

FOR HDA SUBMISSION
LANDSCAPE PLANS

27-33 MIDDLETON AVE, CASTLE HILL NSW 2154

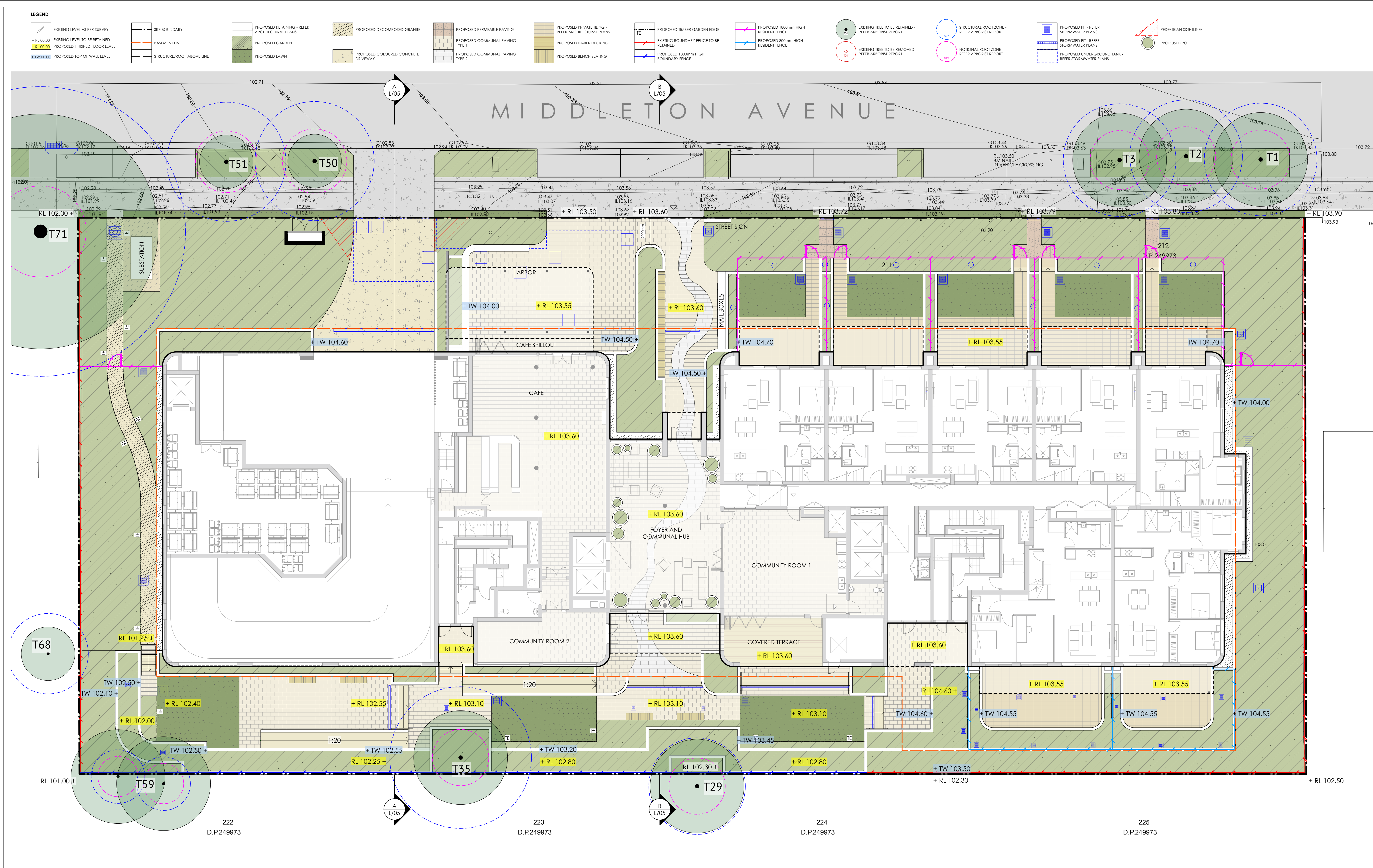
DRAWING LIST

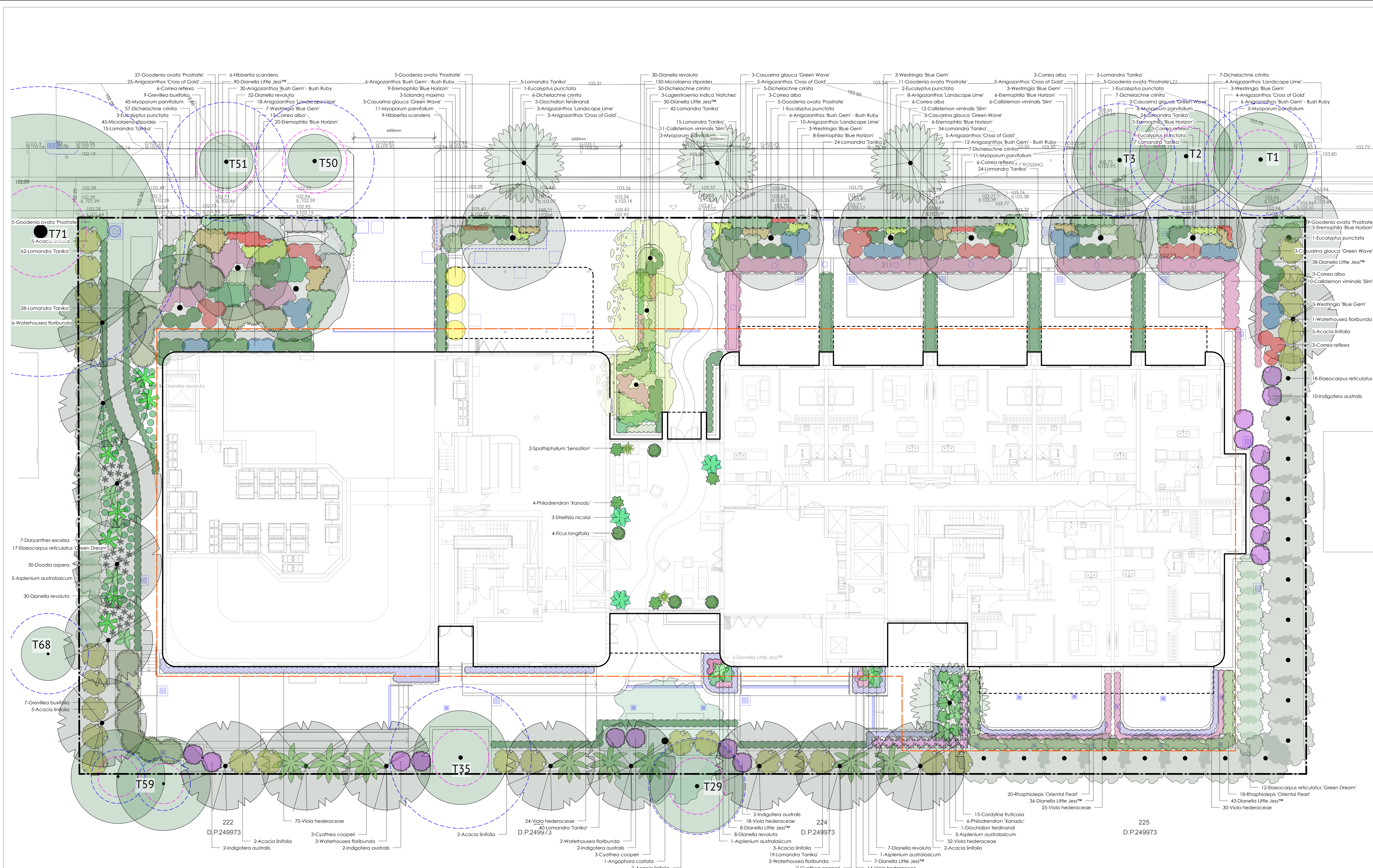
Sheet No.	Sheet Title	Scale	Sheet Size	Revision	Date
L/00	Cover Sheet	NTS	A1	B	07/05/26
L/01	Ground Floor Landscape Master Plan	1:125	A1	B	07/05/26
L/02	Ground Floor Landscape Planting Plan	1:125	A1	B	07/05/26
L/03	Level 4 Landscape Master Plan	1:125	A1	B	07/05/26
L/04	Level 4 Landscape Planting Plan	1:125	A1	B	07/05/26
L/05	Level 11 Landscape Master Plan	1:125	A1	B	07/05/26
L/06	Level 11 Landscape Planting Plan	1:125	A1	B	07/05/26
L/07	Landscape Site Sections	1:150	A1	B	07/05/26
L/08	Landscape Details	As noted	A1	B	07/05/26
L/09	Landscape Specification	NTS	A1	B	07/05/26

