



Former ASN Co. Building
1-5 Hickson Road, The Rocks
Conservation Management Plan

2009

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Executive Summary

The Former Australasian Steam Navigation Company (ASN Co.) Building is located at 1-5 Hickson Road, The Rocks at the junction with George Street and next to the Overseas Passenger Terminal. It has a secondary entrance from Circular Quay West and through ground floor tenancies. Its property description is Lot 1 Deposited Plan 600611 and Lot 2 Deposited Plan 752063.

The former ASN Co. warehouse and office building and its site are of State heritage significance for their historical, aesthetic and scientific cultural values. In recognition of its significance, the place was individually listed in the NSW State Heritage Register, as item No. 1526.

The former ASN Co. Building was constructed between 1884 and 1885 to the design of former Victorian Government Architect William Wardell during the early years of his business partnership with Walter Liberty Vernon. It comprises of a five-storey, four-bay former warehouse with water tower and an adjoining four storey office building with a clock tower. It is a rare, early example of Federation Anglo-Dutch style of building. The style is broadly characterised as being most prominent in Federation period with fine brickwork, Dutch gables and Renaissance inspired detailing.

The building has overall significance in The Rocks, Campbell Cove and Circular Quay area due to its contribution to the locality's character together with its landmark presence when viewed from the Harbour. The integrity of the building is relatively high, particularly in exterior and in Bays 1 to 4; however, due to the extensive changes of Bay 5 during its conversion to a cinema complex in 1990, the integrity of the internal structure and fabric of this Bay has been compromised to a degree.

The fabric of the former ASN Co. Building is generally in very good condition. However, it was observed that an issue exists within the ground floor spaces caused by rising damp. This issue requires attention in medium term (6-12 months) to identify the damp source and carry out maintenance works to halt the problem. A number of small paint flaking were also observed generally within the wet areas of third floor and within the eastern and western office spaces of Bay 1. This may indicate moisture problem or lack of ventilation in these rooms and require attention in the next general maintenance and repainting works. Other issues relate to a broken timber tread of the clearstory timber stair, and a broken rail of western studio window on third floor of Bay 2.

In general, the building requires external joinery repainting and inspection of window sills as well as general gentle façade cleaning throughout particularly at gables and stone sills. Minor water dripping and rising damp was evident at lower part of retaining wall below Hickson Road in the courtyard and adjacent to Bays 2-5, and should be inspected in the next regular maintenance. This inspection should also consider removal of plant growth on the subject retaining wall. A small number of cracking below window sills and some concrete floors have also been observed and are considered to present no structural danger to the building fabric.

1. Introduction

1.1 Context of the Report

This report is based on a brief outlined in a letter from the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Foreshore Authority.

The Conservation Management Plan (CMP) for the former Australasian Steam Navigation Company Building (ASN Co.) has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council and adoption by the Foreshore Authority.



Figure 1: Location of the Former Australasian Steam Navigation Company Building within the context of The Rocks.¹

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the Former Australasian Steam Navigation Company Building to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

¹ Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2000), p.6. *The Rocks Heritage Management Plan*, adopted February, 2002, is in three volumes, Vol. 1, Vol. 2, *Background Papers*, and Vol. 3, *Supporting Documentation*. It is available online at www.shfa.nsw.gov.au

1.3 Site Identification

The Former Australasian Steam Navigation Company Building is located between Hickson Road and Circular Quay West at the junction of Hickson Road and George Street and next to the Overseas Passenger Terminal. Its property description is Lot 1 Deposited Plan 600611 and Lot 2 Deposited Plan 752063 in the Parish of St Philip.



Figure 2: Location of the Subject Site (Source Google Maps, 2008)



Figure 3: Aerial Image of subject Site. Lot boundaries are indicated. (Google maps - 2008)

1.4 Listings

Statutory Listings

Heritage Listing	Item Name	Listing No.	Gazette No.	Gazette Date
Heritage Act - State Heritage Register	ASN Co. Building	01526	85	10 May 2002
Heritage Act - s.170 (Foreshore Authority Heritage Register)	ASN Co. Building	B008; AR019		1995

Non Statutory Listings

Heritage Listing	Item Name	Listing ID/Number	Date
National Trust of Australia (NSW)	Australasian Steam Navigation Co. Building	6679	5/4/1976
Register of the National Estate	Australasian Steam Navigation Company Building	2123	21/3/1978

1.5 Building Description

Constructed between 1884 and 1885, the former ASN Co. Building was designed by William Wardell. It comprises of a five-storey, four bay former warehouse building with a water tower and a four-storey office building with a clock tower.

The building is currently used by a number of commercial and institutional tenants including CATC Design College, the Ken Done Gallery, Naturally Australian Furniture shop, fashion companies Glue Store and Trend Imports, Wildfire Management, a Cinema and Aboriginal art gallery. It is structurally sound and in very good condition.

ASN Co. is generally described as an early example of a rare, free standing, Federation Anglo-Dutch style building, built in a style that is broadly characterised as being most prominent between c1890 and c1915. The building is constructed of polychrome brickwork with sandstone elements such as sandstone capping on the gables, sills, window keystones, pilasters and pediments around doors and selected windows on the office area, and ground floor courses. The brickwork has distinctive horizontal bands of an ochre colouring between the first and second, and second and third floors of the office block. This translates on the warehouse component as the top of the third floor windows and the bottom of the second floor windows. This colouring is also utilised on the window and loading bay arches and the ventilators.

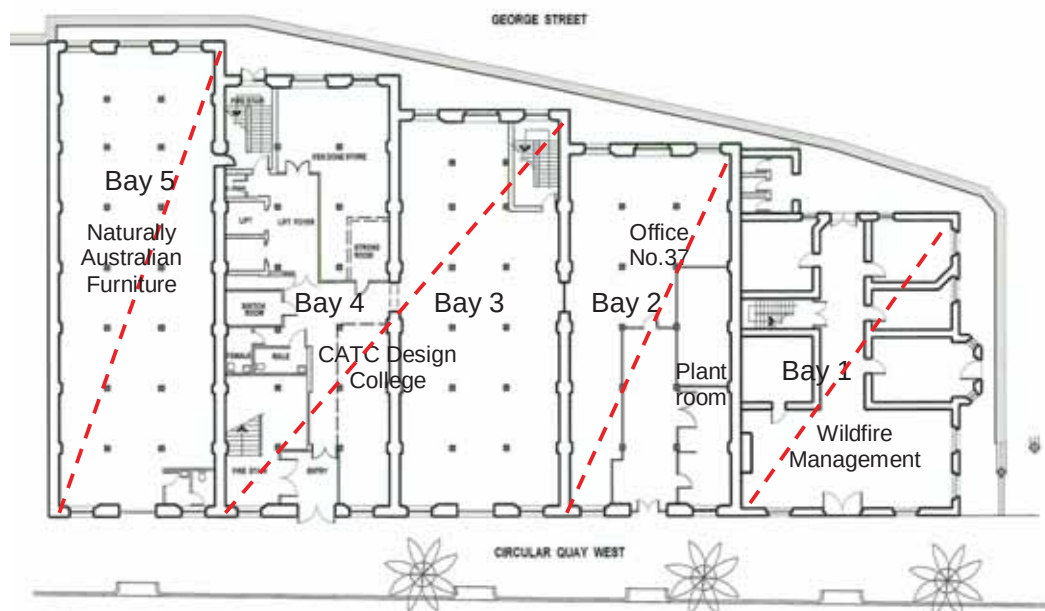
A detailed description of the building, including interiors, is discussed and illustrated in the Section 3.0 – Physical Evidence.



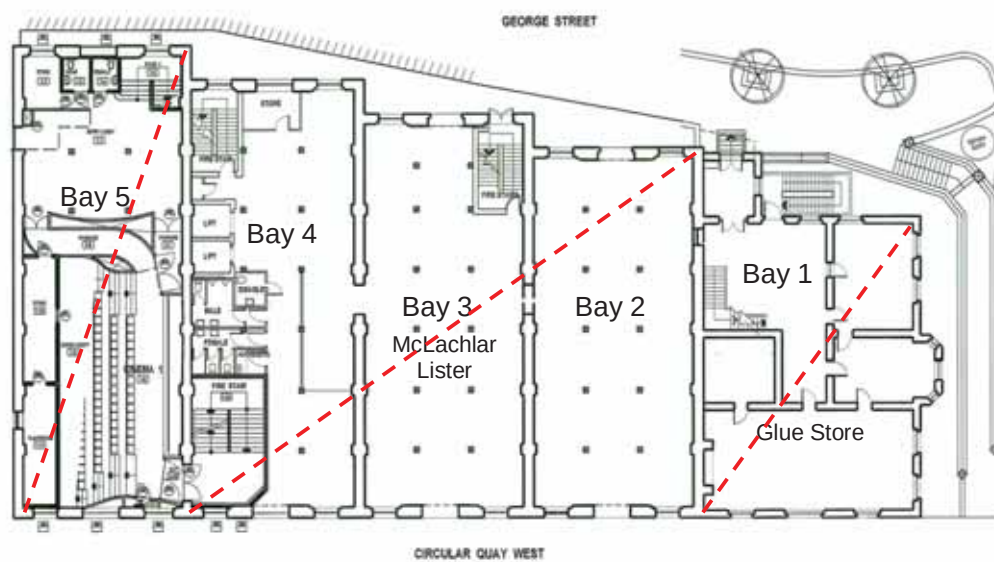
Figure 4: Views of the former ASN Company building from Circular Quay West (above) and George Street (top right and right).

Floor Plans

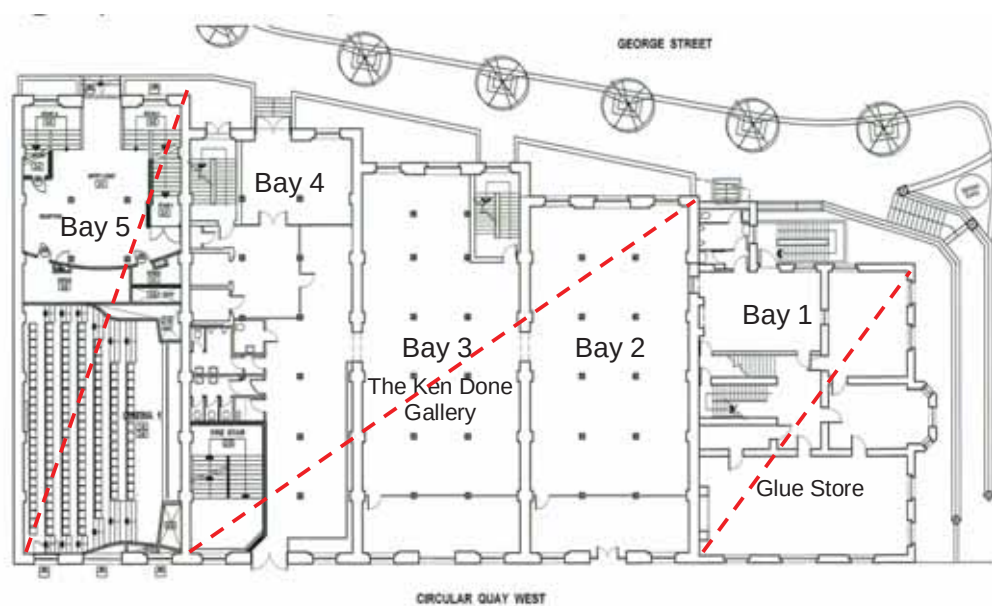
The floor plans of the former ASN Co. Building as existing have been provided by the Foreshore Authority and were modified where necessary by the principal author to reflect the current partition layout. The current tenants for each floor are indicated on the plans.



4 GROUND FLOOR PLAN

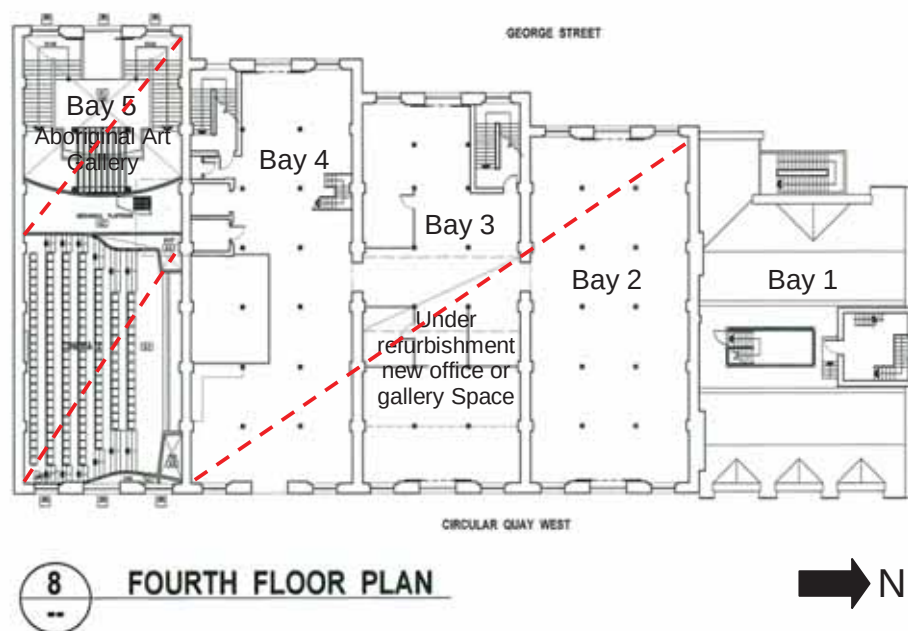
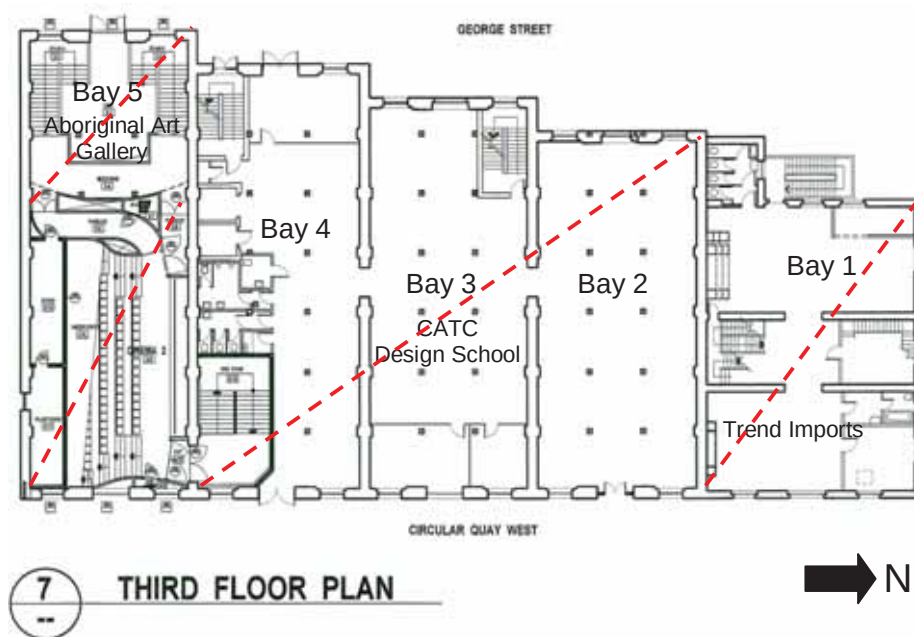


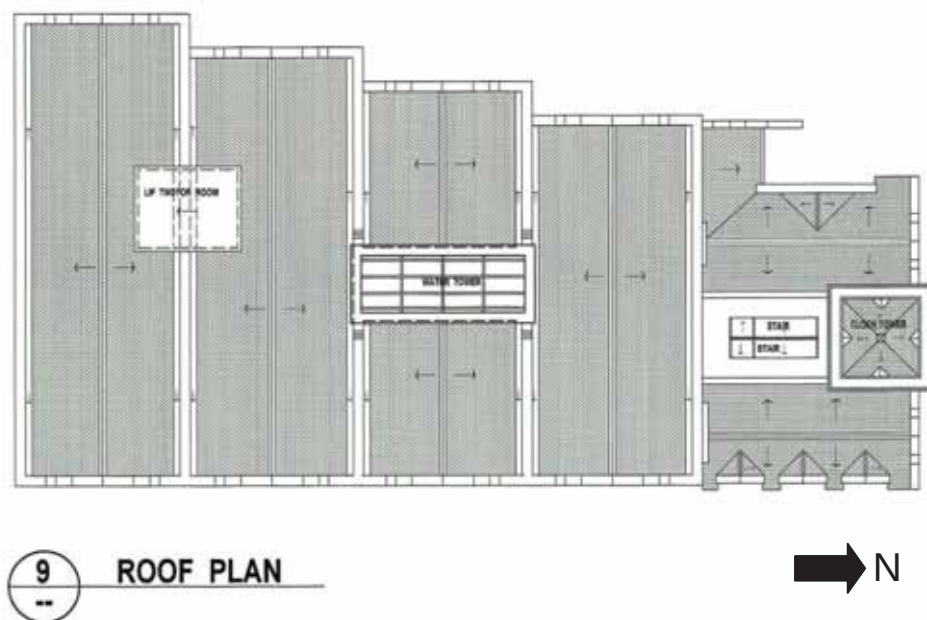
5 FIRST FLOOR PLAN



6 SECOND FLOOR PLAN







1.6 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999*, known as *The Burra Charter*; the NSW Heritage Office's *Guidelines on Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

This CMP is a revision and upgrade of the earlier Conservation Management Plans:

- Lester Tropman & Associates. *Former Australasian Steam Navigation Company Building at the Rocks NSW, Preliminary Conservation Plan*. February 1990.
- Graham Brooks & Associates Pty Ltd. *Conservation Management Plan. ASN Co. Building 1-5 Hickson Road, The Rocks*. June 2004.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the former Australasian Steam Navigation Company Building.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and Photographic Sources

Photographs of the former ASN Co. Building were taken by the staff of City Plan Heritage, Kerime Danis and Nicole Secomb, during the site visits on 28 and 29 August 2008 for internal and building specific external shots, and by Gina Scheer on 24 October 2008 for broader contextual views.

Current aerial photographs have been resourced from Google maps online, at <http://maps.google.com.au>.

The current and historic plans of the former ASN Co. Building including the development history of The Rocks have been sourced from the archives of:

- Sydney Harbour Foreshore Authority
- City of Sydney Archives
- City Plan Heritage archives

A number of historical photographs have been obtained from the NSW State Library online catalogue at <http://library.sl.nsw.gov.au/search> and the City of Sydney Archives online catalogue <http://www2.photosau.com/cityofsydney/scripts/home.asp>. Other photographs and resources generally have been sourced from the Sydney Harbor Foreshore Authority Archives and the Mitchell Library of the State Library of NSW.

As indicated above, this CMP is a revision and upgrade of the previous CMPs prepared by Tropman & Tropman Architects and Graham Brooks and Associates. Therefore the findings of those CMPs have been incorporated into the current report and amended as necessary to reflect the changes and development in the building since the preparation of the previous report.

Other sources include:

- The Foreshore Authority's online Resource Material and Heritage Register
- NSW Heritage Office State Heritage Register Database
- Victorian Heritage Database online
- Register of the National Estate online database
- National Library of Australia online catalogues including the Picture Australia online database
- State Records catalogues and databases
- National Archives catalogues and databases
- City of Sydney Archives catalogues and databases generally

National Archives are known to have had 1949 plans related to the site as they have been reproduced on several occasions. The referencing of these did not provide detailed enough location numbers to identify the originals at Archives. Thus far National Archives indexes have not been able to provide any clear guidance as to the likely location of these. No research to date has identified the original plans for the site.

No physical intervention was made during the fabric inspection. Most of the roof and the water tower could not be accessed externally. Access to the clock tower's exterior was limited due to high winds during site visits.

1.8 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions:²

For terminology used in identification of historic architectural styles and building elements, the Foreshore Authority encourages the use of the terminology as presented in the *Pictorial Guide to Identifying Australian Architecture* (various editions) prepared by Irving, Apperly and Reynolds.

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

² *Australia ICOMOS Burra Charter 1999, p. 2.*

1.9 Authorship

The principal author of this Conservation Management Plan is Kerime Danis (Manager of City Plan Heritage – MHerCons, BArch). Nicole Secomb (Senior Heritage Consultant – Historian, BA, Mlitt) has provided assistance on the historical material, site description and field survey. Gina Scheer (Heritage Consultant – BA-Archaeology) and Katie Thomas (Assistant Heritage Consultant – BA-history, BS-land & environment management) have provided assistance in archaeological matters and contextual views, and compilation of background information respectively.

2. Documentary Evidence

2.1 Thematic History

In order to better understand how the Former Australasian Steam Navigation Company Building (ASN Co. Building) developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Office (recently renamed to Heritage Branch, NSW Department of Planning) has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.³ The organising principle for the thematic framework is the dynamism of human activity.

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁴

The State historical themes of Industry, Commerce, Technology, Government and Administration, Creative Endeavour, and Persons are used in this history to guide research questions, interpret the history, and structure the narrative of the development of the former ASN Co. Building within the context of the development of The Rocks.

Development of The Rocks

Indigenous Sydney - The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the *Eora*, or coastal *Darug*. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a “clan” (subgroup) known as the *Cadigal*. Their word for The Rocks –or more specifically the shore where the hospital stood on George Street between Globe Street and Argyle Street was “*Tallawolodah*”. The peninsula of land which we now call Dawes Point, was “*Tarra*”, and Sydney Cove itself was “*Warrang*” or “*Warrane*”.

Due to the rugged outcrops of rock which later gave the “The Rocks” its name, it is unlikely there was any “permanent” occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal cooking fish.

The Convict Settlement (1788-1820)

After the arrival of the Europeans in 1788 the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. Along George Street, the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory and, in 1791, a fort (Dawes Point Battery) were constructed. In 1810 the streets of The Rocks were formalized and generally given the names they bear today.

As the colony grew the rough convict huts were replaced by modest houses, and also a few mansions. From the archaeological excavations that have been carried out over the past 10 years it has become evident that the lives of the convicts was far different than the

³ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

⁴ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

general view many people have. These convicts were often trades people from Britain's cities, not to mention large numbers of political prisoners exiled after the Irish rebellion in the 1790s. They appear to have had a far better lifestyle in Sydney than they would have expected in Europe. They ate well off fine china and expensive oriental porcelain, and furnished their houses with fine figurines and exotic curios. Many made substantial fortunes from investing in ships trading with Asia and the Pacific.

As Sydney expanded in the 1790s the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area were forced to register the land they occupied and pay a fee to the colonial secretary.

The Port Town (1800-1900)

Following the opening up of Sydney to free settlement after 1822 the government surveyors surveyed and issued titles to the land in The Rocks and other parts of Sydney. Long-term occupants were granted title of ownership to their land. As Sydney underwent a population boom after the assisted immigration and then the gold rushes between 1839 and the 1850s, many old-time occupants subdivided their lands, either selling off portions or else retaining them as landlords.

From c.1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets.

By the late 19th century The Rocks had become run down and overcrowded, the dozens of pubs being seen as meeting places for criminal gangs, and the back streets the haunts of prostitutes. In short, it was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean the area up. Of the 103 deaths attributed to the plague, only 3 occurred in The Rocks. The entire area was bought up ("*Resumed*") by the Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) which then demolished hundreds of houses considered to be uninhabitable.

Redevelopment (1900-current)

The newly formed State Government Housing Board designed and built "workers" housing in 1911-13 in a move to keep tighter control on the area. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of "terrace" housing as being unhealthy; this being the period of sub-urban expansion and the development of the "Garden Suburb" ideal. The First World War halted much of the Government's redevelopment plans for the area and effectively stopped further demolition.

In the Inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War & Glenmore), and some NSW Government offices (Housing Board, Dept of Labour & Industry, State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair's butchers, Bushell's, Cadbury's). All relied on locally-based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953 and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932 saw the demolition of some 400 houses in Princes Street, Upper Fort Street and the western side of Cumberland Street. Princes Street itself disappeared from the map.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c.1932-1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex Street (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as the post-war immigration gateway to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development. Between 1971 and 1973 the Government gave in to their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable. Local residents were re-housed in the area, and the former Victorian residential terraces of George, Playfair, Gloucester and Harrington Streets were converted to commercial uses. The area south of the Cahill Expressway, known as the "sacrificial zone" was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

Development of the precinct

The ASN Building Co site and surrounds was initially confined to development along the road that followed the foreshore of the western side of Sydney Cove from the settlement to the signal battery at Dawes Point via the observatory. A plan by James Meehan in 1807 shows the site as a grant to Robert Campbell together with a larger grant further north that included the site of what is now known as the former Mining Museum. Although this map acts as an accurate record of land grants at the time, it does not represent the existing buildings. It is known that by this time Robert Campbell had constructed his wharf, house and the first of his storehouses. The 1822 plan of the Town and Suburbs of Sydney provides a better visual narrative of the development that has taken place, showing a number of buildings in and around the ASN company site, by now Campbell's wharf house, wharf and stores. The wharf and stores are the only items singled out for identification in the area on this plan.⁵

By 1831 Sydney was a thriving port servicing the increasing international export trade. However, development north from the subject site and east of George Street continued to be sparse. Five years later in 1836 Campbell's wharf and associated buildings are evident. Little had changed by 1854, but Campbell's storehouses had increased in number. In addition, the water police office, dock yard and commissariat wharf were all in operation. During this period numerous warehouses and bonds stores were constructed, including the Argyle Bond Store in Argyle Street, the Union Bond Store in George Street and Moore's warehouse. This set an important development pattern that would continue in the area for many years to come, often encouraged by broader economic circumstances. For example, the ongoing development of stores and warehouses from the mid nineteenth century has been attributed to the economic progress from the late 1840s in response to the discovery of gold.⁶ This probably refers to the Californian gold rushes as payable gold was not discovered in Australia until 1851. The 1850s and 1860s saw the construction of the Mariners Church and Sailors Home, which provided what were considered essential services in ports everywhere. Such institutions were believed to be necessary to look after the health, social and spiritual welfare and character of the sailors. By the late nineteenth century commerce was thriving in and around Hickson Road and the wharves. The ASN Co's construction of their offices and warehouse took place in a climate where warehouse development was still underway in the immediate vicinity of the site and further afield.

⁵ Maps reproduced in P.Ashton and D.Watson. *Sydney Takes Shape. A History in Maps*. Australia, 2000.

⁶ Ibid.

Warehouses in the immediate vicinity of the site included 88 George Street constructed in 1886 by Virgoe Son, importers and merchants and later purchased by Bushels. Further afield, warehouses and stores included including the Hinch Cliffe woolstores in Young Street, the Barker woolstore in Loftus Street, warehouses in Bulletin Place and the Grafton Bond stores. The early twentieth century saw the continuation of this development, including the Harrington Warehouse in the 1920s between Mill Lane and Playfair Street, the warehouse which is now the Observer Hotel at 55 George Street, and the Metcalfe Bond stores at 68-84 George Street.⁷

In addition to the warehouse construction work, the late nineteenth and early twentieth century was also a time for change to the streetscape. In particular, the government purchased land between Campbell's storehouse and Sydney Cove and demolished all the buildings. Excavation works were undertaken to the level of Hickson Road between 1906 and 1912, and a stone retaining wall constructed to support George Street. The 1958 construction of the Overseas Passenger Terminal saw another significant and more visible change to the precinct, disturbing the visual relationship between the Campbell's stores, the ASN Building and the harbour.⁸

The mid century saw many of the warehouses converted for public offices, both State and Commonwealth. This reflected a growing government presence in The Rocks area, including the Department of Health in the former Bushels Building at 88 George Street. The ASN Building provided space for health, trade and customs and defense. The eventual elevation of The Rocks to heritage status and its subsequent development as a major tourist destination saw many of the former warehouses in and around the ASN Co. Building converted to commercial and retail use. The ASN Co. Building was acquired by the Sydney Cove Redevelopment Authority in 1989, restored and is now tenanted by a number of retail businesses.⁹ The former Bushels warehouse and Campbell's stores had previously received similar treatment. The former Mining Museum further along Hickson Road followed a different development route, having been constructed as a powerhouse in the early twentieth century, but operated as the Geological and Mining Museum from 1909 until 1996 when it was closed.

2.2 Historic Themes

The following Australian and State themes for the subject site have been addressed in the previous CMP for the ASN Co. Building. The local themes have been established as part of this report. The history prepared by Graham Brooks and Tropman & Tropman, has provided the basis for this section of the Conservation Management Plan.

Australian Theme	NSW Theme	Local or Sub-Themes
3. Developing Local, Regional and National Economies	Industry	Distribution of goods
3. Developing Local, Regional and National Economies	Commerce	Trade and warehousing
3. Developing Local, Regional and National Economies	Technology	Use of new technologies – steam cranes; Installation of new technologies – fire sprinklers

⁷ State Heritage Inventory Forms for former Bushells Tea Building, Metcalfe Bond Stores; Old Sydney Inn, Sailors Home, Mariners Church, Graham Brooks & Assoc. *Conservation Management Plan. ASN Co. Building. Hickson Road, The Rocks.* June 2004. pp30-31.

⁸ City Plan Heritage. *Former Mining Museum. 36-64 George Street, The Rocks.* April 2008. Pp.20-25.

⁹ Ibid, SHFA Data Sheet 5-7 Hickson Road CP06.

Australian Theme	NSW Theme	Local or Sub-Themes
7. Governing	Government and Administration	Managing government resources and responsibilities
8. Developing Australia's Cultural Life	Creative Endeavour	Sydney Tourism
9. Marking the Phases of Life	Persons	William Wardell

2.3 Initial Development of the Site

Early Occupation

According to Grimes Plan of Sydney, one of the most reliable guides to the 1790s landholdings around Sydney Cove, the land now occupied by the ASN Co. Building was originally part of a 1.5 acre (6070sqm) lease to John Baughan authorized by Lieutenant Governor Grose in December 1794 for fourteen years. Adjacent areas to the north, comprising 2½ acre (10117sqm) on the southern shore of the little cove (now Campbell Cove) and the sloping hillside above was held by Captain Waterhouse, a naval officer who came to the colony with the first fleet.

In 1798 Robert Campbell, a twenty-nine year old Scott arrived in Sydney from Calcutta with a cargo of general merchandise. He saw opportunities for developing an export and import trade and immediately applied to Governor Hunter for the lease of land on which to establish a merchant warehouse. Hunter refused and Campbell obtained the lease (and eventually the grant) of Baughan's land adjacent to deep water on the west side of Sydney Cove. Planning further development he also approached Captain Waterhouse.

Military officers, government officials, shipmasters and emancipated convicts had engaged occasionally in trade, as opportunities offered, but Robert Campbell was the first merchant at Sydney to build his own warehouses, and to engage in the export and import trade as a regular occupation.¹⁰ Campbell's warehouses were stocked not only with general merchandise, including grog, imported chiefly from India, but also with whale oil, sealskins, and cedar, which he bought from local shipmasters, and eventually with wool, brought from graziers, enabling him to develop an export trade as well as an import trade.

¹⁰ P.R.Stephenson. & B.Kennedy. *The history and description of Sydney Harbour*. REED, 1980. P.188.

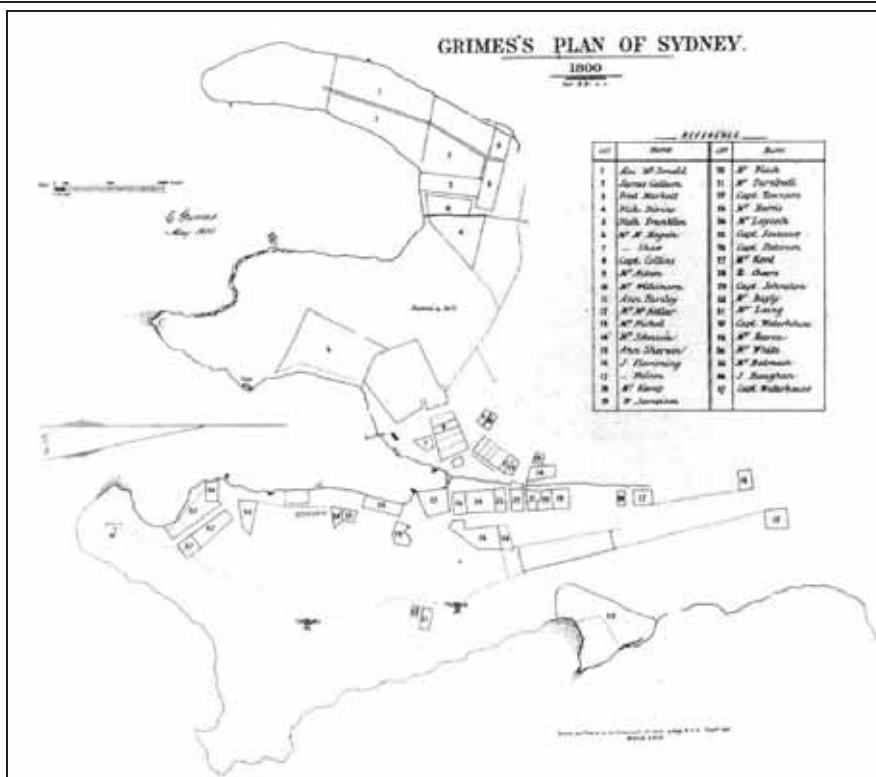


Figure 5: Grimes 1800 Plan of Sydney showing John Baughan's lease.
(Source: T. McCormick et al. *First Views of Australia. 1788-1825.* Longueville Press: Australia, 1987.)

Campbell's Wharf House

By 1801 Robert Campbell erected storehouses and wharf on the western side of the Sydney Cove and by 1802 completed Wharf House for his family. This house occupied the site of the present ASN Co. Building and was an elegant landmark, prominent in many early photos and sketches of the harbour. An inventory of Campbell's property made in 1810 described the home as a nineteen-room dwelling "finished in an elegant manner with Colonnades and two fronts", which, together with stables and coach houses, was valued at £5,450. The grounds on which the houses stood included a garden, a paddock, and two wells. These grounds had been drained and cleared of rocks, and some of the land had been expensively reclaimed with broken rock.



Figure 6: This view of Sydney Cove by Lesueur shows Campbells Wharf House and soon to be finished first warehouse
(Source: T. McCormick et al. *First Views of Australia 1788-1825.* Longueville Press, 1987).



Figure 7: Part of Lesuer's Plan De La Ville De Sydney, 1802. Campbell's buildings are located on the western side of Sydney Cove.
(Source: Ashton & Waterson *Sydney Takes Shape*, 2000)

On the water frontage there were two wharves and a heaving down place for ships. The house was approached from the land side by a driveway of paving steps and coping and from the waterfront by a separate landing to the driveway. The business premises comprised a 50.9x9.1 meter (167x30 feet) warehouse and five storage vaults and an office. Within the yard there were two houses for the gardener and cooper, respectively, a cooperage and a rope shed. The improved value of the entire property was estimated at over £17,000.¹¹

A late 19th century survey map of the Campbell Cove area includes useful information in relation to the site. It identifies that the site (Allotment No. 1 in Section 86) was originally granted to Robert Campbell in 29th June 1814. The approximately 1.23 hectare (3 acre 0 rood 10 perches) site included two ranges of stores: the old stores, built in 1802, and the Old Metcalfe Bond stores (now known as Campbell's Stores); another stone stores (built about 1828), a stone cottage, a wooden store and a wooden shed and underground stores with stone face, built in 1828. Campbell, Australia's first fully established merchant, maintained trade and continued to expand for more than forty years. His trading business had been growing in response to increased export trade, a growing home market and the success of the whaling industry¹². His impressive complex of wharves and storehouse buildings were expanded with five storehouse bays, built between 1839 and 1842. After Robert Campbell's death in 1846, his business and holdings in the area passed to his sons and daughter. Robert Campbell Junior extended the foreshore stores with four more bays during the years 1854-58 and the last three bays were completed between 1859 and 1861. Originally set on the quay on the water's edge, Campbell's stores still survive and remain a landmark in The Rocks.

¹¹ Steven, *op. cit.*

¹² Graham Brooks. *op. cit.*



Figure 8: Woolcott & Clarke's Map of the City of Sydney, 1854.
Showing development in and around the subject site.
(Source: Ashton & Waterson. *Sydney Takes Shape*.)



Figure 9: 1865 Trigonometrical Survey showing the site of wharf house,
the Mariners Church and the Sailors Home.
(Source: City of Sydney Archives)



Figure 10: 1870s photograph of Campbells Wharf House. The ASN Co. occupied this house until it was demolished to reconstruct the ASN Co. Building.
(Source: Mitchell Library, Small Picture File 350)



Figure 11: Image of Circular Quay showing Campbells wharf house between the Mariner's Church and Campbells warehouses.
Source: Mitchell Library Small Picture File – Circular Quay. n.d

The Australasian Steam Navigation Company

Formed in July 1851, the Australasian Steam Navigation Company (ASN Co.) replaced the Hunter River Steam Navigation Company (HRSN Co.), which operated steamships between Sydney and the Hunter River. HRSN Co. was Australia's first steam ship company. In 1840, the Company purchased a wharf in Darling Harbour at the end of Margaret Street and a site for their Head Office in Margaret Street. The Company operated the 200 tonnes peddle-steamer, "Rose", which was purchased from England. During the 1840s the Company began service to Moreton Bay, Queensland and to Melbourne, Victoria and purchased property at Pyrmont for workshop and maintenance activities.¹³

In 1850, it was felt that the Company's title and Deed of Settlement limited its scope. A reorganisation took place and the Company changed its name, becoming the Australasian Steam Navigation Company in July 1851.¹⁴

The gold boom in Victoria and NSW created a large demand for steamships. Overseas ships were brought in to capitalise on the boom. Competition from other steamship companies began to arise during the 1850s and continued to grow in the following decades. By 1860 the ASN Co. had 18 steamers in operation. In 1861 the company pulled down its various buildings at the wharf in Darling Harbour and erected new office and stores on Darling Island (at the north end of Darling Harbour) which was also their shipbuilding yard. In 1868 ASN Co. bought all of the assets of the Queensland Steam Navigation Company, which was previously their strong competitor. In 1869 ASN Co. operated their first international service to Fiji, and in 1874 ASN Co. services were extended to Cooktown. In 1881, the company, under the management of Captain Trouton, purchased eleven new steamers from England to upgrade the fleet to service Sydney effectively and compete with competition from the British India and Queensland Agency.¹⁵

The Australasian Steam Navigation Company purchased Campbell's Wharf and adjoining land for £50,000. Subsequently the company altered and used the residence as its docking office until 1883, when Wharf House was demolished.¹⁶ In 1884, the Australasian Steam Navigation Company erected new office and warehouse on the site of Robert Campbell's residence.

¹³ Lester Tropman & Assoc. *Preliminary Conservation Management Plan. Former Australasian Steam Navigation Company Building at 1-5 Hickson Road, The Rocks.* June 1990.

¹⁴ University of Melbourne www.austehc.unimelb.edu.au

¹⁵ E.Martin. *5-7 Hickson Road, Management Plan.* May, 1981. p.12. Graham Brooks & Associates *Conservation Management Plan. 1-5 Hickson Road, The Rocks.* June 2004

¹⁶ E. Balint. *Historic Record of Sydney City buildings. A review of historic commercial building construction in the Victorian era.* School of Building, University of NSW, 1984.

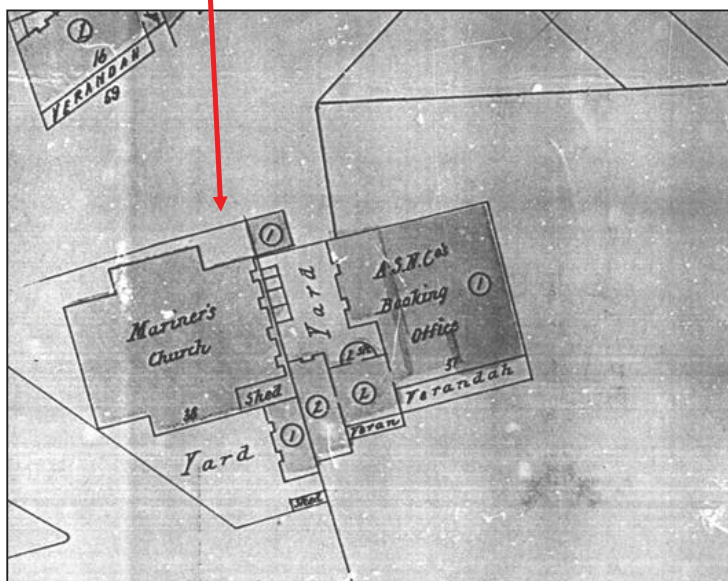
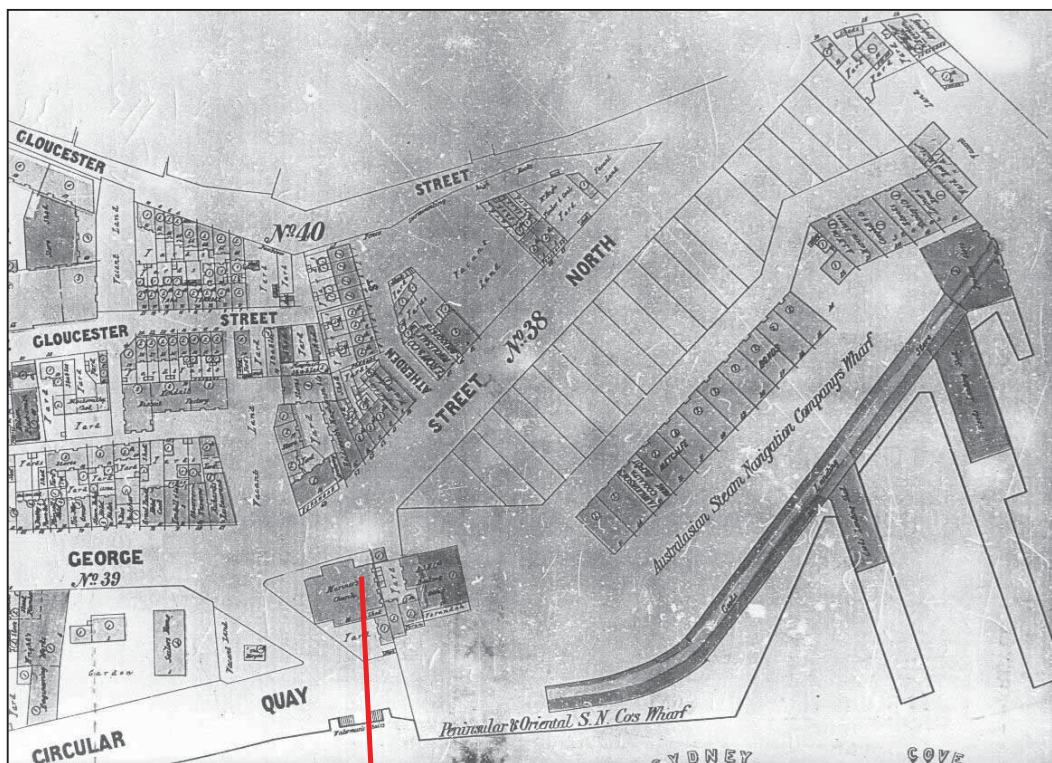


Figure 12: This image shows the use of Campbells Wharf House as the ASN booking office prior to its demolition to allow construction of the current building.

