

Regulated Design Record				
Project Address:				
Project Title:				
Consent No:		Body Corporate Reg No:		
Drawing Title:		Drawing No:		
Rev	Date	Description	DP Full Name	Reg No
	dd.mm.yy			

CONCEPT ENGINEERING PLANS OF SITE 5 - CIVIL INFRASTRUCTURE LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK



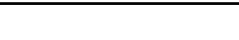
LOCALITY SKETCH
NOT TO SCALE

INDEX OF DRAWINGS

DRAWING No.	DRAWING NAME
300443-CENG-S5-001	COVER SHEET, LOCALITY SKETCH & INDEX OF DRAWINGS
300443-CENG-S5-002	OVERALL SITE PLAN
300443-CENG-S5-101	GENERAL ARRANGEMENT PLAN - SHEET 1
300443-CENG-S5-102	GENERAL ARRANGEMENT PLAN - SHEET 2
300443-CENG-S5-201	DRIVEWAY PLAN AND PROFILES
300443-CENG-S5-401	STORMWATER CATCHMENT PLAN
300443-CENG-S5-411	STORMWATER DETAILS - SHEET 1
300443-CENG-S5-412	STORMWATER DETAILS - SHEET 2
300443-CENG-S5-421	WSUD FILTER TANK PLAN & DETAILS
300443-CENG-S5-501	BULK EARTHWORKS PLAN
300443-CENG-S5-511	BULK EARTHWORKS SECTIONS
300443-CENG-S5-601	EROSION & SEDIMENT CONTROL PLAN
300443-CENG-S5-611	EROSION & SEDIMENT CONTROL NOTES
300443-CENG-S5-701	TINSW ACCESS DWG



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au	CLIENT	PROPERTY DESCRIPTION	PROJECT			
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	ALL DIMENSIONS ARE IN METRES. DO NOT SCALE			URBAN PROPERTY	LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	SITE 5 - CIVIL INFRASTRUCTURE			
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH						PLAN TITLE	COVER SHEET, LOCALITY SKETCH & INDEX OF DRAWINGS		
										SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443	DISCIPLINE CENG	NUMBER 001	REV. A

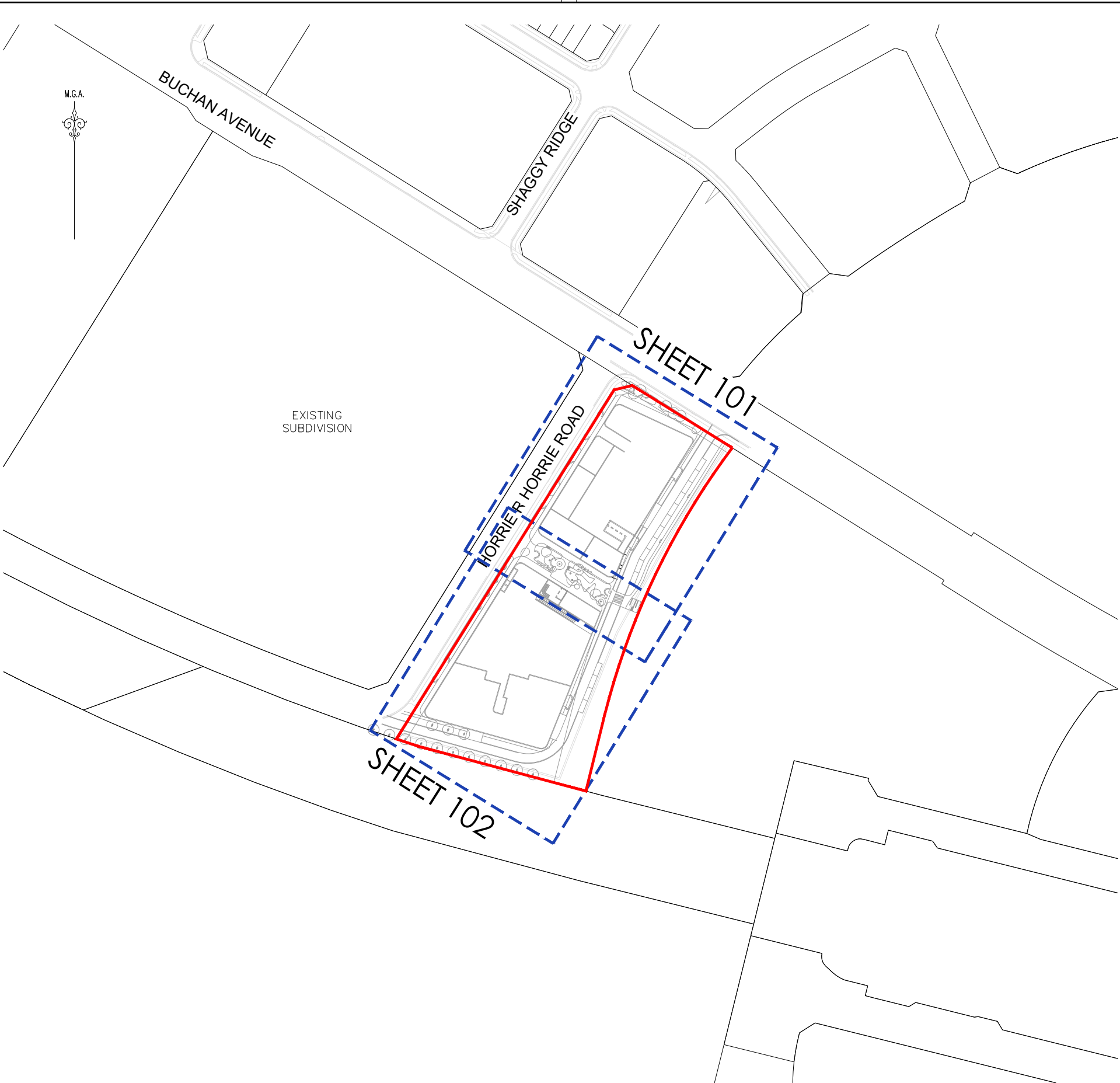
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	dd.mm.yy				

LEGEND

SITE BOUNDARY

FUTURE LOT BOUNDARY

ORIGIN OF LEVELS
BENCH MARK
S.S.M. 219384
E 301 780.458
N 6 239 644.761
R.L. 63.13 A.H.D.



OVERALL SITE PLAN
SCALE 1:1000

GENERAL NOTES:

GENERAL:

- FOR STANDARD COUNCIL NOTES & DETAILS REFER TO **LIVERPOOL COUNCIL STANDARD DRAWINGS**.
- SETOUT INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR AGAINST THE PLAN VIEW, LONGITUDINAL SECTIONS, AND ELECTRONIC 12D DATA BEFORE BEING USED. IF THERE IS A DISCREPANCY, THE SUPERINTENDENT IS TO BE NOTIFIED AND DIRECTION WILL BE PROVIDED IN WRITING BEFORE PROCEEDING.
- THE DRAWINGS ARE A DIAGRAMMATIC REPRESENTATION OF THE WORK TO BE CARRIED OUT ONLY, AND DIMENSIONS SHALL NOT BE OBTAINED BY SCALING.
- ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BENCHMARKS TO THE **AUSTRALIAN HEIGHT DATUM (A.H.D.)**.
- POINTS OF CONFLICT BETWEEN NEW CONSTRUCTION AND EXISTING UTILITY SERVICE MAINS SHALL BE IDENTIFIED, EXPOSED AND REPORTED TO THE PROJECT MANAGER PRIOR TO CONSTRUCTION. SERVICE CONDUITS SHALL BE LAID IN POSITIONS AS APPROVED BY THE RELEVANT AUTHORITY.
- ALL MATERIALS AND PRODUCTS FOR INSTALLATION AND CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN STANDARDS.
- THE INSPECTION, SUPERVISION AND REPORTING REQUIREMENTS OF A SUITABLY QUALIFIED ECOLOGIST REGARDING THE REMOVAL AND RELOCATION OF ANY THREATENED FAUNA SPECIES SHALL BE UNDERTAKEN AS PER RELEVANT CONDITIONS OF CONSENT.
- ALL DIMENSIONS OF EASEMENTS AND LOTS ARE SUBJECT TO REGISTRATION OF DEPOSITED PLAN.
- WORKING HOURS ON SITE SHALL BE IN ACCORDANCE WITH E.P.A. REQUIREMENTS AND CONDITIONS OF CONSENT.
- VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
- NO TREES ARE TO BE REMOVED WITHOUT PERMISSION UNLESS OTHERWISE IDENTIFIED IN THE VEGETATION MANAGEMENT PLAN.
- TREES AND OTHER VEGETATION MAY ONLY BE REMOVED FROM THE SITE OF ROAD, DRAINAGE, BUSHFIRE MITIGATION, REGRADING WORKS AND AS SHOWN IN THE CONSTRUCTION CERTIFICATE. AN APPLICATION SHALL BE MADE TO COUNCIL FOR THE REMOVAL OF ANY OTHER TREES.
- TREES AND SHRUBS WHICH ARE FELLED SHALL BE SALVAGED FOR RE-USE, EITHER IN LOG FORM, OR AS A WOODCHIP MULCH FOR EROSION CONTROL AND/OR SITE REHABILITATION. NON-SALVAGEABLE MATERIAL SUCH AS ROOTS AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER.
- ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE:
 - EROSION AND SEDIMENTATION CONTROL PLAN.
 - CONSTRUCTION MANAGEMENT PLAN.
 - CONDITIONS OF DEVELOPMENT CONSENT.
 - TRAFFIC AND PEDESTRIAN MANAGEMENT PLAN.
 - NOISE AND VIBRATION MANAGEMENT PLAN.
 - ABORIGINAL CULTURAL HERITAGE MANAGEMENT PLAN.
 - ENVIRONMENTAL MANAGEMENT PLAN.
 - CONTAMINATION WORK METHOD STATEMENT.
 - LANDSCAPING MANAGEMENT PLAN.
 - BUSHFIRE MANAGEMENT PLAN.
- ALL REASONABLE MEASURES SHALL BE UNDERTAKEN TO PROTECT ALL OTHER VEGETATION ON THE SITE AND ON ADJOINING LANDS FROM DAMAGE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO:
 - CLEARLY MARKING TREES TO REMAIN;
 - AVOIDING COMPACTION OF GROUND AROUND TREES TO REMAIN;
 - CLEARLY DELINEATING THE AREA OF DISTURBANCE, AND KEEPING ALL VEHICLES, CONSTRUCTION MATERIALS AND REFUSE WITHIN THAT AREA;
 - LIMITING THE NUMBER OF ACCESS POINTS;
 - LAY-DOWN AREAS ARE TO BE LOCATED WITHIN ROAD CORRIDORS OR OTHER CLEARED AREAS IDENTIFIED IN THE CMP;
 - ACTIVITIES THAT RESULT IN HIGH SOIL COMPACTION SHALL NOT BE CARRIED OUT WITHIN THE VICINITY OF VEGETATION TO BE RETAINED;
 - VEGETATION TO BE RETAINED IS TO BE CLEARLY MARKED AND SIGNPOSTED TO ENSURE THAT IT IS NOT REMOVED OR DAMAGED;
 - A PERIMETER FENCE SHALL BE PROVIDED AROUND THE PROTECTED TREE BUFFER AREAS DURING CONSTRUCTION;

TRAFFIC CONTROL:

- TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH **AS1742**.

