

Regulatory Compliance Report - Accessibility

St George Private Hospital Expansion SSDA Works

Site A: 119–129 Princes Highway and 2 Hogben Street, Kogarah NSW 2217

Site B: 1 South Street, Kogarah NSW 2217

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1 Executive Summary

The following report is a review of the Development Application (DA) documentation and provides a summary of the Access strategy of the proposed works highlighting the key principles of accessibility as well as the technical requirements of a building to ensure the public, staff and visitors, have equitable and dignified use.

A recent regulatory change will affect the design and construction of this project. The Disability (Access to Premises – Buildings) Standards 2010 (C03), or DAPS (C03) came into effect on the 29th of July 2025. The updated DAPS (C03) endorses the newer design standard AS 1428.1-2021 which has some impacts on the design of this project. The update does not include any transitional provisions, and therefore compliance is required from the date it came into effect. It is noted that the majority of changes are minor in nature and the impact on the project is likely not significant.

For the purposes of this report, the design has been assessed against AS1428.1-2021.

1.1 Development Overview

This Regulatory Compliance Report – Accessibility has been prepared on behalf of Akalan Projects Pty Ltd in support of a State Significant Development Application (SSDA) submitted to the Department of Planning, Housing and Infrastructure (DPHI) under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979).

The SSDA seeks approval for the expansion of the St George Private Hospital. Specifically, the SSDA seeks consent for two components: the first being the erection of a health services facility (hospital), and the second relating to upgrades to the main hospital campus, including a new emergency department.

For reporting purposes, the site subject to the new health services facility (hospital) is referred to herein as the 'clinical tower site' and the main hospital campus is referred to as such.

This report provides an assessment of Building Code of Australia and responds to the Secretary's Environmental Assessment Requirements (SEARs) Item 4 issued by DPHI on 30 June 2025 in relation to the project.

1.2 DAPS / NCC Minimum Provisions Compliance

We have reviewed the design documentation (refer Appendix A) for compliance with the current building assessment provisions, including (but not limited to) the following:

- Disability (Access to Premises – Buildings) Standards 2010 (C03) (DAPS (C03))
 - AS 1428.1-2021 – Design for access and mobility - General requirements for access – New building work
- National Construction Code (NCC) 2022 Volume One (Amendment Two) - Building Code of Australia (BCA) and referenced Australian Standards:
 - AS 1428.4.1-2009 - Design for access and mobility - Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.
 - AS/NZS 2890.6-2009 – Parking Facilities - Off-street parking for people with disabilities.
 - AS 1735.12-1999 - Lift facilities for people with disabilities - Facilities for persons with disabilities
 - ABCB Livable Housing Design Standard

This report has been prepared to provide a summary of the Accessibility requirements applicable to the project and strategies adopted. This report will assist the future developed design to progress through design phases. Further assessment of the design will be required as the design develops to ensure compliance is achieved in line with the access provisions.

1.3 Disability Discrimination Act (DDA) 1992

The DDA sets out guiding principles to eliminate, as far as practical, discrimination based on a disability. It does not contain prescriptive provisions, but includes principles and objectives. As such, a review against this legislation is not definitive. We can provide advice as to how the project can increase its ability to meet the objectives set out in the legislation.

1.4 Assessment Summary

Subject to addressing the actions identified, McKenzie Group Consulting confirm that the project documentation provides appropriate accessibility capable of meeting the minimum technical provisions of the National Construction Code (NCC) 2022 Volume One (Amendment Two) & Disability (Access to Premises – Buildings) Standards (DAPS) 2010 (C03).

The project, subject to incorporating the actions and recommendations included in the report is considered to address the objectives of the Disability Discrimination Act (DDA), within the project scope.

1.5 Summary of key access items identified:

The following snapshot provides a summary of the high priority access items identified at this stage of design:

Item No	Issue / Comment	Status
1.	D4D5 Exempt Areas The areas highlighted (in red) in Appendix B have been identified as areas / spaces within the building that may be accepted / assessed as exempt from access provisions. Subject to confirmation from Stakeholders. Refer linked Section for further details.	Design Intent Capable of Compliance
2.	Performance Solution Assessments The areas highlighted (in green) in Appendix B have been identified by the design team as areas / spaces within the building that are to be rationalised under the Performance Solution Assessment process. Further assessment of the design shall be completed as the design develops to finalise the required performance solution items. Subject to confirmation from Stakeholders. Refer linked Section for further details.	To be resolved / confirmed in the next phase

Item No	Issue / Comment	Status
3.	Room Designation Strategy Rooms / spaces within the building have been highlighted by the design team, categorised according to the user group and / or tasks expected to be performed within the space. These categories include: A. General Circulation / Public Spaces B. Staffed Areas / Spaces C. Restricted / Staff Operational / Clinical Spaces D. Exempt Spaces / D4D5 Refer linked Section for further details.	Design Intent Capable of Compliance
4.	Affected Part Assessment A review of the path of travel from property boundary, accessible carpark locations and pedestrian connectivity from existing adjacent / linked buildings to be further reviewed and confirmed. Refer linked Section for further details.	Design Intent Capable of Compliance
5.	External Accessways, Pedestrian Paths & Connectivity The review of external paths and landscape drawings shall be further detailed and assessed as the design progresses. Refer linked Section for further details.	To be resolved / confirmed in the next phase
6.	Passenger Setdown & Transport Drop-off Details of passenger setdown areas for vehicles and transport are to be further assessed as the design progresses. Review of access to existing / new transport services (bus/ train) are to be reviewed under DSAPT provisions where applicable. Refer linked Section for further details.	Design Intent Capable of Compliance
7.	Carparking 6 number accessible carparking bays are detailed meeting the minimum ratio (5) A review of the total parking numbers should be reviewed to ensure the number of accessible parking bays meets the entire precinct. Refer linked Section for further details.	Design Intent Capable of Compliance



Item No	Issue / Comment	Status
8.	Entrance Doors, Doors & Door Controls - Refer to Appendix B for doors that have been identified with reduced circulation / distance between successive doors. - Review use of manual fire / smoke doors and operational force - Consider automating doors to enable ease of access. Refer linked Section for further details.	To be resolved / confirmed in the next phase
9.	Lifts, Stairs & Ramps - Lift fitout to be further reviewed in final design. - Stair and ramp details are to be further reviewed as the design progresses. - Confirm if any fire-isolated stair is to be used for general circulation. Refer linked Section for further details.	To be resolved / confirmed in the next phase
10.	Internal Corridors - Refer to the attached mark up for corridors that have been identified with reduced circulation / turning. - Confirm any staff BOH / corridors that could be considered exempt under D4D5. Refer linked Section for further details.	Design Intent Capable of Compliance
11.	Room Layouts / Internal room Circulation - Refer to the Appendix B highlighting areas/rooms that have reduced circulation. - where reduced circulation is provided due to operational requirements and/or provision of alternative accessible rooms, this shall be addressed under Performance Solution. Refer linked Section for further details.	Design Intent Capable of Compliance

1.6 Further Assessment

The assessment of the design documentation has also revealed that the following additional information is required in order to complete the assessment, and/or the following areas need to be further reviewed.

No.	Further Information / Review Required
A.	External Works, Landscape design including gradients, crossfalls and finishes.
B.	Door / Door Hardware Schedule
C.	Stair & Ramp Detailed Design
D.	Tactile Ground Surface Indicator (TGSI) & Nosing Specifications

E.	Internal/External Finishes Schedule including luminance contrast at doorways, TGSIs & Nosing LRV values
F.	Braille & Tactile Statutory Signage
G.	Lift Fitout Details incl. location of controls, etc.
H.	Sanitary Facility Detailed Design – internal elevations, dimensions, Fitout 1:50, fixture schedule
I.	Hearing Augmentation Specification

Documentation to enable a full assessment and demonstrate compliance will be required to address the above items as design develops. These details are to be provided prior to construction certificate approval.



2 Introduction

Akalan Projects Pty Ltd have engaged the services of McKenzie Group Consulting to conduct a review of the project documentation to ensure that functional and compliant accessibility has been applied to the design. McKenzie Group Consulting use expert accessibility knowledge to ensure the project meets the minimum technical provisions of the NCC and considers the objectives of the Disability Discrimination Act (DDA), within the project scope.

2.1 Purpose of Report

This Regulatory Compliance Report – Accessibility has been prepared on behalf of Akalan Projects Pty Ltd in support of a State Significant Development Application (SSDA) submitted to the Department of Planning, Housing and Infrastructure (DPHI) under Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979).

The SSDA seeks approval for the expansion of the St George Private Hospital. Specifically, the SSDA seeks consent for two components: the first being the erection of a health services facility (hospital), and the second relating to upgrades to the main hospital campus, including a new emergency department.

For reporting purposes, the site subject to the new health services facility (hospital) is referred to herein as the 'clinical tower site' and the main hospital campus is referred to as such.

This report provides a compliance overview of the project with respect to meeting the minimum technical provisions of the National Construction Code (NCC) 2022 Volume 1 (Amendment Two) - Building Code of Australia (BCA) & Disability (Access to Premises – Buildings) Standards 2010 (C03) and responds to the Secretary's Environmental Assessment Requirements (SEARs) Item 4 issued by DPHI on 30 June 2025 in relation to the project.

The assessment also considers the objectives of the Disability Discrimination Act (and Disability Standards) (DDA), within the project scope.

The assessment is provided in two parts, the first relates to areas of compliance that are **DAPS / NCC Minimum** Provisions with the second part relating to **Advisory / Best Practice Recommendations** that could be adopted to improve building functionality, accessibility, safety of occupants and consideration to the objectives of the DDA.

2.2 Report Objective

A key objective of the access requirements of the Premises Standards and NCC is to provide, as far as is reasonable, all people with safe, equitable and dignified access to a building and the services and facilities within that building.

A key objective of this report is to provide assessment commentary to assist the design process to provide equitable access to the degree necessary to facilities to suit occupants and visitors with a range of disabilities in an equitable and dignified manner.

2.3 Site Location and Context

The sites are in the Georges River Local Government Area (LGA), within the Kogarah town centre.

The clinical tower site is adjoined to the south by an existing multi-storey health services facility, which forms part of the St George Private Hospital campus. South Street separates this facility from the main hospital campus, though a connecting sky-bridge provides pedestrian access between the buildings.

Further west is the St George Public Hospital, and other surrounding development comprises a mix of commercial premises (typically at ground floor) and medium and high-density residential premises.

On the opposite (eastern) side of Princes Highway is a mix of educational premises including Moorfield Girls High School, James Cook Boys Technology High School, St George High School, and a TAFE NSW campus. Surrounding development on this side of Princes Highway primarily constitutes low density residential premises.

Kogarah Train Station is south-west of the site, approximately 500m away. There is a pedestrian bridge that extends from Hogben Street over the Princes Highway, which provides direct access to the eastern side of the highway.

The sites are approximately 1.7km from Brighton Le Sands Beach, and approximately 3.5km from Sydney Airport. Refer to Figure 1 for a site context map.

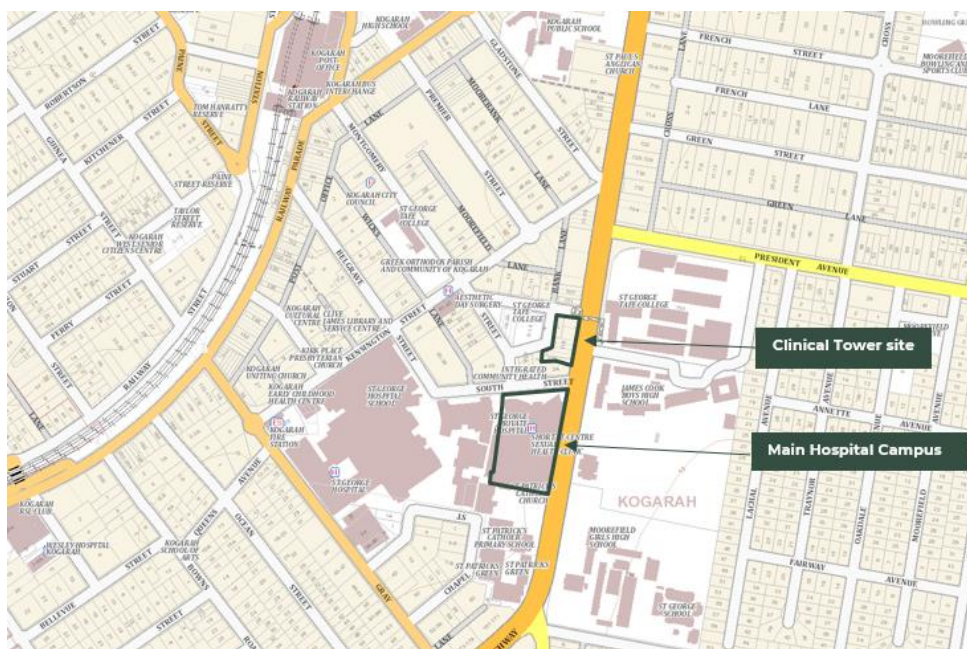


Figure 1. Site Context Map
Source: Six Maps

2.4 Site Description

Clinical Tower Site (Site A)

The proposed new health services facility (hospital) will be located on land that is bound by three road frontages, being Princes Highway to the east (a classified road), Hogben Street to the north, and Bank Lane to the west. This site comprises eight adjoining allotments of land, known as 119 – 129 Princes Highway, Kogarah, and 2 Hogben Street, Kogarah.