(Source: Dove's Map, 1882, City of Sydney Archives.)

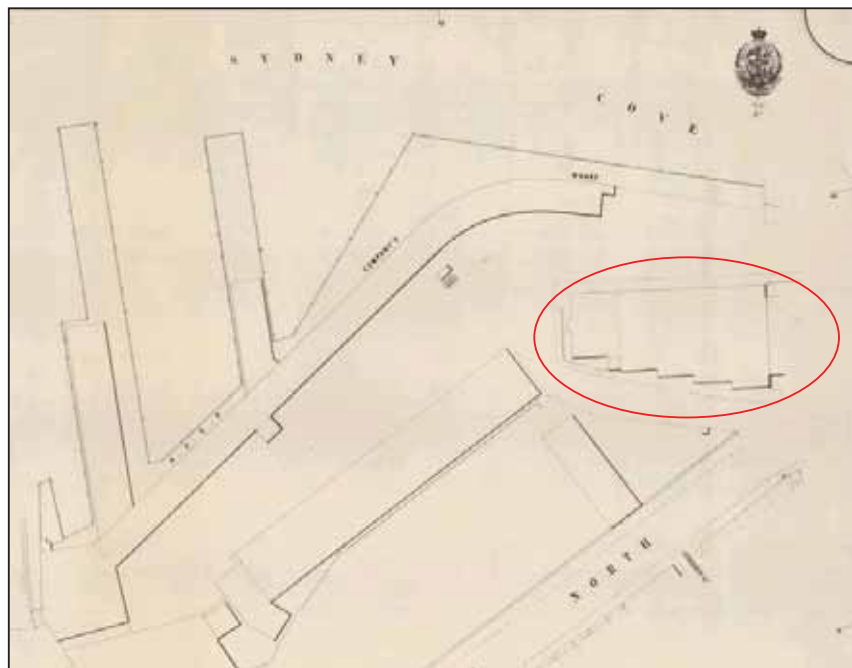


Figure 13: Site of ASN Co. Building, 1889.

(Source: Sydney Metropolitan Detail Series, City of Sydney Sheet Q4.
Mitchell Library, State Library of NSW)

2.4 History of the Occupation of the Site

Construction of the ASN Co. Building

The building was designed by William Wardell. Wardell was Inspector General of Public Works of Victoria before being dismissed from office in 1878. He had continued to practise privately in Victoria during this period. Upon leaving Public Works of Victoria he moved this practise to Sydney and formed a partnership with Walter Liberty Vernon, Government Architect in NSW between 1890 and 1911.

Wardell is believed to have been given the commission to design an office and warehouse for the Australasian Steam Navigation Company sometime before 1880. Volume Two of Wardell's Letter Book held in the Mitchell Library contain letters relating to the construction of the ASN Co. Building, which suggest that in August 1883 the possibility of "five bays" was discussed. A letter from Wardell to the ASN Co. dated 29 November 1883 advised that 9 tenders had been received for the proposed building and recommended the acceptance of the tender by W. H. Jennings.¹⁷ It took eighteen months to complete and be opened.

The significant size of the ASN Co. Building project is understood when it is considered that 3,000,000 cubic feet of stone needed to be quarried from the site to erect the new building. This caused Jennings increasing concern that the construction contract would not be completed in time. However, during a trip home England, Jennings observed a method of moving materials with steam cranes he believed would decrease the construction time by at least 6 months. He sent out two powerful steam cranes to raise bricks and materials to the apex of the building. This saved 50% in labour and time. Jennings was so pleased with the effect that he imported a third crane to complete a later contract.¹⁸

¹⁷ *Letterbooks of William Wardell*, Mitchell Library, State Library of NSW.

¹⁸ SMH 25 July 1885.

Subsequent occupation and use

The ASN Co. Building was opened on 24 July 1885 with many individuals of note in attendance, including Sir Henry Parkes. The tower was said to be used for sighting the Company's ships. In the same year the ASN Co. also returned a financial loss due to increasing competition with other shipping companies and the development of rail transport. In 1886 the British India and Queensland Agency bought out ASN Co. and formed the Australasian United Steam Navigation Company (AUSN Co.). The Queensland Steamship Company amalgamated with AUSN the same year. This company continued to operate until the 1960s.¹⁹

In 1887, the Colonial Government purchased the land between Campbell's Stores and the Cove that included the AUSN Company's wharf.²⁰ Later that year the Crown acquired the ASN Co. Building to be administered by the Sydney Harbour Trust. AUSN moved out of the building in 1889. AUSN Co sold their wharf and property in Darling Harbour and portions of their freehold at Circular Quay during the 1890s. This was a period during which the British India Steam Navigation Company's set up the Queensland Steam Ship Company, creating significant competition for the ASN Co.

By 1891 new tenants had begun to occupy the office portion of the ASN Co. Building. W. M. Millan was listed as tenant of the building which consisted of 3 floors and 14 rooms. The warehouse components were not listed in the 1891 Rate Book.²¹

As the 1890s progressed three of the warehouses were used as Government Ordnance Stores. Three of the warehouses and the office component were occupied by Captain Jackson. *Sands Directories of NSW* indicates that Captain John Jackson was the Manager of Public Wharfs. The southernmost bay (identified as Store D in the Rate Books) was used as wool stores of the H. J. King and Co. By the late 1890s and early 1900s they showed Taylor Charles and Co. wool stores occupied the southernmost warehouse (see also photographic evidence). In 1906 an area of 1 rood and 9¾ perches containing the ASN Co. Building was withdrawn from the Sydney Harbour Trust Commissioners and the building was handed over to the Department of Defense.²²

From 1950 to 1989 the ASN Co. Building was occupied by the Australian Commonwealth Offices, when conversions by the Department of Works and Housing made the building suitable for office use. From 1950 to 1989 the building was used as offices for the Navy, the Air Force, Customs Department, and as consulting rooms and laboratories for the Department of Health Acoustic Laboratories.²³ The detail of these uses and some apparent commercial uses have not been identifiable within the rate books due to the haphazard nature of the recording of this section. Although the original plans have not been identified, a copy was included in the 1981 *5-7 Hickson Road, Sydney – Management Plan* by E J Martin for the Department of Housing and Construction and have been reproduced in this document. To-date they have not been able to be identified at National Archives.

After lengthy negotiations the Sydney Harbour Authority purchased the ASN Co. Building (also called Commonwealth Offices or Ordnance Stores) from the Commonwealth Government on 31 March 1989 with a short-term lease back arrangement for part of the building. In 1990, Bay 5 of the building was adapted for use, together with the Mariner's

¹⁹ SMH 25 July 1885; E.Martin & Assoc. *op.cit.*, p.13.

²⁰ Parkes Corresp, ASN Co, Mitchell Library

²¹ *Rate Assessment Books*, City of Sydney Archives 1891.

²² Government Gazette 2/11/1906 No 259; *Rate Assessment Books*, City of Sydney Archives; *Sands Directory of NSW 1890-1930*.

²³ C & MJ Doring P/L. *Preliminary Industrial Archaeology Study of Australasian Steam navigation Company Building, George Street North The Rocks*, Sydney, 1990.

Church, for *The Story of Sydney*, and exhibition of the foundation and development of Sydney. *The Story of Sydney* was a “a privately funded, \$10 million entertainment venture combining film, animation, static displays and special effects to produce what its promoters call a dynamic, walk-through time wrap celebrating the city’s past.” *The Story of Sydney* opened in January 1991. Although it was expected to earn a special place among Sydney’s special places – including the Opera House and the Harbour Bridge, visitor numbers were disappointing. Only 65,000 people attended the exhibition during its first and only year of operation. *The Story of Sydney* closed in January 1992.²⁴

Table of (positively identified) Owners and Tenants of the site

DATE	OWNER	TENANT(S)	DESCRIPTION	REFERENCE
1851			ASN Co. formed from Hunter River Steam Navigation	Tropman and Tropman, 1990
1884-1885	ASN		ASN building constructed in Syd and opened 24/7/1885	Tropman and Tropman, 1990
1886	AUSN	AUSN including Managing Director, General Manager, Secretary and Traffic Manager	British India Steam Navigational Co and Qld Steam Shop company bought out ASN Co. and formed AUSN Co	Tropman and Tropman, 1990
1889	Colonial Government, administered by Sydney Harbour Trust	Possible separate tenants	AUSN moved out of building	Tropman and Tropman, 1990 E. Martin, 1981
1890		Offices of Board of Water Supply and Sewerage and Government Ordnance Stores		<i>Sands Directory</i> , 1890
1891		Captain John Jackson (Manager of Public Wharves) and Government Ordnance stores under Major JT Blanchard. Rate Book listed a W.M. Millan as the occupier of the office component of the building		<i>Sands Directory</i> , 1891
1892 - 1896		Captain John Jackson (Manager of Public Wharves) and Government Ordnance stores		<i>Sands Directory</i> , 1892-1896
c. 1894			Brick water tower added	

²⁴ Sydney Harbour Foreshore Authority Archive Files – ASN Co. Building. Director’s Report No 55/89; Sydney Morning Herald 15/11/1990, Phanfare, Newsletter of the professional Historian’s Association of NSW, March 1991.

DATE	OWNER	TENANT(S)	DESCRIPTION	REFERENCE
1898 – 1901	Sydney Harbour Trust	Southernmost warehouse - wool stores of Taylor Charles and Co. and Government Ordnances		<i>Sands Directory</i> , 1898 - 1901
1906	Change from Sydney Harbour Trust to Department of Defence			Brooks, CMP, 2004
1921	NSW Government Harbour Trust Commissioners	Department of Trades and Customs (4 Hickson Rd)	A store of iron with an iron roof, 1 floor @ £100 gross annual value	SCA – Assessment Books, 1921, p8
1931	Commonwealth Government	Ordnance Free Stores	5 storey, 20 roomed store of brick and stone with a slate roof valued @ £2,555 gross annual val.	SCA – Assessment Books, 1931, p.152
		Department of Defence	Offices and stores – 4 storey, 16 roomed brick building with slate roof valued at £820 gross ann. val.	
1949		Drawings prepared for Dept of Works and Housing for conversion from stores to offices		Tropman and Tropman, 1990
1950		Commonwealth Offices	Works carried out including replacing timber warehouse doors with steel windows – only major change to exterior	Tropman and Tropman, 1990
1950 – 1989		Building used as offices for the Navy, the Air Force, Custom's Depart and for Dept of Health Acoustic Laboratories		Brooks, CMP, 2004
1958		Construction of Overseas Passenger Shipping Terminal		Tropman and Tropman, 1990
1970		Commonwealth Lighthouse Service	Ground Level sign above roller door on Circular Quay West	
1970		Carpet Cleaning	Big sign on façade with a phone number, above Circular Quay West near Hickson Road.	(Sign removed in 1990s. See photo 39944_A742-113 from SHFA)
1977			Renovations	Tropman and Tropman, 1990
1985		Dept of Health, Customs, RAAF		E. Martin, 1981

DATE	OWNER	TENANT(S)	DESCRIPTION	REFERENCE
1989	Sydney Harbour Authority			Tropman and Tropman, 1990
1990	Sydney Harbour Foreshore Authority	Vacant but bay 5 and mariner's church adapted for exhibition 'The Story of Sydney'		Tropman and Tropman, 1990
1991-1992		John Kaldor (middle 3 bays, top 3 floors) for his Art Projects gallery Bay 5 and Mariner's Church – 'The Story of Sydney'.		Foreshore Authority Archives, Box: SCA 2, File: Re0911.01.06
1992		Australian Customs Service, Queens Bond	Ground entry on Circular Quay West	Foreshore Authority photo 170817- Bldg 44
1994-1996		Level 2 & 4 – Ken Done and Assoc.		Foreshore Authority Archives, Series: 0659/4500008. File: 1393.02.01
1998		Level 4 – tenancy fit out for Ms Logan Leith		Foreshore Authority Archives, Series: 0659/4500008. File: 1393.02.01

Table of Possible Tenants 1892-1901, based on Sands Directory of NSW

DATE	POSSIBLE TENANT(S)
1892	Government Printing Offices Stores
1893	Government Printing Offices Stores and The Sydney Bonded and Free Stores Co.
1894	Government Printing Offices Stores, The Sydney Bonded and Free Stores Co., King H J and Co. – Woolstores and McMurray and Merchant, Tug owners
1895	Mailer J S & Co. – Wool Store, Hansen O.N. – Watchman, Government Printing Offices Stores, Mercantile Explosives Department – UV Williams, Superintendent and King H J and Co – Woolstores and McMurray and Merchant, Tug owners
1896	Hansen O N – Watchman, Government Printing Offices Stores, Mercantile Explosives Department – UV Williams, Superintendent and King HJ and Co – Woolstores and McMurray and Merchant, Tug owners
1897	Government Printing Offices Stores, Public Wharves Office – Jackson and Warren, Mercantile Explosives Department – U V Williams, Superintendent and McMurray J, Tug owner
1898	Government Printing Offices Stores, Public Wharves Office – Jackson and Warren, Mercantile Explosives Department – U V Williams, Superintendent and McMurray J, Tug owner
1899	Public Wharves Office – Jackson and Warren, Mercantile Explosives Department, Merchant, E – Steam-tug Owner Mc Murray J – Tug Owner

DATE	POSSIBLE TENANT(S)
1900	Public Wharves Office – Jackson and Warren, Mercantile Explosives Department, Merchant, E – Steam-tug Owner Mc Murray J – Tug Owner
1901	Mercantile Explosives Department – UV Williams

2.5 Development of Building Components

Plans for design of the building were prepared sometime between 1880 and 1883. These plans are not known to survive. Instead a description of the opening of the building provides a good understanding of the original place.²⁵

"The new buildings are five storeys high, the first storey being of stone and the remaining ones of brick, and the structure - which is capacious enough to hold 12,000 tons of merchandise - cost the A. S. N. Company £30,000. Among the offices is a spacious board room, available for public meetings of the share-holders. The lowest floor of offices, level with the wharves, and entered therefrom, comprises the shipping office, marine superintendants office, the traffic superintendant's office and an apartment for the reception of carter's tickets and general wharf business.

*The ground floor, entered from the western side of the building, contains the general office and the passengers' traffic office. Above this, the first floor includes a spacious apartment especially set apart for board and general meeting purposes; also the manager's room, the secretary's room and ample accommodation for the clerical staff and a resident caretaker. Each floor is amply provided with modern conveniences, telephone communications etc. The storage accommodation comprises about 40,000 feet superficial area ..."*²⁶

Wardell noted "that his only objective was to give his employers a building suited to their purposes, and to do it at as economical a rate as possible."²⁷

Alterations to the building

In c.1894 the building was fitted with fire sprinklers. Sprinklers were in use overseas by the 1880s, especially in Britain and USA. The first installation in Australia was in Melbourne in 1884. According to Doring, the first sprinklers in Sydney were installed in the Government Printing Office, in 1889. Thus, although the ASN Co. was not the first sprinkler installation in Sydney, it was probably one of the earliest.²⁸ At a similar time, a large, decorative brick tower was added above the roof to hold the required iron header tank for the back-up water supply. As Wardell was still alive at this time it is considered possible that Wardell or Vernon designed this tower.²⁹

Photographs of the building c.1900 show a small shed on Circular Quay West, probably housing a steam engine to drive a wool press. Taylor Charles and Co. wool stores occupied Bay 5 at this time. The shed was eventually demolished.

²⁵ SMH 25 July 1885

²⁶ SMH 25 July 1885

²⁷ SMH 25 July 1885

²⁸ Doring, 1990

²⁹ Doring, 1990



Figure 14: Officially, this image is undated. However, the absence of the water tower suggests it was taken during the 1880s or 1890s.
(Source: Mitchell Library Small Picture File – Circular Quay, n. d.)



Figure 15: 1903 Portion of a panorama of Circular Quay by Melvin Vaniman
(Source: State Library of NSW, DLPg22)



Figure 16: Undated photograph of Circular Quay West
(Source: Mitchell Library, PXE 711 165)

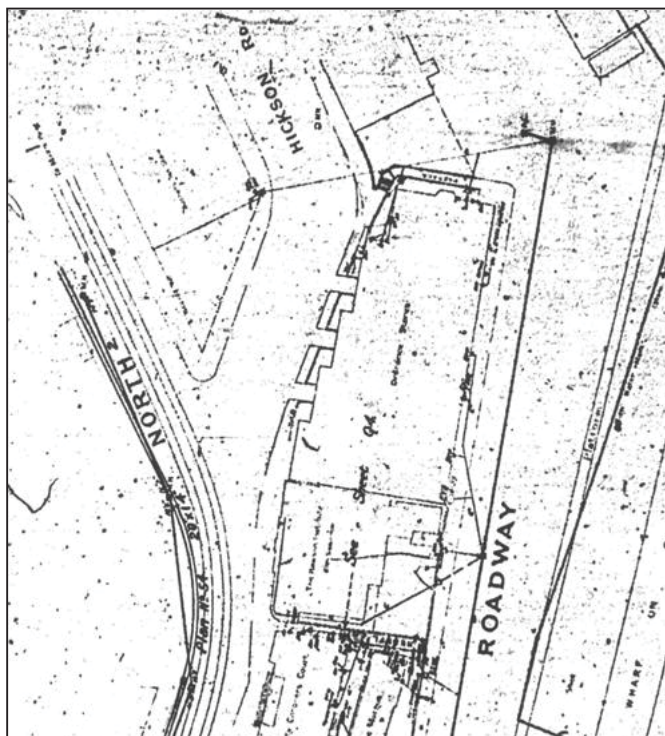


Figure 17: The footprint of the former ASN Co. Building is shown on this Sewer Detail Sheet, c1920.
(Source: Sydney Water Archives)



Figure 18: 1931 image of West Circular Quay
(Source: National Library of Australia, Cazneaux, Harold Collection, pic-an 2381157 2 v1931)



Figure 19: 1938 Photograph of ferry wharves at Circular Quay
(Source: Len Stone/Vic Solomons Collection, City of Sydney Archives, Sydney Reference Collection, 044/044367)

Converting to Office use: Alterations c.1949-50

Owned by the Commonwealth Government from the 1940s, the warehouse component of the building was extensively refurbished and converted to offices based on plans drawn in 1949. This was possibly prompted by a general trend of a reduced demand for warehouses and an increased demand for office space after World War Two. The original drawings for this work have not been identified. However, copies dated 1949 are contained in the 1981 Management Plan and are presented below.³⁰

The main works indicated by these drawings include:

- Removal of many external and internal features of the warehouse use including loading doorways and swing-down platforms, cathead beams, hoists etc;
- Removal of existing toilets, stairs and pits in the floor;
- Most of the building's timber-framed windows and warehouse doors replaced with aluminium windows;
- Two fire stairs (in Bays 3 & 5) and two lifts (in Bay 5) erected;
- New toilet blocks introduced to Bays 2 & 4;
- New partitions, mainly constructed from plywood or stud walls, and ceilings concealed;
- The original structure of the building is left largely intact; and
- Internally the existing brick walls were rendered and new openings were formed in the walls.

Some of the veneer was good quality, chiefly being Pacific Maple and probably Tasmanian Oak.³¹

³⁰ E. Martin, *op.cit.*, 1981.p.15.

³¹ Tropman & Assoc, *op.cit.*, 1990



Figure 20: 1950 view of Circular Quay
(Source: Len Stone/Vic Solomons Collection, City of Sydney Archives, 044/044400)

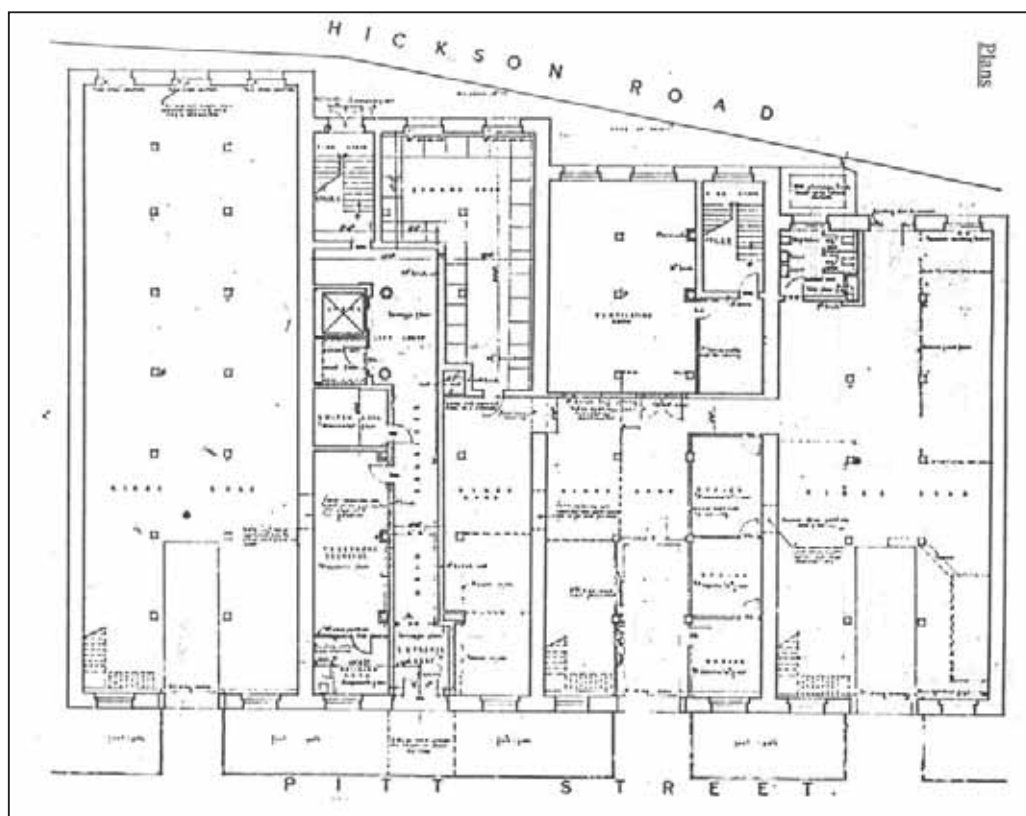


Figure 21: Reproduction of 1949 plans of conversion from warehouse to offices. Ground Floor, Drawing Nos NA 1374
(Source: E.Martin & Associates, 1981)

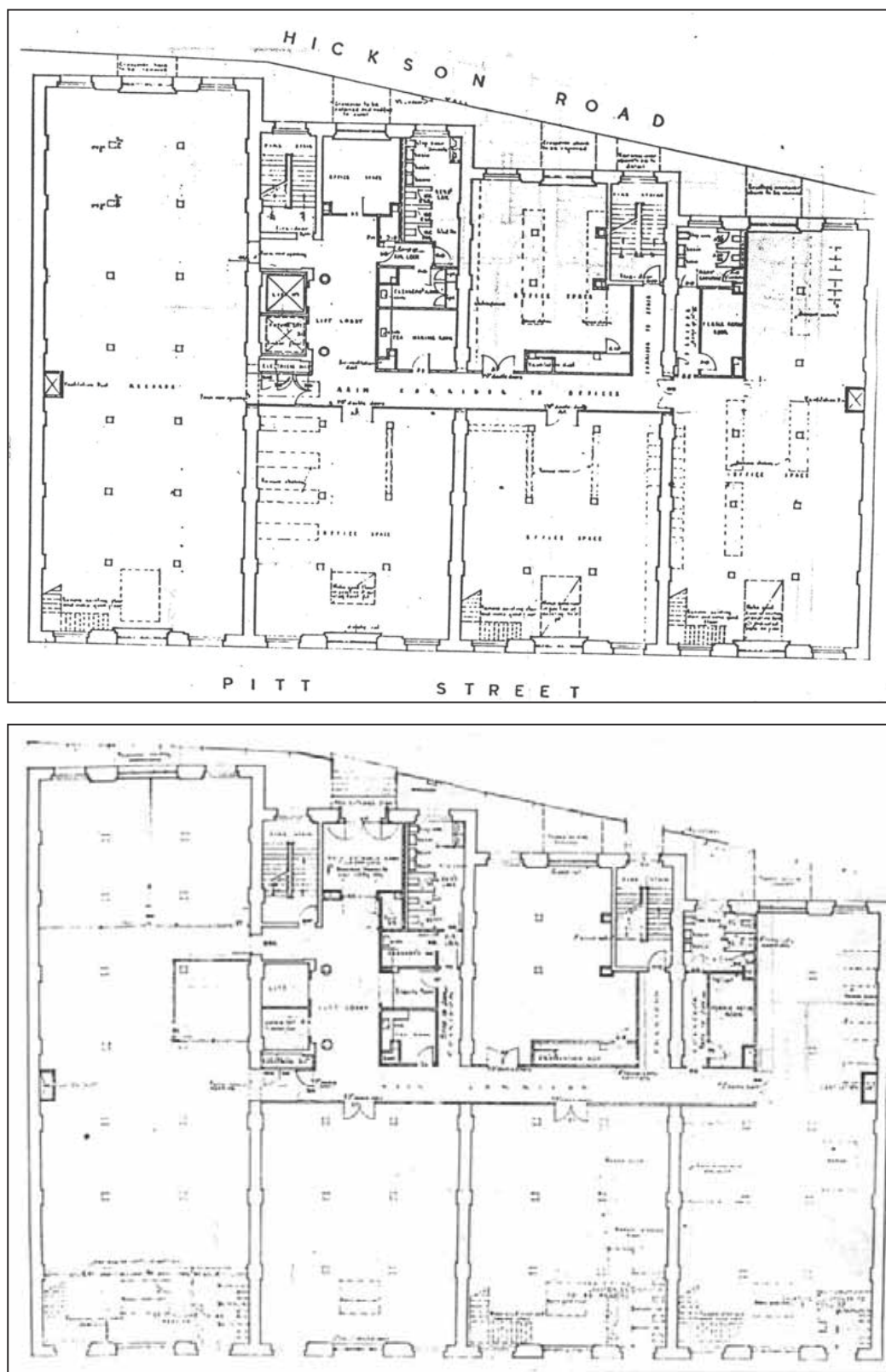


Figure 22: Reproduction of 1949 plans of conversion from warehouse to offices. First & Second Floors, Drawing Nos NA 1375 & 1376
(Source: E.Martin & Associates, 1981)



Figure 22: Reproduction of 1949 plans of conversion from warehouse to offices. Second & Third Floors, Drawing Nos. NA 1377 & 1378
(Source: E.Martin & Associates, 1981)

Further alterations: 1950s and 1970s

The office component (Bay 1) was not included in the 1950s refurbishment works. According to photographic evidence the balcony rails on the northern façade and on the tower were replaced with wire mesh during the 1950s/60s. In 1961, alterations were carried out to Bay 1 according to plans prepared by Commonwealth of Australia Department of Works. The works included the introduction of external fire stair on the western side of the building and conversion of windows to doors to allow access to these stairs. Toilets were refurbished and windows amended to louvres for the toilets.

New partitioning was introduced and the stairs from the 3rd floor directly into the tower were removed. Alterations were made to the ground floor of the office section in Bay 1. In the 1970s further partitions were introduced in Bay 1 using plasterboard and acoustic tile. The existing vinyl tiles were laid over with carpet. It was also during this period that the Ground Floor store room was added to western side of Bay 1 and the stairs to the ground floor removed.

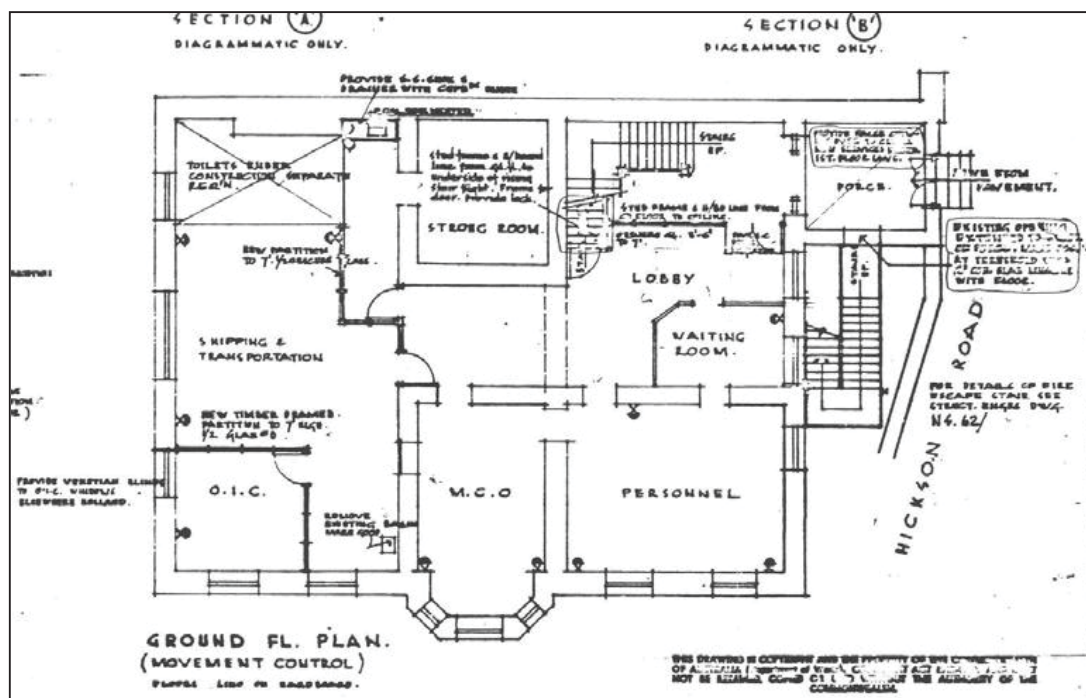


Figure 24: Reproduction of 1962 ground floor plans by Commonwealth of Australia Department of Works
(Source: Tropman & Associates, 1981)



Figure 25: 1958 View of Circular Quay, 1958 showing the former ASN Co. Building in its context prior to the construction of the Overseas Passenger Terminal.
(Source: City of Sydney Archives, Image 044/044377)



Figure 26: 1959 View of Circular quay with the Overseas Passenger Terminal under construction. The Former ASN Building is to the right of the picture.
(Source: City of Sydney Archives, image number: 2959 file: 030941)



Figure 27: 1963 Overseas Passenger Terminal and Circular Quay looking from Dawes Point Park
(Source: City of Sydney Archives, 013/0136171963)



Figure 28: 1970 Photograph of the ASN Co. Building
(Source: Sydney Harbour Foreshore Authority, 39971_A742-166)



Figure 29: Ground floor partition layout of the ASN Co. Building taken during artefact sorting from Lilyvale excavation in 1989.
(Source: Sydney Harbour Foreshore Authority, 193435_LE24; 193461_LE_36 & 192334_LVLE_158 respectively)

The Story of Sydney, 1990

In 1990, Bay 5 of the building was adapted, together with the Mariner's Church, for The Story of Sydney, an exhibition of the foundation and development of Sydney. It was "a privately funded, \$10 million entertainment venture combining film, animation, static displays and special effects to produce what its promoters call a dynamic, walk-through time wrap celebrating the city's past. As part of this new function the warehouse interior was converted into a small cinema complex. This required the removal of most of the original internal structure of Bay 5 and also involved partial alteration of Bay 4. The ground floor of Bay 5 remained unaltered, but the original timber posts and beams at the upper floor were removed and replaced with modern structure to form two approximately 150-seats cinemas in the eastern side (Circular Quay West) of the Bay. The western (Hickson Road) side was converted to a three-level high foyer with mezzanine, which exhibited parts of the retained timber structure. Alterations to Bay 4 included the introduction of concrete fire stairs, which provided access to Circular Quay West from the cinemas.³²

Refurbishment and conservation work, 1993-94

This work was undertaken to restore the ASN Co. Building to its original 1880s appearance at a total cost of \$5.7m. The works included restoration and reconstruction works to enhance the significance of the building, including the removal of much of the works carried out to the building since 1950:

- *Removal of:*
 - *Interior partitioning*
 - *Various forms of suspended ceilings and floor coverings*
 - *All electrical and telecommunication conduits and fixtures*
 - *All cladding around structural members*
 - *Air-conditioning system*
 - *Plumbing pipes, except downpipes, from the face of the building*
- *The 1950s fire stairs, located in Bays 3 and 4 were retained*
- *The 1950s elevators in bay 4 were also retained and refurbished*
- *The large external timber windows, loading doorways and swing-down platforms, cat heads and hoist pulleys were reinstated*
- *The balustrades of the clock tower and the balcony, which were replaced at an unknown date with pipe and chain-wire railing, were reconstructed*
- *New bell installed in tower in 1993*
- *The paint was removed from the spire and water tower and other parts of the brick façade and the white ASN Co. lettering to the west, north and east façades were restored.*

³² SCRA records, Directors Report No 55/89; Sydney morning Herald 15/11/1990
Phanfare, The newsletter of the Professional Historian's Association of NSW; Sydney Morning Herald 3/5/1995.

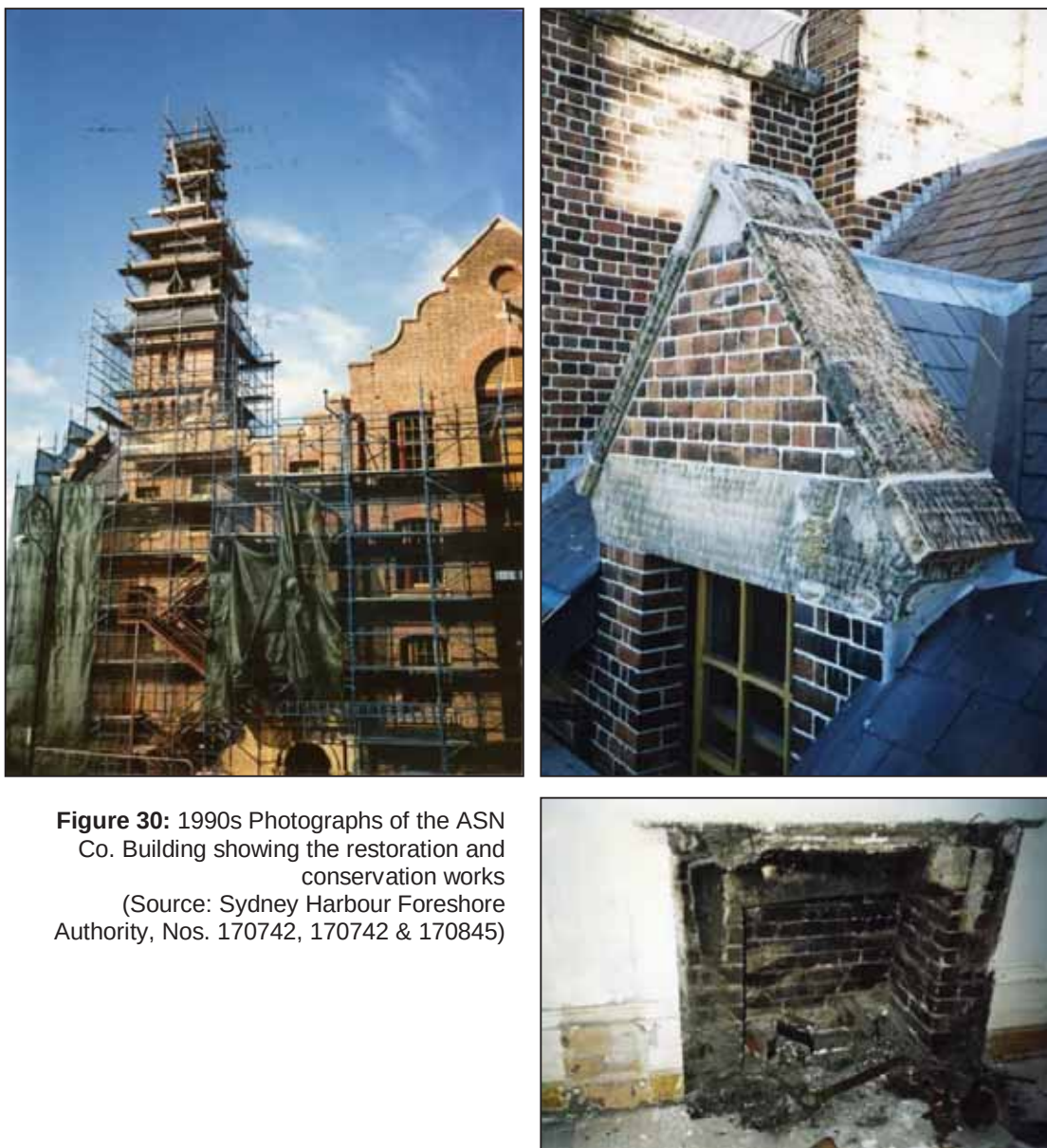


Figure 30: 1990s Photographs of the ASN Co. Building showing the restoration and conservation works
(Source: Sydney Harbour Foreshore Authority, Nos. 170742, 170742 & 170845)



Figure 31: 1990s Photographs of the ASN Co. Building showing the refurbishment and conservation works
(Source: Sydney Harbour Foreshore Authority, 170834, 170826 & 170828)



Air-conditioning of the warehouse bays 2-4 was completed in 2003. The works did not cover the areas (Bay 5 and part of Bay 4), which had been altered for *The Story of Sydney* in the early 1990s.

Chronology for the Site

1794	Lieutenant Governor Grose leases 1½ acres (6070sqm) of land to John Baughan for fourteen years.
1802	Robert Campbell erects Wharf House for his family on the site.
29 June 1814	The site is a part of land granted to Robert Campbell on 29 June
1876	The Campbell family sold their trading business, together with land at Dawes Point and Wharf House, to the Australasian Steam Navigation Company who subsequently used Wharf house as their booking office.