SURVEY MARKS:

- SURVEY MARKS ARE TO BE CAREFULLY PRESERVED BY THE CONTRACTOR. DAMAGED DESTROYED OR LOST MARKS WILL BE REPLACED BY THE SUPERVISING SURVEYOR AT THE CONTRACTOR'S EXPENSE.



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES	adw Johnson Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au	CLIENT	PROPERTY DESCRIPTION		PROJECT			
A B	16/02/26 26/02/26	ISSUED FOR REVIEW ISSUED FOR APPROVAL	JH JH	JS JS	JH JH	JH JH	1:1000 0 25 50m A1 A3 1:2000		URBAN PROPERTY	LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK		SITE 5 - CIVIL INFRASTRUCTURE		PLAN TITLE OVERALL SITE PLAN	
							ALL DIMENSIONS ARE IN METRES. DO NOT SCALE			SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443	DISCIPLINE CENG	NUMBER 002	REV. A

LEGEND

	SITE BOUNDARY
	EXISTING LOT BOUNDARY
	DESIGN CONTOURS
	NATURAL CONTOURS
	PROPOSED KERB
	EXISTING KERB
 SW	PROPOSED STORMWATER
	PROPOSED CULVERT
 S	PROPOSED SEWER
 W	PROPOSED WATER
 G	PROPOSED GAS
 E	PROPOSED ELECTRICITY
 NBN	PROPOSED NBN
 C	PROPOSED COMMS
 T	PROPOSED TELSTRA
 OF	PROPOSED OPTIC FIBRE
 ex SW	EXISTING STORMWATER
	PROPOSED SW PIT
	PROPOSED HEADWALL
	PROPOSED GPT

CONTOUR INTERVAL = 0.2m

1. SETOUT INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR AGAINST THE PLAN VIEW, LONGITUDINAL SECTIONS AND ELECTRONIC 12D DATA BEFORE BEING USED. IF THERE IS A DISCREPANCY THE SUPERINTENDENT IS TO BE NOTIFIED AND DIRECTION WITH BE PROVIDED IN WRITING BEFORE PROCEEDING.
2. FOR DRIVEWAY PLAN, NOTES AND DETAILS REFER SHEET **201**.

FOR STORMWATER CATCHMENT PLAN, NOTES AND DETAILS REFER TO SHEETS **401 TO 421**.

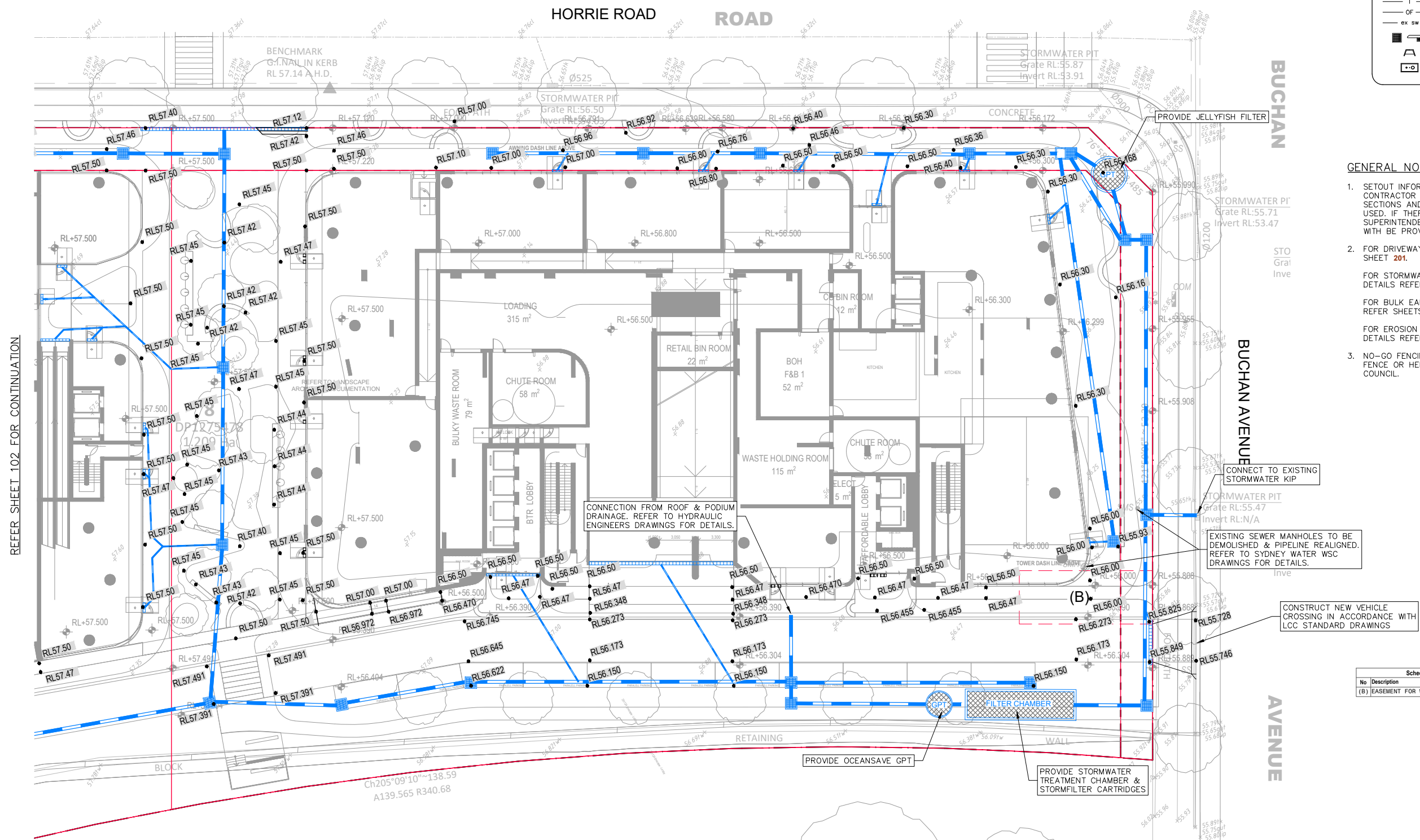
FOR BULK EARTHWORKS PLAN, NOTES AND SECTIONS REFER SHEETS **501 TO 511**.

FOR EROSION & SEDIMENT CONTROL NOTES AND DETAILS REFER TO SHEETS **601 TO 611**.
3. NO-GO FENCING TO BE 1.8m HIGH TEMP CHAINWIRE FENCE OR HELICOPTER TAPE AS DIRECTED BY COUNCIL.

Schedule of Easements & Restrictions	
No	Description
(B)	EASEMENT FOR WATER SUPPLY 5 WIDE (DP1275550)



NOT FOR CONSTRUCTION



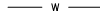
GENERAL ARRANGEMENT PLAN

SCALE 1:200

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au	CLIENT		PROPERTY DESCRIPTION	PROJECT						
A B	16/02/26 26/02/26	ISSUED FOR REVIEW ISSUED FOR APPROVAL	JH JH	5/26	JH JH	JH JH				Warriors Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au		LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	SITE 5 - CIVIL INFRASTRUCTURE						
ALL DIMENSIONS ARE IN METRES. DO NOT SCALE													PLAN TITLE						
														GENERAL ARRANGEMENT PLAN SHEET 1					
														SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
														ADW Johnson	GDA2020 M.G.A. ZONE 56 A.H.D.	300443	- CENG	- 101	A

Plotted By: Justin Hill Plot Date: 26/02/26 5:53:19PM Cad File: \\ADW-SVR1\DRAWING\300443\DWG\ENGINEERING\CENG\SITE 5\300443-CENG-S5-101.DWG

LEGEND

	SITE BOUNDARY
	EXISTING LOT BOUNDARY
	DESIGN CONTOURS
	NATURAL CONTOURS
	PROPOSED KERB
	EXISTING KERB
	PROPOSED STORMWATER
	PROPOSED CULVERT
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED GAS
	PROPOSED ELECTRICITY
	PROPOSED NBN
	PROPOSED COMMS
	PROPOSED TELSTRA
	PROPOSED OPTIC FIBRE
	EXISTING STORMWATER
	PROPOSED SW PIT
	PROPOSED HEADWALL
	PROPOSED GPT

REV.	DATE	AMENDMENT
A	16/02/26	ISSUED FOR REVIEW
B	26/02/26	ISSUED FOR APPROVAL



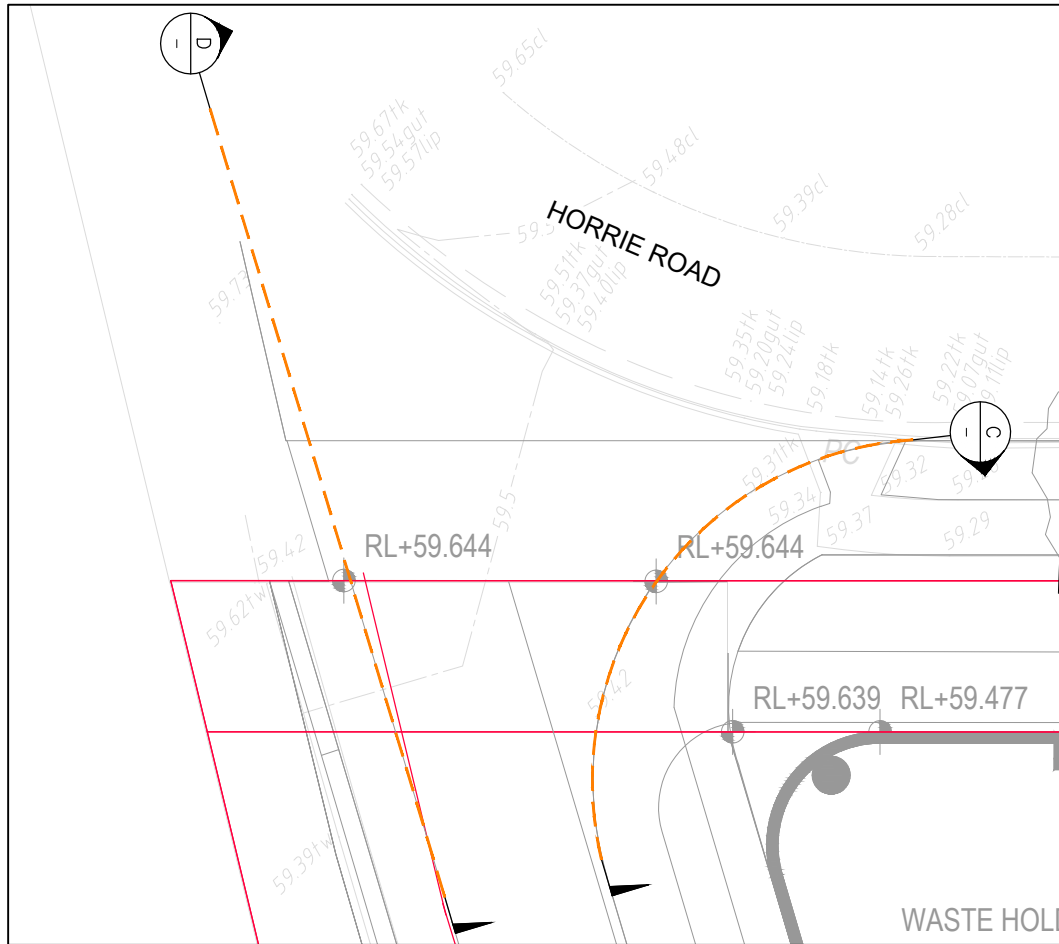
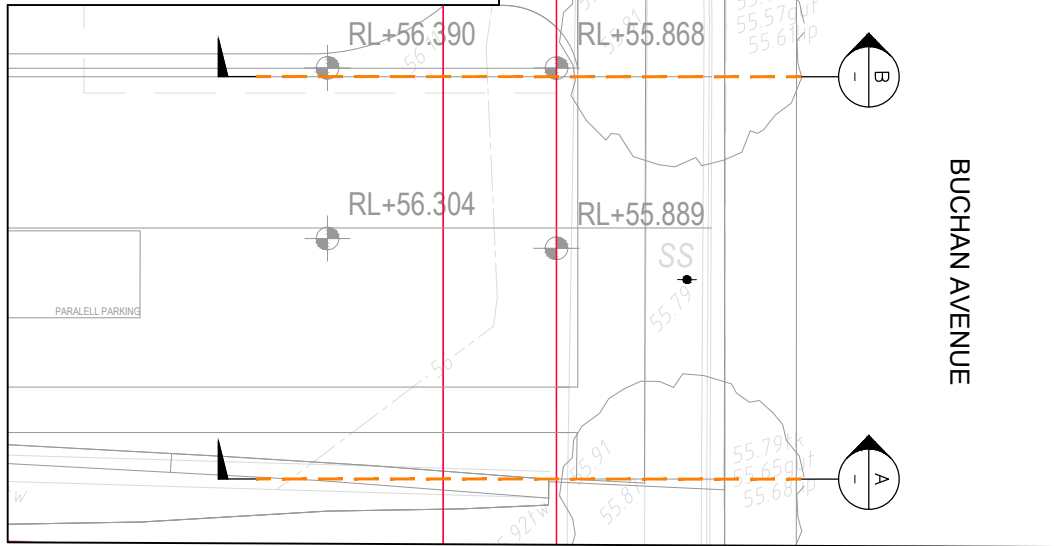
REFER SHEET 101 FOR CONTINUATION