PLANTING SCHEDULE (ENTIRE PROJECT)

Plant Schedule					
Qty	Botanical Name	Common Name	Scheduled Size	Height	Spread
Trees					
1	<i>Angophora costata</i>	Sydney Red Gum	75lt	15000	10000
2	<i>Banksia integrifolia</i>	Coastal Banksia	75lt	12000	8000
18	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	75lt	12000	4000
29	<i>Elaeocarpus reticulatus</i> 'Green Dream'	Green Dream Blue Berry Ash	75lt	3000	2000
10	<i>Eucalyptus punctata</i>	Grey Gum	75lt	35000	8000
4	<i>Glochidion ferdinandi</i>	Cheese Tree	75lt	8000	6000
3	<i>Lagerstroemia indica</i> 'Natchez'	Pink Crepe Myrtle	75lt	6000	6000
3	<i>Leptospermum petersonii</i>	Lemon Scented Tea Tree	75lt	4000	4000
15	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	75lt	8000	7000
Shrubs					
26	<i>Acacia linifolia</i>	Flax Wattle	200mm	3000	2000
15	<i>Banksia spinulosa</i>	Hairpin Banksia	200mm	2000	1500
39	<i>Callistemon viminalis</i> 'Slim'	Bottlebrush	200mm	1500	1300
15	<i>Casuarina glauca</i> 'Green Wave'	Green Wave Casuarina	200mm	1200	1500
42	<i>Correa alba</i>	White Correa	200mm	1200	1200
18	<i>Correa reflexa</i>	Native Fuchsia	200mm	1000	1200
7	<i>Doryanthes excelsa</i>	Gymea Lily	200mm	1500	1500
4	<i>Ficus longifolia</i>	Long-leaf fig	300mm	2000	1000
16	<i>Grevillea buxifolia</i>	Grey Spider Flower	200mm	2000	2000
18	<i>Indigofera australis</i>	Australian Indigo	200mm	2000	1500
10	<i>Philodendron</i> 'Xanadu'	Xanadu	200mm	1000	1000
38	<i>Rhaphiolepis</i> 'Oriental Pearl'	Indian Hawthorn	200mm	1000	1000
2	<i>Spathiphyllum</i> 'Sensation'	Giant Peace Lily	200mm	1000	1000
3	<i>Strelitzia nicolai</i>	Giant Bird of Paradise	300mm	2500	1500
34	<i>Westringia</i> 'Blue Gem'	Coastal Rosemary	200mm	1200	1200
Grasses					
117	<i>Anigozanthos</i> 'Bush Gem' - Bush Ruby	Kangaroo Paw	200mm	800	400
77	<i>Anigozanthos</i> 'Cross of Gold'	Cross of Gold	200mm	900	600
74	<i>Anigozanthos</i> 'Landscape Lime'	Green Kangaroo Paw	200mm	900	600
301	<i>Dianella</i> Little Jess™	Little Jess Dianella	140mm	500	500
182	<i>Dianella revoluta</i>	Mauve Flax Lily	140mm	500	500
189	<i>Dichelachne crinita</i>	Longhair Plume Grass	140mm	1300	500
371	<i>Lomandra</i> 'Tanika'	Lomandra	140mm	500	600
460	<i>Microlaena stipoides</i>	Microlaena	140mm	1000	250
Climbers					
15	<i>Hibbertia scandens</i>	Climbing Guinea Flower	140mm	350	1000
3	<i>Solandra maxima</i>	Cup of Gold Vine	140mm	6000	1500
Palms/Ferns					
10	<i>Asplenium australasicum</i>	Birds Nest Fern	200mm	1200	1500
15	<i>Cordyline fruticosa</i>	Cabbage palm	200mm	2000	1000
8	<i>Cyathea cooperi</i>	Scaly Tree Fern	45lt	8000	3000
30	<i>Doodia aspera</i>	Prickly Rasp Fern	140mm	400	500
Ground Covers					
115	<i>Goodenia ovata</i> 'Prostrate'	Hop Goodenia	140mm	200	1000
59	<i>Eremophila</i> 'Blue Horizon'	Tar Bush	140mm	200	800
81	<i>Myoporum parvifolium</i>	Carpet Spreading Myoporum	140mm	300	800
255	<i>Viola hederaceae</i>	Native Violets	140mm	200	500
41	<i>Carpobrotus glaucescens</i>	Aussie Rambler	140mm	300	1000
57	<i>Rosmarinus officinalis</i> 'Prostrata'	Rosemary 'Prostrata'	200mm	300	1500

NOTES:
REFER ARCHITECTURAL DOCUMENTATION PREPARED BY BHK ARCHITECTS
REFER SURVEY PREPARED BY ATS LAND & ENGINEERING SURVEYORS
REFER STORMWATER PREPARED BY S&G CONSULTANTS
REFER ARBORIST REPORT PREPARED BY SEASONED TREE CONSULTING





LEGEND

+ RL 00.00

PROPOSED FINISHED FLOOR LEVEL

SITE BOUNDARY

PROPOSED WALL

PROPOSED GARDEN

PROPOSED PRIVATE TILING -
REFER ARCHITECTURAL PLANS

PROPOSED NON-TRAFFICABLE ROOF -
REFER ARCHITECTURAL PLANS

PROPOSED POT

M I D D L E T O N A V E N U E

Notes:

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- All Building Works shall be installed to Structural Engineers detail.

Sheet Title:
Level 4 Landscape Master Plan

Client:
Scion Developments
Address:
27-33 Middleton Ave, Castle Hill NSW 2154
Project:
Residential Flat Building

