



**BUILDING
INNOVATIONS
AUSTRALIA**

ACCESS 2022 A2 & ADAPTABLE HOUSING INDICATIVE COMPLIANCE REPORT FOR DA LODGEMENT

**251-257 Maroubra Road &
133 Garden Street,
Maroubra NSW 2035**



Prepared for:	BWSLD Maroubra Pty Ltd
Project No.:	PRO-09979-Z1Q1
Date:	09/03/2026
Status:	Report Issue v1.1



Table of Contents

1.0. INTRODUCTION	4
1.1. LOCATION AND DESCRIPTION	4
1.2. REPORT PURPOSE	4
1.3. AS4299-1995 ADAPTABLE HOUSING.....	5
1.4. BASIS OF REPORT	6
1.5. REFERENCED DOCUMENTS	6
1.6. LIMITATIONS AND EXCLUSIONS	7
1.7. LEGISLATIVE FRAMEWORK	9
1.8. TERMINOLOGY	10
2.0. BUILDING DESCRIPTION – PROPOSED DEVELOPMENT	12
2.1. BUILDING CODE OF AUSTRALIA DESCRIPTION	12
2.2. RISE IN STOREYS (RIS) (CLAUSE C2D3)	12
2.3. BUILDING CLASSIFICATIONS (PART A6).....	13
2.4. EFFECTIVE HEIGHT (SCHEDULE 1).....	13
2.5. TYPE OF CONSTRUCTION (TABLE C2D2)	13
2.6. FLOOR AREA AND VOLUME LIMITATIONS (TABLE C3D3).....	14
3.0. BCA ACCESSIBILITY REQUIREMENTS	15
3.1. BCA 2022 A2 CLAUSE BY CLAUSE ASSESSMENT	16
<i>Part D4 – Access for People with Disabilities.....</i>	<i>16</i>
<i>Part E3 – Lift Installations.....</i>	<i>31</i>
<i>Part F4 – Sanitary and Other Facilities</i>	<i>34</i>
4.0. ADAPTABLE HOUSING ASSESSMENT.....	44
4.1. PLANNED BUILDING DESCRIPTION	44
4.2. ADAPTABLE HOUSING CONSENT AUTHORITY REQUIREMENTS	44
4.3. ADAPTABLE UNIT(S) UNDER REVIEW	45
5.0. ADAPTABLE HOUSING REQUIREMENTS.....	49
6.0. CONCLUSION	75
6.1. BCA ACCESSIBILITY INDICATIVE ASSESSMENT CONCLUSION.....	75
6.2. ADAPTABLE HOUSING CONSISTENCY STATEMENT	75
APPENDIX A – REFERENCED DOCUMENTATION.....	77



Document History

Date	Issue	Status	Prepared by	Assessed by	Reviewed by
11.08.2025	Draft Report v0.1	Initial document created	Jennifer Lee	Mardiros Tatian	Mardiros Tatian
20.02.2026	Draft Report v0.2	Report updated to reflect latest plans	Jennifer Lee	Mardiros Tatian	Mardiros Tatian
20.02.2026	Report Issue v1.0	Report issued to client	Jennifer Lee	Mardiros Tatian	Mardiros Tatian
09.03.2026	Report Issue v1.1	Report updated to reflect stakeholder comments	Jennifer Lee	Mardiros Tatian	Mardiros Tatian

Liability limited by a scheme approved under Professional Standards Legislation.



1.0. INTRODUCTION

1.1. Location and Description

This report is prepared in preparation of a Development Application (DA) lodgement and is for assessment purposes, it comprises a National Building Code of Australia 2022 Amendment 2 (NBCA) assessment of the proposed mixed use building as required under Section 19 of the Environmental Planning and Assessment Regulations.

The development incorporates the demolition of existing structures and construction of a new mixed-use building comprising of one-hundred and twenty (120) residential apartments, a Childcare Centre on the Ground Floor, and associated car parking spaces located in the four (4) Basement levels.



Figure 2 *Figure 1 Site location and topography*

1.2. Report Purpose

The purpose of this report is to provide an indicative compliance assessment of the DA design documentation for the proposal, against the current requirements of the BCA, related to people with disabilities.

Furthermore, this report also provides an indicative adaptable housing assessment as required by Randwick Council DCP 2013, which requires a minimum of 20% adaptable dwellings within the development.

To pre-empt the Certifying Authority's role under Section 19 of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021, we have undertaken a preliminary assessment of the development against the provisions of the BCA and the adaptable housing standard AS 4299-1995 applicable to the lodged Development Certificate.



1.3. AS4299-1995 Adaptable Housing

As listed under AS4299-1995 Adaptable Housing, the objectives and performance requirements of adaptable housing are as follows:

OBJECTIVES

1. That housing be designed and constructed or altered in a way which satisfies the performance requirements for adaptable housing enumerated in Clause below.
2. That housing is designed in such a way that later alterations to suit individual requirements will be achievable at minimal extra initial cost.
3. That housing be designed in such a way that it will easily adapt to suit the widest possible range of lifetime needs. This will include the needs of people with physical disabilities (including people who use wheelchairs, people with disabilities who are ambulant, and people with manipulatory disabilities); people with sensory disability (vision, hearing) and people with intellectual disability.
4. The initial design will allow for visibility through an accessible path of travel to the living room and toilet.

PERFORMANCE REQUIREMENTS

1. Adaptable housing units shall be designed and
2. constructed to meet the following requirements:
 - (a) **Visitability** To be visitable by people who use wheelchairs, in that there must be at least one wheelchair accessible entry and path of travel to the living area and to a toilet that is either accessible or visitable.
 - (b) **Avoidance of level changes** To have no steps and to avoid level changes where possible.
 - (c) **Manoeuvrability** This shall include the following:
 - i. To provide space sufficient to manoeuvre a wheelchair within a living area, the kitchen and an accessible path of travel linking these areas.

NOTE: Although not required for visibility, the kitchen is included as an initial spatial requirement for manoeuvrability, as there is significant expense involved in changing the kitchen layout at a later date.
 - ii. To provide space sufficient to manoeuvre a wheelchair within a bedroom, a bathroom and a toilet or to provide a design and details whereby after adaptation there will be sufficient space to manoeuvre a wheelchair within these facilities and an accessible path of travel linking these facilities to the entry, living and kitchen areas.
 - (d) **Ease of adaptation** If the design for adaptation requires further demolition of walls then these walls shall be non load-bearing and free of electrical and plumbing services.
 - (e) **Ease of reach** To provide electrical controls, taps, and some shelves and cupboards at levels to suit people who use wheelchairs.
 - (f) **Future laundry facilities** To provide laundry facilities that after adaptation will be accessible to people who use wheelchairs. Those laundry facilities may be external to the adaptable housing unit, providing a wheelchair accessible path of travel is available from the adaptable housing unit to the laundry facilities.

NOTES: There are no set design solutions, but a huge variety of ways of adapting a design to meet these criteria is possible. Designers are encouraged to use imaginative design within these broad parameters. An example of an adaptable house design is shown in Appendix C.



POTENTIAL FOR ADAPTATION

1. To obtain certification as an adaptable housing unit, 'as built' drawings showing the housing unit in its pre-adaptation and post-adaptation stages shall be provided. A description of how the adaptation is to be achieved shall also be provided.

1.4. Basis of Report

This report is based upon and limited to:

- An assessment of design documentation referenced in Appendix A of this report;
- The Deemed-to-Satisfy provisions of the National Building Code of Australia 2022 Amendment 2 including the NSW variations where applicable.
- Australian Standard AS 4299-1995, Adaptable Housing, referred to as 'the Standard'.

1.5. Referenced Documents

The following documentation was relied upon when preparing this report:

- Assessment of design documentation referenced in Appendix A of this report.
- The performance and deemed-to-satisfy provisions of the National Building Code of Australia 2022 Amendment 2 incorporating the NSW Appendices where applicable.
- Guide to the National Building Code of Australia.
- Australian Standard AS 4299-1995, Adaptable Housing Standard.
- Australian Standard AS1428.1-2021, Design for Access and Mobility.
- Australian Standard AS1428.2-1992, Design for Access and Mobility.
- Disability (Access to Premises — Buildings) Standards 2010.
- Environmental Planning & Assessment Act 1979.
- Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021.
- Woollahra Development Control Plan 2015.



1.6. Limitations and Exclusions

The limitations and exclusions of this report are as follows:

- The plans are assessed indicatively to the extent necessary to proceed to construction certificate stage whereby assessment will be undertaken pursuant to Part 4A of the Environmental Planning and Assessment Act 1979. This means that the design has been assessed to be able to comply with the BCA (i.e. the submitted plans are consistent with the BCA but certain design details may not be specified at this stage due to the plans and specifications being at pre DA stage).
- This Report does not address issues in relation to the following:
 - a) The structural adequacy of the building including the Fire Resistance Levels (FRL's) of any building elements (unless specifically referred to).
 - b) The design, maintenance or operation electrical, mechanical, hydraulic or fire protection services.
 - c) Environmental Planning and Assessment Act and Regulations (unless specifically referred to).
 - d) Local Government Act and Regulations.
 - e) Occupational Health and Safety Act and Regulations.
 - f) WorkCover Authority requirements.
 - g) Requirements of other Regulatory Authorities including, but not limited to, Telstra, Sydney Water, Electricity Supply Authority, RTA, Council and the like.
 - h) Disability Discrimination Act (DDA) other than minimum requirements under the Disability (Access to Premises — Buildings) Standards 2010. DDA is a Case by Case Assessment, this building will comply with the set items under the Premises Standards.
 - i) Construction Safety Act.
 - j) Conditions of Development Consent issued by the relevant Local Council.
- This assessment does not incorporate the detailed requirements of the Australian Standards.
- Building Innovations Australia Pty Ltd cannot guarantee acceptance of this report by the Local Council, NSW Fire Brigades or other approval authorities.
- This report is not to be used for any other purpose than its original intention.
- Without written permission from Building Innovations Australia Pty Ltd, no part of this document may be reproduced in any form or by any means. This report is based solely on client instructions, and therefore should not be used by any third party without prior knowledge of such instructions.
- Section 37 of the Design and Building Practitioners Act (2020) outlines the "Extension of duty of care" for designing and building, which is owed to the landowner by person(s) carrying out "construction work".

"Construction work" is defined within the Design and Building Practitioners Act (2020) by any of the following:

- a) "building work";
- b) the preparation of regulated designs and other designs for "building work";
- c) the manufacture or supply of a "building product" used for "building work";
- d) supervising, coordinating, project managing or otherwise having substantive control over the carrying out of any work referred to in paragraph (a), (b) or (c).

"Building work" includes residential building works within the meaning of the Home Building Act 1989.

"Residential building work" is defined within Part 3B within Home Building Act 1989, and includes the following:

- (a) specialist work,
- (b) work under this Act that impacts other land or buildings,
- (c) work that relates to, or leads to, other residential building work, including work referred to in paragraphs (a) and (b).



“Specialist work” is defined within the Home Building Act 1989 as the following work whether done or not done in connection with a dwelling (including work done in connection with commercial or industrial work):

- (a) plumbing and drainage work, other than roof plumbing work,
- (a1) mechanical services and medical gas work,
- (a2) medical gasfitting work,
- (a3) medical gas technician work,
- (b) gasfitting work
- (c) electrical wiring work,
- (d) any work declared by the regulations to be refrigeration work or air-conditioning work.

- Building Innovations Australia (BIA) is strictly limited to provided general consultancy advise based on information provided by the client, and do not undertake any design works as part of our scope of works.
- BIA therefore strictly does not provide any "construction work", "building work", or "specialist work" as defined by Section 37 of the Design and Building Practitioners Act (2020) and the Home Building Act (1989).
- The "construction work", "building work" and "specialist work" are the responsibilities of suitably qualified personnels engaged for this project by the client / landowner, to ensure all items of the proposed development complies.
- BIA are not responsible in the management, coordination, or supervision or the like for any construction works or design works of the development. The design works provided are prepared externally by other qualified designers, design practitioners, accredited consultants, licensed contractors or the like who are responsible for providing BIA with the accurate project information and design for us to generally assess.
- Our engagement is contingent upon the appointment of suitably qualified designers, design practitioners, and accredited builders, consultants, and licensed contractors. It is the sole responsibility of the Builder, Developer, and Project Manager to verify that all contracted parties hold the necessary credentials. Failure to engage appropriately accredited personnel shall constitute a material breach, rendering this agreement null and void and indemnifying us from all subsequent liability
- Building Innovations Australia provides general advice and **does not own responsibility** or undertake any works for the following, which includes but is but not limited to:
 - Managing, directing, supervising, or controlling project construction works;
 - Coordinating or controlling contractors, subcontractors, suppliers, or trades involved in this project;
 - Providing responsibility for construction management, project management, site supervision, compliance-related site inspection, contract administration, quality control, or workmanship certification;
 - Providing responsibility for temporary works, site safety, workmanship, tolerances, quality control, or sequencing construction methods;
 - Providing verification of compliance of constructed works against the proposed designs (unless explicitly provided as a statement in writing);
 - Providing any observations from site inspections outside of the explicit scope of this fee proposal. These site inspections are limited to the scope, intermittent in nature, and undertaken solely for the purpose of obtaining general familiarity with the progress of the development works. Such site inspection observations do not constitute supervision, inspection, or certification of the works and are not approved to be relied upon as confirmation of compliance with the proposed designs or applicable standards;
 - Providing responsibility of construction accuracy, workmanship, construction material selection, installation, coordination between trades, or compliance with the proposed design documentations. These listed responsibilities rest entirely with the development builder, contractor, and relevant site personnel;
 - Having liability for any defects, failures, damages, or non-compliances arising from construction errors or omissions, deviations from the proposed design documentations, poor workmanship or inappropriate construction practices, or site conditions / site decisions beyond the scope and control of the design documentations provided by the design consultants.



1.7. Legislative Framework

Section 4.15 (formally Section 79C) of the Environmental Planning and Assessment Act provides the matters of consideration that the consent authority must take into account in the determination of a development application.

Once development consent is granted, and pursuant to Section 19 of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021, a certifying authority must not issue a construction certificate for building work unless:

- (a) *the relevant building work plans and specifications include the matters required by a relevant BASIX certificate, if any, and*
- (b) *the design and construction of the building, as described in the relevant building work plans and specifications and in other information given to the certifier under section 12, is consistent with the development consent, and*
- (c) *the building will comply with the relevant requirements of the Building Code of Australia as in force at the time the application for the construction certificate was made.*

Compliance with the National Building Code of Australia

The BCA is a performance based document whereby compliance can be achieved by satisfying the deemed to satisfy requirements or by formulating an alternative solution to address the relevant performance requirements.

As indicated above, the requirements of the Environmental Planning and Assessment Regulations requires all new building works to comply with the relevant requirements of the BCA (as in force at the time the application for the construction certificate was made).

This means that the plans and documentation submitted with the *construction certificate* (CC) application must demonstrate full compliance with the relevant provisions of the Building Code of Australia.

Fulfilment of BASIX Commitments (Residential only)

Section 43 of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021 requires a certifying authority to monitor fulfilment of any commitments listed on the BASIX certificate, where the BASIX requires the certifying authority to monitor those commitments.

A certifying authority must not issue an occupation certificate (whether interim or final) for any building resulting from, or any building that becomes a BASIX affected building because of, BASIX affected development or BASIX optional development to which this clause applies, or for any part of such a building, unless each of the commitments whose fulfilment it is required to monitor in relation to the building or part has been fulfilled.

For the purpose of satisfying itself as to the fulfilment of any such commitment, a certifying authority may rely on the advice of any properly qualified person (i.e. Energy Efficiency Consultant).



Special Requirements for Residential Flat Developments

Section 15 (formally Cl. 143A) of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021 requires a qualified designer to provide a statement that verifies that the plans and specifications that form part of construction certificate application achieve or improve the design quality of the development having regard to the design quality principles set out in Part 2 of the State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development prior to the issue of a Construction Certificate.

Section 43 (formally Cl. 154A) of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021 requires a qualified designer to provide a statement that verifies that the residential flat development achieves the design quality of the development as shown in the plans and specifications having regard to the design quality principles set out in Part 2 of the State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development prior to the issue of an Occupation Certificate.

Disability (Access to Premises — Buildings) Standards 2010

Disability (Access to Premises — Buildings) Standards 2010 has been introduced and is applicable to this building. It is noted that unless Part D4, Clauses E3D7, E3D8, F4D5, F4D6 & F4D7 are included in the below assessment, an access consultant may need to be engaged to provide specific comments as to compliance with this standard. Note that except for slight variations, particularly for Class 1b buildings, available verification methods and adult change facilities, as this is a new building to BCA 2022 A2, compliance with the Disability (Access to Premises — Buildings) Standards 2010 would inherently comply.

1.8. Terminology

- **Accessible** - complying with the floor space requirements described in AS 1428.1 and able to be approached, entered and used by people with a disability, including those who rely upon a wheelchair.
- **Accessible housing unit** - Housing unit with features already in place to facilitate use by a person with a disability or progressive frailty.
 - NOTE: Accessible housing would typically incorporate features such as grabrails and fittings adequate for people with limited mobility. Some of these features which enhance independent living are described in AS 1428.1 and AS 1428.2.
- **Adaptable housing unit** - housing unit which is designed and constructed to meet the performance requirements stated in Clause 2.2 and to include the essential features listed in Appendix A. An adaptable housing unit is designed in such a way that it can be modified easily in the future to become accessible to both occupants and visitors with disabilities or progressive frailties.
- **Building Code of Australia** - Document published on behalf of the Australian Building Codes Board. The BCA is a uniform set of technical provisions for the design and construction of buildings and other structures throughout Australia and is adopted in NSW under the provisions of the Environmental Planning & Assessment Act & Regulation.
- **Circulation space** - contains the net unobstructed area for a minimum height of 2000 mm above the finished floor or ground surface (unless otherwise specified in this Standard), which is that space surrounding built elements, landscape elements, and fixtures and fittings required for movement into and within buildings.
- **Fire Resistance Level (FRL)** - means the grading periods in minutes tested in accordance with AS 1530.4-2005 for the following criteria -
 - (a) structural adequacy; and
 - (b) integrity; and
 - (c) insulation,



and expressed in that order.

- *Fire Source Feature (FSF)* - the far boundary of a road adjoining the allotment; or a side or rear boundary of the allotment; or an external wall of another building on the allotment which is not a Class 10 building.
- *General Purpose Outlet (GPO)* - electrical socket for general use.
- *Housing unit* - a single residence or a part of a residence, containing living area and sleeping space, kitchen, toilet and bath or shower room. The term includes bed-sitter flats, detached and semi-detached houses, villa homes, townhouses and apartments in multi-storey blocks.
- *Open space* - means a space on the allotment, or a roof or other part of the building suitably protected from fire, open to the sky and connected directly with a public road.
- *Performance Requirements of the BCA* - A Building Solution will comply with the BCA if it satisfies the Performance Requirements. A Performance requirement states the level of performance that a Building Solution must achieve.

Compliance with the Performance Requirements can only be achieved by-

(a) complying with the Deemed-to-Satisfy Provisions; or

(b) formulating a Performance Solution which-

(i) complies with the Performance Requirements; or

(ii) is shown to be at least equivalent to the Deemed-to-Satisfy Provisions; or

(c) a combination of (a) and (b).

- *Ramp* - an inclined accessway with a gradient steeper than 1 in 20 but not steeper than 1 in 14.
- *Shall* - refers to an essential requirement.
- *Should* - refers to a desirable requirement.
- *Sole occupancy unit* - means a room or other part of a building for occupation by one or joint owner, lessee, tenant, or other occupier to the exclusion of any other owner, lessee, tenant, or other occupier.
- *The Act* – refers to NSW Environmental Planning and Assessment Act 1979.
- *The Regulation* – refers to NSW Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021.
- *The Standard* – refers to Australian Standard AS 4299-1995.
- *Threshold* - the sill of a doorway at the entrance to a house gradient not steeper than 1 in 8, located in, or instead of, a step other than a kerb.
- *Visitable housing unit* - housing unit which has at least one wheelchair accessible entry with an accessible path of travel to the living area and to a toilet that is either accessible or visitable.
- *Visitable toilet* - a toilet which has a space of minimum 1250 mm in front of the toilet 900 mm wide clear of door swings and fixtures.
- *Walkway* - any accessway with a gradient not steeper than 1



2.0. BUILDING DESCRIPTION – PROPOSED DEVELOPMENT

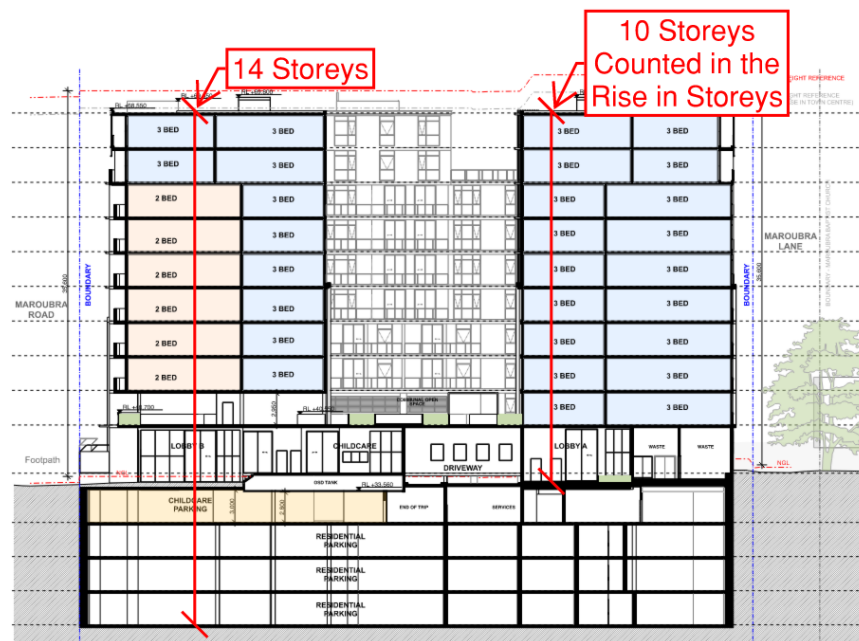
2.1. Building Code of Australia Description

For the purposes of the Building Code of Australia 2022 A2 (BCA) the proposed development may be described as follows.