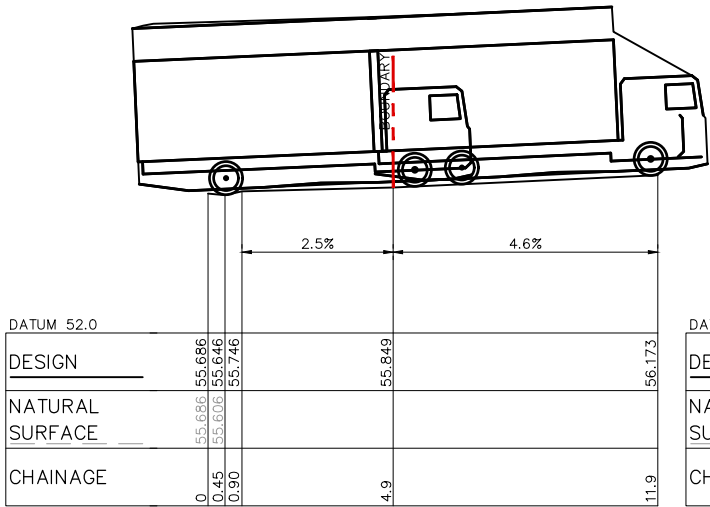
NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au	CLIENT		PROPERTY DESCRIPTION	PROJECT	SITE 5 - CIVIL INFRASTRUCTURE			
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH				PLAN TITLE		GENERAL ARRANGEMENT PLAN SHEET 2					
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH	ALL DIMENSIONS ARE IN METRES. DO NOT SCALE					SURVEYED ADW Johnson DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443 DISCIPLINE - CENG NUMBER - 102 REV. A				

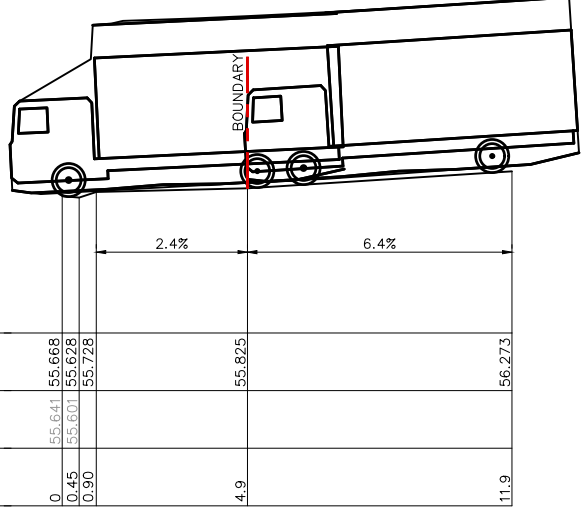
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Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



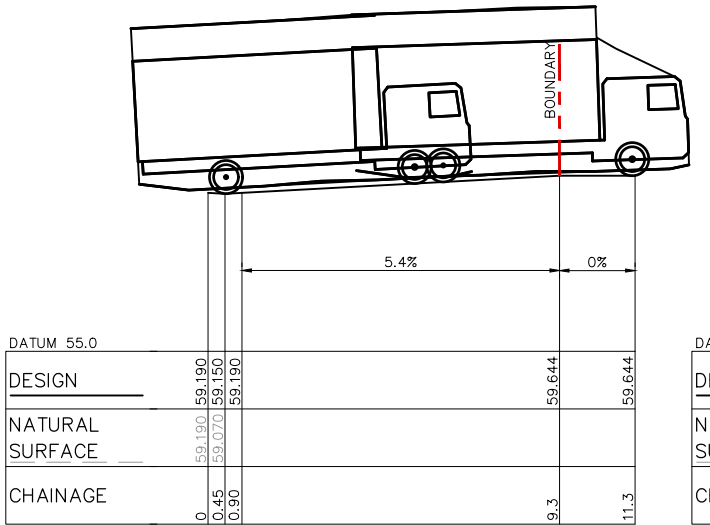
DRIVEWAY PLAN
SCALE 1:100



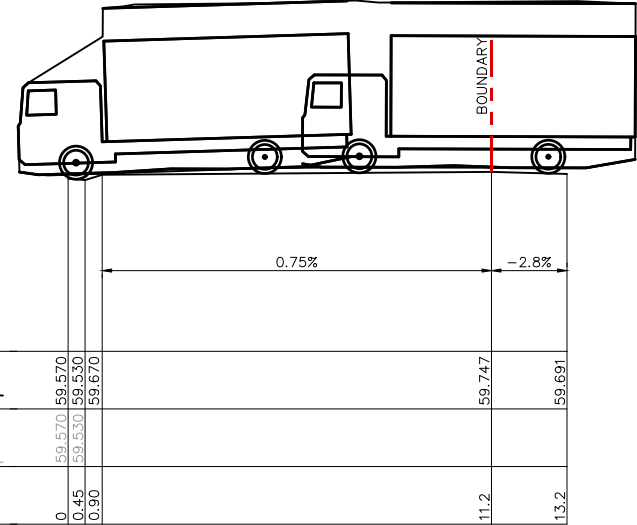
DRIVEWAY SECTION A
HORIZONTAL SCALE 1:10
VERTICAL SCALE 1:10



DRIVEWAY SECTION B
HORIZONTAL SCALE 1:10
VERTICAL SCALE 1:10



DRIVEWAY SECTION C
HORIZONTAL SCALE 1:10
VERTICAL SCALE 1:10



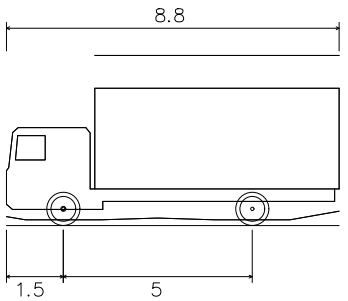
DRIVEWAY SECTION D
HORIZONTAL SCALE 1:10
VERTICAL SCALE 1:10

LEGEND	
	SITE BOUNDARY
	STAGE BOUNDARY
	PROPOSED LOT BOUNDARY
	EXISTING LOT BOUNDARY
	FUTURE LOT BOUNDARY
	PROPOSED SA KERB
	PROPOSED RT KERB
	PROPOSED FK KERB
	PROPOSED SM KERB
	PROPOSED DD KERB
	FUTURE KERB
	EXISTING KERB
	PROPOSED FOOTPATH
	ROAD PAVEMENT
	PROPOSED GUARDRAIL
	LIMIT OF WORKS
	PROPOSED SW PIT
	PROPOSED HEADWALL
	PROPOSED GPT

PICK ONE

GENERAL NOTES:

- FOR TYPICAL ROAD CROSS SECTIONS & KERB PROFILES REFER SHEETS **XXX TO XXX**.
- FOR ROAD SETOUT & LONGITUDINAL SECTIONS REFER SHEETS **XXX TO XXX**.
- FOR ROAD CROSS SECTIONS REFER SHEETS **XXX TO XXX**.
- FOR PAVEMENT DETAILS REFER SHEETS **XXX TO XXX**.
- FOR SUBSOIL DRAINAGE DETAILS REFER SHEETS **XXX TO XXX**.

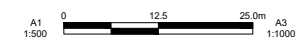


MRV - Vertical Clearance	
Overall Length	8.800m
Overall Width	2.500m
Overall Body Height	4.500m
Min Body Ground Clearance	0.150m
Track Width	2.500m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	10.000m



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REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	A1 1:500
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH	A3 1:1000



ALL DIMENSIONS ARE IN METRES. DO NOT SCALE

adw Johnson
Hunter
Warners Bay N.S.W. 2282
Ph. 02 4978 5100
Central Coast
Tuggerah N.S.W. 2259
Ph. 02 4305 4300
Sydney
Sydney N.S.W. 2000
Ph. 02 8787 4499
www.adwjohnson.com.au

CLIENT
URBAN
PROPERTY

PROPERTY DESCRIPTION
LOT 8, D.P. 1275478
HORRIE ROAD & BUCHAN AVENUE,
EDMONDSON PARK

SURVEYED
ADW Johnson

DATUM
GDA2020 M.G.A. ZONE 56 A.H.D.

