.2 SIGNAGE FOR WASTE AND RECYCLING BINS

### Waste signs

Signs and educational materials perform several functions including:

- informing residents why it is important to recover resources and protect the environment
- providing clear instructions on how to use the bins and services provided
- alerting people to any dangers or hazards within the bin storage areas.

All waste, recycling and organic bins should be Australian Standard colours and clearly and correctly labelled, such as by a sticker on the lid and/or the body of the bin.

Communal bin storage areas should be clearly signposted with signs outlining how to correctly separate waste into the bins provided. The local council responsible for waste services may be a good source of signs and posters and can advise on what signs are suitable.

Information on who to contact to find out more about the recycling and/or other resource recovery services in the building should also be displayed in communal areas, such as on a noticeboard.

The Planet Ark website also has resources available free of charge for use by businesses and councils. These signs can be found at [businessrecycling.com.au/research/signage.cfm](http://businessrecycling.com.au/research/signage.cfm)

Figure I1.1: Examples of waste wall posters (EPA supplied)



Figure I1.2: Examples of bin lid stickers (EPA supplied)



Source: *Better Practice Guide For Resource Recovery In Residential Developments 2019*, NSW Environmental Protection Authority

## Problem waste signs

The EPA has also produced a range of images and signs that can be used for problem wastes, such as fluoro globes and tubes, household and car batteries, e-waste and smoke detectors. To access these resources, contact the NSW EPA. Some examples are shown below.

Figure I2.1: Problem waste signs



## Safety signs

The use of safety signs for waste resource recovery rooms must comply with *AS1319 Safety signs for occupational environments*. Safety signs must be used to regulate and control safety related to behaviour, warn of hazards and provide emergency information, including fire protection information. Suitable signs should be decided for each development as required.

Figure I3.1: Example safety signs



Source: *Better Practice Guide For Resource Recovery In Residential Developments 2019*, NSW Environmental Protection Authority

## APPENDIX: C.3 EXAMPLE COLLECTION VEHICLE INFORMATION

### General

Appropriate heavy rigid vehicle standards should be incorporated into the road and street designs in new developments where onsite collections are proposed. Road and street designs must comply with relevant Acts, regulations, guidelines, and codes administered by Austroads, Standards Australia, NSW Roads and Maritime Services, WorkSafe NSW and any local council traffic requirements.

Applicants and building designers should consult with councils and other relevant authorities before designing new roads or streets and access points for waste collection vehicles to establish specific design requirements.

**Table H4.1: Australian Standards for turning circles for medium and heavy rigid class vehicles**

Vehicle class	Overall length (m)	Design width (m)	Design turning radius (m)	Swept circle (m)	Clearance (travel) height (m)
Medium rigid vehicle	8.80	2.5	10.0	21.6	4.5
Heavy rigid vehicle	12.5	2.5	12.5	27.8	4.5

Source: *Better Practice Guide For Resource Recovery In Residential Developments 2019*, NSW Environmental Protection Authority

### Large collection vehicles

Waste collection vehicles may be side-loading, rear-loading, front-lift-loading, hook or crane lift trucks. Vehicle dimensions vary by collection service, manufacturer, make and model. It is not possible to provide definitive dimensions, so architects and developers should consult with the local council and/or contractors.

The following characteristics represent typical collection vehicles and are provided for guidance only. Reference to *AS2890.2 Parking facilities: off-street commercial vehicle facilities* for detailed requirements, including vehicle dimensions, is recommended.

**Table B2.1: Collection vehicle dimensions**

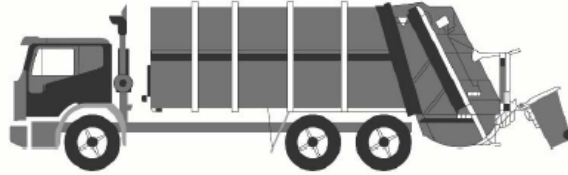
Vehicle type	Rear-loading	Side-loading*	Front-lift-loading	Hook truck	Crane truck
Length overall (m)	10.5	9.6	11.8	10.0	10.0
Width overall (m)	2.5	2.5	2.5	3.0	2.5
Travel height (m)	3.9	3.6	4.8	4.7	3.8
Operational height for loading (m)	3.9	4.2	6.5	3.0	8.75
Vehicle tare weight (t)	13.1	11.8	16.7	13.0	13.0
Maximum payload (t)	10.0	10.8	11.0	14.5	9.5
Turning circle (m)	25.0	21.4	25.0	25.0	18

\* The maximum reach of a side arm is 3 m.

