

10 Dangar Street- Water Cycle Management Plan

Prepared for UPG Wickham Pty Ltd.

March 2026
Project Number N25056
Version A

Contents

Executive Summary	1
1. Introduction	2
2. Project Background	3
3. The Proposal	4
3.1 Rezoning Proposal	4
3.2 State Significant Development Application	4
4. The Site	5
4.1 Existing Site Information	5
5. Relevant SEARS/Rezoning Requirements	7
6. Development Controls	8
7. Proposed Water Cycle Management	9
7.1 Rainwater Management	9
7.2 Flood Management	9
7.3 Stormwater Management	9
7.4 Stormwater Quality Assessment	10
7.5 Maintenance	12
8. Erosion and Sediment Control	13
9. Summary	14

Appendices

Appendix A - Detailed Survey

16

Document Control				
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Executive Summary

Plans for a proposed development at 10 Dangar Street are intended to be submitted to the Department of Planning, Housing and Infrastructure (DPHI) for a State Significant Development Application. This report provides commentary addressing Water Cycle Management associated with the development and the controls intended to address the site requirements and the City of Newcastle (Council's) compliance requirements in the Development Control Plan 2023.

The development is classified as a Type 3 development due to containing more than 20 dwellings. Site stormwater controls will comprise of an on-site detention tank and a rainwater tank. The rainwater tank will be reticulated to either an external landscaping scheme or to the development's internal non-potable water system for WC and urinal flushing.

The site is in a known flood storage area. Discussion on flood management – overland and riverine flow – is covered by a Flood Impact Assessment by Stantec.

There are two storages provided for stormwater control as summarised:

- 1 x 60kL on-site detention tank (On Mezzanine Level)
- 1 x 16kL rainwater tank (on Plant Floor Level)

1. Introduction

This Water Cycle Management Plan is submitted to the Department of Planning, Housing and Infrastructure (DPHI) on behalf UPG Wickham Pty. Ltd. (UPG) (the Applicant), to support a State Significant Development Application (SSDA) and concurrent Rezoning Report for the construction of a 43-storey mixed-use development at 10 Dangar Street, Wickham (the site). The site is located within the Newcastle local government area (LGA) and occupies a prominent corner position immediately north of the Newcastle Interchange.

The project has been selected by the NSW Housing Delivery Authority (HDA) as a key development to help accelerate the delivery of well-located, diverse and affordable housing in New South Wales. Commencing in early 2025, the HDA plays a coordinating role across government agencies, focusing on unlocking complex sites through strategic planning, infrastructure coordination, and streamlined assessment pathways.

Following the Applicant's expression of interest (EOI 240837), the HDA considered and recommended to the Minister for Planning and Public Spaces (the Minister) that the project be declared SSD under Section 4.36(3) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) on 23 June 2025. Following this recommendation, the development was declared by the Minister to be SSD pursuant to the *State Significant Development Declaration Order 2025 (No 10)*, Part 2, Section 1(a), dated 30 June 2025.

2. Project Background

The site was identified under the *Wickham Master Plan 2017* as a strategically significant location for increased development capacity, given its proximity to the Newcastle Interchange and its potential to support high-density, mixed-use development. The Master Plan proposed an uplift in planning controls, increasing the permissible building height from 45m to 60m, and the FSR from 5:1 to 6:1, subject to the delivery of public domain improvements, including a 3-metre southern setback adjacent to the transport interchange.

This strategic vision was subsequently reaffirmed in the *Wickham Master Plan 2021 Update* (PP-2021-1506) and further refined in the 2022 amendment, which supported additional incentive-based planning controls. The Community Infrastructure Incentives in Wickham Planning Proposal (PP-2022/1541), endorsed by Council in March 2022 (and subsequently approved 08 November 2022), proposed:

- An incentive FSR of 7:1 for Area E (the site),
- A maximum incentive building height of 60m, and
- Community infrastructure requirements.

In alignment with these strategies, the site has been subject to successive development consents as outlined in the Environmental Impact Statement (EIS) prepared by Beam Planning. These prior consents have been physically commenced through demolition and excavation works and establish the maximum envelope for basement structures. This SSDA will adopt and refine these commenced elements to expedite the assessment process, continue construction progress on the site, and ensure continuity with previously endorsed planning outcomes.

3. The Proposal

3.1 Rezoning Proposal

To facilitate the proposed development described in Section 3.2, a concurrent Rezoning Proposal is sought to make the following amendments to the *Newcastle Local Environmental Plan 2012* (Newcastle LEP 2012) in relation to the site:

- Amend Clause 7.9 to permit a maximum building height of RL152m on the site; and,
- Amend the Clause 7.9A to permit a maximum FSR of 14.4:1 on the site.

