

15 January 2026

Mr Matthew Choi
Senior Development Manager
Urban Property Group
On behalf of the UPG Wickham Pty Ltd

Via email: m.choi@urbanpropertygroup.com.au

Dear- Mr Choi,
10 Dangar Street, Wickham NSW- Aboriginal Cultural Heritage Advice (Reference Project Number 1260)

I am writing on behalf of Urban Property Group (UPG) regarding the State Significant Development Application for 10 Dangar Street, Wickham NSW (here on referred to as the Subject Area, Figure 1, SSD 89869959). The approval history for this site is listed in the table below:

Table 1: Details of previous Development Application (DA) approvals relating to the Subject Area

Development Application Number	Determination Date	Details relating to current Subject Area Impacts
DA2018/01197	30 April 2019	The development approval was for demolition of the existing structures and erection of 14 storey mixed use development; comprising 97 residential apartments, 198 parking spaces, 7,120 commercial floors pace and 1,107 m ² retail floorspace.
DA/2018/01197.01	22 September 2020	A Section 4.55 modification was approved to extend the approved 12-month timeframe by an additional 12 months to address a deferred commencement condition.
DA/2018/01197.02	6 May 2021	A Section 4.55 modification was approved for the following works: <ul style="list-style-type: none">• Additional basement level and replacement of above ground car parking with commercial use.

Development Application Number	Determination Date	Details relating to current Subject Area Impacts
		<ul style="list-style-type: none"> • Ancillary changes to residential levels arising from re-orientation to the core. • Increase in Floor Space Ratio (FSR) and Building Height and; • Façade changes
DA2022/00448	22 December 2022	<p>There was an amendment to the DA to approved mixed-use development for the following works:</p> <ul style="list-style-type: none"> • Utilise the height and FSR allowances from the Wickham Master Plan 2021 increasing the building height to 58.75 meters and FSR to 7:1 (adding an additional 3 levels). • 3 levels of basement car parking (195 car spaces). • 1 additional level of retail space (901m²) • 3 additional levels of commercial space (6,419 m²) • 13 additional levels of residential accommodation (118 apartments)
MA2023/00397	12 August 2024	<p>Section 4.55 of this modification application for changes to the ground floor including:</p> <ul style="list-style-type: none"> • Raised slab area with landscaping proposed along the southern boundary. • Mechanical grilles are proposed on the south and west façade at ground level. • Changes to the public art component of the development and; • Changes to conditions of consent to facilitate the proposed design changes.

The following works relating to these approvals have been carried out at the Subject Area:

- External hoardings installed around the site
- Sheet piling completed
- Basement piles and beams installed (internal piles 100% complete)
- Bracing and ground anchors installed
- Dewatering plant installed and operational
- Lift pits, band beams, and blinding slabs partially complete and;
- Tower crane base installed, and crane erected.

As a result of these approved works there is no potential for Aboriginal objects to remain within the Subject Area. As such SSD 89869959 does not require any further Aboriginal Cultural Heritage Assessment be completed in accordance with the industry specific SEARS, as noted in Plate 1 below.

19. Aboriginal Cultural Heritage

- Provide an Aboriginal Cultural Heritage Assessment Report (ACHAR) prepared in accordance with relevant guidelines, identifying, describing and assessing any impacts to any Aboriginal cultural heritage sites or values associated with the site.