The site currently accommodates a hard-stand parking lot, providing approximately 76 car parking spaces and a two-storey commercial premises (subject to separate demolition), which is attached to the existing multi-storey health services facility at 2 South Street, Kogarah.

Refer to Figure 2 for a site aerial excerpt.



Figure 2. Site Aerial Extract

Source: Metro Map, modified by Patch

Main Hospital Campus (Site B)

The existing hospital is located at 1 South Street, Kogarah which is also known as 1A South Street, Kogarah. This site is bound by two road frontages, being South Street to the north and Princes Highway (a classified road) to the east.

The site accommodates the St George Private Hospital's main campus, with vehicular access provided off South Street. Refer to Figure 3 for a site aerial excerpt.



Figure 3. Main Hospital Site Aerial Extract

Source: Metro Map, modified by Patch

2.5 Overview of Proposed Development

The SSDA seeks approval for the expansion of the St George Private Hospital. Specifically, the SSDA seeks consent for two components: the first being the erection of a health services facility (hospital), and the second relating to upgrades to the main hospital campus, including a new emergency department.

In summary, approval for the following is sought for the clinical tower site:

- Site preparation works and bulk earthworks, including tree clearing;
- Construction of a seven (7) storey health services facility (hospital) equating to a total GFA of 9,952sqm;
- Construction of a five (5) level basement carpark including a radiation oncology unit, providing a total of 241 parking spaces;
- Ancillary office, amenities, and loading dock provisions;
- Basement storage and a substation; and
- Landscaping works.

The proposed development is depicted in the figure below, with full architectural details provided within the EIS, of which this report also forms an Appendix.



Figure 4: Proposed Render(Clinical Tower)

In addition, approval for the following is sought for the main hospital campus:

- Construction of an emergency department at the northern end of the existing hospital, to be operated 24 hours a day, seven days a week;
- Alterations to the South Street frontage, including surfacing and landscaping to facilitate ambulance bays and access requirements; and
- Associated internal re-configurations.

The proposed development is depicted in the figure below, with full architectural details provided within the EIS, of which this report also forms an Appendix.

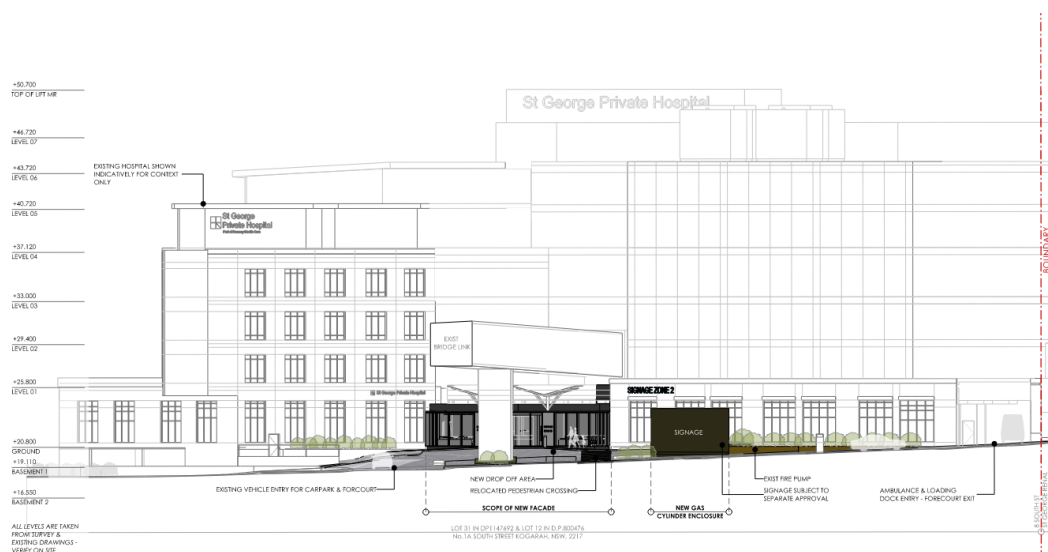


Figure 5: Proposed Render (Existing Main Campus)

2.6 Documentation Reviewed / Referenced

The report has been prepared based on a review of the following documentation:

- Appendix A: Design drawings/ documents listed in.
- Appendix B: Marked-up drawings / documents relevant to this assessment and report.

3 Legislative Requirements

The legislative requirements for this project comprises both Federal and State legislation.

3.1 Federal Legislation

- Disability (Access to Premises – Buildings) Standards 2010 (C03)
- Disability Standards for Education 2005
- Disability Standards for Accessible Public Transport 2002 and referenced standards:

The Disability Discrimination Act (DDA - 1992) is Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional and equitable accessibility. The DDA is a complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equality and dignity of people with disabilities, their companions, family and care givers.

The DDA utilises statutory instruments known as Disability Standards to provide detailed requirements. The Disability Standards are: Disability (Access to Premises – Buildings) Standards 2010 (C03), Disability Standards for Education 2005 and the Disability Standards for Accessible Public Transport 2002. These Disability Standards draw extensively on technical provisions in the AS 1428 series, which details technical requirements related to design for access and mobility.

3.2 Disability (Access to Premises – Buildings) Standards 2010 (C03)

- Disability (Access to Premises – Buildings) Standards 2010 (C03) (DAPS (C03))
 - AS 1428.1-2021 – Design for access and mobility - General requirements for access – New building work

The Disability (Access to Premises – Buildings) Standards 2010 (C03), or DAPS (C03) came into effect on the 29th of July 2025. The updated DAPS endorses the newer design standard AS 1428.1-2021 which has some impacts on the design of this project. The update does not include any transitional provisions, and therefore compliance is required from the date it came into effect. It is noted that the majority of changes are minor in nature and the impact on the project is likely not significant.

3.2.1 DAPS (C03) application and exemptions to existing buildings

Where the project involves the internal works within part of an existing building by the building owner; The DAPS (C03) defines these new works as the new part of the building and requires that the affected parts of a building are also made accessible and compliant to the requirements of AS1428.1 2009 and the Access to Premises Legislation (2010) technical provisions. Affected parts are defined as the principal pedestrian entrance and a continuous path of travel between the primary entrance and the new part. (PS 2010 pg. 5-6). In this case this also includes the condition of the existing lift to travel between levels.

3.3 State Legislation

- National Construction Code (NCC) 2022 Volume One (Amendment Two) - Building Code of Australia (BCA) and referenced Australian Standards:
 - AS 1428.4.1-2009 - Design for access and mobility - Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.

- AS/NZS 2890.6-2009 – Parking Facilities - Off-street parking for people with disabilities.
- AS 1735.12-1999 - Lift facilities for people with disabilities - Facilities for persons with disabilities

The Building Code of Australia adopted key accessibility and DDA legislation into the 2011 version of the BCA, and as been included in all subsequent versions. In particular adherence to the Disability (Access to Premises – Buildings) Standards 2010 (DAPS); AS 1428.1-2009; AS 1428.4.1-2009 and AS/NZS 2890.6-2009 has become mandatory. This means that compliance with the relevant sections of the NCC, ensures compliance with the relevant 'Premises' component of the DDA.

However, compliance with the NCC alone does not necessarily mean compliance with the Disability Discrimination Act if the elements of equality, dignity and functionality remain compromised within an environment. The building owner/occupier should therefore ensure that their policies, practices and procedures promote equality in all employment, education and services provided, within their built environment.

3.4 Referenced Legislation and Standards

The review of the project has been undertaken against the following legislation;

3.4.1 DAPS / NCC Minimum Provisions Compliance Summary

- Disability (Access to Premises – Buildings) Standards 2010 (C03) (DAPS (C03))
 - AS 1428.1-2021 – Design for access and mobility - General requirements for access – New building work
- National Construction Code (NCC) 2022 Volume One (Amendment Two) - Building Code of Australia (BCA) and referenced Australian Standards:
 - AS 1428.4.1-2009 - Design for access and mobility - Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.
 - AS/NZS 2890.6-2009 – Parking Facilities - Off-street parking for people with disabilities.
 - AS 1735.12-1999 - Lift facilities for people with disabilities - Facilities for persons with disabilities

3.4.2 Advisory / Best Practice Guidelines & Standards

- Objectives of the Disability Discrimination Act 1992 (DDA).
- Disability (Access to Premises) Standards Guidelines V2 2013
- AS 1288 -2021 Glass in buildings – Selection and Installation
- AS 1428.2-1992 - Enhanced and additional requirements – Buildings and facilities
- DR AS 1428.6-2025 Design for access and mobility – Fixtures and fittings,
- Disability Standards for Accessible Public Transport 2002 and referenced standards:
 - AS 1428.1-2001 - General Requirements for access – new building work
 - AS 1428.2-1992 - Enhanced and additional requirements – Buildings and facilities
 - AS 1428.4-1992 - Tactile ground surface indicators for the orientation of people with vision impairment
 - Disability Standards for Accessible Public Transport Guidelines 2004
- AS 1735.12-2020 - Lift, escalators and moving walkways. Facilities for people with disabilities.

- AS 2890.5-2020 - Parking facilities: On-street parking
- AS/NZS 2890.6-2022 - Parking facilities: Off-street parking for people with disabilities
- AS 3745-2010 - Planning for emergencies in facilities.



4 Exemptions (NCC Clause D4D5)

Based on the use of some areas within a building, it is reasonable to not provide access to some spaces where it is deemed inappropriate because of the required duties to be carried out in the space or if the area poses as a health or safety risk for people with a disability. These areas include:

- An area where access would be inappropriate because of the particular purpose for which the area is used.
- An area that would pose a health or safety risk for people with a disability.
- Any path of travel providing access only to an area exempted by (a) or (b).

4.1 Application to this Development

- Plant including plenums, service routes, equipment rooms for computers or data (including persons with ambulant aids).
- Pathways used to gain access exempted plant spaces only.
- Cleaner's rooms used only by cleaners.
- Rooms used only by central staff associated with linen, waste and supply.
- Commercial kitchens, cold rooms and / or other production parts of kitchen and servery rooms.



5 Room Designation Strategy

In conjunction with the Performance Based Solution Assessment, McKenzie Group Consulting devised a strategy which designated each room within the new work in terms of a compliance level with regard to accessibility requirements. Categories A, B, C & D designate the spaces within the building based on the intended use of that space.

The four (4) different categories were determined as follows:

	Rooms or spaces that are generally accessed by all occupants, General circulation spaces, public areas, main thoroughfares etc.
	Rooms / spaces where patients / visitors are escorted / directed / assisted by staff as needed.
	Rooms / spaces that are either accessed via staff only or where patients are immobile / fully assisted by staff.
	Exempt areas - under D4D5 / D3.4 of NCC - Store Rooms etc.

Colour coded plans are to be developed by the design team in accordance with the above levels of assessment and provided for information purposes.