PROJECT
SITE 5 - CIVIL INFRASTRUCTURE

PLAN TITLE
DRIVEWAY PLAN AND PROFILES

PROJECT No.
300443

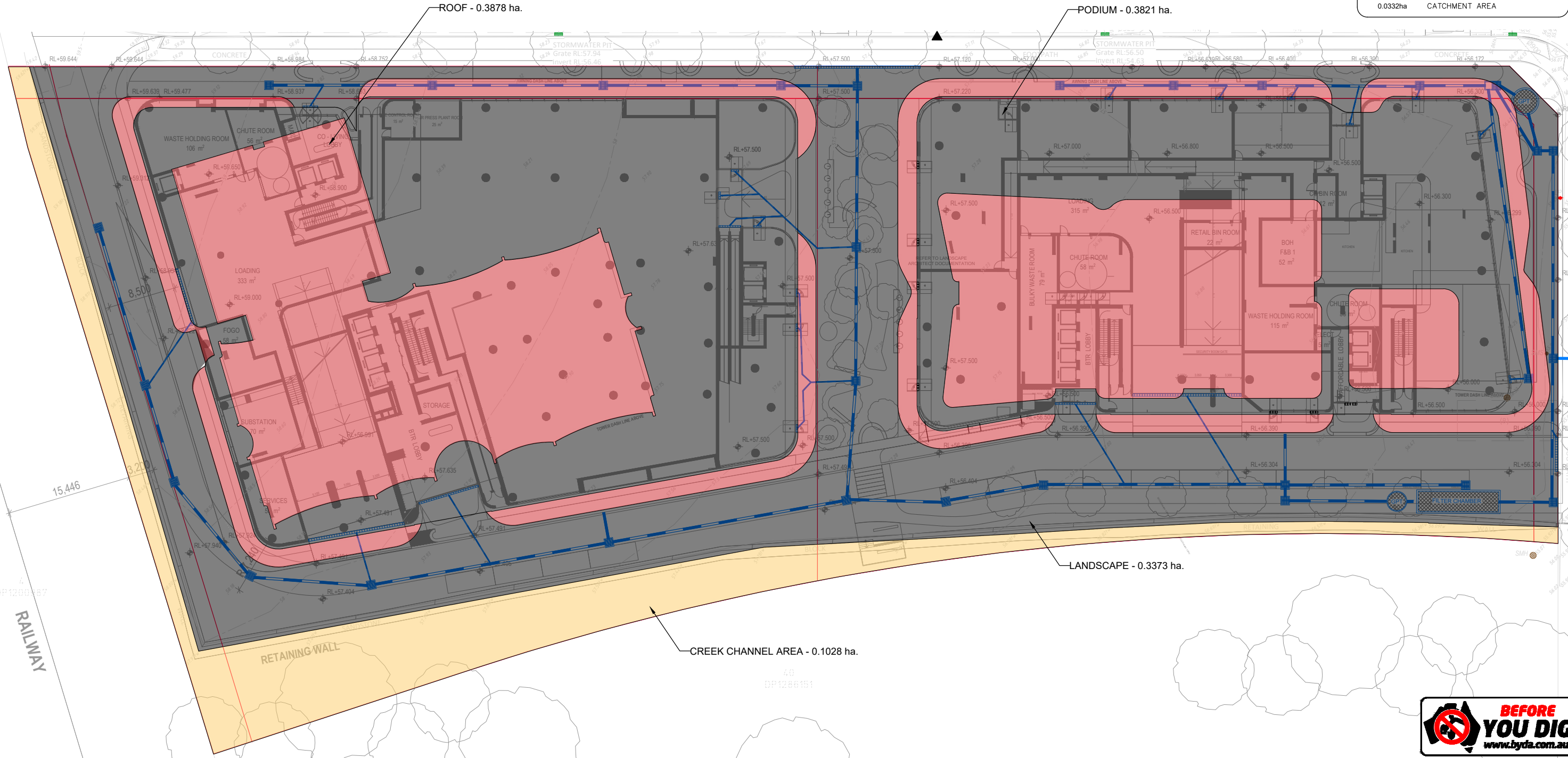
DISCIPLINE
CENG

NUMBER
201

REV.
A

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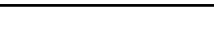
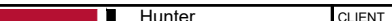
LEGEND	
	STORMWATER CATCHMENT
	EXISTING STORMWATER CATCHMENT
	PROPOSED STORMWATER
	PROPOSED CULVERT
	EXISTING STORMWATER
	FUTURE STORMWATER
	PROPOSED LINTEL
	PROPOSED SW PIT
	PROPOSED HEADWALL
	PROPOSED GPT
	PROPOSED STORMWATER PIT LABEL
	EXISTING STORMWATER PIT LABEL
	FUTURE STORMWATER PIT LABEL
136	CATCHMENT REFERENCE
0.0332ha	CATCHMENT AREA



STORMWATER CATCHMENT PLAN
SCALE 1:250

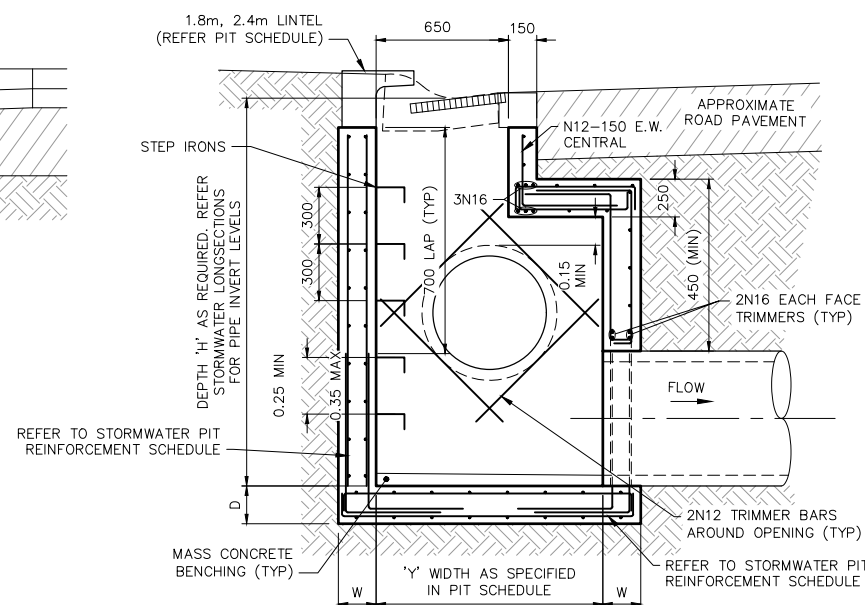


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A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH					LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK		SITE 5 - CIVIL INFRASTRUCTURE			
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH							PLAN TITLE STORMWATER CATCHMENT PLAN			
							ALL DIMENSIONS ARE IN METRES. DO NOT SCALE				SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443	DISCIPLINE CENG	NUMBER 401	REV. A

[illegible]

SECTION B
SCALE 1:20



SECTION B
SCALE 1:20

1. FOR STORMWATER SETOUT REFER LS.
2. ALL STORMWATER PITS DEEPER THAN **1.2m** TO HAVE STEP IRONS.
3. PRECAST PITS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
4. ALL INTERALLOTMENT DRAINAGE PITS TO BE PROVIDED WITH HINGED, LOCKABLE GRATES.
5. ALL INTERALLOTMENT DRAINAGE PITS DEEPER THAN **1.8m** TO BE DESIGNED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
6. ALL CONCRETE STORMWATER DRAINAGE PIPES ARE TO BE RUBBER RING JOINTED REINFORCED CONCRETE PIPES (R.C.P.) OR APPROVED EQUIVALENT AND CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
7. ALL BOX CULVERTS TO BE PRECAST WITH PRECAST SLABS.
8. ALL INTERALLOTMENT DRAINAGE TO BE SEWER GRADE UPVC (UNLESS OTHERWISE SHOWN) OR AN APPROVED EQUIVALENT. THE MINIMUM SLOPE OF INTERALLOTMENT DRAINAGE LINES SHALL BE 1% UNLESS SHOWN OTHERWISE. THE INTERALLOTMENT DRAINAGE UNLESS SHOWN OTHERWISE, LINE SHALL BE A MINIMUM OF 0.75m FROM THE BOUNDARY AND LOCATED IN AN EASEMENT 2.0m WIDE.
9. ALL PITS TO BE BENCHED AND STREAMLINED.



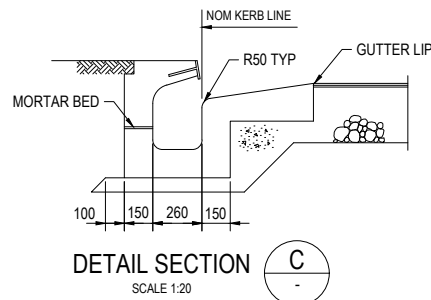
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										PLAN TITLE		STORMWATER DETAILS		
							SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443 –		DISCIPLINE CENG –	NUMBER 411	REV. A	