3.2 State Significant Development Application

The proposed amendments to the Newcastle LEP 2012, as outlined above, will facilitate the following development, proposed via a concurrent SSDA. Specifically, the proposed works sought under the SSDA include:

- Construction of a 43-storey (+ plant) mixed-use tower, comprising:
 - 245 residential apartments
 - 99 co-living units
 - Ground floor retail premises, to all three street frontages
 - A hotel component within the podium
 - Basement car parking
- Associated landscaping and public domain improvements, including the provision of a pedestrian through-site link that runs east/west adjacent to the Newcastle Interchange.

It is noted that the project will commit to providing 15% of the residential GFA as affordable housing for a minimum of 15 years, to be managed by a registered Community Housing Provider (CHP).

The proposed SSDA will seek consent for the use of basement structures and enabling works approved under DA2018/01197 (as modified).

For a detailed description of the proposed development, refer to the EIS prepared by Beam Planning, and the Architectural Drawings prepared by SJB Architecture.

4. The Site

The site is located at 10 Dangar Street, Wickham, within the Newcastle LGA. The site benefits from triple street frontages, with a primary street frontage of approximately 64m to Dangar Street, and secondary street frontages of approximately 61m to Hannell Street and 50m to Charles Street.

The surrounding locality comprises a diverse mix of land uses including residential, commercial, and light industrial uses, reflecting the area's ongoing transition. The site's frontage to Hannell Street, a major arterial road, supports high levels of connectivity to the broader metropolitan area. The site is located immediately north of the Newcastle Interchange, providing bus, rail and light rail services. Strategically, the site sits at the intersection of the Newcastle West End, Wickham, and Honeysuckle precincts, positioning it to support the city's transition to a higher-density, mixed use metropolitan centre.

The site is currently vacant following demolition works approved under DA2018/01197 (as modified).



Figure 1 - Aerial Photo

4.1 Existing Site Information

The site covers an area of 2904m² and is currently occupied by deep excavations from previous unfinished works under DA2018/001197 (as modified). Current detail survey of the streets surrounding the site by Delfs Lascelles Surveyors is provided in Appendix A.

4.1.1 Topography

To the north, Dangar Street – a cul-de-sac – is crowned in the road centre with two-way falls to existing kerb and gutter on both-sides, with longitudinal fall tending towards the west to Charles Street, which also follows the same longitudinal grading scheme. Charles Street has fall towards the south.

Available survey data only reveals Hannell Street having a fall to the south. However, the temporary covered pedestrian access encroached between the street, and the site has a slightly higher elevation than the existing pathway.

Although inaccessible for survey, the southern end of the site - adjacent to the Newcastle Interchange - has an existing ramp where fall tends to the west, eventually reaching a low point extrapolated from the turn of Charles and Station Street.

4.1.2 Existing Services

In terms of stormwater drainage, the following drainage connection points for the site have been identified:

- Kerb inlet pit on Charles Street at the midpoint of the western site frontage.
- Drainage pits adjacent to the south-western corner of the boundary adjacent to the Newcastle Interchange.
- A drainage and sealed pit adjacent to the southern frontage of the site.
- Kerb inlet pit on Hannell Street, approximately 7.5m away from the south-eastern corner.

5. Relevant SEARS/Rezoning Requirements

This Water Cycle Management Plan addresses the following relevant Secretary's Environmental Assessment Requirements (SEARs) and Guidance for Concurrent Rezoning Report: SSD Housing issued for the project set out in the table below.

Table 1 - SEARS Compliance Table

Requirement	Response/ Location in Report
SEARs Requirement	
11. Water Management <ul style="list-style-type: none"> - Detail the proposed drainage design and servicing infrastructure to be incorporated as part of the development (stormwater and wastewater). - Demonstrate how the development complies with council's drainage requirements and identify proposed stormwater treatment and water quality management measures to minimise adverse environmental impacts. 	Section 7
Rezoning Requirement (if relevant)	
Not Applicable	Not Applicable
Additional Assessment Requirements (if relevant)	
Not Applicable	Not Applicable

The subject land is zoned E2 (Commercial Centre), within the City of Newcastle (CoN) Local Environmental Plan (LEP) 2012. The site is subject to a separate proposal to raise the building heights per Section 3.1 above. The stormwater design has been developed in accordance with the City of Newcastle (CoN) Development Control Plan (DCP) dated 2023 and CoN Stormwater and Water Efficiency for Development Technical Manual dated 2019.