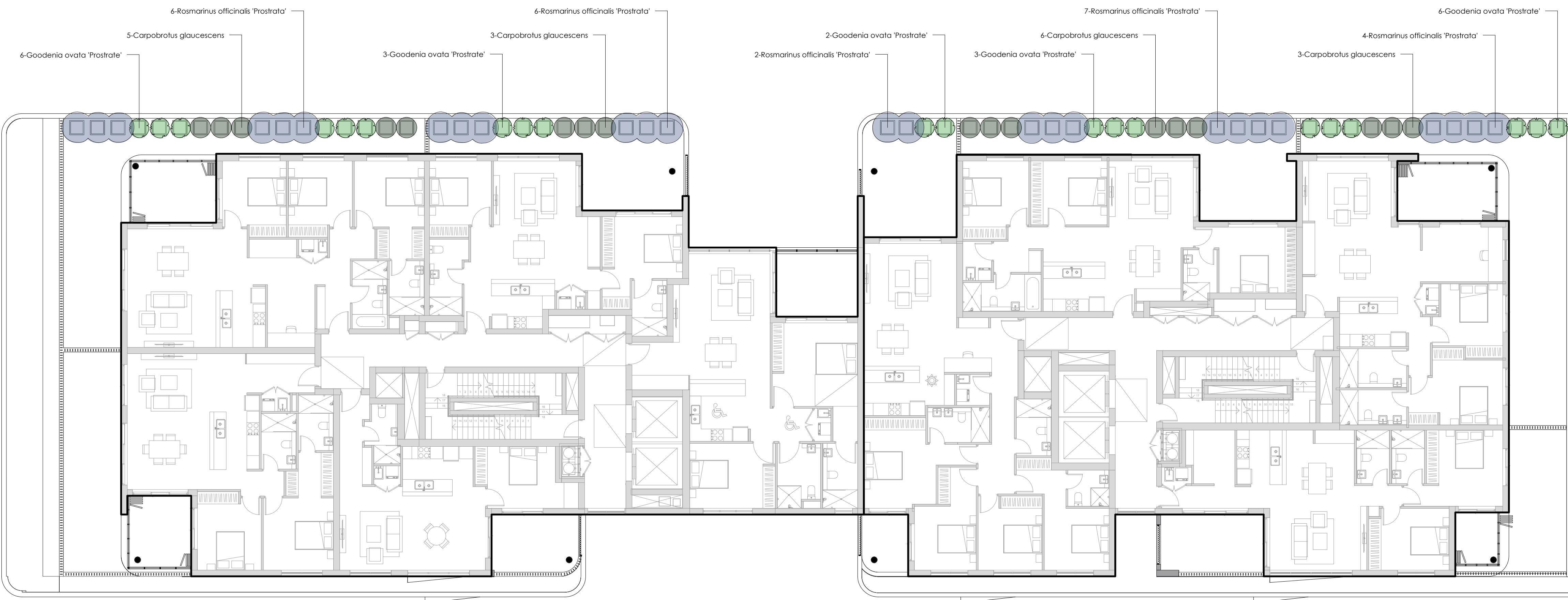
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a total concept landscape architects
65 west street, north sydney nsw 2060 ph: (02) 9957 5122
w: www.atotalconcept.com.au e: design@atotalconcept.com.au

Scale
1:125
Original Drawing at A1 Size.
A3 Reduction: 50%.

Drawn By | OTJ
Checked By | KR
CAD File Name |
Dwg Date: | 30/4/2026
Plot Date: | 7/5/2026
27-33 Middleton Ave_V13.vwx

Project No.
Scion
Drawing No. Rev #
L/03 B
10

MIDDLETON AVENUE



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Sheet Title:

Level 4 Landscape Planting Plan

Client:

Scion Developments

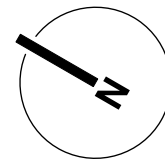
Address: 27-33 Middleton Ave, Castle Hill NSW 2154

Project:

Residential Flat Building

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Scale

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Original Drawing at A1 Size.
A3 Reduction: 50%.

Drawn By | OTJ

Checked By | KR

CAD File Name |

Dwg Date: | 30/4/2026

Plot Date: | 7/5/2026

27-33 Middleton Ave_V13.vwx

Project No.

Scion

Drawing No.

L/04 B

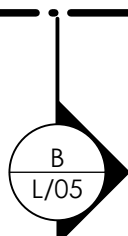
Rev #

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B 07/05/26 For HDA submission

A 30/04/26 For Coordination

No. Date REVISION By



B		07/05/26	For HDA submission	OTJ	Notes: 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work. 2. Do not scale from drawings. 3. If in doubt contact Landscape Architect. 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects. 5. This plan has been prepared for Approval purposes only. 6. All Building Works shall be installed to Structural Engineers detail.
A		30/04/26	For Coordination	OTJ	
No.	Date	REVISION		Bv	



Sheet Title:
Level 11 Landscape Master Plan

Client:
Scion Developments

Address:
27-33 Middleton Ave, Castle Hill NSW 2154

Project:
Residential Flat Building

Project No.
Scion



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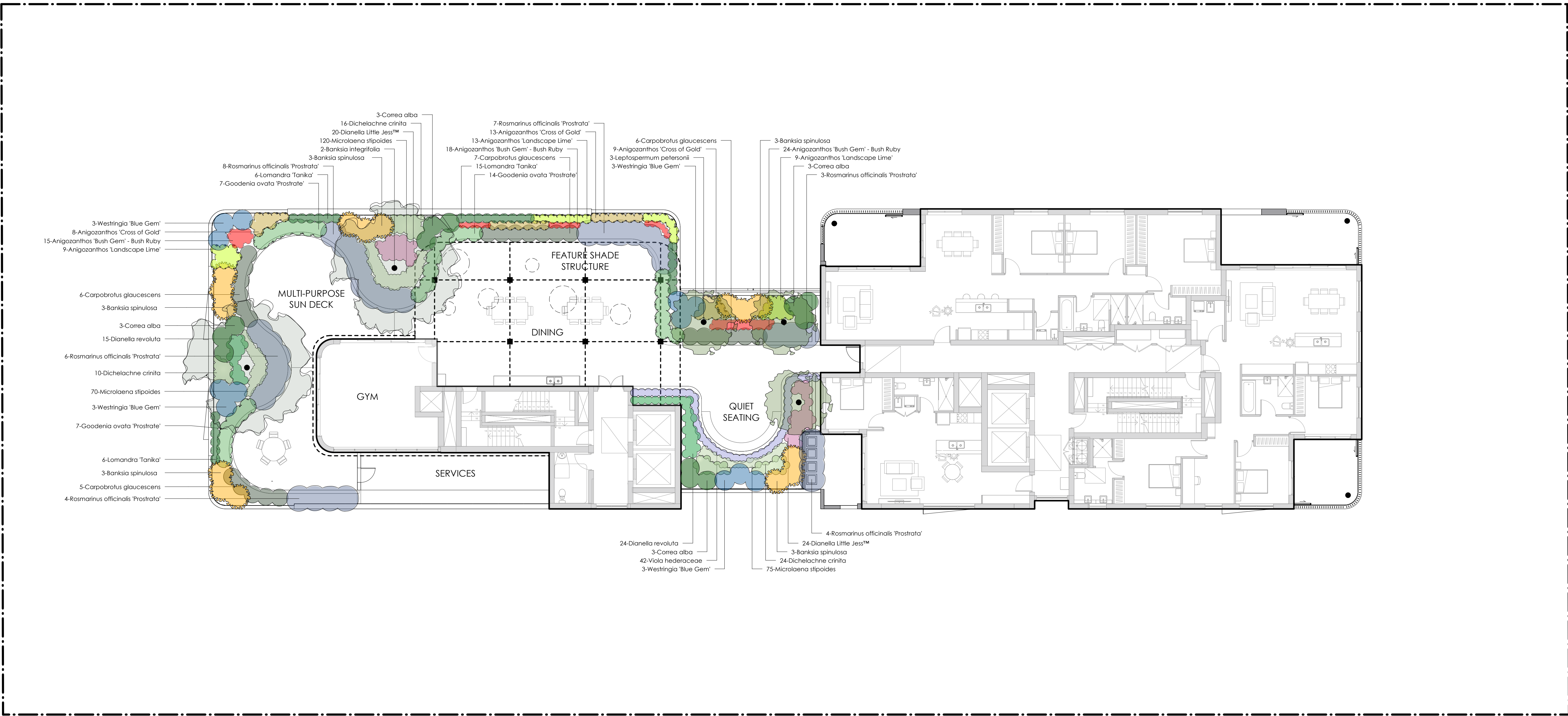


Drawing No.
L/05 B

Rev #
10

Drawn By	OTJ	Dwg Date:	30/4/2026
Checked By	KR	Plot Date:	7/5/2026
CAD File Name	27-33 Middleton Ave_V13.vrx		

MIDDLETON AVENUE



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Sheet Title:

Level 11 Landscape Planting Plan

Client:

Scion Developments

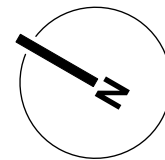
Address:
27-33 Middleton Ave, Castle Hill NSW 2154

Project:

Residential Flat Building

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A3 Reduction: 50%.