Sources: JJ Richards, SUEZ, MacDonald Johnson, Cleanaway, Garwood, Ros Roca, Bingo and Edbro. Figures shown represent the maximum dimensions for each vehicle type.

### Rear-loading collection vehicles

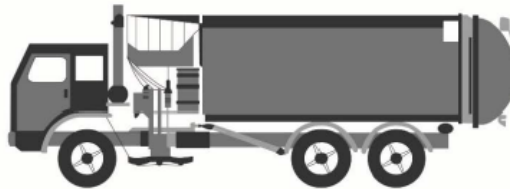
These vehicles are commonly used for domestic waste collections from MUDs and RFBs and sometimes for recycling. They can be used to collect waste stored in mobile bins or bulk bins, particularly where bins are not presented at the kerbside. They are also used for collecting bulky waste.



Rear-loading waste collection vehicle

### Side-loading collection vehicles

This is the most commonly used vehicle for domestic waste, recycling and organics collections. It is only suitable for collecting mobile bins up to 360L in capacity.



Side-loading waste collection vehicle

### Front-lift-loading collection vehicles

These vehicles are commonly used for collecting commercial and industrial waste. They can only collect specially designed front-lift bulk bins and not mobile bins.



Front-lift-loading waste collection vehicle

### Small collection vehicles

Typically, councils and their contractors operate with large collection vehicles (heavy rigid class vehicles) because they carry greater payloads and allow for more cost-effective collection services. Some councils, or their contractors, may have smaller collection vehicles in their fleet. Early discussion with the council is important to confirm this, but it should not be assumed that the council will have access to small collection vehicles.

The waste management systems and the location of the collection point should always be designed so that the council can provide the standard domestic waste service.

Source: *Better Practice Guide For Resource Recovery In Residential Developments 2019*, NSW Environmental Protection Authority

## **APPENDIX D: SECONDARY WASTE MANAGEMENT PROVISIONS**

APPENDIX: D.1 EXAMPLE HANDHELD BIN MOVERS

**moveXX**  
smart electric tugs

**MOVEXX T2500**  
BIN MOVER BATTERY ELECTRIC

MoveXX T2500 Tow Tug is an extremely user friendly battery powered mobile towing unit that is ideal for applications where trolleys and rolling objects need to be moved from one place to another simply, efficiently and without physical effort. Some standard features included are: battery indicator, on board battery charger, battery, adjustable handle, dual speed and electric brake.

These units are fitted with an electromagnetic brake system for use on ramps and slopes

**Features**

- Electromagnetic brake for use on ramps and slopes
- Adjustable height handle



SPECIFICATION				
MODEL	DIMENSIONS (MM)	OPTIONS	PULL - PUSH CAPACITY (KG)	BATTERY
T2500-D	511 (w) x 757 (l)	* Centre mount 2x 240 lt. wheelie bin attachment	<b>2500</b>	AGM batteries 2x 85AH up to 8 hrs continuous operation
TOWING CAPACITY - ON FLAT GROUND ( all models)			TOWING CAPACITY - SLOPE ( all models)	
Towing up to 4x 660 lt. Wheelie Bin			Towing up to 2x 660 lt. Wheelie Bin Up / Down maximum 25% (1:4 slope)	
Towing up to 4x 1100 lt. Wheelie Bin			Towing up to 1x 1100 lt. Wheelie Bin Up / Down maximum 25% (1:4 slope)	
**Electromagnetic brake for use on ramps and slopes				



Please Note: This is an example only – please contact supplier for specific recommendations.

Source: Sitecraft - [www.sitecraft.net.au](http://www.sitecraft.net.au)

APPENDIX: D.2 EXAMPLE SEATED BIN MOVERS



## MOTREC MT180

### 36V BATTERY ELECTRIC BIN MOVER

This hardworking tow device delivers outstanding performance. With its efficient motor and 4,500kg push-pull capacity. The MT180 is ideal for moving bin trailer also narrow enough to fit through most door openings. From its all-steel construction to its all-wheel braking, this tow tractor is built for years of heavy use in total comfort and safety. All this combined with superior AC technology makes short work of tough requests.