1883	Wharf House demolished.
1885	ASN Co. Building completed.

Chronology for the Building

1878-1880	Wardell is believed to have been given the commission to design an office and warehouse for Australasian Steam Navigation Company (ASN Co.).
1883	Tenders received for the building giving prices for several alternatives for stone and brick bases.
1884-1885	ASN Co. Building constructed.
1885	24 July, ASN Co. Building opened.
1887	The NSW Government purchased the land between Campbell's Stores and the Cove that included the AUSN Co's wharf. Later that year the Crown acquired the ASN Co. Building to be administered by the Sydney Harbour Trust.
1889	AUSN Co moved out of building.
1890	Sands Sydney Directory and ratebooks indicate 3 bays and the offices for Government Ordnance Stores under the Manager of Public Wharfs.
1891	W. M. Millan as the occupier of the office component of the building, which was described as a brick and slate building containing 3 floors and 14 rooms.
c1892-1894	Brick water tower erected in this period. Water tower used for sprinkler installation.
1898-1903	A small shed was located on Circular Quay West, probably housing a steam engine to drive a wool press. It is unknown when this was demolished. Southernmost Bay used by H. J. King and Co and then Taylor, Charles and Co. as wool stores.
1901	Sands Sydney directory shows a number of different tenants in the building.
1903-1920	Water tower strengthened with buttresses.
1906	1 rood and 9¼ perches containing the ASN Co. Building was withdrawn from the Sydney Harbour Trust Commissioners and the building was handed over to the Department of Defence.
c.1920	Possible introduction of partitioning to Bay 1 on First floor.
1949	Drawings prepared for Department of Works and Housing for the conversion of the stores to offices.
1949-1950	The building was converted to offices following WW II. The conversions were not structural except to demolish openings through the loadbearing walls. Major renovations to Bays 2-5 were as follows: – Fire stairs constructed, – Addition of toilets and services in existing positions, – Removal of existing toilets, stairs and pits in the floor, – Introduction of many partitions, mainly constructed from ply on stud walls, lifts, ventilation and air conditioning system, – Replacement of timber windows and warehouse doors with steel framed windows, existing openings at back of lift well bricked up, – Removal of stonework in some areas for the provision of a duct, existing brick walls rendered, – Painting and cladding of the structure, – Openings were formed in the walls.
1950	Works carried out. From this date Commonwealth Offices have occupied the building.

c.1950-1960	Balcony rails to façade and tower replaced with wire mesh at Bay 1. Introduction of toilets on first, second and third level.
1958	Construction of the Overseas Passenger Terminal with its access road crossing in front of the buildings' northern and eastern façades.
1961	Bay 1 - Introduction of fire stair to exterior of building, windows converted to doors to allow access to these stairs, new partitioning, stairs to ground floor were intact, refurbishment of toilets over entry on 1 st -3rd floor levels, false ceiling constructed over the entranceway to take the pipes etc from the toilet, windows amended to louvres for toilets, bar built on the third level, stair from 3rd floor directly into the tower removed.
c.1962-1977	Ground Floor store room added to western side of Bay 1. Stairs to ground floor removed.
1977	Major renovation including further introduction of partitions using plasterboard and acoustic tiles, replacement of some existing ply partitions with plasterboard, general repairs to roof etc, carpet laid over existing vinyl tiles.
1989	The ASN Co. Building was acquired by the Sydney Cove Authority (SCRA).
1989	Some partitions removed since 1977, damage to ceiling and floor due to water penetration, removal of carpet in some areas.
1993-1994	Conservation work was completed to restore the ASN Co. Building to its original 1880s appearance at a total cost of \$5.7m.
2003	Air-conditioning of the warehouse bays 2-4

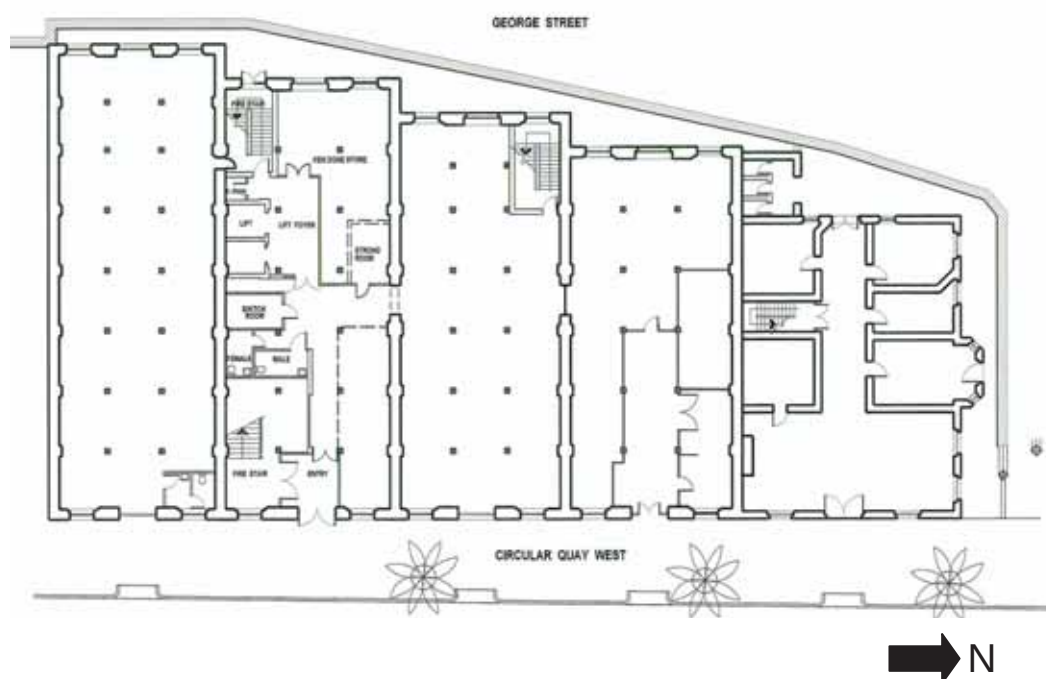


Figure 32: 2008 Ground Floor layout of the ASN Co. Building reproduced from the measured drawings dated 26/02/04.
(Source: Foreshore Authority, ROX-659_AR-2000-B)

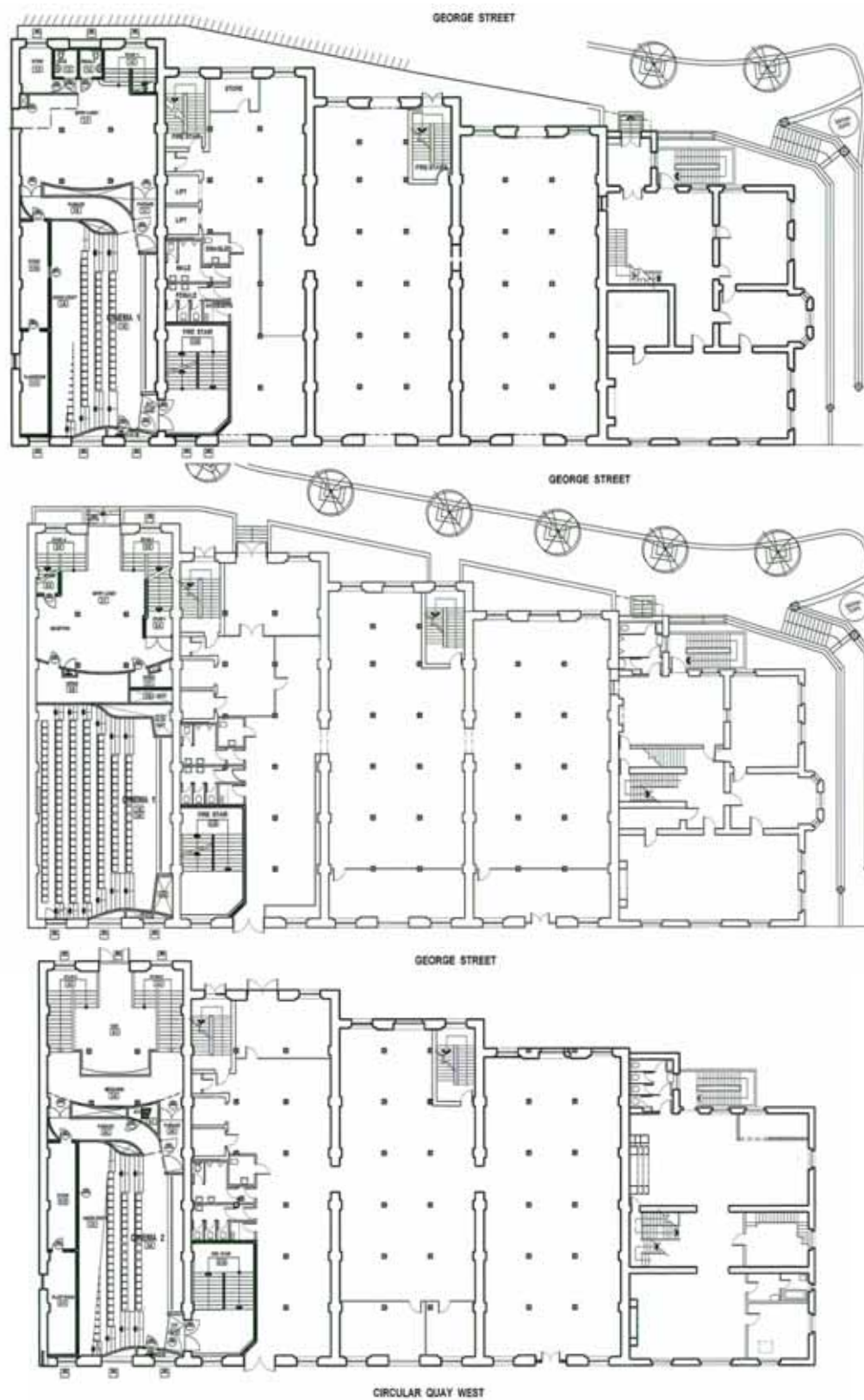


Figure 33: 2008 First, Second & Third Floor layouts of the ASN Co. Building reproduced from the measured drawings dated 26/02/04.
(Source: Foreshore Authority, ROX-659_AR-2000-B)



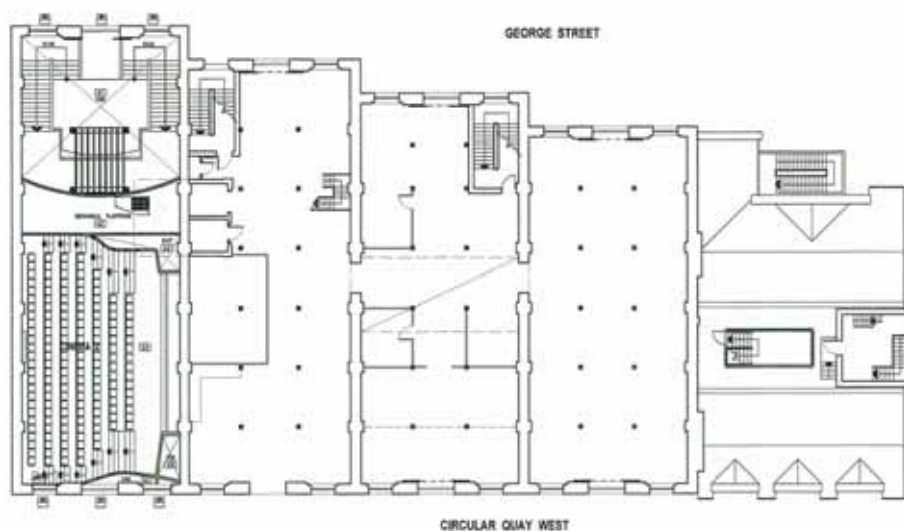
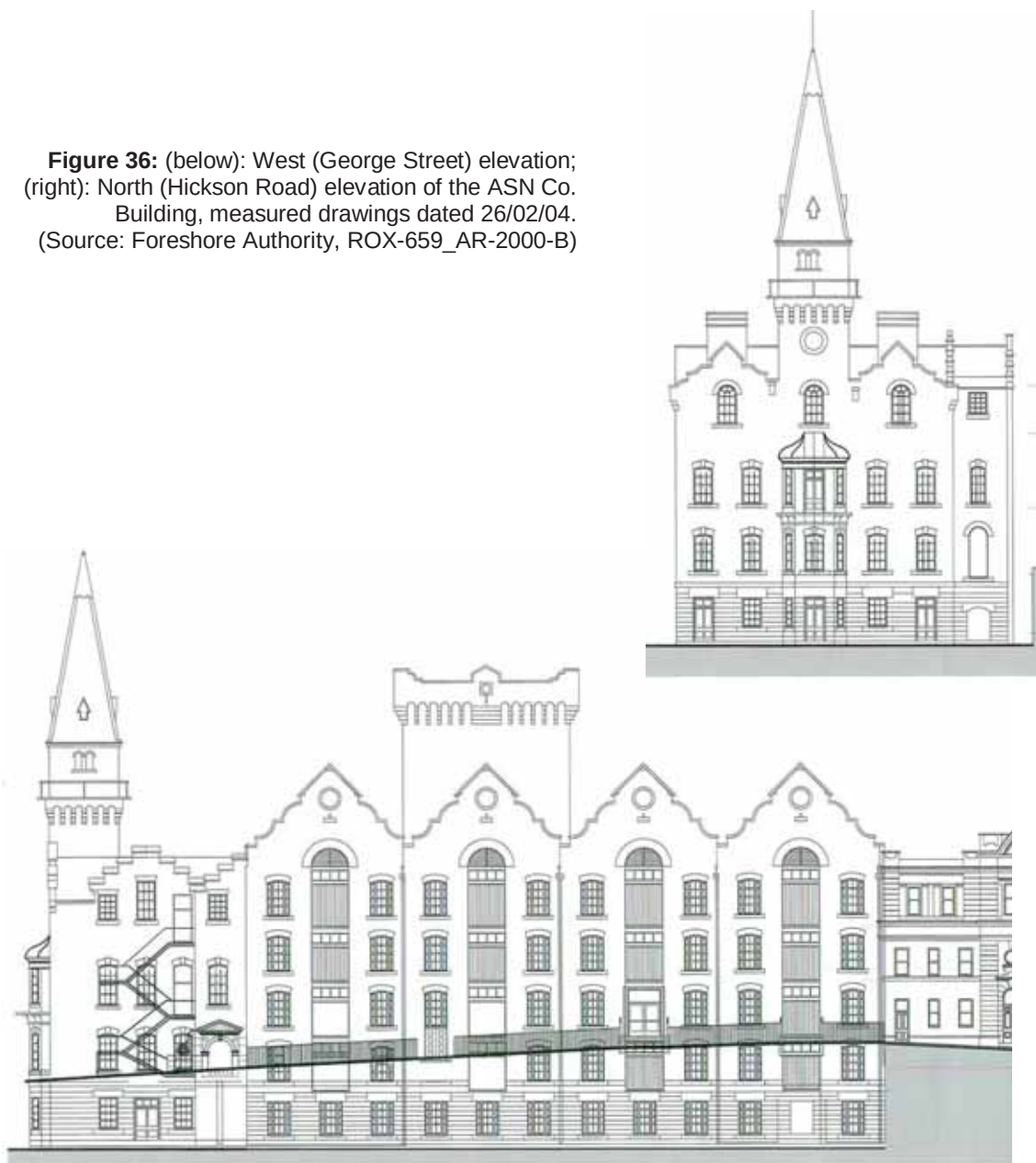


Figure 34: 2008 Forth Floor layout of the ASN Co. Building reproduced from the measured drawings dated 26/02/04. (Source: Foreshore Authority, ROX-659_AR-2000-B)



Figure 35: East (Circular Quay) elevation of the ASN Co. Building as shown in the measured drawings dated 26/02/04. (Source: Foreshore Authority, ROX-659_AR-2000-B)

Figure 36: (below): West (George Street) elevation;
(right): North (Hickson Road) elevation of the ASN Co.
Building, measured drawings dated 26/02/04.
(Source: Foreshore Authority, ROX-659_AR-2000-B)



2.6 Analysis of History in Context

The construction of the ASN Co. Building in 1884-85 continued the maritime association for the site. Formerly, the land had been the home of the merchant and shipowner Robert Campbell and was linked by pathways to Campbells wharf on the western side of Circular Quay. The construction of the ASN Co. offices and warehouse on this prominent harbourside site, adjacent to various wharfs, illustrates the importance of steam shipping to the colony's economy during the 1880s. No later store of this construction type was built in the area, and the architectural style is a rare intact example of Pre-Federation Anglo-Dutch design. By 1890, the ASN Co. had moved out and the building was being used as Government Ordnance Stores. By 1892 a number of tenants were in the building. It remains administered by the government (Sydney Harbour Trust, SCRA, and Foreshore Authority) until today, tenanted by a variety of government bodies and private companies.

The construction of the building coincided with the development in that section of The Rocks linked with maritime works and government ownership. With the first outbreak of Bubonic Plague in 1900, the state government resumed almost the entire area. Most of the area around the waterfront and the ASN Co. Building was demolished, and then rebuilt between 1900 and the 1920s, with large factories and stores built to replace many of the earlier buildings (e.g. the Bushell's Tea Factory in Harrington Street, the State Clothing Factory and the Metcalfe Bond Stores on George Street North). Major buildings like Campbell's Stores and the ASN Co. Building survived.

The Campbell's Stores were also associated with Robert Campbell, the Australian Steam Navigation Company and government ownership. The acquisition of Campbell's Stores by the Government in 1887 was just prior to that of the ASN Co. Building. This is evidence of the increasing interest in this area by the State Government as a base for its own maritime activities.

The urban context of the area changed dramatically from the early 1900s up into the 1960s with changes to the street alignments for wharf developments, for the Sydney Harbour Bridge approaches and for the Cahill expressway. The major change that affected the ASN Co. Building was the construction of the overpass to the Overseas Passenger Terminal (OPT) from Hickson Road across the front of the building, and the construction of the OPT itself on Circular Quay West. In 1968, the Sydney Cove Redevelopment Authority was established to administer the area, and most of the land in The Rocks was handed to it.

The government use of the ASN Co. Building continued with customs and bond stores operating from the lower levels and the Department of Health utilising large rooms on the upper levels. (The same Department also occupied part of the former Bushells warehouse on George Street, opposite the ASN Co. Building.) Government use continued in The Rocks with one of the last buildings to be constructed the new offices for the Maritime Services Board (MSB) in 1953 (now the Museum of Contemporary Art).

By the 1970s-1980s, The Rocks and the immediate surroundings of the ASN Co. Building were being developed into a historic tourist precinct. Many of the houses, stores and warehouses were converted into shops, cafes, commercial offices and galleries. The proximity to the overseas passenger terminal has meant that tenants in the ASN Co. Building include art galleries and a small scale cinema for presentations to tourists.

While all these changes created the present day modern The Rocks, the ASN Co. Building retains its 1880s street presentation with only minor changes to its principal elevations. Three elevations of the building (with the exception of the southern, which abuts the Mariner's Church) are clearly visible from the surrounding streets. Physical evidence of the original warehouse and office use of the building including the spatial qualities of it largely remain intact (apart from the equipment and tools relating to those uses) with minor and sympathetic changes to the floor layout to suit the subsequent uses.

Views to the ASN Co. Building along George Street and Hickson Road remain relatively uninterrupted. Views from the northeast are interrupted by the OPT approach. In 1885, at completion of construction, the ASN Co. Building was one of the most prominent buildings in Sydney, due to its size, location on the Quay and its architectural style, particularly the clocktower (Tropman p.21). The building with its high Dutch-style gables, buttressed clocktower and castellated tower remains a significant feature within the urban landscape of The Rocks, and a distinctive, important element within the Sydney Harbour vista.

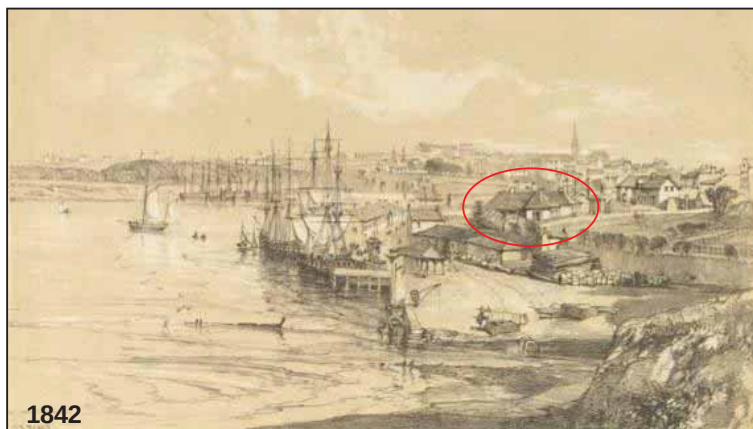


Figure 37: 1842 sketch of Campbell's Wharf at Sydney Cove by John Skinner Proust. The Campbell's house, on the site, is indicated.

(Source: Reproduced in Godden Mackay Logan, 2001, Vol 2, 221)



Figure 38: c.1851 painting of Lower George Street and Sydney Cove, looking towards the ASN Co. Building site, by Jacob Janssen.

(Source: State Library of NSW Image XV/67)

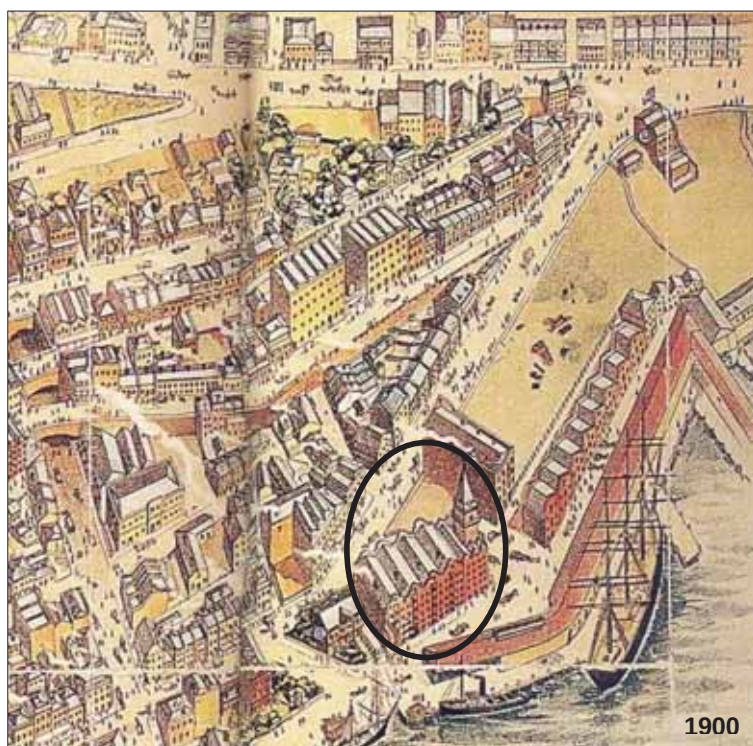


Figure 39: Extract from a *Birds Eye View of Old Sydney* dated July 1900, showing the proposal for resumption and reconstruction in The Rocks area. The Old Harbour View Hotel, Campbell's Stores, Bushell's Building and ASN Co. Building (water tower is yet to be constructed) dominate the Sydney Cove's urban context at the time.

(Source: *Anchored in a Small Cove* by Max Kelly, 1997, Sydney Cove Authority, pp.94-95)



Figure 40: Sydney Cove and Circular Quay, looking towards the ASN Co. Building from the Walsh Bay Wharf promenade. Note the early development behind Campbell's stores where an undeveloped land seen in Figure 38 above, and the contemporary city skyline to the west and south beyond



Figure 41: A 1970 photo of the Campbells Stores, and the ASN Co. Building on Circular Quay West with the overseas passenger terminal ramp separating the buildings.
(Source: Sydney Harbour Foreshore Authority 39943 A742 112)



Figure 42: Left: 1994 view of the ASN Co. Building northern elevation on Circular Quay West (Source: Foreshore Authority, 193740 AB 9)
Above: 2008 view of the northern elevation of the ASN Co. Building

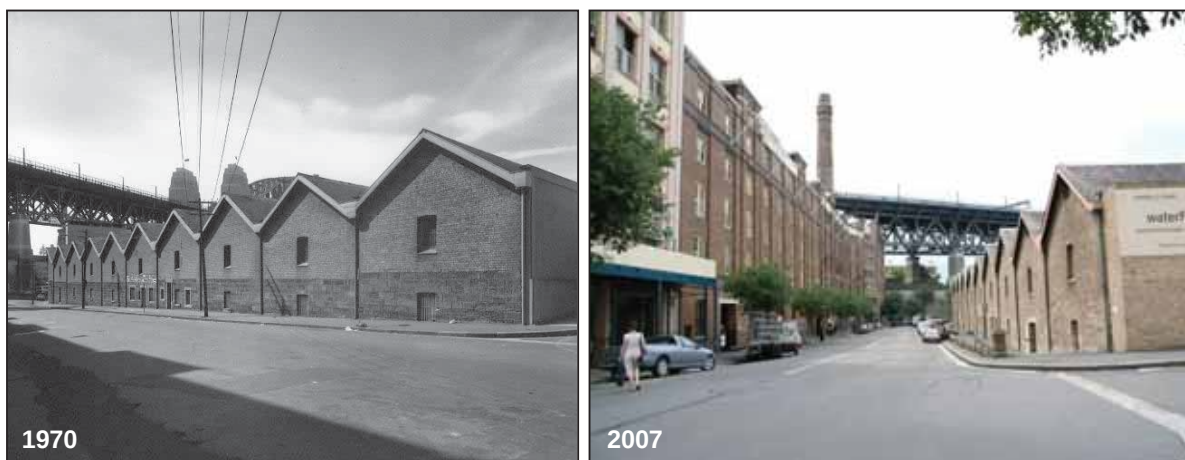


Figure 43: Campbells Stores, c.1851 to 1860, located on Hickson Road diagonally opposite the ASN Co. Building.
(Source: Foreshore Authority)

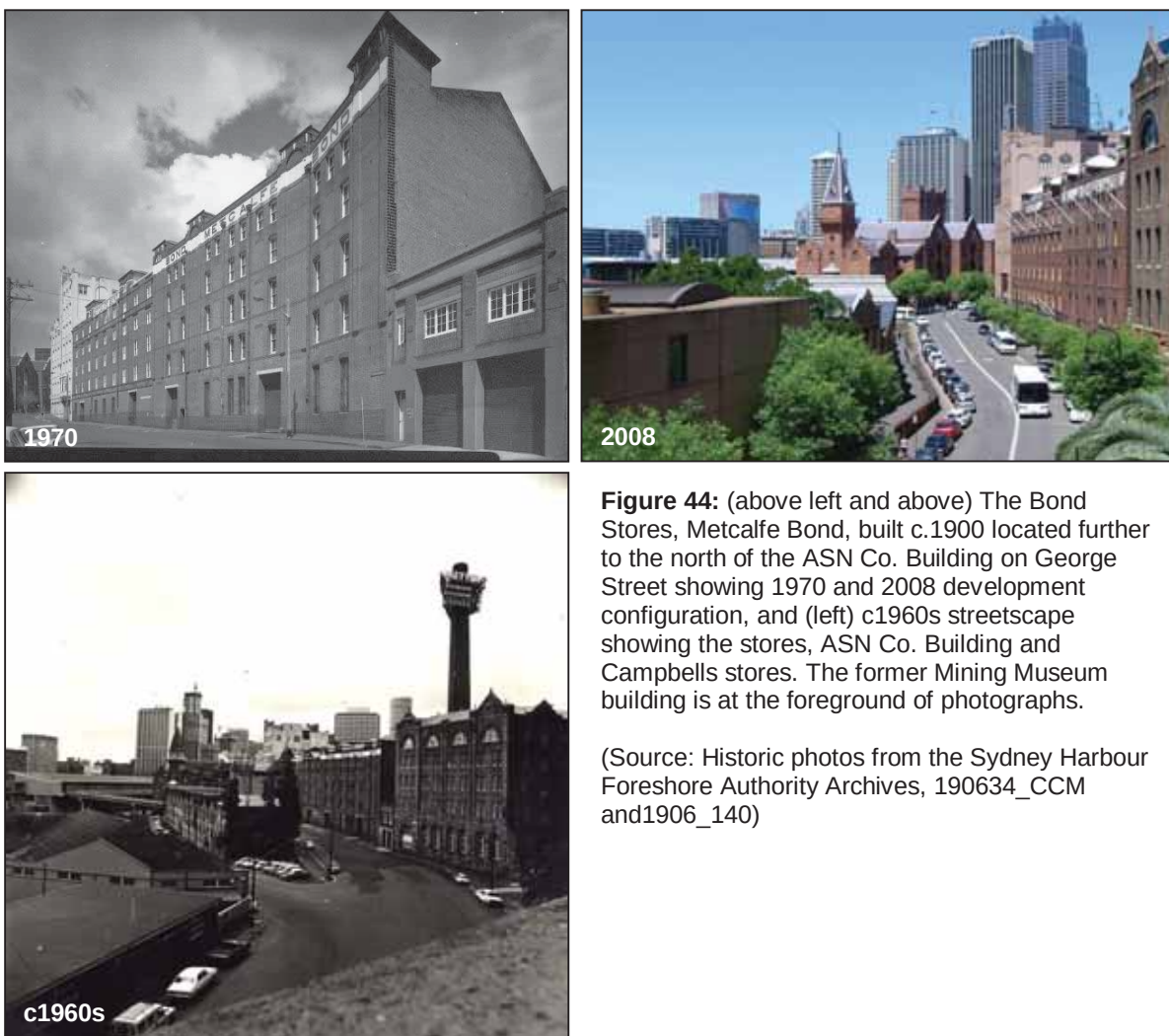


Figure 44: (above left and above) The Bond Stores, Metcalfe Bond, built c.1900 located further to the north of the ASN Co. Building on George Street showing 1970 and 2008 development configuration, and (left) c1960s streetscape showing the stores, ASN Co. Building and Campbells stores. The former Mining Museum building is at the foreground of photographs.

(Source: Historic photos from the Sydney Harbour Foreshore Authority Archives, 190634_CCM and 1906_140)



Figure 45: 1959 View from NE taken from Harrington Street, showing the ASN Co. Building at far right with the Harbour Bridge and The Rocks landscape. (Source: Sydney Harbour Foreshore Authority, Ross Playfair 200006 RNP 04)



Figure 46: 1959 View to NE from Argyle Street to ASN Co. Building at far left and Bennelong Point, the Opera House site at right. (Source: Sydney Harbour Foreshore Authority, Ross Playfair 200007 RNP 05)



Figure 47: c.1970s photograph showing the ASN Co. Building at centre, called at this time, the Ordinance Stores, with Opera House at the background. Probably taken from the 1970s Sirius Apartments near Gloucester Walk. (Source: Foreshore Authority 38968_HIM_47)



Figure 48: Aerial view of the ASN Co. Building, 1943. This shows the site and immediate surrounds prior to the construction of the Overseas Passenger Terminal
(Source: Sydney From the Skies, RTA)



Figure 49: Aerial view from the east of the ASN Co. Building in its contemporary context, c.1987.
(Source Sydney Harbour Foreshore Authority 183503_GS_4)



Figure 50: View from the Opera House showing the ASN Co. Building in its contemporary context, in 2008.



Figure 51: (left) Ordinance Stores, 1976. (Source: Foreshore Authority Archives, 1976, 38945_HIM_24); and (below) ASN Co. Building, 1976. (Source: Foreshore Authority Archives, 39944_A742-113)

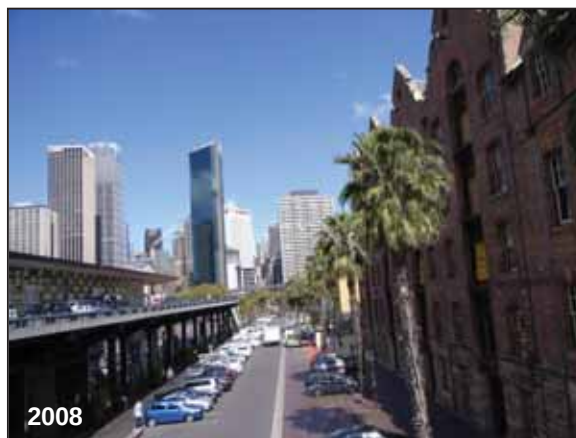


Figure 52: (Left) The ASN Co. Building in its current context; (Right) views north and south along Circular Quay West. The building retains its prominence within this setting. Note the buildings adjacent to the south elevation of ASN Co. Building that were in existence in 1976 have now been demolished.



Figure 53: (left) The building from Hickson Road with the overpass to the overseas passenger terminal obscuring the ground level of the building. The former Bushell's warehouse is to the right of the image. The city is in the background of the 2008 image.

(Source: Historic Image - Sydney Harbour Foreshore Authority Archives, 38951_HIM_28)

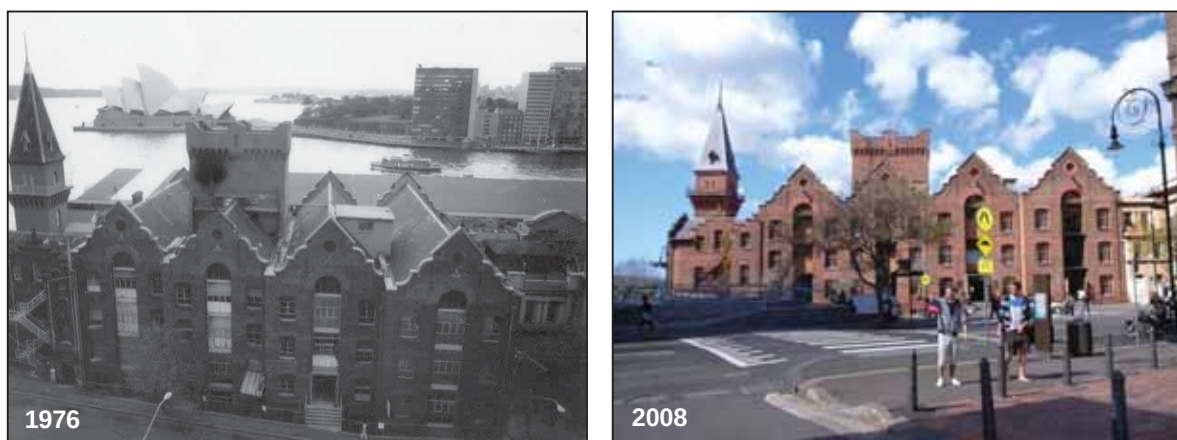


Figure 54: The view east from George Street.

(Source: Historic Photo - Sydney Harbour Foreshore Authority Archives, 38948_HIM_28)



Figure 55: 1987 and 2007 views of the ASN Co. Building from Hickson Road.

(Source: 1987 photo - Sydney Harbour Foreshore Authority, 186808 ASN 1.)

3. Physical Evidence

The aim of this chapter is to describe the Former Australian Steam Navigation Company Building in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

The building is sited between Hickson Road and Circular Quay West at the junction of Hickson Road and George Street. It is next to the Overseas Passenger Terminal and is on the route that connects Circular Quay to the Walsh Bay piers. The subject site has building entrances from Circular Quay West at Ground level, and Hickson Road at Ground level and the Third Floor level, reflecting the sloping nature of the site and the original siting of the building, which was lower than the current road level. This and the elevated parking and entrance road associated with access to the Overseas Passenger Terminal (OPT) have the effect of giving the impression of a building lesser in height than is actual. A round, modern guards' room has been constructed at the junction of Hickson Road and the overpass bridge creating a formal entry to the OPT next to the ASN Co. Building.

Most of the buildings in the vicinity are listed on the State Heritage Register and have been adaptively reused as shops, cafes, hotels, galleries and commercial offices. Generally fronting George Street, they include the remnants of the former Harrington Warehouse (Old Sydney Holiday Inn Hotel) between Mill Lane and Playfair Street, the early twentieth century Observer Hotel at 55 George Street, the former ambulance station (Ken Duncan Gallery) and Victorian Shops at 73-75 George Street. Former Bushells warehouse, 86-88 George Street, located at the intersection of George Street and Hickson Road (across Hickson Road from the subject site), forms a strong landmark when approached from the south. Adjoining it are two Metcalfe Bond Stores, consisting of Victorian Free Classical and Federation Warehouses of five and seven floors respectively, share this landmark quality with the water tower and clocktower as the viewer approaches the intersection.

The former Mariners Church at 100 George Street (adjoining ASN Co. Building), the former Coroners Court and Morgue at 102-104 George Street, and the former Sailors Home at 106-108 George Street form a prominent row of medium size mid-nineteen to early twentieth century architecture, which dominate the eastern side of the George Street approach to Hickson Road. They demonstrate visually the importance given to buildings constructed for the purposes of commerce and community welfare under the auspices of both the church and the state. Together, all of these buildings create the historic character of George Street and form an important aspect of the historic nature of The Rocks.

The commercial aspect of the group of buildings from 102 George Street to Hickson Road is extended further by the early twentieth century Metcalfe Bond Stores and the mid nineteenth century Campbell's Stores, which create a significant view corridor along Hickson Road between the ASN Co. Building and Dawes Point. The five-storey Metcalfe Bond Stores and the two-storey Campbells Stores, together with the ASN Co. Building and other former warehouses create an interesting opportunity to demonstrate architectural styles for warehouse buildings over a significant timeframe in a small geographical area.

A fuller understanding of the extent of the nearby heritage listings in The Rocks area is created by Figure 56 below.

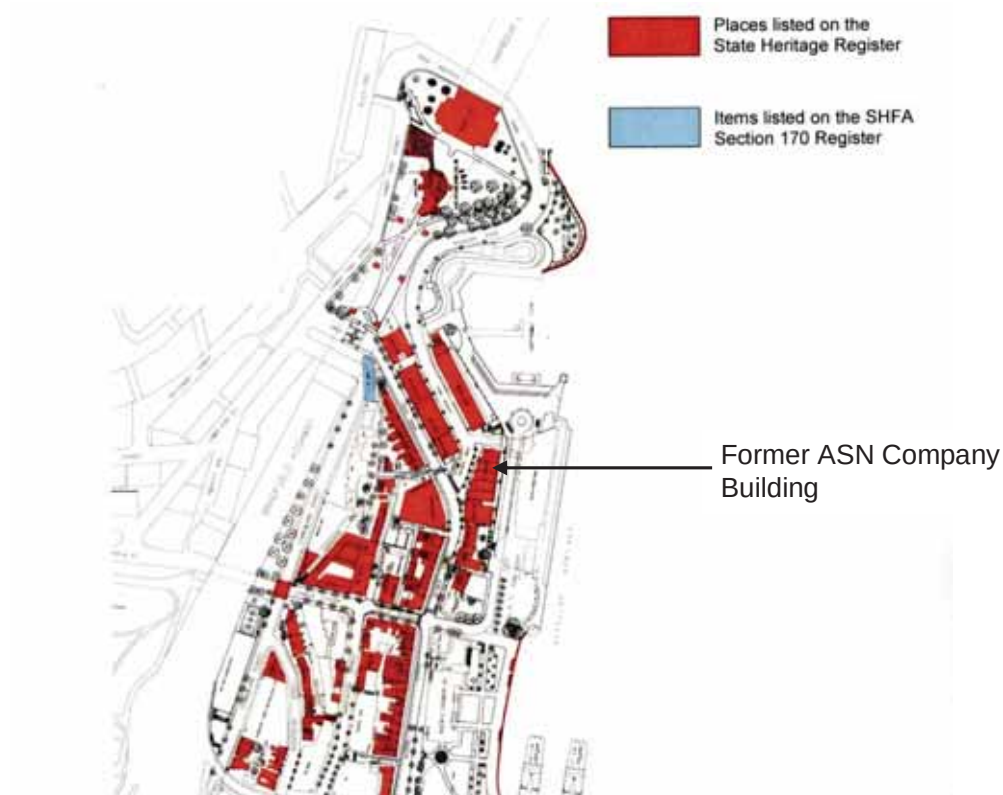


Figure 56: Extract of heritage items within the vicinity of the former ASN Co. Building
(Source: *The Rocks Heritage Management Plan* by Godden Mackay Logan Pty Ltd, Vol.1, p.65)



Figure 57: (Above) Looking south along Circular Quay West between the Overseas Passenger Terminal and the ASN Co. Building
(Right): The western elevation along Circular Quay West to the Harbour Bridge, the Overseas Passenger Terminal is on the right just outside of the image



Figure 58: Looking north along Hickson Road to the Harbour Bridge approaches. The Metcalfe Bond Stores and former Mining Museum are on the left, Campbell's stores are on the right

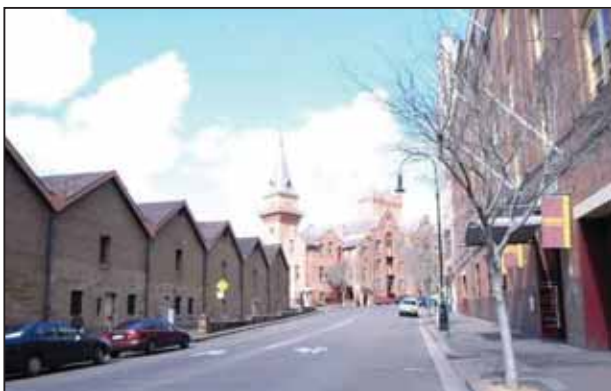


Figure 59: Looking south along Hickson Road towards the ASN Co. Building where it terminates and intersects with George Street



Figure 60: Looking along Hickson Road towards George Street. The Old Sydney Inn is the main visible building along George Street.



Figure 61: The car park immediately opposite the subject site with the Old Sydney Inn to the left and the former Bushells warehouse to the right.



Figure 62: View of the former ASN Co. Building from George Street looking east with the Overseas Passenger Terminal in the background.



Figure 63: View of the ASN Co. Building from George Street looking northeast down Hickson Street. The former Bushells warehouse is on the left.



Figure 64: Looking north along George Street from Argyle Street. The water tower and one of the gables is just visible in the distance. This marks one of the earliest encounters of the former ASN Co. Building from George Street.

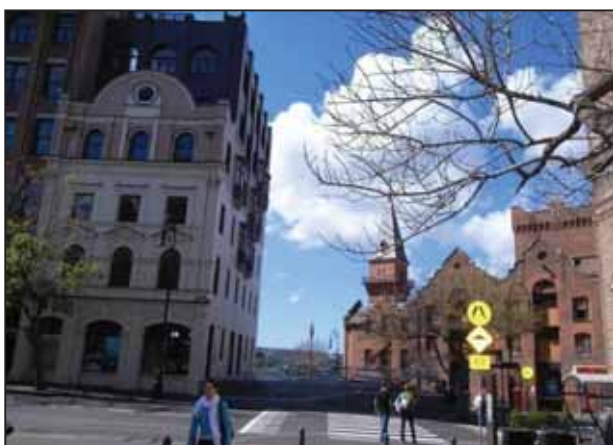


Figure 65: The former ASN Co. Building, view from Playfair Street showing the former Bushells warehouse and plaza in the foreground.

3.1.1 Views and Vistas

The former ASN Co. Building has been a prominent landmark from many parts of Sydney since its construction. The most visually prominent elements in the area are its clock tower and water tower. When viewed from sea level from the north, the building is set against the dramatic and varied backdrop of the city skyline. An interesting feature in the foreground are the single-storey, gable roofed Campbell's Stores, which draw the viewer's attention along George Street to the vicinity of the subject site. Behind are the former Mining Museum and Metcalfe Bond Stores. When viewed from Circular Quay East and the southernmost area of Circular Quay the battlemented water tower, clock tower spire and tops of the gabled bays are interesting, elaborated features in a setting of simple buildings from different periods.

The ASN Co. Building is viewed against a backdrop of the southern approach of the Sydney Harbour Bridge. The views from the south are predominantly from Circular Quay West. From George Street north the building is a significant element in the historic streetscape, forming, with the Sailor's Home and the Mariners Church, an architectural representation of the important social institutions of church, commerce and state.

The view from Circular Quay West is particularly important due to the presence of the building among some of Sydney's most recognisable and important landmarks and buildings. The former ASN Co. Building is nestled among the views of the Sailors Home, the southern pylons and the arch of the Harbour Bridge, the OPT and the chimney of the former Mining Museum. Together these and others represent over one hundred years of architecture in and around The Rocks. Its setting has been severely affected by the OPT on the eastern side and, to a lesser extent, by the approach to it across the northern elevation of the building.

When viewed from George Street close to the Bradfield Highway, the ASN Co. Building terminates a streetscape which includes some of the best examples of maritime associated warehousing on the Harbour. Campbell's and the Metcalfe Bond stores create a distinctive and strong building alignment that defines the road route.

The view of the spire is distinctive in this area, as the major Sydney churches with spires are located in the relatively distant, southern parts of the City. Views of the building from the northern harbour foreshore are most significant from the walkway in front of the Park Hyatt and by water from the Harbour Bridge, as well as the arrival point in the OPT.

The most significant views and vistas to the building are the views from the northern and western foreshores of the inner harbour as well as some eastern foreshores. These include views from:

- 1 The Harbour Bridge above the Hyatt Hotel
- 2 The forecourt of the Park Hyatt Hotel and the walkway around this western side of the Quay, directly opposite the Opera House, towards the building. The most significant view is the northern façade of the building with the clocktower. This view also places the building in its historical context as it is visible with the former Campbell's Stores buildings located nearby to the north east.
- 3 George Street, behind Campbell's Stores
- 4 The corner of George Street and Playfair Street
- 5 The corner of George Street and Hickson Road
- 6 Dawes Point Park below the Bradfield Highway Overpass
- 7 Campbell's Cove at the northern end of the Overseas Passenger Terminal
- 8 Circular Quay West from south at the southern end of the OPT.
- 9 The southern end of the OPT to the south
- 10 The Overseas Passenger Terminal overpass

A number of accidental views exist particularly from the eastern side of Circular Quay across to the building, including views from:

- 11 The northern most end of the Opera House
- 12 The Opera House in front of the main stairs
- 13 Macquarie Street, next to the sandstone steps
- 14 East Circular Quay on 1788 shoreline
- 15 Circular Quay – west side of Wharf 3
- 16 The corner of George Street and Argyle Street looking north up George Street

The images of the historical views to and from the ASN Co. Building have been provided as part of the discussions in Section 2.6 – Analysis of History in Context. It is clearly evident that the original pre-eminent presentation of the former ASN Co. Building did not only rely on the visibility of its impressive clock tower, rather the building itself had been viewed from a number of distant locations.

The views and vistas identified above have been indicated on the following aerial photographs with present day images taken during the site inspections attached to each identified point illustrating the condition of the current views and vistas to and from the former ASN Co. Building. The numbers used on the following pages correspond to the identified view numbers above.