6. Development Controls

Development of the site falls within the City of Newcastle (CoN) Development Control Plan (DCP) dated 2023 – city-wide planning requirements. Under Council's DCP –Part C: General Development Controls - the site must address Stormwater (C4) and Soil Management (C5). This strategy provides commentary justifying the proposal and the controls intended for the site to alleviate risks and impacts arising from the development.

Relevant objectives are as follows:

6.1.1 Section C4 – Stormwater

1. Outline CN's requirement for stormwater management for development.
2. Adopt a whole of water cycle approach to development.
3. Promote sustainable practices in relation to the use of water resources for human activities.
4. Ensure an appropriate quality and quantity of water enters waterways.
5. Protect and enhance waterways, watercourses, wetlands and their riparian corridors.
6. Promote soil infiltration and ensure stormwater is controlled and managed appropriately.
7. Promote best practice and innovative water sensitive urban design solutions.

6.1.2 Section C5 – Soil Management

1. Protect and enhance the aesthetic quality provided by the natural topography and landform features of the area by controlling the land forming operations to appropriate levels.
2. Prevent pollution to waterways from construction sediment and waste streams.
3. Minimise the potential for landslip on sloping sites.
4. Ensure that development does not disturb, expose or drain acid sulphate soils and cause environmental damage.

Considering the context of the works and the site already being excavated and not having runoff beyond boundaries, Section C5 of the CoN DCP (2023) is no longer a relevant consideration as part of this SSDA.

Under the CoN DCP (2023), this development comprises more than 20 dwellings and hence is considered a 'Type 3' development.

7. Proposed Water Cycle Management

7.1 Rainwater Management

7.1.1 Reducing Water Consumption

Potable water will be provided to the development from direct connection to the existing water mains on Hunter Street. Water efficiency measures to be adopted for the development will be documented on the BASIX certificate provided with the SSDA. This stormwater strategy does not provide any specific recommendations or guidance on water efficiency measures.

7.1.2 Rainwater Harvesting

Following discussions with the City of Newcastle, the rainwater harvesting scheme is based on minimum storage requirements to fully fill rainwater tanks over a four day period. Based on the Newcastle mean average rainfall¹ (1125mm) averaged for four days, applied over the contributing roof area of 1260m², the total rainwater tank size for the development is 16kL.

The rainwater tank is proposed to be located on the rooftop plant level. The collected rainwater is intended to be reticulated to external landscape (irrigation supply), toilets and end-of-trip facilities on level 6. The re-use rates are set in the City of Newcastle DCP to draw-down the supply over a 20 day period, resulting in a re-use rate of 0.58kL/day.

7.1.3 Grey Water Harvesting

The legislative conditions² placed on the diversion and pre-treatment of grey-water re-use makes this option possible, however not considered as part of this study, due to high costs for filtration, treatment and reticulation, along with minimal demand for grey water.

7.1.4 Wastewater

The development is wholly located within Hunter Water Corporation's gravity sewer network and will be provided with a point of connection for sewage flows.

7.2 Flood Management

The site is in a mapped flood planning area. Specific discussion on flood management is documented in a Flood Impact Assessment, by Stantec. One key finding from this separate report indicates that the site shall provide compensatory flood storage, separate to the stormwater storage system. Documentation of the flood storage is by others.

7.3 Stormwater Management

7.3.1 Stormwater Collection

To protect the ecology of downstream waterways and to ensure downstream flooding conditions are not exacerbated as a result of the development, stormwater treatment controls will be required on-site. The site is classified as Type 3 large-scale development. As a result, Sections C4 (Stormwater) and C5 (Soil Management) in the CoN DCP permits appropriately sized treatment controls in accordance with the CoN Stormwater and Water Efficiency for Development Technical Manual (2019). Part 4b (Site Discharge Controls – large scale development)

¹ Bureau of Meteorology – Newcastle Nobbys Signal Station AWS 061055 Mean Annual Rainfall

² Water for Life, NSW Government: "NSW Guidelines for Greywater Re-use in Sewered Single Household Residential Premises", May 2008, Sydney.

of the Manual requires Type 3 developments to utilise stormwater quality and quantity targets from Section 7.06 of the CoN DCP (2012).