2.2. Rise in Storeys (RIS) (Clause C2D3)

The overall building has a rise in storeys of ten (10)** as illustrated below;

The number of storeys contained is fourteen (14)*.



* A *storey*, as defined by the BCA, is the space within a building situated between one floor level and the next level, or if there is no floor above, the ceiling or roof above, and doesn't exclude levels under the ground floor.

**The *rise in storeys*, as determined by the BCA, is the sum of the storeys counted in the rise in storeys, as defined in Clause C4D3.



2.3. Building Classifications (Part A6)

The proposed building has been classified as follows.

BUILDING LEVELS	PLAN LEVELS	CLASSIFICATION	USE	RIS
Basement 4	Basement 04 Floor Plan	Class 7a	Carpark	-
Basement 3	Basement 03 Floor Plan	Class 7a	Carpark	-
Basement 2	Basement 02 Floor Plan	Class 7a	Carpark	-
Basement 1	Basement 01 Floor Plan	Class 7a	Carpark	-
Ground Floor	Ground Floor Plan	Class 9b	Childcare Centre	1
First to Ninth Floor	Level 01-09 Floor Plan	Class 2	Residential	2-10
Roof	Roof Plan	Class 2	Residential	-

2.4. Effective Height (Schedule 1)

The building has an effective height (EH) of approximately **30.885m** when measured from the floor of the topmost storey which is greater than 25m but less than 50m.

*Lowest Point taken @ RL 35.100 (Approx.)

*Highest Point taken @ RL 64.450



2.5. Type of Construction (Table C2D2)

The building appears to be required to be of **Type 'A'** Construction.



2.6. Floor Area and Volume Limitations (Table C3D3)

The building is subject to maximum floor area and volume limits under Type 'A' Construction of:

Class of Building Part	Floor Area & Volume		Outcome
	Max Permitted (Table C2.2)	Max. Proposed	
▪ Class 7a	5,000 m ²	< 5,000 m ²	Complies
	30,000 m ³	< 30,000 m ³	
▪ Class 9b	8,000 m ²	< 8,000 m ²	Complies
	48,000 m ³	< 48,000 m ³	

**Class 7a is exempt from Table C3D3 Floor Area restrictions if Carpark is proposed to be Sprinkler Protected pursuant to Clause E1D4.*

The Class 2 portions of the building are not subject to any floor area and volume limitations of C3D3 of the BCA. Table S5C11a–g of Specification 5 and C4D12 of the BCA regulate compartmentalisation and separation provisions applicable to Class 2 buildings or building portions.



3.0. BCA ACCESSIBILITY REQUIREMENTS

Noting that the level of documentation at this stage is for a Development Application (DA) assessment purposes, an indicative compliance assessment of the referenced documents identified in Appendix B of this report has been undertaken against the Deemed-to-Satisfy Provisions of the National Building Code of Australia 2022 Amendment 2 (BCA).

Outlined below is a summary of the Deemed-to-Satisfy Provisions of the BCA. All Deemed-to-Satisfy clauses that are applicable to the subject building have been referred to below, including a comment adjacent to each clause of the proposal's ability to satisfy each respective clause.

The abbreviations outlined below have been used in the following tables:

N / A	The Deemed-to-Satisfy clause does not apply to the subject Building.
Complies	The relevant provisions of the Deemed-to-Satisfy clause have been demonstrated by the proposed design and existing building features, notwithstanding it is at DA documentation stage.
CRA	'Compliance Readily Achievable'. It is considered that the level of detail included in the DA documentation will not determine strict compliance with the individual BCA clause requirements. However, subject to noting the requirements of each clause, it is considered BCA compliance can be readily demonstrated without significant implication to the approved design. This will occur through progression of documentation to the Construction Certificate stage of the development.
FI	Further information is necessary to determine the compliance potential of the building design.
PS	Performance Solution with respect to this Deemed-to-Satisfy Provision is possible to satisfy the relevant BCA Performance Requirements.
DNC	Does Not Comply.
DTS	Deemed-To-Satisfy provisions as defined by the National Building Code of Australia 2022 A2.



3.1. BCA 2022 A2 Clause by Clause Assessment

SECTION D – ACCESS AND EGRESS

Part D4 – Access for People with Disabilities			
Clause	Description	Status	Comments
D4D1	Deemed-to-Satisfy Provisions	Note	Disability (Access to Premises — Buildings) Standards 2010 is to be read in conjunction with the BCA. Compliance with the Access Codes appears to be achieved.
D4D2	General Building Access Requirements	CRA	Buildings and parts of buildings must be accessible as required by D4D2, unless exempted by D4D5. Compliance with Part D4 of the BCA is applicable to this building. All common areas are also to facilitate access in accordance with AS1428.1. From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level and to and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like. Where a ramp complying with AS 1428.1 or a passenger lift is installed— (a) to the entrance doorway of each sole-occupancy unit; and (b) to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp. Areas Required to be Accessible Access to the Basement 3-2 storage areas, Basement 1 bin rooms and facilities room, Ground Floor and First Floor communal areas, and residential bin chutes are common facilities required to be accessible. As such, the Basement 1 FOGO room and bin chutes throughout the residential levels require review. Class 9b early childhoods require access to and within all areas normally used by the occupants. As such, the Ground Floor outdoor play area requires review. Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate. General Non-Compliant Areas 850mm clearance through the active door leaf does not appear to be provided to the bin chute rooms on the residential levels. Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.



Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
			Refer to door circulation spaces in this report for further details. Final design details of wheelchair access to this part are to be provided at the final Construction Certificate stage.

Architects/Designers Note: AS1428.1 is very detailed, please ensure that your design has been checked and rechecked as to full compliance .i.e.:

- All doors are to be a minimum of a clear opening width of not less than 850 mm and the required circulation spaces around doors to be accessible in accordance with AS 1428.1
- Door hardware is to a 'D' grasping style, 20N force to open and close all doors.
- Walkways, corridors also must be compliant for dead areas, wheelchair passing and splayed corners.
- Doors and doorways need to have 30% luminance contrasting to distinguish door locations,
- All Glazing other than windows needs 30% luminance contrasting, The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level. Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.
- All stairs excluding the fire isolated stair are to incorporate the required double handrail, downturns, solid treads, colour contrast nosing strips and TGSIs.

Floor surfaces and junction points are all smooth and comply with slip resistant levels.

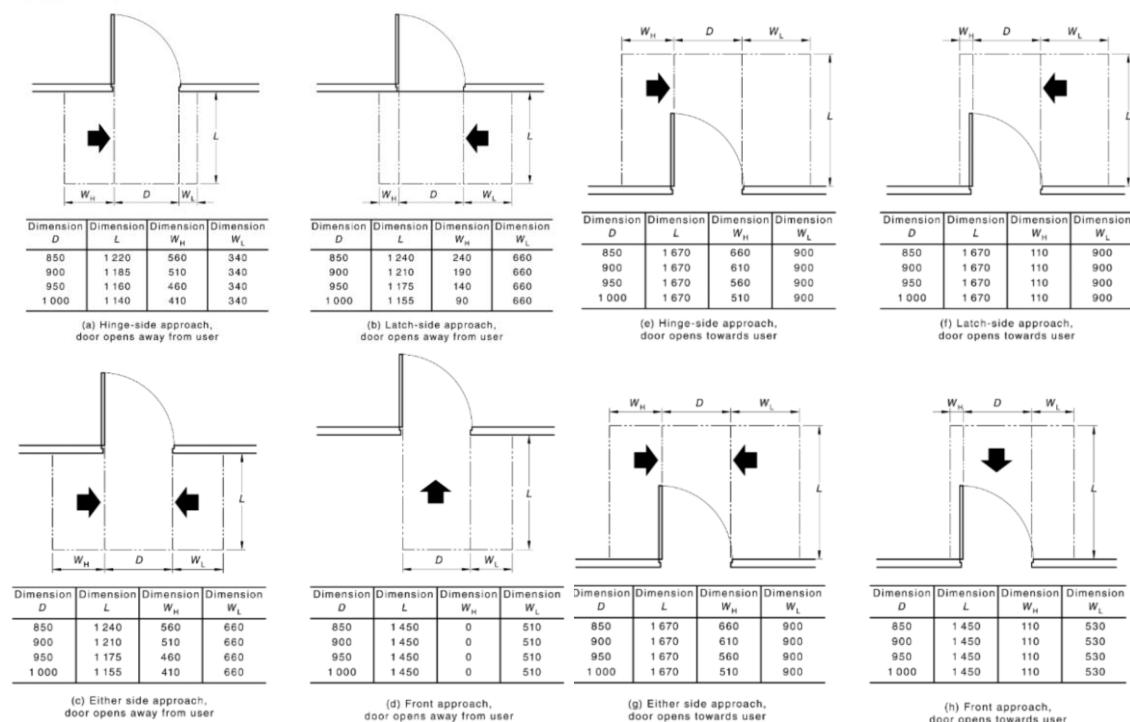
Door Circulation Spaces

All circulation spaces to SOU doors and doorways through common areas are to be confirmed; doorways leading to areas required to be accessible appear to meet the set dimensions under AS1428.1.

Design verification to be provided prior to the issue of the Construction Certificate.

Figure 31 – Circulation spaces at doorways with swinging doors

Dimensions in millimetres



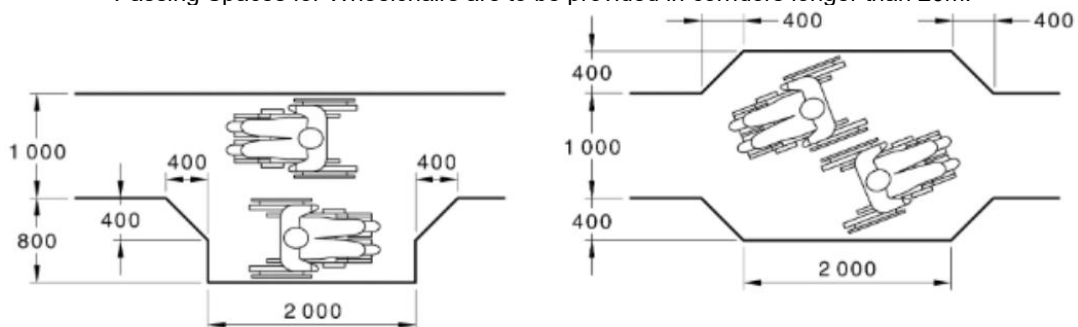


Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments																																																																																
Figure 32 — Circulation spaces at doorways with sliding doors Dimensions in millimetres (a) Slide-side approach <table border="1"> <thead> <tr> <th>Dimension D</th><th>Dimension L</th><th>Dimension W_H</th><th>Dimension W_L</th></tr> </thead> <tbody> <tr><td>850</td><td>1280</td><td>660</td><td>395</td></tr> <tr><td>900</td><td>1280</td><td>610</td><td>395</td></tr> <tr><td>950</td><td>1280</td><td>560</td><td>395</td></tr> <tr><td>1000</td><td>1280</td><td>510</td><td>395</td></tr> </tbody> </table> (b) Latch-side approach <table border="1"> <thead> <tr> <th>Dimension D</th><th>Dimension L</th><th>Dimension W_H</th><th>Dimension W_L</th></tr> </thead> <tbody> <tr><td>850</td><td>1230</td><td>185</td><td>660</td></tr> <tr><td>900</td><td>1230</td><td>180</td><td>660</td></tr> <tr><td>950</td><td>1230</td><td>180</td><td>660</td></tr> <tr><td>1000</td><td>1230</td><td>180</td><td>660</td></tr> </tbody> </table> (c) Either side approach <table border="1"> <thead> <tr> <th>Dimension D</th><th>Dimension L</th><th>Dimension W_H</th><th>Dimension W_L</th></tr> </thead> <tbody> <tr><td>850</td><td>1280</td><td>660</td><td>660</td></tr> <tr><td>900</td><td>1280</td><td>610</td><td>660</td></tr> <tr><td>950</td><td>1280</td><td>560</td><td>660</td></tr> <tr><td>1000</td><td>1280</td><td>510</td><td>660</td></tr> </tbody> </table> (d) Front approach <table border="1"> <thead> <tr> <th>Dimension D</th><th>Dimension L</th><th>Dimension W_H</th><th>Dimension W_L</th></tr> </thead> <tbody> <tr><td>850</td><td>1450</td><td>0</td><td>530</td></tr> <tr><td>900</td><td>1450</td><td>0</td><td>530</td></tr> <tr><td>950</td><td>1450</td><td>0</td><td>530</td></tr> <tr><td>1000</td><td>1450</td><td>0</td><td>530</td></tr> </tbody> </table>				Dimension D	Dimension L	Dimension W _H	Dimension W _L	850	1280	660	395	900	1280	610	395	950	1280	560	395	1000	1280	510	395	Dimension D	Dimension L	Dimension W _H	Dimension W _L	850	1230	185	660	900	1230	180	660	950	1230	180	660	1000	1230	180	660	Dimension D	Dimension L	Dimension W _H	Dimension W _L	850	1280	660	660	900	1280	610	660	950	1280	560	660	1000	1280	510	660	Dimension D	Dimension L	Dimension W _H	Dimension W _L	850	1450	0	530	900	1450	0	530	950	1450	0	530	1000	1450	0	530
Dimension D	Dimension L	Dimension W _H	Dimension W _L																																																																																
850	1280	660	395																																																																																
900	1280	610	395																																																																																
950	1280	560	395																																																																																
1000	1280	510	395																																																																																
Dimension D	Dimension L	Dimension W _H	Dimension W _L																																																																																
850	1230	185	660																																																																																
900	1230	180	660																																																																																
950	1230	180	660																																																																																
1000	1230	180	660																																																																																
Dimension D	Dimension L	Dimension W _H	Dimension W _L																																																																																
850	1280	660	660																																																																																
900	1280	610	660																																																																																
950	1280	560	660																																																																																
1000	1280	510	660																																																																																
Dimension D	Dimension L	Dimension W _H	Dimension W _L																																																																																
850	1450	0	530																																																																																
900	1450	0	530																																																																																
950	1450	0	530																																																																																
1000	1450	0	530																																																																																
D4D3	Access to Buildings	CRA	An accessway/s has been provided from Principal Pedestrian Entry (PPE) areas. The use of a platform lift in accordance with AS 1735.14 Low-rise platform lift is allowed for this building and is limited to 1m. The residential parts of the building are deemed to have only one entry, the fire isolated exits are for egress purposes only. All doors are to be a minimum of a clear opening width of not less than 850 mm and the required circulation spaces around doors to be accessible in accordance with AS 1428.1 including SOU doors to storey serviced via a lift. All stairs excluding fire isolated stair are to incorporate the required double handrail, downturns, colour contrast nosing strips and TGSIs. Nosing to stairs within the fire isolated passage are to have a colour contrasting strip. Final design details of wheelchair access to this part are to be provided at the final Construction Certificate stage.																																																																																
D4D4	Parts of Buildings to be accessible	CRA	Final details to be provided detailing floor services and materials are to be provided at the Construction Certificate stage or noted on the plans.																																																																																

Passing Spaces

Passing Spaces for Wheelchairs are to be provided in corridors longer than 20m.



All dimensions are minimum



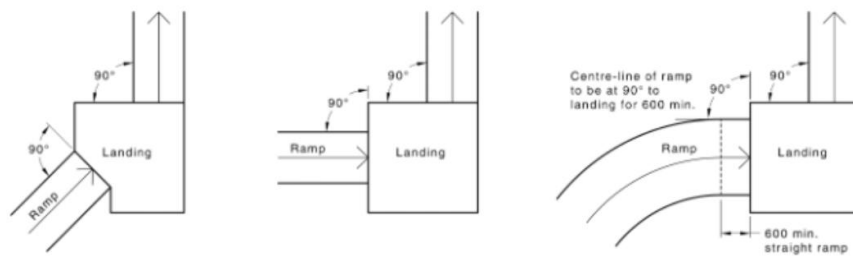
Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

Turning Spaces & Dead End Zones

Sufficient turning spaces and dead end zones appear to have been provided within accessways required to be accessible in accordance with AS1428.1-2021, with the exception of numerous turning spaces within Basement 1, Ground Floor, and the Eighth and Ninth Floor residential corridors of Building B.

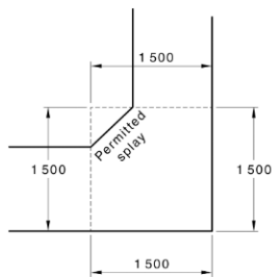
Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.



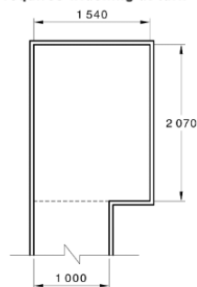
(a) Angled approach

(b) Straight approach

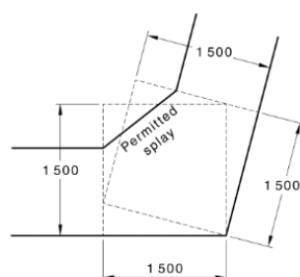
(c) Curved approach



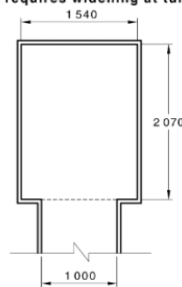
Turn 90° in path of travel
Corridor less than 1 500 mm wide
requires widening at turn



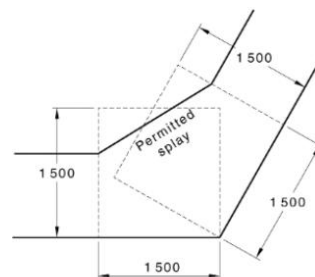
(a) Space required in corridor



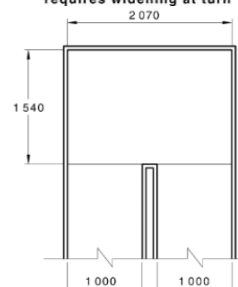
Turn 75° in path of travel
Corridor less than 1 500 mm wide
requires widening at turn



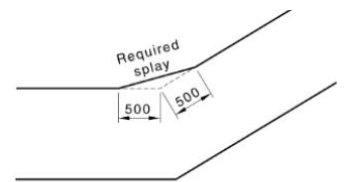
(b) Space required in corridor



Turn 60° in path of travel
Corridor less than 1 500 mm wide
requires widening at turn

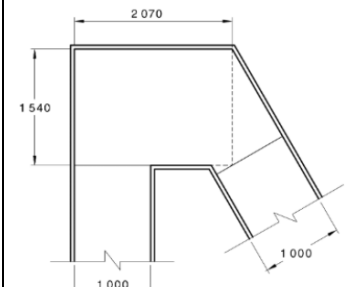


(c) Space required at ramp landing



Turn 30° to < 60° in path of travel
less than 1 200 mm wide

All dimensions are minimum



(d) Space required at ramp landing

Figure 25(A) — Ramps and landings — With no change in direction

Dimensions in millimetres

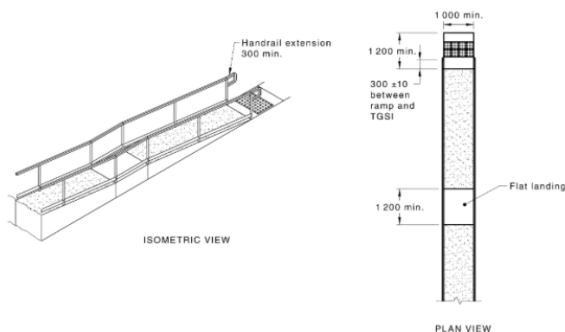
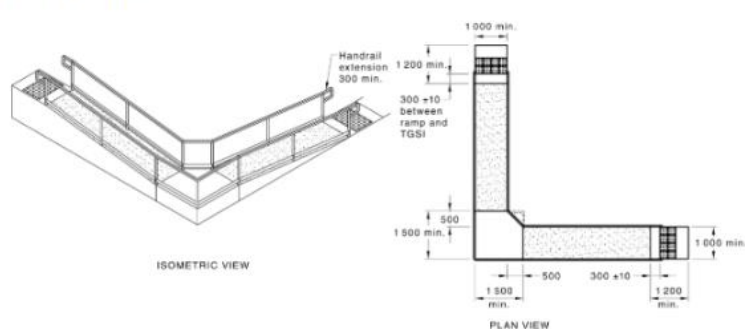


Figure 25(B) — Ramps and landings — 90° landing — Internal





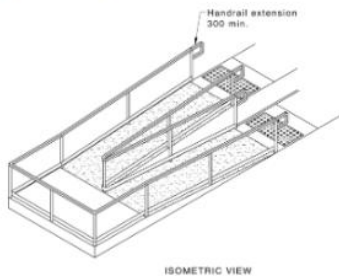
Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

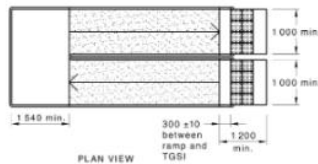
Figure 25(C) — Ramps and landings — 180° landing

Figure 25(D) — Doorways at landings

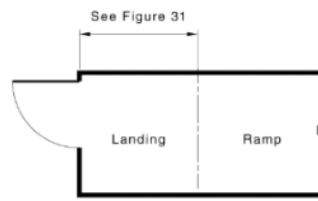
Dimensions in millimetres



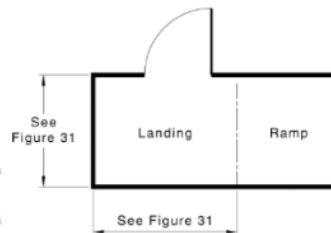
ISOMETRIC VIEW



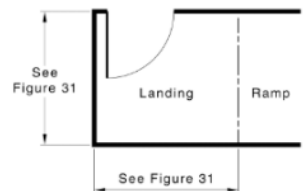
PLAN VIEW



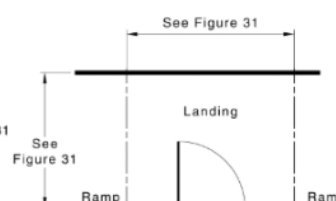
(c) Door opens away from a landing, front approach



(a) Door opens away from a landing, hinge-side approach

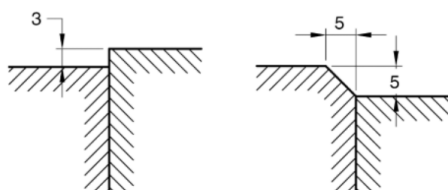


(b) Door opens towards a landing, latch-side approach

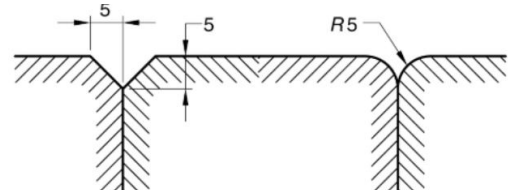


(d) Door opens towards a landing, either approach

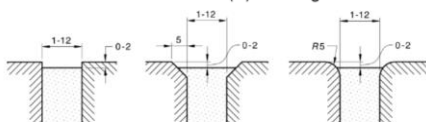
All finished floor surfaces are to be trip free, the following details demonstrate the tolerance level for floor finishes.