	- Complies with the minimum technical specifications of the NCC and referenced standards. - Access is provided to and within all spaces designated. - Full independent access is anticipated by all occupants of the spaces i.e. visitors / patients / staff. - Any DTS departures will be required to be addressed in a Performance-based Design Brief (PBDB) / Performance Based Solution (PBS)
	Controlled areas / Managed Access / Staff assisted spaces. - Patients, visitors, public and staff have independent access to the room/space. - Staff supervised areas, may provide any required assistance to patients, visitors, public and other staff. - Technical departures permitted within these rooms include: - Non-compliant/reduced door circulation on exit of the room/space (staff assistance to be provided as required) - Controls to be located outside of the range of the minimum requirements of AS1428.1. - Any DTS departures will be required to be addressed in a Performance-based Design Brief (PBDB) / Performance Based Solution (PBS)
	- Clinical / operational staff only are required to possess a level of mobility, dexterity and safety that would reasonably exclude staff member with a disability from accessing/working within these areas. - Technical departures permitted within these rooms include: - Controls to be located outside of the range of the minimum requirements of AS1428.1.

	Any DTS departures will be required to be addressed in a Performance-based Design Brief (PBDB) / Performance Based Solution (PBS)
	Exempt areas - under D4D5 / D3.4 of NCC In accordance with D4D5/D3.4 of the NCC, accessibility does not need to be provided to areas that are deemed exempt. D4D5/D3.4 states that the following areas are not required to be accessible: Any areas considered exempt under D4D5 /D3.4 will not be required to comply with the requirements of AS1428.1-2009. Performance Based Solutions will not be required to be provided for these spaces. Client letter supporting the rooms identified as Exempt under D4D5/D3.4 of the NCC will be required.

Further discussion regarding the application of this strategy is required.



6 Performance Solution Assessment

Where compliance cannot be met with current building legislation, these departures are to be addressed via the Performance Based Solution (PBS) Assessment process. This assessment is undertaken in accordance with Clause A2G2 of the NCC and will be unique to each building, combining an understanding of the principles of access with alternative methods to assist the design team, building owners / operators and occupants to achieve an effective solution that meets the performance requirements.

- No performance solution is identified based on this assessment

The feasibility and any additional requirements that will apply as a result of the performance solution will need to be confirmed by the project access consultant preparing the performance solution in addition to final approval by the project Building Surveyor / Certifier. Any performance solution will need to be prepared by a suitably qualified/accredited Access professional.

6.1 Assessment

The National Construction Code (NCC) is a performance-based code containing mandatory performance Requirements for the construction of buildings. A building will comply with the NCC if it satisfies the Performance Requirements.

There is a two-part process for performance solutions as follows:

1. A performance-based design brief that has acceptance in writing by the stakeholders. The brief will be written by McKenzie Group Consulting for circulation and sign-off by the stakeholders
2. The performance solution report to address the departures identified within this report, as outlined in the performance-based design brief

6.2 Performance Design Brief

The Performance Based Design Brief (PBDB) is required to outline the scope, proposed solution, initial communication with stakeholders, documentation of relevant data, proposed acceptance criteria and assessment methods, and stakeholders sign off on the agreed brief.

6.3 Performance Solution Report

Once the performance-based design brief has been accepted by the stakeholders, the performance solution, assessing the project proposal against the Performance Requirements can be prepared. This report will assess whether the proposed solution meets the acceptance criteria outlined in the brief, and therefore the relevant Performance Requirements of the NCC.

7 Assessment

The following assessment of each component of the building is divided into two (2) sections: DAPS/NCC Minimum Provisions & Advisory/Best Practice Recommendations.

- **DAPS / NCC Minimum Provisions** refers to meeting the minimum mandatory compliance of the NCC and the Disability (Access to Premises – Buildings) Standard (DAPS) component of the DDA.
- **Advisory / Best Practice Recommendations** refers to advisory information aimed at improving the accessibility design outside DAPS / NCC parameters, giving more consideration to the principles in the Disability (Access to Premises – Buildings) Standards. These recommendations aim to provide a greater level of access for people with disability within the environment. These recommendations propose to enhance the design, in conjunction with the owner/occupier's policies, practices and procedures increasing access for people with disability and meeting the objectives of the DDA.

The advice is set out as follows:

Accessibility Requirement:	Details the specification required by a specific Act, code or standard	
Assessment Commentary:	describes current design, highlights the action to be undertaken to achieve compliance, outlines the additional detail/documentation required to further assessment	
Assessment	Identifies the current status of the design documentation as either:	
	Advisory / Note for Consideration	Additional information relevant to function of space for people with disability
	Complies in design	Design Intent capable of compliance; Documentation / drawings indicate compliance is achieved
	Further information required	Insufficient information available to complete review
	Not applicable item	Is not applicable within current design
	Note for Construction	If built as detailed, is capable of meeting benchmark/standard
	Note for future design	Drawings to be developed for further assessment
	Performance Based Solution Assessment	Identified departure not meeting DtS of the NCC
	To be resolved	To be resolved and / or confirmed in the next phase of design; Item requires modification to meet benchmark/Standard.



7.1 General Building Access Requirements

Buildings and parts of buildings must be accessible in accordance with Clause D4D2 of the NCC.

A continuous accessible path of travel is to be provided as follows:

Accessibility Requirement	Assessment Commentary	Status
DAPS/NCC Minimum Provisions		
Class 5 – Office/Administration ; To and within all areas normally used by the occupants	Access is generally provided throughout all areas.	
Class 7a – Car parking To and within any level containing accessible car parking spaces	Access is generally provided throughout all areas.	
Class 9a – Health Care building To and within all areas normally used by the occupants	Access is generally provided throughout all areas.	

Assessment Commentary / Status

The proposed design demonstrated that access is generally provided throughout all areas.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Refer to Appendix B for any identified access issues/commentary.

7.2 External approaches, walkways and kerbs (D424, D4D3, D4D4, D4D9 & AS1428.1)

The NCC prescribes access to be provided to and within the building as follows:

- Via the principle pedestrian entry and at least 50% of all other entrances from the allotment boundary
- From designated car parking spaces for the use of occupants with a disability.
- From another accessible building connected by a pedestrian link.
- All areas used by the occupants.

In buildings over 500m² in floor area, a non-accessible entrance must not be located more than 50m from an accessible entrance.



Assessment Commentary / Status

DAPS/NCC Minimum Provisions

The proposed design demonstrated that compliance is capable of being achieved, with the exception of the medical imaging area within Site A Ground Floor, as it is accessible by stair only.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Refer to Appendix B for any identified access issues/commentary.

5.	•		
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7.3 Car Parking & Passenger Set-down Areas (NCC D4D6, AS1428.1, AS/NZ 2890.6)

In accordance with Table D4D6 of the NCC, accessible carparking is required to be provided as follows.

- Class 5, 7, 8 or 9c part - 1 space per 100
- Class 9a, Hospital
 - Non-outpatient - 1 space / 100 spaces
 - Outpatient - 1 space / 50 spaces
 - Clinic or day surgery - 1 space / 50 spaces

Accessible car parking spaces are to be designed to comply with AS 2890.6-2009.

A 'shared zone' of minimum 5400mm x 2400mm is required adjacent to accessible car parking spaces, protected with a bollard.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Accessible car parking spaces are required to comply with AS 2890.6-2009 at the rate of 1 per 50 spaces.

Based on provision of 241 carparking spaces within Site A, minimum 5 accessible carparking space is required. 6 accessible carparking spaces have been nominated.



Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Provision of Accessible EV Charging bays should be provided at the rate of 1/50. Design of the accessible EV charging bay should allow for space to park, exit the vehicle, access charging hardware/ infrastructure and access to inlet which may be on opposite side to the bay.
- Refer RAA Design Guidelines for Accessible EV Charging Stations (August 2023): <https://www.raa.com.au/about-raa/advocacy/advocating-change#ev-charging-accessibility-guidelines>
- Passenger Setdown Areas should include an accessible setdown bay in accordance with the guidelines documented under AS2890.2020 requiring a space of 7800mm Length x 3200mm Wide.

7.4 Entrances/Doors (D4D2, D4D3, D3D13 & AS1428.1)

A door is considered to be accessible if it is automatic (open and closing) or is more than 850mm in clear opening width and contains the required door circulation space as per Clause 10.3 (previously Clause 13.3 of AS1428.1-2009).

Where a pedestrian entry contains multiple doors, the following is required;

- Entrance containing not more than 3 doors, at least one of the doorways must be accessible.
- 1. • Where an entrance contains more than 3 doors, not less than 50% of the doorways must be accessible.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

The proposed design is generally capable of achieving compliance.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

2. Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Automated sliding doors are preferred for entrance doors to enable ease of access for all occupants.

7.5 Lifts (D4D2, , E3D6, E3D8, AS1428.1 & AS1735.12)

Lifts compliant to NCC E3D7, E3D8, and E3D9 (previously E3.6, E3.7) must be provided, where required to be provided, with a minimum size of 1400 x 1600mm or 1100mm x 1400mm (whichever is appropriate) in size – with appropriate handrails and auditory commands.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Through lifts are preferred to enable ease of access.
- Consider the use of luminance contrast to internal lift car fittings: skirting, handrail
- Minimise use of reflective surfaces within lift landings and lift car

7.6 Stairs (D4D2, D4D3, D4D4, D4D9 & AS1428.1)

Stairs shall be constructed as follows:

- a) Where the intersection is at the property boundary, the stair shall be set back by a minimum of 900mm so that the handrail and TGSIs do not protrude into the transverse path of travel.
- b) Where the intersection is at an internal corridor, the stair shall be set back one tread width plus 300mm (nominally 700mm as per Figure 26(b)) of AS 1428.1 so the handrails do not protrude into transverse path of travel.
- c) Stairs shall have opaque risers.
- d) Stair nosing shall not project beyond the face of the riser and the riser may be vertical or have a splay backwards up to a maximum 25mm.
- e) Stair nosing profiles shall;
 - Have a sharp intersection;

- Be rounded up to 5mm radius; or
 - Be chamfered up to 5mm x 5mm
- f) All stairs, including fire isolated stairs shall, at the nosing of each tread have a strip not less than 50mm and not more than 75mm deep across the full width of the path of travel. The strip may be set back a maximum of 15mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall not exceed a difference of 5mm.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Design team to identify any fire-isolated stair proposed for general circulation.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Stair goings and risers are recommended to meet AS1428.2 (Figure 8) specifying goings 275mm – 300mm; risers: 150mm to 185mm
- Consider the use of luminance contrast to stair handrails to the wall / background the fitting is viewed against.
- Use of tactile dome buttons located 150mm from the ends of the handrails provide the additional tactile awareness of the termination of the flight.

7.7 Ramps (D4D2, D4D3,D4D4,D4D9 , D4D12 & AS1428.1)

On an accessway a series of connected ramps must not have a combined vertical rise of more than 3.6m and a landing for a step ramp must not overlap a landing for another step ramp or ramp.

All general circulation ramps are to be designed to comply with AS1428.1 i.e. clear width not less than 1m, handrails both sides, TGSIs compliant landing sizes, gradient and kerb rails.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions



Ramps are proposed in the Back of House areas at Ground floor level and Level 1 link bridge to existing building. Further details of the ramp to be provided for review as design develops.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Allow for construction tolerance – detail ramps at not steeper than 1:15 grade, walkways not steeper than 1:21 and minimum length landings at 1300mm / 1600mm.
- Walkways of 1:21 are preferred to mitigate need for tactiles and additional access features.
- Provision of handrails along walkways are recommended to provide functional support.
- Consider the use of luminance contrast to handrails to the wall / background the fitting is viewed against.
- Use of tactile dome buttons located 150mm from the ends of the handrails provide the additional tactile awareness of the termination of the ramp/ journey.

7.8 TGSIs and hazard identification (NCC D4D9, D4D13, AS1428.1 & AS1428.4.1)

Tactile indicators are required to be provided to warn occupants of all stairs (except Fire Isolated stairs) and ramps regardless of public nature or private environment and where an overhead obstruction occurs less than 2.0m above the finished floor level.

Tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching –

1.
 - (i) a stairway, other than a fire-isolated stairway; and
 - (ii) an escalator; and
 - (iii) a passenger conveyor or moving walk; and
 - (iv) a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp;
 - (v) in the absence of a suitable barrier-
 - (A) an overhead obstruction less than 2 m above floor level, other than a doorway; and

- (B) an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D4D5 (Previously D3.4), if there is no kerb or kerb ramp at that point, except for areas exempted by D4D5 (Previously D3.4).

Tactile ground surface indicators must comply with Sections 1 & 2 of AS/NZS 1428.4.1

Any glazing capable of being mistaken for a doorway or opening must be clearly marked (or contain chair rail, hand rail or transom as per AS 1288 requirements)

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Directional TGSIs may be required to enhance wayfinding. Design and setout shall meet AS1428.4.1 -2009.