**Features**

- Front & rear brakes
- Pneumatic Tyres
- Comfortable ergonomic adjustable seat
- Complete with headlight, break lights, tailing lights & horn



SPECIFICATION				
MODEL	DIMENSIONS (MM)	OPTIONAL EXTRAS	PULL - PUSH CAPACITY (KG)	BATTERY
MT180 36V	760 (w) x 2030 (l) x 1160 (h)	Flashing light on pole Conditional registration kit Cabin includes windscreen Weather Curtains	<b>4500</b>	48V TPPL battery pack, 157AH

**TOWING CAPACITY - ON FLAT GROUND / SLOPE ( all models) ( all models)**

Towing up to 5x 660 lt. Wheelie Bin Up / Down maximum 25% (1:4 slope)

Towing up to 4x 1100 lt. Wheelie Bin Up / Down maximum 25% (1:4 slope)



*Please Note: This is an example only – please contact supplier for specific recommendations.*

Source: Sitecraft - [www.sitecraft.net.au](http://www.sitecraft.net.au)

## APPENDIX: D.3 EXAMPLE BIN TRAILERS



### BIN TRAILER WITH ALUMINUM RAMP

Bin trailer suitable for moving 240lt, 660lt and 1,100lt bins including a 1200mm rear ramp complete with locking latches and gas strut assist. Height draw bar fitted with a jockey wheel large pneumatic tyres with precision bearing hubs



#### SPECIFICATION

MODEL	DIMENSION (MM)	SUITABLE FOR MOVING	PART NUMBERS	REAR RAMP DIMENSION (MM)
4x Bins Trailer	Internal - 1560 (l) x 1200 (w)	<b>4x 240lt.</b> Wheelie Bin	78811604	1200mm rear ramp complete with positive locking and gas strut assist
	External - 2300 (l) x 1500	<b>2x 660lt.</b> Wheelie Bin		
		<b>1x 110lt.</b> Wheelie Bin		
6x Bins Trailer	Internal - 2350 (l) x 1200 (w)	<b>6x 240lt.</b> Wheelie Bin	78811065	1200mm rear ramp complete with positive locking and gas strut assist
	External - 3100 (l) x 1500 (w)	<b>3x 660lt.</b> Wheelie Bin		
		<b>2x 1100lt.</b> Wheelie Bin		
8x Bins Trailer	Internal - 3200 (l) x 1200 (w)	<b>8x 240lt.</b> Wheelie Bin	78811066	1200mm rear ramp complete with positive locking and gas strut assist
	External - 3900 (l) x 1500 (w)	<b>4x 660lt.</b> Wheelie Bin		
		<b>3x 1100lt.</b> Wheelie Bin		
10x Bins Trailer	Internal - 3900 (l) x 1200 (w)	<b>10x 240lt.</b> Wheelie Bin	78811067	1200mm rear ramp complete with positive locking and gas strut assist
	External - 4600 (l) x 1500 (w)	<b>5x 660lt.</b> Wheelie Bin		
		<b>4x 1100lt.</b> Wheelie Bin		

#### OPTIONS

- Full registration
- Upgrade Includes : Lights | Wiring | Suspension | aaa Tyres | Compliance Plate

*Please Note: This is an example only – please contact supplier for specific recommendations.*

Source: Sitecraft - [www.sitecraft.net.au](http://www.sitecraft.net.au)

APPENDIX: D.4 EXAMPLE BIN TOWING ATTACHMENTS



# UNIVERSAL BIN TOWING ATTACHMENTS

SUITE 660LT / 1100LT WHEELIE BINS

## PARTS & FEATURES

### Front Only - Part Number: 78811672

- Suit Sulo & Otto 600lt / 1100lt MGBs
- Spring loaded draw bar folds up
- No drilling of holes in the bin required
- Solidly fixed to the base of the bin using the castor mounting bolts
- Passivated zinc finish for long life
- Correct Rear Fixed or Directional Lock castors should be used

### Rear Only - Part Number: 78811673

- Suit Sulo & Otto 600lt / 1100lt MGBs
- No drilling of holes in the bin required
- Solidly fixed to the base of the bin using the castor mounting bolts
- Passivated zinc finish for long life
- Correct Rear Fixed or Directional Lock castors should be used

### For Steel Bin Front Only - Part Number: 78811781

- Suit Sulo & Otto 600lt / 1100lt MGBs
- No drilling of holes in the bin required
- Solidly fixed to the base of the bin using the castor mounting bolts
- Passivated zinc finish for long life
- Correct Rear Fixed or Directional Lock castors should be used