Rainwater collecting on roof surfaces will drain through internal downpipes to a single rainwater tank located on the plant floor (Level 43). Runoff from the podium level will be captured in pits on the podium level and separately plumbed to the on-site detention and water quality control tank on the mezzanine level. External surfaces on the ground level from the pedestrian link will be conventionally drained by pit/pipe direct to Council's drainage network without further treatment. Basement drainage (B3) will utilise a series of pits and a spoon drain at the slab edge. The basement levels are tanked (having been previously constructed under an existing approval), ground water inflows are intended to be minimal. Runoff from rain events is intended to be prevented from draining into the basement, and hence drainage of the basement is provided with a pump-out system for minimal flows, such as dripping from vehicles or from dry-weather testing of the hydraulic systems.

7.3.2 Storage and Storage Draw-down

The site is considered as 100% impervious with a total area of 2904m². As a result, CoN's DCP (2013) 7.06 requires site storage based on 25mm of rainfall across the site. Therefore, the total site storage for this site must have a minimum volume of 75m³.

As stipulated in Section 7.1.2, 16kL storage will be dedicated to on-site retention. The balance of site storage therefore requires a 60kL OSD tank to be installed at mezzanine level, whilst the 16kL rainwater tank is to be installed on the plant level (Level 43). Positioning of the main OSD storage tank at the Mezzanine level will enable the outflow from the site to be controlled from an orifice constriction in the main tank that will not be hydraulically connected to high tailwater levels for when the connecting street is under flood.

Flood storage for the site (documented by Stantec) will also drain through all three basement levels to the lower basement B3 level, with connection provided to the pump-out system through a closed valve system. This would enable the flood storage to be pumped to street after passage of the street-level flooding event by opening the basement valves.

7.3.3 Site Discharge Controls

The site will discharge directly to Council's pit and pipe network on Charles Street through a new grated inlet pit. Basement flows and subsequent flood storage will be pumped to Charles Street via storm rising main pipes. Orifices will be sized to limit the rate of stormwater discharge to pre-developed flow rates, to minimise the impact of the flow on the existing pit and pipe network and ensure the outflow rate is no greater than the flow from the 'pre-developed' site. Note that the 'pre-developed site' assumes a fully grassed (pervious) site.

7.3.4 Overflow Disposal

The stormwater management system has been designed to have capacity up to the 1% AEP event. In the event of major rainfall events exceeding design limits, the outflow pipe from the main storage tank has been sized to allow for high level overflow to Council's drainage network on Charles Street.

7.4 Stormwater Quality Assessment

Water quality objectives for the post-developed site are based on reductions in mean annual pollutant loads. A quantitative assessment was undertaken using the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) Version 6.2 software package to assess the post-development stormwater discharge concentration of key pollutants. The stormwater treatment devices chosen and modelled include the following:

- Rainwater tanks with reuse
- Stormfilter cartridges

In order to meet CoN stormwater pollution reduction and stormwater quality targets established in CoN DCP (2012) – Section 7.06 Stormwater, 11 Stormfilter cartridges are proposed in addition to the 16kL rainwater tank.

Table 2 (based on Table 4 of Section 7.06 CoN DCP (2012)) outlines Council's pollutant reduction requirements and the stormwater pollutant reductions for the modelled treatment train. All pollutant loads were reduced to satisfy treatment targets.

Table 2 - MUSIC Modelling Targets and Results

Pollutant	Council Requirement (according to Table 4 of NCC DCP 7.06 (2012))	Post Development Reduction (MUSIC result)	Compliant?
Total Suspended Solids	85%	85.8%	Yes
Total Phosphorus	65%	79.1%	Yes
Total Nitrogen	45%	54.8%	Yes
Gross Pollutants	90%	100%	Yes

A schematic of the MUSIC model and the treatment train effectiveness is shown below:

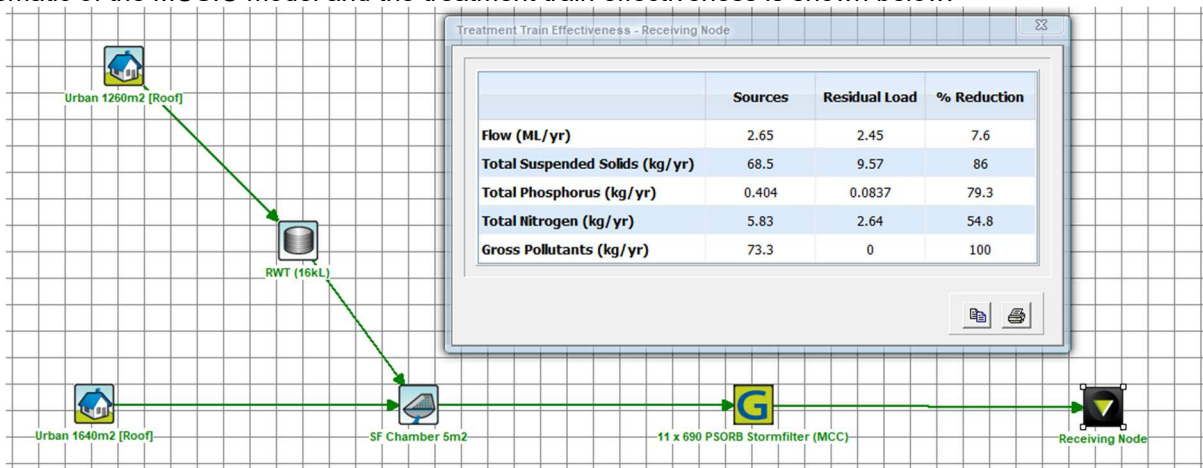


Figure 2 - MUSIC Model

7.4.1.1 Stream Erosion Index Determination

Stream Erosion Index (SEI) is required to be verified as a part of a large-scale development as per Part 4b of the CoN's Stormwater and Water Efficiency for Development Technical Manual (2019).

Table 4 of Section 7.06 CoN DCP (2012) states that the Stream Erosion Index (SEI) is to be no greater than 2, where the SEI is expressed as the ratio of 'post-development flow exceeding the stream forming flow' to 'pre-development flow exceeding the stream forming flow'. For all areas within the CoN LGA, the stream forming flow is expressed as 50% of the 2 year ARI pre-development flow.

The following parameters were utilised in calculating the compliant SEI:

Table 3 - Sediment Erosion Index Parameters

Parameter	Value
2-year ARI Pre-Development Flow (m ³ /s)	0.030
2-year ARI Post-Development Flow (m ³ /s)	0.037
Stream Forming Flow (m ³ /s)	0.015
2-Year ARI Pre-Development Flows Exceeding Stream Forming Flow (m ³ /s × timesteps)	~10.26
2-Year ARI Post-Development Flows Exceeding Stream Forming Flow (m ³ /s × timesteps)	~20
Sediment Erosion Index	~1.95

7.5 Maintenance

Most of the site will either be sealed pavement or landscaped following development. As such, the amount of sediment generated by a mulched and watered landscape area is likely to be minimal. Gross pollutants will be minimised from entering the stormwater drainage system by the installation of grates. Podium levels will feature tiles on adjustable supports that will prevent ingress from larger particles. Flows between tiles will gravitate to floor wastes that will be piped to the main storage tank, which features the storm filter chamber.

All stormwater pipes will be fully sealed, and no contaminants will be able to enter the stormwater system from the roof catchment area or through infiltration into the stormwater pipes constructed below the ground.

Rainwater entering the rainwater tank will be separated by a first-flush bypass system to the requirements of the Building Code of Australia.

Regular inspections of control systems should be carried out to ensure satisfactory performance of the drainage systems proposed. All noted stormwater treatment devices noted within this report are to be inspected, maintained, rectified and reported on in accordance with the CoN DCP (2023) and Stormwater and Water Efficiency for Development Technical Manual (2019).

A stormwater maintenance plan will be prepared to coincide with the completed construction works, comprising and addressing each stormwater element (rainwater tank, pipes, floor wastes, inlet/outlet screens, the filter chambers and filter cartridges and on-site detention storages). The schedule will outline the inspection frequency, the maintenance requirements and include the provision for management of worker health and safety through the inspection and maintenance regime. The stormwater maintenance plan is anticipated to be conditioned with the Development Approval and cannot be prepared as part of the Development Application, as the maintenance plan needs more clarity from each of the designed and 'as-built' drainage elements to be of use. It is commonplace for the maintenance plans to be prepared at the completion of construction stage, prior to issue of the Occupation Certificate.

8. Erosion and Sediment Control

Contractors are obliged to instigate erosion and sediment controls for the construction to minimise risk of sediment deposition in the downstream drainage corridors.

Considering the context of the works and the site already being excavated and not having runoff beyond boundaries, Section C5 of the CoN DCP (2023) will not be required to be covered as a part of this SSDA.

9. Summary

The proposed development at 10 Dangar Street, Wickham is planned to be provided in accordance with the CoN Development Control Plan (2023) and Stormwater and Water Efficiency for Development Technical Manual (2019).