(a) Change in level



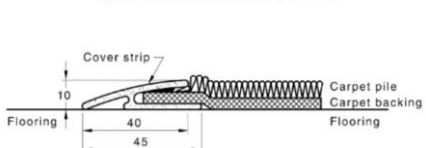
(b) Continuous paving units — flush-jointed with level surfaces



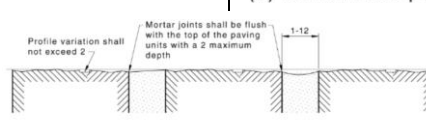
(a) Continuous paving units — Level surface
Figure 7(B) — Timber decking and boardwalks



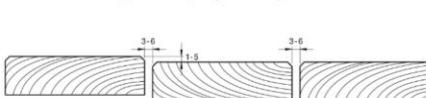
(a) Gap spacing for continuous timber and composite decking
* Gaps may be increased to 10 mm in high rainfall areas for exposed installations and boards exceeding 150 mm width



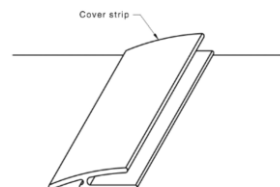
(a) Optional section A



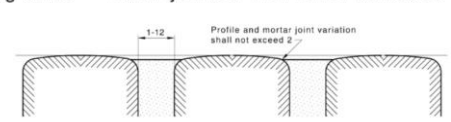
(b) Continuous paving units — Irregular surfaces



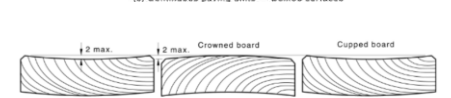
(b) Single incidence of change in level on timber and composite decking



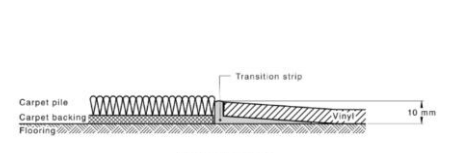
(b) View of optional section A



(c) Continuous paving units — Domed surfaces



(c) Uneven surface tolerances for continuous timber and composite decking



(c) Optional section B

Handrail Extensions

Any non-fire isolated stairways or ramps are required to include double handrails which extend 300mm from the top of the stairway or ramp and 600mm from the base of stairways in accordance with AS 1428.1-2021.

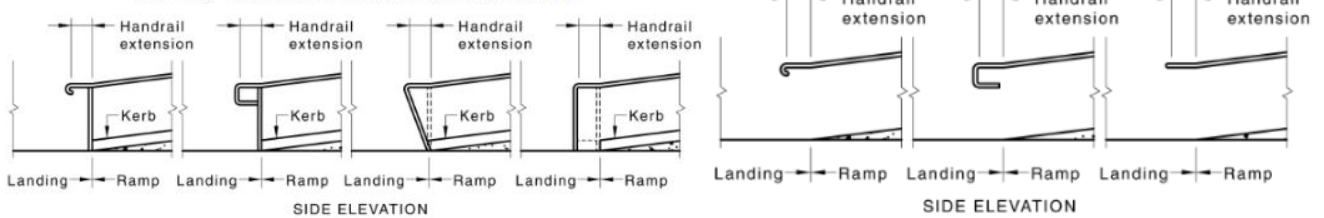
Designer to verify compliance prior to the issue of the Construction Certificate.



Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

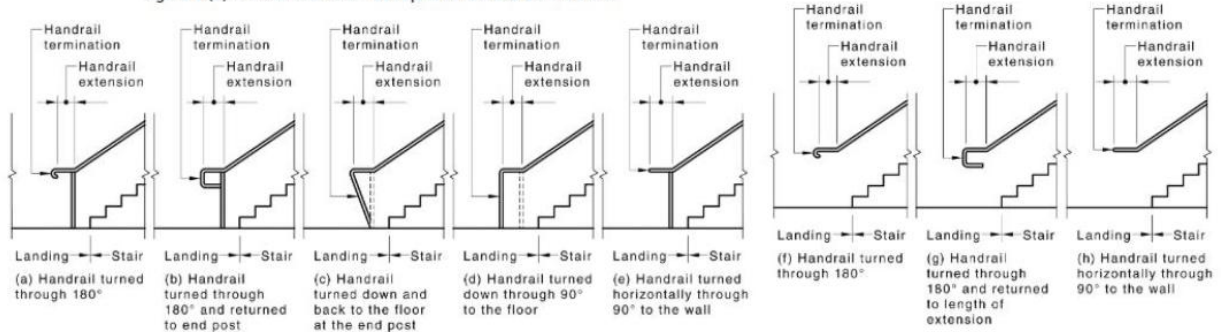
Figure 15(A) — Ramp handrails — Examples of handrail terminations



(a) Post mounted handrails

(b) Wall mounted handrails

Figure 26(C) — Stair handrails — Examples of handrail terminations

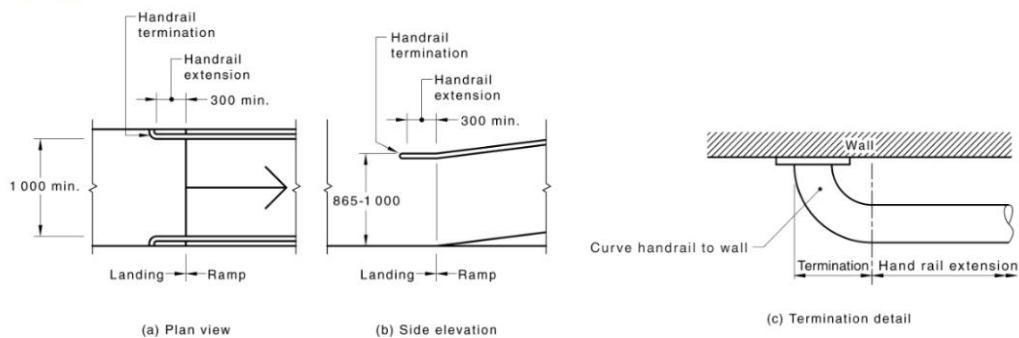


Side elevations

(a) Examples of post mounted handrails

(b) Examples of wall mounted handrails

Figure 15(B) — Ramp handrails — Detail for handrails terminated by turning horizontally through 90° to the wall
Dimensions in millimetres

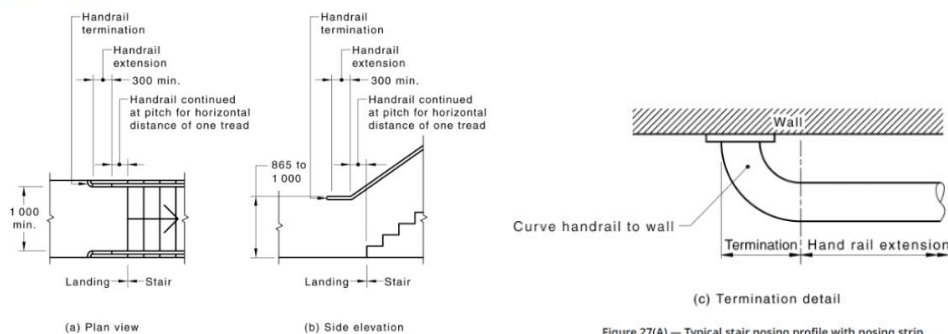


(a) Plan view

(b) Side elevation

(c) Termination detail

Figure 26(D) — Example of detail for handrails terminated by turning horizontally through 90° to the wall
Dimensions in millimetres



(a) Plan view

(b) Side elevation

(c) Termination detail

Figure 27(A) — Typical stair nosing profile with nosing strip





Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

Tactile or TGSIs are to be installed correctly to all stairs and ramps. These TGSIs are to be re-installed to the correct distance from the nosing and the height from the FFL.

The floor surface is to be cut to allow the TGS mat to be fixed to the slab and provide the correct height.

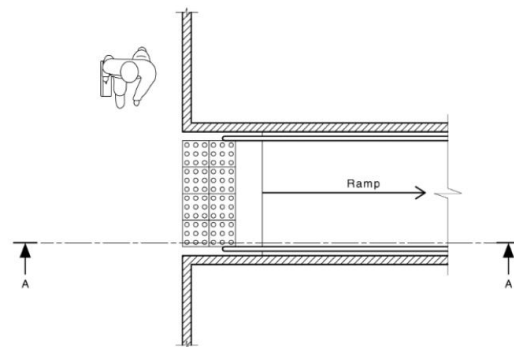
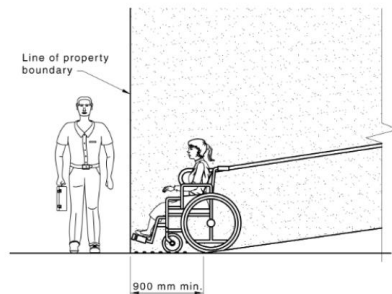
Stairways & Ramps

Any non-fire isolated stairways or ramps are required to include double handrails and tactiles in accordance with AS 1428.1-2021. As such, numerous stairways in the Ground Floor childcare centre requires review.

Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.

Figure 16 — Location of ramp at a boundary to prevent protrusion of handrails and tactile ground surface indicators (TGSIs) into a transverse path of travel

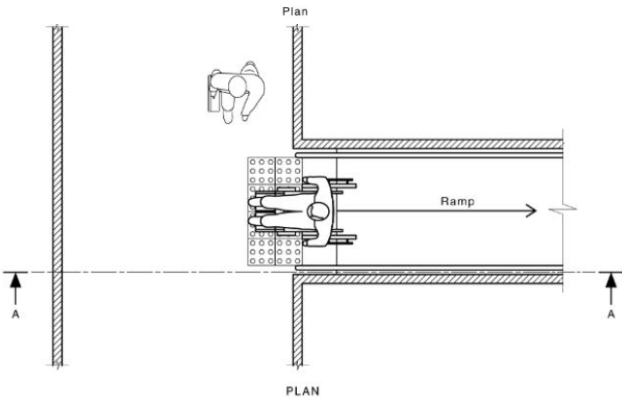
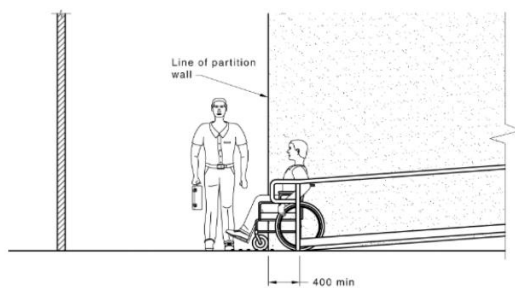
Dimensions in millimetres



SECTIONAL ELEVATION A-A

Figure 17 — Location of ramp to prevent protrusion of handrails into a transverse path of travel other than at boundaries

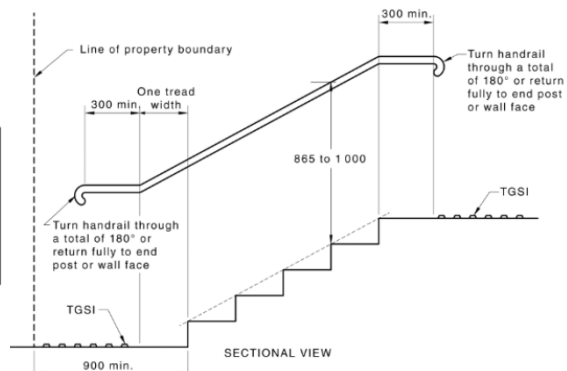
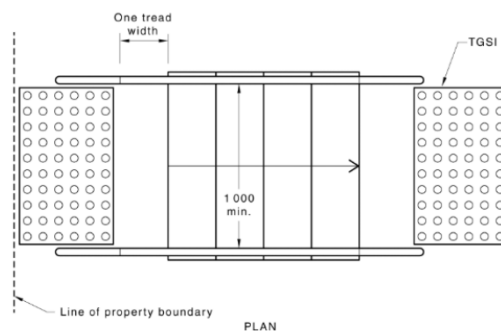
Dimensions in millimetres



SECTIONAL ELEVATION A-A

Figure 26(A) — Stairway location and handrail extensions at boundary

Dimensions in millimetres





Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

Figure 26(B) — Stairway location and handrail extensions at end of stairway other than at line of boundary
Dimensions in millimetres

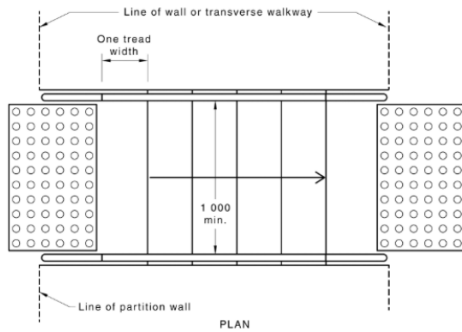
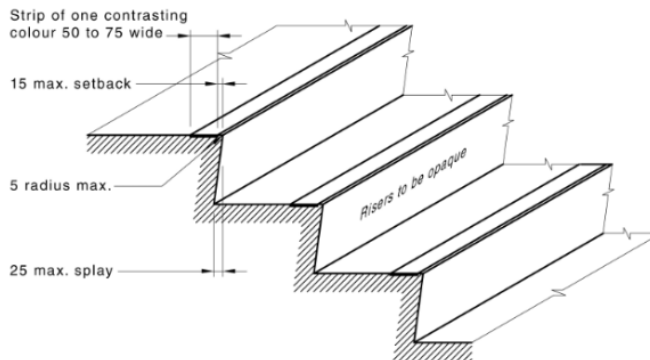


Figure 27(A) — Typical stair nosing profile with nosing strip

Dimensions in millimetres



NOTE A chamfered nosing 5 x 5 mm may be used.

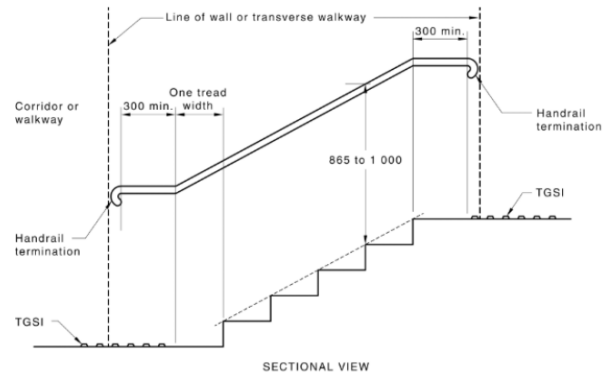


Figure 27(B) — Typical stair nosing profile with exposed nosing strip

Dimensions in millimetres

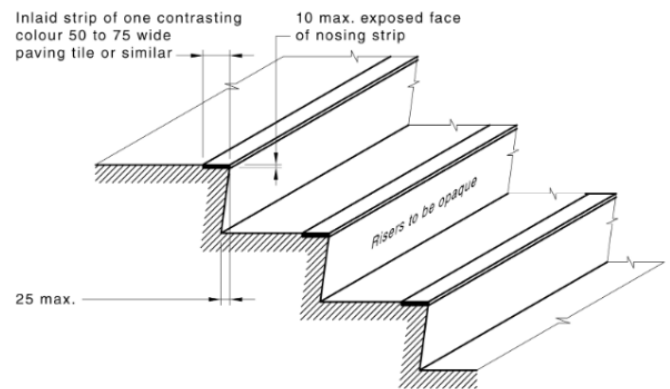
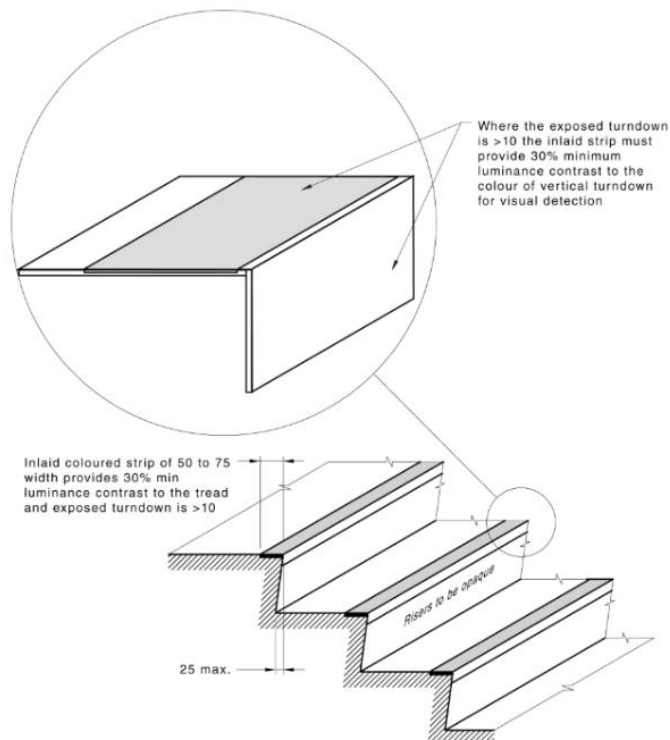


Figure 27(C) — Typical stair nosing profile



Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------

Extraction from Standards Australia Handbook 197:1999

TABLE 3

**PEDESTRIAN FLOORING SELECTION GUIDE – MINIMUM PENDULUM OR RAMP
RECOMMENDATIONS FOR SPECIFIC LOCATIONS**

Location	Pendulum	Ramp
External colonnade, walkway and pedestrian crossings	W	R10
External ramps	V	R11
Entry foyers hotel, office, public buildings - wet	X	R10
Entry foyers hotel, office, public buildings - dry	Z	R9
Shopping centre excluding food court	Z	R9
Shopping centre – food court	X	R10
Internal ramps, slopes (greater than 2 degrees) - dry	X	R10
Lift lobbies above external entry level	Z	R9
Other separate shops inside shopping centres	Z	R9
Other shops with external entrances – entry area	X	R10
Fast food outlets, buffet food servery areas	X	R10
Hospitals and aged care facilities – dry areas	Z	R9
Hospital and aged care facilities – ensuites	X	A or R10
Supermarket aisles except fresh food areas	Z	R9
Shop and supermarket fresh fruit and vegetable areas	X	R10
Communal changing rooms	X	A
Swimming pool surrounds and communal shower rooms	W	B
Swimming pool ramps and stairs leading into water	V	C
Toilet facilities in offices, hotels, shopping centres	X	R10
Undercover concourse areas of sports stadium	X	R10
Accessible internal stair nosings (dry) – handrails present	X	R10
Accessible internal stair nosings (wet) – handrails present	W	B or R11
External stair nosings	W	R11

D4D5	Exemptions	Noted	The following areas are not required to be accessible: (a) An area where access would be inappropriate because of the particular purpose for which the area is used, (b) An area that would pose a health or safety risk for people with a disability (c) Any path of travel providing access only to an area exempted by (a) or (b)
------	------------	-------	---

