

Job no SY180170

## Sydney Metro

Pitt Street South Over Station Development

Concept State Significant Development - Development Application Section 4.55 (2) Modification

Prepared for: Pitt Street Developer South Pty Ltd

Date: 15/05/2020

## Fire Engineering Review

### Overview

The Minister for Planning granted development consent to SSD DA 17\_8876 for Concept Approval of a commercial or residential Over Station Development (OSD) above the new Sydney Metro Pitt Street South Station on 25 June 2019. This Development Consent includes:

- A maximum building envelope, including street wall and setbacks for the over station development
- A maximum building height of RL 171.6 metres
- Podium level car parking for a maximum of 34 parking spaces
- Conceptual land use for either one of a residential or a commercial scheme (not both).

### Modification (MOD)

This Section 4.55(2) modification application proposes to amend the Concept Approval for the Pitt Street South OSD in the following ways:

- Permit the inclusion of 'retail premises' as an approved land use within the building podium, specifically at Level 2;
- Amend Condition A15 to allow for protrusion beyond the approved Building Envelope for:
  - architectural embellishments, to a maximum depth of 500mm at each elevation, and
  - awning and balustrade structures at Level 35 terrace and balustrade structures at Level 6 podium open space.

No changes are proposed within this modification application to the approved maximum height of the building envelope at RL 171.6, approved maximum floor space, maximum car parking spaces, or strategies for design excellence.

## Fire engineering review

### Proposed retail use

The following statement comprises a review of the retail use in the subject tenancy on Level 2 [SMCSWSPS-BAT-OSS-AT-DWG-930241-E] as illustrated below.

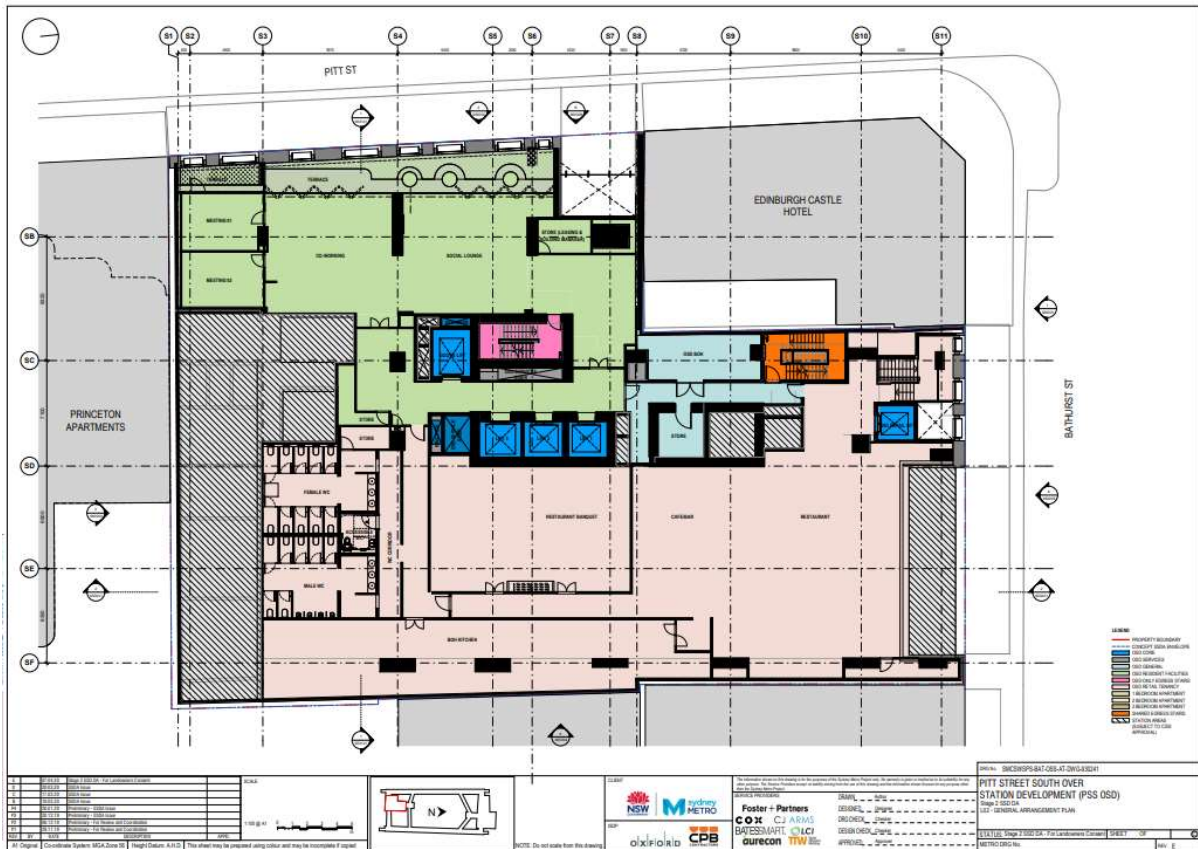


Figure 1 Indicative retail area on Level 2

### Fire and life safety (FLS) concept strategy

The proposed retail on level 2 as illustrated in Figure 1 has been reviewed and although the distance to an exit has marginally increased to 50m it is not considered to impact on the FLS concept strategy for the building provided that the following requirements are met in accordance with the FLS concept strategy.

#### Structural fire resistance and compartmentation

The retail area on Level 2 requires a fire resistance level (FRL) of not less than 180/180/180. The proposed glazed fire separation with wall-wetting sprinklers between the OSD South level 2 retail and the Sydney Metro station entry void is unaffected.

#### Access and egress

1. All exits and paths of travel to exits must be not less than 1m in clear width in accordance with clause D1.6 of the NCC.
2. Aggregate exit width on Level 2 must be not less than 3.2m (2 x 1m fire stairs + 1.2m open entry stair) which will be demonstrated to allow a maximum population of 355 persons on level 2 as a performance solution.

3. The following maximum travel distances have been proposed for level 2:
  - a. 30m to a point of choice between alternative exits
  - b. 50m to the closest of two or more alternative exits
  - c. 70m between alternative exits when measuring back through point of choice.

## Services and equipment

The fire services detailed design will need to be amended to address the proposed increased retail use. Additional systems such as smoke exhaust is not expected to be required as the increased retail area is around 600m<sup>2</sup> which is below the limit for when the NCC requires smoke exhaust in class 6 occupancies.

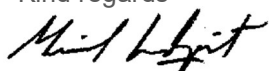
The fire separated corridor at the lift cores required to support the omission of zone smoke control from the lower levels of the development should still be able to be accommodated.

## Conclusion

It is considered that the proposed MOD for the level 2 retail can achieve compliance with the performance requirements of the NCC subject to detailed design and assessment of the maximum population as part of the ongoing fire engineering and certification process.

Please contact me on 02 9211 4333 if you have any questions regarding this information.

Kind regards



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National infrastructure manager

**Fire safety engineering**  
**Warringtonfire**