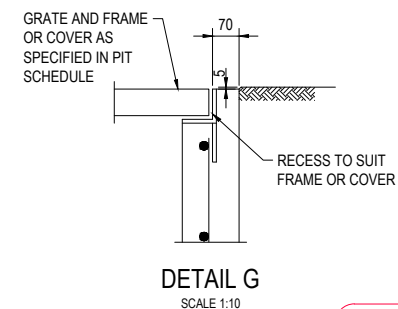
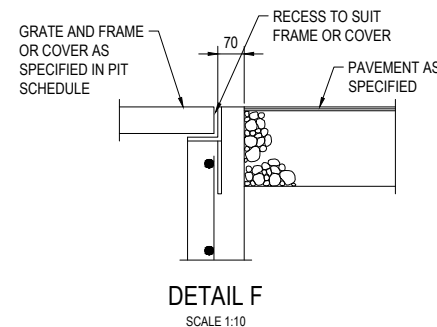
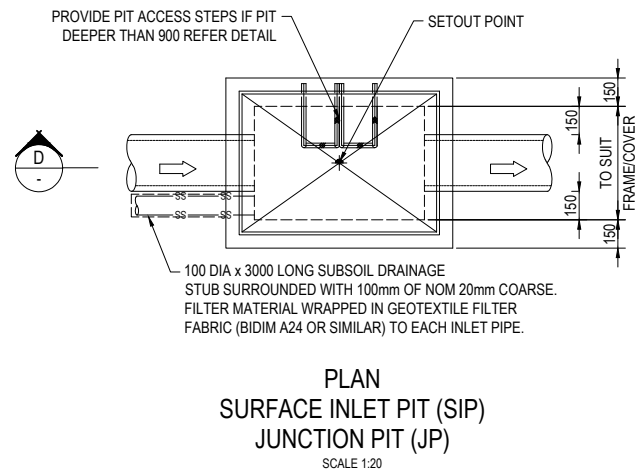
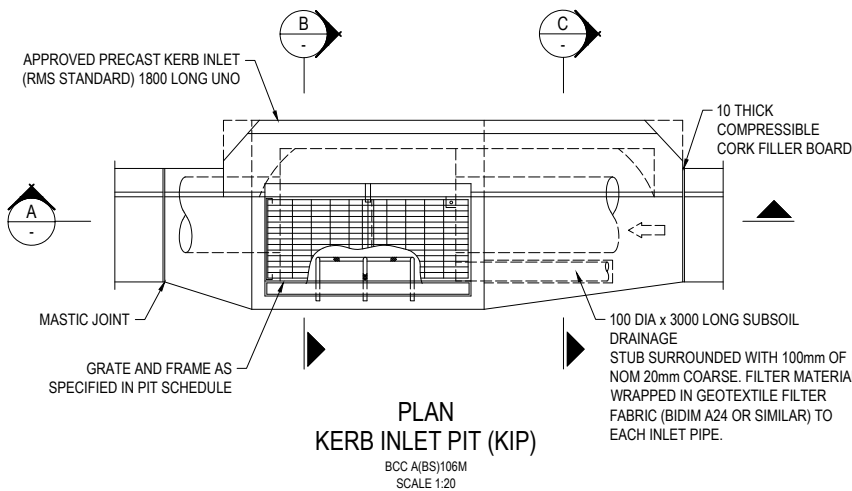
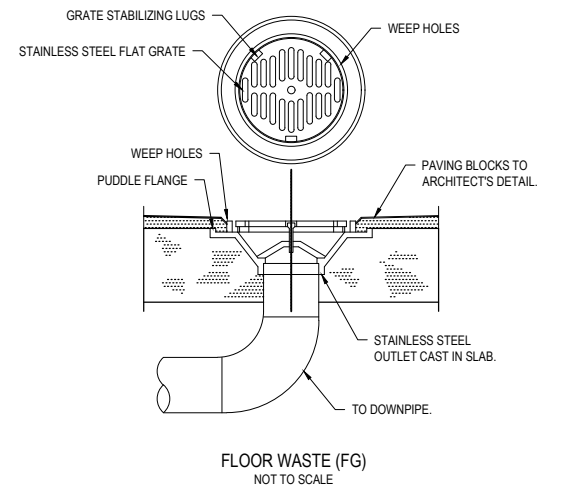
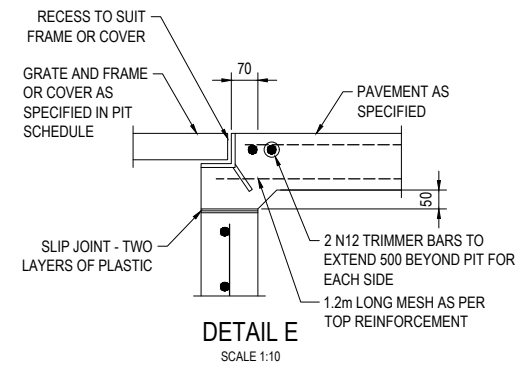
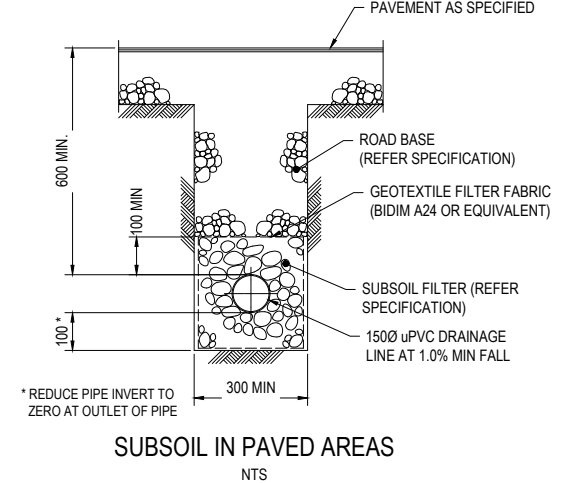
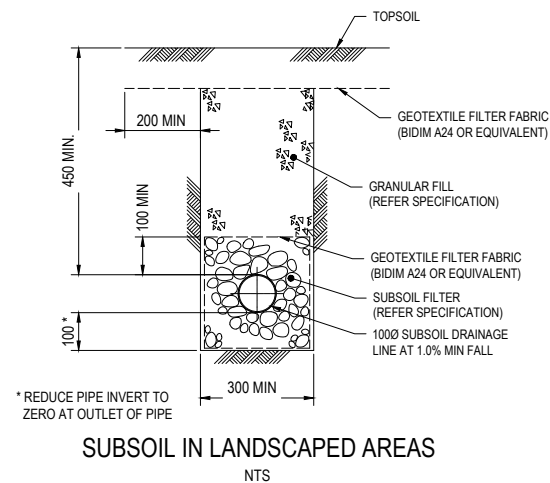
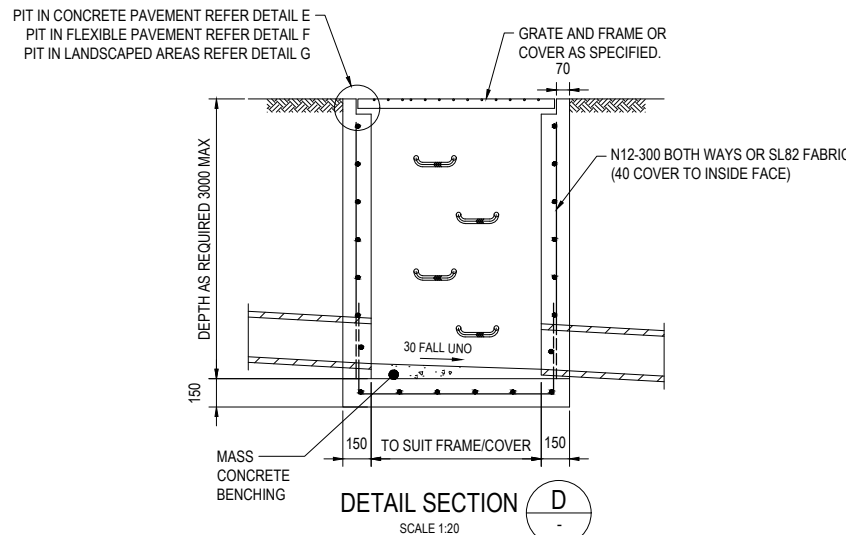
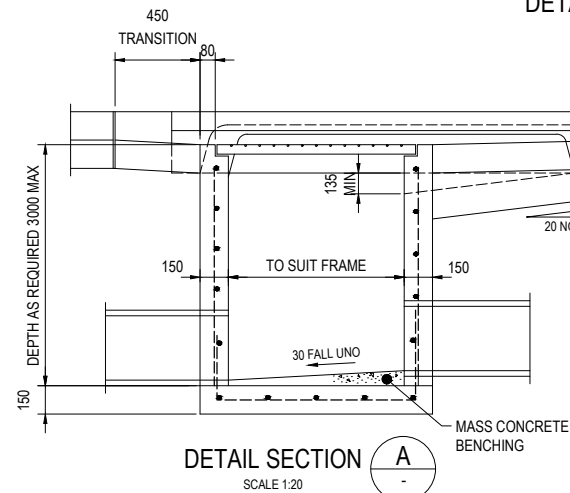
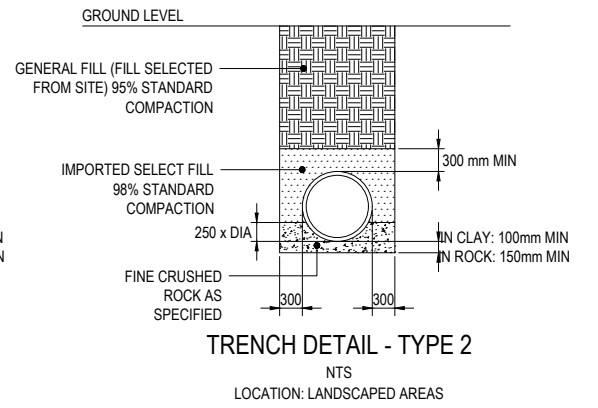
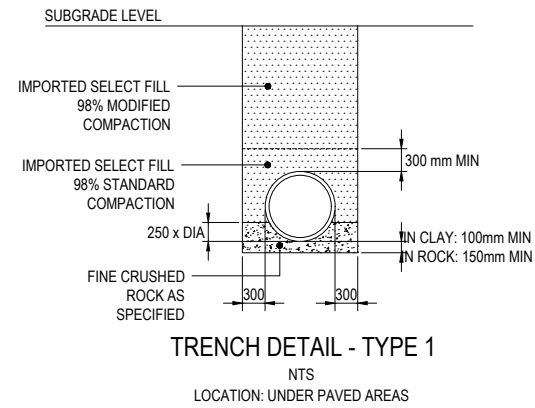
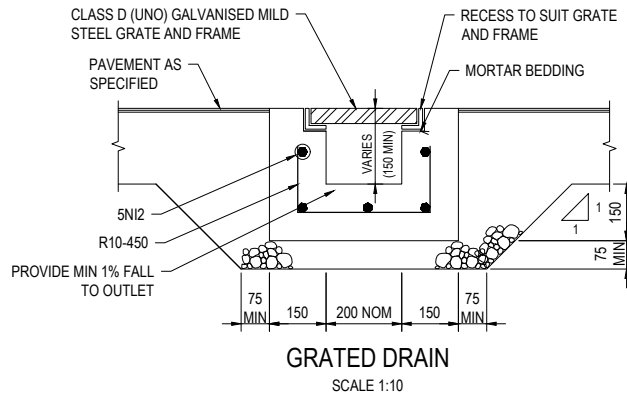
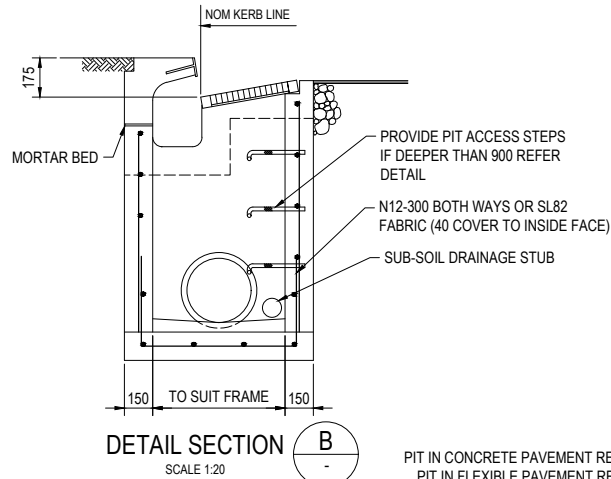
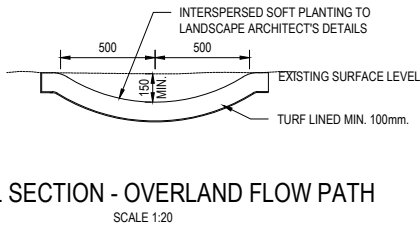
Regulated Design Record					
Project Address:					
Project Title:					
Consent No:			Body Corporate Reg No:		
Drawing Title:			Drawing No:		
Rev	Date	Description	DP Full Name	Reg No	
	dd.mm.yy				

GENERAL NOTES:

- FOR STORMWATER SETOUT REFER LS.
- ALL STORMWATER PITS DEEPER THAN **1.2m** TO HAVE STEP IRONS.
- PRECAST PITS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
- ALL INTERLOTMENT DRAINAGE PITS TO BE PROVIDED WITH HINGED, LOCKABLE GRATES.
- ALL INTERLOTMENT DRAINAGE PITS DEEPER THAN **1.8m** TO BE DESIGNED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
- ALL CONCRETE STORMWATER DRAINAGE PIPES ARE TO BE RUBBER RING JOINTED REINFORCED CONCRETE PIPES (R.C.P.) OR APPROVED EQUIVALENT AND CONSTRUCTED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- ALL BOX CULVERTS TO BE PRECAST WITH PRECAST SLABS.
- ALL INTERLOTMENT DRAINAGE TO BE SEWER GRADE UPVC (UNLESS OTHERWISE SHOWN) OR AN APPROVED EQUIVALENT. THE MINIMUM SLOPE OF INTERLOTMENT DRAINAGE LINES SHALL BE 1% UNLESS SHOWN OTHERWISE. THE INTERLOTMENT DRAINAGE UNLESS SHOWN OTHERWISE, LINE SHALL BE A MINIMUM OF 0.75m FROM THE BOUNDARY AND LOCATED IN AN EASEMENT 2.0m WIDE.
- ALL PITS TO BE BENCHED AND STREAMLINED.