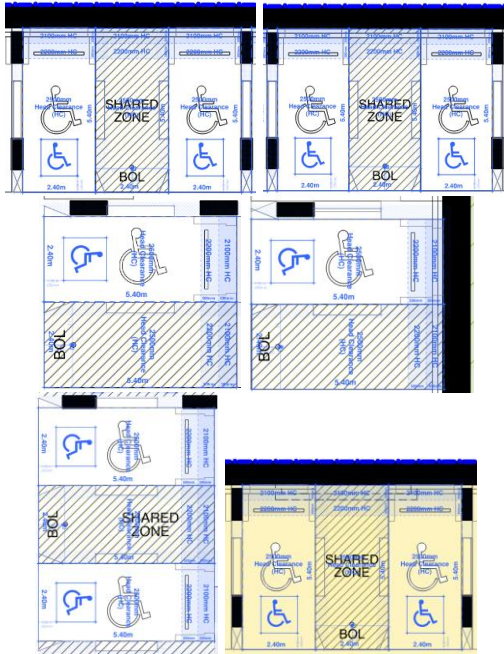


Part D4 – Access for People with Disabilities			
Clause	Description	Status	Comments
D4D6	Accessible Carparking	CRA	Car-parking spaces have been provided to the building which are ancillary to the use. No accessible carparking spaces are required to be provided under D4D6 for the Class 2 residential units. However Council DCP for adaptable Units may require additional spaces. In addition, at least 1 accessible carparking space is to be provided per 100 spaces under Clause D4D6 for the Class 9b childcare centre. The car space still must comply with the space requirements of AS2890.6 form person with a disability. The car space still must comply with the space requirements of AS2890.6 form person with a disability. Designer to verify compliance prior to the issue of the Construction Certificate.
		As this building is to incorporate adaptable units, usually each unit is to be allocated a car space being in accordance with AS2890.6 or as per AS4299-1995. Additionally, as less than 100 spaces are designated for the childcare centre, one (1) accessible space is required to be designated for office in accordance with D4D6(b). Shared Zone The shared zone must be designated (shaded) as required by D4D6 and AS 2890.6-2009. Bollards Shared zones are to be provided with a bollard 800mm ±50mm from the front of the space and equidistant from either side of the space. CAR PARKING General Private car parking spaces shall be large enough to enable a person with a wheelchair to get in and out of both the car and the parking space. A car parking space width of 3.8 m minimum is necessary to enable a driver to alight, open the passenger side door, and assist a person with a disability into a wheelchair, or for a side-loading ramp. A 3.8 m, minimum width is also required for a driver with a disability to unload a wheelchair and to alight. A roof to the car parking space is desirable. NOTE: If it is required to unload the wheelchair within the garage, an internal vertical clearance of 2.5 m is necessary to operate a car roof wheelchair unit. Garages and carports Garages and carports shall have minimum internal dimensions of 6.0 m × 3.8 m. A 2.5 m internal vertical clearance is desirable. A garage may be reduced if a hard surfaced level outside space of minimum dimensions 5.4 m × 3.8 m is provided as a sheltered	



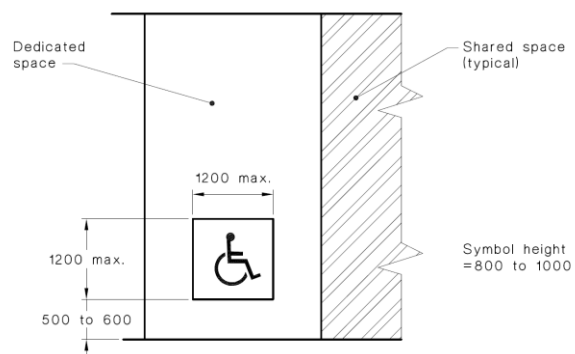
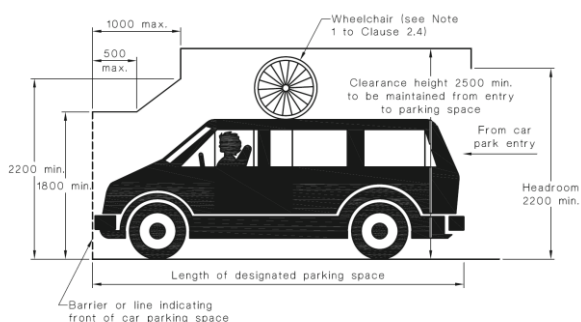
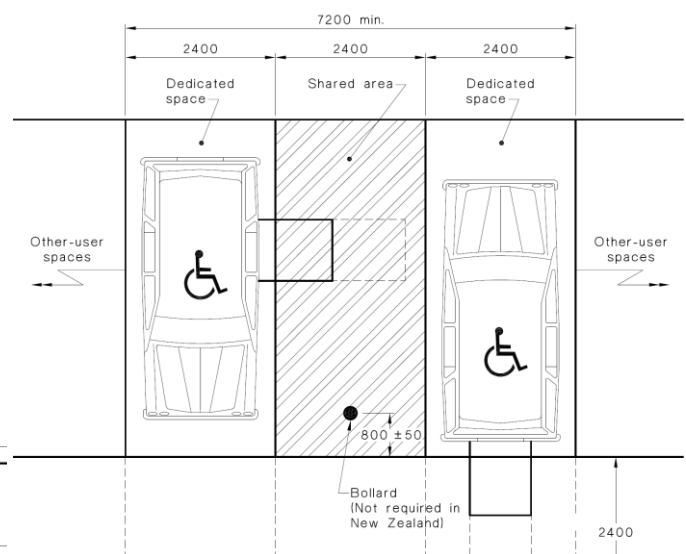
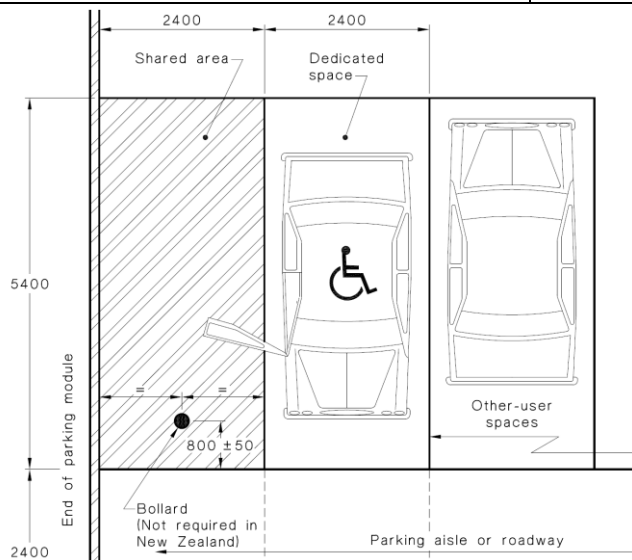
Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
--------	-------------	--------	----------



carpark, or can be provided in the future. Provision for a power operated roller door is desirable.

NOTE: A level surface includes surfaces with a gradient of up to 1:40.





Part D4 – Access for People with Disabilities

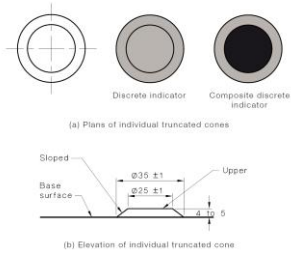
Clause	Description	Status	Comments
Each dedicated space shall be identified by means of a white symbol of access in accordance with AS 1428.1 between 800 mm and 1000 mm high placed on a blue rectangle with no side more than 1200 mm, placed as a pavement marking in the centre of the space between 500 mm and 600 mm from its entry point as illustrated.			
D4D7	Signage	CRA	In a building required to be accessible – Braille and tactile signage complying with Specification 15 and incorporating the international symbol of access or deafness, as appropriate, in accordance with AS1428.1 must identify each – - Sanitary facility, - Ambulant toilet facility, - Any required accessible carparking space, - Where needed, directional signage to any Carparking space or sanitary facility. - At Each 'Exit' and which 'Level' an occupant is at also needs to be in braille. Where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility. Design verification to be provided prior to the issue of the Construction Certificate.



Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
D4D8	Hearing Augmentation	N / A	

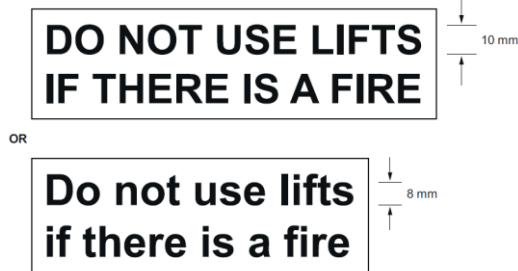


Part D4 – Access for People with Disabilities			
Clause	Description	Status	Comments
D4D9	Tactile Indicators	CRA	For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment in accordance with this clause. I.e.: - A stairway, other than a fire-isolated stairway, - An escalator, - A passenger conveyor or moving walk, - A ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp, - In the absence of a suitable barrier an overhead obstruction less than 2m above floor level, other than a doorway. Tactile ground surface indicators required by (a) must comply with sections 1 and 2 of AS/NZS 1428.4.1. Non-Fire Isolated Stairways Tactile indicators are to be installed on a landing beginning 300mm from a riser or ramp. The location of tactile indicators on the Ground Floor external stairway serving the Basement exit requires review. Compliance can be achieved by a slight redesign prior to the issue of the Construction Certificate.
There are three (3) distinct types of TGSI, these each need to be assessed as to the most appropriate based on the surface it is to be applied and lighting conditions. AS1428.4.1 – 2009 clearly provides installation requirements.  30% contrast to surface  45% Contrast to Surface  60% Contrast to Surface 			

Part D4 – Access for People with Disabilities

Clause	Description	Status	Comments
As Occupants may pass under stairs, they must be obstructed or have TGSI's installed to warn of overhead obstructions.			
SECTIONAL VIEW DIMENSIONS IN MILLIMETRES FIGURE 26(A) STAIRWAY LOCATION AND HANDRAIL EXTENSIONS AT BOUNDARY			
D4D10	Wheelchair Seating Spaces in Class 9b Assembly Buildings	N / A	
D4D11	Swimming Pools	N / A	
D4D12	Ramps	Noted	On an accessway – (a) A series of connected ramps must not have a combined vertical rise of more than 3.6m; and (b) A landing for a step ramp must not overlap a landing for another step ramp or ramp.
D4D13	Glazing on an Accessway	Noted	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1. Design verification to be provided prior to the issue of the Construction Certificate.

SECTION E – SERVICES AND EQUIPMENT

Part E3 – Lift Installations			
Clause	Description	Status	Comments
E3D1	Deemed-to-Satisfy Provisions	-	-
E3D2	Lift Installations	Noted	An electric passenger lift installation and an electrohydraulic passenger lift installation must comply with Specification 24. Final design to be confirmed at the Construction Certificate stage.
E3D3	Stretcher facility in lifts	CRA	A stretcher lift is required as the passenger lifts serve a storey above an effective height of more than 12 metres. (600mm wide * 2000mm long and 1400mm high). Please also note the minimum cart size under the Access to Premises Standard and AS1428.1: 2021 requiring 1400mm x 1600mm along with the appropriate cart controls and display and hearing requirements. Note: The building also requires a stretcher lift because the building must be provided with emergency lifts in accordance with Clause E3D5 of the BCA. Final design to be confirmed at the Construction Certificate stage.
E3D4	Warning against use of lifts in fire	CRA	A warning sign is to be displayed where it can be readily seen near every call button of the passenger lift. The warning sign is to comply with the details and dimensions set out in Figure E3.3 of the BCA. Figure E3D4: Warning sign for passenger lifts 
E3D5	Emergency lifts	CRA	Emergency lifts (a) At least one emergency lift complying with (d) must be installed in— (i) a building which has an effective height of more than 25 m; and (ii) a Class 9a building in which patient care areas are located at a level that does not have direct egress to a road or open space. (b) An emergency lift may be combined with a passenger lift and must serve those storeys served by the passenger lift so that all storeys of the building served by passenger lifts are served by at least one emergency lift. (c) Where two or more passenger lifts are installed and serve the same storeys, excluding a lift that is within an atrium and not contained wholly within a shaft—



Part E3 – Lift Installations			
Clause	Description	Status	Comments
			(i) at least two emergency lifts must be provided to serve those storeys; and (ii) if located within different shafts, at least one emergency lift must be provided in each shaft. (d) An emergency lift must— (i) be contained within a fire-resisting shaft in accordance with C3D11. Final design to be confirmed at the Construction Certificate stage.
E3D6	Landings	CRA	Access and egress to and from the lift well landings is to comply with Parts D2, D3 and D4 of the BCA. <u>Refer to Clause D4D4 of this report for further detail.</u> Ensure all lift landings achieve an unobstructed width of 1540mm x 2070mm as required by AS 1428.1-2021. To be confirmed with details provided at Construction Certificate stage or design statement.
E3D7	Passenger lift types and their limitations	Noted	In an accessible building, every passenger lift must be one of the following lift types, subject to the limitations (if any) of each lift type as outlined in Clause E3D7: • Electric passenger lifts, electrohydraulic passenger lifts or inclined lifts; • Stairway platform lifts; • A low-rise platform lift; • A low-rise, low-speed constant pressure lift; • A small-sized, low-speed automatic lift.
E3D8	Accessible features required for passenger lifts	CRA	A passenger lift within the building other than a stairway platform lift is to comply with several features from AS1735.12, including: – Passenger protection system for a lift with power-operated doors; – 900mm minimum clearance through lift doors; – Lift landing doors at upper landings; – Lift car and landing control buttons; – Handrail to be provided within the cart; – Braille and location of Control buttons; – Lighting for an enclosed lift car; – Audio and Visual indicators for a lift serving more than 2 levels; and – Emergency hands-free communication. Lift cart floor dimensions of not less than 2000mm x 1400mm (1.6m x 1.4m with 2m x 0.6m stretcher facility) to be provided as the lift is deemed to both travel greater than 12m and serve a storey with an effective height greater than 12m.



Part E3 – Lift Installations			
Clause	Description	Status	Comments
			To be confirmed with details provided at Construction Certificate stage or design statement.
E3D9	Fire service controls	CRA	Passenger lift cars serving any storey above an effective height of 12m are to be provided with fire service controls in accordance with AS1735.2. Required in this instance as lift car is serving storeys above an effective height of 12m.
E3D10	Residential care buildings	N / A	
E3D11	Fire service recall control switch	CRA	Each group of lifts must be provided with one fire service recall control switch required by E3D9 that activates the fire service recall operation. Design verification to be provided prior to the issue of the Construction Certificate.
E3D12	Lift car fire service drive control switch	CRA	The lift car fire service drive control switch required by E3D9 must be activated from within the lift car. Design verification to be provided prior to the issue of the Construction Certificate.



SECTION F – HEALTH AND AMENITY

Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
F4D1	Deemed-to-Satisfy Provisions	Noted	-
F4D2	Facilities in residential buildings	CRA	Sanitary and other facilities for Class 2 and 3 buildings must be provided in accordance with Clause F4D2. Note: Sanitary facilities are not required to be provided within the common areas of a Class 2 building. If for any reason sanitary facilities are provided within the common areas of the building, not less than one (1) unisex accessible sanitary compartment is to be provided to serve the common areas of the building as per Clause F4D5(a) and F4D6(b) of the BCA. Laundry and Washtubs All Class 2 residential SOU's are to be provided with laundry and washtub facilities as required by this Clause. Details and design certification to be provided prior to the issue of a Construction Certificate.
F4D3	Calculation of number of occupants and fixtures	CRA	Floor area of each room is to be provided for the purpose of calculating occupant numbers within the building. Note: a unisex facility comprises one closet pan, one washbasin and means for the disposal of sanitary towels Details and design certification to be provided prior to the issue of a Construction Certificate.
F4D4	Facilities in Class 3 to 9 buildings	CRA	Except where permitted by the exemptions detailed within F4D4(3), (4), (7), and F4D5 (a), and F4D5(b), separate sanitary facilities for males and females must be provided for Class 3, 5, 6, 7, 8 or 9 buildings in accordance with Tables F4D4a-l. Class 9b building used as an early childhood centre must comply with the following: (a) A Class 9b <u>early childhood centre</u> must be provided with— (i) a kitchen or food preparation area with a kitchen sink, separate hand washing facilities, space for a refrigerator and space for cooking facilities, with— (A) the facilities protected by a door or gate with child proof latches to prevent unsupervised access to the facilities by children younger than 5 years old; and (B) the ability to facilitate supervision of children from the facilities if the <u>early childhood centre</u> accommodates children younger than 2 years old; and (ii) one bath, shower or shower-bath; and (iii) if the centre accommodates children younger than 3 years old—

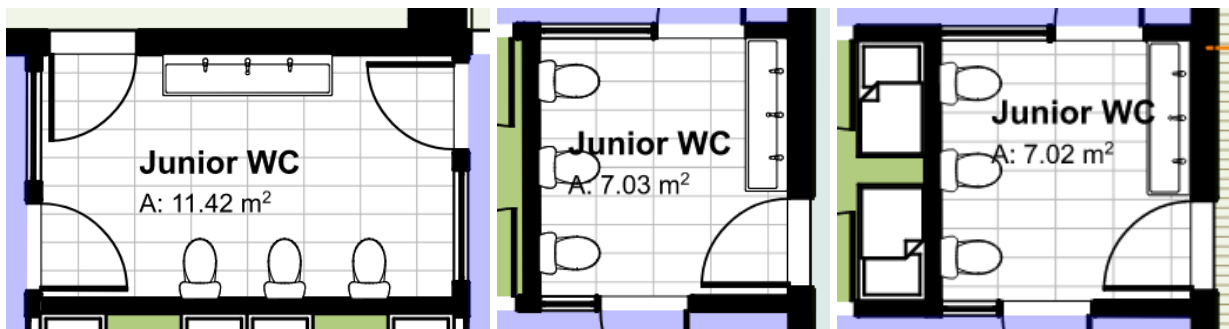


Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
			(A) a laundry facility comprising a washtub and space in the same room for a washing machine; and (B) a bench type baby bath, which is within 1 m of the nappy change bench; and (C) a nappy changing bench which— (aa) is within 1 m of separate adult hand washing facilities and bench type baby bath; and (bb) must be not less than 0.9 m² in area and at a height of not less than 850 mm, but not more than 900 mm above the finished floor level; and (cc) must have a space not less than 800 mm high, 500 mm wide and 800 mm deep for the storage of steps; and (dd) is positioned to permit a staff member changing a nappy to have visibility of the play area at all times. (b) Class 9b theatres and sporting venues must be provided with one shower for each 10 participants or part thereof. (c) Not less than one washbasin must be provided where closet pans or urinals are provided. Details and design certification to be provided prior to the issue of a Construction Certificate.

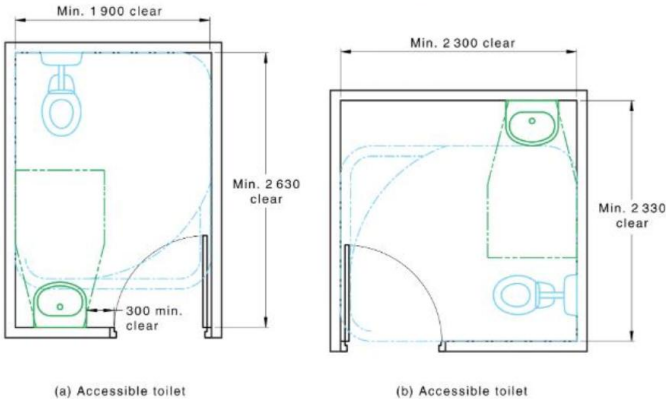
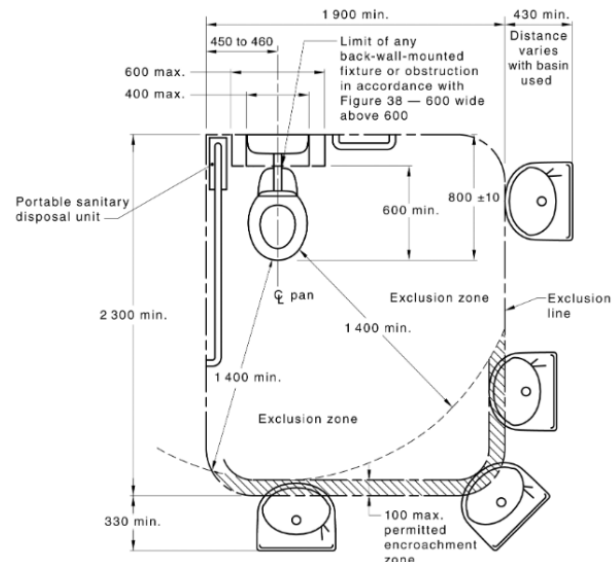
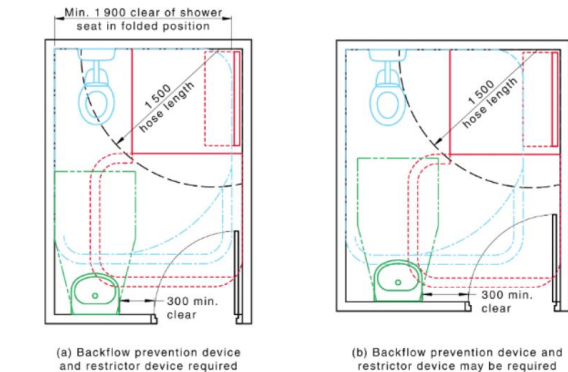
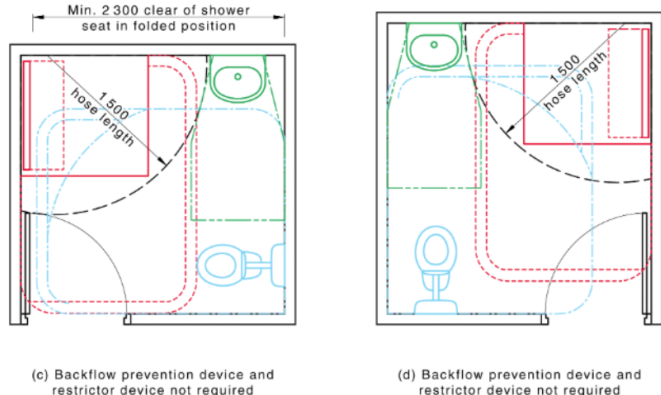
Table F4D4f: Sanitary facilities in Class 9b buildings – schools

User group	Closet pans		Urinals		Washbasins	
	Design occupancy	Number	Design occupancy	Number	Design occupancy	Number
Male employees	1 - 20	1	1 - 10	0	1 - 30	1
	>20	Add 1 per 20	11 - 20	1	>30	Add 1 per 30
	-	-	21 - 45	2	-	-
	-	-	>45	Add 1 per 30	-	-
Female employees	1 - 5	1	N/A	N/A	1 - 30	1
	>5	Add 1 per 15	N/A	N/A	>30	Add 1 per 30
Male students	1 - 25	1	1 - 50	1	1 - 10	1
	26 - 75	2	51 - 100	2	11 - 50	2
	76 - 150	3	>100	Add 1 per 100	51 - 100	3
	151 - 200	4	-	-	>100	Add 1 per 75
	>200	Add 1 per 100	-	-	-	-
Female students	1 - 10	1	N/A	N/A	1 - 10	1
	11 - 25	2	N/A	N/A	11 - 50	2
	26 - 100	Add 1 per 25	N/A	N/A	51 - 100	3
	>100	Add 1 per 50	N/A	N/A	>100	Add 1 per 75



Part F4 – Sanitary and Other Facilities				
Clause	Description	Status	Comments	
Table F4D4g: Sanitary facilities in Class 9b buildings – early childhood centres				
User group	Closet pans		Washbasins	
	Design occupancy	Number	Design occupancy	Number
	Children	1 - 30	2	1 - 30
	>30	Add 1 per 15	>30	Add 1 per 15
Table Notes				
(1) Urinals are not <i>required</i> for a Class 9b <i>early childhood centre</i> .				
(2) Facilities for use by children must be—				
(a) junior pans; and				
(b) washbasins with a rim height not exceeding 600 mm; and				
(c) accessible from both indoor and outdoor play areas.				
				