The water cycle management plan:

- Provides stormwater controls that satisfy the provisions of the DCP and designed in accordance with the relevant technical manuals.
- Provides rainwater tanks to offset potable water supply for landscape irrigation, WC facilities and end-of-trip facilities.
- Ensures stormwater runoff for waterborne pollutants are achieved through the abovementioned treatment measures.
- Provides on-site detention to reduce the peak and attenuate outflows to lessen the flood peak

Erosion and sediment controls have not been considered on the grounds of the SSDA being subsequential to a modification of consent for an existing development already built below ground level (basement). Given this existing scheme is below street-level, there will be no off-site discharge of water-borne sediments.

Appendices



Appendix A - Detailed Survey

LEGEND

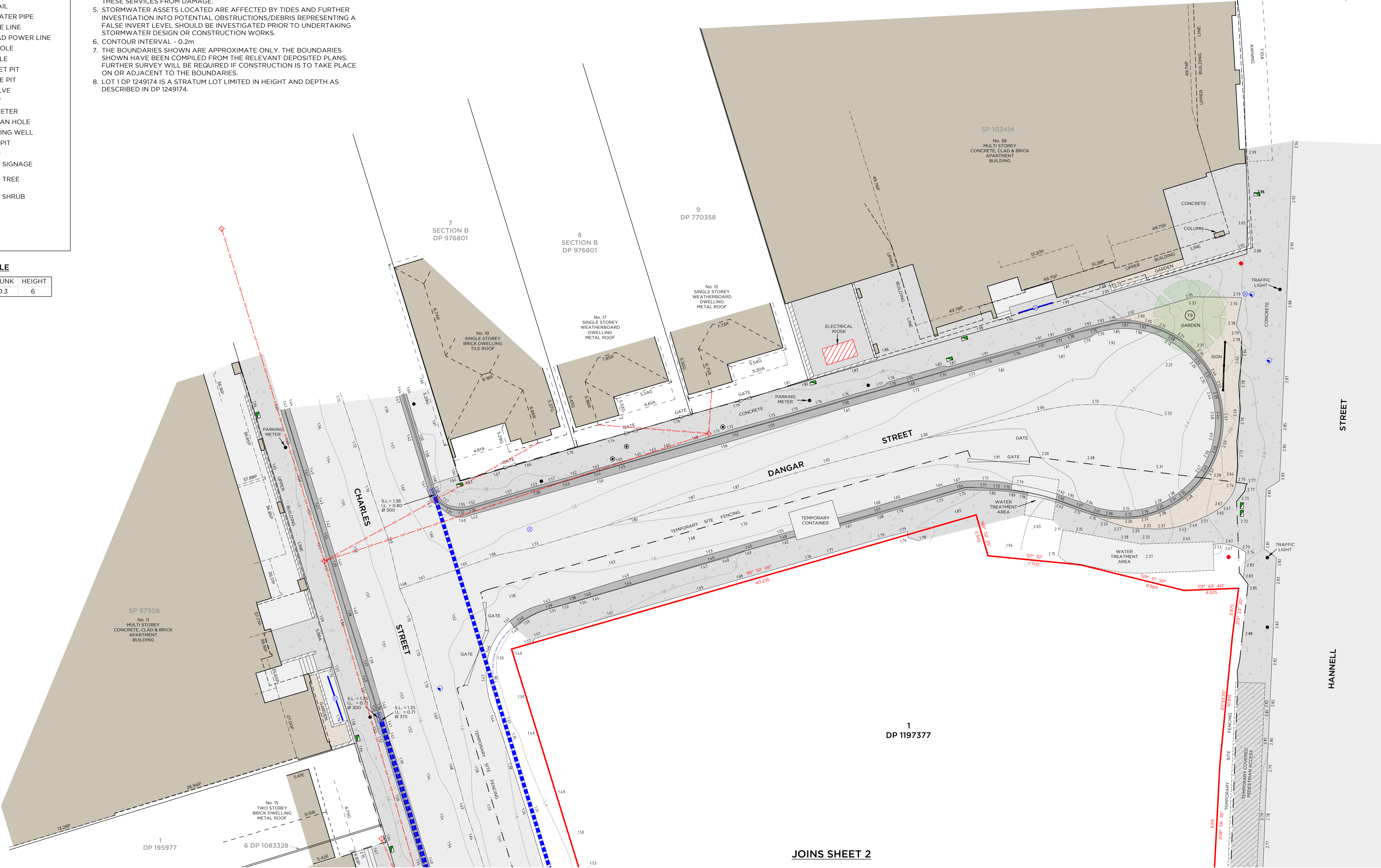
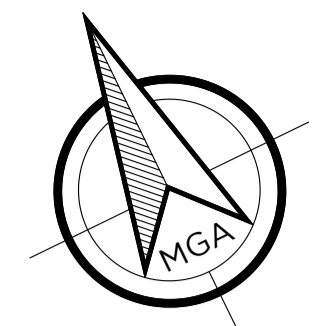
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- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- RETAINING WALL
- FENCE LINE
- GUARDRAIL
- STORMWATER PIPE
- DRAINAGE LINE
- OVERHEAD POWER LINE
- POWER POLE
- LIGHT POLE
- KERB INLET PIT
- DRAINAGE PIT
- STOP VALVE
- HYDRANT
- WATER METER
- SEWER MAN HOLE
- MONITORING WELL
- TELSTRA PIT
- BOLLARD
- DENOTES SIGNAGE
- DENOTES TREE
- DENOTES SHRUB
- E - EAVE
- R - RIDGE
- G - GUTTER
- A - AWNING
- P - PARAPET