7.9 Internal Accessways/Circulation (NCC D4D2, D4D3, D4D4 & AS1428.1)

Accessways must have passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available. They should also have turning spaces complying with AS 1428.1 within 2m of the end of accessways where it is not possible to continue travelling along the accessway and at maximum 20m intervals along the accessway.

An intersection of accessways satisfies the spatial requirements for a passing and turning space and a passing space may serve as a turning space.

Obstacles including seating, signage, furniture shall be setback / recessed from the required minimum accessible path of travel.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- As per AS1428.2, a clear width of 1800mm allows two wheelchairs to safely pass.
- In open plan areas where large numbers of people are present consideration should be given to defining walkways with different floor finishes to promote natural people flow through the space.
- Slip resistance surfaces are necessary to prevent a person slipping, or their mobility aid losing traction.
- Obstacles including seating, signage, furniture abutting the accessible path of travel should possess a luminance contrast from the background / floor to readily identify the hazard. A minimum of 30% luminance contrast should be achieved.

7.10 Sanitary Facilities (NCC D4D2, D4D3, F4D5, F4D6, F4D12 & AS1428.1)

Unisex Accessible Sanitary Facilities

An accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only and provided in accordance with AS 1428.1 and must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary products and as per following.

Ambulant Facilities

At each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females.

Where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations.

An accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not provided with a passenger lift or ramp complying with AS 1428.1.

Accessible unisex showers

Accessible unisex showers must be provided in accordance with AS 1428.1 and at the following rates;

Building	Minimum accessible unisex showers to be provided
Bed & Breakfast, holiday house, hostel, Boarding house	a) Not less than 1; and b) Where private accessible unisex showers are provided for every accessible bedroom, common accessible unisex showers need not be provided.
Residential apartments	Where showers are provided in common areas, not less than 1
Hotels and Class 9c aged care building	a) In every accessible sole – occupancy unit provided with showers within the accessible sole-occupancy unit, not less than 1; and b) 1 for every 10 showers or part thereof provided in common areas
Theatres, sporting venues or gyms	1 for every 10 showers or part thereof provided

Assessment Commentary / Status

Sanitary facilities are detailed throughout the building as follows:

- Unisex Accessible sanitary facilities
 - Ground floor – LH
 - - Level 1 – LH
 - - Level 1 – RH
 - - Level 2 – RH
 - - Level 3 – 5 - LH
- Ambulant Cubicles
 - Ground – 1 male and 1 female
 - Mezzanine Level - 1 male and 1 female
 - Level 1 - 1 male and 1 female
 - Level 2 - 6 – None
- Gender Toilets
 - Ground – 1 male and 1 female



- Mezzanine Level - 1 male and 1 female
- Level 1 - 1 male and 1 female
- Level 02 – 2 male and 2 female
- Level 2 – 5 – None
- Level 6 – 1 male and 1 female

DAPS/NCC Minimum Provisions

Site A

Sanitary facilities which are required to be accessible currently do not comply with AS1428.1. The rooms are to be provided with an unobstructed exclusion area where the clear space must be no less than 1900mm wide and 2300 long. Compliance is not achieved on all levels.

Site B

Sanitary facilities have been nominated, including accessible sanitary facility. Further details to be provided for review as design develops.

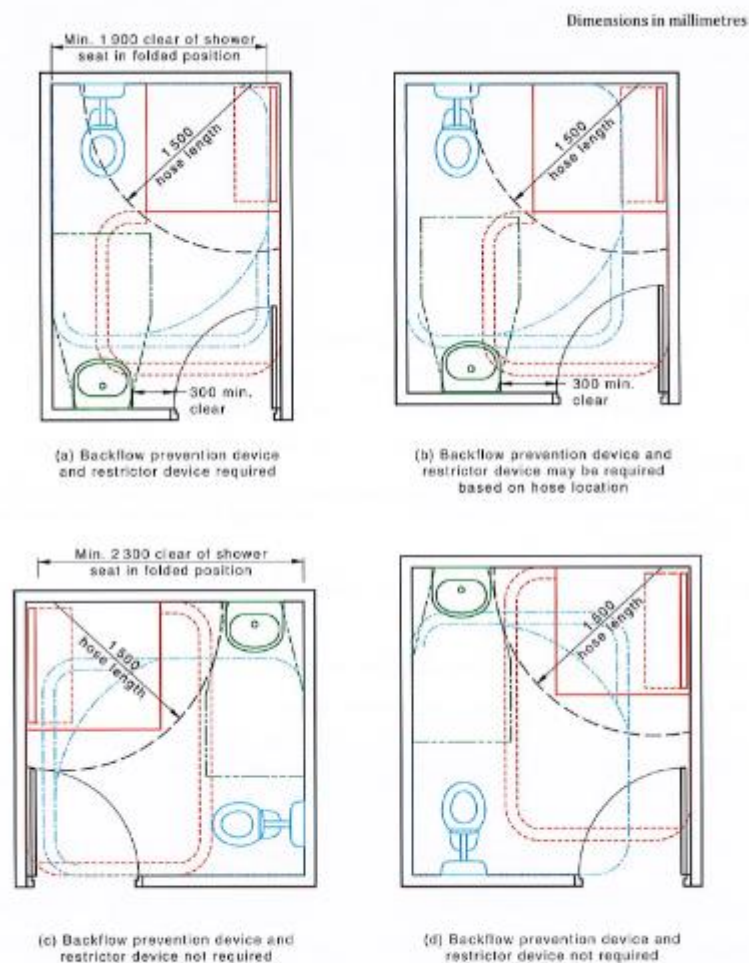
Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- The provision of All Gender Toilets should be considered to ensure that all occupants/ users of a building, including LGTQI community can access a sanitary space and are not stigmatised or excluded in any way.
-



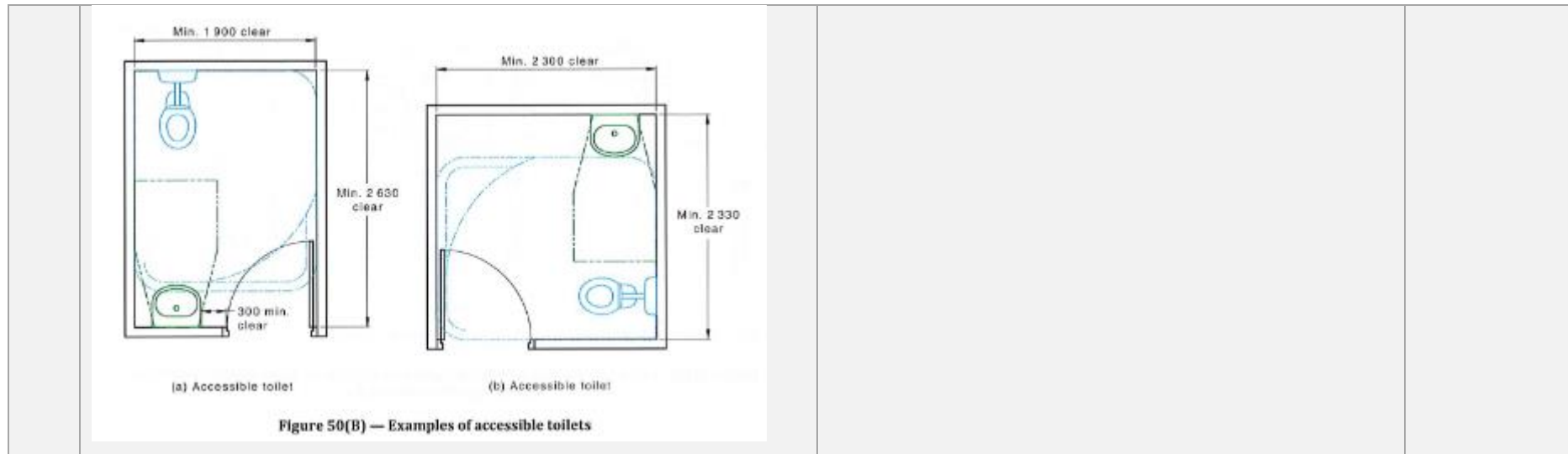
3.



NOTE A backflow prevention device may be required if the hose is longer than 1 500 mm.

Figure 50(A) — Examples of accessible bathrooms





7.11 Signage (NCC D4D7, Specification 15 & AS1428.1)

As part of the detailed design package, specifications will need to be developed indicating:

- Sanitary Facility Identification Signs (note that they are to comply with NCC Specification 15 and include the use of Braille, Tactile, etc and be placed on the wall on the latch side of the facility);
- Directional / Way Finding signs to the Lifts, Sanitary Facilities, Accessible Adult Change Facilities etc;
- Hearing Augmentation System;
- Identify each door required by NCC Clause E4D5 to be provided with an exit sign, stating 'EXIT' and 'Level' number
- Braille and tactile signs must be illuminated to ensure luminance contrast requirements are met at all times during which the sign is required to be read.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Accessible way finding should highlight the pathway from entrance to reception to lifts/stairs, amenities and to key components of the facility.

7.12 Hearing Augmentation (NCC D4D8)

The provision of an assistive listening system within a building / space allows occupants equitable access to information. Hearing systems transmit audio directly to a user via hearing aids or cochlear implants, minimising background noise.

A hearing augmentation system shall be installed throughout the building in accordance with the requirements of Clause D4D8 (previously D3.7) of the NCC, where ever in a 9b building, auditorium conference room, meeting room etc. contain a PA system not used for emergency purposed or any ticket office or teller's booth or reception where the public is screened from the service provider.

1.
There are two main types of systems include:

-
- Hearing Loop: installed within the infrastructure provide a discrete, effective system requiring activation of the T Switch or telecoil on a hearing aid or cochlear implant to
- Infrared / FM system : require use of receivers and use of neck loops / headsets to connect to the information. This system requires regular cleaning, testing and maintenance.

2. Assessment Commentary / Status

• DAPS/NCC Minimum Provisions

Hearing Augmentation may be required in the following locations if inbuilt amplification is provided:

- Screened counter / reception

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

3.



Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for equitable access to information for all:

- Where portable amplification systems are provided, consideration shall be given to providing associated hearing assistance system
- Use of hearing loops is preferred over receiver type systems to minimise requirement for occupants to use neck loop / head sets to provide a more dignified, discrete access to information.
- Consider use of hearing augmentation to all counters and / or service desks that are not screened and where the environment cannot control noise.

7.13 Site Specific Items (NCC D4D2, D4D10, AS1428.1)

7.13.1 Room Layouts / Circulation

NCC Clause D4D2 states for a Class 9a building, access shall be provided to and within all areas normally used by the occupants.

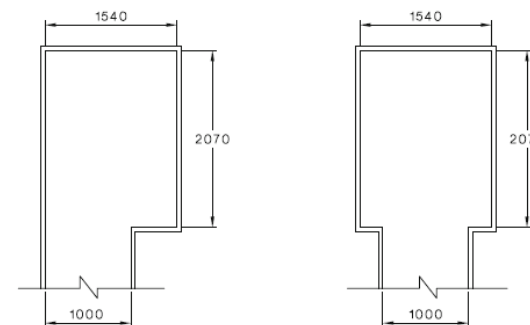
As defined by the NCC:

“Accessway” means a continuous accessible path of travel (as defined by AS 1428.1) to, into or within a building.

As defined by the NCC & AS1428.1:

“Accessible” has features to enable use by people with a disability.

Clause 3.5.4 (previously Clause 6.5.3 of AS1428.1-2009) The space required for a wheelchair to make a >90° to 180° turn shall be not less than 2070mm in the direction of travel and not less than 1540mm wide.



Clause 10.3 (previously Clause 13.3 of AS1428.1-2009) Circulation spaces shall be provided at every doorway, gate, or similar entry way, on a continuous accessible path of travel.