TYPICAL SECTION - OVERLAND FLOW PATH



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	A1 1:500
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH	A3 1:1000

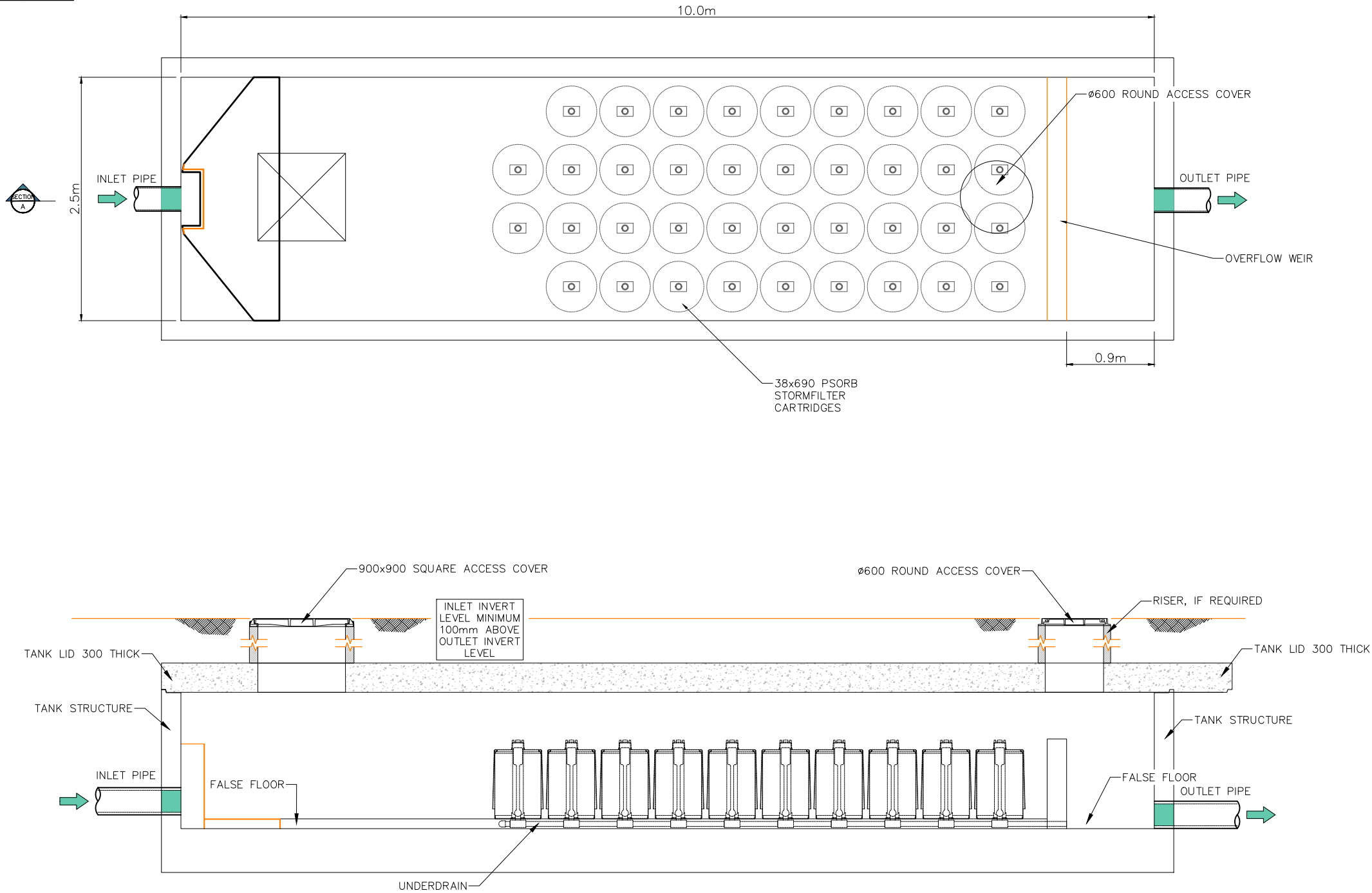
	Hunter Warrers Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohnson.com.au
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URBAN PROPERTY	CLIENT LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK
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PROPERTY DESCRIPTION LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.
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PROJECT	SITE 5 - CIVIL INFRASTRUCTURE		
PLAN TITLE	STORMWATER DETAILS		
PROJECT No.	DISCIPLINE	NUMBER	REV.
300443	CENG	412	A

Regulated Design Record				
Project Address:				
Project Title:				
Consent No:			Body Corporate Reg No:	
Drawing Title:			Drawing No:	
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



SECTION A

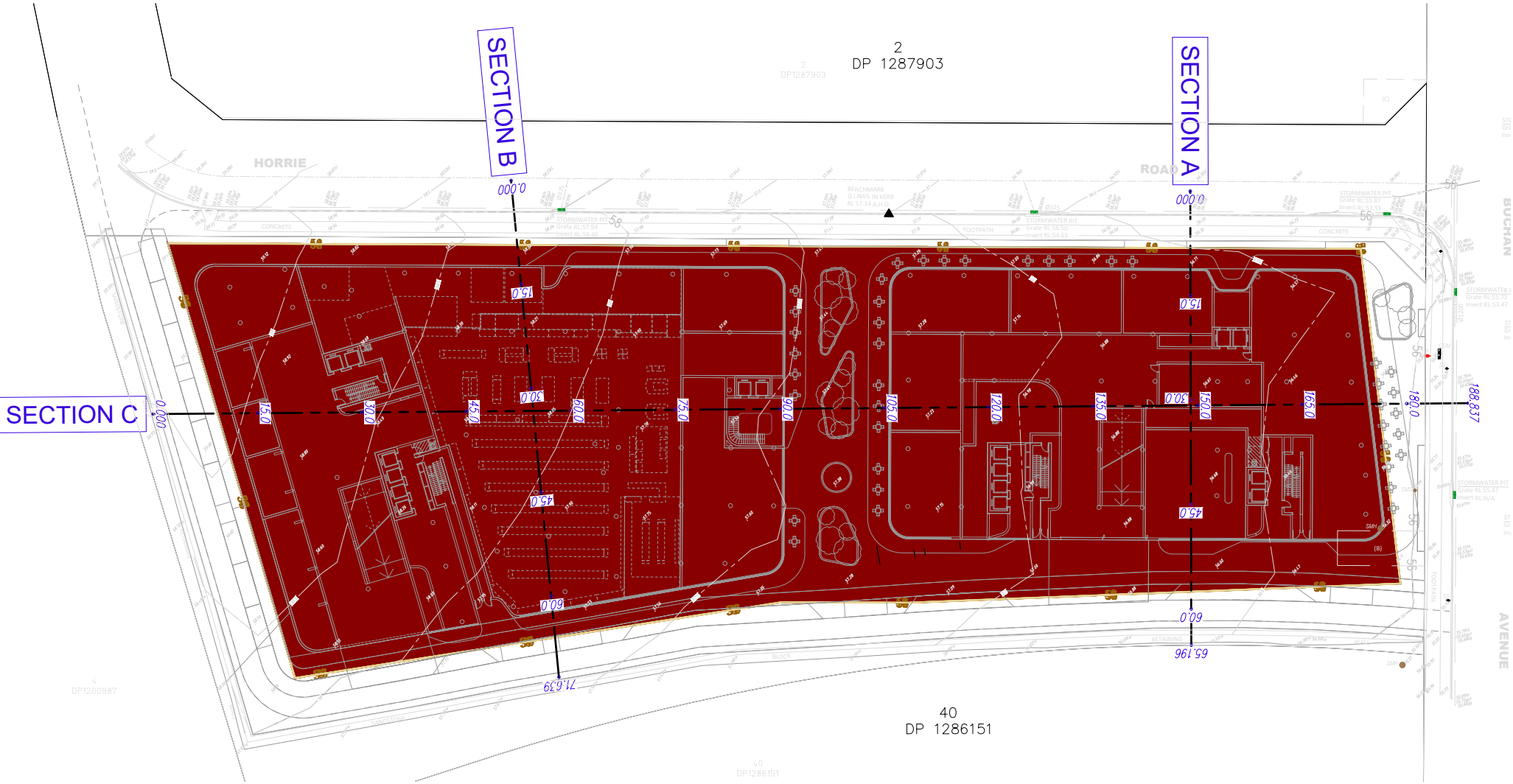
WSUD FILTER TANK PLAN
SCALE 1:25

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	A1 1:25	Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohnson.com.au	LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	SITE 5 - CIVIL INFRASTRUCTURE
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH	A3 1:50	URBAN PROPERTY		PLAN TITLE WWDD FILTER TANK DETAILS
						ALL DIMENSIONS ARE IN METRES. DO NOT SCALE				PROJECT No. 300443
										DISCIPLINE CENG
										NUMBER 421
										REV. A



NOT FOR CONSTRUCTION

Regulated Design Record				
Project Address:				
Project Title:				
Consent No:		Body Corporate Reg No:		
Drawing Title:		Drawing No:		
Rev	Date	Description	DP Full Name	Reg No
dd.mm.yy				



LEGEND	
	SITE BOUNDARY
	STAGE BOUNDARY
	PROPOSED LOT BOUNDARY
	EXISTING LOT BOUNDARY
	FUTURE LOT BOUNDARY
	DESIGN CONTOURS
	NATURAL CONTOURS
	PROPOSED KERB
	EXTENTS OF BATTER
	PROPOSED RETAINING WALL

CONTOUR INTERVAL = 0.5m

GENERAL NOTES:

- CUT/FILL CALCULATIONS BASED EARTHWORKS VOLUMES BETWEEN **NATURAL SURFACE (SUPER NS)** & **DESIGN (SUPER DESIGN)**.
- ORGANIC MATERIAL, E.G. LOGS, BRANCHES, STUMPS ETC., ARE TO BE STOCKPILED AND MULCHED ONSITE UNLESS OTHERWISE NOTED, AND NOT INCORPORATED INTO WORKS
- ROCKS EXCAVATED AS PART OF BULK EARTHWORKS ARE TO BE CRUSHED SUCH THAT NO INDIVIDUAL ROCK IS IN EXCESS OF 50mm IN ANY DIRECTION
- ALL TOPSOIL AND UNSUITABLE MATERIAL WILL BE REMOVED PRIOR TO PLACEMENT OF EXCESS MATERIAL FROM ROAD EXCAVATION IN ACCORDANCE WITH DIRECTIONS FROM GEOTECHNICAL ENGINEER.
- MAXIMUM NOMINATED THICKNESS OF FILL LAYER
 - 150mm IN ROAD RESERVE AREAS
 - 300mm IN OTHER AREAS
- MINIMUM NOMINATED COMPACTION OF FILL
 - 98% STANDARD IN ROAD RESERVE AREAS
 - 95% STANDARD IN OTHER AREAS
- EARTHWORKS SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE RECOMMENDATIONS OUTLINED IN **AS3798-2007** 'GUIDELINES FOR EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'. FILL UNDER ROADS SHALL BE UNDER **LEVEL 2** SUPERVISION. FILL IN LOTS TO BE COMPLETED UNDER **LEVEL 1** SUPERVISION.
- COMPACTION OF EARTHWORKS ASSOCIATED WITHIN LOTS TO BE CARRIED OUT UNDER **LEVEL 1** SUPERVISION IN ACCORDANCE WITH **AS 3798-2007** AND A REPORT SUBMITTED TO THE PRINCIPAL CERTIFYING AUTHORITY WITH DOCUMENTATION ACCOMPANYING THE RESPECTIVE COMPLIANCE CERTIFICATE APPLICATION.
- ALL AREAS DISTURBED DURING EARTHWORKS ARE TO BE REINSTATED AND SEEDED IMMEDIATELY.
- ALL SITE REGRADE TO BE CONTROL FILL IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS DIRECTION.
- WHERE PRACTICAL CATCHDRAINS ARE TO BE CONSTRUCTED UPSLOPE OF THE SITE REGRADE TO DIVERT CLEAN SURFACE WATER.
- SITE REGRADE AREAS ARE TO BE TURFED OR SEEDED AS DIRECTED BY LANDSCAPE ARCHITECT OR SUPERINTENDENT.
- ALL TREES TO BE REMOVED ARE TO BE MULCHED/ CHIPPED ON SITE AND REUSED AS MULCH WITHIN THE DEVELOPMENT.