Drawn By | OTJ
Checked By | KR
CAD File Name |

Dwg Date: | 30/4/2026
Plot Date: | 7/5/2026
27-33 Middleton Ave_V13.vwx

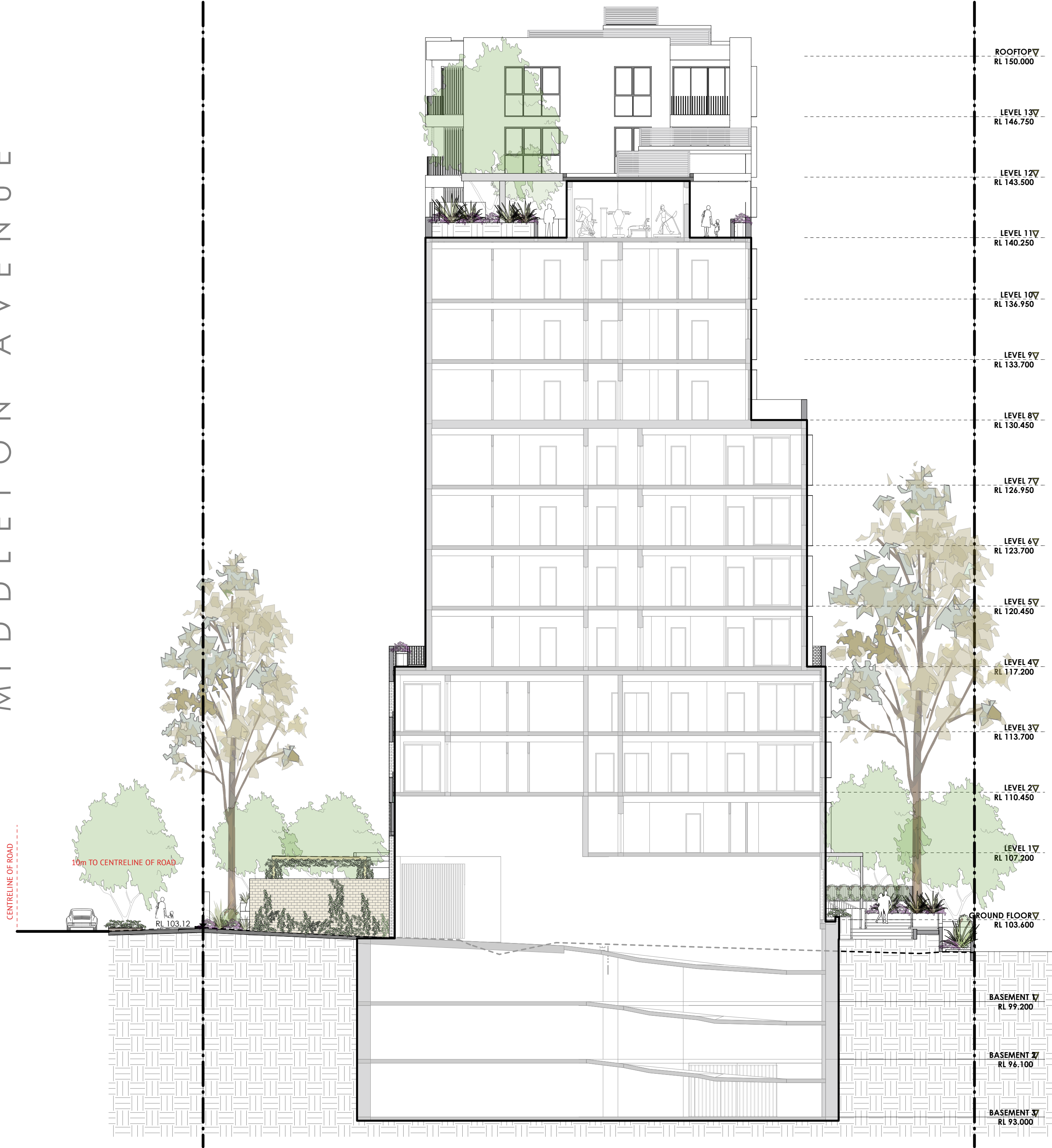
Project No.

Scion

Drawing No. Rev #

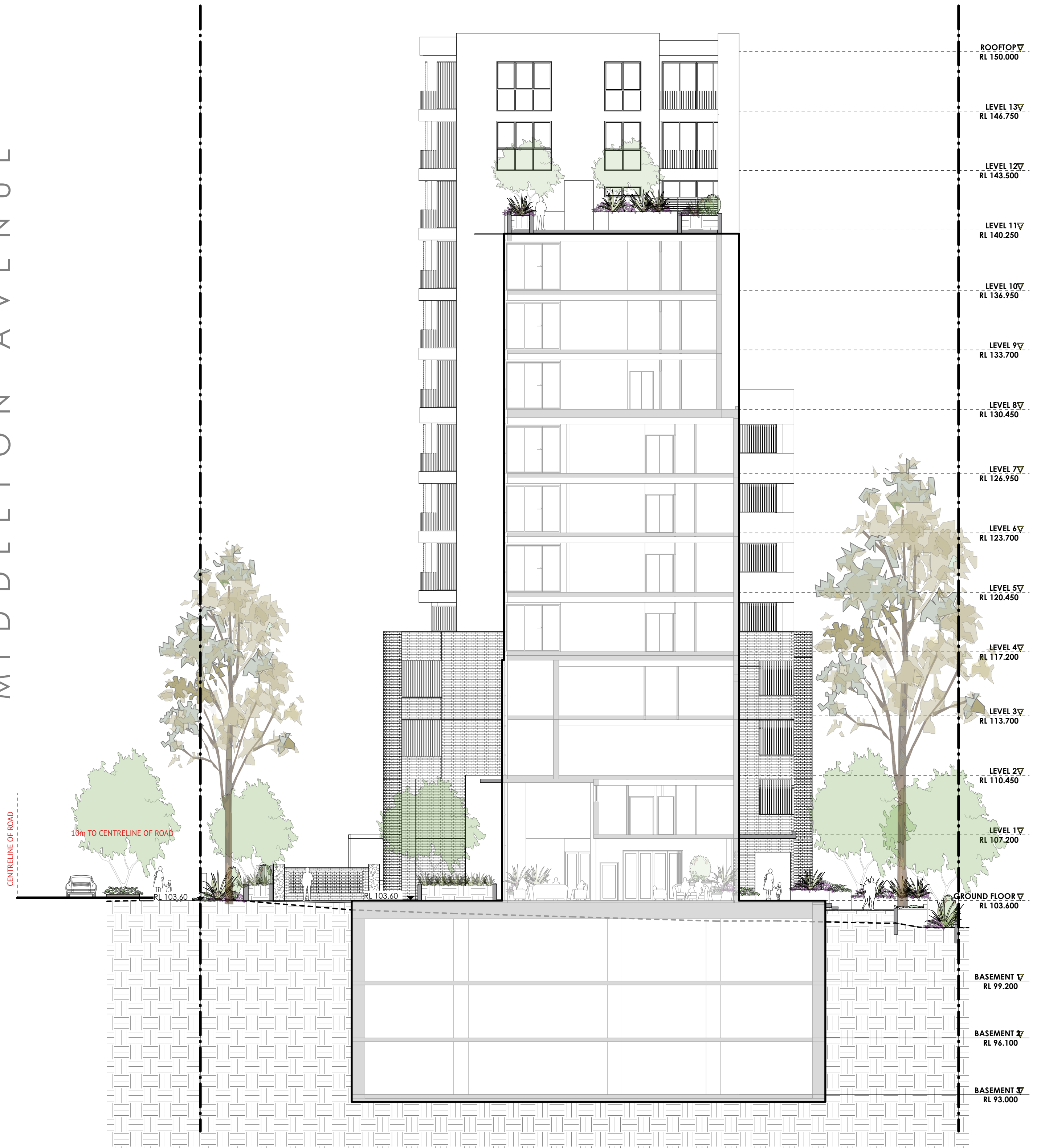
L/06 B
OF 10

MIDDLETON AVENUE



A Driveway Section
Scale: 1:150

MIDDLETON AVENUE



B Foyer Section
Scale: 1:150

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Sheet Title:

Landscape Site Sections

Client:

Scion Developments
Address:
27-33 Middleton Ave, Castle Hill NSW 2154
Project:
Residential Flat Building

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Scale

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A3 Reduction: 50%.