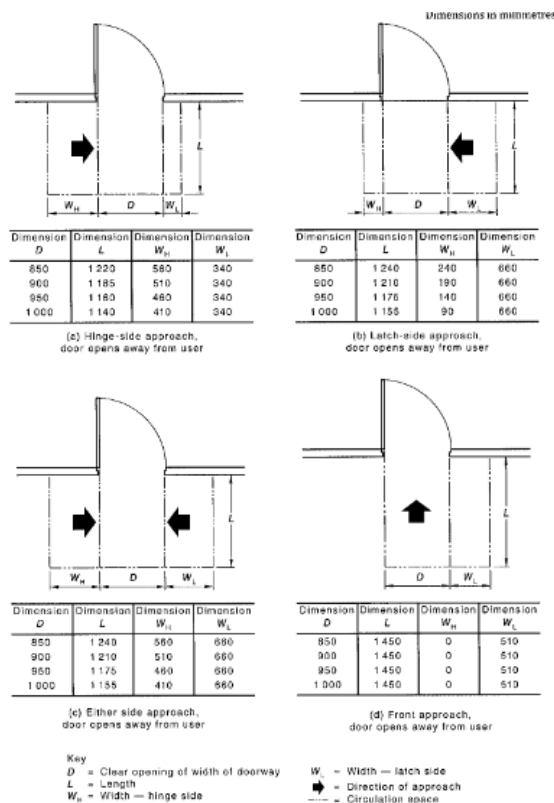


Figure 31 — Circulation spaces at doorways with swinging doors

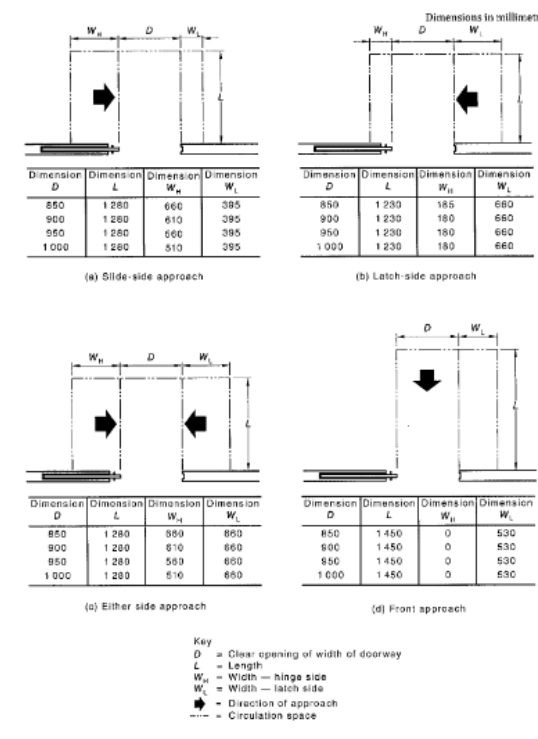


Figure 32 — Circulation spaces at doorways with sliding doors

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

An accessible building requires accessible rooms / spaces (excluding exempt spaces) to provide adequate door and room circulation in accordance with the above provisions. On that basis, the design shall demonstrate adequate door circulation and 180 degree turning space to and within each room to enable occupants to enter a room, make a 180 degree turn and exit the space.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- McKenzie Group recommends the Design incorporates appropriate access to and within the space to allow equitable access to facilities and amenities of the space provided.

7.13.2 Selection of Finishes

The selection of finishes should consider the following guidelines to adequately cater for occupants with disabilities.

- Verification of Luminance of contrast to mandatory finishes: doorways, tactiles and stair nosings.
- Surfaces that provide reduced glare / non-reflective surfaces
- Ensure furniture, fixtures, bollards, bike racks, rest seating and bins possess a minimum 30% luminance contrast to the surroundings / background the element is viewed against.
- Floor, wall, door, ceiling and furniture/fixture finishes can assist people with sensory impairments by providing visual clues and ensuring that sounds can be easily distinguished in an environment that minimises acoustic reverberation.
- Good colour and luminance contrast between elements can assist with distinguishing the boundaries of floor, walls, ceilings and furniture and fixtures and assists in orientation and spatial awareness.
- Floor finishes shall be such that they do not restrict movement of wheelchairs or people with ambulant disabilities.
- Slip resistance surfaces are necessary to prevent a person slipping, or their mobility aid losing traction.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- McKenzie Group recommends the Design incorporates accessible joinery within each accessible room / space to cater for a person with a disability.

McKenzie Group recommends the Design incorporates the following as a minimum:

- provision of a minimum 30% luminance contrast is achieved between the following elements:
 - Walls and doors
 - Wall and floor finishes i.e. skirting boards as a minimum.



- Counters and benches and the background to which it is viewed.
- Handrails and grabrails to the surrounding surface/background
- Wayfinding Signage to the background to which it is viewed.

7.14 Controls, Switches & GPO's (NCC D4D2 & AS1428.1)

All switches and GPO's are to comply with Clause 14.1 of AS1428.1-2009:

- All switches and controls to be located between 900-1100mm AFFL and
- >500mm from an internal corner as per Figure 37 of AS 1428.1-2009

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Applicable within all accessible sanitary facilities and within Accessible SOUs.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

[Advisory/Best Practice Recommendations](#)

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Consider the provision of a minimum of 1x large format GPO in an accessible location within each common space

7.14.1 Landscaping

The public realm offers significant opportunities to enhance the existing scheme. There will be minimum NCC requirements in terms of access paths, gradient, stairs etc., however, many aspects of good design in external spaces, fall outside these minimum requirements.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

Landscaping design where outside of the building / premises is not prescribed under the minimum technical provisions of the NCC.

The provision of Landscaping access features is not prescribed under the minimum technical provisions of the NCC.

[Advisory/Best Practice Recommendations](#)

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- McKenzie Group shall review the Landscaping design as the design progresses, assessed against the below best practice principles:
 - Provision of rest seating opportunities along walkways, stair landings etc.
 - Lighting designs that minimise glare.
 - Luminance contrast of features such as; steps, seats, bollards, bins etc. (minimum of 30%)
 - Landscape planting can offer tactile and olfactory clues to the environment to enhance different areas.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

7.14.2 Wayfinding Signage

Accessible way finding should highlight the pathway from entrance to reception to lifts/stairs, amenities and to key components of the facility.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

The provision of Wayfinding Signage is not prescribed under the minimum technical provisions of the NCC.

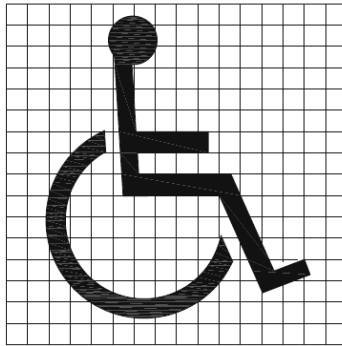
Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- McKenzie Group shall review the Wayfinding Package as the design progresses, assessed against the following best practice principles:
 - Provide a minimum of 30% luminance contrast between the wall / signs and the text itself as per D4D7.
 - Adequate lighting to be provided at signage locations, noting that AS 1428.2 1992 seeks for minimum level of illumination to be 150 lx;
 - Generally, AS 1428.2 seeks for signage to be located within 1400mm - 1600mm, with the exception that in spaces where pedestrian crowding is likely to be experienced a minimum height of 2000mm is proposed.
 - Consideration should be had as to suitability of text size.
 - Consistent use of the international symbol of access and international symbol for deafness (white figure on blue background)

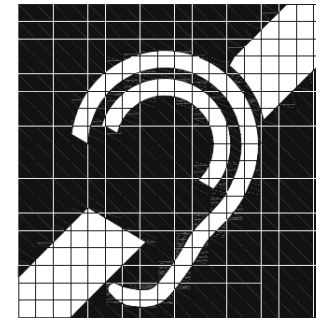
Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance / best practice principles.





NOTE: The grid is for positional purposes only.

FIGURE 10 PROPORTIONAL LAYOUT FOR INTERNATIONAL SYMBOL OF ACCESS



NOTE: The grid is for positional purposes only.

FIGURE 12 PROPORTIONAL LAYOUT FOR INTERNATIONAL SYMBOL FOR DEAFNESS

7.14.3 Accessible Joinery

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

The provision of accessible joinery for occupants with a disability is not prescribed under the minimum technical provisions of the NCC.

[Advisory/Best Practice Recommendations](#)

The following guidelines are provided to assist the Design Team to incorporate accessible joinery options to cater for occupants with a disability:

- Provision of internal and external rest seating incorporating a range of heights, inclusive of backrests and armrests in line with AS1428.2
- Provision of accessible counters in line with AS1428.2
- Provision of accessible teapoints to cater for patients, public and staff use in line with AS1428.2
- Workstations, desks and monitors at accessible heights with consideration to reach range to fittings and controls
- Televisions and displays at an accessible viewing range (between 1227-1709mm above FFL)

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.



7.14.4 Accessible Ward Rooms & Ensuities (D4D2, AS1428.1, AS1428.2 & AS1428.6)

The following guidelines are provided to assist the Design Team to accommodate a patient with disability:

- Provision of adequate circulation within the ward room and around the bed in accordance with best practice guidelines AS1428.1 , AS1428.2 & AS1428.6. Provision of an accessible toilet and shower facility in accordance with Section 12 (previously Clause 15 of AS1428.1-2009) specifications
- Provision of a mix of LH and RH facility layouts to suit required handling.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

A Class 9a Hospital Building does not require the provision of accessible ward rooms / ensuities.

As a minimum, door circulation and room circulation as per 6.14.1 is to be demonstrated.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- McKenzie Group recommends the Design incorporates a minimum of 1 x Accessible Ward Room / Ensuite within each department to cater for a person with a disability.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.

7.14.5 Emergency Evacuation

Australian building legislation does not currently mandate an inclusive approach to the safe evacuation of buildings. This poses a significant risk for the portion of the population with a form of impairment that would limit their means of travel, as the current option for emergency evacuation of a multi-level building is via stairs.

The emergency evacuation strategy for the development should address the operational solution of evacuating occupants that cannot use fire stairs. The current best practice is detailed in the 'AS 3745 - 2010 Planning for emergencies in facilities' and should be used as a guideline.

1. It is the operators/employer's responsibility to ensure that all occupants/employees are aware of the evacuation procedures in the building/workplace and are appropriately trained where required to assist with evacuation in an emergency situation.

Assessment Commentary / Status

DAPS/NCC Minimum Provisions

The provision of Evacuation for occupants with a disability is not prescribed under the minimum technical provisions of the NCC.

Advisory/Best Practice Recommendations

In addition to the requirements outlined in legislation and the NCC, the following are some design considerations for providing safe and equitable access for all:

- Design to consider best practice guidelines: *AS3745-2010 Planning for emergencies in facilities*.
- Consider implementation of an emergency evacuation plan for people with disabilities.
- McKenzie Group shall review the emergency evacuation for people with disabilities as the design progresses, assessed against the above best practice principles.

Progressive design assessments will be undertaken as the design develops to identify any shortfalls in compliance.



8 Assessment Summary

As members of the Access Consultants Association (ACA), we have completed our assessment of the project milestone documentation with the current building assessment provisions, including (but not limited to) the following:

- Disability (Access to Premises – Buildings) Standards 2010 (C03) (DAPS (C03))
 - AS 1428.1-2021 – Design for access and mobility - General requirements for access – New building work
- National Construction Code (NCC) 2022 Volume One (Amendment Two) - Building Code of Australia (BCA)/ and referenced Australian Standards:
 - AS 1428.4.1-2009 - Design for access and mobility - Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.
 - AS/NZS 2890.6-2009 – Parking Facilities - Off-street parking for people with disabilities.
 - AS 1735.12-1999 - Lift facilities for people with disabilities - Facilities for persons with disabilities

Contained within this report is a summary of the Accessibility requirements applicable to the project and strategies adopted.

Subject to addressing the actions identified, McKenzie Group Consulting confirm that the project documentation provides appropriate accessibility that meets the minimum technical provisions of the National Construction Code (NCC) 2022 Volume 1 (Amendment Two) - Building Code of Australia (BCA) & Disability (Access to Premises – Buildings) Standards 2010 (C03).

To enable the project to adequately address the objectives of the Disability Discrimination Act (DDA), both the actions identified and the recommendations outlined should be included in the design. Our assessment of the project as outlined in the report considers the project capable of meeting the objectives of the DDA, conditional on the actions and recommendations being incorporated.