### Direction Lock : 53191001

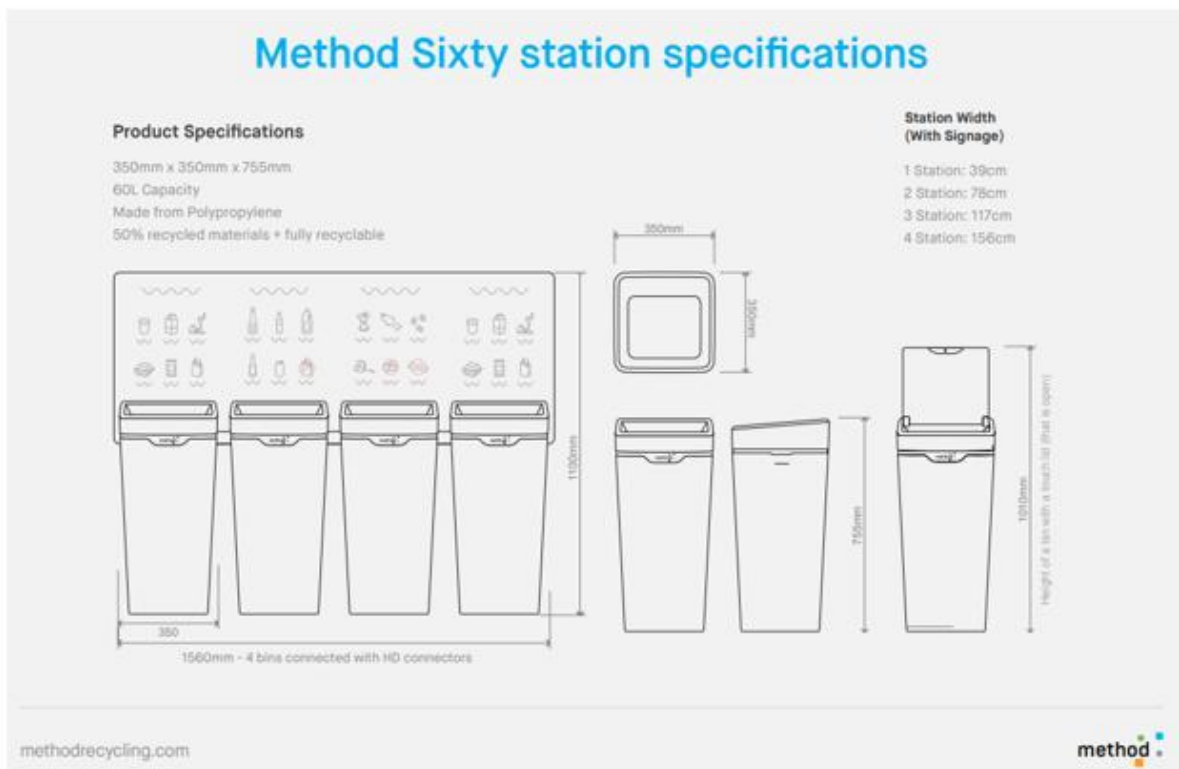
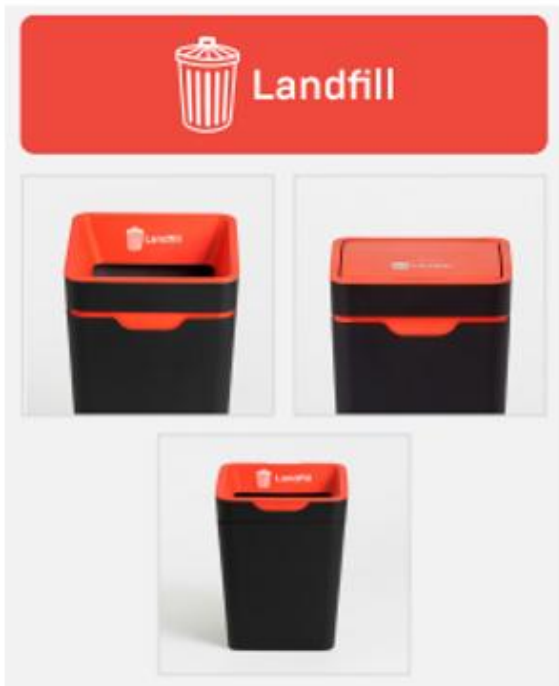
- Suit Sulo & Otto 600lt / 1100lt MGBs
- No drilling of holes in the bin required
- Solidly fixed to the base of the bin using the castor mounting bolts
- Passivated zinc finish for long life
- Correct Rear Fixed or Directional Lock castors should be used



*Please Note: This is an example only – please contact supplier for specific recommendations.*

Source: Sitecraft - [www.sitecraft.net.au](http://www.sitecraft.net.au)

APPENDIX: D.5 EXAMPLE SOURCE SEPARATION RECEPTACLES



Source: Method Recycling - [www.methodrecycling.com](http://www.methodrecycling.com)