TREE TABLE

TREE NO.	SPREAD	TRUNK	HEIGHT
T9	6	0.3	6

NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. SERVICES LOCATED ONLY WHERE VISIBLE.
4. THE LOCATION OF ALL UNDERGROUND SERVICES WHETHER SHOWN ON THE PLAN OR NOT, SHOULD BE PRECISELY DETERMINED BEFORE ANY CONSTRUCTION WORK COMMENCES AND MEASURES TAKEN TO PROTECT THESE SERVICES FROM DAMAGE.
5. STORMWATER ASSETS LOCATED ARE AFFECTED BY TIDES AND FURTHER INVESTIGATION INTO POTENTIAL OBSTRUCTIONS/DEBRIS REPRESENTING A FALSE INVERT LEVEL SHOULD BE INVESTIGATED PRIOR TO UNDERTAKING STORMWATER DESIGN OR CONSTRUCTION WORKS.
6. CONTOUR INTERVAL - 0.2m
7. THE BOUNDARIES SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES SHOWN HAVE BEEN COMPILED FROM THE RELEVANT DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
8. LOT 1 DP 1249174 IS A STRATUM LOT LIMITED IN HEIGHT AND DEPTH AS DESCRIBED IN DP 1249174.



JOINS SHEET 2

REV.	DATE	AMENDMENT(S)	SUR	DFT	CHK
A	06.03.26	ORIGINAL ISSUE	DL	JD	PM

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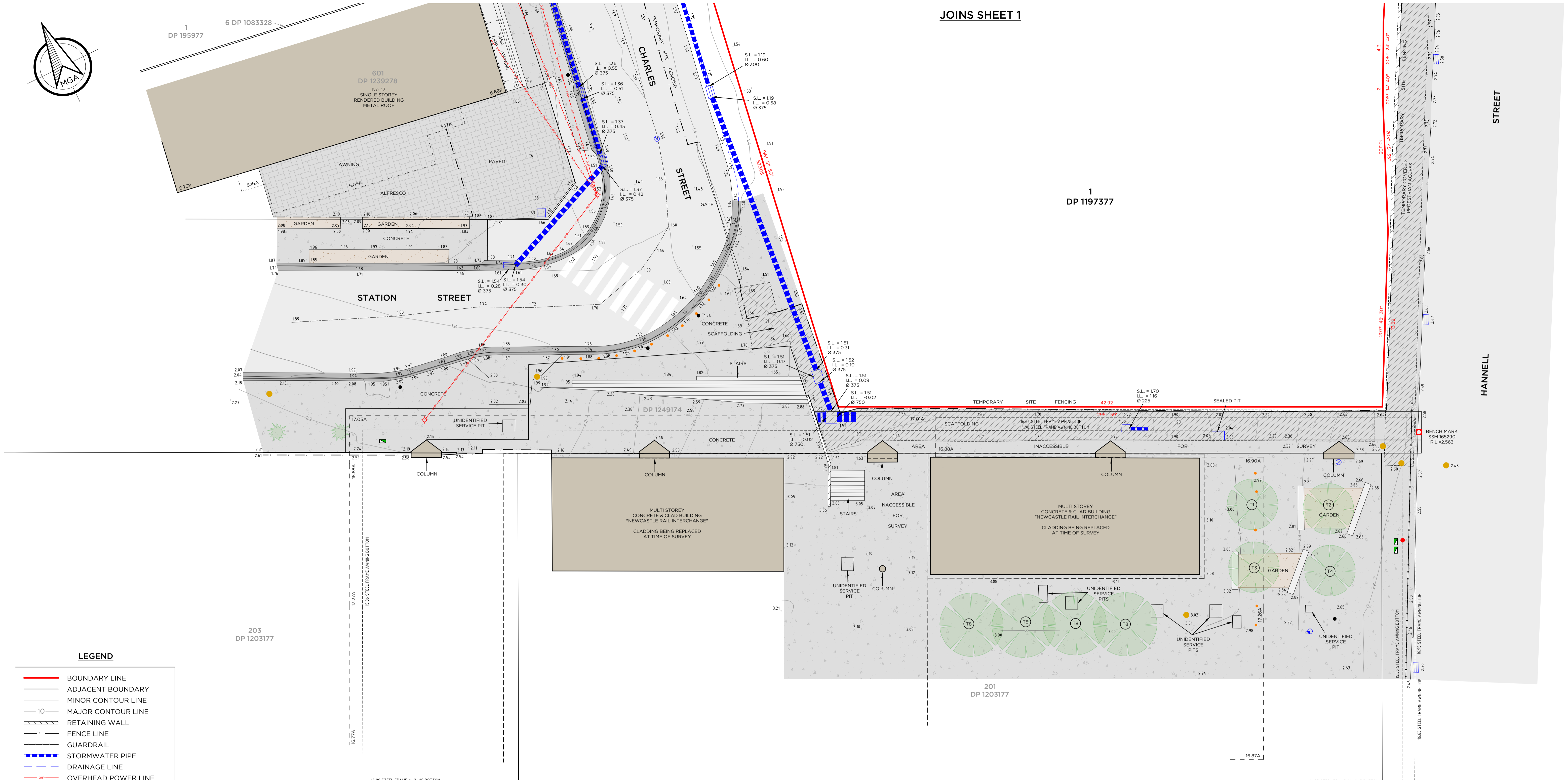
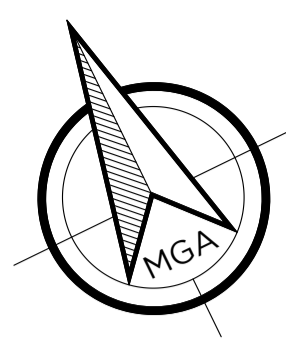
DETAIL SURVEY OF STREETS ADJACENT TO LOT 1 DP1197377