LEGEND (+ FILL - CUT)		
Lower	Upper	Colour
-4.5	to -4	m
-4	to -3.5	m
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
-1.25	to -1	m
-1	to -0.75	m
-0.75	to -0.5	m
-0.5	to -0.25	m
-0.25	to 0	m
0	to 0.25	m
0.25	to .5	m
0.5	to .75	m
0.75	to 1	m

CUT/FILL VOLUMES

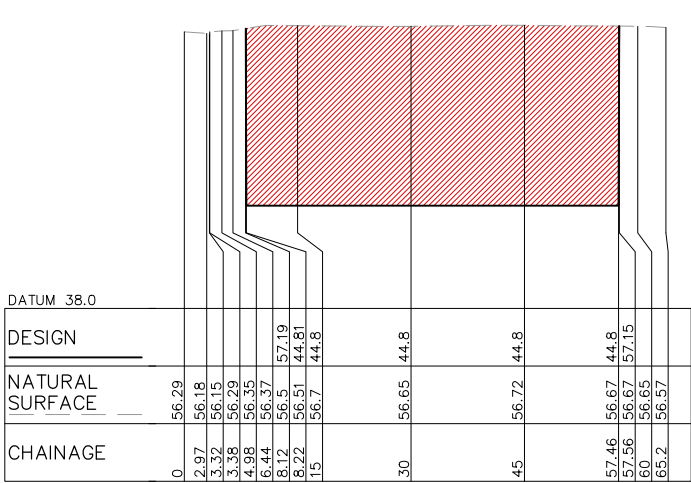
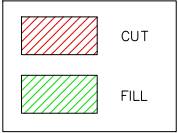
CUT:	112,687m ³
FILL:	0m ³
SURPLUS OF MATERIAL:	112,687m ³



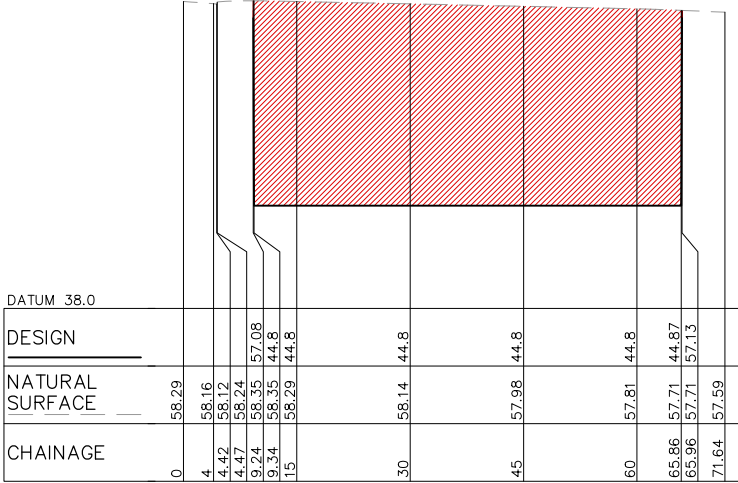
NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohson.com.au	CLIENT	PROPERTY DESCRIPTION		PROJECT			
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH				URBAN	LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	SITE 5 - CIVIL INFRASTRUCTURE				
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH						PLAN TITLE	SITE REGRADE PLAN			
							ALL DIMENSIONS ARE IN METRES. DO NOT SCALE			SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.	
										ADW Johnson	GDA2020 M.G.A. ZONE 56 A.H.D.	300443 -	CENG	-	501	A

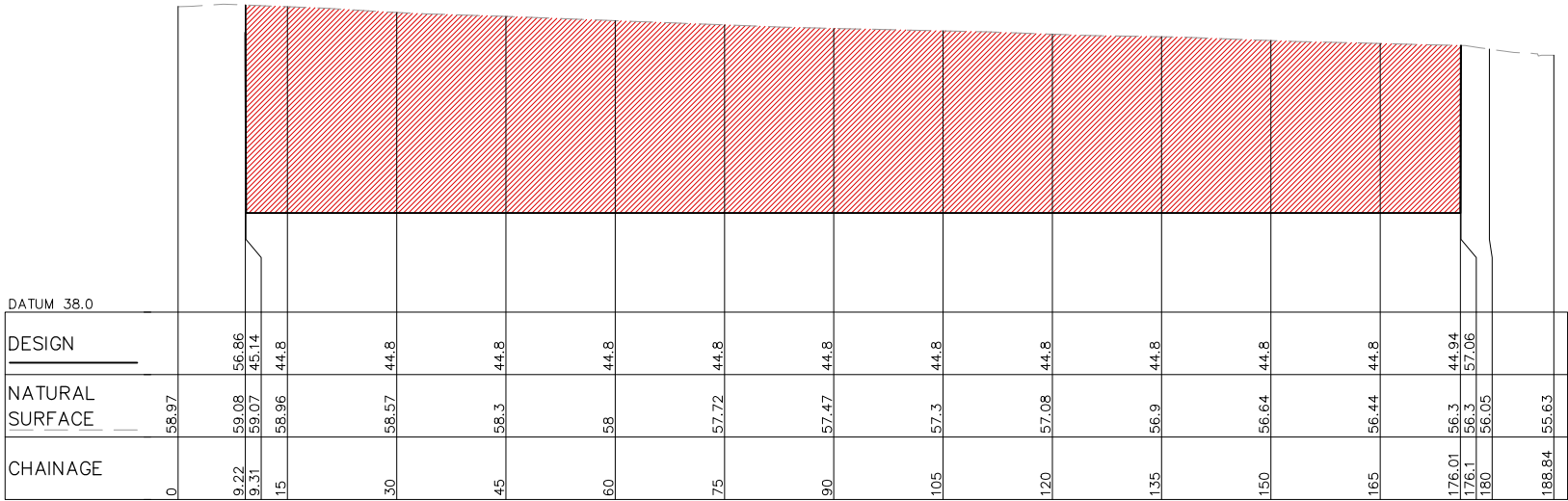
Regulated Design Record				
Project Address:				
Project Title:				
Consent No:			Body Corporate Reg No:	
Drawing Title:			Drawing No:	
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



SITE SECTION A
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:250



SITE SECTION B
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:250



SITE SECTION C
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:250

GENERAL NOTES:

- CUT/FILL VALUES SHOWN ARE INDICATIVE ONLY AND REPRESENTATIVE OF LEVEL DIFFERENCE BETWEEN EXISTING SURFACE AND PROPOSED FINISHED SURFACE ONLY.
- NO ALLOWANCE HAS BEEN MADE FOR STRIPPING/GRUBBING, PAVEMENT BOXING, OVER EXCAVATION FOR BUILDINGS, BULKING FACTORS ETC.



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohanson.com.au	CLIENT 	PROPERTY DESCRIPTION LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK		PROJECT SITE 5 - CIVIL INFRASTRUCTURE		PLAN TITLE SITE SECTIONS		PROJECT No. 300443	DISCIPLINE CENG	NUMBER 511	REV. A
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	A1 1:500 A1 1:250 ALL DIMENSIONS ARE IN METRES. DO NOT SCALE													
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH														

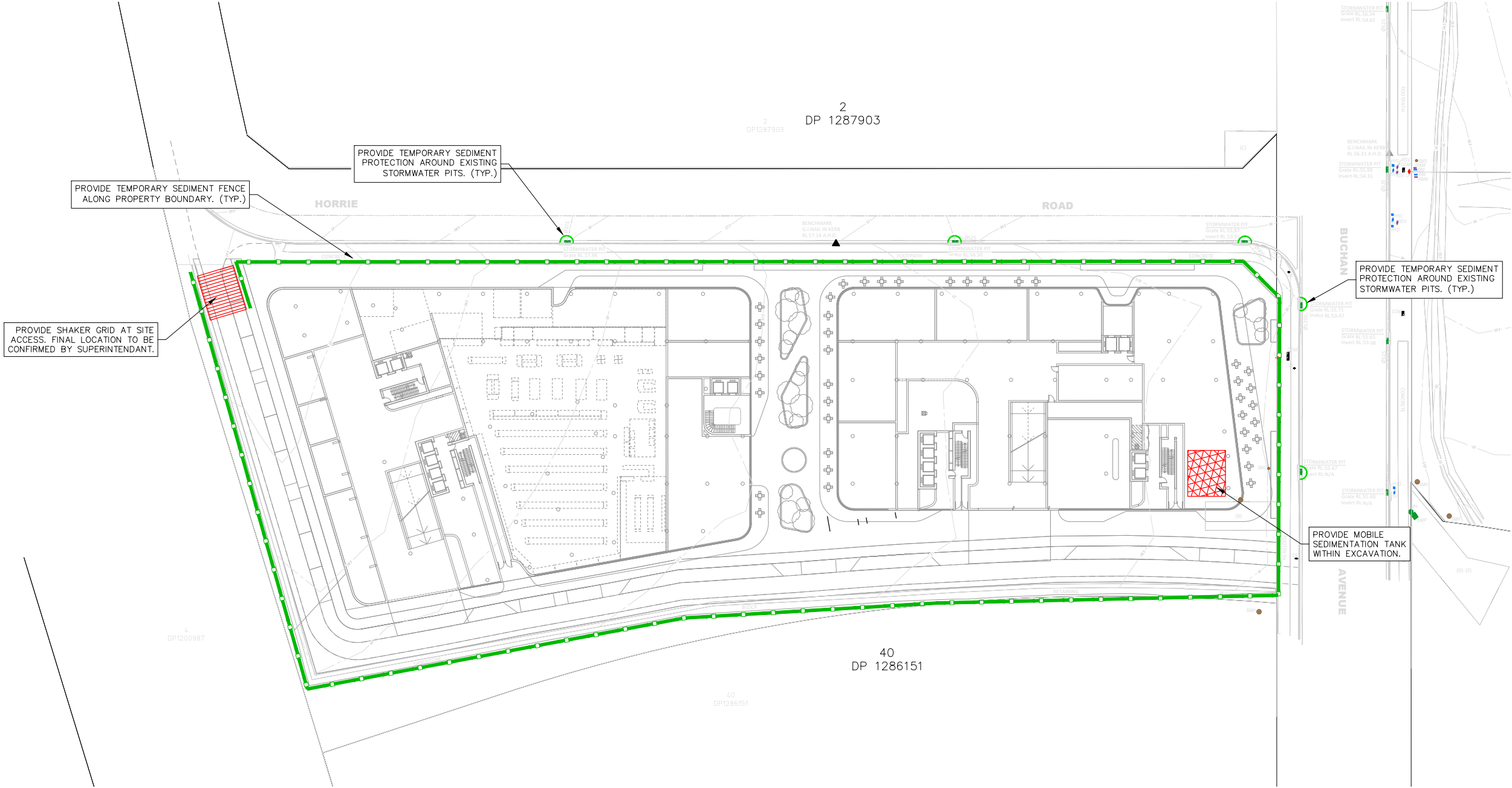
Regulated Design Record				
Project Address:				
Project Title:				
Consent No:		Body Corporate Reg No:		
Drawing Title:		Drawing No:		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