Appendix A – Document List

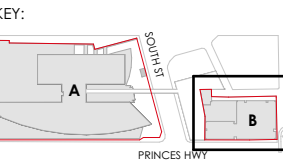
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Project Number/Ref:	22505	
Drawing No. / Revision		Prepared By
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DA-0003[G]		Fitzpatrick + Partners
DA-1301[G]		Fitzpatrick + Partners
DA-1302[G]		Fitzpatrick + Partners
DA-1303[G]		Fitzpatrick + Partners
DA-1304[G]		Fitzpatrick + Partners
DA-1305[G]		Fitzpatrick + Partners
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DA-2502[G]		Fitzpatrick + Partners
DA-2601[G]		Fitzpatrick + Partners
DA-2602[G]		Fitzpatrick + Partners



Appendix B – Drawing Markups



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 - SITE BOUNDARY LINE
 - DEMOLITION SCOPE
 - DASHED OUTLINE INDICATES EXTENT OF NEW DDA-COMPLIANT WORKS
 - EXISTING WALLS AND STRUCTURE
 - NEW WALLS AND STRUCTURE

PROJECT
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Site B: 119-129 Princes Hwy & 2 Hogben St, Kogarah NSW 2217
Located on Bidjigal Country
PHASE DESIGN DEVELOPMENT - SSDA

PROJECT MANAGER



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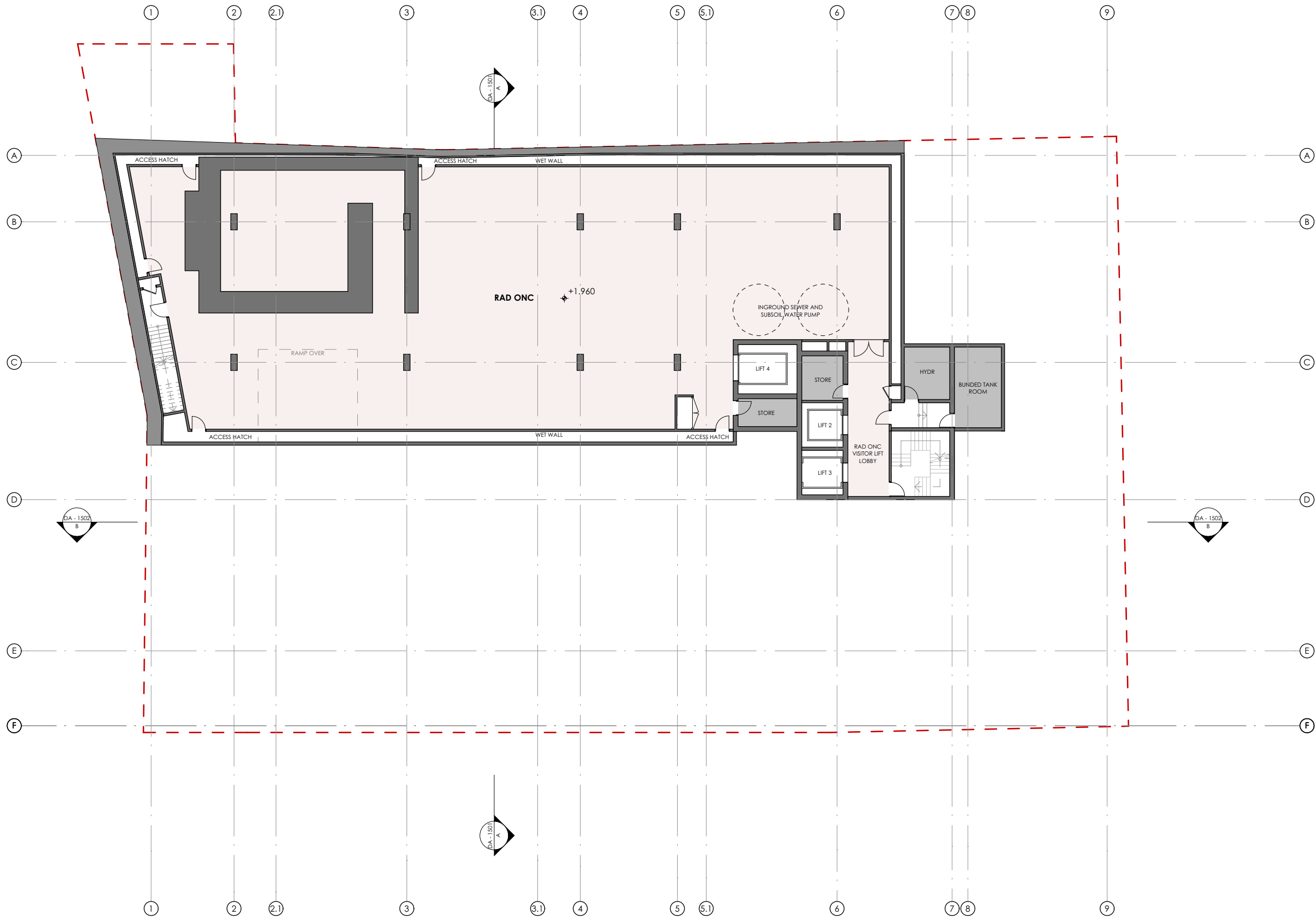
PROJECT NORTH
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DRAWING
GENERAL ARRANGEMENT PLAN: SITE B - BANK LN
BASEMENT LEVEL 5 FLOOR PLAN - LOWER DECK

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The site map shows the proposed development (B) located at the intersection of South St and Princes Hwy. The development area is outlined in red, and the surrounding area is outlined in black. The map also shows the location of the existing building (A) and the proposed development (B) relative to the surrounding streets.

REFER TO OTHER DRAWINGS OR OUT OF SCOPE

--- SITE BOUNDARY LINE

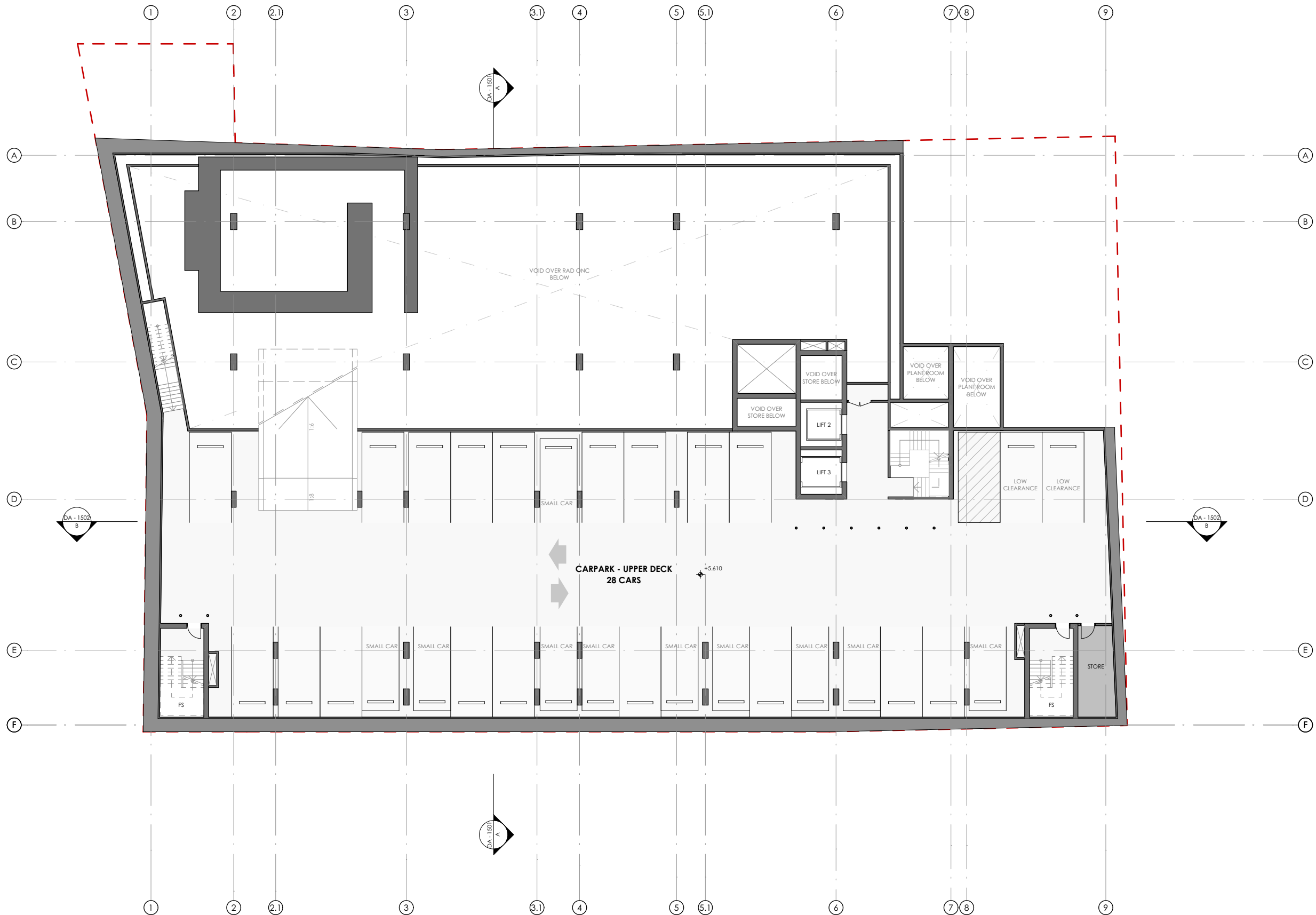
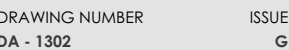
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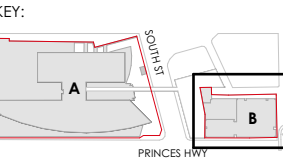
EXISTING WALLS AND STRUCTURE

NEW WALLS AND STRUCTURE

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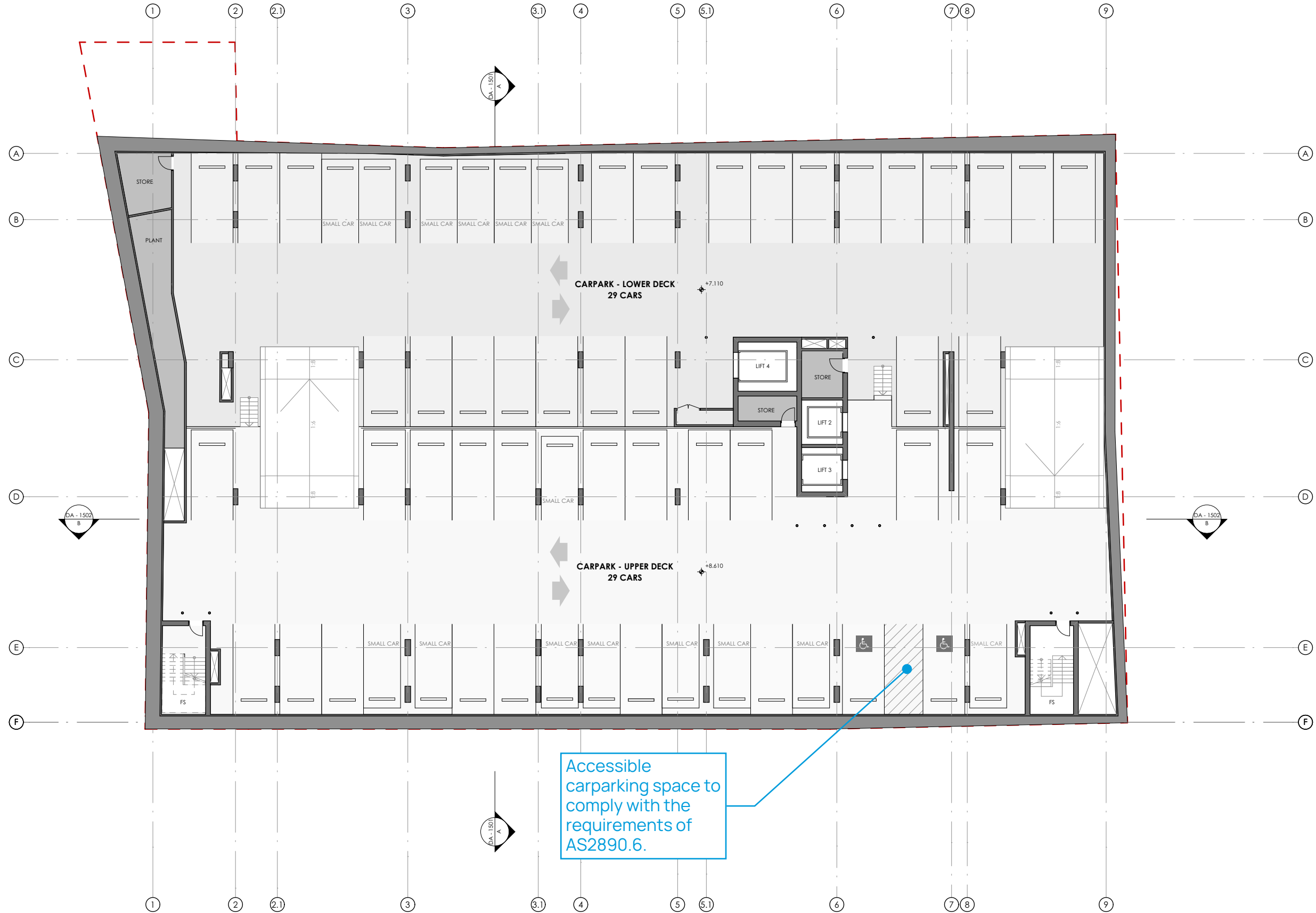
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PROJECT
St George Private Hospital Expansion
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Located on Bidjigal Country
PHASE DESIGN DEVELOPMENT - SSDA
PROJECT MANAGER