SITE ADDRESS:
 10 DANGAR STREET
 WICKHAM
 CLIENT:
 URBAN PROPERTY GROUP

CAD REF: 22033_DET

POSITION DATUM: SSM 165290
 ORIENTATION: MGA 2020 (GND)
 EASTING: 384 050.592
 NORTHING: 6 356 435.625
 CLASS: C
 SSM 165290
 CLASS: LC
 RL: 2.563 (AHD)
 DATE: 17.02.26

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LEGEND

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- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- RETAINING WALL
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- GUARDRAIL
- STORMWATER PIPE
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- DENOTES TREE
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- E - EAVE
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- G - GUTTER
- A - AWNING
- P - PARAPET

TREE TABLE

TREE NO.	SPREAD	TRUNK	HEIGHT
T1	4	0.2	5
T2	4	0.2	5
T3	4	0.2	5
T4	4	0.2	5
T5	5	0.3	8
T6	5	0.3	8
T7	5	0.3	8
T8	5	0.3	8

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REV.	DATE	AMENDMENT(S)	SUR	DFT	CHK
A	06.03.26	ORIGINAL ISSUE	DL	JD	PM

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DETAIL SURVEY OF STREETS ADJACENT TO LOT 1 DP1197377

SITE ADDRESS:
10 DANGAR STREET
WICKHAM
CLIENT:
URBAN PROPERTY GROUP

CAD REF: 22033_DET
ISO 9001
ISO 45001
JAS-ANZ
BEFORE YOU DIG

POSITION DATUM: SSM 165290
ORIENTATION: MGA 2020 (GND)
EASTING: 384 050.592
NORTHING: 6 356 435.625
CLASS: C
HEIGHT DATUM: SSM 165290
CLASS: L C
RL: 2.563 (AHD)
PU: 0.02
PU: -
DATE: 17.02.26

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SHEET	REV.	PROJECT No.
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At BG&E, we are united by a common purpose – we believe that truly great engineering takes curiosity, bravery and trust, and is the key to creating extraordinary built environments.

Our teams in Australia, New Zealand, South East Asia, the United Kingdom and the Middle East, design and deliver engineering solutions for clients in the Property, Transport, Ports and Marine, Water, Defence, Renewables and Resources sectors.

We collaborate with leading contractors, developers, architects, planners, financiers and government agencies, to create projects for today and future generations.

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