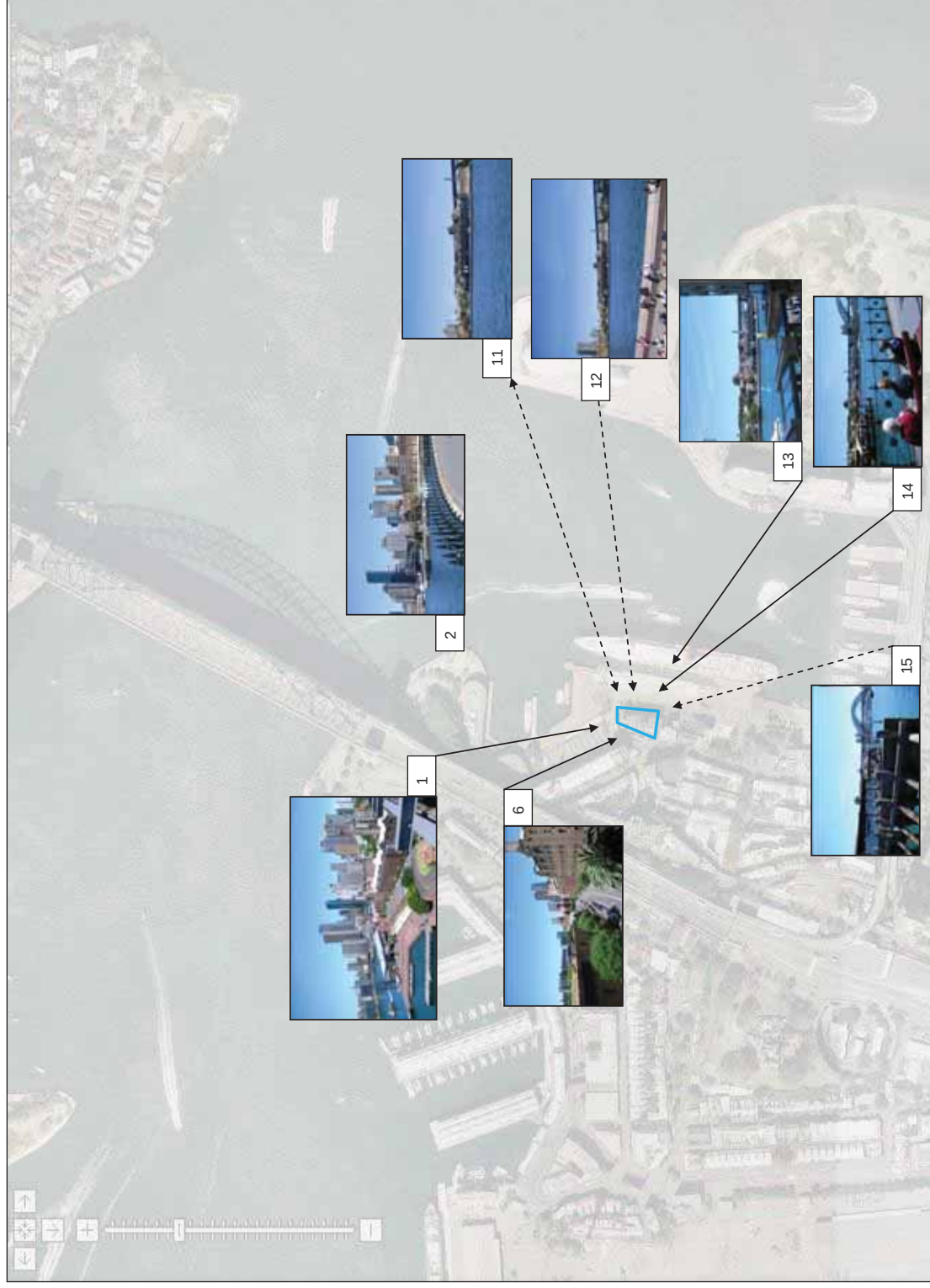
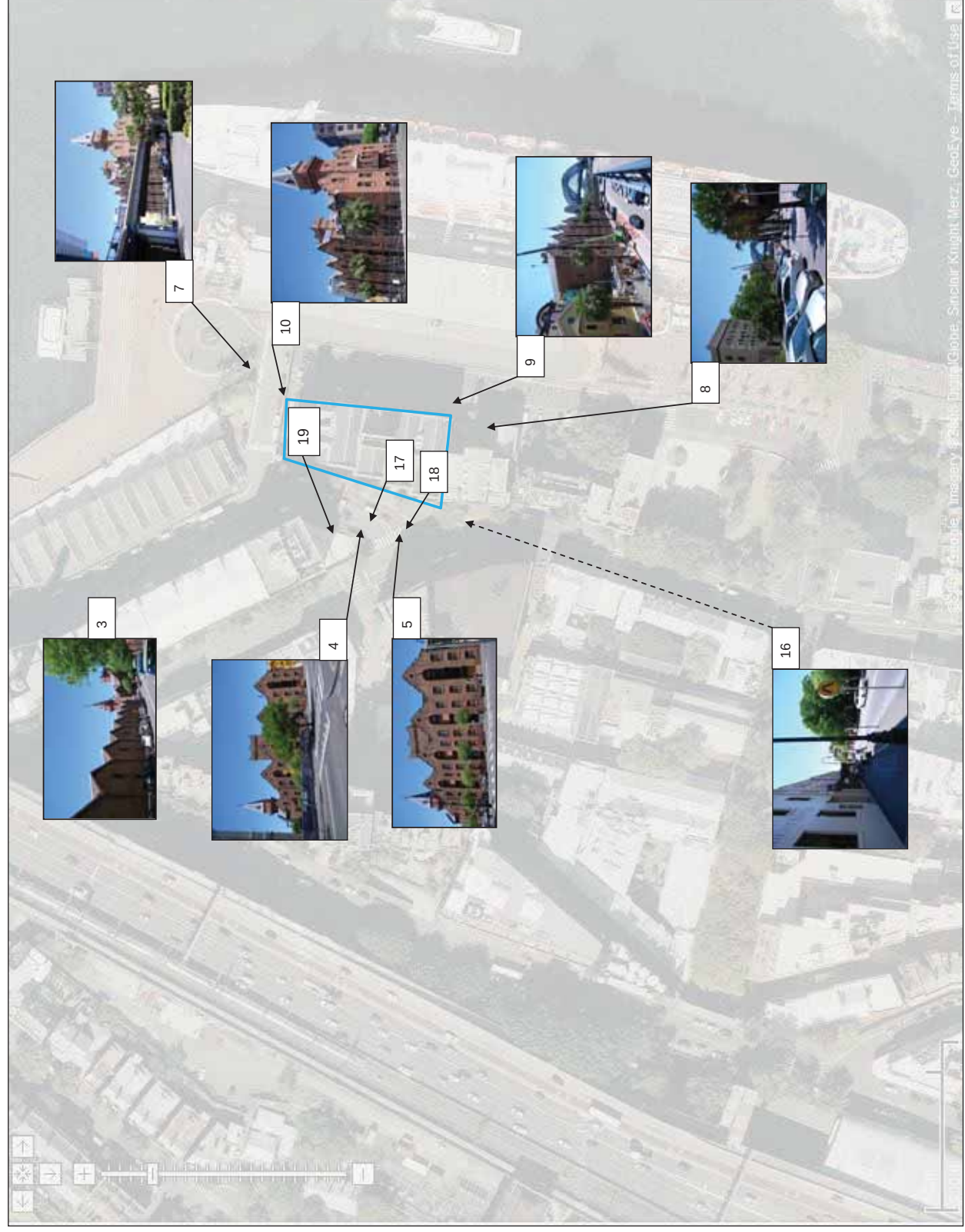


Figure 66: (This page and overleaf) Views and vistas to and from the former ASN Co. Building
(Source: Aerial photograph has been sourced from Google maps)



3.2 Building Description

The former ASN Co. Building comprises a five-storey, four-bay former warehouse with water tower and an adjoining decorative four-storey office building with clock tower. The creation of two distinct areas within the development are demonstrative of a desire to acknowledge the differing status and function of the warehouse and office areas while creating an understanding of the relationship between the two through unity within the composition of the building. It is generally described as an early example of a rare, free standing, Federation Anglo-Dutch style of building, a style that is broadly characterised as being most prominent between c.1890 and c.1915.

The building is located at the junction of Hickson Road and Circular Quay West (formerly Quay Street), creating a wedge shaped site. The building appears to have been designed to take full advantage of the site with its unusual shape. Each of the four bays of the former warehouse portion is approximately nine metres in width, echoing the internal span of the Kingpost trusses and beams. The bays differ in height, stepping down the slope of the site. Each bay includes a simple pitched, slate roof with gabled ends presenting to the east and west façade, creating the illusion of individual, but attached buildings. Each bay contains two strips of vertically aligned, sixteen-pane sash segmental arch windows with a vertical strip of loading bays separating the two sets of windows. These represent each level. Each loading bay has a set of double doors with a horizontal strip window at the top. The exception is the ground floor where the windows have no arches. In selected locations the doors have been replaced. The top of each loading bay is terminated by an arch with louvered ventilator below and a pulley above.

The building is constructed of polychrome brickwork with sandstone elements such as sandstone capping on the gables, sills, window keystones, pilasters and pediments around doors and selected windows on the office area, and ground floor courses. The brickwork has distinctive horizontal bands of an ochre colouring between the first and second and second and third floors of the office block. This translates on the warehouse component as the top of the third floor windows and the bottom of the second floor windows. This colouring is also utilised on the window and loading bay arches and the ventilators.

The northern elevation forms the main façade of the office component of the ASN Co. Building. It is more decorative in style to differentiate its purpose from the warehouse function of the remainder of the building. It continues the theme of the gabling of the east and west elevations with a gable bay sited either side of a smaller central bay characterised by the prominent but elegant clock and bell tower with balcony, clerestory and slate clad spire. The third floor of the central bay contains an elaborate copper roofed bay window with double doors opening onto the balcony. The decorative iron balcony railing, together with the clock and bell, dates from the 1990s refurbishment. The signage identification of various offices on this and the eastern façade (e.g. shipping, carters) reflect their functional relationship to the wharves.

The southern façade is almost entirely obscured by the Mariner's Church. It is much simpler with penetrations limited to those required for ventilation. The roof line is flat and straight, foregoing the gabling of the other façades.

Internally the warehouse component comprises of primarily open plan bays, some of which contain minor partitioning and mezzanine levels. The main original elements include the Kingpost trusses, beams and columns, arched openings between bays and toilet blocks in the courtyard. The 1949 composite flooring is still visible in some locations (ground floor Naturally Australian gallery, the Ken Done Gallery), as are the firestairs, lift and some amenities' areas, examples of rendering associated with that period. Evidence of prior paint schemes are located throughout the building.

The 1990 cinema related to *the Sydney Storey* is also evident in the southernmost bay. Although it necessitated removal of one floor to create a tall enough open space for the cinema, sections of exposed wall and pilaster indicate the previous level of the floor. These are also evident in the space above where the bay is now three-level high one large open space with a new mezzanine. Features such as columns, cut back timber beams, numbering on beams and facebrick wall supports indicating former floor levels are still evident. The office component contains evidence of original window and door joinery, bathrooms, cornices fireplaces, communication or serving windows between individual rooms, samples of earlier paint schemes, original timber stairway between floors and a second to the seemingly original clearstorey, which allows access to the roof. The timber stair to the clock and bell tower appears to contain some original elements. The original timber floor is evident in the clock tower.

3.3 Identification of Fabric Development – External

The former ASN Co. Building has remained comparatively unchanged externally as it retains almost all external detailing and elements from its original completion in 1885. The changes to the external elevations are minor including signage, replacement of balcony railings to the clock tower and the bay window on the north elevation, replacement of some window and door glazing, restoration of loading doors to original form, removal of rendering from both clock tower and the water tower reinstating their original facebrick finishes. A more traditional colour scheme has been applied during the 1990s refurbishment and conservation works including the timber joinery and the roof plumbing.



Figure 67: Evolution of signage on the building (see also Figure 68).
(Source: 1976 Photographs Sydney Harbour Foreshore Authority, 38951HIM 28 and 38950; 1900 photo from Mitchell Library Small Picture File – Circular Quay)



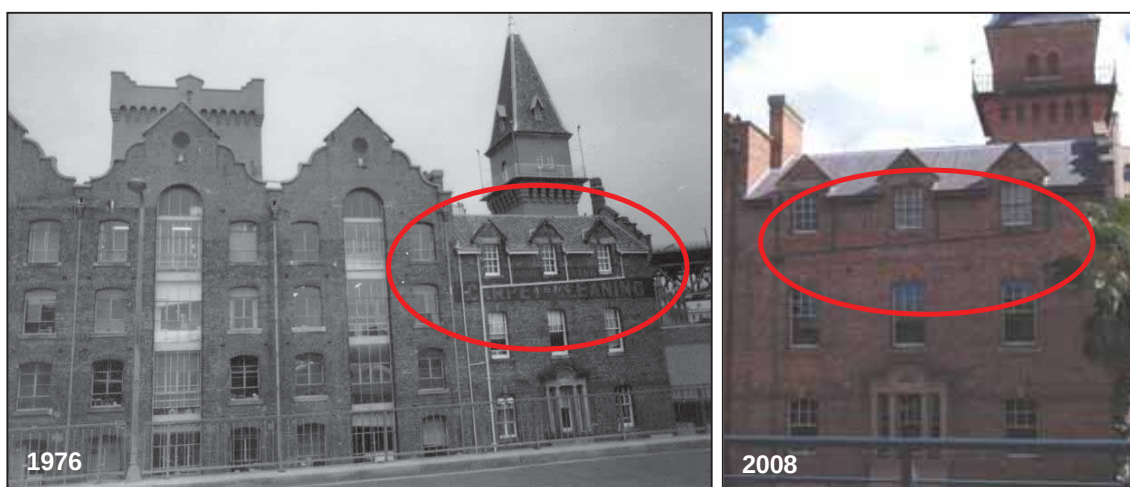


Figure 68: These images also show the evolution of signage on the building. Note painting on the towers in 1976, which were removed in the 1990s. (Source: 1976 photograph: Foreshore Authority)

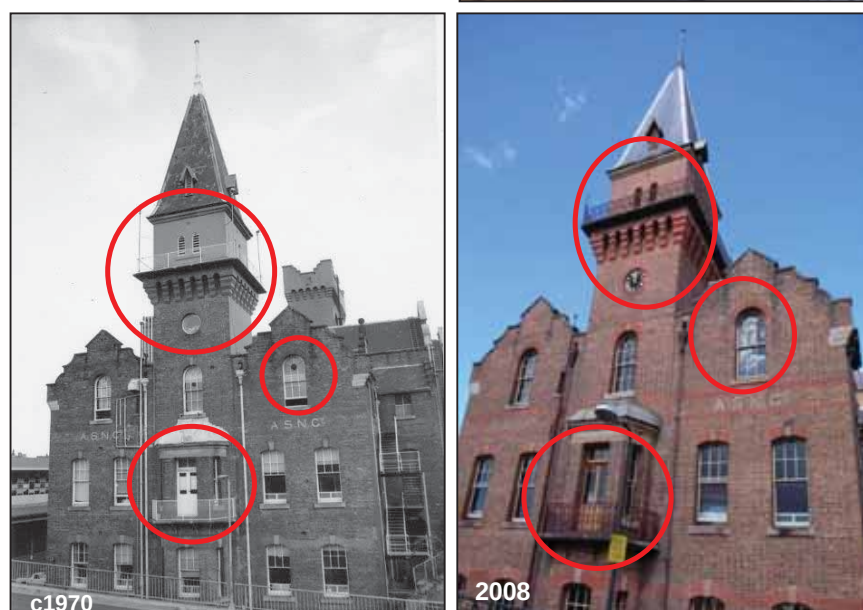


Figure 69: Note new period balcony railing replaced to bay windows and door and clocktower balcony during 1990s restoration, new clock, changes to downpipe colouring and paint scheme and removal of render from upper half of tower. (Source: Historic photo from Foreshore Authority, undated 38942_HIM 21 – ordinance Stores n.d.)

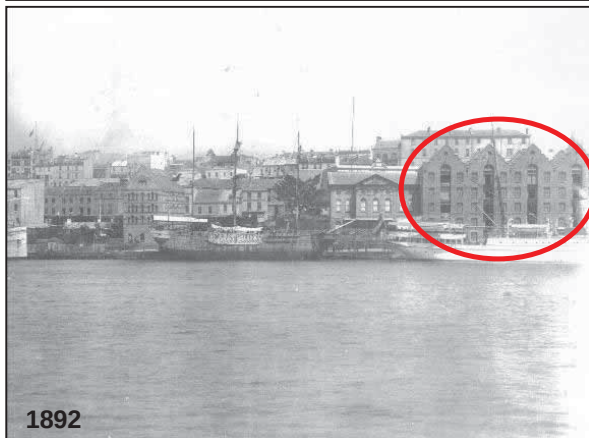
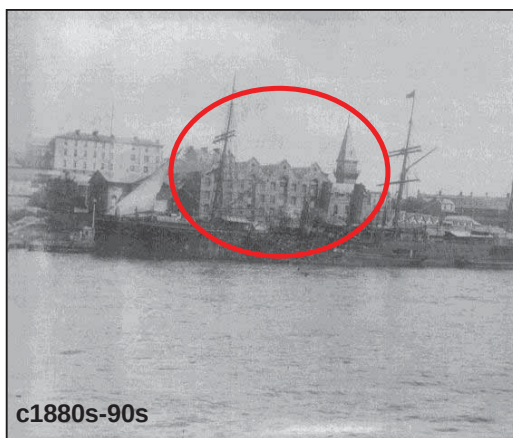
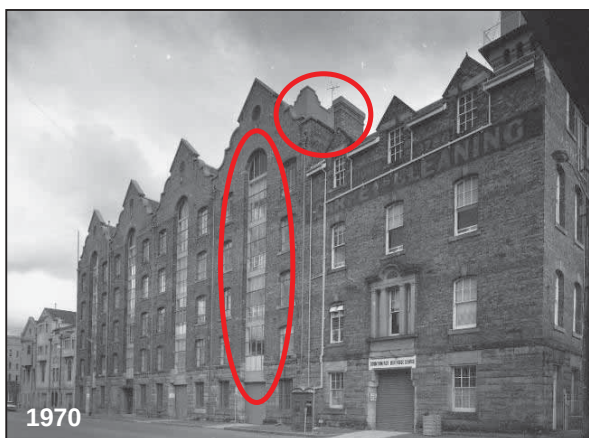


Figure 70: The loading bay doors have been restored as part of the 1990s restoration, replacing the glass in most instances. Examples of where glass remains are included in the image to the left. The water tower was painted in 1970. It is clearly absent in the 1890s images. (Source: 1970 image: Foreshore Authority archives 39944_A742-113 – ASN Building. Remaining historic images: Mitchell Library Small Picture File – Circular Quay.) Below are images of the clearstorey in 2008 and during refurbishment in the 1990s, see also Figure 70 on the next page (Source for 1990s image the Foreshore Authority_170766.





Figure 71: Changes to the west elevation included reinstatement of original detailing and finishes in the 1990s. The 1976 photograph shows the painted towers, glazed loading doors and an awning on the third bay. Note the roof access door from the clock tower and colesory after refurbishment in the inset. (Source: 1970 photo: Foreshore Authority, 38948 HIM 25)

Below: Roofscape of ASN Co. Building showing back of the Anglo-Dutch gable detailing with stone capping and decorative accent on the apex of Bay 1 gable, the water tower, slate roofing with lead ridge capping, box guttering and lead flashing.





Figure 72: 1961 external fire stairs have been refurbished with a new opening from an original window at entry to the office block (Bay 1)



Figure 73: (Far left) original panelled timber entrance door with sidelights and transom window, and (Left) decorative wrought iron gates to the office block (Bay 1)



Figure 74: (Far left) south most end of Bay 5 showing overall gable detailing including round accent window, arched loading bay with restored pulley and cathead, segmental arched window openings with stone sills, copper rainwater head and downpipe, and original bracket that was used for supporting the overhead wires for trams at 3rd floor window lintel level (Left top) decorative dressed stone entrance to office block with classical motifs and scrolls (Left bottom) warehouse bays showing the stepping articulation of the bays from Hickson Road to George Street



Figure 75: (Far left top) Ground floor level of the office block with rockfaced ashlar stone walls and retaining wall below Hickson Road, external toilets are behind the iron grille gate, which appears to have an access door to the warehouse bay beyond, now kept closed. 1961 fire stairs are above.

(Left top) ground and first floor levels of the north façade below the overpass bridge of the OPT. Note the dressed ashlar stone to the bay and the entrance, and facebrick walls and the decorative iron brackets to the bay window below the balcony.

(Far left bottom) entrance to the original shipping office from Circular Quay West with modified entrance on the ground floor.

(Left bottom) general view of eastern elevation of Bay 5 from Circular Quay West. Note restored typical loading bay timber sliding doors with transom light window and swing down platforms, rockfaced ashlar stone walls and original vehicular entrance to the ground floor



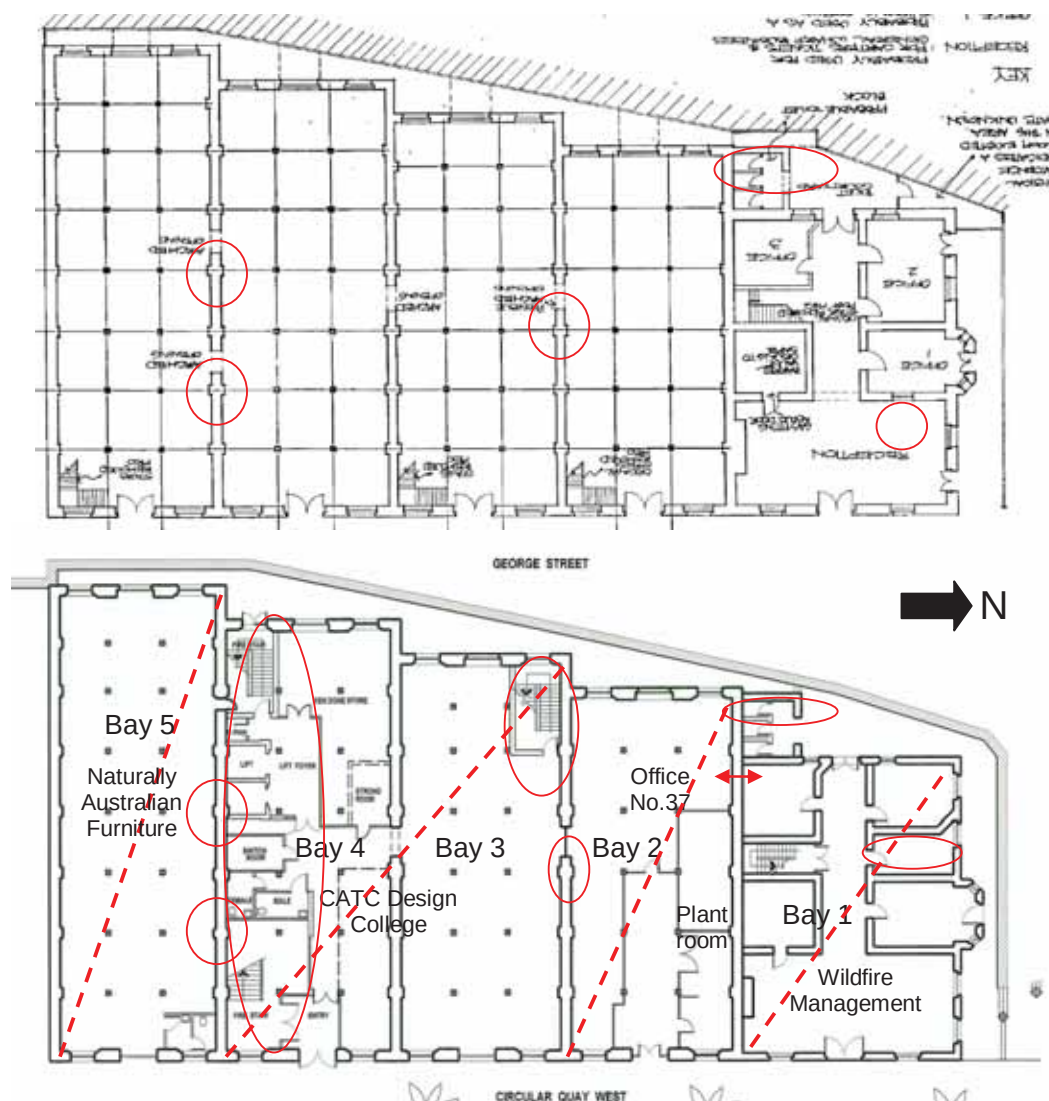
Figure 76: (Far left) original 12-pane timber framed windows to the top floor of office block (Bay 1) on eastern elevation, and (Left) clock tower with original louvered windows, and restored spire, iron balustrade and clock

3.4 Identification of Fabric Development – Internal

The former ASN Co. Building currently has mixed uses, including open retail, gallery, office and educational spaces. In general, the building is of timber column and beam construction with Kingpost roof trusses and a timber floors with joists and herringbone bracing to the upper levels and concrete slabs to the ground floor. No original or early internal images of the building could be found with the exception of few photographs of the office block taken prior and during the 1990s refurbishment and conservation works. Each level will be separately analysed and discussed below in correlation with the interpretive original floor plans drawn by Lester Tropman & Associates in 1990.

Ground Floor

Ground floor of the former ASN Co. Building is located below George Street and Hickson Road level and its level access is from Circular Quay West. The office block (Bay 1) also has direct external access to the courtyard from the main hallway and an office to the west (below Hickson Road) and north (below the overpass bridge). However, these entrances and the eastern office entrance are secondary, and used only by tenant's personnel. The remaining entrances to the warehouse bays are generally accessible to public.



The ground floor is currently occupied by four separate tenants including: a management company in Bay 1, an office in Bay 2 (No. 37 Circular Quay West), CATC Design College in Bay 3 and part Bay 4 (west side of Bay 4 is used as a store room by Ken Done Gallery), and Naturally Australian Furniture in Bay 5. The fire sprinkler valve room is located in Bay 2 on the north side of the entry. Following the 1990s restoration and removal of alterations and additions made since the 1950s, the ground floor essentially exhibits similar layout of the original design. The main changes are the addition of two staircases in Bays 3 and 4, removal of original eastern stairs in Bays 2, 4 and 5 in the 1950s, and partitions in Bay 4.

The original two arched openings between Bays 4 and 5 have been enclosed; however, evidence of their location is clearly visible. Similarly, the arched opening between Bays 2 and 3 has also been enclosed but is evident. The partitions in Bay 2 are made of clear glazing, and the open plan form of the space is thus to a degree retained. The office block, Bay 1, retains much of its fabric and layout. The timber staircase was reinstated in the 1990s. The office room on the northwest corner (No. 2) has been divided into two offices. Original features in Bay 1 include a stone fireplace, pressed metal ceiling in office 3, timber joinery, a strong room with stone walls and brick vaulted ceiling, servery/communication window, and stone flagging to the threshold of the Circular Quay West exit. Bay 5 demonstrates evidence of shipping phase of the building particularly by the circular marks on the concrete/asphalt floor and hardwood post & beam construction. Warehouse detailing of Bays 2, 3 and 4 was also reinstated and exposed. Each loading bay entrance has asphalt ramps indicating their original/earlier vehicular entrance usage.



Figure 77: General views of Office block ground floor (Bay 1) showing main corridor, eastern office, worn timber stair and pressed metal ceiling



Figure 78: Ground floor (Bay 1) stone fireplace, safe with barrel vault ceiling, paint scraps and water damp stains on carpet



Figure 79: General views of Bays 4 and 3 occupied by the CATC Design School

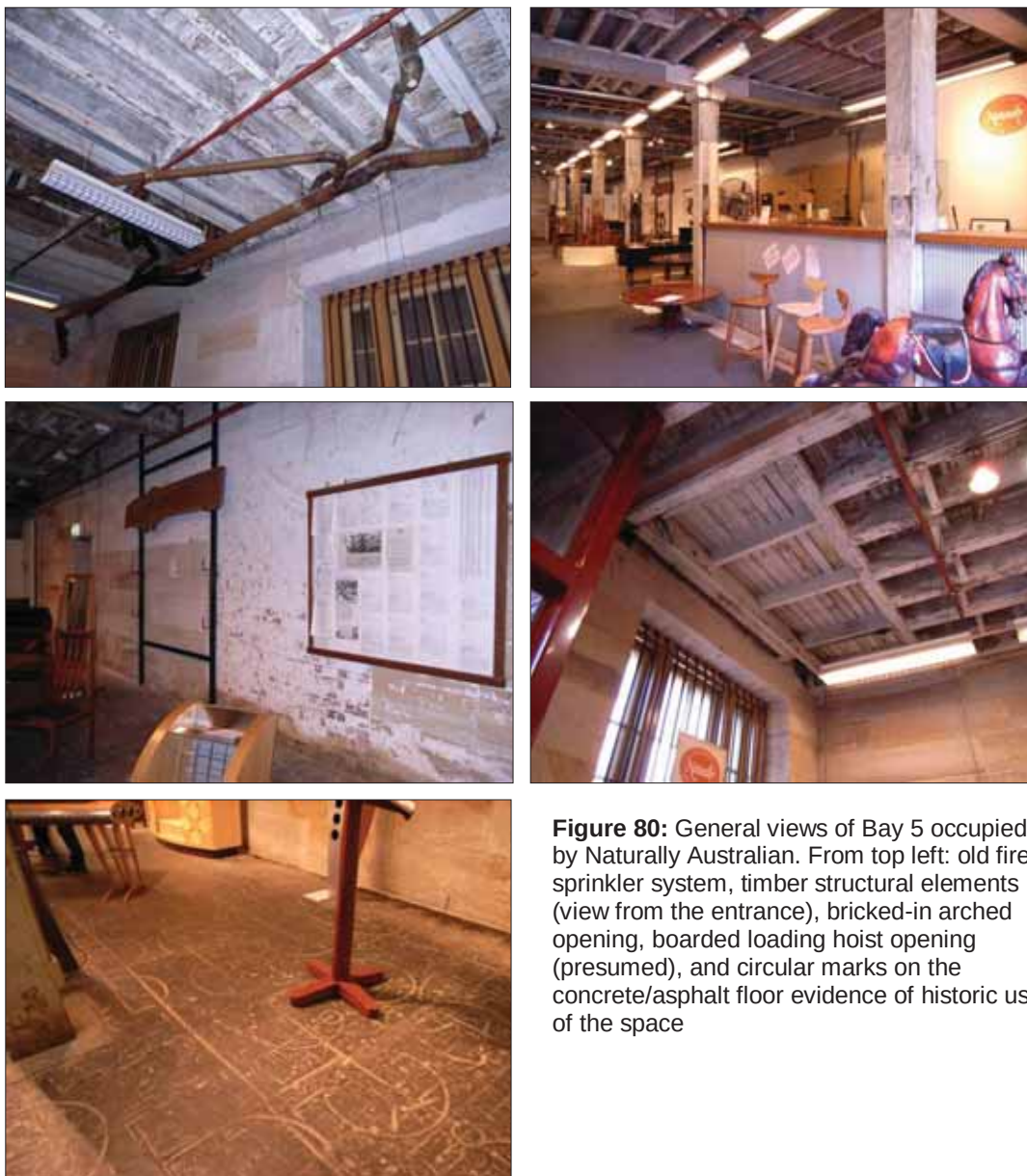


Figure 80: General views of Bay 5 occupied by Naturally Australian. From top left: old fire sprinkler system, timber structural elements (view from the entrance), bricked-in arched opening, boarded loading hoist opening (presumed), and circular marks on the concrete/asphalt floor evidence of historic use of the space



Figure 81: Plant room and entrance of Bay 2



Figure 82: Bay 2 office area to the west showing bricked-in opening to Bay 3, original door to external toilet block (kept locked), and general office layout of Bay 2 looking west towards George Street retaining wall

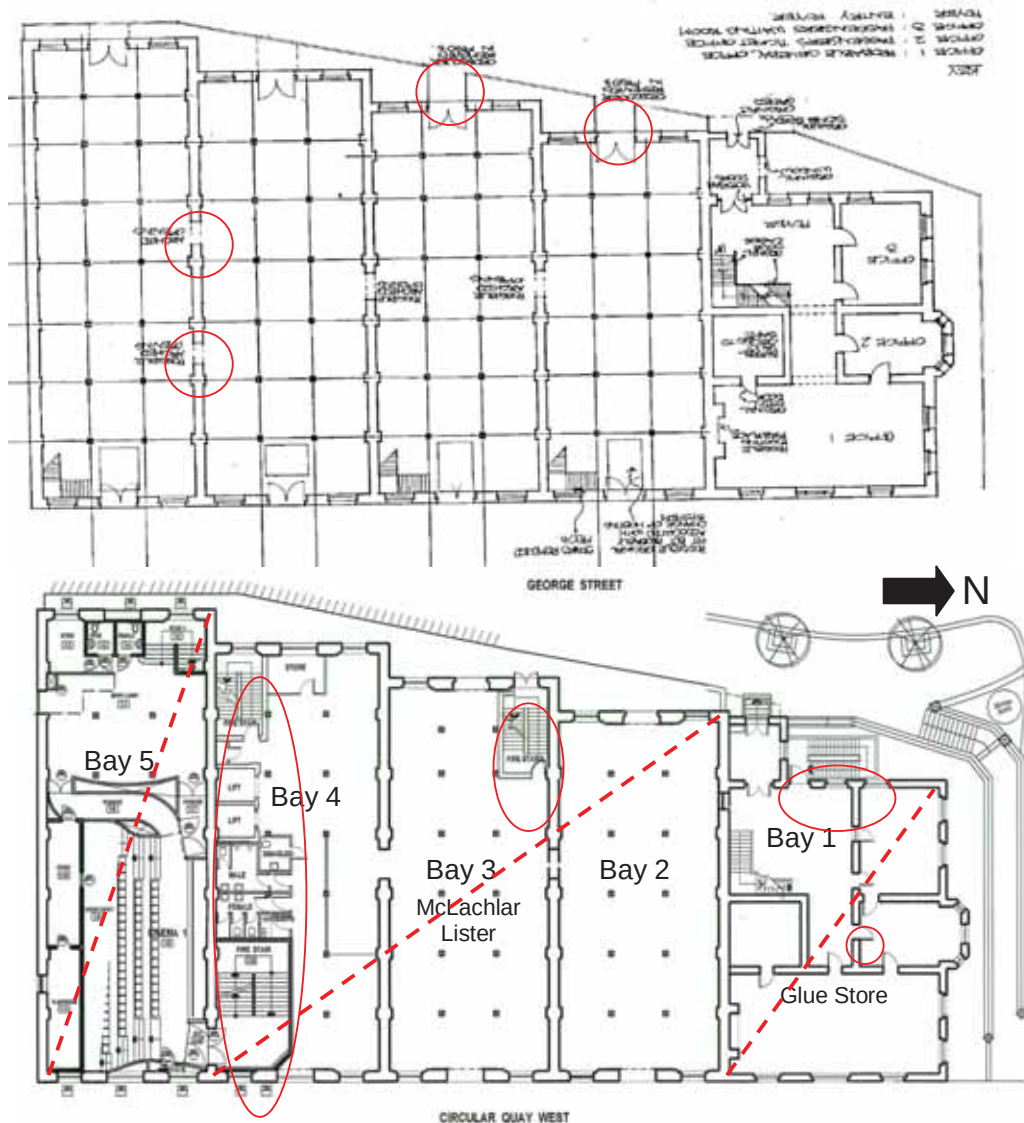


Figure 83: Lift foyer in Bay 4 providing access to CATC ground floor classes, part of strong room with concrete/asphalt floor, western storage room for Ken Done Gallery occupies the space behind the strong room

First Floor

First floor is occupied by three separate tenancies, one of which is the cinema complex in Bay 5. The cinema occupies all levels of Bay 5 from first floor upwards. Bays 2 to 4 are used as offices by McLachlar Lister. The office block (Bay 1) is occupied by Glue offices. The integrity of the interiors with the exception of Bay 5 is high featuring original timber structural elements of post and beam with cast iron capital and herringbone bracing in the warehouse component, while the office block maintain the original layout. The 1990s restoration and refurbishment works have recovered and exposed the majority of structural elements. The current tenancy fit-out of Bays 2-4 and Bay 1 maintain the warehouse sense and office character of the respective spaces.

Some minor paint flaking and damage to a corner of the office ceiling are the only visible defects within the first floor level. The main changes from the original configuration are, as mentioned above, the extensive modifications to Bay 5 and its complete separation from the other bays. Bays 2 to 4 are still interconnected via the original arched openings, however as per other levels, insertion of fire stairs (1950s), lift and amenities core partially obscured the main features of the floor. The insertion of 1990s fire stairs for the cinema users has been a major intrusive impact to the building. The original steps crossings from George Street to bays 2 and 3 have also been removed at this level.



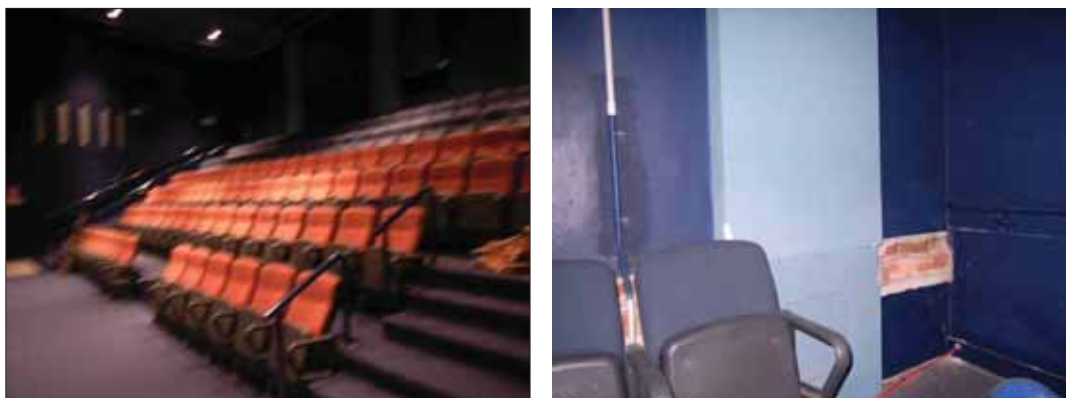


Figure 84: General views of the cinema complex showing the auditorium, partially exposed brick wall, and main foyer with timber posts exposed.

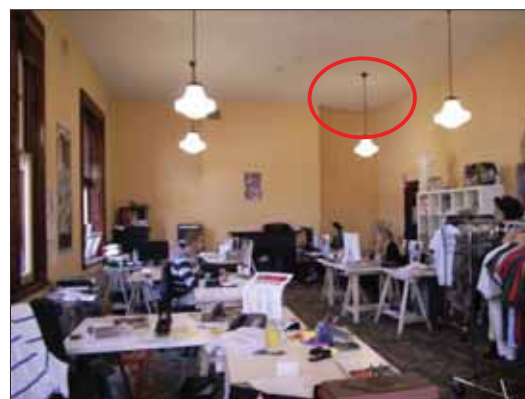


Figure 85: Bay 1 office spaces: top images are taken during the restoration works in 1990 provided by the Authority; below images are the same spaces in 2008. The inset shows the damage to corner plasterboard piece that require inspection & repair.



Figure 86: Bay 1 office spaces: top right image showing the main timber stair was taken during the restoration works in 1990 provided by the Authority; top left image and the stair show the same space and elements in 2008. Images in the centre and left above provide information on the existing configurations of the Bay 1 western and eastern sides' offices on the first floor.



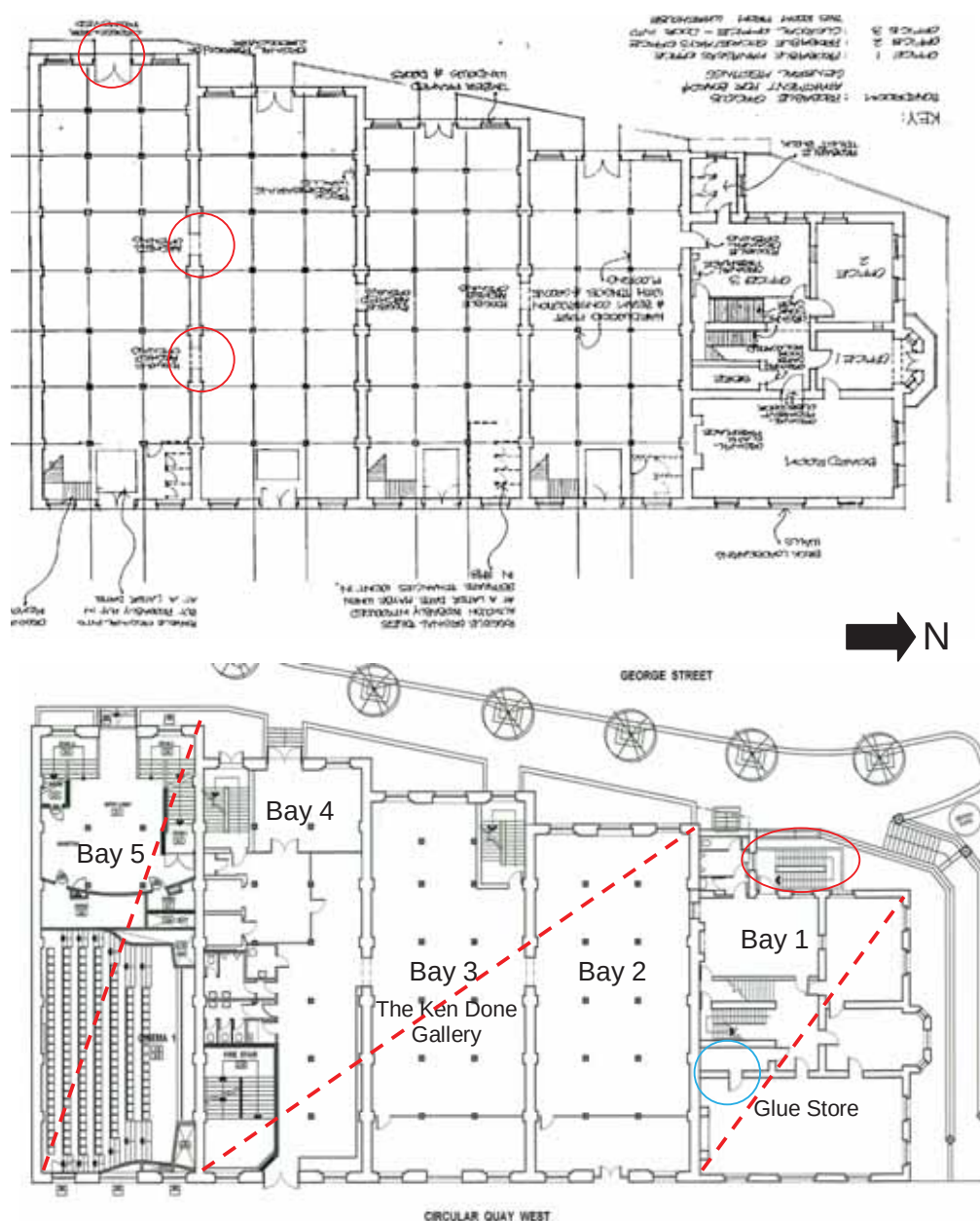
Figure 87: Bay 1 Warehouse component where McLachlar Lister Company occupies Bays 2 to 4. Left is the 1950s stairs in Bay 3 looking towards George Street, interconnected character of the bays and warehouse quality of the space are evident on the right image



Figure 88: General views of Bays 2 to 4 showing air-condition ducts along the centre corridor between the arched openings, remnant rendered and painted wall of the 1950s-1960s alterations with original facebrick walls partially exposed, original fire services downpipe and the new glass insertions to loading doors with metal safety barriers.

Second Floor

Second floor is also occupied by three separate tenancies in the same form as the first floor. Cinema in Bay 5 contains an Aboriginal art gallery to the half of the bay, featuring a three-level high space. The Bays 2, 3 and 4 are occupied by the Ken Done Gallery, and the Bay 1 accommodates the Glue store offices. The main structural features and character of the warehouse block and the office block are the same on all floor levels in general. One difference from the other floor levels, particularly in Bay 5, is the partial recovery of the original timber structural elements and evidence of former location of floor joists on the walls. The floors throughout the warehouse bays are covered by concrete with asphalt finish over the timber floor, while the office block maintains timber board floorings through all levels above the ground floor. No structural issues were observed throughout the building. The main observation was the minor paint flaking and small cracks on the walls and ceilings of the office block (Bay 1) in general.