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PROJECT NORTH
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BASEMENT LEVEL 4 FLOOR PLAN

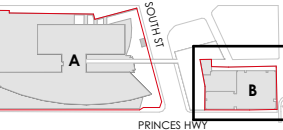
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KEY:



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PROJECT

St George Private Hospital Expansion

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Site B: 119-129 Princes Hwy & 2 Hogben St,
Kogarah NSW 2217

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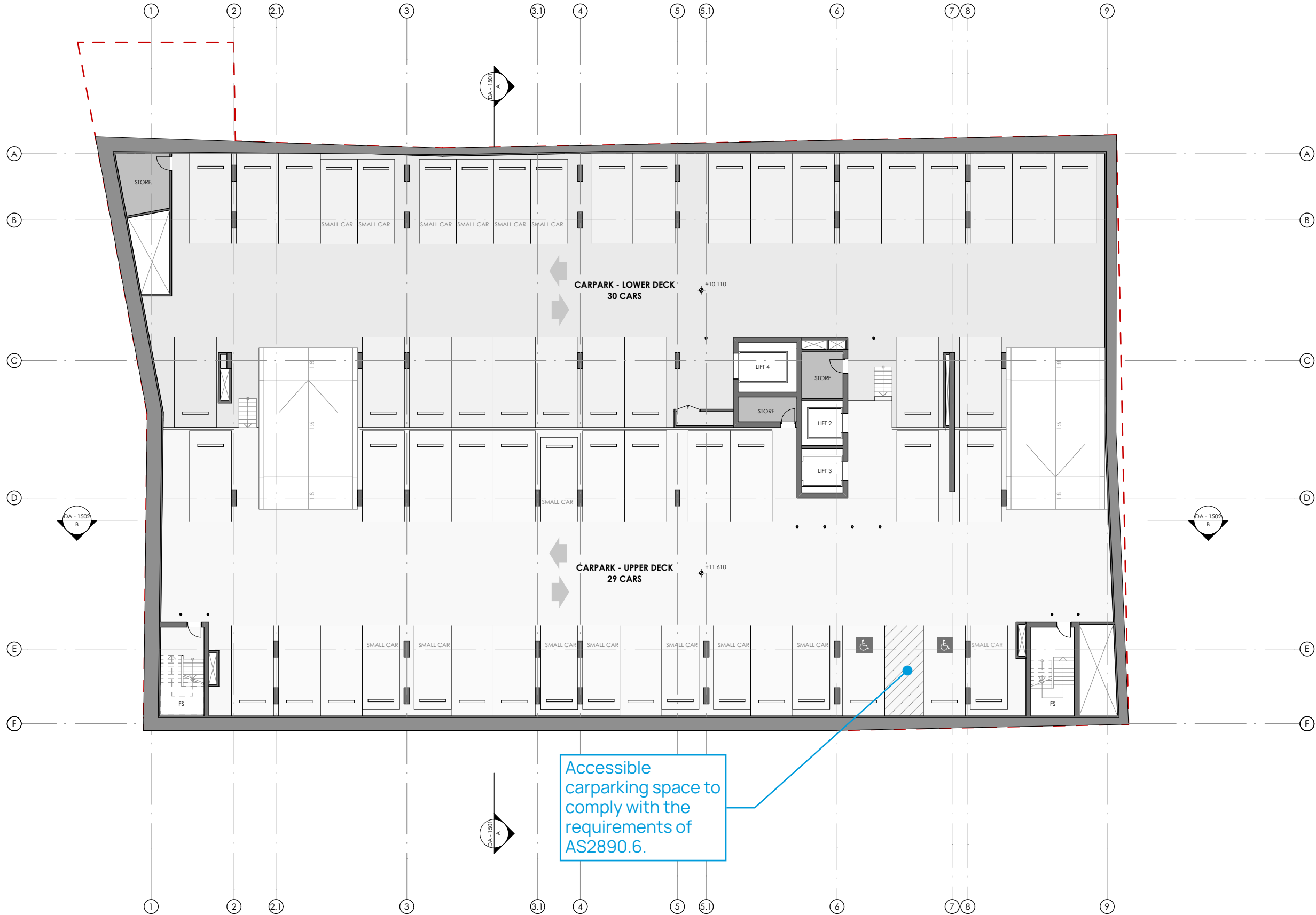
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BASEMENT LEVEL 2/3 FLOOR PLAN -
TYPICAL BASEMENT

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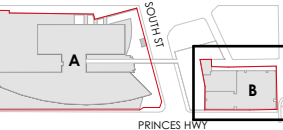
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Located on Bidjigal Country

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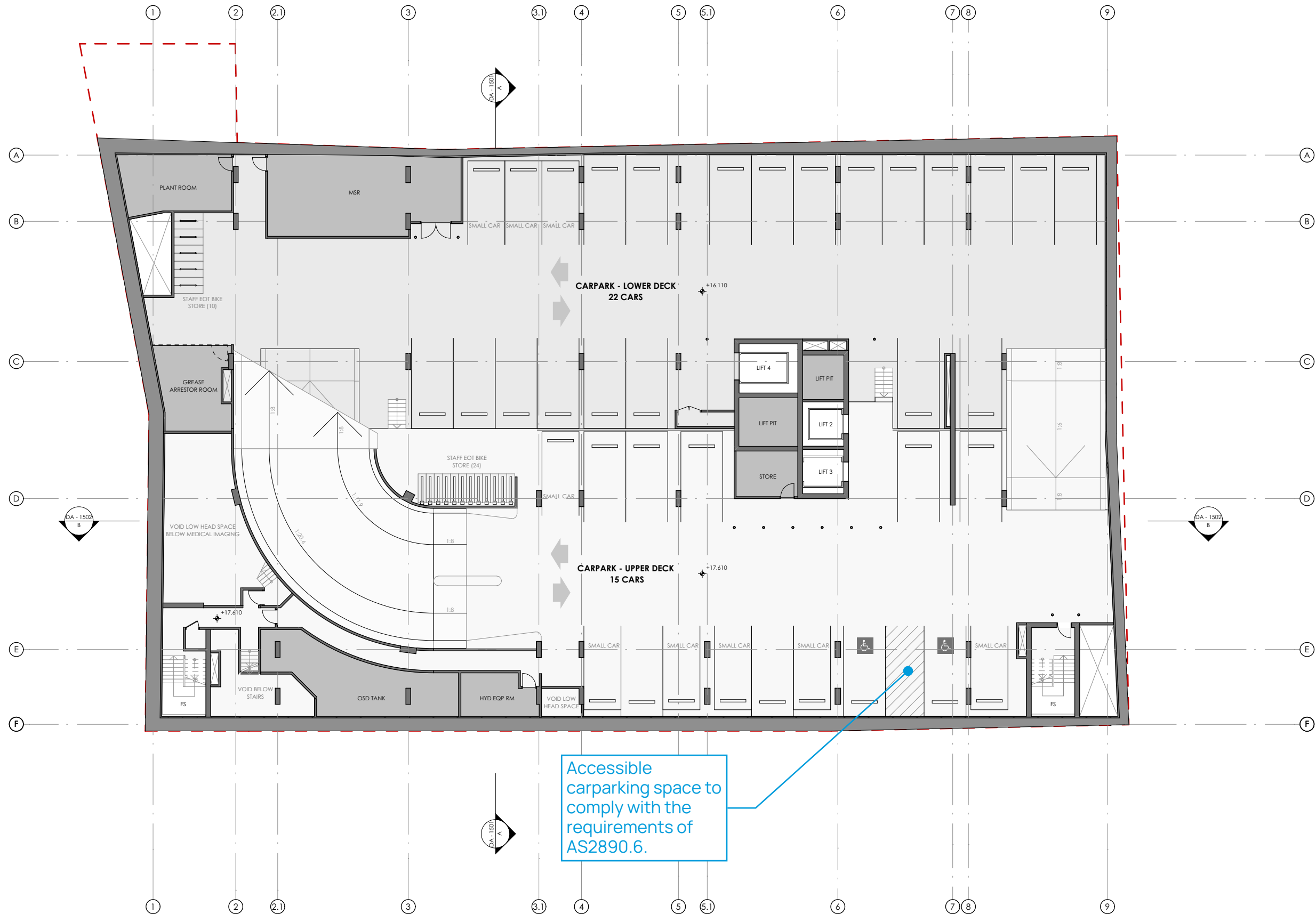
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BASEMENT LEVEL 1 FLOOR PLAN

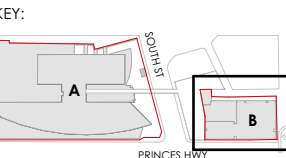
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Site B: 119-129 Princes Hwy & 2 Hogben St, Kogarah NSW 2217

Located on Bidjigal Country

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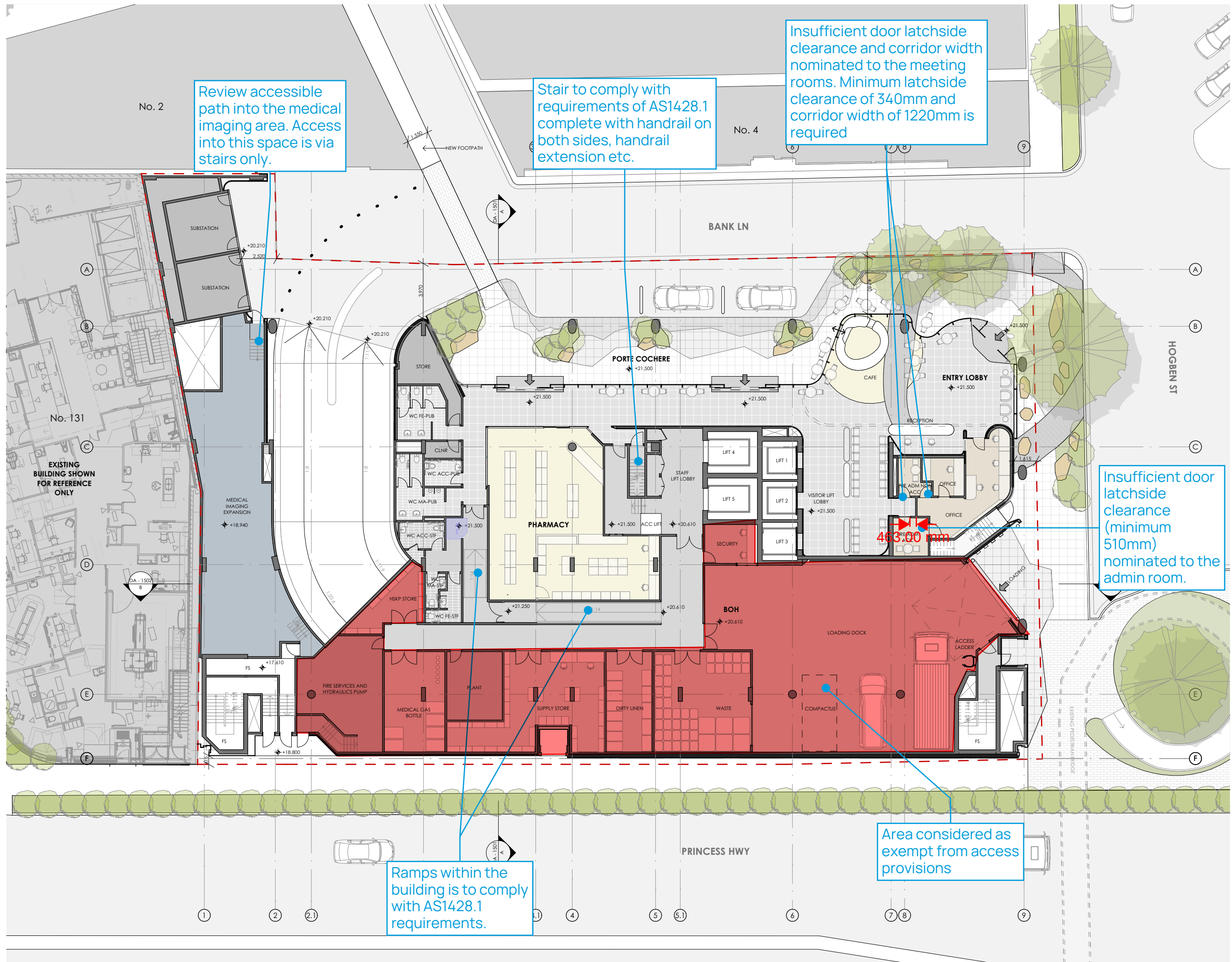
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GROUND FLOOR PLAN