F4D5	Accessible sanitary facilities	CRA	Accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D6, and accessible unisex showers must be provided in accordance with F4D7. At each bank of toilets where there is one more or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, not less than one sanitary compartment suitable for a person with an ambulant disability for use by males and one sanitary compartment suitable for a person with an ambulant disability for use by females must be provided. Full compliance with AS1428.1:2021 is to be indicated on the Construction Certificate plans.	
F4D6	Accessible unisex sanitary compartments	CRA	As determined in Clause F4D2, a sanitary facility in the Class 2 common areas of the building is not required for this development. Where sanitary compartments are provided in common areas of a Class 2 building, not less than one (1) accessible toilet is required to be provided to serve the residential parts of the building. Any new toilet bank and where there is more than one bank of toilets, ½ must be accompanied via an <u>Accessible Toilet</u> in accordance with AS1428.1-2021.	



Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
			Full compliance with AS1428.1:2021 is to be indicated on the Construction Certificate Plans.
	 		Where existing accessible toilets are provided, the use of existing AS1428.1:2001 compliant toilet facility is deemed as acceptable only if the toilet actually complies with AS1248.1-2001. Full compliance with AS1428.1:2021 is to be indicated on the Construction Certificate plans or via Design Certificate. Where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible. For example: - Ground floor RH Transfer - First Floor LH Transfer etc.
	Figure 50(B) — Examples of accessible toilets  (a) Accessible toilet (b) Accessible toilet		
	Figure 50(A) — Examples of accessible bathrooms Dimensions in millimetres  (a) Backflow prevention device and restrictor device required (b) Backflow prevention device and restrictor device may be required based on hose location		 (c) Backflow prevention device and restrictor device not required (d) Backflow prevention device and restrictor device not required NOTE A backflow prevention device may be required if the hose is longer than 1500 mm.

Part F4 – Sanitary and Other Facilities

Clause	Description	Status	Comments
	(a) Side approach (b) Side approach (c) Front approach (a) Side approach (b) Side approach (c) Front approach		
	(a) Side view (b) Front view (a) Side view (a) Front view		
	(i) Option A (ii) Option B (b) Grabrail at back of pan with surface-mounted cistern and sectional view of grabrail at side of pan (c) Grabrail at back of pan with concealed or remote cistern and sectional view of grabrail at side of pan		
	Figure 44(B) — Wall-mounted washbasin installation — other than for sole-occupancy unit Dimensions in millimetres PLAN ELEVATION A ELEVATION B PLAN ELEVATION A ELEVATION B		
	Figure 44(B) — Wall-mounted washbasin installation — other than for sole-occupancy unit Dimensions in millimetres PLAN ELEVATION A ELEVATION B PLAN ELEVATION A ELEVATION B		



Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
	Figure 45 — Washbasin for accessible sole-occupancy unit Dimensions in millimetres Figure 46 — Circulation space for washbasins Figure 45 — Washbasin for accessible sole-occupancy unit Dimensions in millimetres Figure 46 — Circulation space for washbasins		
	Accessible Toilet(s) As illustrated below, the designated accessible toilet(s) provided are required to include all items (washbasin, WC pan, shower, seat, etc), exculsion zones and circulation spaces required by Sections 12 & 14 of AS 1428.1-2021: Full compliance with AS 1428.1-2021 is to be indicated on the Construction Certificate Plans.		
	Details for an Accessible Toilet: (Checklist) – The toilet is to be signed according to AS1428.1, with Left or Right hand transfer. – Door clearances shall be in accordance with the relevant doors size and approach form both sides. – Doors are to have a staged closer, if it opens outwards, must also incorporate a closer which hold the door closed without pulling the door closed via a handle. – Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be openable from the outside. – Toilet pan and wash basin are located in accordance with the diagrams with the required clearances, – All hand rails are installed and are structural (110N), – Flushing control are automatic or push action in the required zone, – An emergency light is also to be installed within the toilet. – A mirror is to be installed not less than 350mm wide by 900mm tall. ○ Located above the sink, ○ Flat against the wall. – A shelf is to be installed next to the basin @ 900-1000mm from the floor with a minimum width of 120-150mm by 300-400mm.		



Part F4 – Sanitary and Other Facilities

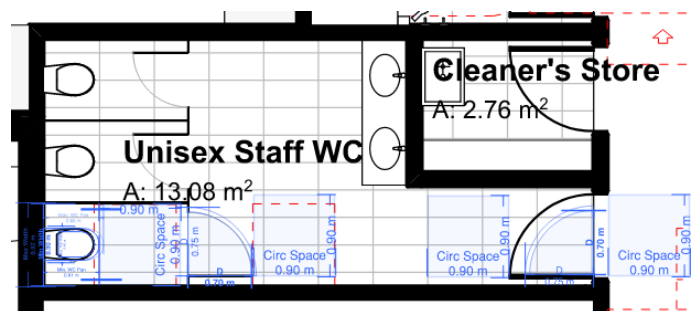
Clause	Description	Status	Comments
--------	-------------	--------	----------

- Where provided, soap dispensers, towel dispensers, hand dryers and similar fittings shall be operable by one hand, and shall be installed with the height of their operative component or outlet not less than 900 mm and not more than 1100 mm above the plane of the finished floor, and no closer than 500 mm from an internal corner.

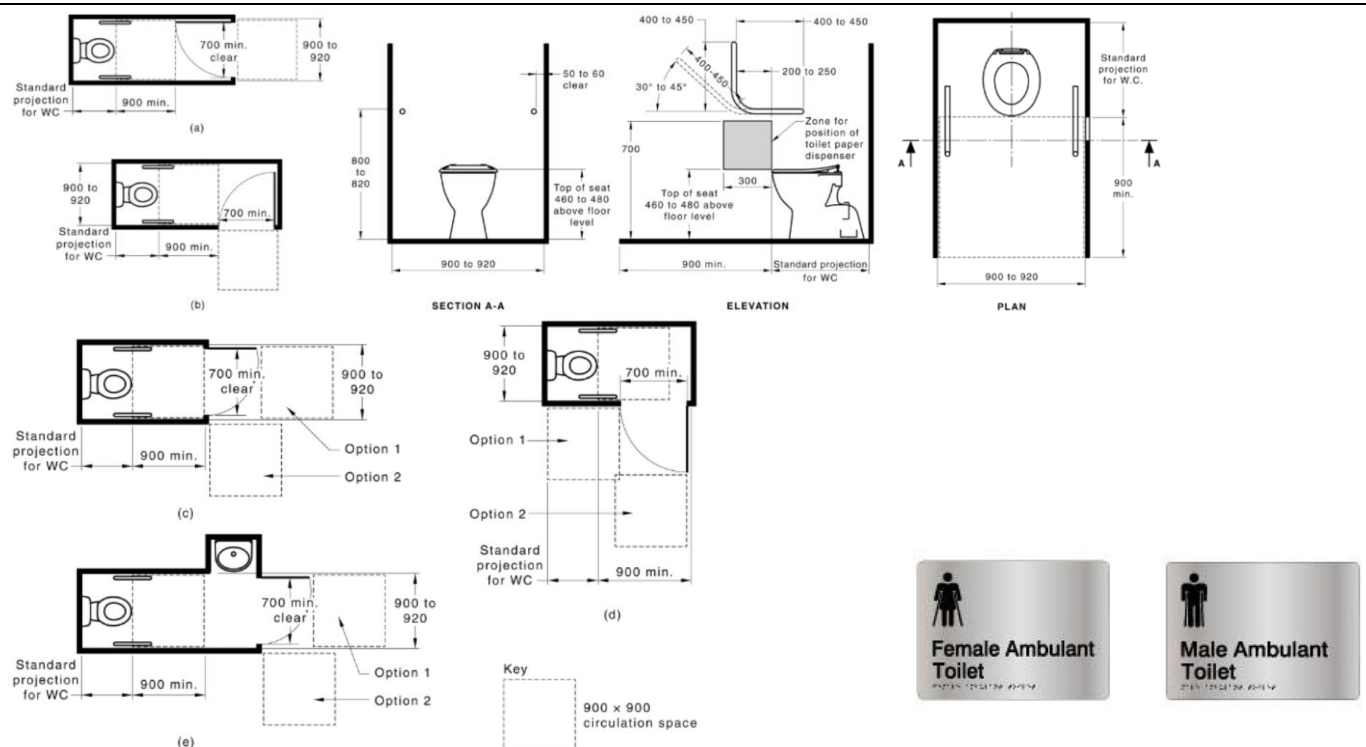
A clothes-hanging device shall be installed 1200 mm to 1350 mm above the plane of the finished floor and not less than 500 mm out from any internal corner.

Ambulant Cubicle

Any toilet block is also to accommodate at least one ambulant cubicle in **both** the *Male* and *Female* banks. The designated ambulant cubicles are to comply with Sections 13 and 14 of AS1428.1-2021.



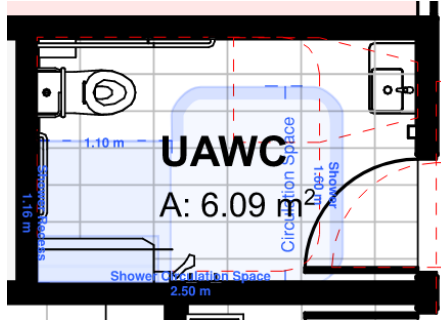
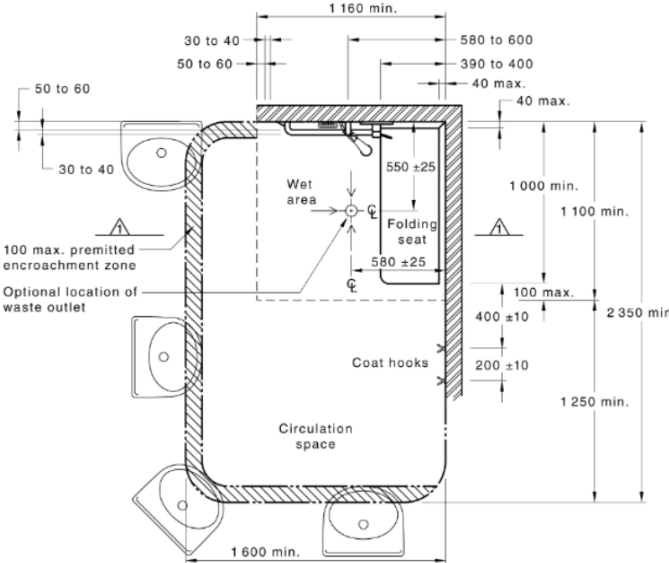
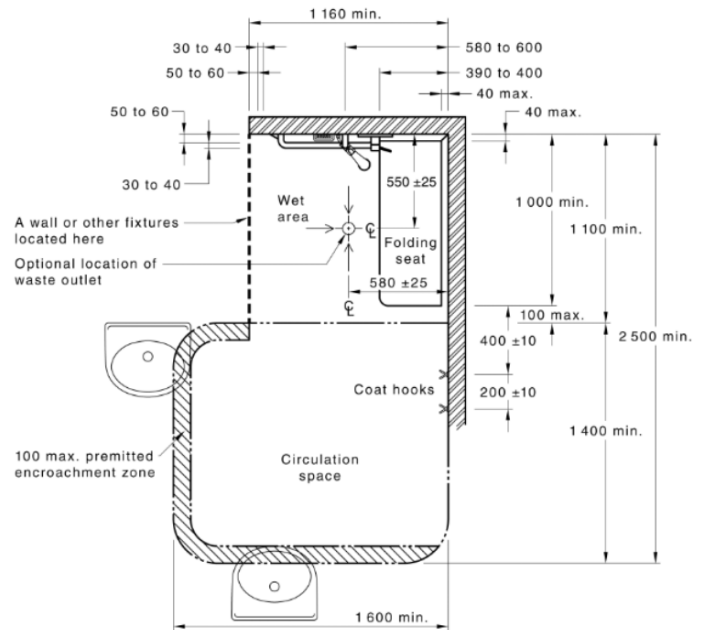
Full compliance with AS 1428.1-2021 is to be indicated on the Construction Certificate Plans.



Details for an Ambulant Cubicle: (Checklist)

- The toilet is to be signed according to AS1428.1-2021, on the cubicle door,
- Door clearances shall be in accordance with the relevant doors size and approach form both sides. (900*900 pads)
- Cubicle is 900mm wide, Doors are 700mm and must also incorporate a closer or handle.

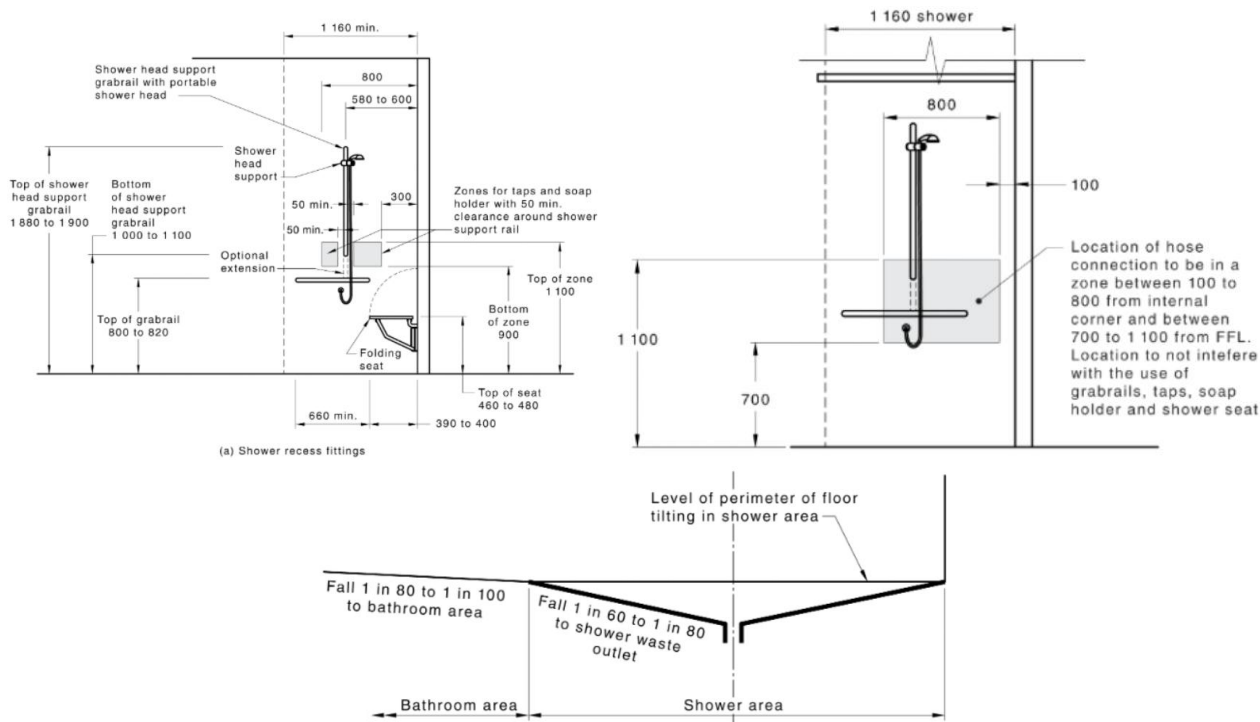


Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
	- Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be openable from the outside. - Toilet pan and wash basin are located in accordance with the diagrams with the required clearances, - All hand rails are installed and are structural (110N), - A clothes-hanging device shall be installed 1350 mm to 1500mm above the plane of the finished floor and not less than 500 mm out from any internal corner.		
F4D7	Accessible unisex showers	CRA	In a Class 2 building, where showers are provided in common areas, not less than 1 accessible shower is required to be provided. If accessible showers are provided in common areas, full compliance with AS1428.1:2021 to be indicated on the Construction Certificate Plans. An accessible unisex shower is required to be provided to a class 9b early childhood centre as required by F4D4(9)(b) and F4D7(1)(d).  Full compliance with AS1428.1-2021 is to be indicated on the Construction Certificate Plans.
			



Part F4 – Sanitary and Other Facilities

Clause	Description	Status	Comments
--------	-------------	--------	----------



Details for an Accessible Shower: (Checklist)

- Shower recess and circulation spaces to be provided in accordance with the diagrams with the required clearances.
- Grabrails, shower hose fittings, taps, soap holder, shelf (if provided) and the folding seat are the only fixtures permitted in the spaces.
- Not less than two clothes-hanging devices to be provided within reach of the shower seat. Clothes-hanging device shall be installed 1200 mm to 1350 mm above the plane of the finished floor and not less than 500 mm out from any internal corner.
- The floor of the shower recess and associated circulation spaces are to be self-draining. The bathroom area is to be provided with a gradient between 1 in 80 to 1 in 100, and the shower area is to be provided with a gradient between 1 in 60 to 1 in 80.
- The shower entry recess is to be provided without a step-down, raised step kerb or hob.
- Waste outlet for the shower to be provided in accordance with the diagram.
- Curtain or door to be provided which maintains the required circulation spaces.
- Shower head grabrails are installed and are structural (110N),
- Adjustable hand-held shower head to be provided with a flexible hose of min 1500mm length, to be located at heights between 1000mm and 1800mm above the finished floor.
- Tap be installed in the required zone.
- Folding seat are installed and are structural (1100N),



Part F4 – Sanitary and Other Facilities			
Clause	Description	Status	Comments
F4D8	Construction of sanitary compartments	Noted	Doors to the fully enclosed toilets are to open outwards, slide or be readily removable from the outside of the sanitary compartment unless there is a clear space of at least 1.2m between the closet pan within the sanitary compartment and the nearest part of the doorway. Design verification to be provided prior to the issue of the Construction Certificate.
F4D9	Interpretation: Urinals and washbasins	Noted	
F4D10	Microbial (legionella) control	N / A	Not Applicable in NSW
F4D11	Waste management	N / A	
F4D12	Accessible adult change facilities	N / A	



4.0. ADAPTABLE HOUSING ASSESSMENT

For the purposes of the AS 4299-1995 assessment, the proposed development may be described as follows.

4.1. Planned Building Description

STOREYS IN BUILDING	14
RISE IN STOREYS (RIS)	10
EFFECTIVE HEIGHT (EH)	Greater than 25m but less than 50m
TYPE OF CONSTRUCTION	Type A
NUMBER OF UNITS	120

NO. OF ADAPTABLE UNITS	24 Class C Units
NO. DA REQUIRED ADAPTABLE UNITS	24 Class C Units

4.2. Adaptable Housing Consent Authority Requirements

This development proposes **twenty-four (24) Class C adaptable units**, above and beyond the requirements of Section 3(i) of Randwick City Council Development Control Plan 2013, which requires 20% of dwellings to be provided as adaptable units. Figure 2 below outlines the provisions regarding adaptable housing unit requirements in Randwick City Council Development Control Plan 2013:

- i) In addition to the requirements of clause 2(i) controls, a minimum 20% of dwellings in new multi dwelling housing, shop top housing and residential flat buildings containing 10 or more dwellings must be adaptable dwellings and designed and constructed to a minimum Class C Certification under AS 4299 Adaptable Housing.

Figure 3 Section 3(i) of Randwick City Council Development Control Plan 2013



4.3. Adaptable Unit(s) Under Review

The following units have been designated as adaptable, forming the basis of the review that follows:

- Unit A1.02;
- Unit A1.06;
- Unit A2.02;
- Unit A2.06;
- Unit B2.01;
- Unit B2.12;
- Unit B2.13;
- Unit A3.02;
- Unit A3.06;
- Unit B3.01;
- Unit B3.12;
- Unit B3.13;
- Unit A4.02;
- Unit A4.06;
- Unit B4.01;
- Unit A5.05;
- Unit B5.01;
- Unit A6.05;
- Unit B6.01;
- Unit A7.05;
- Unit B7.01;
- Unit A8.03;
- Unit B8.01; and
- Unit B9.01.