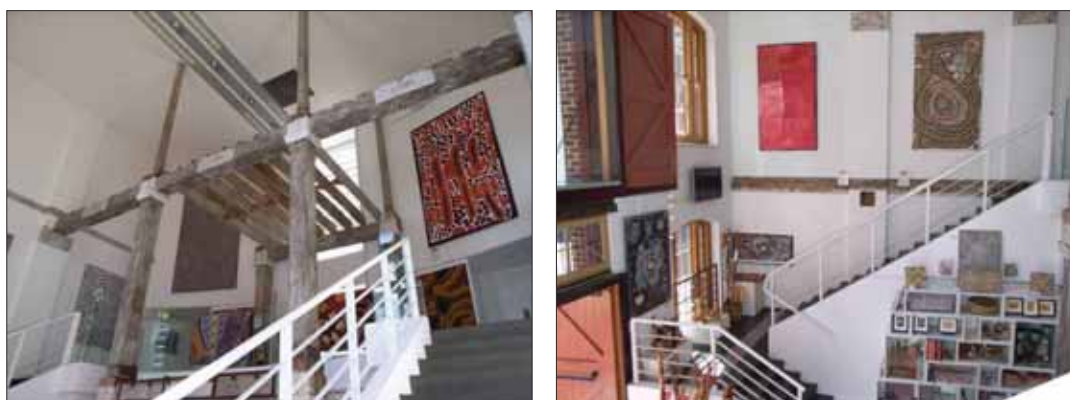


Figure 89: General views of western portion of Bay 5, Aboriginal art gallery. Note the retained timber structure with painted numberings, exposed brick floor levels and joist junctions.



Figure 90: Entrance foyer to Bay 4 looking towards Ken Done Gallery and the lift foyer. Note terrazzo flooring to the foreground, and exposed timber ceiling structure (post and beam with cast iron capital) with evidence of repair and new services



Figure 91: General views from the Ken Done Gallery showing the original vent grill, lift foyer, reinstated timber loading doors with glass insertion, and exposed timber ceiling structure, new services and early electrical switch installed into the concrete floor



Figure 92: General views from the Ken Done Gallery showing the original open plan warehouse character and layout of the Bays 2, 3 and 4. Exposed timber ceiling structure and structural posts, new services including air-conditioning duct in the centre left image, glass and plasterboard partitions, and repaired brick arch opening. Use of the spaces as gallery maintains the opportunity for appreciation of the warehouse qualities of the former ASN Co. Building



Figure 93: The Ken Done Gallery showing the repaired brick arch opening, and original fire services



Figure 94: The eastern side office on the Second floor of Bay 1 showing the room during the 1990s restoration works and in 2008. Note new Victorian colour scheme, highlighted plaster moulded cornices, ceiling rose and slate fireplace
(Source for 1990s image the Foreshore Authority)



Figure 95: Example of reconstructed timber framed sash window with two mullions and other retained and reinstated features of Bay 1: fireplaces and overall office fabric/joinery.



Figure 96: Restored and refinished classical timber door to the former boardroom and the safe door. The right image shows the doors prior to restoration.
(Source for 1990s images: Foreshore Authority)





Figure 97: Service and communication windows, safe room with flagstone floors and timber board ceiling, safe during restorations, and restored original timber stair
(Source for 1990s image the Foreshore Authority)

Third Floor

Bays 2, 3 and 4 of the third floor are occupied by the CATC Design School while the office block accommodates the Trend Imports Company. Features of the spaces both warehouse and office block are the same as the other floor levels with only changes in the tenancy fit-outs. The main vertical circulation, amenities, lift core and structural elements maintained throughout all levels with the exception of the 1990s fire stairs which ends at this level. Floors within the warehouse bays are concrete with asphalt finish over original timber floor boards. The office bay retains its timber board flooring in good condition. A small number of cracks and paint flaking were observed within the office bay. The main issue appears to be the lack of ventilation within the bathroom of the former caretaker's suit on the eastern side of Bay 1. Two defects that are require attention in the medium term are a broken timber tread of the Clearstorey stair and a broken top sash rail of the timber window in the western classroom of Bay 4.

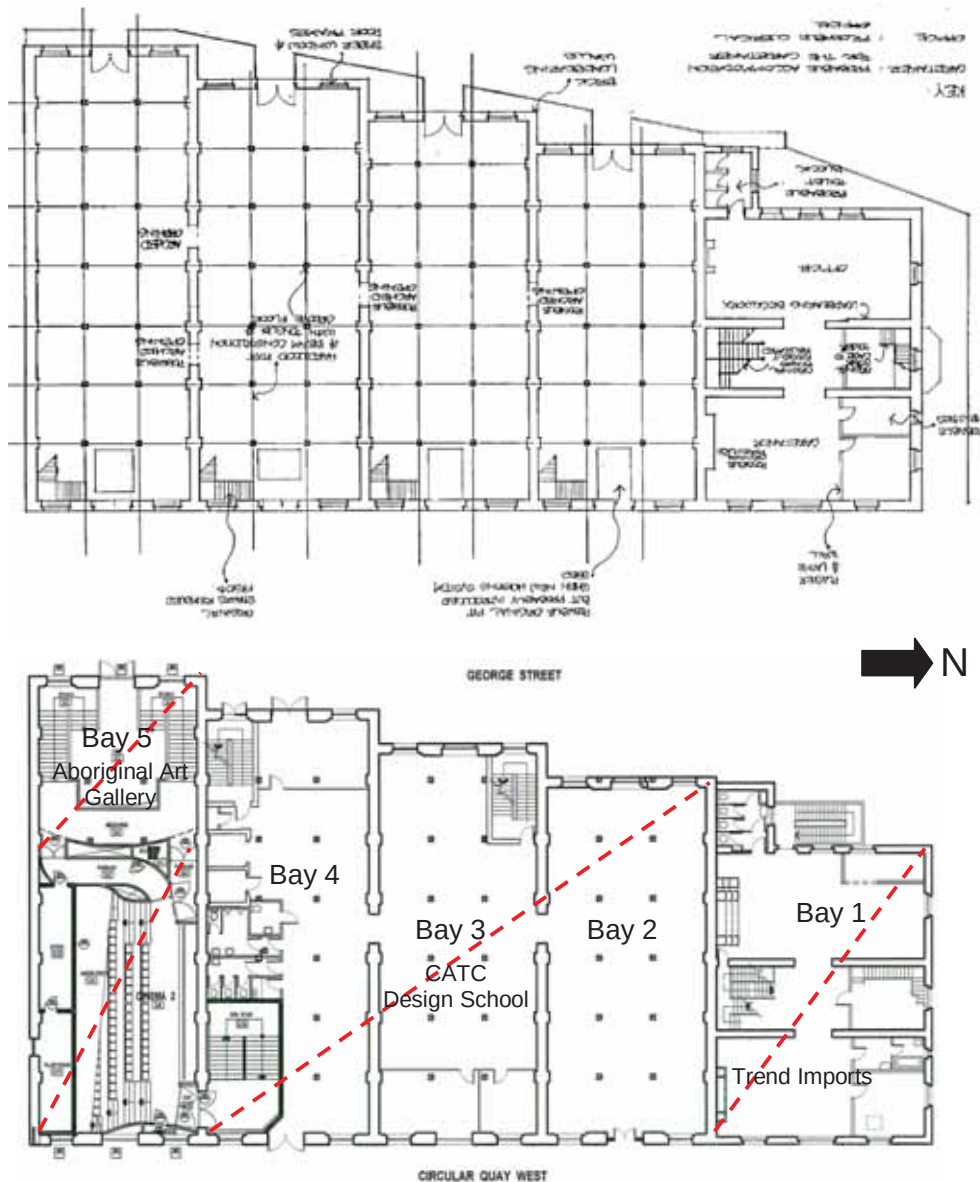




Figure 98: Views of the timber joists and underside of timber floor boards in Bay 4 of the third level. The suspended cloth ceiling is for temporary measures to protect from any dust caused due to the refurbishment works on the forth floor above. Note evidence of removed earlier suspended ceiling above the wall render of the left image



Figure 99: General views of warehouse Bays 2, 3 and 4 showing the concrete floor with asphalt finish and evidence of earlier uses trough marks on the floor



Figure 99: Above left is the view of Bay 4 looking west towards the lift foyer, above views through the original arched openings with air-conditioning duct in between, the classroom on the left facing the George Street elevation and features layers of finishes from the original to the 1950s-1960s and reconstructed loading doors. The top sash rail of the timber window seen here is partially broken and requires repair in splicing form.



Figure 100: General view of Bay 1 office main stair foyer looking towards former caretaker's suit beyond the large opening and the clocktower access room (left door of the above image). Close up view of the clock tower access room door to the right





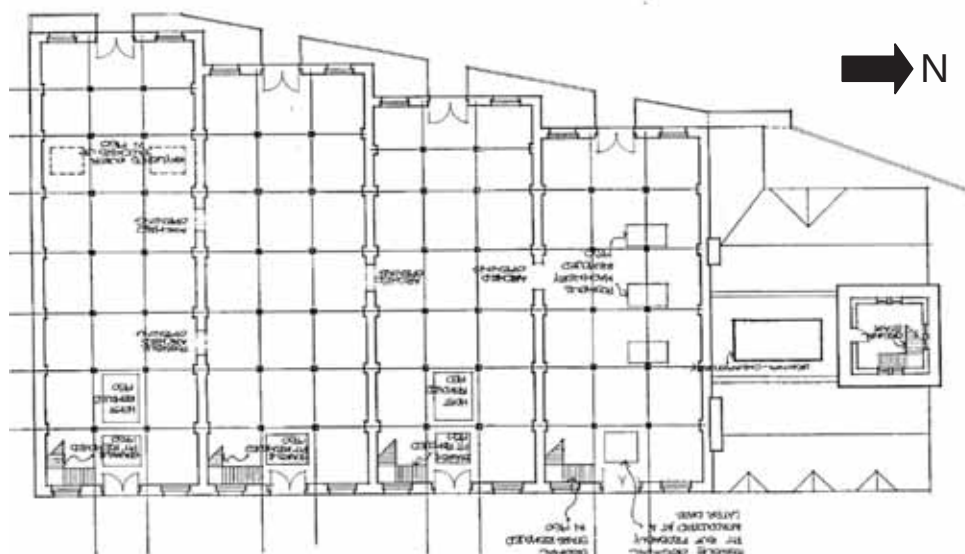
Figure 101: Bay 1 office block showing western office space (top), timber stair to clearstorey (centre) during restoration in 1990s and in 2008 with clearstorey above, western amenities with early tiles, and detail of pitched lath and plaster ceiling to form dormer windows



Figure 102: The 1950s firestairs on the south-western corner of Bay 4 featuring terrazzo steps, iron balustrade and timber hand railing. Note floor identification signage consistent throughout all building levels

Fourth Floor

The top floor of the warehouse building and clearstorey and roof top of the office block, the forth floor has the most significant structural elements of the building. The Kingpost trusses and sawtooth gabled roof in exposed form exhibit an impressive environment and presentation. The interconnected bays 2 to 4 were under refurbishment works for a new tenancy at the time of the site inspection. The new fit-out follows the similar approach by respecting and maintaining the original spatial qualities and warehouse character of the space. The office block featured by the clearstorey and the clocktower middle level on this floor. The original timber floor boards are visible within the warehouse bays; so are all the structural timber elements including Kingpost trusses, beams and cathead beams. A mezzanine level with pull-down ladder appears to be inserted in the eastern half of Bay 3.



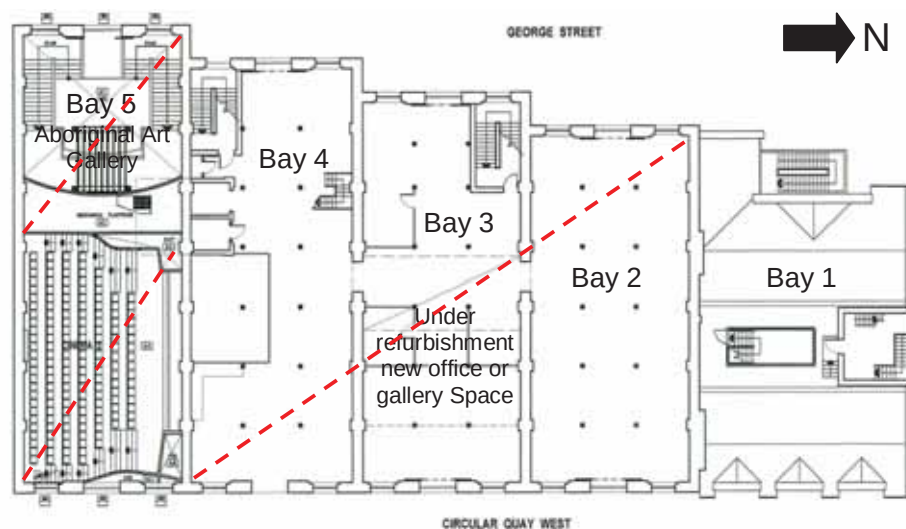


Figure 103: The fourth floor warehouse bays with Kingpost trusses and beams, sawtooth gabled roof form, timber rafters, brick gable ends, arched loading doors with louvered tops, glazed transoms and timber board doors. New light fittings and services and carpet flooring are for the new tenancy fit-out. Note original fire sprinklers under the roof lining



Figure 104: General views of the fourth floor warehouse component. Note the original fire services system in the centre right image. New tenancy toilets and original brick arched openings connecting bays 2, 3 and 4.



Figure 105: The interiors of the clocktower at the top level of Bay 1 and roof access level. The timber stair seen here was reconstructed during the 1990s restoration works. The bell with inscription of 'ASN Co. 1993' was also reinstated at that time. Note original louvered windows roof access door, and timber board flooring



Figure 105: The clocktower at balcony level. The original timber ladder, arched louvered door to balcony, and conical spire structure are seen here. Note louvered dormer windows to the spire. Smoke alarm and a fire extinguisher provide fire safety to this exceptional architectural feature of the building.

3.5 Assessment of Archaeological Potential

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* (AR019) as referenced in the Foreshore Authority's S.170 Heritage Register (B008), which noted the following:

Integrity/Intactness: Archaeology: Mostly disturbed. Much of the original fabric of the building is intact.

Below Ground

The historical development of the site indicates European occupation from the early times. The site has a long history because of its prominent location in The Rocks area, situated on the edge of the Quay and adjacent to the various wharves and stores within the main commercial maritime centre.

By 1801 Robert Campbell had erected storehouses and a wharf on the western side of Sydney Cove and by 1802 completed Wharf House for his family. This house occupied the site of the present ASN Co. Building and was a large dwelling with additional buildings for stables and a coach house. The land around the buildings had been drained and cleared of rock for a garden, a paddock and wells. Some of the land had been reclaimed with broken rock. The house was approached from the land side by a driveway of paving steps and coping, and from the waterfront by a separate landing to the driveway.

In 1876, the Australasian Steam Navigation Company purchased Campbell's Wharf and adjoining land for £50,000. The company altered and used Campbell's residence as its docking office until 1883. At that time the house was demolished and the site was cleared so that the warehouses and offices of the Australasian Steam Navigation Company can be constructed on the site.

The line of Hickson Road was originally a curve of George Street above the edge of a rock escarpment, which extended down to the Harbour. It became a track by 1849, in association with Robert Campbell's use of the site and harbour area, and a road by 1896. Hickson Road was widened between 1906 and 1926 by the Sydney Harbour Trust.³³

The construction of the ASN Co. Building on the site included deep excavation into the rocky slope between George Street and Hickson Road. The building steps down the site and the lower floors of the Circular Quay West ground level form basements below the George Street level.

The 1885 Sydney Morning Herald article describes the efforts taken to clear the site for construction of the building. *"Eighteen months ago, when the ASN Company's board accepted his [Jenning's] tender, there were 3,000,000 cubic feet of stone to be quaried out of the site where the present building was erected..."*³⁴ The excavation for this large building would have destroyed any Indigenous or European archaeological remains that may have existed on the site from its previous phases.

An archaeological investigation was undertaken in the footpath of Hickson Road by Wendy Thorp in 1991. Test pits were located adjacent to the north-west corner of the ASN Building. The objectives for the work were *"to monitor excavation and installation of power lines to the building for the purposes of recording remnant archaeological evidence and, secondly, to define where possible, the changing levels of the footpath in relation to access stairs to the building and other features of the building"*.³⁵

³³ Thorp, W., 1991, 6

³⁴ Quoted in Tropman & Associates, 1990, 8-9

³⁵ Thorp, W., 1991, 2

The features revealed by the testing were primarily blue stone cobbles. However, the presence of later services in the area, consisting of gas, electricity and telecom lines and cables, as well as a concrete slab (which may have formed part of a retaining wall for the building) prevented a clear interpretation of the relationship of the cobbles to the building. The results of the excavation also revealed evidence of earlier surfaces and features such as the concrete slab. Unfortunately, no definite interpretation of their relationship to the building was possible due to the extent of disturbance caused by the installation of earlier surfaces.³⁶

The S.170 Heritage Register entry contains the following archaeological assessment for the site:

Condition: Mostly disturbed.

*Assessment Basis: Warehouses cut into hill slope from Circular Quay West.
Basements below George Street / Hickson Road level.*

The Archaeological Resources Map in *The Rocks and Millers Point Archaeological Management Plan* identifies the site as being an area of archaeological sensitivity.

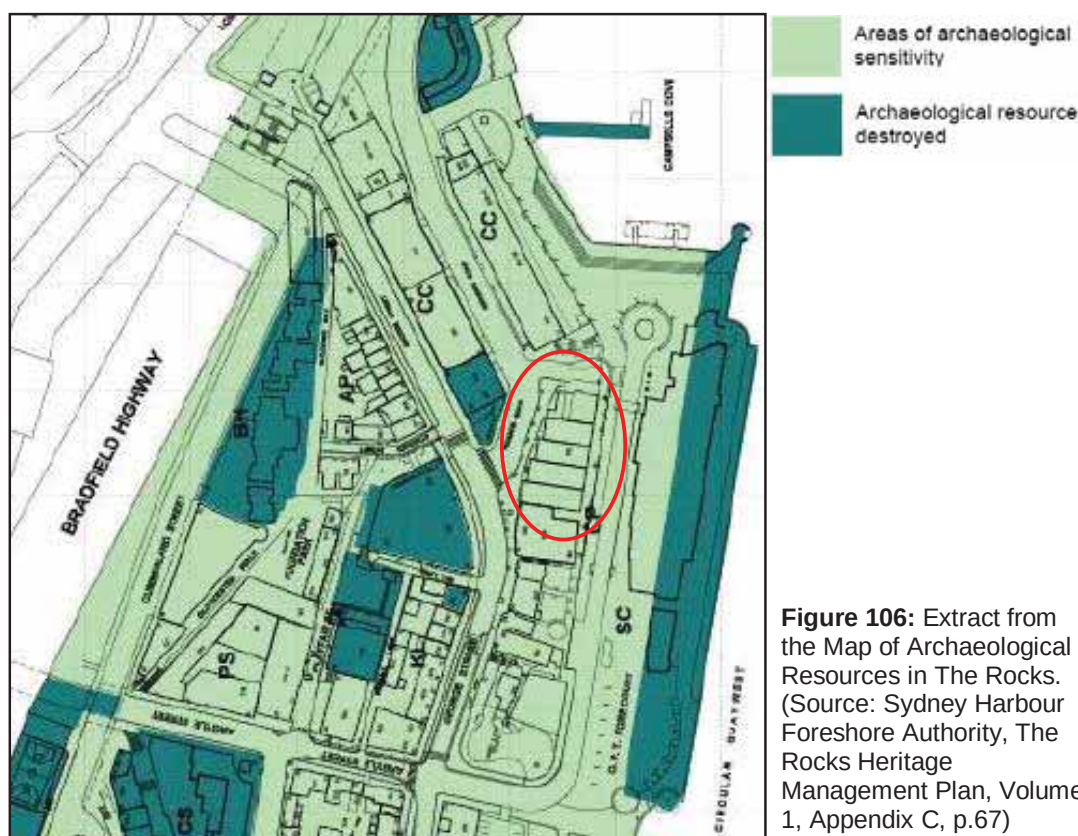


Figure 106: Extract from the Map of Archaeological Resources in The Rocks. (Source: Sydney Harbour Foreshore Authority, The Rocks Heritage Management Plan, Volume 1, Appendix C, p.67)

The Conservation Management Plan carried out by Graham Brooks & Associates noted that the archaeological potential of the site had been assessed in *The Rocks and Millers Point Archaeological Management Plan* in 1991. It stated that the site contained above and below ground archaeological remains – the latter being in a mostly disturbed condition. It also noted the recommendation in the Management Plan for an archaeological conservation plan for the site.³⁷

³⁶ Thorp, W., 1991, 5

³⁷ Graham Brooks & Associates, 2004, 69

Above Ground

The building has undergone a series of refurbishments since its construction in 1883-1884 and opening in 1885. It was constructed of brick, with four bays consisting of five levels for warehouses with associated hoist pulleys, and an attached bay of four levels for office space on the north-eastern façade of the building. This end of the structure was topped by the clock tower. The first additions to the building were carried out from 1892 to 1894 when the water tower was constructed above the warehouse bays, in association with a water sprinkler system. This was one of the first fire protection systems installed in Sydney. Sprinkler heads were added or replaced in the building in 1929 and some are still in existence. Most of the sprinkler heads were replaced during the 1950s work.

Extensive renovations took place in the 1950s when the office block and attached warehouses were converted for use as offices. The fit-out included installation of a lift in Bay 4 with the removal of original fabric in that area and the introduction of openings through the load bearing walls in the warehouse section. Steel fire doors were also added at this time.

During the 1960s and in 1977 a small number of alterations were carried out to the building such as additional plasterboard partitioning and the introduction of external fire stairs which necessitated converting some windows into doors. These works are itemised in the 1990 Preliminary Conservation Plan for the building, carried out by Tropman & Tropman Architects. The Tropman & Tropman Report notes No. 5 Hickson Road as the warehouse part of the building which includes Bays 2-5, and No. 7 Hickson Road as the office part, known as Bay 1.

A preliminary industrial archaeological study of the building was undertaken in 1990 by C & M J Doring on behalf of the Sydney Cove Authority. The report described the following above ground industrial archaeological elements:

- *Bay 1, offices, contained original looking vaults with safe doors.*
- *Bay 5, facing George Street, a small round decorative bracket fixed to south west external corner for supporting overhead tram wires.*
- *Bays 2-5 – the structural framing system of timber columns with a cast iron cap on top on which the timber beams sit, supporting floors. This is a rare example of this technique. The cast iron caps and saddles deserve further investigation and conservation.*
- *The Commonwealth Department of Health Acoustics Laboratory use of the building should be recorded and portable evidence (interpretation) offered.*

In 1991-1993 works to restore the building to its 1883 format were undertaken for the Sydney Cove Authority. The works included removing much of the works carried out to the building since 1950, as recommended in the 1990 Preliminary Conservation Plan.

The 2004 Conservation Management Plan by Graham Brooks & Associates summarised the restoration works and conditions for the Warehouse Bays as:

The original open space arrangement of Bays 2-4 has been recovered and elements of the original structure have been exposed. Bays 2-4 are generally used by one tenant on each floor, while Bay 5 has been retained in its 1990s altered form and is used separately. The integrity of this bay of the warehouse has been seriously compromised by its adaptation to cinema.

The 1950s fire stairs, located in Bays 3 and 4 were retained and the elevators in Bay 4 were also retained and refurbished. The works did not cover the areas (Bay 5 and part of Bay 4), which had been altered for *The Story of Sydney* in the early 1990s. Air-conditioning of the warehouse Bays 2-4 was completed in 2003.

Externally the large timber windows, loading doorways and swing-down platforms, cat heads and hoist pulleys were reinstated. The balustrades of the clock tower and the balcony, which were replaced at an unknown date with pipe and chain-wire railing, were reconstructed. A new bell was installed in the tower in 1993. The paint was removed from the spire and water tower and other parts of the brick façade and the white ASN Co. lettering to the west, north and east façade were restored. The sprinkler system was updated and the earlier system was retained. The emphasis of the conservation work was to retain and conserve much of the original fabric. Therefore, the original or early above ground industrial archaeological elements identified in the Doring's preliminary study remain. These elements, with the exception of evidence of the Acoustic Laboratory, have been conserved within the building, and they have been observed during the site inspections for the current study.

The State Heritage Register listing for the building notes in its recommended management section:

*Above and below ground archaeological remains: An archaeological conservation plan is recommended.*³⁸

Recommendation

Although the Map of the Archaeological Resources in The Rocks identifies the subject site as being an area of archaeological sensitivity, below ground archaeological potential of the site is considered low for deeper deposits based on the historical evidence outlined in this report, *The Rocks and Millers Point Archaeological Management Plan* as referenced in the Foreshore Authority's S.170 Heritage Register and The Rocks Heritage Management Plan.

However, any archaeological relics potentially found in the future would be considered as of high significance. Given the undecided relationship of features excavated on the north western side of the ASN Co. Building in 1991 and the knowledge of the history of the site, a monitoring brief for any ground disturbance of the site is recommended. This should be undertaken by a qualified archaeologist in accordance with the NSW Heritage Act 1977 archaeological provisions.

³⁸ SHI Database, Inventory No. 5053141

4. Assessment of Cultural Significance

4.1 Assessment of Significance

4.1.1 Comparative Analysis

A comparative analysis of Wardell and the Anglo-Dutch style of architecture was completed as part of the previous Conservation Management Plan for the site by Graham Brooks and Associates, and the information from that report forms the primary basis for this section. However, information on some additional buildings, as examples of that style, has been added.

Warehouses design, mid-1880s

Early warehouses and woolstores were located near the Circular Quay or Millers Point, were small to medium in size and generally had roofs of the king-post type, supported on the side-walls. King-post trusses were strong enough for spans up to 9m and this dimension persisted as a characteristic module for warehouse floor plans and façades for store with gables on their main façade. For multi-storey warehouses the same rough module suited the timber floor structure rather well: the gable width could be divided into two timber posts as central supports for two timber girders. Examples of this type of planning and structure still existing around Circular Quay and include the Campbell's stores (completed in 1861), the former Hinchcliff wool stores at 5-7 Young Street (c.1870), the former Barker wool store at 12-14 Loftus Street (built in 1876, now altered and used by the Galipoli Club), and a number of small warehouses in Bulletin Place (c.1880).

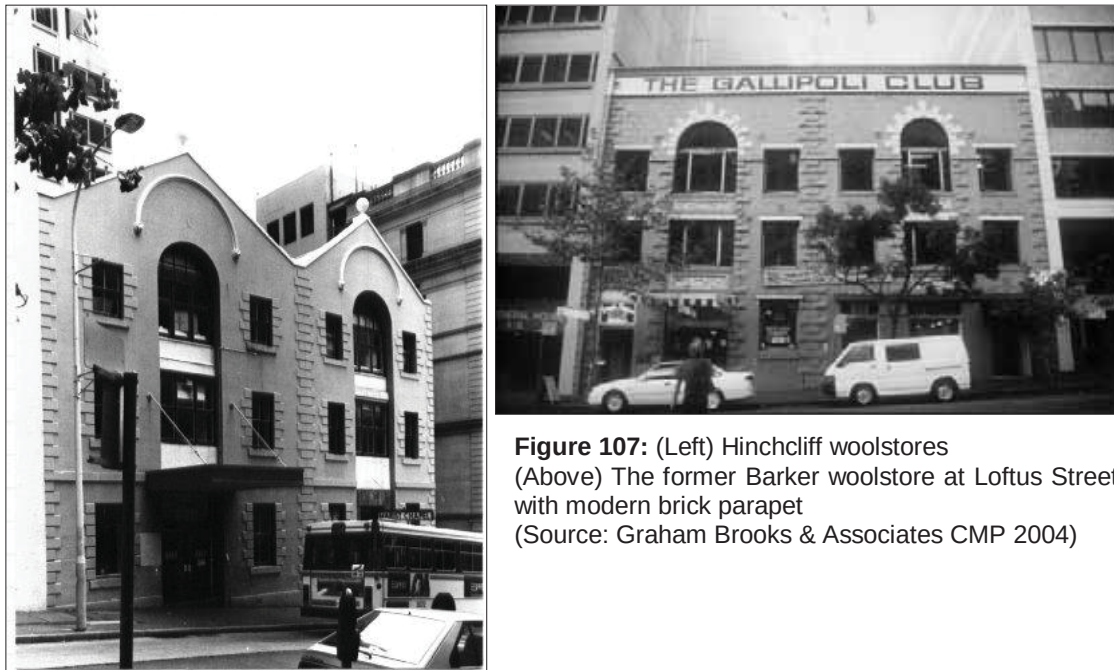


Figure 107: (Left) Hinchcliff woolstores
(Above) The former Barker woolstore at Loftus Street
with modern brick parapet
(Source: Graham Brooks & Associates CMP 2004)

By the mid-1880s, when the ASN Co. Building was built, a new style of warehouse was becoming popular, with larger scale, column and beam structure and sawtooth roof hidden from view by parapet wall. Some examples of these are the former Geddes woolstores in Allen Street, Ultimo (1888) and the News Limited Building in Cooper Street, Surry Hills (c.1880).³⁹ Even though these changes were occurring, in the design of the warehouse component of the ASN Co. Building Wardell chose to remain with the previous style of smaller bays, probably because of the shape of the site and a preference for more ornate architectural style.

³⁹ Howells, 1993

Another excellent example of urban commercial utilitarian design by William Wardell was the Grafton Bond Complex, which is reflected in the only remaining unit of the 1883 complex. Claimed to be the largest bond warehouse complex in Australia, the complex also comprised cottages and office buildings, flexibly designed and displaying the Northern European influence evident of much of the work of the architect.⁴⁰ The present building is a remnant of the large complex. Today only one original bay remains as the other components were demolished with the formation of Hickson Road c.1925.



Figure 108: (Left) The Grafton Bond Complex, (now partly demolished)
(Right) part of the office block at 1 Sussex Street, once part of the complex
(Source: Left image, Graham Brooks & Assoc CMP, 2004. Right image, Mitchell Library Small Picture File)

Other buildings of similar style in Sydney

Today there are relatively few surviving examples of the style in Australia, as a number of Anglo-Dutch buildings have been demolished and replaced by taller structures. In addition to the former Grafton Bond Stores (of which only one original bay remains) the following buildings in Sydney display characteristics of the Anglo-Dutch architectural style:

- Corporation Building (former Municipal Building), Hay Street, Sydney, by McRae, City Architect, c.1893. It is a small scale, flamboyant building, characterised by intricate brick and terracotta detailing and stylised design motifs;⁴¹
- Railway Institute, Chalmers and Devonshire Streets, Sydney, by H.M. Robinson, 1890. A red brick building with sandstone detailing and Dutch Gables above three projecting side bays;⁴²
- 141 York Street, Sydney (1908) is a modest example of the Anglo-Dutch style, unusually for this style executed in full stone;⁴³
- Trocadero Hall at 69-77 King Street Newtown had had the style attributed to it although the current State Heritage Inventory form defines it as being a Victorian Flemish style commercial building with free style Gothic detailing;⁴⁴
- Newtown Post Office is a two storey building with clocktower located on a prominent site at 292 King Street Newtown.⁴⁵

⁴⁰ Jong, 1983

⁴¹ Apperly, 1989 & State Heritage Inventory

⁴² Apperly, 1989 & Sydney Central Station CMP, 1996

⁴³ State Heritage Inventory

⁴⁴ State heritage Inventory – Trocadero Hall

⁴⁵ State Heritage Inventory, Newtown Post Office



Figure 109: (left) Former Municipal Building in Hay Street; and (right) Railway Institute.
(Source: Graham Brooks & Associates, 2004)

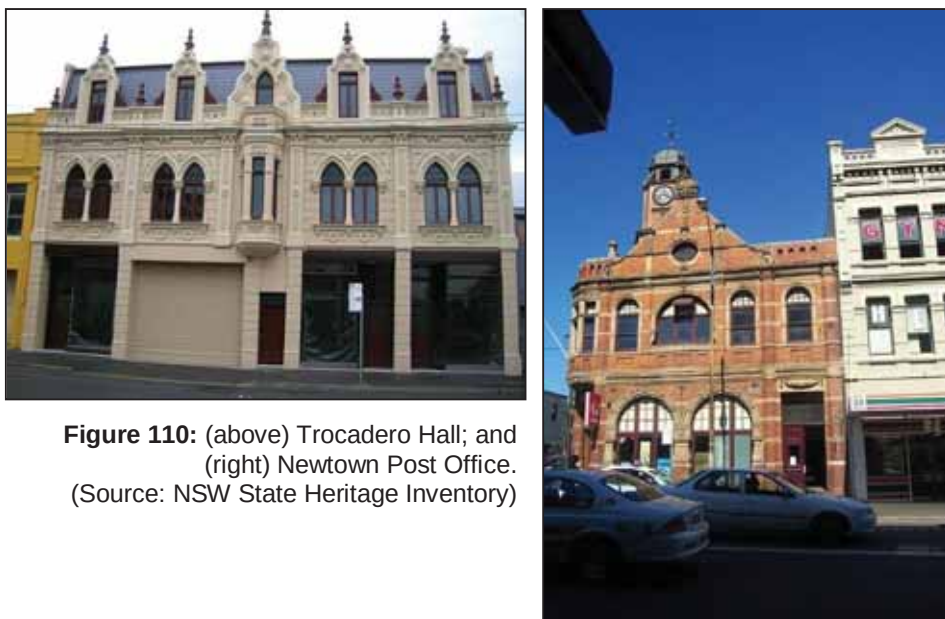


Figure 110: (above) Trocadero Hall; and
(right) Newtown Post Office.
(Source: NSW State Heritage Inventory)

Buildings of a similar style in Victoria

- University of Melbourne Main building, Carlton, Victoria, 1888;
- Winfield Building, formerly the Wool Exchange Building, Collins Street, Melbourne, 1891. This has been described as both Federation Anglo-Dutch and English Queen Anne Revival;
- Perseverance Hotel, Fitzroy, Victoria;
- St Nicholas Hospital Buildings, Carlton, Victoria.



Figure 111: (Left) Winfield Building; (Right) one of the University of Melbourne Main Buildings
(Source: Left – Victorian Heritage Database, Right – Sydney Architecture Images
<http://www.sydneymarchitecture.com/STYLES/STY-F04.htm>)

Surviving buildings designed by Wardell and Wardell & Vernon

During the 1860s, Wardell was the Inspector-General of Public Works of Victoria, but he also retained the right of private practice. After being dismissed from Public Works in 1878 he moved his practice to Sydney and formed a partnership with Walter Liberty Vernon. Wardell was interested in Revival architecture, which is evident in his Gothic revival churches and Flemish styled warehouses. He travelled in Europe in 1870 and it is possible that he was influenced by the revival movement.⁴⁶ Surviving buildings designed by Wardell and Wardell & Vernon include:

- St Patrick's Roman Catholic Cathedral, Melbourne (1859-1939);
- St John's College, Sydney (1859-1935);
- St John's Church of England, Toorak (1860-1862);
- St Mary's Roman Catholic Cathedral, Sydney (1865-1928);
- The former E. S. & A. Bank, Collins Street, Melbourne (1870);
- The former Grafton Bond Warehouse, Hickson Road, Sydney (1883);
- The former ASN Co. Building, 1-5 Hickson Road, Sydney (1884);
- The former NSW Club, Bligh Street, Sydney (1884-1886);
- The former E. S. & A. Bank, 137 George Street, Sydney.

4.1.2 Assessment Criteria

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

- Together with Cadmans Cottage, Mission to Seaman Chapel and City Coroners Court, the site represents the long history of the precinct and the historic The Rocks area as a maritime centre, including the importance of steam shipping to the colony's economy. This aspect is strongly reflected in the high architectural style and the prominent waterfront location of the building.

⁴⁶ Apperly, 1989

- It was one of the last substantial warehouses with a timber structural system built in Sydney. From 1885 cast iron columns were used in warehouses instead of timber.
- The use of steam cranes imported from England to transport materials on site to construct the building is possibly the earliest example of their use in Sydney.
- It holds significance in its associations with The Rocks, Campbell Cove and Circular Quay and is part of a historical precinct that includes Cadmans Cottage, Mission to Seaman Chapel and the Sailors Home which together strongly illustrate this former maritime neighbourhood. It contributes strongly to the character of The Rocks and is an area that is well visited by residents and tourists. Its inclusion on the registers of the National Trust and the National Estate demonstrates the esteem the building is held in by the broader community.

The former ASN Co. Building meets this Criterion at State Level.

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

- The building has associations with the former Australasian Steam Navigation Company for whom it was constructed in 1884-1885.
- The building has strong associations with its designer William Wilkinson Wardell, an outstanding architect of the nineteenth century best known for his churches (St Mary's Cathedral in Sydney), public buildings (Treasury building, the Mint and Government House in Melbourne), banks (The English Scottish and Australian Bank in George Street, The Rocks) and warehouses.
- The site has associations with the mercantile activities of Robert Campbell.

The former ASN Co. Building meets this Criterion at Local Level.

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)

- The former ASN Co. Building is a highly visible and prominent landmark, especially the towers, from the Harbour and City and forms part of an important historic vista from Circular Quay through to Campbell's Cove and beyond. It can be seen from Port Jackson, from the North Shore, Circular Quay and Harbour Bridge.
- When completed the ASN Co. Building was one of the most prominent buildings in Sydney, and remains an extremely prominent landmark.
- Not only is the building significant as an excellent example of Wardell's style, but also the way in which he allowed the site shape to partially dominate the design. Each bay is a different length, stepping down the site. Although there were other buildings of similar style that existed in Sydney, none of them incorporate such picturesque façades with this type of layout nor do they mix office and warehouse design together.
- The building is a rare intact example of the late 19th century Anglo-Dutch architectural style.

The former ASN Co. Building meets this Criterion at State Level.

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

- The site is likely to have a special place in the minds of Sydney residents and tourists due to its landmark quality when approached from the Harbour.
- Its inclusion on the registers of the National Trust and the National Estate may demonstrate the esteem the building is held in by the broader community.

However, these associations are speculative only and do not indicate that the building and its site have strong or special associations with a particular community for social, cultural or spiritual reasons.

Therefore, the former ASN Co. Building does not meet this Criterion.

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

- The structure demonstrates the type of construction methods that were available in this period and its intactness combined with clarity and simplicity allow it to be easily comprehended.
- It is a benchmark building form capable of providing information about the special relationship between its design and function, being a very rare example of a warehouse with associated offices. It has research and scientific potential in the information that its fabric displays and retains, including the very early sprinkler system.
- The archaeological potential for below ground deposits would be mostly destroyed, and thus the site has a low likelihood of providing new relics; however, any archaeological relics potentially found in the future could possibly be of high significance.

The former ASN Co. Building meets this Criterion at State Level.

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

- The architectural style of the building is a rare intact example of the Pre-Federation Anglo-Dutch style.
- The former ASN Co. Building is a very rare and fine Victorian example of an office and warehouse development in Sydney. The mix of office and warehouse, each exhibiting the same architectural style to varying degrees, forms a pleasant built element in The Rocks' urban landscape.
- The former ASN Co. Building was unusual for the locality and Sydney. Large later (1910-1920s) storage facilities were generally single storey and of timber construction.
- It was one of the last substantial warehouses with a timber structural system built in Sydney. From 1885 cast iron columns were used instead of timber.
- The construction method of the building is possibly the earliest surviving example of the use in Sydney of steam cranes imported from England.
- It is possible that the sprinkler system is a rare surviving example with intact cast iron pipework and 1929 sprinkler heads. The remaining early sprinkler pipework is probably part of the original sprinkler system, possibly being installed when the water tower was constructed between 1892 and 1894.

The former ASN Co. Building meets this Criterion at State Level.

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)

- The joinery detailing in the office building is a fine example of Victorian detailing and the staircase is certainly, an early example of this style of architecture.

- The building demonstrates principal characteristics of the Anglo-Dutch style architecture applied to office and warehouse buildings in the pre-Federation period. It is a fine example of this style of architecture.

The former ASN Co. Building meets this Criterion at Local Level.

4.1.3 Ability to Represent Historic Themes

The former ASN Co. Building has ability to represent and provide evidence in relation to its original construction purpose, subsequent institutional uses and current mixed commercial, art galleries and office use through the following elements:

- The building originally had large open floor layout throughout all levels defined by the main structural elements being the external walls, Kingpost truss and beams, clock, bell tower and clearstorey, multi gabled roof form, water tower and Anglo-Dutch architectural design elements.
- The majority of the warehouse bays largely retain open floor layout and maintain sense of warehouse character of the spaces. The areas of currently partitioned layout are generally reversible and designed as such it does not reduce the item's ability in demonstrating the State historical themes that are applicable to the site. The exception is the bay with the former cinema where floors have been entirely removed. However, there is continuing evidence of the floor levels demonstrating the earlier warehouse quality of the space.

The identified historic themes are:

- **Industry:** through building, its history, pulleys, warehouse bays, structural elements, painted signs;
- **Commerce:** through the building name and signage, the office section;
- **Technology:** in technologies used to construct the building, Kingpost truss system;
- **Government and Administration:** evidence of former uses and signage;
- **Creative Endeavour:** through the style of the building and the ongoing use for arts, tourism and education;
- **Persons:** the building as a work of William Wardell.

4.2 Statement of Significance

The former ASN Co. warehouse and office building, and its site are of State heritage significance for their historical, aesthetic and scientific cultural values.

Constructed between 1884 and 1885, the building is significant for its strong association with The Rocks due to its prominent location on the edge of the Quay adjacent to the various wharfs within the main commercial maritime centre. It is also associated with famous early merchant Robert Campbell who developed some of the earliest warehouses in Sydney and constructed his Wharf House on the site at the turn of the nineteenth century.

The building has particular significance as a design of the prominent and highly regarded architect William Wardell. Wardell was a prolific and outstanding architect best known for his churches, public buildings, banks and warehouses. This significance is increased by the building's rarity as possibly the earliest surviving example in Sydney of the use of steam cranes imported from England, an intact example of the Anglo-Dutch style, a fine Victorian-period office and warehouse, and for featuring a rare surviving early sprinkler system with cast iron pipework with intact 1929 sprinkler heads.

The building has significance in the context of The Rocks, Campbell Cove and Circular Quay area due to its contribution to the locality's character combined with its landmark presence when viewed from the Harbour.

4.3 Curtilage

In establishing the heritage curtilage relevant factors should be taken into consideration including: historic land subdivision patterns; archaeological features; visual, physical, historical and functional links with important features in the area; setting, views and landmark qualities. 'Setting' is the area around a place, which may include visual catchment. In defining the heritage curtilage of a place a number of questions need to be addressed. These are as outlined in a publication, *Heritage Curtilages*, prepared by DUAP and the NSW Heritage Office as follows:

- Has the significance of the original relationship of the heritage item to its site and locality been conserved?
- Has an adequate setting for the heritage item been provided, enabling its heritage significance to be maintained?
- Have adequate visual catchments or corridors been provided to the heritage item from major viewing points and from the item to outside elements with which it has important visual or functional relationship?
- Are buffer areas required to screen the heritage item from visually unsympathetic development or to provide protection from vibration, traffic noise, pollution or vandalism?