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Dwg Date: | 30/4/2026
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27-33 Middleton Ave_V13.vwx

Project No.

Scion

Drawing No.

L/07 B
OF 10

Rev #

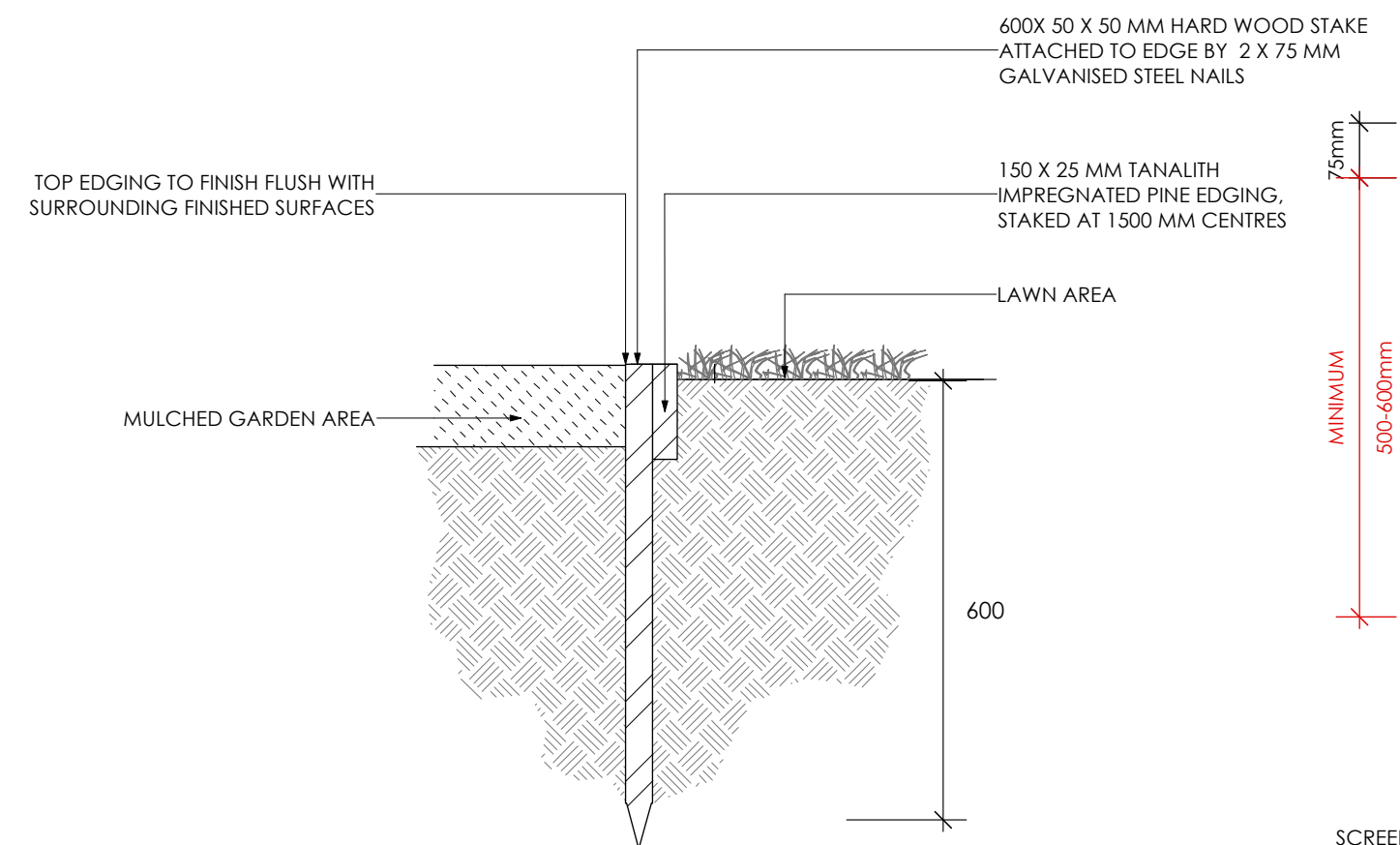
No.	Date	REVISION	By
B	07/05/26	For HDA submission	OTJ
A	30/04/26	For Coordination	OTJ

PART 4P PLANTING ON STRUCTURES
TABLE 5: MINIMUM SOIL STANDARDS FOR PLANTING TYPES AND SIZES

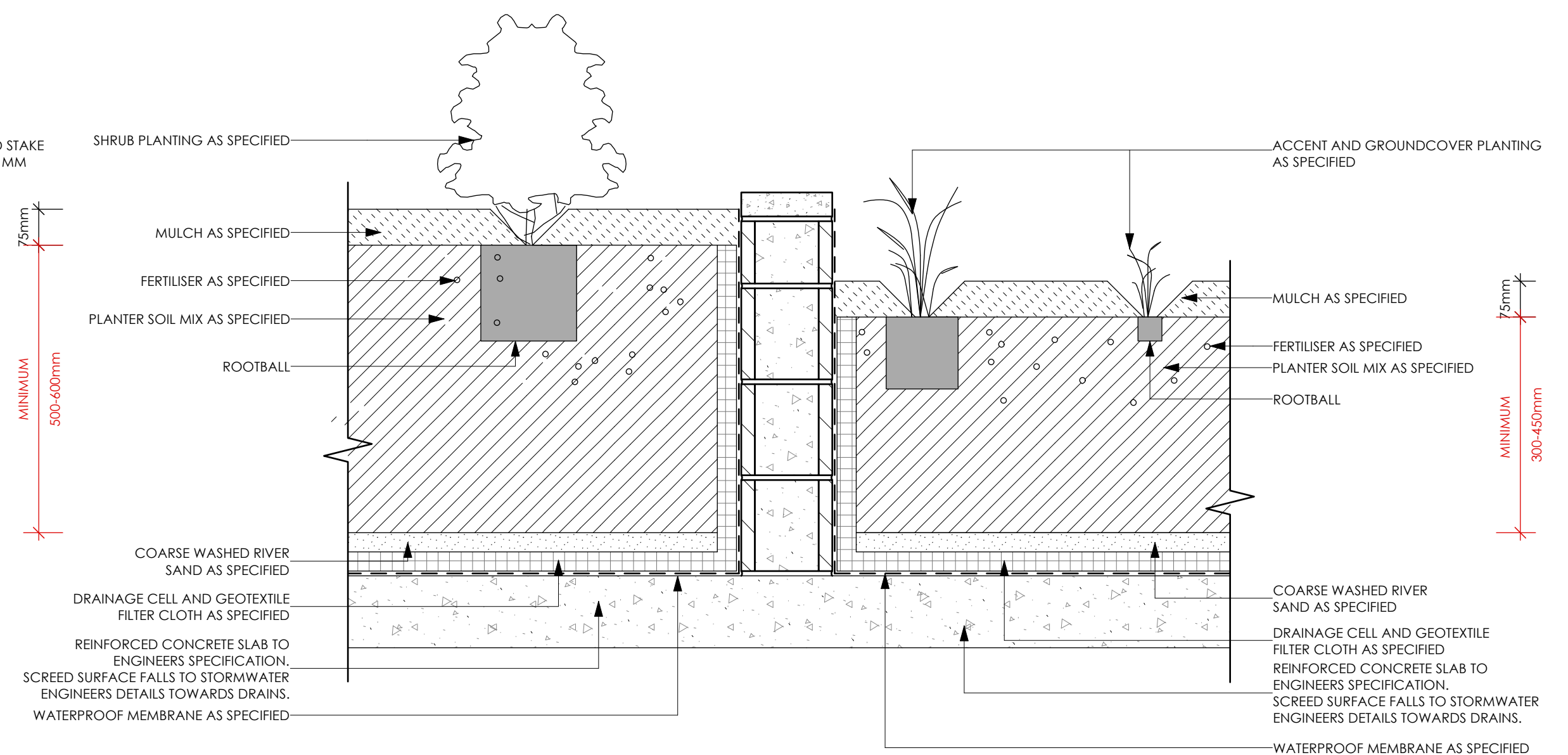
Table 5 Minimum soil standards for plant types and sizes