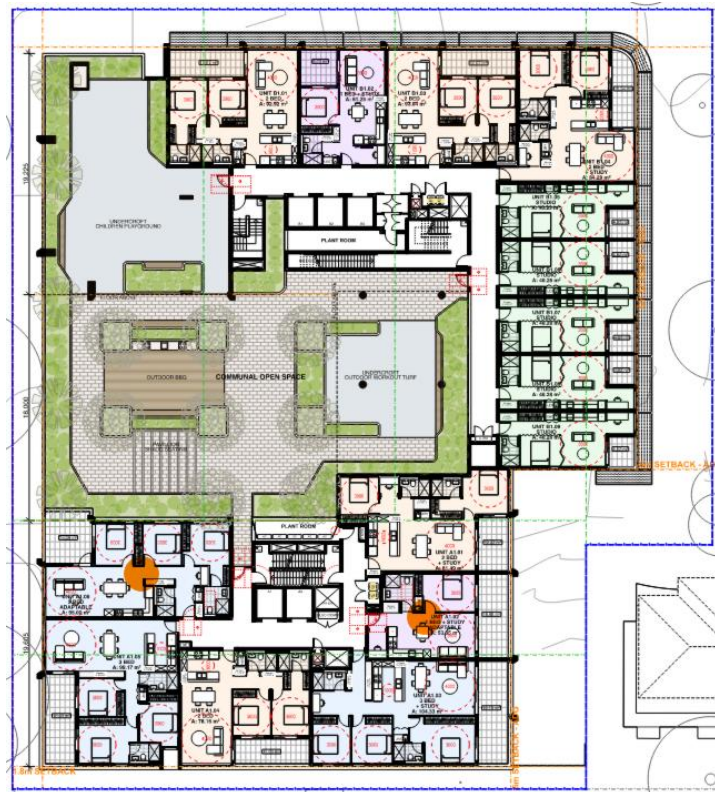


Figure 4 First Floor Adaptable Units Location on Architectural Plans

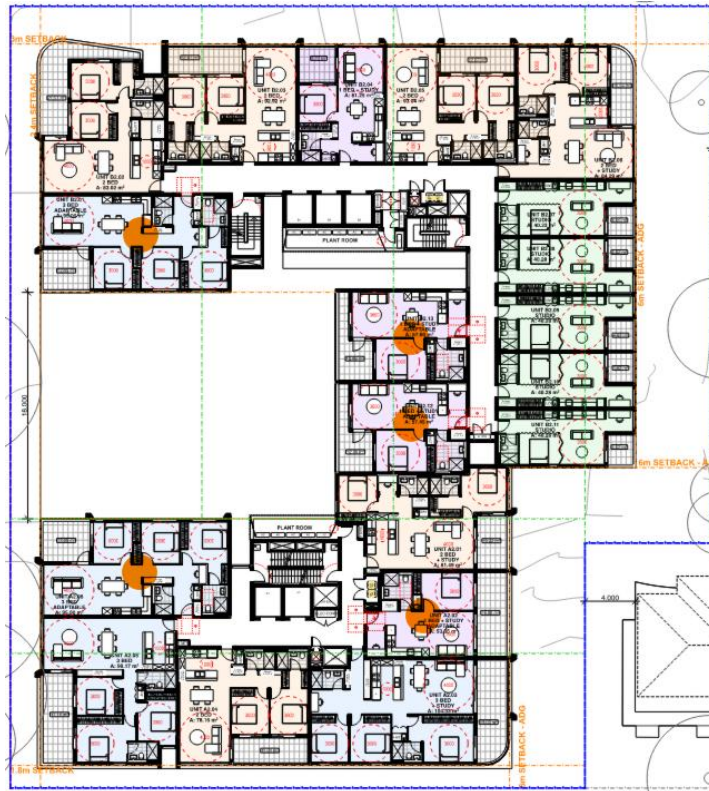


Figure 5 *Second & Third Floor Adaptable Units Location on Architectural Plans*

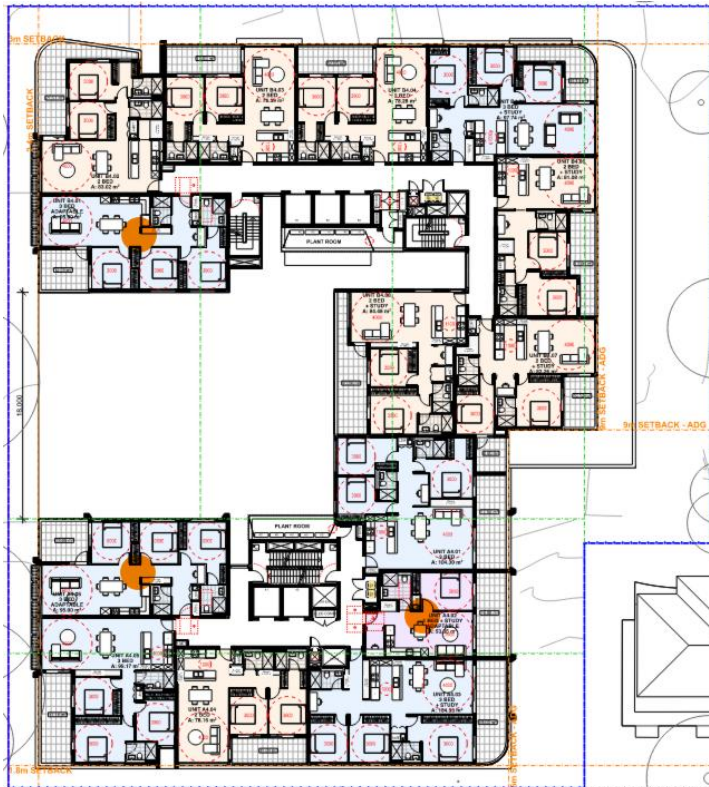


Figure 6 *Fourth Floor Adaptable Unit Location on Architectural Plans*



Figure 7 Fifth to Seventh Floor Adaptable Unit Location on Architectural Plans

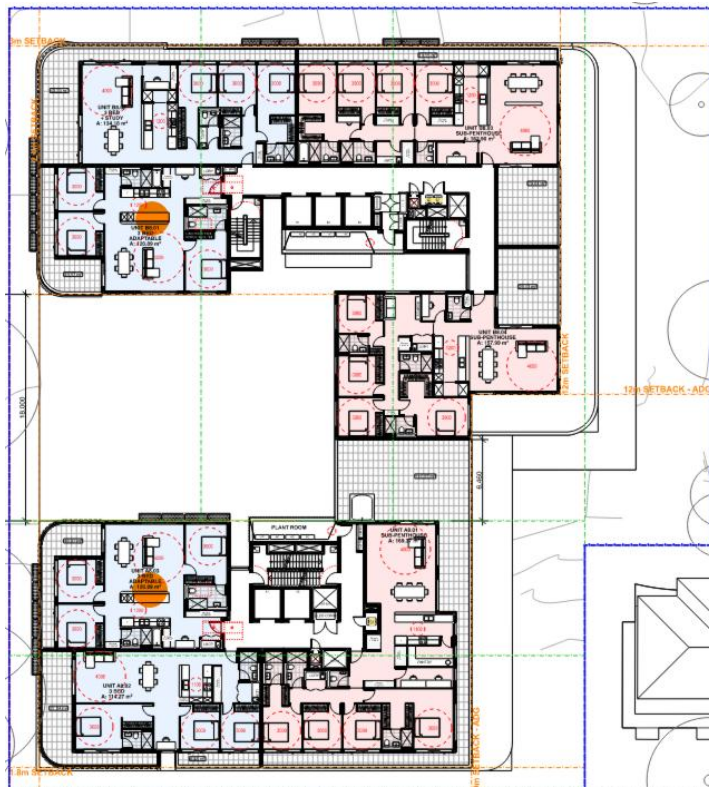


Figure 8 Eighth Floor Adaptable Unit Location on Architectural Plans

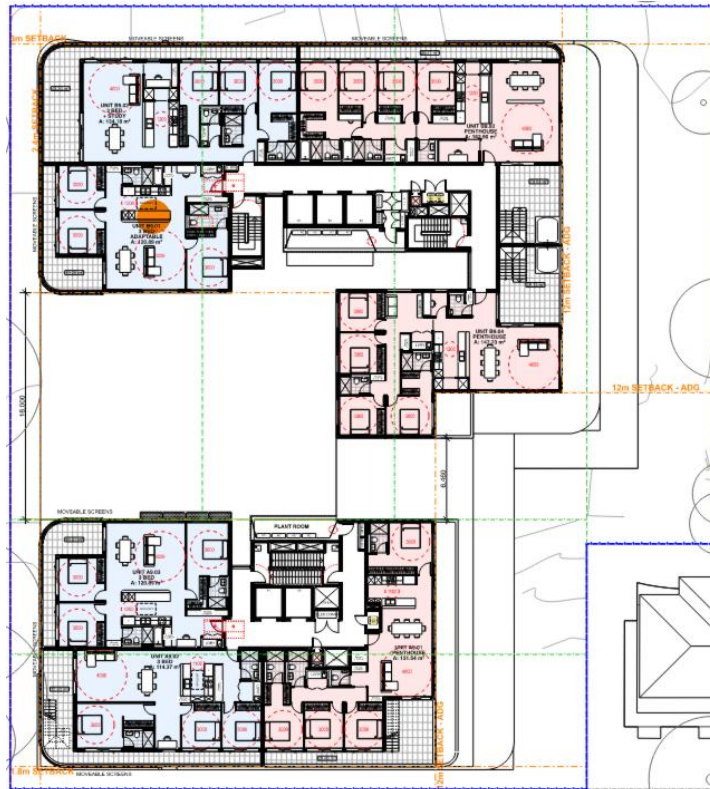


Figure 9 *Eighth Floor Adaptable Unit Location on Architectural Plans*



5.0. ADAPTABLE HOUSING REQUIREMENTS

Noting that the level of documentation at this stage is for a Development Application (DA) assessment purposes, an indicative compliance assessment of the referenced documents identified in Appendix A of this report has been undertaken against AS 4299-1995.

Outlined below is a summary of the essential items required in a Class C Adaptable House. All essential items and relevant clauses to the subject building have been referred to below, including a comment to each item of the proposal's ability to satisfy the requirements of the item and/or the Objectives/Performance Requirements of the Standard.

The abbreviations outlined below have been used in the following tables:

N/A	The item does not apply to the subject Building.
Complies	The relevant clauses of the Standard appear to have been demonstrated by the proposed design and/or evidence during onsite inspection.
CRA	'Compliance Readily Achievable'. Subject to noting the requirements of each item, it is considered item compliance can be readily demonstrated without significant implication to the approved design or has been constructed to comply with approved design. When a DCP Clause and/or DA Condition requires compliance with Appendix A of the Standard and a development has been constructed to an approved design which has not strictly complied with these requirements, a recommendation is provided which appears to comply with the Objectives and Performance Requirements defined in Clause 2.2 of the Standard.
FI	Further information is necessary to determine the compliance potential of the building design and/or element.
PS	Performance (Alternative) Solution with respect to the subject item of Appendix A is potentially possible to satisfy the relevant BCA Performance Requirements when NCC or Access-to-Premises Standards compliance is required. When a DCP Clause and/or DA Condition requires compliance with Appendix A of the Standard, a detailed assessment is required to determine compliance with the Objectives and Performance Requirements of the Standard.
DNC	'Does Not Comply' with either the item and/or the relevant Standard performance requirement(s), and no clear path to compliance is evident.



SECTION 2: OBJECTIVES AND PERFORMANCE REQUIREMENTS

Drawings

Item	Status	Item Description	References
1	CRA	Provisions of the drawings showing the housing unit in its pre-adaptation and post-adaptation stages. <i>To obtain certification as an adaptable housing unit, 'as built' drawings showing the housing unit in its pre-adaptation and post-adaptation stages shall be provided. A description of how the adaptation is to be achieved shall also be provided.</i> Pre-adaptation stage layout has been provided for the designated units in architectural plans as illustrated below: 13 UNITS : A1.06, A2.06, A3.06, A4.06, A5.05, A6.05, A7.05, B2.01, B3.01, B4.01, B5.01, B6.01, B7.01 8 UNITS : A1.02, A2.02, A3.02, A4.02, B2.12, B2.13, B3.12, B3.13 3 UNITS : A8.03, B8.01, B9.01 Post-adaptation stage layout has been provided for the designated units in architectural plans as illustrated below: Both pre and post adaptation plans have been provided to satisfy this item.	Clause 2.3 - Potential for Adaptation

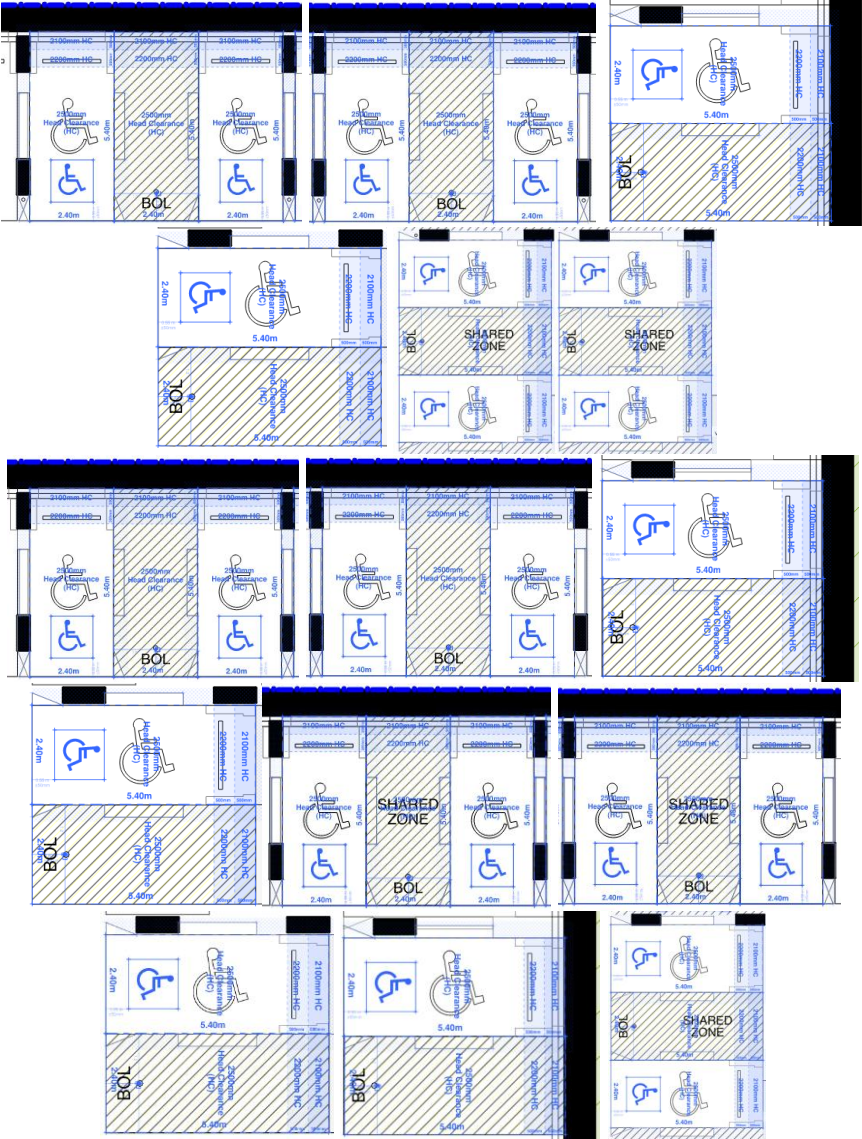


SECTION 3: SITING

Siting			
Item	Status	Item Description	References
3	CRA	A continuous path of travel from the street frontage and vehicle parking to entry complying with AS1428.1 <i>An accessible path of travel from the street frontage carparking area or drop-off point shall be provided to all adaptable housing units. As a minimum, this accessible path shall comply with AS 1428.1 and shall be continuous, slip-resistant, hard- surfaced and shall not incorporate any step, stairway or other impediment which would prevent it from being safely negotiated by people with disabilities. It is advisable for walkways to be provided with passing areas, as specified in AS 1428.2.</i> A continuous path of travel from the vehicle parking and street frontage to entry complying with AS 1428.1 appears to be provided through the provision of a Clause E3D7 & E3D8 compliant lift.	Clause 3.3.2 - Accessible Pathway

Letterboxes			
Item	Status	Item Description	References
11	CRA	Letterboxes to be on hard standing area connected to accessible pathway <i>Where letterboxes are centrally located in residential estate developments they should be adjacent to the street entry. Letterboxes and parcel racks should be lockable. The letterbox area should allow for a future roof to be constructed and be in a well-lit location. External letterboxes shall be located on a hard-standing area connected to an accessible pathway to the adaptable housing unit.</i> External letterboxes appear to be provided in an area connected to an accessible pathway as required, and appears to be provided with sufficient turning space.	Clause 3.8 - Letterboxes



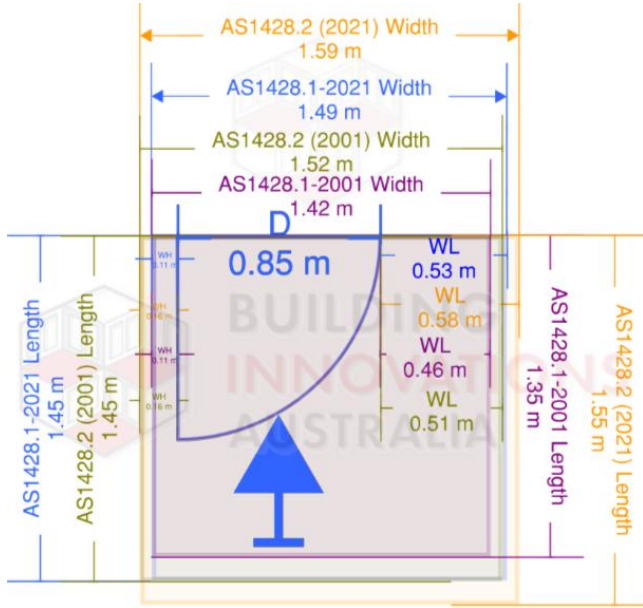
Private Car Accommodation			
Item	Status	Item Description	References
14	CRA	Car parking space or garage min. area 6.0m x 3.8m <i>Garages and carports shall have minimum internal dimensions of 6.0 m ´ 3.8 m. A 2.5 m internal vertical clearance is desirable. A garage may be reduced if a hard surfaced level outside space of minimum dimensions 5.4 m ´ 3.8 m is provided as a sheltered carpark, or can be provided in the future. Provision for a power- operated roller door is desirable. For Residential estate developments, one car parking space per adaptable unit shall have minimum dimensions specified in Clause 3.7.2 and should otherwise comply with the requirements of AS 2890.1 for parking for people with disabilities.</i> Twenty-four (24) AS2890.6-2009 5.5m x 3.2m accessible car spaces appear to be provided with one (1) space assigned to each of the adaptable units. 	Clause 3.7.2 - Garages and Carports



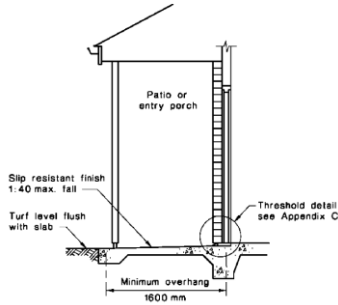
SECTION 4: DESIGN OF THE HOUSING UNIT

Accessible Entry			
Item	Status	Item Description	References
20	CRA	Accessible Entry <i>At least one accessible entry door complying with AS 1428.2 shall be provided.</i> <i>Entry doors should preferably have a porch or some other form of protection from the weather (see AS 1428.2).</i> <i>Consideration should be given to features like a shelf on which to rest parcels while opening the door.</i> Covered accessible entry SOU doorways provided with circulation spaces at doorway appearing to comply with AS1428.1-2021 as a minimum, with the additional dimensions requested by AS1428.2-1992 provided where possible. In relation to the entrance doorways of the subject units, Clause 3.7.8 of Standards Australia's "Standardisation Guide 003: Standards and other publications" (2016) clarifies references to other standards can be dated or undated. Undated references can only be made if it is accepted that it will be possible to use all future changes of the referenced document for the purposes of the referring document, or for informative references. Furthermore, the applicability of subsequent editions or amendments of referenced Standards is a matter of determination by the users of the Standard, employing their professional judgement. This item of the essential features in Appendix A of the Adaptable Housing standard AS4299-1995 implies compliance with AS1428.2. This is an undated referenced standard, as is AS1428.1 for which AS1428.2 internally references. At the time of release of AS4299, the following versions were in force: AS 1428.1 Design for access and mobility Part 1: General requirements for access - Buildings – 1993 (<i>superseded in 2021</i>); AS 1428.2 Design for access and mobility Part 2: Enhanced and additional requirements – Buildings and facilities – 1992 (<i>reviewed in 2015</i>); AS 1680.1 Interior lighting Part 1: General principles and recommendations – 1990 Amdt 1 1993 (<i>superseded in 2006</i>); AS 2890.1 Parking Facilities Part 1: Off-street car parking – 1993 (<i>superseded in 2004</i>); AS 3727 Guide to residential pavements – 1993 (<i>current</i>); AS 3740 Waterproofing for wet areas within residential buildings – 1994 (<i>superseded in 2010</i>); AS 3661.1 Slip resistance of pedestrian surfaces Part 1: Requirements 1993 (<i>superseded by AS 4586 in 2013</i>); and HB 46 Guide to residential fire safety – 1993 (<i>superseded in 2010</i>). As identified above, the version of AS 1428.1 in force at the time of the release of the current AS4299 standard was the 1993 edition.	Clause 4.3.1 - Accessible Entrance

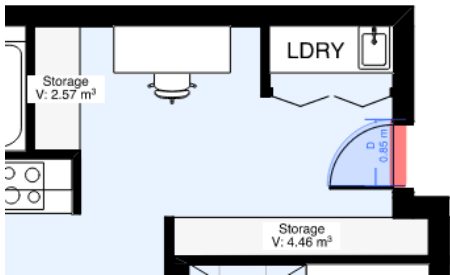
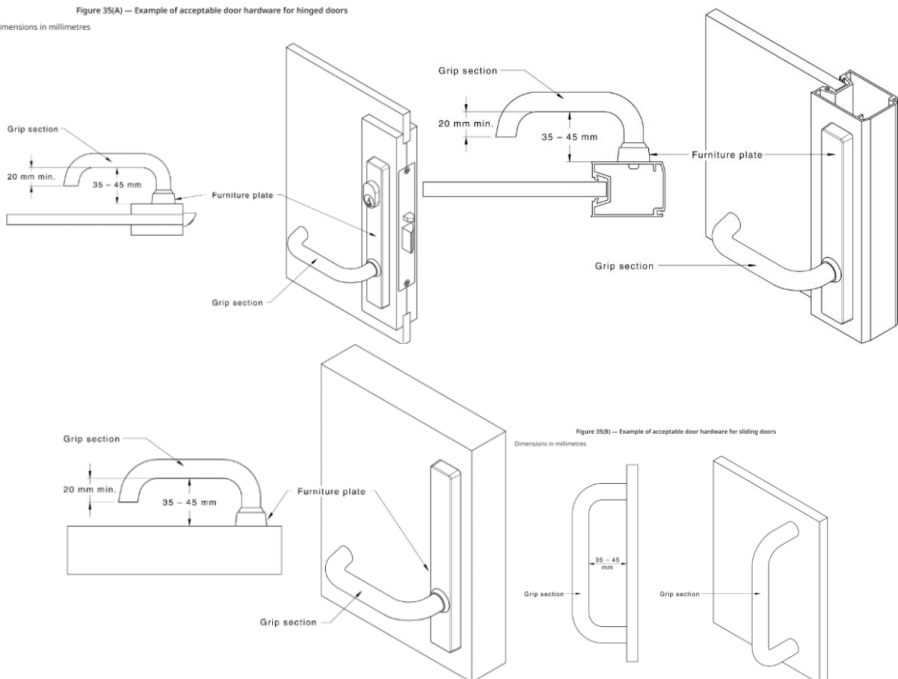
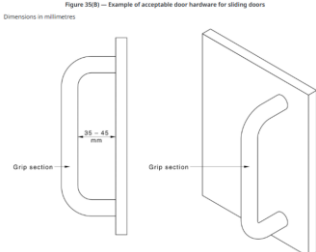


Accessible Entry			
Item	Status	Item Description	References
		As the requirement for the subject accessible entries to comply with AS 1428.2 is set by AS4299 and not by the Building Code of Australia (BCA) 2022 A2, compliance with the requirements of the 1993 edition can be considered as sufficient. Below is a direct comparison of frontal-approach, swing-towards door circulation of 2001-edition dimension and 2021-edition dimensions, illustrating AS1428.1-2021 provides the same length as AS1428.2 based on 2001-edition, with greater latch-side circulation space, which is more important for independent access than hinge-side circulation space:  Although compliance with AS1428.1-1992 & AS1428.1-1993 is the minimum requirement for compliance with AS4299-1995, based on the above, this office considers compliance with AS1428.1-2021 required, and AS1428.2-1992 dimensions added to AS1428.1-2021 as highly desirable. The subject SOU entry doorways appear to comply with AS1428.1-2021 (blue) and AS1428.2-1992 (orange).	