- Aboriginal Cultural Heritage Assessment Report

Plate 1: Industry specific SEAR relating to Aboriginal Cultural Heritage

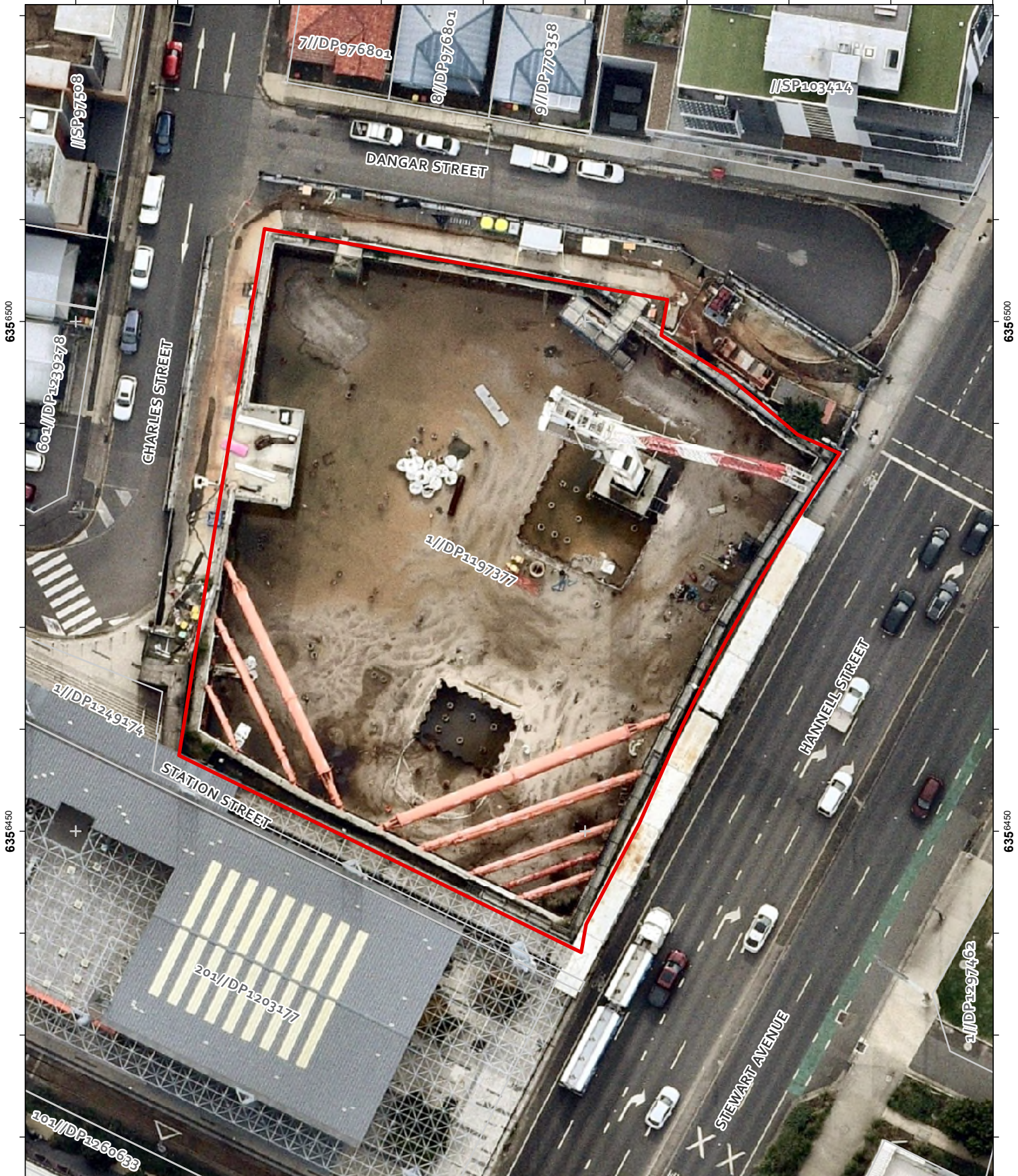
Should you require further assistance in relation to this letter of advice please do not hesitate to contact me.

Yours sincerely,

Kind regards,



Renée Regal
Director, Regal Heritage Pty Ltd
0400 594 580



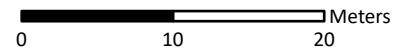
384000
Legend



Figure 1: Location of the Activity Area
 10 Dangar Street, Wickham



Date: 4/08/2025



Coordinate System: GDA2020 MGA Zone 56
 Imagery: © Nearmap