The lot boundary of the property is defined as Lot 1 Deposited Plan 600611 and Lot 2 Deposited Plan 752063 incorporating an irregular portion on which, the former ASN Co. Building is constructed. The allotment is bounded by the retaining wall of Hickson Road to the west, Circular Quay West on the north and east, and the boundary of the Mariners Church to the south.

The current lot boundary is considered to be the minimum physical curtilage required for the conservation of the place's significant values. The State Heritage Register (SHR) listing identifies the current curtilage of the former ASN Co. Building as part of Lot 1 of the DP 600611 and it does not include a map to clarify whether the listing includes the entire site on which the building is located. The minimum physical curtilage of the site should include the whole Lot 1 DP 600611 as well as the Wharf House steps to ensure that the entirety of the site is officially included in the heritage listing, and thus that there is no confusion should challenges be made to the status of the site.

Although *Burra Charter* does not use the term "curtilage" Article 8 – Setting states that "Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place" and continues as "New construction, demolition, intrusions or other changes which would adversely affect the setting or relationship are not appropriate".

The visual curtilage of the place defines views and vistas through which the significance of the place may be appreciated. The analysis of views and vistas in section 3.1.1 has identified a number of significant view corridors within the inner harbour. The distant visual relationship of the building particularly its water tower, and clock tower and spire with the Opera House, East Circular Quay, Kirribilli shores, Harbour Bridge, Mariners Church and Sailors Home are important and should be maintained.

The close street views include:

- Along Hickson Road in both directions;
- Along George Street, particularly from the south;
- Circular Quay West;
- From the Dawes Point Park; and
- Playfair Street.

The views and vistas from the former ASN Co. Building are varied. When constructed, views to the north and east would not have been obstructed, providing opportunity to see the happenings on the harbour and at the wharves. Those views are partially maintained to the north although new entities such as the Harbour Bridge provide a significantly altered perspective. Views in a northerly direction from the office and from the north to the building appear quite significant when considered together with the location of the clock face. At the time of construction the location of the clock face would have been calculated to be of greatest benefit. The views east have been significantly restricted by the construction of the Overseas Passenger Terminal; however, some views are accidentally retained due to the relative transparency of the terminal.

A number of secondary views exist, particularly from the internal spaces of the upper floor levels including views to the northern shores of the Harbour, Dawes Point Park, Campbell's Cove and beyond, and the Opera House. These views should all be taken into account when defining the visual curtilage.

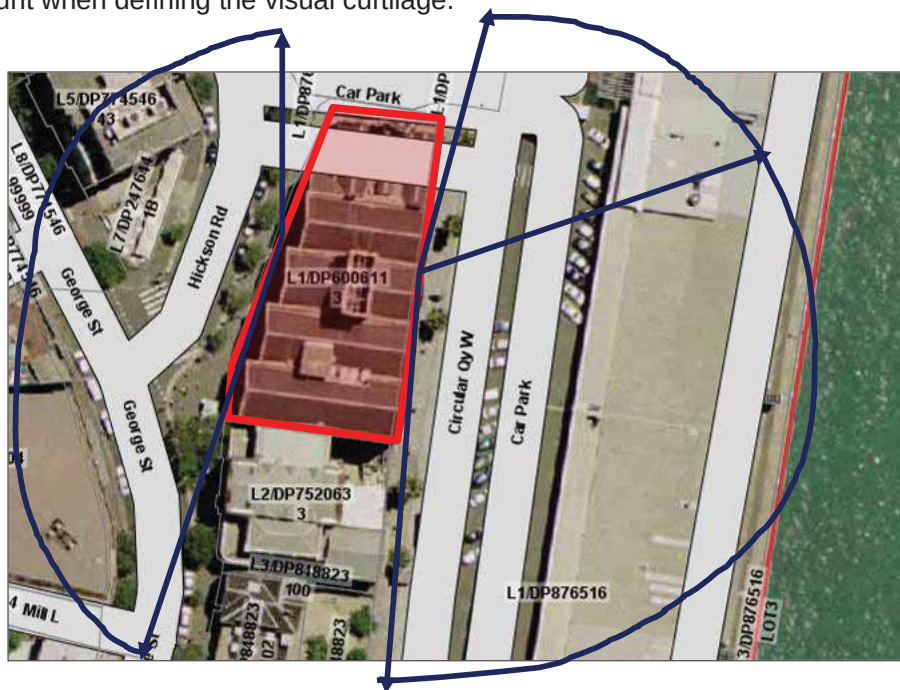


Figure 112: Recommended physical and visual curtilage for the former ASN Co. Building and its site. Red line indicates the physical curtilage and the blue arrows indicate directions and extent of visual curtilage
(Source for the aerial is RP Data)

5. Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered the Former Australasian Steam Navigation Company Building has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual contribution of each element to the overall significance of the item. This system is a planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and the various elements. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved *in situ*. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved *in situ* subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

LITTLE SIGNIFICANCE

Includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

INTRUSIVE

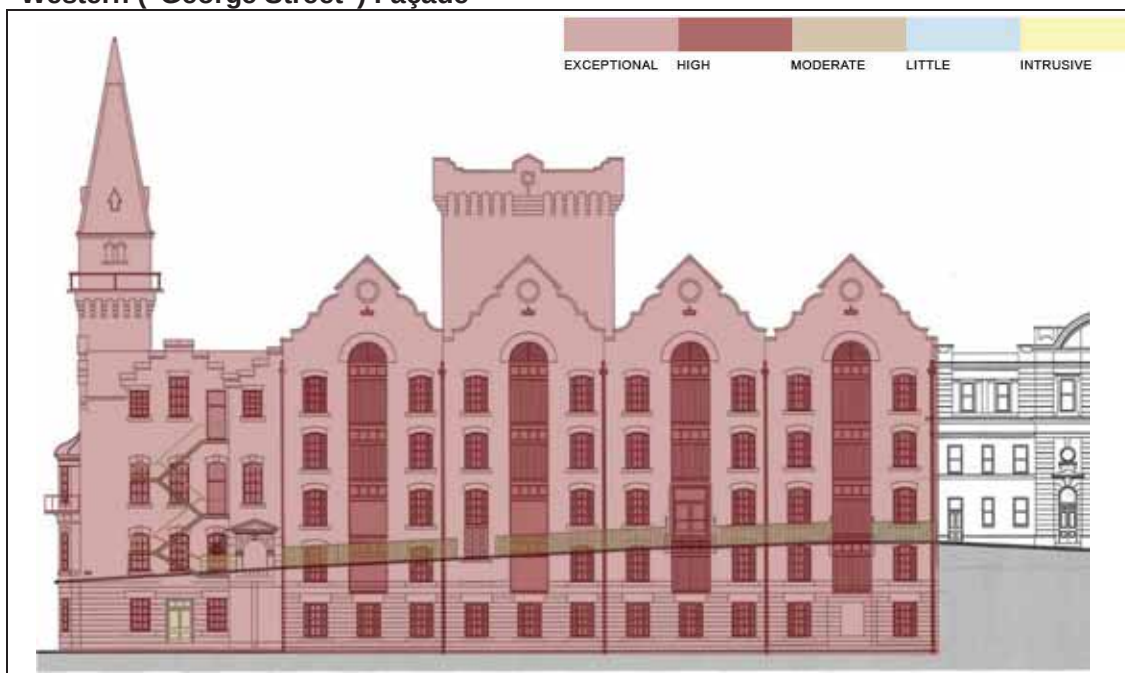
Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of the Former Australian Steam Navigation Company Building and its elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

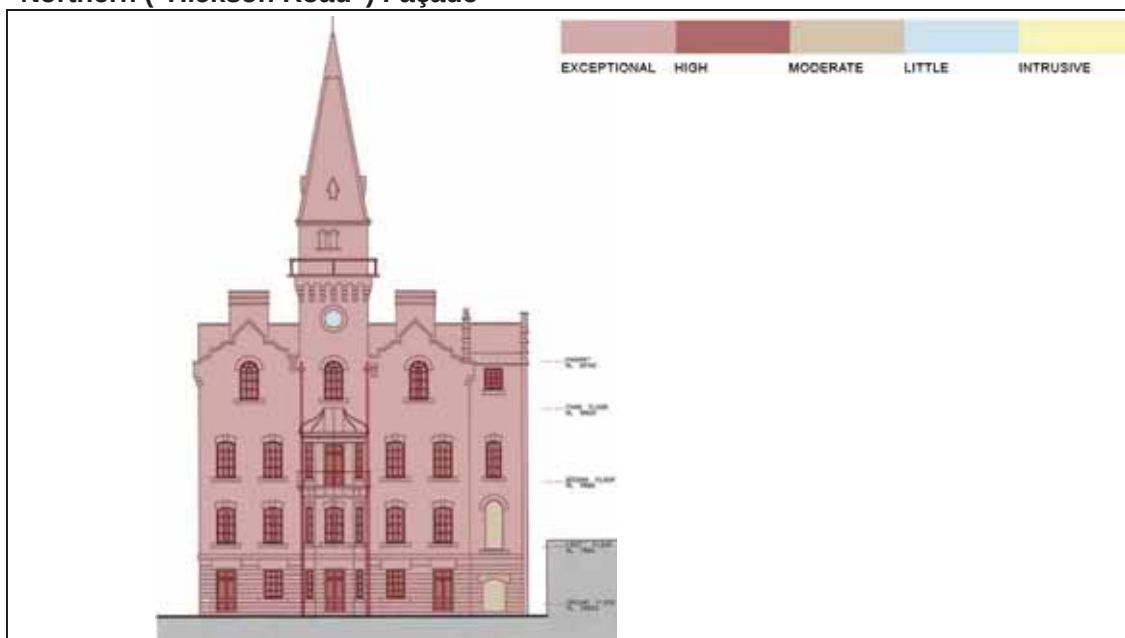
5.1 Grading of Significant Elements and Spaces

Western ("George Street") Façade



- Overall façade including clock tower (including spire and dormers), water tower, ASN Co. signage - Anglo-Dutch architectural elements including curvilinear gables with stone capping and round accent windows, stepped bays, segmental arched window openings, loading bays with arched top, stone window sills, decorative stone accent at the apex of gable to Bay 1 - Polychromatic face brick finish and sandstone base - Original Victorian timber entrance door, wrought iron gates and sandstone scroll with classical pediment to Bay 1 - Stone retaining wall to Hickson Road	Exceptional
- Reinstated loading bay doors and pulleys - Interpretive plaque - Stairs to George Street Bays 5 and 4 - Timber multi-paned sash window frames with two mullions and timber doors to fire stairs (although the fabric is recent the material and form are important) - Copper downpipes and rainwater heads - Decorative iron bracket (for tram overhead wiring) - Joinery to loading bay doors including swing-down platforms and associated wiring, louvered transoms - Wrought iron balustrade to clock tower - Slate roofing and lead capping - Wall vents	High
- External fire stairs - Wrought iron balustrade along Hickson Road boundary and to stairs to Bays 5 and 4	Moderate
N/A	Little
N/A	Intrusive

Northern ("Hickson Road") Façade



- Overall façade including clock tower (spire and dormers), ASN Co. signs - Anglo-Dutch architectural elements including curvilinear gables with stone capping, segmental arched window openings with keystone to first and second floor levels, arched window openings to top floor level, stone window sills - Projecting faceted Bay with copper roof and balcony supported on wrought iron brackets - Polychromatic face brick finish, and rockfaced-ashlar and dressed-ashlar sandstone base - Stepped sandstone wall to Wharf House Steps, wrought iron gates and sandstone stroll with classical pediment to Bay 1	Exceptional
- Timber multi-paned sash window frames and timber French doors to balcony and ground floor offices (although the fabric is recent the material and form important) - Copper downpipes and rainwater heads including service pipe to the east of central bay - Wrought iron balustrades to clock tower and projecting bay balcony - Slate roofing and lead capping - Engraved business signs on stone lintel - Wall vents and louvered segmented arch ventilation window with stone sill at eastern end on the top floor - Arched opening to ground floor external toilet block	High
- New clock face - Wrought iron balustrade to Wharf House Steps - Wrought iron gate to courtyard - Arched opening to first floor entry (modified original window) - Grills to arched opening to ground floor external toilet block	Moderate
Fire services	Little
N/A	Intrusive

Eastern ("Circular Quay West") Façade

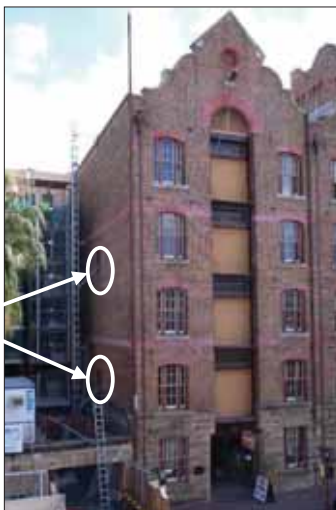


- Overall façade including clock tower (including spire and dormers), water tower, ASN Co. signs - Anglo-Dutch architectural elements including curvilinear gables with stone capping and round accent windows, segmental arched window openings, loading bays with arched top, stone window sills - Original dormer windows to Bay 1 including timber 12-pane sash windows - stone classical window with mullions to Bay 1 on first floor level - Polychromatic face brick finish, and rockfaced-ashlar sandstone base	Exceptional
- Reinstated loading bay doors and pulleys - Stairs to George Street Bays 5 and 4 - Timber multi-paned sash window frames with two mullions form (although the fabric is recent the material and form important) - Copper downpipes and rainwater heads including service pipes - Wrought iron balustrade to clock tower - Slate roofing and lead capping - Engraved business sign on stone lintel to No. 35 entry - Wall vents and louvered segmented arch ventilation window with stone sill at eastern end on the top floor - Remnant painted business signs to loading docks reveals - Interpretive plaque	High
Solid timber doors to loading docks on ground floor	Moderate
- Fire alarm bell - New business signs - Glazed doors to loading docks on ground floor - Clock face	Little
N/A	Intrusive

Southern Façade

This façade is generally blocked by the adjoining neighbouring building with only eastern side visible in part.

Louvered ventilation
windows



- Overall polychromatic face brick façade with distinctive horizontal bands of ochre colour between the first and second, and at the lintel level of third floor - Rock-faced ashlar stone base	Exceptional
Louvered ventilation windows to first and third floors	High
N/A	Moderate
N/A	Little
N/A	Intrusive

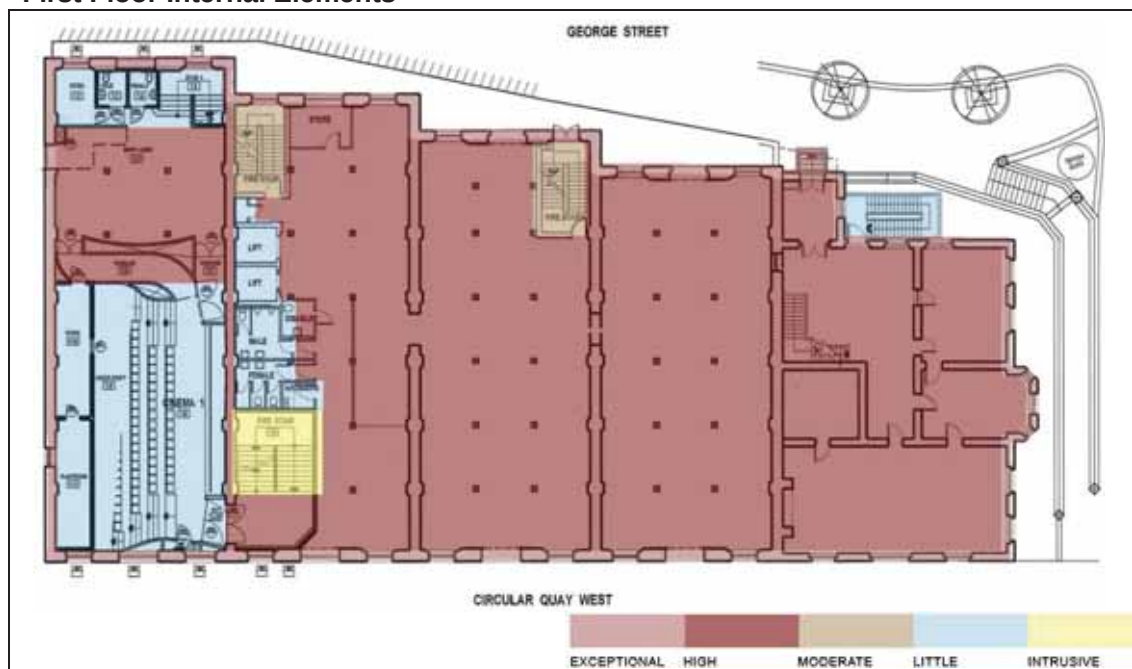
Ground Floor Internal Elements



Ground Floor Internal Elements (cont.)

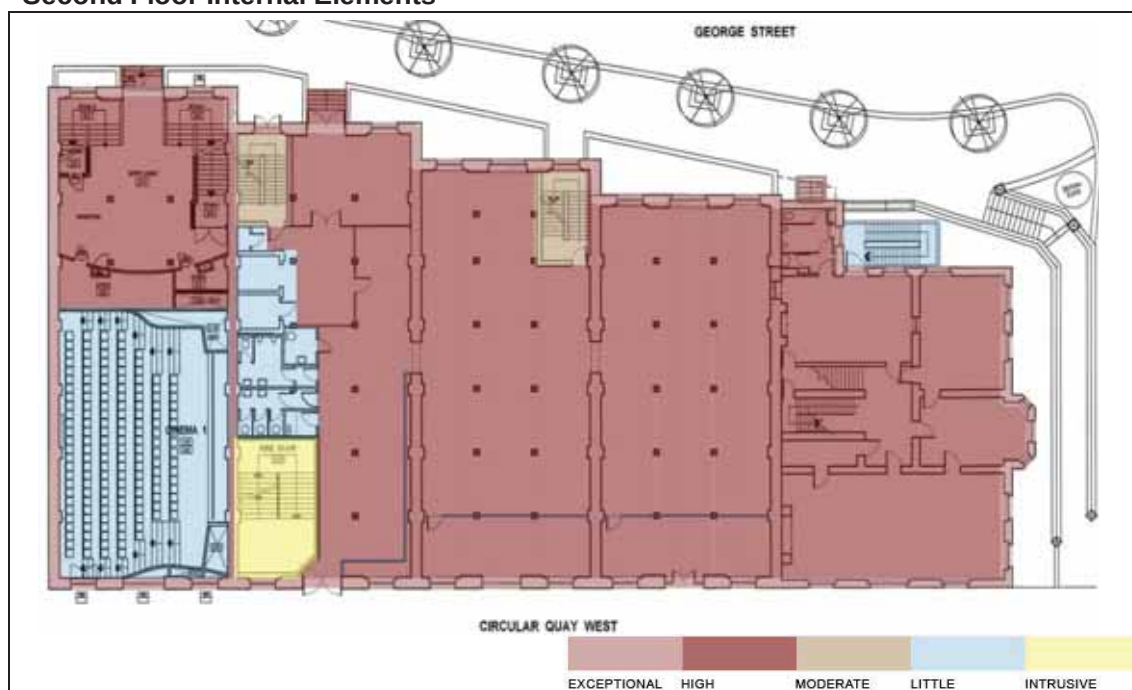
– Overall office floor layout to Bay 1, and overall open plan warehouse floor layout to Bays 2, 3, 4 – Original toilet block to courtyard on west side of Bay 1 – Exposed warehouse structural elements including timber posts, beams, herringbone bracing, stone and face brick walls, Bays 2, 3, 4 and 5 – Original arched openings between Bays 2, 3 & 4	Exceptional
– Evidence of original openings between Bays 4 and 5, and Bays 2 and 3 now bricked/blocked up – Original office door opening including joinery between Bays 1 and 2 – Safe with barrel vaulted brick ceiling, Bay 1 – Rendered stone skirting and timber architraves, Bay 1 – Victorian colour scheme samples (paint scrapes), Bay 1 – Reconstructed timber stair between ground and first floor, Bay 1 – Stone fireplace structure, Bay 1 – Evidence of earlier warehouse uses including circular marks on concrete floor of Bay 5 – Terrazzo flooring to lift foyer of Bay 4 – Strong room on western side of Bay 4, and steel door – Remnant fire sprinkler and services pipes particularly in Bay 5, 4 and 3 – Reconstructed arched door to Bay 1 stair hall – Pressed metal ceiling to Office 3 in Bay 1 – Service window between Office 1 and reception room – Flag stone threshold to Circular Quay entrance of Bay 1	High
– Reinstated features such as fireplace surrounds in Bay 1 – Fire stairs to western side of Bays 4 and 3 – Metal segmental gate to arched opening between bays 3 and 4 in CATC – Fire sprinkler valve room/plant room – Timber picture rails to Bay 1 offices	Moderate
– Bay 4 – lifts, toilets, mechanical service rooms – New partitions to Bays 2 and 4 – Toilets to Bay 5 – Iron security grills to western side windows – New mechanical and electrical services – New internal fit-outs and associated signs, equipment – Later wall division to Office 2 in Bay 1	Little
– 1990s Fire stairs in Bay 4 (Circular Quay West side)	Intrusive

First Floor Internal Elements



- Overall office floor layout to Bay 1, and overall open plan warehouse floor layout to Bays 2, 3, 4 - Original flooring and joists with herringbone bracing which also forms ground floor ceiling – Bay 5 - Original timber staircases, Bay 1 - Exposed Structural timber post and beam elements with herringbone bracing and cast iron capitals in Bays 2, 3 & 4 - Exposed timber posts cinema complex - Painted numbering on posts and beams throughout warehouse bays	Exceptional
- Rendered finishes from 1950s conversions - Evidence of floor levels and exposed structure within three-level high western portion of Bay 5 - Timber floorboards, moulded plaster cornices, ceiling roses in Bay 1 - Stone fireplace hearth and surrounds in office 1 of Bay 1 - Original arched timber door between office 1 and hallway - Evidence of 1950s rendered wall finishes in Bays 2, 3 & 4	High
- Altered original window opening for access to external fire stairs, Bay 1 western entry - Evidence of removed 1950s-70s ceilings on walls in Bays 2-4 - Fire stairs to western side of Bays 4 and 3	Moderate
- Cinema complex auditorium and associated rooms, Bay 5 - Bay 4 – lifts, toilets, mechanical service rooms - Toilets to Bay 5 - New mechanical and electrical services - New internal fit-outs and associated signs, equipment - Concrete floor finish over original timber floors in Bays 2, 3 & 4	Little
1990s Fire stairs in Bay 4 (Circular Quay West side)	Intrusive

Second Floor Internal Elements



- Overall office floor layout to Bay 1, and overall open plan warehouse floor layout to Bays 2, 3 & 4 - Load bearing walls and exposed timber post and beam structure with herringbone bracing and cast iron capitals in Bays 2, 3 & 4 - Orig. boardroom floor and door with moulded architrave and pediment, Bay 1 - Original slate fireplace to boardroom Bay 1 - Original fireplace to office 3, Bay 1 - Small Communication windows between offices, Bay 1 - Open plan spaces, Bays 2-4 - Structural elements, including columns Bay 2-4 - Brick Arches between Bays 2 & 3, and 3 & 4 - Remnant fire sprinkler pipes in Bay 3	Exceptional
- Directory Board of former Commonwealth Government tenants, entry lobby Bay 4 - Evidence of floor levels and exposed structure including retained hardwood structure with painted signage within three-level high western portion of Bay 5 - Vents in entry foyer and Evidence of 1949 rendered finish in Bay 4 - Terrazzo flooring to entry foyer of Bay 4 - Concrete flooring over original timber boards in Bays 2, 3 & 4. - Early Electrical switches with metal lids in the concrete floor of Bays 2 & 3 - Sliding loading doors and associated glazing (form-material except glazing) - Original timber staircases and balustrades, Bay 1 - Original hardware to some doors in Bay 1 - Timber skirting to offices in Bay 1 - Original store with original safe door, Bay 1 - Moulded plaster cornices and ceiling roses, Bay 1 - Moulded timber architrave and door joinery, Bay 1	High

- Original or early room and level name signage (black and gold) in Bay 3 (including signs in the western fire stairs) and Bay 1 - Sliding loading doors and associated glazing (fabric) - Fire stairs to western side of Bays 4 and 3 - New entrances to Bays 4 and 5 (fabric) - Redundant internal door with 'tea room' sign on glazing (stored behind the partition near Circular Quay West loading door of Bay 4) - Evidence of removed partition walls throughout the floors dating from the 50s-70s Bays 2-4 - Early bathroom and toilet fittings with tile flooring in Bay 1	Moderate
- New Glass partitions at entry to Ken Done gallery, Bay 1990s internal stair and mezzanine insertions and associated glass/metal balustrade, and louvered light well windows in Bay 5 - New mechanical and electrical services - Bay 4 – lifts, toilets, mechanical service rooms - New internal fit-outs and associated signs, equipment	Little
1990s Fire stairs in Bay 4 (Circular Quay West side)	Intrusive

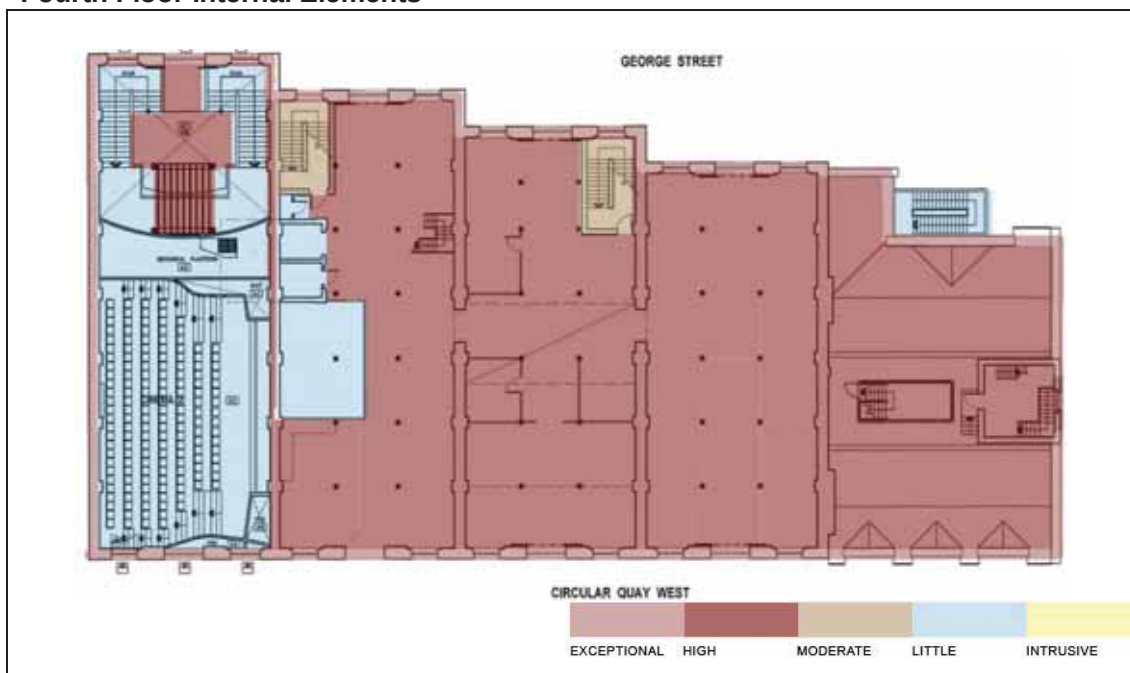
Third Floor Internal Elements



- Overall office floor layout to Bay 1, and overall open plan warehouse floor layout to Bays 2, 3 & 4 - Load bearing walls and exposed timber post and beam structure with herringbone bracing and cast iron capitals in Bays 2, 3 & 4 - Brick Arches between Bays 2 & 3, and 3 & 4 - Brick Arches between Bays 2 & 3, and 3 & 4 - Remnant original fire sprinkler pipes in Bays 2 & 3 - Original timber staircases and balustrades, Bay 1 - Original Clearstory structure and form	Exceptional
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– Exposed wall and pilaster indicating original floor heights in cinema – Bay 5 – Evidence of 1949 rendered finishes Bay 3 – Sliding loading doors (form-material except glazing) – Concrete flooring over original timber boards in Bays 2, 3 & 4 – Timber skirting in Bay 1 – Lath & plaster ceiling with pitch over the windows forming dormers on west, north & east elevations, Bay 1 – Moulded timber architrave and door joinery, Bay 1 – Original internal door joinery, Bay 1 (except door to office) – Original fireplace to caretaker suit, Bay 1 – Original fireplace to office 3, Bay 1 (surrounds new) – Early shower fittings/pipes probably from the 1950s Bay 1 –caretaker's suite	High
– Evidence of removed false ceilings, Bay 4 – Enclosed opening to office with a new door, Bay 1	Moderate
– Bay 5 – former cinema complex – CATC Design college partitioning – New mechanical and electrical services – Bay 4 – lifts, toilets, mechanical service rooms – New internal fit-outs and associated signs, equipment	Little
– 1990s Fire stairs in Bay 4 (Circular Quay West side)	Intrusive

Fourth Floor Internal Elements



- Overall open plan warehouse floor layout to Bays 2, 3, 4 - Timber Kingpost trusses and posts to Bays 2, 3 & 4 in sawtooth roof form - Timber board ceiling (roof lining) Bays 2-4 - Timber floorboards Bays 2-4 - Brick Arches between Bays 2 & 3, and 3 & 4 - Clock tower and associated timber board flooring, bell (fabric new with inscription ASN Co. & 1993), louvered ventilation windows, spire and associated elements, ventilation grills - Remnant original fire sprinkler pipes in Bays 2 & 3 - Original timber staircase between balcony floor and clock tower spire, Bay 1 - Original Clearstory structure and form including roof access door with lettering sign, Bay 1	Exceptional
- Rendered load bearing walls with original face brick finishes above Bays 2-4 - Sliding loading doors (form-material) Bays 2-4 - Cathead Beams Bays 2-4 - Reconstructed timber staircases between floors and to clock tower, Bay 1 - Safety and naming Lettering signs within the clock tower	High
Sliding loading doors (fabric) Bays 2-4	Moderate
- Bay 5 – former cinema complex - New mechanical and electrical services - Bay 4 – lifts, toilets, mechanical service rooms - New internal fit-outs and associated signs, equipment	Little
N/A	Intrusive

Roof



- Overall sawtooth and gabled form and slate roofing - Clearstory, water tower and clock tower	Exceptional
- Lead capping, flashing and box guttering - Face brick chimneys with rendered top	High
Timber fascia and bargeboard to clearstory	Moderate
- Lift motor room - Air-conditioning condensers - Various wiring, light fittings, signage, piping and access ladders	Little
N/A	Intrusive

5.2 Schedule of Significant Elements

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
EXTERIOR		
WEST (GEORGE STREET) ELEVATION		
Overall street presentation of the elevation	Exceptional	Original stepped bays arrangement of the façade including four five-storey warehouse bays and a four-storey office bay defined with a distinct stone scroll entry is one of the most significant architectural and aesthetic character of the building.

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Polychromatic brick character of the elevation embellished with ochre brick bands and arched window and loading bay openings, and dominant Anglo-Dutch gables with stone capping	Exceptional	Original façade textures with dominance of brick on this façade, although the stone base visible below the street level
Clock Tower and Water Tower	Exceptional	Although they are not aligned with this elevation these towers are important features of West elevation
Windows – Warehouse Bays 2-5 – Timber, multi-paned sash with two mullions	High	All windows were reconstructed in the 1990s. Timber frame material & form are High Fabric is moderate
Windows – Office block Bay 1 – Timber, 12-pane sash windows to top and ground levels; 6-pane top sash and single-pane bottom sash to first, second and third levels	High	All windows were reconstructed in the 1990s. Timber frame material & form are High Fabric is moderate
Windows – all windows – Sills (stone)	Exceptional	Original sandstone
Windows – all windows – Lintels (ochre brick)	Exceptional	Original face brick segmental arch
Windows – all windows – Lintels (stone)	Exceptional	Original lintels set into stone base of the ground floor
Doors – Bay 1 entrance door – timber	Exceptional	Original Victorian period door
Doors – Bay 1 entrance gate – wrought iron	Exceptional	Original decorative gates
Doors – Bay 1 entrance gate – stone & scroll	Exceptional	Original sandstone with classical pediment
Doors – Bays 2-4 (loading bays) timber (element – form - material) timber (fabric) glass to loading door openings	High Moderate Little	All loading doors were reconstructed. Fabric is new but form and timber material with louvered transom are based on original
Parapet – face brick Anglo-Dutch curvilinear and stepped gables with sandstone capping	Exceptional	Original polychromatic brick gables with sandstone capping including decorative stone accent to Bay 1 apex
Boundary & retaining wall – Sandstone with Wrought iron balustrade over	Exceptional Moderate	Original sandstone rock faced wall extends below the Road. Balustrades are later addition
Features – slate roofing & lead capping, copper downpipes, pulleys & cathead beams, wrought iron balustrade to clock tower	High	Reinstated and reconstructed elements to original detail
Features – decorative iron wall vents, decorative iron bracket for tram wires, crossing stairs to bays 4 & 5, interpretive plaque	High	Original elements Interpretive plaque: element is high, fabric is moderate
Features – external fire stairs	Moderate	1960s-70s Metal fire stairs

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
NORTH (HICKSON ROAD) ELEVATION		
Overall street presentation of the elevation	Exceptional	Original form and three bays arrangement of the façade with central projecting faceted bay, distinct clock tower and copper roofed balcony reflecting its office use. The tower is one of the most significant architectural and aesthetic elements of the building.
Polychromatic brick character of the elevation embellished with ochre brick bands and arched window openings, key stones to arches, stone lintel to balcony and Anglo-Dutch gables with stone capping	Exceptional	Original contrasting façade textures with dominance of face brick while the stone base dominates ground floor elevation below the OPT access level
Clock Tower & Spire Clock face	Exceptional Moderate	Original face brick tower with slate roofing to the spire & dormers, New clock face
Tower & Projecting Bay Balcony – Wrought iron balustrade (Elements – form - material) (Fabric)	High Moderate	Reinstated 1990s wrought iron balustrades
Balcony base – stone Support – wrought iron brackets	Exceptional	Original sandstone base and supporting brackets
Windows – Timber, 12-pane sash windows to top and ground levels; 6-pane top sash and single-pane bottom sash to first and second levels	High	All windows were reconstructed in the 1990s. Timber frame material & form are High Fabric is moderate
Windows – all windows – Sills (stone)	Exceptional	Original sandstone
Windows – all windows – Lintels (ochre brick)	Exceptional	Original face brick segmental arch with stone keystone
Windows – all windows – Lintels (stone)	Exceptional	Original lintels set into stone base of the ground floor
Doors – French doors (balcony & eastern bay office entry) – timber (element, form & material) Timber - fabric	High Moderate	Reconstructed to original detail. Fabric is new but form and timber material are important
Doors – French doors (western bay office entry) – timber	High	Original timber door repaired and repainted
Doors – arched openings to office block entry first floor & toilet block on the ground floor with wrought iron gate	High High Moderate	Original window opening modified for fire stair access Original toilet block opening Later fabric
Boundary & retaining wall (Wharf House Steps) – Sandstone with Wrought iron balustrade over	Exceptional Moderate	Original sandstone rock faced retaining wall extends below the Road. Balustrades are later addition

Schedule of Significant Elements		
Former ASN Co. Building		
Building or Site element	Significance	Commentary
Features – slate roofing & lead capping, copper downpipes	High	Reinstated, repaired or reconstructed elements to original detail
Features – engraved business signs – on stone lintels	High	Original/early elements
Features – decorative iron wall vents, louvered segmented arch ventilation window	High	Original elements
Features – wrought iron gate to courtyard & wrought iron balustrade to stone retaining wall	Moderate	New or later materials
Features – fire services	Little	New element
EAST (CIRCULAR QUAY WEST) ELEVATION		
Overall street presentation of the elevation	Exceptional	Original warehouse bays arrangement of the façade including four five-storey warehouse bays and a four-storey office bay with slate roof and three dormers, and dominant water and clock towers
Polychromatic brick and stone base character of the elevation embellished with ochre brick bands and arched window and loading bay openings, and dominant Anglo-Dutch gables with stone capping	Exceptional	Original contrasting façade textures with dominance of brick and stone
Clock Tower and Water Tower	Exceptional	Although they are not aligned with this elevation these towers are important features of Circular Quay West elevation
Windows – Warehouse Bays 2-5 – Timber, multi-paned sash with two mullions Two windows at Bay 4 level 1 & 2 – timber 6-pane top sash and single-pane bottom sash	High	All windows were reconstructed in the 1990s. Timber frame Material & form are High Fabric is moderate
Windows – Office block Bay 1 – Timber, 12-pane sash windows to third and ground levels; 6-pane top sash and single-pane bottom sash to first and second levels	High	All windows were reconstructed in the 1990s. Timber frame Material & form are High Fabric is moderate
Windows – Office block Bay 1 – Timber, 12-pane sash windows to top dormer windows	Exceptional	Only remaining original window frames
Window – Office Bay 1 - Stone classical window with mullions to first floor above entry	Exceptional	Original decorative defining element
Windows – all windows – Sills (stone)	Exceptional	Original sandstone
Windows – all windows – Lintels (ochre brick)	Exceptional	Original face brick segmental arch
Windows – all windows – Lintels (stone)	Exceptional	Original lintels set into stone base of the ground floor and above dormer windows of Bay 1

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Doors – Bay 1 entrance door – timber	High	Reconstructed to original detail element, form & material high, fabric is moderate
Doors – Bays 2 & 4 – timber boarded solid	Moderate	Reconstructed 1990s doors
Doors – Bays 3 & 5 – metal framed glass	Little	New doors
Doors – Bays 2-4 (loading bays) timber (element – form - material) timber (fabric) glass to loading door openings	High Moderate Little	All loading doors were reconstructed. Fabric is new but form and timber material with louvered transom are based on original
Parapet – face brick Anglo-Dutch curvilinear and gables with sandstone capping	Exceptional	Original polychromatic brick gables with sandstone capping and round accent window
Features – slate roofing & lead capping, copper downpipes, pulleys & cathead beams, wrought iron balustrade to clock tower	High	Reinstated and reconstructed elements to original detail
Features – decorative iron wall vents, interpretive plaque	High High to moderate	Original elements Interpretive plaque: element is high, fabric is moderate
COURTYARD		
Overall arrangement, sandstone retaining wall & tunnel within the retaining wall	Exceptional	Original layout with minor changes
Gravel, concrete paving to external toilet block & concrete paving to areas below George Street	Little	New fabric
ROOF		
Overall structure, sawtooth and multi gabled form – timber Kingpost truss structure to warehouse bays 2-5, and pitched/gabled roof with dormers to Bay 1	Exceptional	Original construction form and fabric
Roof cladding – slate	High	Replacement fabric but original roofing material
Lead capping, box guttering and flashing	High	Replacement fabric but original/appropriate capping and plumbing material
Roof to Projecting Bay Balcony (North Elevation) – Copper	Exceptional	Original structure, form & roofing
Clearstory – timber structure with glass windows & timber door, slate roofing	Exceptional	Original structure with replacement roofing fabric to original detail
Lift motor room – fibro (?) cladding with flat roof	Little	Replacement later addition (could not be inspected)

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
TOWERS		
Clock Tower – brick structure, slate spire roofing, decorative copper roofing to spire apex and dormers Wrought iron balcony	Exceptional High	Original structure and elements Replacement material to original detail
Water Tower – brick structure	Exceptional	Original structure and finishes
INTERIOR		
GROUND FLOOR – WAREHOUSE BAYS 2-5		
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4	Exceptional	Original warehouse shell layout
Fenestration	High to Little	High elements include timber framed windows, loading doors & arched openings Little elements include glass insertions to loading doors, new doors to offices, amenities and fire stairs throughout, iron grilles to western windows throughout
Structure	Exceptional to Little	Exceptional elements include original timber beam & post structure with herringbone trusses, High elements include sandstone walls with load bearing brick walls above, concrete slab and timber board ceiling Little elements include new glass and plasterboard partitions, and brick enclosures to arched openings
Walls – stone & painted brick	High	Original stone walls between the bays and original strong room walls in Bay 4
Walls – rendered and painted brick & lightweight plasterboard	Moderate Little	Moderate walls include 1950s fire stairs' walls in bays 4 & 3 Little includes all other brick & lightweight walls to the lift, new fire stairs, toilets in Bay 4 & 5

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Finishes	High to Little	High include exposed ashlar stone wall finishes, exposed timber structural elements, evidence of earlier rendered walls, concrete & asphalt slab with marks in Bay 5 and Bay 4 strong room Moderate includes terrazzo floor and rendered/painted walls to 1950s fire stairs Little includes masonite flooring in bay 3, carpet flooring in Bays 2 & 4, remnant paint finish to timber structure
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric
GROUND FLOOR – OFFICE BLOCK (BAY 1)		
Overall spatial organisation generally	Exceptional to Little	Exceptional includes the Original office layout Little includes later wall division in original office 2
Fenestration	High	Original door and window openings, timber joinery, skirting, reconstructed arched door to stair hall, service window between office 1 and reception room, arched openings to hallway, original French door (element + fabric) to office 2
Structure	High	Original load bearing brick rendered and painted walls, original lath & plaster ceilings, concrete/asphalt slab, stone walls with brick barrel vault ceiling to safe room
Walls – rendered & painted brick	High	Original structural walls
Walls – stone	High	Original safe room walls
Skirtings – stone rendered & painted	High	Original high skirtings
Picture rails – timber	Moderate	Non-original plain picture rails in northern office rooms
Fireplace – stone Fireplace surrounds – timber	High Moderate	Original fireplace Reinstated fabric

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Finishes	High to Little	High includes exposed stone walls & brick vault ceiling to safe room, flagstone threshold to Circular Quay entrance, pressed metal ceiling to office 3, rendered stone skirtings, Victorian colour scheme samples (paint scrapings) in the hallway and stair hall, dado lined rendered painted finishes in Victorian colour scheme throughout main office rooms & hallway Little includes carpet flooring
Vertical circulation	High	Reinstated timber stair to original detail
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric
FIRST FLOOR – WAREHOUSE BAYS 2-5		
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4	Exceptional	Original warehouse shell layout
Fenestration	High to Little	High elements include timber framed windows, loading doors & arched openings Little elements include glass insertions to loading doors, new doors to amenities and fire stairs throughout, metal safety barriers to loading doors
Structure	Exceptional to Little	Exceptional elements include original timber beam & post structure with herringbone trusses High elements include load bearing brick walls, timber board ceiling Moderate includes concrete slab over timber flooring now partially covered by masonite Little elements include new lightweight and plasterboard partitions
Walls – face brick with remnants of rendered & painted finish	High	Original structural walls with 1950s render & paint finish
Walls – rendered and painted brick & lightweight plasterboard	Moderate Little	Moderate walls include 1950s fire stairs' walls in bays 4 & 3 Little includes all other brick & lightweight walls to the lift, new fire stairs, toilets in Bays 4 & 5