Accessible Entry			
Item	Status	Item Description	References
22	CRA	Accessible Entry to be level (i.e 1:40 slope) Where the accessible entry door is exposed to the weather, it shall be provided with a landing outside the door with a maximum fall of 1:40 and a low threshold at the entry door to exclude water. The threshold shall allow for the smooth transition of a wheelchair (see Figure 4.1). The landing shall be of sufficient area to enable wheelchair manoeuvrability.  FIGURE 4.1 ENTRY LANDING RLs on plans indicate level accessible entry SOU doorways.	Clause 4.3.2 - Landing
23	CRA	Threshold to be low level Where the accessible entry door is exposed to the weather, it shall be provided with a landing outside the door with a maximum fall of 1:40 and a low threshold at the entry door to exclude water. The threshold shall allow for the smooth transition of a wheelchair (see Figure 4.1). The landing shall be of sufficient area to enable wheelchair manoeuvrability. Covered, level accessible entry SOU doorways with low or no threshold ramp within each unit entry doorway threshold as illustrated in Item 20.	Clause 4.3.2 - Landing
24	CRA	Landing to enable wheelchair manoeuvrability Where the accessible entry door is exposed to the weather, it shall be provided with a landing outside the door with a maximum fall of 1:40 and a low threshold at the entry door to exclude water. The threshold shall allow for the smooth transition of a wheelchair (see Figure 4.1). The landing shall be of sufficient area to enable wheelchair manoeuvrability. Covered, level accessible entry SOU doorways with sufficient space for a 180 degree turn as defined by AS1428.1-2021 at each landing of the subject unit entries as illustrated in Item 20.	Clause 4.3.2 - Landing

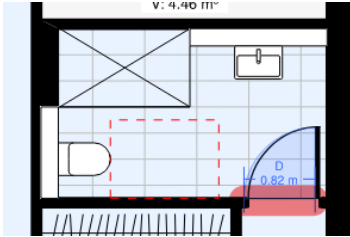


Accessible Entry			
Item	Status	Item Description	References
25	CRA	Accessible entry door to have min 850mm clearance <i>At least one accessible entry door complying with AS 1428.2 shall be provided. 1. Entry doors should preferably have a porch or some other form of protection from the weather (see AS 1428.2). 2. Consideration should be given to features like a shelf on which to rest parcels while opening the door.</i> 850mm unobstructed width for the SOU entry doorway to be provided for the subject units, :  Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	Clause 4.3.1 - Accessible Entrance
27	CRA	Door lever handles and hardware to AS 1428.1 Figure 35(A) – Example of acceptable door hardware for hinged doors Dimensions in millimetres  Figure 35(B) – Example of acceptable door hardware for sliding doors Dimensions in millimetres 	Clause 4.3.4 - Door Handles and Hardware



Accessible Entry			
Item	Status	Item Description	References
		Figure 16 – Location for door controls showing closing face and minimum zones for glazed viewing panel Dimensions in millimetres (a) Minimum zones for glazed viewing panel (b) Location of door controls showing face The door handle and related hardware shall be of the type that allows the door to be unlocked and opened with one hand. Door lever handles and hardware shall be not less than 900 mm nor more than 1100 mm above the plane of the finished floor and shall be in accordance with AS 1428.1. All lockable external doors in the housing unit should be keyed alike, including any garage doors, storeroom door and the like. Note to be added on plans to indicate that door level handles and hardware are to comply with this item.	



Interior: General			
Item	Status	Item Description	References
32	CRA	Internal doors to have min 820mm clearance <i>Doors throughout shall have a minimum clear opening of 820 mm, except where otherwise described. 1 A hinged door leaf of 870 mm width will satisfy this requirement and will accommodate over 80% of people who use wheelchairs. 2 Consideration may be given to using a door leaf of 920 mm width.</i> All internal doors to main bedroom, visitable bathroom and shared spaces are to be provided with minimum 820mm clearance as illustrated in the figure below:  Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	Clause 4.3.3 - Doors
33	CRA	Internal Corridors to have min 1000mm width <i>Internal corridors shall have a minimum width of 1000 mm. After adaptation, circulation spaces at doorways shall comply with AS 1428.1.</i> Internal corridors of the subject units appear to comply with the required minimum 1000mm width throughout.	Clause 4.3.7 - Internal Corridors



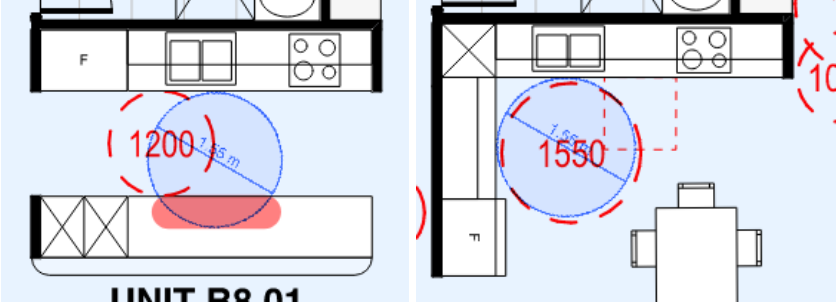
Interior: General

Item	Status	Item Description	References
34	CRA	Provision for compliance with AS 1428.1 for door approaches AB 1428.1-2009 FIGURE 31 (in part) CIRCULATION SPACES AT DOORWAYS WITH SWINGING DOORS AB 1428.1-2009 FIGURE 31 (in part) CIRCULATION SPACES AT DOORWAYS WITH SLIDING DOORS Internal corridors shall have a minimum width of 1000 mm. After adaptation, circulation spaces at doorways shall comply with AS 1428.1. Provision for doorway approach circulation spaces for the main toilet and common facilities to comply with AS 1428.1-2021 with minimum 820mm clear door width as allowed by Item 32 for the subject units at post-adaptation as illustrated below: Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	Clause 4.3.7 - Internal Corridors

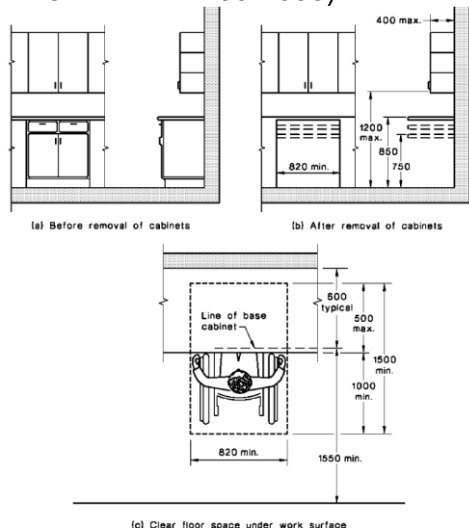


Living Room & Dining Room			
Item	Status	Item Description	References
36	CRA	Provision for circulation space of min. 2250mm diameter Provision shall be made for circulation space to enable a 360° wheelchair turn after the furniture has been placed. Circulation space within the living and dining room areas appear to allow a 360-degree wheelchair turn after furniture has been placed in the subject areas. Note: Only one 360-degree wheelchair circulation space within the living and dining room is required according to Clause 4.7.1 of AS4299-1995s	Clause 4.7.1 - Circulation Space
38	CRA	Telephone adjacent to GPO A telephone outlet shall be provided in the living-dining area. This should be adjacent to a GPO. Note to be provided on plans to indicate that the telephone is to be adjacent to GPO prior to issue of the Construction Certificate.	Clause 4.7.4 - Telephone
41	CRA	Potential illumination level min 300 lux An even degree of light particularly along paths of travel shall be available throughout the building (i.e. more than one single light bulb may be required in each room). Provide a level of maintenance illuminance to comply with AS 1680.1. NOTE: A level of illumination of 150 lux would be suitable in most instances. This level allows for lip reading by people with impaired hearing. (See AS 1428.2). The lighting and power reticulation shall be such that recommended lux levels for people with visual impairment may be achieved without rewiring. Provision shall be made for the recommended illumination levels for different rooms for people with visual impairment are shown in Table 4.1. Where illumination levels in a given area need to be varied from time to time, a dimmer switch should be installed. Lighting should be designed for non-glare, with an easy-to-change or long-life light source. Wherever possible, natural lighting should be provided in laundries and hallways. Note to be provided on plans to indicate that the telephone is to be adjacent to GPO prior to issue of the Construction Certificate.	Clause 4.10 - Lighting



Kitchen			
Item	Status	Item Description	References
42	CRA	Minimum width of 2.7m (1550mm between benches) <i>Minimum clearances in front of appliances and between opposing base cabinets shall be provided at the outset. A minimum clear floor space of 1500 mm x 820 mm that allows either a forward or parallel approach by a person in a wheelchair shall be provided at the sink and all appliances in the kitchen. In addition, a minimum clearance of 1550 mm shall be maintained between all opposing base cabinets, appliances and walls to allow for a 180° turn by a person in a wheelchair. For further guidance see AS 1428.2.</i> <i>NOTE: A 2.7 m width between walls will enable 1550 mm clearance between cupboards to both walls.</i> Circulation spaces appear to comply with the minimum clearance requirements of this item. Island benches only permitted if it's proven very inexpensive to complete post-adaptation works or the owner of the apartment requests the change in writing.  Recommendation: Designer verification to be provided prior to the issue of the Construction Certificate.	Clause 4.5.2 - Circulation Prior to Adaptation
43	Noted	Provision for circulation at doors to comply with AS 1428.1 <i>The potential configuration of the kitchen area after adaptation shall be demonstrated prior to certification. The final configuration of the kitchen after adaptation shall be shown to comply with Clause 4.5.3.</i> No kitchen doors are provided, therefore provisions for door circulation space and dead-end circulation spaces comply with AS 1428.1 within the kitchen area.	Clause 4.5.1 - General



Kitchen			
Item	Status	Item Description	References
44	CRA	Provision for benches planned to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable (Figure 4.8 from AS 4299-1995)  At least one section of the work surface, not less than 800 mm in length, should comply with the following: (a) The work surface should be adjustable or replaceable as a unit at variable heights within the range 750 mm to 850 mm above the finished floor surface. (See Figure 4.8(b).) (b) Base cabinets, if provided, should be removable over the full 800 mm length of the work surface. The finished floor shall extend under the work surface to the wall. (c) The required clear floor space of 1500 mm x 820 mm should allow a forward approach to the work surface. No more than 500 mm of this clear floor space should extend beneath the work surface. (See Figure 4.8(c).) The subject units appear to have provision for not less than one worksurface.	Clause 4.5.5 - Work Surfaces
45	CRA	Refrigerator adjacent to work surface At least one section of the work surface, not less than 800 mm in length, should comply with the following: (a) The work surface should be adjustable or replaceable as a unit at variable heights within the range 750 mm to 850 mm above the finished floor surface. (See Figure 4.8(b).) (b) Base cabinets, if provided, should be removable over the full 800 mm length of the work surface. The finished floor shall extend under the work surface to the wall. (c) The required clear floor space of 1500 mm x 820 mm should allow a forward approach to the work surface. No more than 500 mm of this clear floor space should extend beneath the work surface. (See Figure 4.8(c).) The subject unit appears to have provision for a designated 800mm work surface adjacent the refrigerator.	Clause 4.5.5 - Work Surfaces



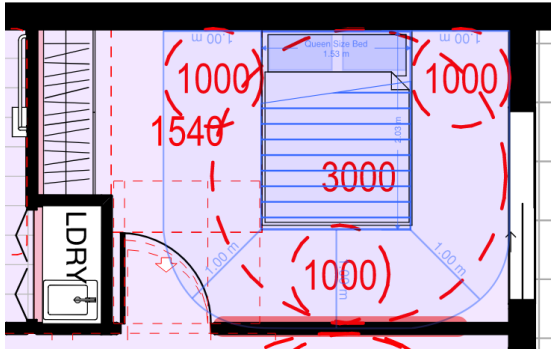
Kitchen			
Item	Status	Item Description	References
46	CRA	Kitchen sink adjustable heights from 750 to 850mm or replaceable <i>The sink and an adjacent work surface which shall be a minimum of 800 mm in length, and may be the work surface referred to under Clause 4.5.5, shall comply with (a) to (f)</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.6 - Sinks
47	CRA	Kitchen sink bowl max. 150mm deep <i>The sink and an adjacent work surface which shall be a minimum of 800 mm in length, and may be the work surface referred to under Clause 4.5.5, shall comply with (a) to (f)</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.6 - Sinks
48	CRA	Tapset capstan or level handles or level mixer <i>Taps shall comply with AS 1428.1 (see also AS 1428.2). See Figure 4.4 of this Standard. Taps or their operating handles shall be within 300 mm of the front of the sink to allow for ease of operation.</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.6(e) - Taps
49	CRA	Tapset located within 300mm of front of sink <i>Taps shall comply with AS 1428.1 (see also AS 1428.2). See Figure 4.4 of this Standard. Taps or their operating handles shall be within 300 mm of the front of the sink to allow for ease of operation.</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.6(e) - Taps
51	CRA	Cooktops to include either front or side controls with raised cross bars <i>Circulation spaces and clearances shall be as for sinks (see Clause 4.5.6). Cooktops shall have controls which do not require reaching over the hotplates to adjust them. Controls shall have raised cross-bars for ease of grip. Cooktops shall have an adjacent work surface of 800 mm minimum length at the same height. Cooktops should be provided with isolating switches or gas stop valves which can be easily and safely operated while the cooktop is in use.</i> Side controls and raised cross bars to be indicated on plans prior to issue of the Construction Certificate.	Clause 4.5.7 - Cooktops



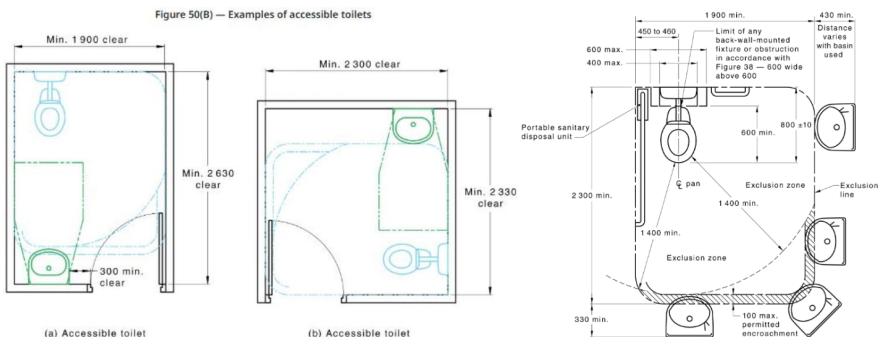
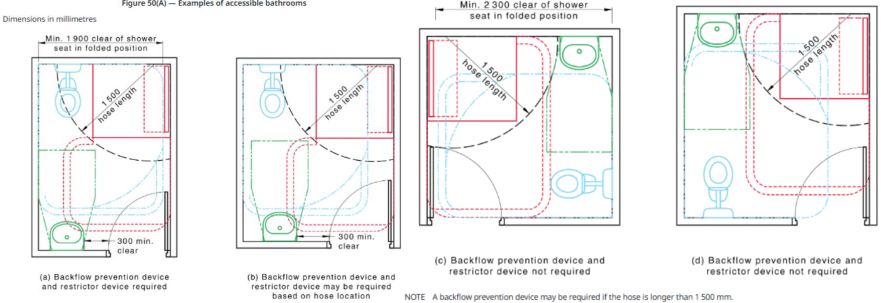
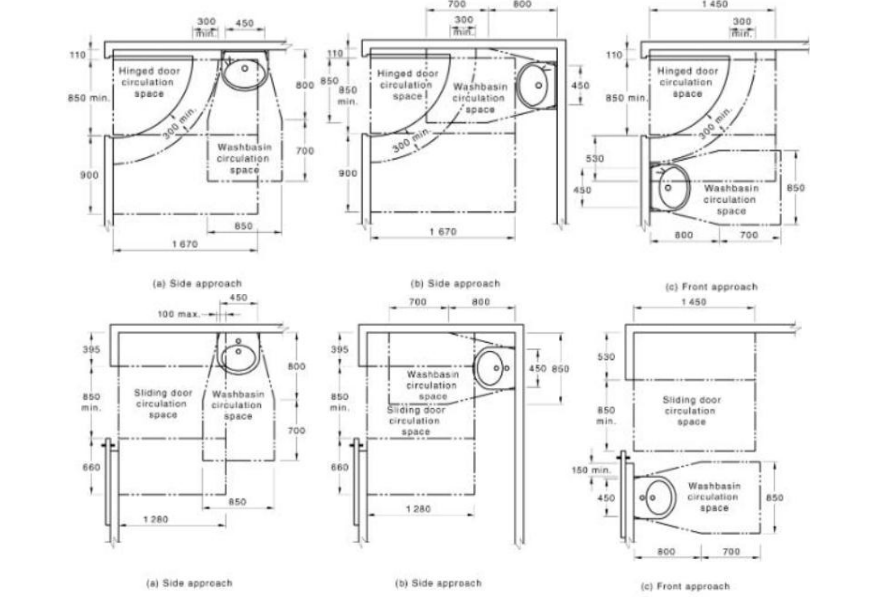
Kitchen			
Item	Status	Item Description	References
52	CRA	Cooktops to include isolating switch <i>Circulation spaces and clearances shall be as for sinks (see Clause 4.5.6). Cooktops shall have controls which do not require reaching over the hotplates to adjust them. Controls shall have raised cross-bars for ease of grip. Cooktops shall have an adjacent work surface of 800 mm minimum length at the same height. Cooktops should be provided with isolating switches or gas stop valves which can be easily and safely operated while the cooktop is in use.</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.7 - Cooktops
53	CRA	Worksurface min. 800mm length adjacent to cooktop at same height <i>Circulation spaces and clearances shall be as for sinks (see Clause 4.5.6). Cooktops shall have controls which do not require reaching over the hotplates to adjust them. Controls shall have raised cross-bars for ease of grip. Cooktops shall have an adjacent work surface of 800 mm minimum length at the same height. Cooktops should be provided with isolating switches or gas stop valves which can be easily and safely operated while the cooktop is in use.</i> Cooktop is adjacent an 800mm workspace as illustrated in Item 44.	Clause 4.5.7 - Cooktops
54	CRA	Oven located adjacent to an adjustable height or replaceable work surface <i>Ovens shall be located adjacent to a work surface in accordance with Clause 4.5.5 (see Figure 4.10). Where the oven door is hinged, the clear work surface shall be on the opposite side to the hinge</i> Oven is adjacent an 800mm workspace as illustrated in Item 44.	Clause 4.5.8 - Ovens
59	CRA	GPO's to comply with AS 1428.1. At least one double GPO within 300mm of front of work surface <i>General purpose outlets shall be located to comply with AS 1428.1. At least one double general purpose outlet shall be located with a horizontally accessible reach over a work surface at a maximum of 300 mm from the front of the work surface. The GPO for the refrigerator shall be easily reachable when the refrigerator is in its operating position.</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.11 - Power Outlets
60	CRA	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position <i>General purpose outlets shall be located to comply with AS 1428.1. At least one double general purpose outlet shall be located with a horizontally accessible reach over a work surface at a maximum of 300 mm from the front of the work surface. The GPO for the refrigerator shall be easily reachable when the refrigerator is in its operating position.</i> Note to be added to plans prior to issue of the Construction Certificate	Clause 4.5.11 - Power Outlets



Kitchen			
Item	Status	Item Description	References
61	CRA	Slip-resistant floor surface <i>The floor surface shall be slip-resistant to comply with AS/NZS 3661.1.</i> Note to be added to plans prior to issue of the Construction Certificate. Design verification to be provided prior to the issue of the Construction Certificate.	Clause 4.5.4 - Floor Surfaces