Plant type	Definition	Soil volume	Soil depth	Soil area
Large trees	12-18m high, up to 16m crown spread at maturity	150m³	1,200mm	10m x 10m or equivalent
Medium trees	8-12m high, up to 8m crown spread at maturity	35m³	1,000mm	6m x 6m or equivalent
Small trees	6-8m high, up to 4m crown spread at maturity	9m³	800mm	3.5m x 3.5m or equivalent
Shrubs			500-600mm	
Ground cover			300-450mm	
Turf			200mm	

Note: The above has been calculated assuming fortnightly irrigation. Any sub-surface drainage requirements are in addition to the above minimum soil depths

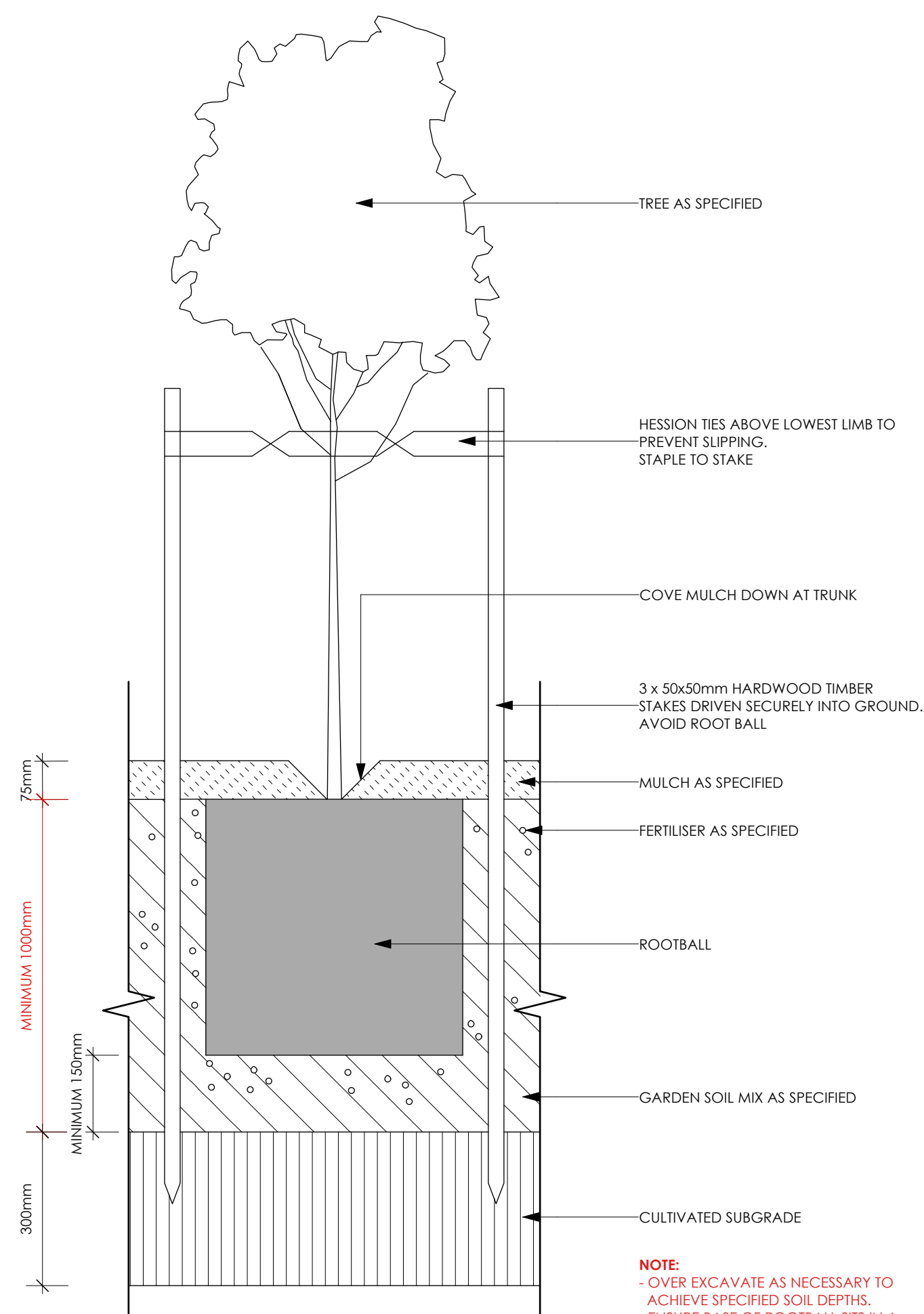


TYPICAL TIMBER EDGE DETAIL
SCALE 1:10

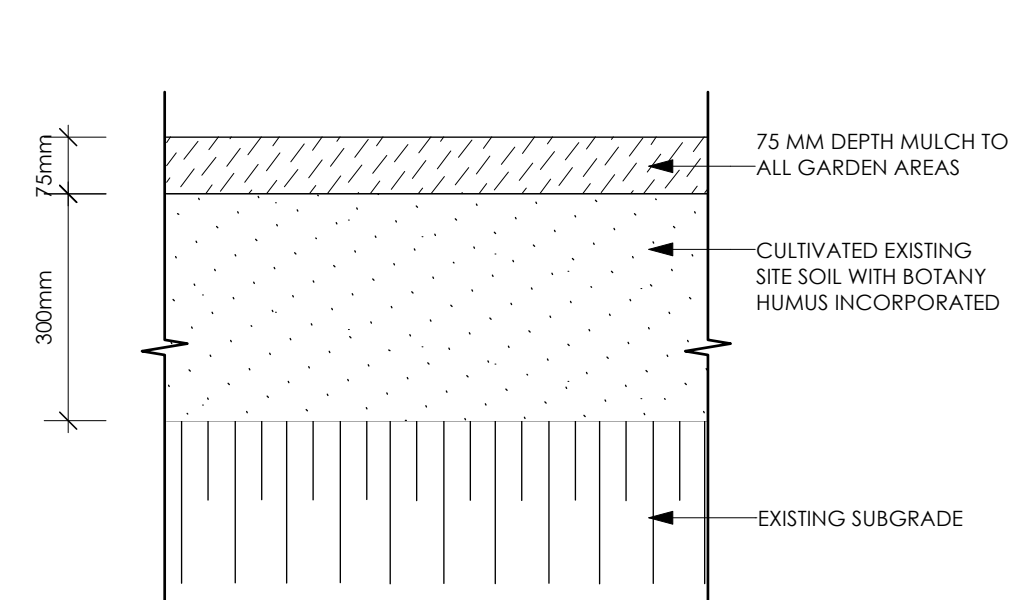


TYPICAL SHRUB PLANTING ON SLAB DETAIL
SCALE 1:10

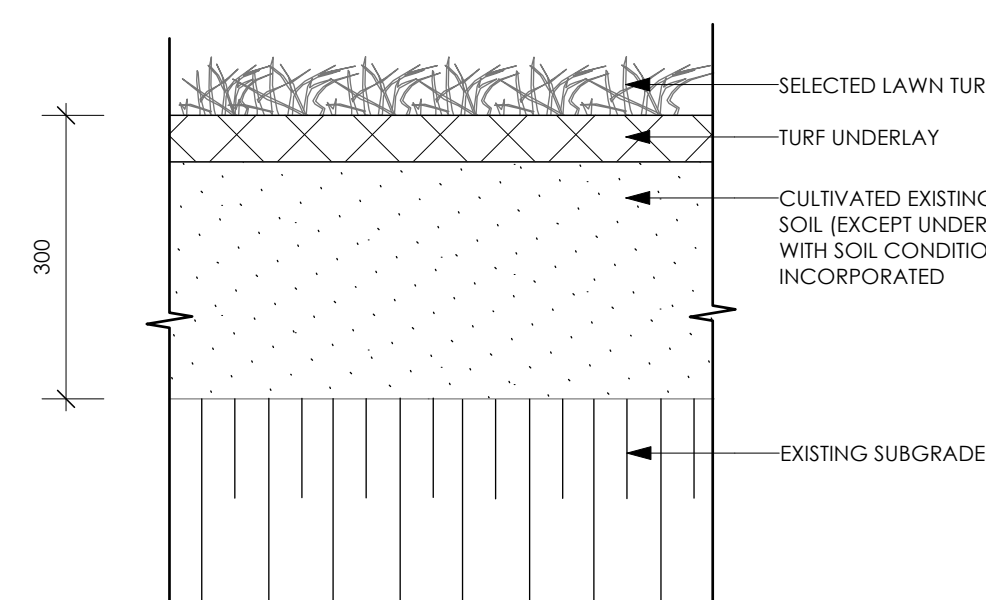
**TYPICAL ACCENT AND GROUNDCOVER
PLANTING ON SLAB DETAIL**
SCALE 1:10



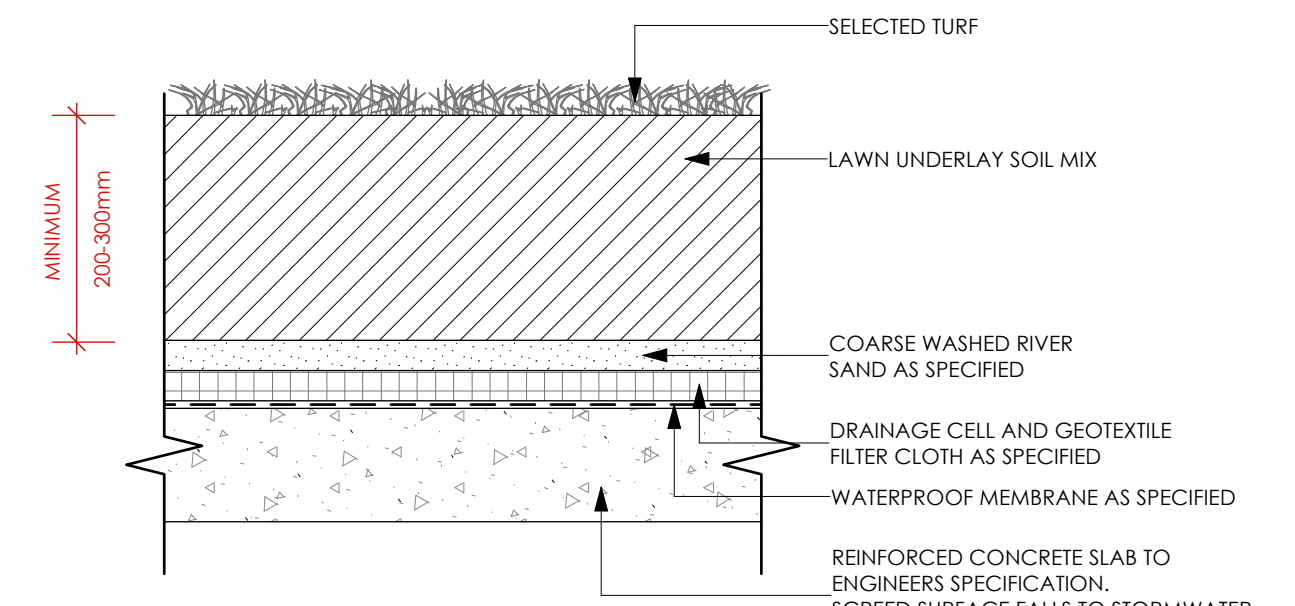
**TYPICAL 25-200L TREE PLANTING ON
FILLED OR EXCAVATED GROUND DETAIL**
SCALE 1:10



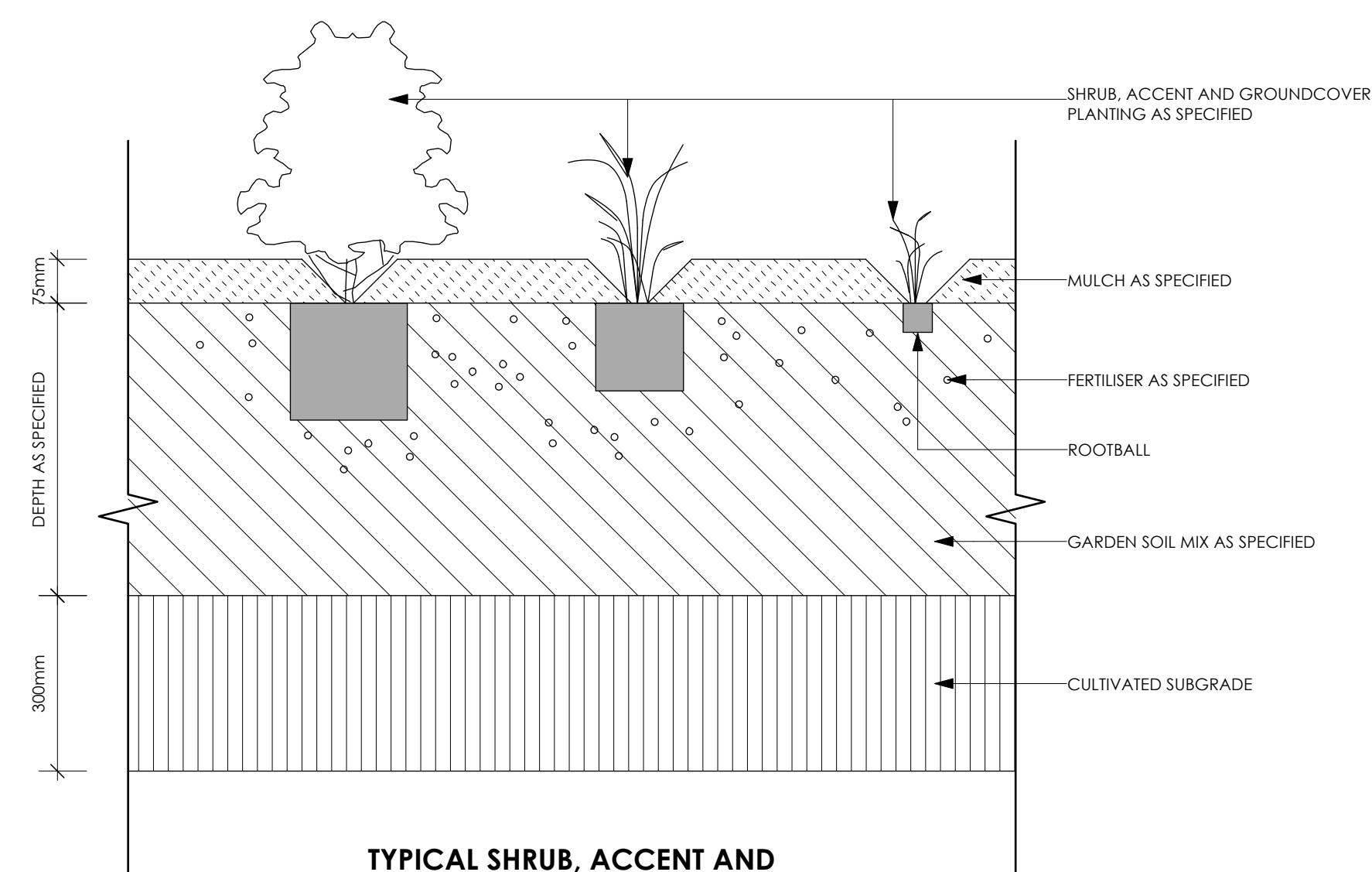
TYPICAL SOIL TO GARDEN AREAS DETAIL
SCALE 1:10