LEGEND

SITE BOUNDARY

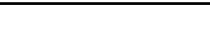
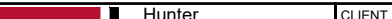
PROPOSED LOT BOUNDARY

CONTOUR INTERVAL = 0.5m



EROSION & SEDIMENT CONTROL PLAN

SCALE 1:400

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warners Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohnson.com.au	CLIENT URBAN PROPERTY	PROPERTY DESCRIPTION		PROJECT			
A	16/02/26	ISSUED FOR REVIEW	JH	JS	JH	JH	 ALL DIMENSIONS ARE IN METRES. DO NOT SCALE				LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK		SITE 5 - CIVIL INFRASTRUCTURE			
B	26/02/26	ISSUED FOR APPROVAL	JH	JS	JH	JH							PLAN TITLE		EROSION & SEDIMENT CONTROL PLAN	
							SURVEYED ADW Johnson		DATUM GDA2020 M.G.A. ZONE 56 A.H.D.		PROJECT No. 300443	-	DISCIPLINE CENG	-	NUMBER 601	REV. A

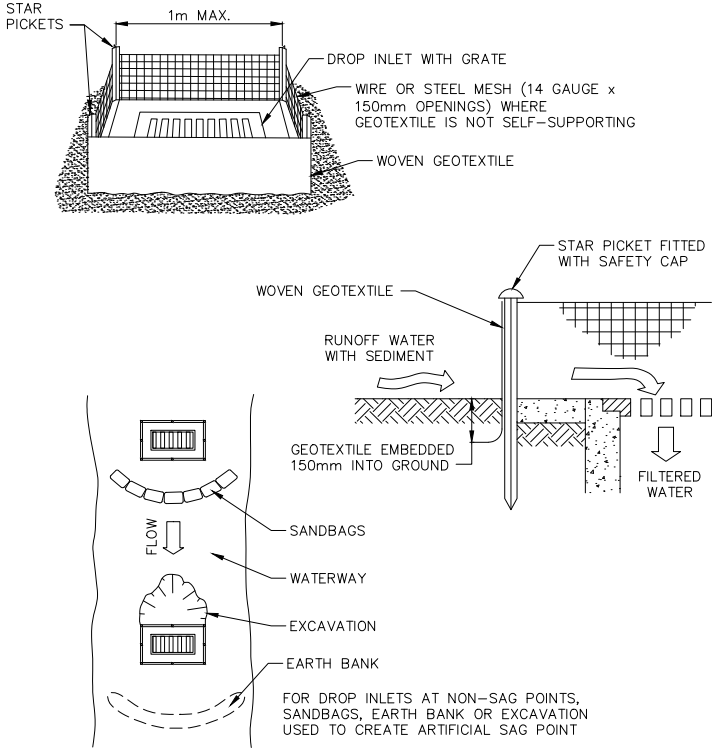


NOT FOR CONSTRUCTION

Regulated Design Record				
Project Address:				
Project Title:				
Consent No:			Body Corporate Reg No:	
Drawing Title:			Drawing No:	
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

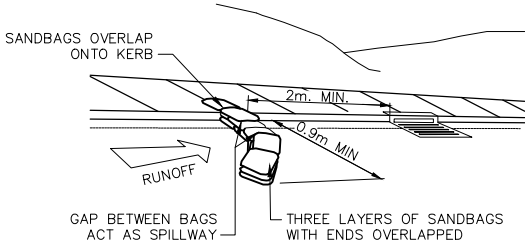
GENERAL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSISTENT WITH THE NSW GOVERNMENT'S "MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION".
2. THE ARRANGEMENT SHOWN ON THE PLANS IS DIAGRAMMATIC ONLY. AMENDMENTS MAY NEED TO BE MADE DURING CONSTRUCTION.
3. ALL SEDIMENT AND EROSION CONTROL MEASURES, ARE TO BE IN PLACE PRIOR TO STRIPPING OF SITE.
4. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL COMPLETE REHABILITATION IS ACHIEVED.
5. DISTURBED AREAS ARE TO BE KEPT TO A MINIMUM. NO MORE THAN 2.5ha OF THE SITE SHALL BE EXPOSED TO EROSION AT ANY ONE TIME.
6. ALL TOPSOIL IN SITE REGRADING AREAS AND ROAD RESERVES TO BE STOCKPILED ON SITE.
7. STOCKPILE AREA TO BE FULLY FENCED WITH SILT PROOF FABRIC AT ALL TIMES.
8. IMPORTED MATERIAL TO BE PLACED DIRECTLY INTO SITE REGRADING AREAS. IMPORTED MATERIAL IS NOT TO BE STOCKPILED.
9. STOCKPILES ARE TO BE REMOVED AS SOON AS PRACTICABLE AND SITES REINSTATED IMMEDIATELY.
10. CONSERVE ALL TOPSOIL, STOCKPILE AND PROTECT FOR RE-USE ON SITE.
11. STOCKPILES OF MATERIAL ARE TO BE PLACED AWAY FROM DRAINAGE FLOW PATHS AND HEAVILY TRAFFICABLE AREAS AND ARE TO BE SURROUNDED BY SILT FENCING AT ALL TIMES.
12. PROTECT ALL DISTURBED AREAS FROM EROSION.
13. MINIMISE SEDIMENTATION.
14. ERECT AND MAINTAIN SILT FENCES AT THE DOWNSLOPE SIDE OF DISTURBED AREA/S DURING CONSTRUCTION.
15. PLACE SEDIMENT INLET TRAPS AROUND ALL PITS WITHIN, AND DOWNSTREAM OF, THE DEVELOPMENT.
16. PROVIDE GRAVEL BAGS AS REQUIRED.
17. SILT FENCES AND HAY BALING TO BE PLACED WHERE DIRECTED BY COUNCIL'S ENGINEER AND MAINTAINED AT ALL TIMES.
18. WHERE EVIDENCE OF SILT LEAVING THE SITE IS FOUND, CONTRACTOR IS TO CLEAR ALL SEDIMENT (INCLUDING THAT IN STORMWATER INFRASTRUCTURE) AT THEIR OWN COST.
19. FOLLOWING RAIN EVENTS, ALL SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE AUDITED AND REINSTATED IF NECESSARY.
20. CONTROL CLEAN WATER FROM ABOVE THE SITE, THROUGH THE SITE.
21. KEEP CLEAN WATER SEPARATE FROM DIRTY WATER.
22. KEEP RUNOFF FROM DISTURBED AREAS, WHERE POSSIBLE, SEPARATE FROM DIRTY WATER.
23. ALL DISTURBED AREAS ARE TO BE RE-VEGETATED OR OTHERWISE PROTECTED AS SOON AS PRACTICAL.
24. ALL NATURAL VEGETATION AREAS OUTSIDE THE BOUNDARIES OF THE PROPOSED DEVELOPMENT WILL BE FENCED WITH NO GO FENCING TO KEEP THE AREAS FREE FROM DISTURBANCE OF MACHINERY, PARKED VEHICLES AND WASTE MATERIAL.
25. AREAS OUTSIDE THE BOUNDARIES OF THE PROPOSED DEVELOPMENT WILL BE FENCED WITH NO GO FENCING TO KEEP THE AREAS FREE FROM DISTURBANCE OF MACHINERY, PARKED VEHICLES AND WASTE MATERIAL.
26. TREES TO BE RETAINED WITHIN THE CONSTRUCTION AREAS ARE TO BE PROTECTED BY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED LANDSCAPE MANAGEMENT PLANS.

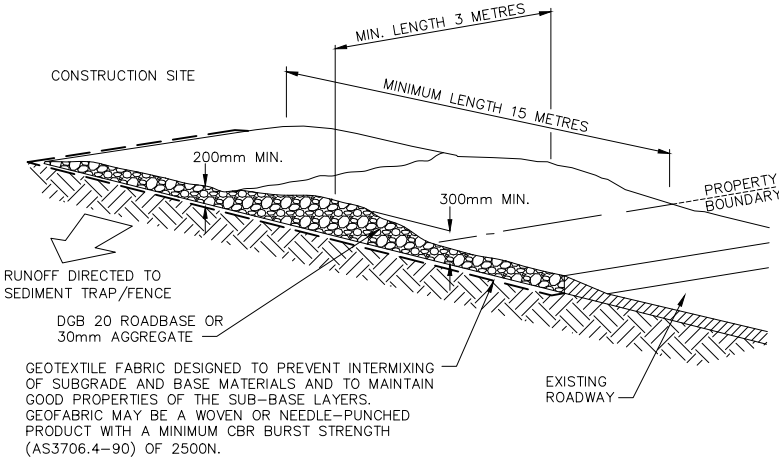


GEOTEXTILE INLET FILTER (SD6-12)
N.T.S.

- CONSTRUCTION NOTES:
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
 2. REFER STANDARD DRAWINGS 6-7 & 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
 3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
 4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



SANDBAG KERB INLET SEDIMENT TRAP
NTS

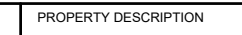


STABILISED SITE ACCESS (SD6-14)
N.T.S.

- CONSTRUCTION NOTES:
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
 2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
 3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
 4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
 5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



NOT FOR CONSTRUCTION

REV.		DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES		Hunter Warrers Bay N.S.W. 2282 Ph. 02 4978 5100 Central Coast Tuggerah N.S.W. 2259 Ph. 02 4305 4300 Sydney Sydney N.S.W. 2000 Ph. 02 8787 4499 www.adwjohson.com.au	CLIENT	PROPERTY DESCRIPTION		PROJECT					
A	B	16/02/26 26/02/26	ISSUED FOR REVIEW ISSUED FOR APPROVAL	JH JH	JH JS	JH JH	JH JH				URBAN	LOT 8, D.P. 1275478 HORRIE ROAD & BUCHAN AVENUE, EDMONDSON PARK	PLAN TITLE	SITE 5 - CIVIL INFASCTURE					
											PROPERTY		EROSION & SEDIMENT CONTROL NOTES						
									ALL DIMENSIONS ARE IN METRES. DO NOT SCALE			SURVEYED ADW Johnson	DATUM GDA2020 M.G.A. ZONE 56 A.H.D.	PROJECT No. 300443	-	DISCIPLINE CENG	-	NUMBER 611	REV. A