Main Bedroom			
Item	Status	Item Description	References
62	CRA	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2 <i>At least one bedroom shall be capable of accommodating a queen size bed and a wardrobe and the circulation space requirements of AS 1428.2 clear of wardrobe fixtures.</i> Provision of a queen size bed, not less than 1000mm circulation space on both sides and foot of bed, and provision of a wardrobe and space for a 180° turn in front of the wardrobe circulation spaces are to be provided for the subject units at post-adaptation.  Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	Clause 4.6.1 - Bedroom Areas



Bathroom			
Item	Status	Item Description	References
75	CRA	Provision for bathroom area to comply with AS 1428.1 <i>All sanitary facilities and components shall be adaptable, at minimum cost, to potentially comply with AS 1428.1 as a minimum, and preferably with AS 1428.2.</i> <i>NOTE: The required circulation spaces at doors and around WC pans, washbasins and showers shall be able to be provided without major plumbing changes. The WC pan should either be located in the after-adaptation location initially or be fitted with a P trap. In addition, items like toilet paper dispensers and WC flushing controls shall comply with AS 1428.1. Because of the difficulty in moving some of these items after they have been initially installed, it is desirable that they should comply with AS 1428.1 from the outset.</i> Figure 50(B) — Examples of accessible toilets  (a) Accessible toilet (b) Accessible toilet Figure 50(A) — Examples of accessible bathrooms  (a) Backflow prevention device and restrictor device required (b) Backflow prevention device and restrictor device may be required based on hose location (c) Backflow prevention device and restrictor device not required (d) Backflow prevention device and restrictor device not required NOTE: A backflow prevention device may be required if the hose is longer than 1 500 mm.  (a) Side approach (b) Side approach (c) Front approach	Clause 4.4.1 - General

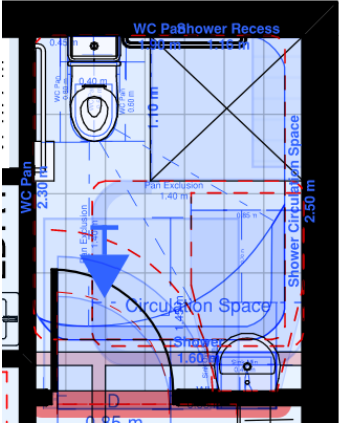
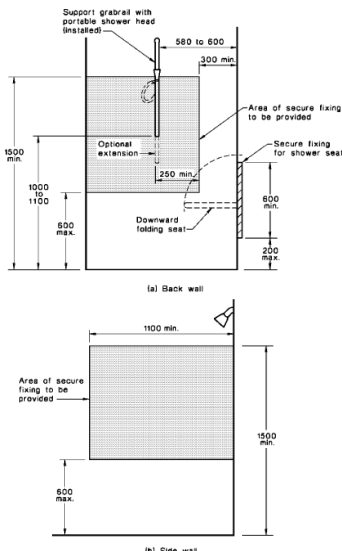
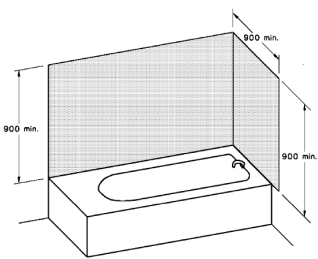


Bathroom

Item	Status	Item Description	References
		Finished wall surface Front of any back-wall-mounted fixture or obstruction except backrest 600 min. 800 ±10 Top of seat 460 to 480 (a) Side view 450 to 460 Edge of any back-wall-mounted fixture or obstruction 600 max. Seat width 400 max. 600 min. (b) Front view Inclination of face of backrest Face of backrest 95° to 100° Horizontal plane Lower edge of centre of face of backrest Front of WC pan Seat in position Face of backrest inclined 95° to 100° from horizontal Lower edge of centre of face of backrest 120 to 150 Top of seat 430 to 485 (a) Side view 350 to 400 Zone for backrest face 150 to 200 120 to 150 Top of seat (a) Front view * Backrest location must allow the seat to remain in the raised position Zone for position of toilet paper dispenser outlet Top of seat 700 460 to 480 300 (i) Option A 700 min. 30° to 45° 100 to 150 800 to 820 800 ±10 (ii) Option B 200 to 250 1400 min. 50 to 60 900 to 1000 800 to 820 800 ±10 450 to 460 50 to 60 Side of cistern 50 max. 300 min. 800 to 820 (b) Grabrail at back of pan with surface-mounted cistern and sectional view of grabrail at side of pan 450 to 460 50 to 60 Grabrail may continue when not obstructed 250 to 400 300 min. 800 to 820 (c) Grabrail at back of pan with concealed or remote cistern and sectional view of grabrail at side of pan Typical washbasin 225 min. 225 min. 800 700 min. 850 min. Figure 44(B) — Wall-mounted washbasin installation — other than for sole-occupancy unit Dimensions in millimetres Figure 45 — Washbasin for accessible sole-occupancy unit Dimensions in millimetres 120 to 150 125 min. 250 min. 800 700 850 min. PLAN ELEVATION A Front of basin 300 max. to operable parts Knee clearance to operable parts 215 max. Shell 800 to 830 720 300 Knee-toe clearance 340 200 NOTE: Location of knee-toe clearance zone is independent of the wall plane ELEVATION B PLAN 425 min. 120 to 150 800 to 830 720 300 Knee-toe clearance 340 200 NOTE: Location of knee-toe clearance zone is independent of the wall plane ELEVATION A PLAN 425 min. 120 to 150 800 to 830 720 300 Knee-toe clearance 340 200 NOTE: Location of knee-toe clearance zone is independent of the wall plane ELEVATION B Figure 46 — Circulation space for washbasins	

Post adaptive fixtures and circulation spaces are to comply with the required dimensions of AS1428.1-2021 (blue) or element(s) requiring review (red) for the designated units:

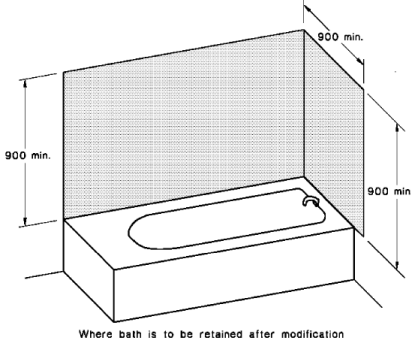


Bathroom			
Item	Status	Item Description	References
		 Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	
76	CRA	Slip-resistant floor surface <i>Floor surfaces shall be slip-resistant to comply with AS/NZS 3661.1.</i> <i>Note to be added to plans prior to issue of the Construction Certificate.</i> <i>Design verification to be provided prior to the issue of the Construction Certificate.</i>	Clause 4.4.2 - Floor Surface
77	CRA	Shower recess-no hob. Minimum size 1160 x 1100mm to comply with AS 1428.1 (Refer to Figures 4.6 and 4.7 of AS 4299-1995)  (a) Back wall (b) Side wall DIMENSIONS IN MILLIMETRES FIGURE 4.6 REINFORCED AREAS FOR SUBSEQUENT INSTALLATION OF GRABRAILS IN SHOWER COMPARTMENTS  Where bath is to be retained after modification DIMENSIONS IN MILLIMETRES FIGURE 4.7 REINFORCED AREAS FOR SUBSEQUENT INSTALLATION OF GRABRAILS AT BATHS <i>Shower compartment A shower shall be provided. The shower compartment shall be a minimum size of 1160 x 1100 mm. The soap holder shall be recessed. The position of the shower head and taps shall be such that the clearances and heights required by AS 1428.1 are achieved.</i> <i>Provision for this item appears to be indicated on the post-adaption plans as illustrated in Item 75.</i>	Clause 4.4.4(f) - Shower Compartment

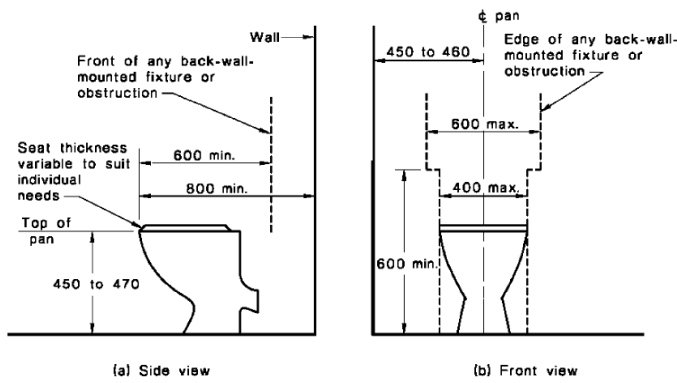


Bathroom			
Item	Status	Item Description	References
78	CRA	Shower area waterproofed to AS 3740 with floor to fall to waste <i>Shower compartment A shower shall be provided. The shower compartment shall be a minimum size of 1160 ' 1100 mm. The soap holder shall be recessed. The position of the shower head and taps shall be such that the clearances and heights required by AS 1428.1 are achieved.</i> Provision for this item appears to be indicated on the post-adaption plans as illustrated in Item 75.	Clause 4.4.4(f) - Shower Compartment
79	CRA	Recessed soap holder <i>Shower compartment A shower shall be provided. The shower compartment shall be a minimum size of 1160 ' 1100 mm. The soap holder shall be recessed. The position of the shower head and taps shall be such that the clearances and heights required by AS 1428.1 are achieved.</i> Note to be added prior to issue of the Construction Certificate	Clause 4.4.4(f) - Shower Compartment
80	CRA	Shower taps positioned for easy reach to access side of shower sliding track <i>Shower compartment A shower shall be provided. The shower compartment shall be a minimum size of 1160 ' 1100 mm. The soap holder shall be recessed. The position of the shower head and taps shall be such that the clearances and heights required by AS 1428.1 are achieved.</i> Shower tap position to be indicated or Note to be added to plans prior to issue of the Construction Certificate	Clause 4.4.4(f) - Shower Compartment
82	CRA	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall-strengthening provision) <i>Grabrails If grabrails or shower seats are required by the initial occupant of the housing unit they shall be installed in accordance with AS 1428.1 or to suit the occupant. Grabrails for baths if required by the initial occupant, shall be installed in accordance with AS 1428.2, or to suit the occupant. If grabrails or a shower seat are not initially required, provision for grabrails shall be made in the modified configurations as required by AS 1428.1.</i> Provision for this item appears to be indicated on the post-adaption plans as illustrated in Item 75.	Clause 4.4.4(h) - Grabrails



Bathroom			
Item	Status	Item Description	References
83	CRA	Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1  DIMENSIONS IN MILLIMETRES FIGURE 4.7 REINFORCED AREAS FOR SUBSEQUENT INSTALLATION OF GRABRAILS AT BATHS <i>Grabrails If grabrails or shower seats are required by the initial occupant of the housing unit they shall be installed in accordance with AS 1428.1 or to suit the occupant. Grabrails for baths if required by the initial occupant, shall be installed in accordance with AS 1428.2, or to suit the occupant. If grabrails or a shower seat are not initially required, provision for grabrails shall be made in the modified configurations as required by AS 1428.1.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.4.4(h) - Grabrails
86	CRA	Tap sets to be capstan or level handles with single outlet <i>Tap sets throughout shall have capstan or lever handles.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.4.4 (c) - Tap sets
88	CRA	Provision for washbasin with clearances to comply with AS 1428.1 <i>Washbasin The washbasin shall be located such that circulation spaces to adjacent doors, WC pans and other components, and knee clearances are either provided in accordance with AS 1428.1 or will be able to be provided at adaptation.</i> Provision for this item appears to be indicated on the post-adaption plans as illustrated in Item 75.	Clause 4.4.4(g) - Washbasin
90	CRA	Double GPO beside mirror <i>Wall cabinet in the bathroom should include a wall cabinet with a light above. A double GPO shall be located adjacent to the mirror.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.4.4(d) - Wall Cabinet

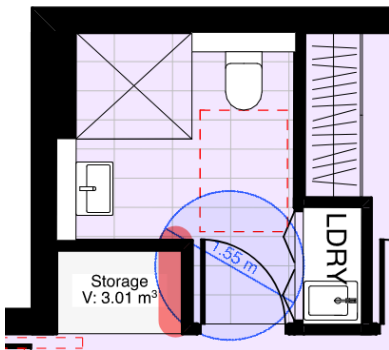


Toilet			
Item	Status	Item Description	References
92	CRA	Provision of either 'visitable toilet' or accessible toilet <i>Each housing unit shall be provided with either a visitable toilet or an accessible toilet. Where a separate toilet and bathroom are used with the intention of future unification, the WC pan shall initially be positioned at the correct distance from any fixed walls. Refer to Figure 4.3.</i>  NOTES: - For the purpose of dimensioning, the front of the WC pan has been taken as the datum plane. - The dimension of 800 mm from the front of the WC pan to the wall is a critical dimension. - A back support at 600 mm from the front of the pan is important. This supports people who are paralysed from the chest down. The back support may be a cistern or a continuous grab rail and toilet lid. DIMENSIONS IN MILLIMETRES FIGURE 4.3 LOCATION OF WC PAN Provision for a visitable toilet pre-adaptation appears to be made for the subject units.	Clause 4.4.3 - Toilet
93	CRA	Provision to comply with AS 1428.1 <i>All sanitary facilities and components shall be adaptable, at minimum cost, to potentially comply with AS 1428.1 as a minimum, and preferably with AS 1428.2.</i> <i>NOTE: The required circulation spaces at doors and around WC pans, washbasins and showers shall be able to be provided without major plumbing changes. The WC pan should either be located in the after-adaptation location initially or be fitted with a P trap. In addition, items like toilet paper dispensers and WC flushing controls shall comply with AS 1428.1. Because of the difficulty in moving some of these items after they have been initially installed, it is desirable that they should comply with AS 1428.1 from the outset.</i> Not less than one sanitary compartment is accessible and has provision to comply with AS1428.1-2021 as indicated in Item 75 above.	Clause 4.4.1 - General
94	Complies	Location of WC pan at correct distance from fixed walls <i>Each housing unit shall be provided with either a visitable toilet or an accessible toilet. Where a separate toilet and bathroom are used with the intention of future unification, the WC pan shall initially be positioned at the correct distance from any fixed walls. Refer to Figure 4.3.</i> Provision for this item appears to be indicated on the post-adaption plans as illustrated in Item 75.	Clause 4.4.3 - Toilet



Toilet			
Item	Status	Item Description	References
95	CRA	Provision for grab rail zone. (Refer Figure 4.6) <i>If grabrails or shower seats are required by the initial occupant of the housing unit they shall be installed in accordance with AS 1428.1 or to suit the occupant. Grabrails for baths if required by the initial occupant, shall be installed in accordance with AS 1428.2, or to suit the occupant. If grabrails or a shower seat are not initially required, provision for grabrails shall be made in the modified configurations as required by AS 1428.1.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.4.4(h) - Grabrails
96	CRA	Slip-resistant floor surface (Viterous tiles or similar) <i>Floor surfaces shall be slip-resistant to comply with AS/NZS 3661.1.</i> Note to be added to plans prior to issue of the Construction Certificate. Design verification to be provided prior to the issue of the Construction Certificate.	Clause 4.4.2 - Floor Surface



Laundry			
Item	Status	Item Description	References
98	CRA	Circulation at doors to comply with 1428.1 <i>If a separate room is used for a laundry, circulation spaces at doors shall be in accordance with AS 1428.1. Provision for adequate circulation space shall be made in front of or beside appliances and under or adjacent to the tub to enable people who use wheelchairs to use all the facilities.</i> Sufficient circulation appears to be available at laundry doorways in post-adaptation, as illustrated below in Item 99.	Clause 4.8 - Laundry Areas
99	CRA	Provision for adequate circulation space in front of or beside appliances (min 1550mm depth) <i>If a separate room is used for a laundry, circulation spaces at doors shall be in accordance with AS 1428.1. Provision for adequate circulation space shall be made in front of or beside appliances and under or adjacent to the tub to enable people who use wheelchairs to use all the facilities.</i> Greater than 1550mm circulation space provided in front of appliances as required by this item as illustrated below:  Recommendation: Compliance can be achieved via slight redesign prior to the issue of the Construction Certificate.	Clause 4.8 - Laundry Areas
100	CRA	Provision for automatic washing machine <i>Provision shall be made for an automatic washing machine.</i> Provision for this item is indicated on the post-adaption plans as required.	Clause 4.8(e) - Automatic Washing Machine
102	CRA	Where clothes line is provided, an accessible path of travel to this <i>There shall be a clothes drying facility. Where a clothes line is provided, an accessible path of travel shall be provided to the clothes line.</i> No clothes lines indicated on the plans due to the provision of a drying machine in the subject laundry.	Clause 4.8(a) - Clothes Dry Facility



Laundry			
Item	Status	Item Description	References
105	CRA	Double GPO <i>A double GPO shall be provided as a minimum.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.8(g) - Double GPO
108	CRA	Slip-resistant floor surface <i>Floor surfaces including bathrooms, laundries, toilets and all external paved surfaces shall be slip-resistant to comply with AS/NZS 3661.1.</i> Note to be added to plans prior to issue of the Construction Certificate. Design verification to be provided prior to the issue of the Construction Certificate.	Clause 4.9.1 - Floor Surfaces

Door Locks			
Item	Status	Item Description	References
110	CRA	Door hardware operable with one hand, located 900-1100mm above floor <i>The door handle and related hardware shall be of the type that allows the door to be unlocked and opened with one hand. Door lever handles and hardware shall be not less than 900 mm nor more than 1100 mm above the plane of the finished floor and shall be in accordance with AS 1428.1. All lockable external doors in the housing unit should be keyed alike, including any garage doors, storeroom door and the like.</i> Note to be added to plans prior to issue of the Construction Certificate.	Clause 4.3.4 - Door Handles and Hardware



6.0. CONCLUSION

6.1. BCA Accessibility Indicative Assessment Conclusion

Although demonstrating compliance with the BCA at DA assessment stage is not a prescribed head of consideration under Section 4.15 (formally Section 79C) of the Environmental Planning & Assessment Act 1979, Council has an obligation to consider whether the proposal, as lodged, is indicatively capable of complying with the BCA - without significant modification to those plans for which approval is sought.

In this instance we are confident that any modifications and advancement in level of details required to the proposal in order to satisfy the requirements of the BCA (in force at the time the Construction Certificate application is lodged) will not necessitate the need for any significant design changes that in turn would necessitate the submission of an application under Section 4.55 (formally Section 96) of the Environmental Planning and Assessment Act 1979.

In the same regard, we draw Council's attention to the requirements of Section 19 of the Environmental Planning & Assessment (Development Certification and Fire Safety) Regulation 2021, and suggest that detailed & specific BCA compliance matters shall be addressed to the satisfaction of the appointed Certifying Authority prior to the issue of the Construction Certificate.

Further, it is considered that this BCA review and the additional preparation of the required Construction Certificate documentation will be sufficient to ensure that the proposed design will achieve the necessary compliance with the BCA

6.2. Adaptable Housing Consistency Statement

This report has reviewed the subject development to determine compliance with the objectives and performance requirements of AS 4299-1995 Adaptable Housing, outlined in Section 1.3 of this report. This assessment has been conducted through review of the architectural plans detailed in Appendix A below.

This statement is strictly limited to the items of Appendix A within AS4299-1995 Adaptable Housing compliance with a Class A adaptable unit relating to the units identified in Section 4.3 of this report and does not include a BCA or Access to Premises Standards compliance assessment or the like.

This consistency statement confirms that upon completion of recommendations and actions detailed in this report, the subject development appears to either comply directly with Appendix A of AS4299-1995 for Class C essential features or complies indirectly with the objectives and/or performance requirements relevant to these items as permitted during development consent determination by Clause 79C(3A)(b) of the Act.



**BUILDING
INNOVATIONS
AUSTRALIA**

PREPARED BY:

Jennifer Lee
Junior Consultant
Building Innovations Australia Pty Ltd
Dip.Access (Diploma of Access Consulting)

ASSESSED BY:

Mardiros Tatian
Director
Building Innovations Australia Pty Ltd
M.Fire.Eng (Master of Fire Engineering)
Grad.Dip.Bld.Survey (Graduate Diploma of Building Surveying)
B.Med.Sci (Bachelor of Medical Science)
Building Professionals Board, NSW- A1 Accredited Certifier BPB 2572



APPENDIX A – REFERENCED DOCUMENTATION

The following documentation was used in the preparation of this report:

Drawing No.	Title	Rev.	Project No.	Date	Drawn By
DA 090	Basement 04 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 091	Basement 03 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 092	Basement 02 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 093	Basement 01 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 100	Ground Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 101	Level 01 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 102	Level 02-03 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 103	Level 04 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 104	Level 05-07 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 105	Level 08 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 106	Level 09 Floor Plan	A	24029	12.02.2026	BKA Architecture
DA 107	Roof Plan	A	24029	12.02.2026	BKA Architecture
DA 108	Adaptable Units	A	24029	12.02.2026	BKA Architecture
DA 200	Streetscape Elevation	A	24029	12.02.2026	BKA Architecture
DA 201	North Elevation – Maroubra Road	A	24029	12.02.2026	BKA Architecture
DA 202	East Elevation	A	24029	12.02.2026	BKA Architecture
DA 203	South Elevation – Maroubra Lane	A	24029	12.02.2026	BKA Architecture
DA 204	West Elevation – Garden Street	A	24029	12.02.2026	BKA Architecture
DA 300	Section 1	A	24029	12.02.2026	BKA Architecture
DA 301	Section 2	A	24029	12.02.2026	BKA Architecture
DA 302	Section 3	A	24029	12.02.2026	BKA Architecture
DA 303	Section 4	A	24029	12.02.2026	BKA Architecture
DA 304	Section 5	A	24029	12.02.2026	BKA Architecture