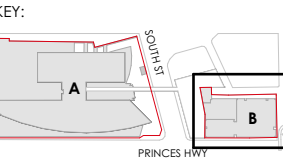
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PROJECT
St George Private Hospital Expansion

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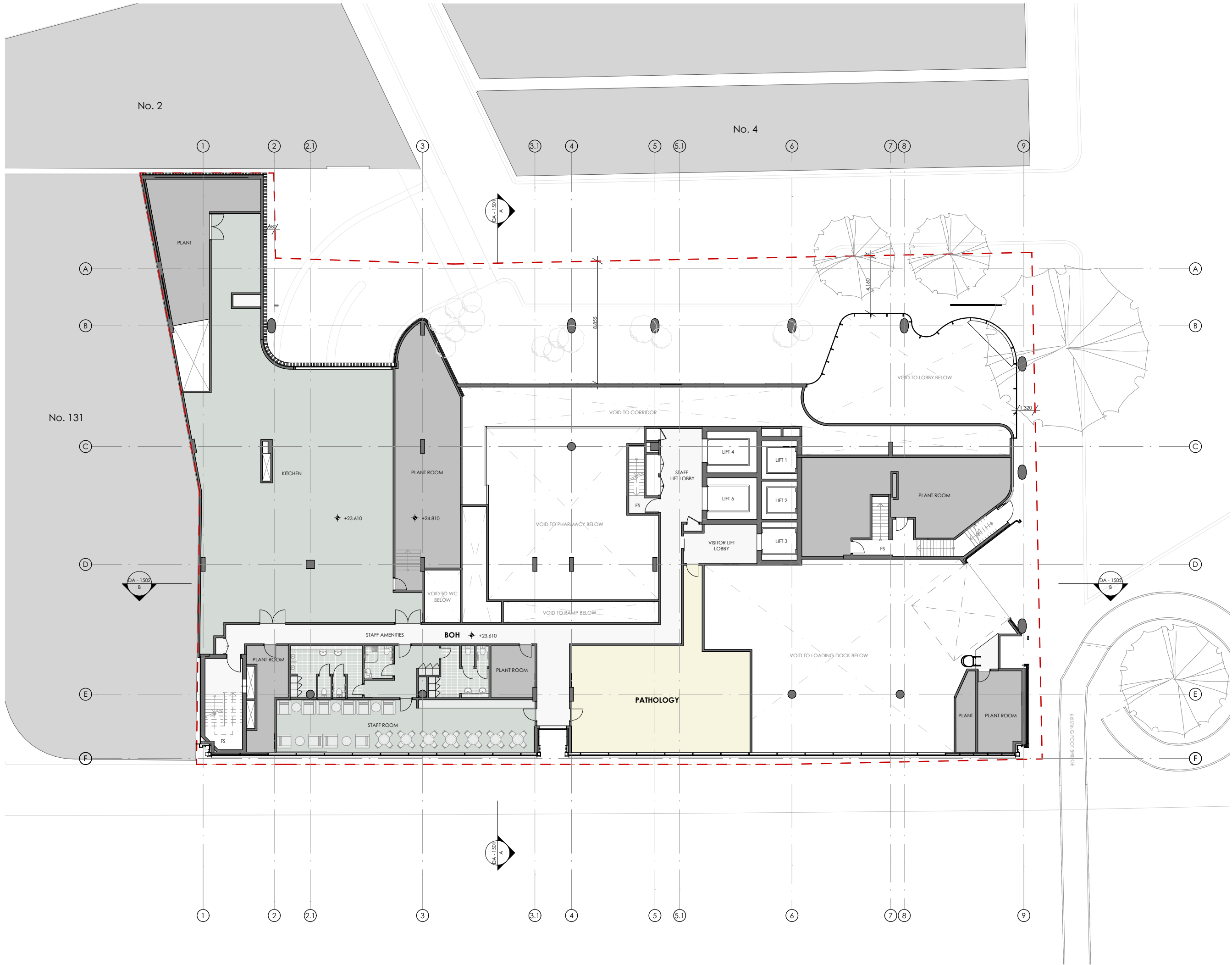
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MEZZANINE FLOOR PLAN

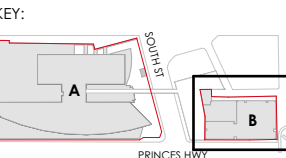
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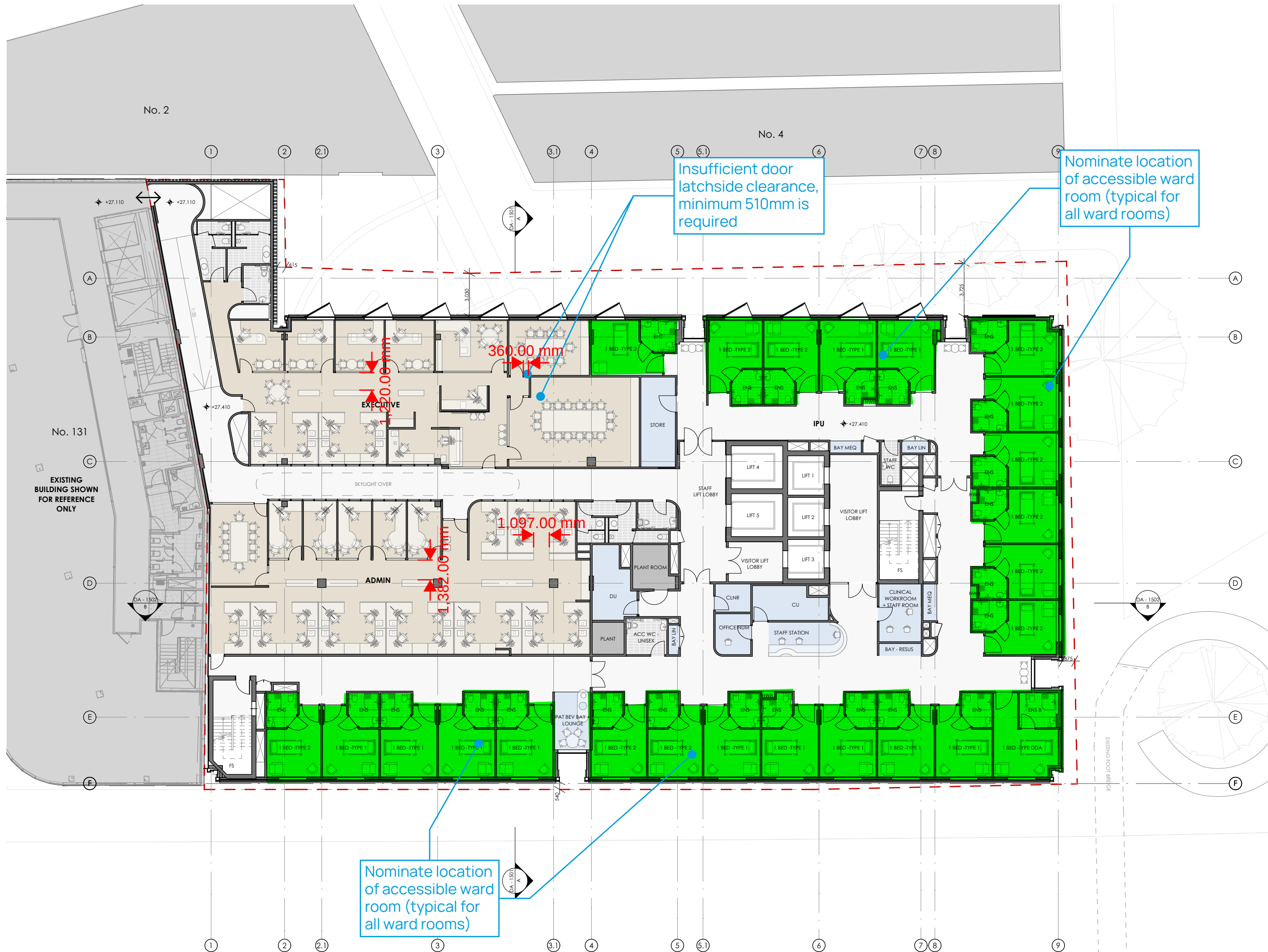
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LEVEL 1 FLOOR PLAN

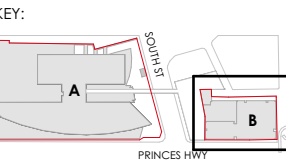
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PROJECT
St George Private Hospital Expansion

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Located on Bidjigal Country

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LEVEL 2 FLOOR PLAN

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22505

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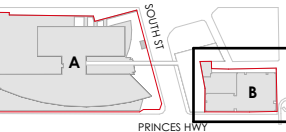
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LEVEL 3-5 FLOOR PLAN - TYPICAL IPU

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The map shows the study area with two study sites, A and B, highlighted. Site A is located on the left side of the map, and Site B is located on the right side. The map includes labels for 'SOUTH ST' and 'PRINCES HWY'.

REFER TO OTHER DRAWINGS OR
OUT OF SCOPE

--- SITE BOUNDARY LINE

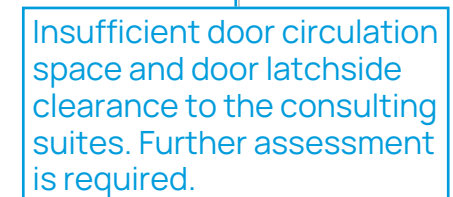
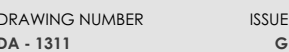
--- DEMOLITION SCOPE

--- DASHED OUTLINE INDICATES EXTENT OF
NEW DDA-COMPLIANT WORKS

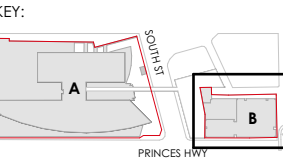
EXISTING WALLS AND STRUCTURE

NEW WALLS AND STRUCTURE

PROJECT MANAGER



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- GENERAL LEGEND:**
- REFER TO OTHER DRAWINGS OR OUT OF SCOPE
 - SITE BOUNDARY LINE
 - DEMOLITION SCOPE
 - DASHED OUTLINE INDICATES EXTENT OF NEW DDA-COMPLIANT WORKS
 - EXISTING WALLS AND STRUCTURE
 - NEW WALLS AND STRUCTURE

PROJECT
St George Private Hospital Expansion

Site A: 1 South St, Kogarah NSW 2217
Site B: 119-129 Princes Hwy & 2 Hogben St, Kogarah NSW 2217

Located on Bidjigal Country

PHASE DESIGN DEVELOPMENT - SSDA

PROJECT MANAGER



SCALE
1:250 @A3

DRAWN BY
TEAM

APPROVED BY
JF

PRINT DATE
10/20/2025

PROJECT NORTH

DRAWING
GENERAL ARRANGEMENT PLAN: SITE B - BANK LN
ROOF PLAN

PROJECT NUMBER
22505

DRAWING NUMBER
DA - 1312

ISSUE
C G



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NEW DDA-COMPLIANT WORKS

EXISTING WALLS AND STRUCTURE

NEW WALLS AND STRUCTURE



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