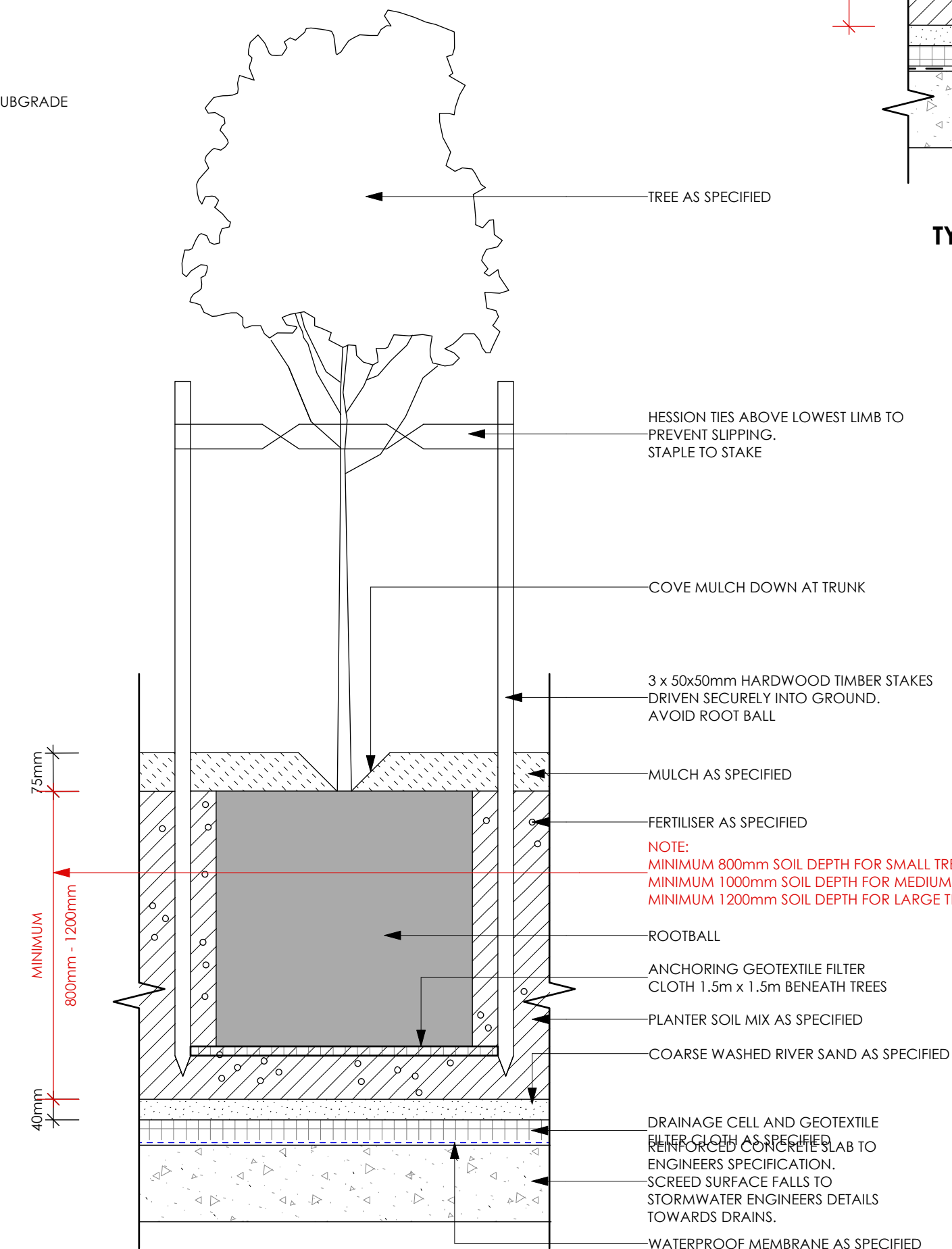
TYPICAL TURF DETAIL
SCALE 1:10



TYPICAL TURF ON SLAB DETAIL
SCALE 1:10



**TYPICAL SHRUB, ACCENT AND
GROUND COVER PLANTING ON FILLED OR
EXCAVATED GROUND DETAIL**
SCALE 1:10



TYPICAL TREE PLANTING ON SLAB DETAIL
SCALE 1:10

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COMMUNAL OPEN SPACE ROOFTOPS AND TERRACE PLANTERS - GENERAL NOTE:

Building Code of Australia (BCA) & Australian Standards (AS):
BCA Building codes and Australian standards apply to all phases of construction, including balustrade design and specification. Specifically, BCA 2012 Parts 3.9.1 (stairs) and 3.9.2 (balustrades) and Australian Standard 1170.1 cover regulations for balustrades on stairways, balconies, rooftop terraces and other surfaces between levels.

BCA Balustrade Regulations and Australian Standards:
A balustrade is defined as a rail and its balusters (posts or other supporting members). A balustrade must:

- Be at least 1 metre high as measured from the finished floor;
- Have openings between risers or posts no greater than 125mm; and
- Be able to withstand loads and impacts as determined by AS 1170.1.

Ultimately, it is the builders responsibility that balustrades are manufactured and installed in compliance with the BCA Balustrade Regulations and Australian Standards.

Balustrade Safety & Planters:
BCA Balustrade Regulations and Standards state that the balustrade must be 1 metre or more, higher than the finished floor. On roof-top terraces, planters, play equipment & furniture may be incorporated.

The inclusion and positioning of these elements should be such that they do not undermine the safety of Communal Open Space (COS) terraces and rooftops, and the compliance with the BCA Balustrade Regulations and Standards is maintained.

Items to consider are:

- Where planters form the safety balustrade, their internal face must be 1m non-climbable
- Outdoor furniture such as tables, BBQs, and seating shall be fixed and located a minimum 1m away from balustrades measured horizontally.
- Where furniture, play equipment and the like is proposed to be fixed to or adjacent to COS terrace planters which form the balustrade, then a compliant handrail will be required to be fixed to the upper external edge of the planter.

After completion of a project and carefully inspected and certified at the Occupation Certificate (OC) stage of the development, the strata body becomes responsible to manage the safety of these areas.

Maintenance of COS area
Communal Open Space terrace and rooftop areas are exposed to extremes of weather therefore ongoing inspection and maintenance is important. The following item should be included or considered:

- All planters shall be water-proofed with this work certified and periodically inspected.
- Future trades shall be closely monitored to ensure they do not damage completed waterproofing.
- All planters shall be drip irrigated with an automated system set on an approved watering pattern with moisture senses installed to minimize overwatering.
- Tree Anchors shall be installed in all Communal Open Space terrace and rooftop areas to larger plants, such as palms and trees.
- Compliance for balustrades and handrails should be monitored regularly
- For the maintenance of all rooftop areas and landscape areas with retaining walls, anchoring points for tying off harnesses for landscape maintenance workers are essential. These are to be designed, detailed and positioned by a suitably qualified consultant.

MAINTENANCE PERIOD:

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

OUTLINE LANDSCAPE SPECIFICATION:

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones: Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

MAINTENANCE SCHEDULE:

TWELVE MONTHS MAINTENANCE SCHEDULE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid suluble fertilise as required												
Cut back perennials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Turfed Area												
Fertilise												
Make good turf as required												
Winter clean up												
Remove dead foliage and pruning as required												

				Notes:		Sheet Title:		Scale		Project No.	
				1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.		Landscape Specification		NTS		Scion	
				2. Do not scale from drawings.		Client:		Original Drawing at A1 Size.			
				3. If in doubt contact Landscape Architect.		Scion Developments		A3 Reduction: 50%.			
				4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.		Address:		Dwg Date: 30/4/2026		Drawing No.	
				5. This plan has been prepared for Approval purposes only.		27-33 Middleton Ave, Castle Hill NSW 2154		Checked By KR		Plot Date: 7/5/2026	
				6. All Building Works shall be installed to Structural Engineers detail.		Project:		CAD File Name		27-33 Middleton Ave_V13.vwx	
						Residential Flat Building				Rev #	
										L/09 B	
										10	