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Finishes	High to Little	High include exposed timber structural elements, face brick walls, evidence of earlier rendered walls, painted numbering on timber posts and beams throughout, concrete floor finish over timber flooring, evidence of floor levels and exposed structure within three-level space of Bay 5 Moderate includes terrazzo floor and rendered/painted walls to 1950s fire stairs, concrete finish to lift core, evidence of removed 1950s-70s false ceilings on walls in Bays 2-4 Little includes recent masonite flooring and carpet floorings, contemporary wall linings, floor tiles to amenities
Features – remnant fire services downpipes & sprinkler system – Bay 3	Exceptional	Original fire sprinkler system pipes
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric in Bays 2-4, cinema complex and associated elements/fabric in Bay 5
FIRST FLOOR – OFFICE BLOCK (BAY 1)		
Overall spatial organisation generally	Exceptional to Little	Exceptional includes the Original office layout with main open stair hall
Fenestration	High	Original door and window openings, timber moulded architraves and joinery, skirting, service window between office 1 and reception room, original moulded cornices to main stair hall and office 2, fireplace (structure)
Structure	High	Original load bearing brick rendered and painted walls, original lath & plaster ceilings, original timber board floors, stone walls with brick barrel vault ceiling to safe room
Walls – rendered & painted brick	High	Original structural walls
Walls – stone	High	Original safe room walls
Skirtings – stone rendered & painted	High	Original high skirtings
Fireplace – slate	High	Original/early fireplace

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Finishes	High to Little	High includes exposed stone walls & brick vault ceiling to safe room, rendered stone skirtings, dado lined rendered painted finishes in Victorian colour scheme to stairwell, varnished timber floors Little includes carpet flooring
Vertical circulation	High	Original timber stair
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric
SECOND FLOOR – WAREHOUSE BAYS 2-5		
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4	Exceptional	Original warehouse shell layout
Fenestration	High to Little	High elements include timber framed windows, loading doors & arched openings, timber sills Little elements include glass insertions to loading doors, new doors to amenities and fire stairs throughout, metal safety barriers to Loading doors
Structure	Exceptional to Little	Exceptional elements include original timber beam & post structure with herringbone trusses High elements include load bearing brick walls, timber board ceiling Moderate includes concrete slab over timber flooring Little elements include new lightweight glass and plasterboard partitions
Walls – rendered & painted brick with exposed face brick to the top sections	High	Original structural walls with 1950s render & paint finish, brick arches
Walls – rendered and painted brick & lightweight plasterboard and glass partitions	Moderate Little	Moderate walls include 1950s fire stairs' walls in bays 4 & 3 Little includes all other brick & lightweight walls to the lift, new fire stairs, toilets in Bays 4 & 5

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Finishes	High to Intrusive	High include exposed timber structural elements, partially exposed face brick walls, evidence of earlier rendered walls, painted numbering on timber posts and beams throughout, evidence of floor levels and exposed structure within three-level space of Bay 5 Moderate includes terrazzo floor and rendered/painted walls to 1950s fire stairs, concrete finish to lift core, evidence of removed 1950s-70s false ceilings on walls in Bays 2-4, concrete floor finish over timber flooring Little includes recent, carpet floorings, floor tiles to amenities Intrusive includes cement render repairs to arched openings between bays 2-4
Features – remnant fire services downpipes & sprinkler system – Bay 3 Early electrical switches Bays 2 & 3 Directory Board of former Commonwealth Government tenants – timber Evidence of floor level in cinema complex Entry foyer: Vents in the & evidence of 1950s rendered painted finish – Bay 4 Entry foyer: Terrazzo flooring – Bay 4	Exceptional High High High High High	Original fire sprinkler system pipes Early switches with lid in the floor Original tenancy board Exposed floor levels with retained hardwood structure and painted signage Original fabric Original fabric
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric in Bays 2-4, cinema complex and associated elements/fabric in Bay 5
Fire stairs – Bay 4	Intrusive	1990s insertion
SECOND FLOOR – OFFICE BLOCK (BAY 1)		
Overall spatial organisation generally	Exceptional to Little	Exceptional includes the Original office layout
Fenestration	High	Original door and window openings, timber moulded architraves and joinery, skirting, service window between office 1 and reception room, original moulded cornices to main stair hall, original slate fireplace to boardroom and fireplace to office 1

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Structure	High	Original load bearing brick rendered and painted walls, original lath & plaster ceilings, original timber board floors, stone walls with brick barrel vault ceiling to safe room
Walls – rendered & painted brick	High	Original structural walls
Walls – stone	High	Original safe room walls
Skirtings – stone rendered & painted	High	Original high skirtings
Fireplace – slate	High	Original/early fireplace
Finishes	High to Little	High includes exposed stone walls & brick vault ceiling to safe room, rendered stone skirtings, dado lined rendered painted finishes in Victorian colour scheme to stairwell, varnished timber floors Moderate includes evidence of removed walls on the floor Little includes carpet flooring
Vertical circulation	High	Original timber stair
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric
THIRD FLOOR – WAREHOUSE BAYS 2-5		
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4	Exceptional	Original warehouse shell layout
Fenestration	High to Little	High elements include timber framed windows, loading doors & arched openings, timber sills Little elements include glass insertions to loading doors, new doors to amenities and fire stairs throughout, metal safety barriers to Loading doors
Structure	Exceptional to Little	Exceptional elements include original timber beam & post structure with herringbone bracing High elements include load bearing brick walls, timber board ceiling, stone window sills (some rendered) Moderate includes concrete slab over timber flooring Little elements include new lightweight glass and plasterboard partitions

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Walls – rendered & painted brick with exposed face brick sections	High	Original structural walls with 1950s render & paint finish, brick arched openings between bays 2-4
Walls – rendered and painted brick & lightweight plasterboard and glass partitions	Moderate Little	Moderate walls include 1950s fire stairs' walls in bays 4 & 3 Little includes all other brick & lightweight walls to the lift, new fire stairs, toilets in Bays 4 & 5
Finishes	High to Intrusive	High include exposed timber structural elements, partially exposed original face brick walls, painted numbering on timber posts and beams throughout, evidence of floor levels and exposed structure within three-level space of Bay 5 Moderate includes terrazzo floor and rendered/painted walls to 1950s fire stairs, concrete floor/asphalt finish over timber flooring, concrete finish to lift core, evidence of removed 1950s-70s false ceilings on walls in Bays 2-4 Little includes recent, carpet floorings, floor tiles to amenities, Intrusive includes cement render repairs to arched openings between bays 2-4
Features – remnant fire services downpipes & sprinkler system – Bay 3 (in particular) & 2,4 Evidence of floor level in cinema complex	Exceptional High	Original fire sprinkler system pipes & sprinkler heads Exposed floor levels with retained hardwood structure and painted signage
Evidence of removed ceiling joists – Bay 4	Moderate	Original fabric
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric in Bays 2-4, cinema complex and associated elements/fabric in Bay 5
Fire stairs – Bay 4	Intrusive	1990s insertion
THIRD FLOOR – OFFICE BLOCK (BAY 1)		
Overall spatial organisation generally	Exceptional to Little	Exceptional includes the Original office layout

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Fenestration	High	Original door and window openings and internal door joinery (except door to office), timber moulded architraves and joinery, timber sills, skirting, service window between office 1 and reception room, original moulded cornices to main stair hall, original slate fireplace to boardroom and fireplace to office 1
Structure	Exceptional to High	Exceptional includes Original clearstory structure High includes Original load bearing brick rendered and painted walls, original lath & plaster ceilings with pitched sections forming dormer windows, original timber board floors, original timber stairs to clearstory
Walls – rendered & painted brick	High	Original structural walls
Skirtings – timber	High	Original skirtings
Fireplace – slate	High	Original/early fireplace
Fireplace surrounds – timber (form)	High	Reconstructed surrounds to original form & details
Fireplace surrounds – timber (fabric)	Moderate	New fabric
Finishes	High to Little	High includes painted timber skirtings, dado lined rendered painted finishes, varnished timber floors and stairs, remnant tiles and shower fittings and pipes (1905s-60s) in bathroom in caretaker's suit Little includes carpet flooring
Vertical circulation	High	Original timber stair to lower levels & clearstory
Clock tower Stair – timber (element, form, material)	High	Original form, material & element
Clock tower Stair – timber (fabric)	Moderate	Replacement fabric
Internal fit-out / services / amenities	Little	Contemporary / Recent and modified fabric
Clock tower room	High	Original space for access to clock tower
FOURTH FLOOR – WAREHOUSE BAYS 2-5		
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4 & exposed roof structure	Exceptional	Original warehouse shell layout with cathedral roof form (exposed sawtooth roof)

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Fenestration	High to Little	High elements include timber framed windows, loading doors & arched openings Little elements include new doors to amenities and fire stairs throughout
Structure	Exceptional to Little	Exceptional elements include original timber beam & Kingpost trusses with exposed timber board lining & rafters High elements include load bearing brick walls, stone window sills (generally rendered & painted) Little elements include new lightweight plasterboard partitions, new mezzanine floor
Walls – rendered & painted brick with exposed face brick sections	High	Original structural walls with 1950s render & paint finish, brick arched openings between bays 2-4
Walls – rendered and painted brick & lightweight plasterboard	Moderate Little	Moderate walls include 1950s fire stairs' walls in bays 4 & 3 Little includes all other brick & lightweight walls to the lift, new fire stairs, toilets in Bays 4 & 5
Finishes	High to Intrusive	High include exposed timber structural elements, partially exposed original face brick walls, timber floor boards, evidence of floor levels and exposed structure within three-level space of Bay 5 Moderate includes terrazzo floor and rendered/painted walls to 1950s fire stairs, concrete finish to lift core Little includes new floor coverings (carpet?), floor tiles to amenities Intrusive includes cement render repairs to arched openings between bays 2-4
Features – remnant fire services downpipes & sprinkler system – Bay 3 (in particular) & 2,4 Cathead beams – timber	Exceptional Exceptional	Original fire sprinkler system pipes & sprinkler heads Original element associated with loading activities
Evidence of floor level in cinema complex	High	Exposed floor levels with retained hardwood structure and painted signage

Schedule of Significant Elements Former ASN Co. Building		
Building or Site element	Significance	Commentary
Internal fit-out / services / amenities (under refurbishment works no furniture was installed)	Little	Contemporary / Recent and modified fabric in Bays 2-4, cinema complex and associated elements/fabric in Bay 5
CLEARSTOREY		
Structure – timber with glass windows & timber door to roof access	Exceptional	Original structure
CLOCKTOWER		
Overall spatial qualities	Exceptional	Original clock tower space with bell & spire floor levels
Fenestration	Exceptional	Original timber framed louvered arched windows, round clock window, timber arched louvered doors to roof and balcony accesses, louvered timber dormer windows to the spire, original ventilation grills
Structure	Exceptional	Brick structure with stone lintels, timber joists & timber board floorings with herringbone bracing, timber board roofing with conical roof structure (apex post, beam & rafter) to the spire; Post & beam structure to bell
Walls – painted brick to clock + bell levels Walls – timber boards to spire	Exceptional Exceptional	Original structure
Stair – timber	High	Original stair to bell & balcony levels, & the spire levels
Finishes	High	High include Painted brick walls, exposed timber finishes, painted joinery & stairs, metal trapdoor access to bell level, lettering directional and safety signage to walls and doors
Bell (element) Bell (fabric)	High Moderate	Original element Replacement bell with AS Co. inscription
Services	Little	Contemporary / Recent electric & light fittings, and fire extinguisher & smoke alarm

5.3 Archaeological Significance

The archaeological potential for deeper ground deposits is considered low. The site should be monitored by a qualified archaeologist during any below ground disturbance in accordance with the NSW Heritage Act 1977 archaeological provisions.

6. Constraints and Opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the statement of significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*, and identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from Physical Condition of the Place

The former ASN Co. Building is generally in very good condition both structurally and in terms of fabric integrity, particularly in Bays 1 to 4. However, due to the extensive changes to the internal structure and fabric of Bay 5 during its conversion to a cinema complex in 1990 the integrity of some fabric in this Bay has been compromised. It is apparent that some effort has been made to interpret the space's original floor levels within the western part of the Bay through the full height of the second to fourth floor levels. However, these changes to Bay 5, like the minor internal sympathetic partitions and the fire stair additions, have not compromised the overall exceptional heritage significance of the building.

Issues caused by rising damp were observed in the ground floor spaces. This was evident particularly in Bay 1, on carpet on eastern side, and on lower parts of the stone walls to the rear of Bays 5 and 2. The other Bays could not be clearly examined due to the new raised Masonite flooring installed for accessibility. This issue requires attention in medium term (6-12 months) to identify the damp source and carry out works to halt the problem.

Some paint flaking was also observed generally within the wet areas of third floor and within the eastern and western office spaces of Bay 1. This may indicate moisture problem or lack of ventilation in these rooms and would require attention in the next general maintenance and repainting works. Other issues relate to a broken timber tread of the clearstory timber stair, and a broken rail in the top sash of western studio window on third floor of Bay 2.

In general, the building requires external joinery repainting and inspection of window sills as well as general gentle façade cleaning throughout particularly at gables and stone sills. Minor water dripping and rising damp was evident at lower part of retaining wall below Hickson Road in the courtyard and adjacent to Bays 2-5, and should be inspected in the next regular maintenance. This inspection should also consider removal of plant growth on the subject retaining wall. A small number of cracking below window sills and some concrete floors have also been observed and are considered to have no structural danger to the building fabric.

6.2 Sydney Harbour Foreshore Authority

The Rocks area is managed by the Sydney Harbour Foreshore Authority, constituted on 1 February 1999 under the Sydney Harbour Foreshore Act 1998. The Rocks area is not within the jurisdiction of the Council of the City of Sydney.

The primary functions of the Foreshore Authority, stated in its Act, are to:

- Protect and enhance the natural and cultural heritage of the foreshore area;
- Promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- Promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

The Sydney Harbour Foreshore Authority's Charter committed the Authority to:

1. Add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour;
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders;
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront;
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites;
5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership;
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

The Authority proposes to continue to use the Former Australian Steam Navigation Company Building for commercial, office, education and art gallery uses.

Asset Owner's Requirements

Formal responsibilities for management for the place in accordance with legislation and policy (The Sydney Harbour Foreshore Authority Act, TAM Guidelines, NSW Heritage Act 1977) are outlined above and below (see section 6.3 –Heritage Management Framework).

The building is currently used by a number of tenants for various commercial, education, art gallery and exhibition activities. The ongoing responsibility for the maintenance of the place lies largely with the Harbour Foreshore Authority. However, there is an expectation for tenants to reasonably assist in maintenance and conservation by keeping the place in good order, facilitating access for maintenance and conservation works and advising property managers of urgent maintenance requirements. The Foreshore Authority regularly undertakes and will continue to undertake inspections in order to ensure the building's fabric is appropriately preserved and maintenance.

6.3 Heritage Management Framework

It is essential that the Foreshore Authority is consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the minister. Applications are to be made to the Sydney Harbour Foreshore Authority.

In some instance, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

6.3.1 New South Wales Heritage Act

Architectural Works

The Former Australasian Steam Navigation Company Building is listed in the NSW State Heritage Register, under SHR No. 01526. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act (1977).

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of a SHR item is *prohibited* under the Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). The Foreshore Authority can determine Section 60 applications for minor works, which do not materially affect the significance of the item, under delegation. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the NSW Heritage Office, or from the Foreshore Authority.

Archaeological Management

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as:

Any deposit, object or material evidence

- (a) which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and*
- (b) which is 50 or more years old.*

A S.60 application is required to disturb relics on an SHR listed site. The Foreshore Authority's delegation to approve minor S.60 applications extends to archaeological works.

Standard Exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items. Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to Appendix A. Applicants should confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works

to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a Conservation Management Strategy endorsed under delegation by the Executive Director of the Tennant and Asset Management Services of the Sydney Harbour Foreshore Authority. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites. Currently, there are no site specific exemptions for the former ASN Co. Building.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards). For details of the minimum standards see Section 8.1.

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

NSW Government Total Asset Management Guidelines

The Total Asset Management (TAM) Manual prepared by NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values should be treated by an agency as part of its core business". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require "planning use of heritage assets to maximise their service delivery while protecting their cultural values".

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

6.4 Environmental Planning Instruments (EPIs)

There are three main EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks:

A. State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 Million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The Minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the Act (development under \$5 million) has been delegated from the Minister to the Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

B. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks, however, it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

C. Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

6.5 Non-statutory listings and Community Groups

6.5.1 National Trust of Australia (NSW)

The former ASN Co. Building has been classified by the National Trust of Australia (NSW). Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions, however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.5.2 Australian Heritage Commission –Register of the National Estate

The former ASN Co. Building has been classified by the Australian heritage Commission and listed in the Register of the National Estate. Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government however, it is indicative of the high cultural values of the place.

6.6 Building Regulations

The Building Code of Australia (BCA) is concerned with establishing uniform building regulations across Australia. The BCA is implemented in NSW through the Local Government Act 1993.

The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works.

An assessment of compliance of the complex with the BCA has not been carried out for this report. However, the ASN Co. Building generally appears to be in compliance with the BCA standards and its all levels are accessible owing to its 1990s extensive restoration and conservation works as well as new tenancy fit-outs. It is appreciated, however, that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the BCA in heritage buildings, proposals must ensure that significant fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.7 Application of The Burra Charter

The *Australia ICOMOS Burra Charter 1999*,⁴⁷ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to places identified as having national, state and regional significance are undertaken.

Because the former ASN Co. Building is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of the *Burra Charter*.

Principles of the Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric.

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance. Removed significant fabric should be reinstated when circumstances permit.

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place. New work should be readily identifiable as such on close inspection.

⁴⁷ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use. Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7. Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is significant to an item within a process of change and development. It is essential to establish criteria, policies and recommendations of the conservation, and on-going use of the item to ensure best practice heritage management. Within this framework owners and managers of the item will be able to formulate suitable proposals, and planning authorities will be able to assess those proposals against the site specific criteria.

The conservation policies are intended to assist in the ongoing use, maintenance and conservation of the site. These policies are intended to manage change, rather than prohibit it. Each policy is supported by a series of guidelines which will ensure that future decisions are made in an informed manner, ensuring the significance of the place.

7.1 Current and Potential Future Use

Background

The building was originally constructed for warehouse and office use. It was subsequently used for offices by numerous government departments. More recently it has been used for open plan retail gallery, educational and office spaces. A cinema was constructed in Bay 5 which could be reactivated within that space should the opportunity present itself.

Policy 1

Any future uses of this space should not involve removal of remnant evidence of the floor levels or original fabric. Future adaptive uses of the building generally should not interfere with its significant values or fabric, and should take advantage of the building's components and the 'sense of place' of the complex.

Guidelines

- The adaptive re-use of all building components is acceptable, with compatible new uses selected that utilise the original character or permit a creative and responsible re-use of the fundamental architectural, functional and spatial characteristics as far as possible.
- The Foreshore Authority shall ensure that any new uses selected for the existing building shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration.
- Adaptation of a building's interior should ensure that the original fabric or significant architectural and spatial features are retained and interpreted as far as possible.
- The current open plan adaptive reuse of the site for office, educational and retail / art gallery purposes creates an ongoing link with the ASN Co. Building's historical commercial and administrative past, as well as allowing a broad range of people to access the space. Future uses should retain this link and this level of accessibility by the public generally.
- Consider reactivating the cinema space as a niche cultural space.
- The detailed requirements of the new uses should not generate undue changes to the existing fabric that cannot be reversed in the long term, or which do not respect and work within the existing architectural framework.
- Subdivision of internal spaces, where appropriate, should be undertaken in a secondary manner, using such items as partitions that can eventually be removed and which do not impact on the existing finishes or details.
- External alterations or additions should be discouraged; however, if required to meet approved interpretation, re-use or cultural tourism requirements, these should be of a minor nature, and subservient to the primary architectural features and composition of the existing structure.

- The introduction of new services and associated fittings as part of approved re-use programs should be carried out with the minimum of disruption to the fabric and spaces.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.
- Future uses should be compatible with the nature and significance of the building components and should enable the former ASN Co. Building to remain a vital and important component of The Rocks precinct.

7.2 Asset Management

7.2.1 Sydney Harbour Foreshore Authority responsibilities

Background

The former ASN Co. Building, as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority. The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy 2

Sydney Harbour Foreshore Authority shall retain management of the Former Australasian Steam Navigation Company Building as a single entity within the overall context of The Rocks precinct.

Guidelines

- Sydney Harbour Foreshore Authority should implement a management structure that integrates development and conservation work with the overall management of the Former Australasian Steam Navigation Company Building.
- The Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
- The Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of the former ASN Co. Building.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
- All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.
- A program of regular monitoring should be established, covering both the physical changes within the former ASN Co. Building and visitor experience issues, and be incorporated, where relevant, into management decisions.
- The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.2.2 Total Asset Management Plans and CMPs

Background

This CMP will be one of documents used by the asset owners, managers and tenants for management and maintenance of the former ASN Co. Building and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and Total Asset Management (TAM) Plans. All the relevant asset management documents were included in the preparation of this CMP.

Policy 3

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property.

Guidelines

- The Authority should include findings of this CMP into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for the former ASN Co. Building.

7.2.3 Adoption, Endorsement and Review of the CMP⁴⁸

Background

The Conservation Management Plan (CMP) for the former ASN Co. Building proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to progressively respond to changing situations if they are to remain relevant.

Policy 4

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every five to ten years.

Guidelines

- Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the NSW Heritage Office.
- Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Irrespective of the requirement to review the document every 5 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.2.4 Approvals' Process and Landowners Consent

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric. Forms for development applications, Section 60 applications and Standard Exemption applications are available from the Foreshore Authority.

Policy 5

Prior to the lodgement of applications and the commencement of works the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.

Guidelines

- As the Foreshore Authority is the owner of land and buildings in The Rocks, the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowners consent to lodge an application does not present the approval to actually undertake the works.

⁴⁸ Adoption (the Foreshore Authority), Endorsement (NSW Heritage Council) and Review (the Foreshore Authority)

- Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal.
- Where necessary, a Heritage Impact Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Once this Conservation Management Plan has been endorsed by the NSW Heritage Council, all works and activities specifically identified in Chapter 8 of this CMP – Implementation, as exempt from seeking further approval will be exempted from further reference to the NSW Heritage Council.

7.2.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy 6

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected and approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance of the item and the sensitive fabric and spaces, and that the required changes to the item can be installed and removed without impact.

Guidelines

- Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority consent to the proposed development. This includes completion of the Schedules of Works as per the Chapter 8 –Implementation of this CMP.
- Tenants should be aware of Sydney Harbour Foreshore Authority policies.
- The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of land owner's consent.

7.3 Management of Significance

7.3.1 Retention of Significance

Background

Constructed between 1884 and 1885 the former ASN Co. warehouse and office building, and its site, are of State heritage significance for their strong association with The Rocks due to its prominent location on the edge of the Quay adjacent to the various wharfs within the main commercial maritime centre. The building is also associated with famous early merchant Robert Campbell who developed some of the earliest warehousing in Sydney and constructed his Wharf House on this site at the turn of the nineteenth century.

It has particular significance as a building designed by the very prominent and highly regarded architect William Wilkinson Wardell, a prolific and outstanding architect of the nineteenth century best known for his churches, public buildings, banks and warehouses. This significance is increased by the building's rarity value as possibly the earliest surviving example of the use in Sydney of steam cranes imported from England, an intact example of the Pre-Federation Anglo-Dutch style and a fine Victorian office and warehouse development in Sydney. The building is further significant for the rare surviving early sprinkler system with cast iron pipe work and 1929 sprinkler heads still intact. No later store of this construction type was built in Sydney.

The building has overall significance in The Rocks, Campbell Cove and Circular Quay area due to its contribution to the locality's character together with its landmark presence when viewed from the Harbour and the esteem in which the building is held by the wider community.

Policy 7

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

- The significant aspects of the architectural character of the Former Australasian Steam Navigation Company Building should be retained and conserved. Conservation should be undertaken in the context of the on-going use of the building components as warehouse and offices.
- Warehouse and office combination, overall external form and massing, stone and polychromatic brick façades with Anglo-Dutch style gables, safe rooms with barrel vaulted brick ceilings, clock and water towers, decorative wrought iron gates, stone and brick arched openings connecting the warehouse bays, original Kingpost trusses, timber flooring with joists and herringbone bracing, timber posts with cast iron capitals, concrete and asphalt floors, remnant original sprinkler system, slate sawtooth roof, loading bays and associated doors and swing down platforms, fireplaces, clearstory, and early signage associated with warehouse uses are relics of the site's historic use that contribute to the special character of the building components or the former ASN Co. Building as a whole.
- Significant associations, including those with Robert Campbell and architect William Wilkinson Wardell, should be interpreted on the site by appropriate methods.
- The conservation, adaptation and maintenance of the Former Australasian Steam Navigation Company Building should be approached with the general principle of changing "as much as necessary but as little as possible".
- External modifications should be limited to minor and temporary changes only, including occasional changes to commercial signage. Structural alteration to the building components, which impact on the integrity or significance of the Former Australasian Steam Navigation Company Building should not occur.
- Historic imagery of the building as viewed by the general public, including the exterior and interior elements (the façades, the tower and all significant exterior and interior elements), should be retained and conserved.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façade.
- Internal alterations and renovations are acceptable within the context of compatible use, however any such alterations should be fully reversible without damage to original fabric, and should not impact on the significance of the internal original fabric and spatial qualities of the building. This applies equally to the office layout of Bay 1, the warehouse sense of Bays 2-5, and the external façades.
- All surviving significant fabric should be managed in accordance with the established levels of significance. Significant details and services, including all remnant evidence of the early sprinkler system, should be retained in situ.

7.3.2 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 8

Appropriate conservation skills and experience should be employed for documentation and supervision within project teams to deal with any programs of conservation and upgrading of the building components of the Former Australasian Steam Navigation Company Building.

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.3.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much as possible of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

The existing building fabric of the Former Australasian Steam Navigation Company Building both internally and externally, is generally in very good condition and exhibit a high degree of intactness owing to the 1990s restoration and conservation works.

Policy 9

Extant building fabric, both internally and externally, should be retained and conserved in accordance with the levels of significance identified in Section 5.0 Grading of Significance of this CMP and in accordance with detailed actions specified in the Section 8.2 –Schedule of Conservation Works of this CMP.

Guidelines

- External and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
- No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of High or Exceptional level of significance.
- Aged building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
- Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should be identifiable on close inspection.
- All structural elements should be retained as existing, with appropriate maintenance. No structural members should be removed, other than to re-instate significant

architectural elements. All original doors, windows, floors, staircases, balustrades and associated landings should be retained, with appropriate maintenance.

- Where it is clear that original or significant fabric has been removed it is considered appropriate to adaptively reconstruct based on documentary evidence as it is evident currently.
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.2 –Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
- Fabric, which is of exceptional or high significance but is hazardous, should be replaced with a suitable modern material.
- Redundant but significant equipment, fittings and fixtures are to be retained on site preferably in their existing location. This is particularly important for the extant fire sprinkler system and associated piping.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The NSW Heritage Office 'Maintenance Series' provides general advice as to the cause, treatment and remediation of various traditional building materials.

7.3.4 Conservation of Significant Spaces

Background

The significance of various building components of the Former Australasian Steam Navigation Company Building is characterised by the separate, but aesthetically related former office and warehouse spaces and the open plan qualities of each floor level in the warehouse bays. Of value are the exposed timber structural elements, evidence of early painted signage and paint schemes, Kingpost trusses and beams and the existing wall and floor finishes demonstrating both original and later successive finishes.

Policy 10

The office block layout and the spatial qualities of the warehouse bays of the Former Australasian Steam Navigation Company Building contribute to its significance and interpretation and therefore should be conserved, as part of the on-going use, on-going management and any future development strategy.

Guidelines

- The original interconnected large space configuration of Bays 2, 3 & 4 on each floor level (warehouse shell) with rooms and services in Bay 4 southern wall and discreet corner locations are to be retained.
- The existing office room layout of the office block (Bay 1) should not be altered and no further divisions should be made to the offices, including particularly the large rooms on western and eastern sides.
- Ensure significant structural elements retained visible in exposed condition.
- Should any new partitions be fitted ensure these are compatible with the existing approach, being low-height and/or transparent, maintaining the spatial qualities.
- Ensure evidence of successive layer of finishes are maintained, in particular the original finishes and paint scraping have been preserved for future reference.

7.3.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy 11

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 5.1 of this CMP –Grading of Significant Elements and Spaces, and managed in accordance with Element Specific Conservation Policies presented in the Table in Section 7.3.5 of this CMP.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of the Former Australasian Steam Navigation Company Building. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

Element Specific Conservation Policies Former ASN Co. Building		
Element	Significance	Policy
EXTERIOR		
ALL ELEVATIONS GENERALLY		
Overall street presentation of George Street, Hickson Road and Circular Quay West elevations	Exceptional	Retain and conserve including form, massing, fenestration, sandstone and polychromatic brick character, ochre coloured brick arches and horizontal bands, stone base, stone sills and lintels, and façade detailing, finishes and joinery Undertake repair work as required to match existing associated fabric. Do not paint or render face brick and sandstone elements No new openings or modifications to the openings to be made. Changes only to be made to the recent fabric including new loading doors' fabric for repair and replacement (when damage to timber or glass breakages occur) and should not involve the openings themselves
Clock Tower and Water Tower	Exceptional to High	Retain and preserve all elements including face brick structure and finishes, and wrought iron balustrade, copper cladding to spire and dormers. Any repair required should match existing associated fabric and detailing Repair and replace wrought iron and copper cladding as required with matching material and utmost care to adjoining structure and elements
Parapet	Exceptional	Retain and conserve existing Anglo-Dutch gables including stone capping as a high architectural feature

Element Specific Conservation Policies			
Former ASN Co. Building			
Element		Significance	Policy
Boundary & retaining Walls		High	Retain and preserve original sandstone boundary walls and retaining walls. No painting or rendering is allowed
Courtyard		Exceptional	Retain and maintain existing original layout. Do not enclose or erect outdoor structures within the space
Roof		Exceptional to High	Retain and conserve roof form and structure. Do not change slate roofing with other material and undertake repair as necessary to ensure roof structure is protected
Clearstory		Exceptional	Retain and preserve the form, materials and structure
Lift motor room		Little	Maintain and replace as required provided new work is compatible with the roof space and does not affect the overall external presentation and form of the Building
WEST (GEORGE STREET) ELEVATION			
1	Windows – Warehouse Bays 2-5	High	Retain and maintain. Repair and repaint matching existing. Replacement of timber frames is acceptable where damage to fabric occur provided that new joinery is timber and match the original multi-paned sash frame with two mullions as the existing 1990s replicas
	Windows – Office Block Bay 1	High	Retain and maintain. Repair and repaint matching existing. Replacement of timber frames is acceptable where damage to fabric occur provided that new joinery is timber and matching the original 12-pane sash windows of the top and ground levels
	Windows – sills	Exceptional	Retain and preserve original stone sills. Do not paint or render in any account
	Windows – lintels	Exceptional	Retain and preserve original ochre brick and stone lintels. Do not paint or render in any account
2	Doors – Bay 1 entrance door	Exceptional	Retain and preserve original Victorian timber door
	Doors – Bay 1 entrance gate	Exceptional	Retain and conserve wrought iron gates
	Doors – Bay 1 entrance gate – stone & scroll	Exceptional	Retain and conserve stone classical pediment & scroll. Do not paint or render in any account
	Doors – Bays 2-5 (loading bays)	High to Little	Retain and conserve. Replacement is acceptable when damage or glass breakages occur with matching material, detailing and fenestrations
3	Fire stairs	Moderate	Retain and maintain. Removal is preferable to reinstate original presentation. However, replacement is acceptable provided that new stairs maintain similar detailing and be less intrusive

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
4	Features: slate roofing & lead capping, copper down pipes, pulleys & cathead beams	High	Retain and maintain. Replace and repair when damage occur and as required with matching materials and detailing
	Features: Decorative iron wall vents, decorative iron bracket, crossing stairs to bays 4 & 5, interpretive plaque	High	Retain and preserve in situ. Replacement of Interpretive plaque is acceptable if fabric damage occur
NORTH (HICKSON ROAD) ELEVATION			
1	Windows	High	Retain and maintain. Repair and repaint matching existing. Replacement of timber frames is acceptable where damage to fabric occur provided that new joinery is timber and matching the original 12-pane sash windows of the top and ground levels
	Windows – sills	Exceptional	Retain and preserve original stone sills. Do not paint or render in any account
	Windows – lintels	Exceptional	Retain and preserve original ochre brick and stone lintels. Do not paint or render in any account
2	Doors – French doors	High	Retain and preserve original French door form and articulation Do not change or replace original western office entry door Repair and replace balcony and eastern bay office with matching detailing and timber material if damage occurs
3	Features – slate roofing & lead capping, copper downpipes	High	Retain and maintain. Replace and repair when damage occur and as required with matching materials and detailing
	Features – engraved business signs – on stone lintels	High	Retain and preserve in situ
	Features – decorative iron wall vents, louvered segmented arch ventilation window	High	Retain and preserve in situ
	Features – wrought iron gate to courtyard & wrought iron balustrade to stone retaining wall	Moderate	Retain and conserve. Replacement is acceptable with matching material and detailing
	Features – fire services	Little	Maintain and replace as required

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
EAST (CIRCULAR QUAY WEST) ELEVATION			
1	Windows – Warehouse Bays 2-5	High	Retain and maintain. Repair and repaint matching existing. Replacement of timber frames is acceptable where damage to fabric occur provided that new joinery is timber and match the original multi-paned sash frame with two mullions as the existing 1990s replicas
	Windows – Office block Bay 1	High	Retain and maintain. Repair and repaint matching existing. Replacement of timber frames is acceptable where damage to fabric occur provided that new joinery is timber and matching the original 12-pane sash windows of the top and ground levels
	Windows – Office block Bay 1 – Timber, 12-pane sash windows to top dormer windows	Exceptional	Retain and preserve in situ. Do not replace if no major damage occurs. Repair and repaint as required with matching material and finishes
	Window – Office Bay 1 – Stone classical window with mullions to first floor above entry	Exceptional	Retain and preserve. Do not paint or render in any account
	Windows – Sills	Exceptional	Retain and preserve. Do not paint or render in any account
	Windows – Lintels	Exceptional	Retain and preserve. Do not paint or render ochre and stone lintels in any account
2	Doors – Bay 1 entrance door	High to Moderate	Retain and preserve in situ. Replacement with matching material, articulation and finishes is acceptable if damage occurs
	Doors – Bays 2 & 4 – timber boarded solid	Moderate	Retain and preserve in situ. Replacement with matching material, articulation and finishes is acceptable if damage occurs
	Doors – Bays 3 & 5 – metal framed glass	Little	Maintain or replace as required. Replacement with timber boarded solid doors similar to Bays 2 & 4 is recommended if suits future uses
	Doors – Bays 2-5 (loading bays)	High to Little	Retain and conserve. Replacement is acceptable when damage or glass breakages occur with matching material, detailing and fenestrations
3	Features – decorative iron wall vents, interpretive plaque	High to moderate	Retain and preserve in situ. Replacement of Interpretive plaque is acceptable if fabric damage occur
INTERIOR			
GENERALLY			
Overall spatial open plan organisation generally & interconnected configuration of Bays 2-4		Exceptional	Retain and preserve open plan layout and warehouse sense of each floor. Do not block arched opening between the Bays and maintain interconnected configuration

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
Structure		Exceptional to Little	Retain and conserve structural elements in exposed form. Do not obscure by false ceilings or floor to ceiling solid wall panels. Transparent such as glass partitions are acceptable provided they do not reduce the warehouse sense. Solid partitions should be placed (if necessary) at the perimeters where there will be no visibility from exteriors
Walls		High to Little	Retain and preserve structural walls in situ Retain or replace later rendered and painted brick and plasterboard walls as required Do not paint face brick and stone walls Maintain and preserve 1950s render & paint finishes as evidence of historical layers
Floors		High to Little	Retain and preserve concrete & asphalt slab Retain and preserve timber board flooring with herringbone bracing Retain and maintain terrazzo floor to 1950s fire stair Retain or replace masonite floor in Bay 3 as required Retain or replace carpet flooring in Bays 2 & 4 as required
Ceilings		High	Retain and preserve timber board ceilings with herringbone bracing. Do not paint in any account. Do not obscure by false ceilings or floor to ceiling solid wall panels
Fit-out / services / amenities		Exceptional to Little	Retain and preserve original fire sprinkler pipes and sprinkler heads. Do not remove in any account Retain or replace modern services, tenancy fit-outs and recent amenities with utmost care and ensure significant fabric is not damaged
GROUND FLOOR – WAREHOUSE BAYS 2-5			
1	Walls	High	Retain and preserve original stone walls between Bays 2-5, and strong room walls in Bay 4
2	Windows	High to Little	Retain and preserve timber framed joinery. Repair and replace with matching material, form, detailing and finishes Retain or replace iron security grills as required. Ensure building's security maintained
3	Doors	High to Little	Retain and preserve timber framed joinery and arched openings. Repair and replace with matching material, form, detailing and finishes Retain or replace glass insertions to loading bays as required

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
4	Floors	High to Little	Retain and preserve concrete & asphalt slab with marks in Bays 5 & 4 as evidence of historic use Retain and maintain terrazzo floor to 1950s fire stair Retain or replace masonite floor in Bay 3 as required Retain or replace carpet flooring in Bays 2 & 4 as required
GROUND FLOOR – OFFICE BLOCK (BAY 1)			
Overall spatial organisation generally		Exceptional to Little	Retain and preserve original office layout Do not divide rooms in any account Reinstatement of original room dimensions of office 2 by removal of later wall
1	Walls	High	Retain and preserve original rendered and painted brick walls, and exposed stone walls in the safe. Repair and repaint previously painted surfaces with similar Victorian colour scheme
	Walls – paint scrapes	High	Retain and preserve in situ. Do not paint over
	Walls – picture rails	Moderate	Retain and replace as required with matching
	Walls – skirtings	High	Retain and preserve in situ
2	Windows	High	Retain and preserve timber windows and sills Retain service window (between office 1 & reception) in situ
3	Doors	High	Retain and preserve timber moulded joinery
4	Floors	High to Little	Retain flagstone threshold to Circular Quay entrance Retain and preserve concrete slab Retain and replace carpet flooring as required
5	Ceilings	High	Retain and preserve lath & plaster ceilings throughout, and pressed metal ceiling to office 3
6	Fireplace	High to Moderate	Retain and preserve in situ
7	Timber stairs	High	Retain and preserve
FIRST FLOOR – WAREHOUSE BAYS 2-5			
1	Walls – brick	High	Retain and preserve original load bearing brick walls, and strong room walls in Bay 4
	Walls – lightweight plaster	Little	Retain or replace as required
2	Windows	High	Retain and preserve timber framed joinery. Repair and replace with matching material, form, detailing and finishes

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
3	Doors	High to Little	Retain and preserve timber framed joinery and arched openings. Repair and replace with matching material, form, detailing and finishes Retain or replace glass insertions to loading bays as required Retain or replace metal safety barriers to loading doors as required
4	Floors	High to Little	Retain and preserve concrete finish over timber flooring as evidence of historic use Retain and maintain terrazzo floor to 1950s fire stair Retain or replace masonite floor as required Retain or replace carpet flooring as required
FIRST FLOOR – OFFICE BLOCK (BAY 1)			
Overall spatial organisation generally		Exceptional to Little	Retain and preserve original office layout Do not divide rooms in any account
1	Walls	High	Retain and preserve original rendered and painted brick walls, and exposed stone walls in the safe. Repair and repaint previously painted surfaces with similar Victorian colour scheme
	Walls – cornices	High	Retain and preserve in situ
	Walls - skirtings	High	Retain and preserve in situ
2	Windows	High	Retain and preserve timber windows and sills Retain service window in situ
3	Doors	High	Retain and preserve timber moulded joinery
4	Floors	High	Retain and preserve varnished timber board flooring. Repair with minimal fabric replacement as required matching the existing form and finishes Retain and replace carpet flooring as required
5	Ceilings	High	Retain and preserve lath & plaster ceilings throughout, and brick vault ceiling to the safe. Repair as required with matching materials and finishes
6	Fireplace	High	Retain and preserve in situ
7	Timber stairs	High	Retain and preserve
SECOND FLOOR – WAREHOUSE BAYS 2-5			
1	Walls – brick	High	Retain and preserve original load bearing brick walls
	Walls – lightweight plaster and glass partitions	Little	Retain or replace as required
2	Windows	High	Retain and preserve timber framed joinery. Repair and replace with matching material, form, detailing and finishes

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
3	Doors	High to Little	Retain and preserve timber framed joinery and arched openings. Repair and replace with matching material, form, detailing and finishes Retain or replace glass insertions to loading bays as required Retain or replace metal safety barriers to loading doors as required
4	Floors	High to Little	Retain and preserve concrete finish over timber flooring as evidence of historic use Retain and maintain terrazzo floor to bay 4 entry foyer and 1950s fire stair Retain or replace masonite floor as required Retain or replace carpet flooring as required
5	Features	High	Retain and preserve in situ Directory Board of former Commonwealth Government tenants, and early electrical switches in the floor
SECOND FLOOR – OFFICE BLOCK (BAY 1)			
Overall spatial organisation generally		Exceptional	Retain and preserve original office layout. Do not divide rooms in any account
1	Walls	High	Retain and preserve original rendered and painted brick walls, and exposed stone walls in the safe. Repair and repaint previously painted surfaces with similar Victorian colour scheme
	Walls – cornices	High	Retain and preserve in situ
	Walls - skirtings	High	Retain and preserve in situ
2	Windows	High	Retain and preserve timber windows and sills
3	Doors	High	Retain and preserve timber moulded joinery
4	Floors	High	Retain and preserve varnished timber board flooring. Repair with minimal fabric replacement as required matching the existing form and finishes. Retain or replace carpet as required
5	Ceilings	High	Retain and preserve lath & plaster ceilings throughout, and brick vault ceiling to the safe. Repair as required with matching materials and finishes
6	Fireplace	High	Retain and preserve in situ
7	Timber stairs	High	Retain and preserve
THIRD FLOOR – WAREHOUSE BAYS 2-5			
1	Walls – brick	High	Retain and preserve original load bearing brick walls
	Walls – lightweight plaster and glass partitions	Little	Retain or replace as required

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
2	Windows	High	Retain and preserve timber framed joinery, and stone sills. Repair and replace with matching material, form, detailing and finishes
3	Doors	High to Little	Retain and preserve timber framed joinery and arched openings. Repair and replace with matching material, form, detailing and finishes Retain or replace glass insertions to loading bays as required Retain or replace metal safety barriers to loading doors as required
4	Floors	High to Little	Retain and preserve concrete finish over timber flooring as evidence of historic use Retain and maintain terrazzo floor to 1950s fire stair Retain or replace tile floors to amenities as required Retain or replace carpet flooring as required
5	Features	High	Retain and preserve in situ painted numbering on structural posts and beams Retain and preserve structural elements exposed in Bay 5
THIRD FLOOR – OFFICE BLOCK (BAY 1)			
Overall spatial organisation generally		Exceptional	Retain and preserve original office layout Do not divide rooms in any account
1	Walls	High	Retain and preserve original rendered and painted brick walls. Repair and repaint previously painted surfaces with similar Victorian colour scheme
	Walls – cornices	High	Retain and preserve in situ
	Walls – skirtings	High	Retain and preserve in situ
2	Windows	High	Retain and preserve timber windows and sills
3	Doors	High	Retain and preserve timber moulded joinery
4	Floors	High	Retain and preserve varnished timber board flooring. Repair with minimal fabric replacement as required matching the existing form and finishes Retain and replace carpet flooring as required
5	Ceilings	High	Retain and preserve lath & plaster ceilings throughout, and brick vault ceiling to the safe. Repair as required with matching materials and finishes
6	Fireplace	High	Retain and preserve in situ
7	Timber stairs	High	Retain and preserve
8	Feature – Clearstory	Exceptional	Retain and preserve as a high architectural element Do not block/enclose in any account

Element Specific Conservation Policies Former ASN Co. Building			
Element		Significance	Policy
FOURTH FLOOR – WAREHOUSE BAYS 2-5			
1	Walls – brick	High	Retain and preserve original load bearing brick walls
	Walls – lightweight plaster partitions	Little	Retain or replace as required
2	Windows	High	Retain and preserve timber framed joinery, and stone sills. Repair and replace with matching material, form, detailing and finishes
3	Doors	High to Little	Retain and preserve timber framed joinery and arched openings. Repair and replace with matching material, form, detailing and finishes Retain and replace doors to amenities and fire stairs
4	Floors	High to Little	Retain and preserve timber floorboards Retain and maintain terrazzo floor to 1950s fire stair Retain or replace tile floors to amenities as required Retain or replace carpet flooring as required
5	Features	Exceptional	Retain and preserve original internal cathedral style sawtooth roof/ceiling form. Do not insert false ceilings or further mezzanine floors Retain and preserve exposed Kingpost trusses and posts Retain and preserve structural elements exposed in Bay 5
CLEARSTOREY			
Structure – timber with glass windows & timber door to roof access		Exceptional	Retain and preserve in situ. Do not block or obscure
CLOCKTOWER			
Overall spatial qualities		Exceptional	Retain and preserve
1	Walls	Exceptional	Retain and preserve painted brick walls and unpainted timber boards
2	Windows	High	Retain and preserve, Repair as required with matching material, form and finishes
3	Doors	High	Retain and preserve, Repair as required with matching material, form and finishes
4	Floors	High	Retain and preserve timber floors. Repair as required with matching material, form and finishes
4	Bell & Clock	High to Moderate	Retain and preserve in situ. Replacement is acceptable with matching element and material

7.3.6 Archaeological Monitoring

Background

The Heritage Act 1977 states that any excavation, where relics may be disturbed, requires an excavation permit. The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* (AR008) as referenced in the Foreshore Authority's S.170 Heritage Register (B027). Given consideration to the findings of that assessment and further evaluation in this CMP, it is concluded that the archaeological potential of the site is low for deeper deposits based on the historical evidence, *The Rocks and Millers Point Archaeological Management Plan*. Therefore, a monitoring brief for any ground disturbance of the site is recommended. This should be undertaken by a qualified archaeologist in accordance with the NSW Heritage Act 1977 archaeological provisions.

Policy 12

Where the site is identified as having archaeological potential all excavation should be carried out under supervision by a qualified archaeologist. Appropriate permits should be sought from the NSW Heritage Council prior to the commencement of works.

Guidelines

- Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan* (1991), and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any ground disturbance on the property in the future be subject to further archaeological monitoring brief.

7.3.7 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy 13

The significant fabric of the Former Australasian Steam Navigation Company Building should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3 –On-going Maintenance. As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

- The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority.
- In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary. Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with buildings and materials of this nature. Maintenance or repairs should not negatively impact on significant fabric.
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.3 –Schedule of On-going Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.

7.3.8 Retention of Fixtures and Fittings

Background

The intact, rare surviving early sprinkler system with cast iron pipe work and 1929 sprinkler heads makes an important contribution to the significance of the building.

Policy 14

Features and fixtures associated with the site's historic use as an office and warehouse should be retained and preserved.

Guidelines

- The retention and conservation of these features and fixtures should be considered as part of the design work for future adaptive re-use programs.

7.3.9 Interpretation

Background

Interpretation of historic places reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place in its geographic and physical setting is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception of the significance of the place. Due to its history, significance and setting in The Rocks, the former ASN Co. Building is capable of being interpreted for promotional and educational purposes.

Policy 15

The heritage significance of the former Australasian Steam Navigation Company Building should be interpreted on site by appropriate methods.

Guidelines

- One of the primary components of the conservation management of the former ASN Co. Building should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
- The ongoing management of the former ASN Co. Building should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
- In making significance accessible, the Foreshore Authority should take into account the policies and guidelines of the *ICOMOS International Cultural Tourism Charter*.
- Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the former ASN Co. Building.
- Interpretation at the former ASN Co. Building should take into account all periods of development and occupation in the context of the history of The Rocks, and be presented in an accurate and insightful manner.
- Interpretation should take into account all the historic phases of the Former Australasian Steam Navigation Company Building.

7.4 New Work Policies

7.4.1 Integration of New Work

Background

Because of the significance of the Former Australasian Steam Navigation Company Building scope for new development is limited. In general, no external alterations or additions should occur, except potential minor additions for services. Within the general principles outlined in this CMP, some relatively minor internal alterations and additions could occur. These should generally be confined to less significant areas and should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components.

Policy 16

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

- Any new development should be carried out within the existing building envelopes.
- Period detailing should be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility. Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.
- When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.

7.4.2 Integration of Services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy 17

The extension or alteration of existing services in the Former Australasian Steam Navigation Company Building is acceptable in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

- Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to the proper approval process.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion.
- Areas previously modified for services should be re-used, in preference to modifying intact fabric. The surface mounting of services is preferable to chasing services into significant fabric. Brackets or fixings for services should not damage significant fabric.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the three principal façades of the building.

7.4.3 Ordinance Compliance

The *Building Code of Australia* is the operative building ordinance in New South Wales. In terms of on-going use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex are not degraded by inappropriate responses to meeting ordinance requirements.

Policy 18

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of the former Australasian Steam Navigation Company Building should focus on responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

- Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
- Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document "Access to Heritage Buildings for People with Disabilities" prepared by E.J. Martin (Cox), August 1997.
- Consultation with the NSW Heritage Office FASAP advisory panel may also assist in achieving appropriate compliance solution.

7.4.4 Signage and External Lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability the Former Australasian Steam Navigation Company Building as a whole. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy 19

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Policy 20

All signage should be consistent with the Foreshore Authority's Signage Policy where relevant.

Guidelines

- Suitably located signs that provide a legible and clear message and contribute to the vitality of the former ASN Co. Building are encouraged.
- Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
- Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
- It is not necessary to attempt to create or recreate an "historic" character in the signage, but modern standardised "trademark" signage is not appropriate.
- Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.
- The illumination should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.

7.4.5 New Services and Other Relevant Foreshore Authority's Policies

Background

In addition to specific requirements for new work as presented in this Section, all new work has to comply with other relevant Foreshore Authority planning policies to assure grant of consent to the proposal.

Policy 21

Any proposed work to the Former Australasian Steam Navigation Company Building will fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Guidelines

- In addition to the Foreshore Authority Policies for Lighting and Signage, as presented in this Section, all new work will comply with the Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

7.5 Archaeological Resources

7.5.1 Prehistoric (Aboriginal) Archaeological Resources

Background

Sites of pre-historic archaeological potential are protected under clauses of the NSW National Parks and Wildlife Act 1979.

Policy 22

Any potentially (although unlikely) encountered Aboriginal archaeological resources should be conserved in accordance with the requirements of the NSW National Parks and Wildlife Act 1979 and their potential for interpretation considered.

Guidelines

- Works on this site should avoid areas of high archaeological potential or significance.
- In the event archaeological material is unexpectedly discovered during works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority and the NSW National Parks and Wildlife Service will be contacted for advice.
- Should disturbance be required where Aboriginal archaeological material has been identified, an application under Section 90 of the National Parks and Wildlife Act will be required for this disturbance.

7.5.2 Historic (European and Aboriginal) Archaeological Resources

Background

Sites of Historic archaeological potential are protected under clauses of the NSW Heritage Act 1977.

Policy 23

Any potential archaeological resources on the property should be conserved in accordance with the requirements of the NSW Heritage Act 1977 and their potential for interpretation considered.

Guidelines

- Wherever possible, works to this site should avoid areas of high archaeological potential or significance.
- Should disturbance be required to areas of archaeological potential or significance, an application under Section 60 of the Heritage Act will be required for this disturbance.

- Any archaeological resources must be managed in accordance with the recommendations arising from the Archaeological Assessment and any approval issued by the Sydney Harbour Foreshore Authority or the NSW Heritage Council.
- In the event archaeological material is unexpectedly discovered during any works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority will be contacted for advice.

8. Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of the Former Australasian Steam Navigation Company Building and to ensure that the heritage value of the place is maintained and enhanced. This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the NSW Heritage Council, in which case these will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of the Former Australasian Steam Navigation Company Building with their provisions are those for Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security. It is considered that the Standards for *Conservation Management Plans* will be satisfied with the adoption of this CMP by the Foreshore Authority.

The works are presented for relevant elements only. To assure compliance with the Minimum Standards of Maintenance and Repair on the site of the Former Australasian Steam Navigation Company Building the following works need to be undertaken:

Minimum Standards of Maintenance and Repair

Former Australasian Steam Navigation Company Building

Work or Activity Required for Compliance with the Standards for: **INSPECTION**

(ALL AREAS GENERALLY)

Regularly inspect the building and its physical curtilage to identify maintenance and repairs required to comply with section 119 of the *Heritage Act 1977*.

The inspection in relation weather protection, fire protection and security must be carried out every 12 months.

The inspection must be carried out at least once every 3 years in relation to essential maintenance and repair, which is necessary to prevent serious and irreparable damage or deterioration to the place. The issues expected particularly include water and rising damp damage, termite activity, replacement of out of date fire safety equipment, vandalism, paint deterioration, stormwater/sewer systems, structural failure and general cleaning.

The inspection is to be carried out by a person expertise and experience appropriate to the nature of the item concerned.

Minimum Standards of Maintenance and Repair

Former Australasian Steam Navigation Company Building

Work or Activity Required for Compliance with the Standards for: **FIRE PROTECTION**

(ALL AREAS GENERALLY)

Carry out the following inspections every 12 months

Remove all vegetation, storage material, rubbish and any other material that could create a fire hazard for the building. Such material is not permitted to be accumulated.

Check for the correct operation fire detection systems such as smoke detectors, and building services such as electricity and gas systems. Undertake maintenance and repair as required to the applicable standard necessary to ensure a reasonable level of protection for the building from damage or destruction by fire.

Minimum Standards of Maintenance and Repair

Former Australasian Steam Navigation Company Building

Work or Activity Required for Compliance with the Standards for: **WEATHER PROTECTION**

(ALL AREAS GENERALLY)

Carry out the following inspection every 12 months

Check surface and sub-surface drainage systems and roof drainage systems including box gutters, rainwater heads, downpipes and stormwater drainage systems for failure, blockages and broken elements. Repair and replace with matching material as required.

Check roofs, walls, doors and windows (including the glass components of doors and windows) and other components intended to exclude sun, rain, wind, hail, snow or other weather elements. Inspect for damage, deterioration or functional failure (such as change in the direction of slope) which may allow ingress of weather elements. Repair and replace with matching material as required.

Inspect for dampness and water penetration and check the damp proof courses, flashings and ventilation systems to identify possible cause. Repair and replace with matching material as required.

Check any other system or component designed to protect the building and its curtilage against damage or deterioration due to weather.

Where doors and windows have failed and require repair they may be boarded up only if the building is unoccupied and it is a short term measure pending repair.

Minimum Standards of Maintenance and Repair

Former Australasian Steam Navigation Company Building

Work or Activity Required for Compliance with the Standards for: **SECURITY**

(ALL AREAS GENERALLY)

Carry out the following inspections every 12 months

Maintain existing wrought iron boundary fences, security grilles, doors, windows and associated locking mechanisms to ensure security and prevent vandalism.

Inspect boundary and courtyard fences and gates, the walls, roof and other building elements, doors, windows and other closures, including glazing and associated locking and latching mechanisms for failure, damage, deterioration or breach of security. Maintain, repair, replace or install as required to ensure a reasonable level of security for the place.

Where doors and windows have failed and require repair they may be boarded up only if the building is unoccupied and it is a short term measure pending repair.

Minimum Standards of Maintenance and Repair

Former Australasian Steam Navigation Company Building

Work or Activity Required for Compliance with the Standards for: **ESSENTIAL MAINTENANCE AND REPAIR**

(ALL AREAS GENERALLY)

Carry out the following inspections at least every 3 years

Carry out essential maintenance and repair whenever necessary in order to prevent the serious or irreparable damage or deterioration. Essential maintenance and repair may extend to (but not be limited to): foundations, footings, supporting structure; structural elements such as walls, columns, beams, floors, roofing and roof structures; exterior and interior finishes, details, fixtures and fittings; and systems and components (such as ventilators or ventilation systems) intended to reduce or prevent damage due to dampness.

Inspect for and undertake appropriate action to control pests such as termites, rodents, birds and other vermin.

Monitor and take immediate actions to halt any rising damp problem within the ground floor levels particularly along Circular Quay West side and the stone retaining wall within the courtyard below George Street and Hickson Road.

8.2 Schedule of Conservation Works

Fabric condition ratings in this report use the following table:

Condition Rating	Description
5 – Excellent	Building or fabric element has no defects. Condition and appearance are as new.
4 – Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
3 – Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
2 – Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exists.
1 – Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

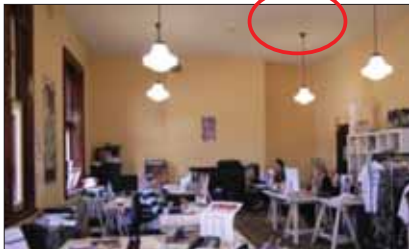
These condition grades should inform future building condition reports and maintenance schedules. For elements in *Very Poor* condition, reconstruction may be the only available option. For elements assessed as being in *Poor* or *Fair* condition, various degrees of repair or maintenance may be required, immediately or in the short term, to prevent further deterioration and the subsequent loss of significance. Elements in *Good* condition may need some maintenance but the need for repair is not anticipated in the next two or three years, while elements in *Excellent* condition are likely to need only minor maintenance in the next five to ten years.

The following *Schedule of Conservation Works* describes work that should be implemented to preserve the significant fabric of the Former Australasian Steam Navigation Company Building. The works should be undertaken within the next (enter timeframe as appropriate), i.e. all works need to be completed before (specify date) to assure ongoing retention of the significant fabric.

Schedule of Conservation Works Former Australasian Steam Navigation Company Building			
Element	Condition	Significance	Action/Treatment
EXTERIOR			
GENERALLY			
Elevations & Parapet generally	Excellent	Exceptional	- Inspect and preserve as part of ongoing maintenance. <u>Conservation works (6 month – 2 years)</u> - Undertake non-abrasive façade cleaning with particular attention to gables and stone capping. Ensure historic lettering signage are preserve and not damaged - Inspect and repoint brickwork as necessary
Clock Tower and Water Tower	Excellent	Exceptional to High	<u>Immediate work (0-6 months)</u> - Inspect and monitor existing crack at the top section of eastern façade of the Water Tower rectify as required. Consult a structural engineer if necessary. <u>Conservation works (6 month – 2 years)</u> - Inspect regularly for any defect, missing mortar joints or structural movements as part of ongoing maintenance work programme - Clean as part of the overall façade cleaning - Monitor corrosion and defect to wrought iron, and slipped slate, ridge capping.
			
Boundary & retaining Walls	Fair to Good	High	<u>Medium term work (6 – 12 months)</u> - Check over the water leakage below George Street in the courtyard (Bay 1) and rectify if found as a defect - Remove plant growth within the courtyard of Bays 2-5 below George Street
Courtyard	Good	Exceptional	- Check over security grill gates to the courtyard and the external toilet block ensure the building's security is maintained. - Monitor plant growth and water leakages over the stone retaining wall and at the ground and building's wall junction. Ensure no accumulation occurs - Ensure small tunnel connecting courtyards between Bay 1 & 2 is kept secured and not blocked.

Schedule of Conservation Works Former Australasian Steam Navigation Company Building			
Element	Condition	Significance	Action/Treatment
Roof	Fair to Good	Exceptional to High	<u>Immediate work (0-6 months)</u> - Inspect the small puddle east side of the Clearstory. Ensure the slope of the roofing is rectified to redirect the water to the gutter. <u>Conservation works (6 month – 2 years)</u> - Check over slate roofing, box gutters, flashing and capping throughout, repair as part of the ongoing maintenance programme - Inspect chimneys for missing mortar joints, and slipped flashing at roof joints as part of ongoing maintenance programme
			
Clearstory	Excellent	Exceptional	- Undertake regular inspection and repair as part of ongoing maintenance programme
Lift motor room	Fair to Good	Little	- Inspect regularly and repair as required
WEST (GEORGE STREET) ELEVATION			
Walls	Good	Exceptional	<u>Immediate work (0-6 months)</u> - Inspect crack at the top gable end of Bay 5 above southern most rainwater head, repair and ensure no structural issue or safety hazard occurs
			
Windows	Good	High	<u>Conservation works (6-12 months)</u> - Check over timber frames and sills repair and repaint as required
Window Sills & Lintels	Excellent to Good	Exceptional	- Undertake regular inspections and repair & repainting works as necessary as part of ongoing maintenance programme
Doors	Excellent to Good	Exceptional	- Inspect and repair, clean stonework, repaint timber door and iron gate as part of ongoing maintenance programme
Iron wall vents	Good	High	- Inspect for any blockage as part of ongoing regular maintenance programme
NORTH (HICKSON ROAD) ELEVATION			
Windows	Excellent	High	- Check over timber joinery & repaint as part of ongoing maintenance programme

Schedule of Conservation Works			
Former Australasian Steam Navigation Company Building			
Element	Condition	Significance	Action/Treatment
Window Sills & Lintels	Excellent to Good	Exceptional	- Undertake regular inspections and repair works as necessary as part of ongoing maintenance programme
French Doors	Good	High	- Undertake regular inspections and repair & repainting works as necessary as part of ongoing maintenance programme
Iron wall vents & louvered arched ventilation window	Good	High	- Inspect for any blockage as part of ongoing regular maintenance programme
Central bay balcony	Good	Exceptional	- Inspect regularly for structural movement or any defect in the wall joints and wrought iron brackets. Repair as required in accordance with general conservation policies
Copper downpipes & rainwater heads	Good	High	- Undertake regular inspections and repair works as necessary as part of ongoing maintenance programme
EAST (CIRCULAR QUAY WEST) ELEVATION			
Windows	Excellent	High	- Check over timber joinery & repaint as part of ongoing maintenance programme
Window Sills & Lintels	Excellent to Good	Exceptional	- Undertake regular inspections and repair works as necessary as part of ongoing maintenance programme
Doors	Excellent	High to Little	- Undertake regular inspections and repair works as necessary as part of ongoing maintenance programme
Iron wall vents, Copper downpipes, rainwater heads	Good	High	- Inspect for any blockage as part of ongoing regular maintenance programme
SOUTH ELEVATION			
Walls	Good	Exceptional	<u>Medium term works (6-12 months)</u> - Monitor regularly and (Following completion of adjacent construction works) undertake inspections where the hoarding ties are connected including parapet and two louvered windows. Ensure no structural damage occurs
INTERIOR			
GROUND FLOOR			
Walls	Excellent to Good	High	- Undertake regular inspections and repair works as necessary as part of ongoing maintenance programme - Repair and repaint flaked paint around the timber stair of Bay 1 as part of next regular maintenance programme
Windows + Doors	Excellent	High to Little	- Undertake regular inspections and repair & repainting works as required as part of ongoing maintenance programme

Schedule of Conservation Works Former Australasian Steam Navigation Company Building			
Element	Condition	Significance	Action/Treatment
Floors	Fair to Good		<u>Immediate works (0-6 months)</u> - Inspect and identify cause of rising damp throughout Bays 1-5 with particular attention to eastern side of Bay 1. Rectify and replace carpet flooring over concrete slab following rectification.
Timber Stair – Bay 1	Fair to Good	High	- Inspect worn timber treads and lay carpet to avoid further deterioration as part of next maintenance programme
FIRST FLOOR			
Walls	Excellent	High	- Undertake regular inspection throughout and repair works if necessary as part of ongoing maintenance programme. Repaint previously painted surface with matching colour
Ceilings	Fair to Good	High	<u>Medium term works (6-12 months)</u> - Inspect and repair damage to ceiling plasterboard in Office 1 of Bay 1
			
Windows	Excellent	High	- Undertake regular inspections and repair/repainting works as part of ongoing maintenance programme
SECOND FLOOR			
Walls	Excellent	High	- Undertake regular inspection throughout and repair works if necessary as part of ongoing maintenance programme. Repaint previously painted surface with matching colour - Check over paint flaking in Bay 1 office spaces, repair and repaint with matching colour scheme. Avoid damage to walls by refraining from attaching materials to walls such as strong blue gum etc.
Windows	Excellent	High	- Undertake regular inspections and repair/repainting works as part of ongoing maintenance programme
Doors	Excellent	High	- Undertake regular inspections and repair/repainting works as part of ongoing maintenance programme

Schedule of Conservation Works Former Australasian Steam Navigation Company Building			
Element	Condition	Significance	Action/Treatment
Ceiling	Excellent	High	Undertake regular inspections and repair/repainting works as part of ongoing maintenance programme
THIRD FLOOR			
Walls	Excellent to Good	High	<u>Medium term works (6-12 months)</u> - Inspect throughout all Bay 1 walls for paint flaking and repair and repaint as required. Give particular attention to wet areas within former caretaker's suit as seen in the photo. - Monitor cracks within the clock tower room, rectify and repaint as required. <u>Conservation works (6 months – 2 years)</u> - Undertake regular inspection throughout and repair works if necessary as part of ongoing maintenance programme. Repaint previously painted surfaces with matching colour
			
Ceilings	Good to Fair	High	- General paint flaking evident indicating moisture problem. Undertake regular inspection throughout and repair works if necessary as part of ongoing maintenance programme. Repaint previously painted surfaces with matching colour
Windows, Sills & Lintels	Good	High	<u>Medium term works (6-12 months)</u> - Check over broken top sash rail at western wall of Bay 3. Splice repair and repaint to match. <u>Conservation works (6 months – 2 years)</u> - Undertake regular inspections, repair and repaint as required. Do not paint previously unpainted surfaces
Timber stairs	Good	High	<u>Immediate works (0-6 months)</u> - Check over broken tread at the top of Clearstory stair (Bay 1), splice repair and repolish to match existing
FOURTH FLOOR			
Generally	Excellent	Exceptional to Little	- Undertake regular inspections as part of ongoing maintenance programme

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of the Former Australasian Steam Navigation Company Building. Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

Schedule of Ongoing Maintenance Former Australasian Steam Navigation Company Building				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
URGENT MAINTENANCE (as they occur)				
Blocked or broken stormwater and sewerage lines that require repair or cleaning. Clearing of blocked box gutters and downpipes. Damaged or defective light fittings and switches. Broken water service or leaking faucets and toilet cisterns. Failed light bulbs/fittings. Storm damage to building fabric. Vandalism or break and enter damage to windows and doors. Broken or defective locks and latches, replacement of keys or lock cylinders.				
ALL AREAS GENERALLY				
The defects identified in the 4th year inspection of the windows and doors should be rectified prior to painting if programmed for the same year. Avoid painting unpainted face brickwork and stonework throughout both externally and internally. Avoid combining dissimilar materials that will react with each other. Ensure all exits are free from obstruction, avoid restricting with storage items. Inspect for loose, inadequate or damaged hardware. Ensure joinery elements operate satisfactorily. Avoid installing fans or air-conditioners in windows. Avoid replacing with hardware not in keeping with the existing and removing original hardware.				
EXTERIOR				
WALLS: BRICKWORK		Inspect condition	Inspect for loose, broken or missing mortar joints and bricks, patch repair as necessary matching the existing fabric as nearly as possible in colour, grain, bedding, durability and chemical composition. Inspect for crumbling and surface salt that indicates a moisture problem. Ensure ventilation grills are not blocked or covered over and appropriate.	
				Clean brickwork and repoint if necessary in accordance to conservation specialist recommendations.
WALLS: STONWORK		Inspect condition	Check for fretting and deterioration repair as necessary.	Clean stonework and repoint if necessary in accordance to conservation specialist recommendations.

Schedule of Ongoing Maintenance Former Australasian Steam Navigation Company Building				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
WINDOWS – TIMBER	Inspect for broken or cracked glass or putty	Inspect for loose or damaged mouldings, architraves, fittings, decayed stiles at sill level, sashes, sash joints, decayed or broken sash cords and slipped and loose flashing.		Major repairs to external windows: Reset frames, check flashing and patch repair defective elements as necessary.
			Inspect for paint deterioration and weathering. Suitably prepare and paint.	
DOORS – TIMBER LOADING DOORS & PLATFORMS	Inspect for broken or cracked glass. Ensure operate smoothly.	Inspect for loose, decayed or damaged jambs, thresholds, fittings and ensure operate smoothly.	Inspect for paint deterioration and weathering. Suitably prepare and paint.	Major repairs to external doors: Reset frames, check flashing and patch repair defective elements as necessary.
WROUGHT IRON & METAL ELEMENTS		Monitor condition and corrosion.		Repair and repaint as required.
ROOF – SLATE	Monitor condition and inspect for slipped broken and fretted slates repair as required.			Replace as necessary.
DRAINAGE – BOX GUTTERS, CAPPING, FLASHING, COPPER DOWNPIPES & RAINWATER HEADS	Inspect box gutters for rubbish and debris. Inspect box gutter linings for corrosion and defective joints. Ensure stormwater drains are not blocked. Inspect for loose or slipped external flashing and broken mortar bedding. Inspect for vegetation growth at parapet remove as required.			Inspect gutters for deformation, bent or squash from stepping over and inspect for over-strapping. Avoid replacing with material other than copper.
		Inspect gutter and downpipe joints for cracks, loose or missing brackets. Check if growth, moss or stains surrounding downpipes can indicate blockages. Look for downpipes that are squashed or damaged and restrict water flow. Check if downpipes are connected to the stormwater system and, if so, whether joints are sound. Check that stormwater drains are not blocked.		

Schedule of Ongoing Maintenance				
Former Australasian Steam Navigation Company Building				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
STONE STEPS & BOUNDARY WALLS		Check for deterioration, fretting, ensure safe and sound.		
COURTYARD	Inspect gravel and paving for defects and loose pavers, plant growth around the wall edges. Repair as required.			
INTERIOR				
OFFICE BLOCK – BAY 1				
WALLS – RENDERED BRICK WALLS		Inspect for structural cracks, and cracked, damaged and drummy render and patch repair where necessary matching the existing. Inspect for water penetration and paint deterioration. Inspect wall tiles in kitchen and bathrooms for cracks, damage or watertightness.		Inspect for any signs of structural movements, if necessary have a structural engineer to inspect. Repair and repaint as required.
WINDOWS		Inspect for loose or damaged mouldings, architraves, and decayed stiles at sill level, sashes, decayed and broken sash cords, sash joints, and slipped and loose flashing. Check internal faces around windows for stains that can indicate failed flashing. Inspect window sills, frames and sashes for paint deterioration and weathering.		
DOORS		Inspect for loose jambs, damage around locks, firm joints, damaged or missing mouldings and broken or cracked glazing. Check if door stops are installed or missing. Inspect for paint deterioration.		
CEILING		Inspect for water penetration, stains and paint deterioration, and check for splits between ceiling linings and the walls.		
FLOORS	Monitor condition.		Repair and repolish as required.	
FIREPLACE		Inspect for any signs of structural movements, if necessary have a structural engineer to inspect. Repair and repaint painted mantel pieces as required.		

Schedule of Ongoing Maintenance Former Australasian Steam Navigation Company Building				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
TIMBER STAIRS	Monitor structural integrity.	Repair and repolish as necessary.		
CLEARSTOREY		Inspect for paint deterioration and weathering. Check over structural elements, repair and repaint as required. Check internal faces around windows for stains that can indicate failed flashing.		
CLOCKTOWER	Monitor structural integrity including floors & spire roof.	Repair and refinish as necessary.		
WAREHOUSE – BAYS 2-5				
WALLS – STONE		Inspect for structural cracks, and deterioration clean and repair as required.		
WALLS – FACE BRICK & RENDERED PAINTED BRICK		Inspect for structural cracks, and cracked, damaged and drummy render and patch repair where necessary matching the existing. Inspect for water penetration and paint deterioration. Inspect face brick walls for loose, broken or missing mortar joints and bricks, patch repair as necessary. Do not paint or render face brickwork.		Clean brickwork and repoint if necessary in accordance to conservation specialist recommendations.
WINDOWS		Inspect for loose or damaged mouldings, architraves, and decayed stiles at sill level, sashes, decayed and broken sash cords, sash joints, and slipped and loose flashing. Check internal faces around windows for stains that can indicate failed flashing.		
			Inspect window sills, frames and sashes for paint deterioration and weathering.	
DOORS		Inspect for loose jambs, damage around locks, firm joints, damaged or missing mouldings and broken or cracked glazing. Check if door stops are installed or missing. Inspect for paint deterioration.		

Schedule of Ongoing Maintenance				
Former Australasian Steam Navigation Company Building				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
CEILING		Inspect for loose herringbone bracing, broken timber board and loose joints or water stains repair as required. Do not paint timber exposed ceilings.		Check over and replace by splicing as required.
FLOORS	Monitor condition.			Repair and refinish as required.
STAIRS		Monitor structural integrity repair and refinish as necessary.		
ROOF SPACE –TIMBER POST & BEAM AND KINGPOST TRUSS STRUCTURE		Monitor condition for structural movements and true vertical alignment.	Repair as required. Consult a structural engineer if required.	
LIFT	Inspect according to manufacturers recommendations.			
SERVICES & FITTINGS				
FIRE SERVICES	Inspect smoke detector controls according to services manual and authority regulations.			
HYDRAULIC	Inspect hot water system according to services manual and authority regulations. Inspect taps for drips, ease of operation and secured to walls or supports.			
ELECTRICAL	Inspect electricity services for damaged and loose fittings according to services manual and authority regulations. Inspect power supply according to services manual and authority regulations.			
STORMWATER / DRAINAGE	Inspect stormwater system for blockage and damage. Inspect sewerage system for damaged grates and blockage.			

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Primary Resources

- City of Sydney Archives Map & Image Collection
- *Letterbooks of William Wardell 1883-1890,* Mitchell Library, State Library of NSW.
- Mitchell Library, including Small Picture File
- Parkes Corresp, ASN Co, Mitchell Library
- Rate Assessment Books and Valuation Lists, City of Sydney
- *Sands Directory of NSW*
- Sydney Harbour Foreshore Authority Archives
- *Sydney Morning Herald*

10. Appendix

10.1 Appendix A: Standard Exemptions

Any major works that are proposed to a SHR item need to be assessed and approved by the Heritage Council of NSW to ensure that the heritage significance of the item will not be adversely affected.

To achieve efficiency and focus only on activities that may affect significance, s.57 of the Heritage Act contains provisions for granting exemptions for certain activities that would otherwise require approval under the Act. There are two types of exemptions that can apply to the property:

- Standard exemptions such as building maintenance, minor repairs, alterations to certain interiors and change of use.
- Site-specific exemptions that relate to a particular property.

This Section presents list of activities eligible for exemptions from seeking further approval under Standard Exemptions presented in S.57 of the Heritage Act. The site-specific conservation framework developed within this Conservation Management Plan presented in Sections 8.2 –Minimum Standards of Maintenance and Repair, 8.3 –Schedule of Conservation Works, and 8.4 –On-going Maintenance, will also be exempt from further reference to the NSW Heritage Council, once this document has been endorsed by the Foreshore Authority, under delegated authority to the Foreshore Authority to endorse minor development to SHR items.

SCHEDULE OF EXEMPTIONS TO SUBSECTION 57(1) OF THE *HERITAGE ACT 1977*

MADE UNDER SUBSECTION 57(2)

GENERAL CONDITIONS

1. These general conditions apply to all of the following Exemptions.
2. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the NSW Heritage Office including *"The Maintenance of Heritage Assets: A Practical Guide" 1998*, *"Moveable Heritage Principles" 2000* and *"The Heritage Council Policy on Managing Change to Heritage Items"*.
3. The following standard Exemptions do not apply to anything affecting relics, places, items or sites if heritage significance to Aboriginal peoples or which affects traditional access by Aboriginal people.
4. The Assistant Director or Principle Heritage Officers may carry out any of the functions or powers of the Director of the Heritage Office under these Exemptions.
5. In these Exemptions, words shall be given the same meaning as in the *Heritage Act 1977* ("the Act") unless the contrary intention appears from the context of the exemption.
6. Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

STANDARD EXEMPTION 1: MAINTENANCE AND CLEANING

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- (a) the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
- (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

STANDARD EXEMPTION 2: REPAIRS

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

- (a) the replacement of services such as cabling, plumbing, wiring and fire services that used existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
- (b) the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

STANDARD EXEMPTION 3: PAINTING

1. Painting does not require approval under s. 57(1) of the Act if the painting:

- (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;

(b) involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting;

(c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.

2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:

(a) the Director is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and

(b) the person proposing to undertake the painting has received a notice advising that the Director is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

STANDARD EXEMPTION 4: EXCAVATION

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director is satisfied:

(a) where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that there is little likelihood of there being any relics in the land or that any relics in the land are unlikely to have State or local heritage significance; or

(b) where the excavation or disturbance of land will have a minor impact on the archaeological resource; or

(c) where the excavation or disturbance of land involves only the removal of fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director shall notify the applicant.

NOTE: Any excavation with the potential to affect Aboriginal objects should be referred to the Director-General of the National Parks and Wildlife Service.

STANDARD EXEMPTION 5: RESTORATION

1. Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under s. 57(1) of the Act.

2. The following restoration does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director is satisfied:

(a) the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.

3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director shall notify the applicant.

STANDARD EXEMPTION 6: DEVELOPMENT ENDORSED BY THE HERITAGE COUNCIL OR DIRECTOR

1. Development specifically identified as exempt development by a conservation policy or strategy within a conservation management plan which has been endorsed by the Heritage Council of NSW or within an interim conservation management strategy endorsed by the Director does not require approval under s. 57(1) of the Act.

STANDARD EXEMPTION 7: MINOR ACTIVITIES WITH NO ADVERSE IMPACT ON HERITAGE SIGNIFICANCE

1. Anything which in the opinion of the Director is on a minor nature and will not adversely affect the heritage significance of the item does not require approval under s.57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed activity. If the Director is satisfied that the proposed activity meets the criteria set out in paragraph 1, the Director shall notify the applicant.

STANDARD EXEMPTION 8: NON-SIGNIFICANT FABRIC

The following development does not require approval under s.57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

(a) the alteration of the building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed development. If the Director is satisfied that the

proposed development meets the criteria set out in paragraph 1(a), the Director shall notify the applicant.

STANDARD EXEMPTION 9: CHANGE OF USE

The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director is satisfied:

- (a) the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; or
- (b) the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant association with the item by current users;

2. A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director and describe the changes proposed. If the Director is satisfied that the proposed development meets the criteria set out on paragraph 1(a) or (b), the Director shall notify the applicant.

STANDARD EXEMPTION 11: TEMPORARY STRUCTURES

1 The erection of temporary structures does not require approval under s. 57(1) of the Act, providing that the Director is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director is satisfied:

- (a) the structure will be erected and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 month;
- (b) the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological feature of its curtilage or obstruct significant views of and from heritage items.

2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director is satisfied that the proposed development meets the criteria set out paragraphs 1(a) and 1(b) the Director shall notify the applicant.

STANDARD EXAMPTION 13: SIGNAGE

1. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act:

- (a) temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
- (b) a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;

2. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act provided that the Director is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect is has received a notice advising that the Director is satisfied:

- (a) the erection of non-illuminating signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
- (b) signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;

3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director and describe the nature and purpose of the advertising or signage. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director shall notify the applicant.

4. Signage of the kind described in paragraph 1 and 2 must:

- (a) not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
- (b) be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
- (c) be able to be later removed without causing damage to the significant fabric of the item; and
- (d) reuse existing fixing points or insert fixings within joints without damage to adjacent masonry.

STANDARD EXEMPTION 15: COMPLIANCE WITH MINIMUM STANDARDS AND ORDERS

1. Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the *Heritage Regulation 1999* or an order issued under either:

- (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or
- (b) section 121S of the *Environmental Planning and Assessment Act 1979* regarding an order which is consistent with a submission by the Heritage Council under section 121S(6) of the Act;

does not require approval under s. 57(1) of the Act.

STANDARD EXEMPTION 16: SAFETY AND SECURITY

1. The following development does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

- (a) the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
- (b) development, including emergency stabilisation, necessary to secure safety where a building or part of a building has been irreparably damaged or destabilised and poses a safety risk to its users of the public.

2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director shall notify the applicant.

10.2 Appendix B: William Wardell and his letters

William Wardell was born in London in 1823. He had completed his education as an engineer, had spent a short time at sea and then worked for a London architect. In 1846, already an associate of the Royal Institute of British Architects, Wardell designed his first churches and completed other ecclesiastical work, domestic architecture and civil engineering commissions. On the advice of his doctor, in 1858 Wardell left England for Australia to seek a warmer climate so that his health might improve. In 1859 he became the Inspector-Clerk of Public Works in Victoria and in the following year Inspector General of the Public Works Department, with the right of private practice.⁴⁹

Having converted to Catholicism in 1843 he found a ready client in the Catholic Church, not only in Victoria, but also in other colonies and soon had established a flourishing private practice. The style of the churches and cathedrals, which he built, was consistently Gothic, as evidenced in his St Patrick's Roman Catholic Cathedral in Melbourne and St Mary's in Sydney. In 1870 Wardell travelled to Europe for health reasons. He used the opportunity to study Venetian Gothic in Italy. On his return, he designed the English Scottish and Australian Bank, Collins Street, Melbourne, in this style.

In 1878, after nineteen years in service, Wardell was dismissed as Victorian Government Architect, in the aftermath of corruption allegations against the Governor, Sir George Bowen. A Royal Commission was appointed and there was criticism of construction standards and over-spending on Public Works.

Having settled in Sydney, Wardell turned fully to private practice and from then until his death in 1899 he received many valuable commissions not only in Sydney, but also in Melbourne and Adelaide. In this period of his practice he restricted his work to non-ecclesiastical projects and expanded his range of styles to include Italianate, Palladian and Venetian.⁵⁰ Amongst his major works were the NSW Club (1884-86), the Union Club (1884-87) and the English, Scottish and Australian Bank. Wardell also designed the former Grafton Bond Warehouse in Hickson Road, and an office block for ASN, which stood at No.1 Sussex Street (now demolished).

From 1884 Wardell formed partnership with Walter Liberty Vernon, which lasted until Wardell's death. Vernon became Government Architect in 1890 and the practice was taken over by Wardell's architect son, H.E. Wardell.⁵¹

Wardell's letters to ASN Co. and to the contractor, dating between January 1884 and September 1885, recorded the following details of the construction process:

5 January 1884	to ASN Co.	No objection to using fifteen inch courses in the stone basement wall
7 January 1884	to ASN Co.	Advising that a survey of the boundaries of the land is necessary.
5 February 1884	to contractor	Tallow wood flooring for the Office building, blackbutt for the warehouse except for the basement, which was to be asphalt.
11 February 1884	to ASN Co.	Variation reducing work by £661.4.11 due to increased road reservation on the west side.

⁴⁹ Collingridge, 1981

⁵⁰ Jahn, 1997

⁵¹ Herman, 1956.

11 February 1884	to contractor	Same matter as above.
14 February 1884	to Clerk of Works	Approval given to place stiffness inside girders.
24 March 1884	to ASN Co.	Asking how Mr Murray, the Clerk of Works, is to be paid. Recommended £4.10 per week.
24 March 1884	to ASN Co.	Problems with party wall with Mariner's Church, suggesting that it should be pulled down and rebuilt. Also advising that it was necessary to go back to twelve-inch courses for stonework except for the windowsills as it affected the window heads.
24 March 1884	to contractor	Same matter as above.
25 March 1884	to ASN Co.	Clarifying that the wall against the Mariner's Church is a part wall.
27 March 1884	to contractor	Advising that the damage caused to Mariner's Church while blasting the rock was the contractor's responsibility.
3 April 1884	to contractor	Advising that the party wall with the Mariner's Church was to be demolished and rebuilt. Specification of caps and saddles given.
18 April 1884	to contractor	Advising that he would not accept hand-made lime mortar. Mill-made was acceptable, otherwise cement.
1 May 1884	to contractor	Clarifying the specification on the floor timber and advising him that the width specified included tongues and grooves.
1 May 1884	to contractor	Telling him to build in the strong room door frame. Lower floor, with the walls.
23 June 1884	to contractor	Clarifying situation with contract. Tender of £750 for contingencies. Work not completed was copings to doorways, retaining or dwarf walls, railings around the building and office furniture and fittings.
20 Dec. 1885	<i>From this date letters are signed Wardell and Vernon.</i>	
11 February 1885	to contractor	Advising that the proposal of the additional floor was abandoned.
16 February 1885	to contractor	Approving the use of first class Kauri tongue and grooved flooring in the Offices and hardwood in the upper floors of the warehouse.
5 March 1885	to Clerk of Works	Discussing proposal of contractor to take down the tower scaffold.

24 April 1885	to ASN Co.	Advising that he could not give a firm price for the retaining wall work as it was difficult to calculate the extent of work, instead proposing to use a schedule of rates. Also advising that fittings plans were nearly complete and tenders would be called shortly. Walls of the two principal floors to be painted to five feet and above this tinted in Kalsamine to give the Offices a finished appearance.
28 April 1885	to contactor	Requesting payment to Corbel of £100 for work done.
19 May 1885	to ASN Co.	Tenders received for office fittings are: Jones & McIntyre £680 Biquell & Clark £641 W.H. Jennings £615 (recommended) J. Buchanan £668 V. Dean £632.10
22 June 1885	to ASN Co.	Advising that he directed the spouting to the east side of the Office to be omitted. Also advising that No.4 store (southern end) was ready for occupation.
(near completion)		
22 July 1885	to ASN Co.	Discussions regarding the downpipes.
23 July 1885	to ASN Co.	Discussions relating to hoists.
3 Sept. 1885	to ASN Co.	Advising that the Mariner's Church Administration claim that the contractor caused roof damage to the Church was not supported.
30 Sept. 1885	to ASN Co.	Requested to keep drains clean to prevent the basement flooding.