

UTILITY INFRASTRUCTURE SERVICING REPORT STATE SIGNIFICANT DEVELOPMENT APPLICATION

Thompson Health Aged Care - Beecroft House

Seniors Housing at 132-134 Beecroft Road, Beecroft

Prepared for: Thompson Health Care

Issue no: D

Revision	Date	Purpose	Prepared By	Reviewed By
A	14/11/25	Issue for Draft SSDA	R.Bourne	
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1 Introduction

ENTEC Consultants have been engaged by Thompson Health Care as the Hydraulic & Wet Fire Services consultant on the Beecroft House Seniors Housing development at 132-134 Beecroft Road, Beecroft.

This report has been prepared to outline the utility requirements for the project and to support the State Significant Development Application (SSDA).

1.1 Project Scope

The proposal seeks approval for the redevelopment of the existing Thompson Health Care Beecroft House seniors housing facility at 132-134 Beecroft Road, Beecroft.

The development includes a new 3-storey Residential Aged Care Facility incorporating 134 bedrooms in four resident households, resident community facilities, associated service rooms, administration, basement parking & loading bay.

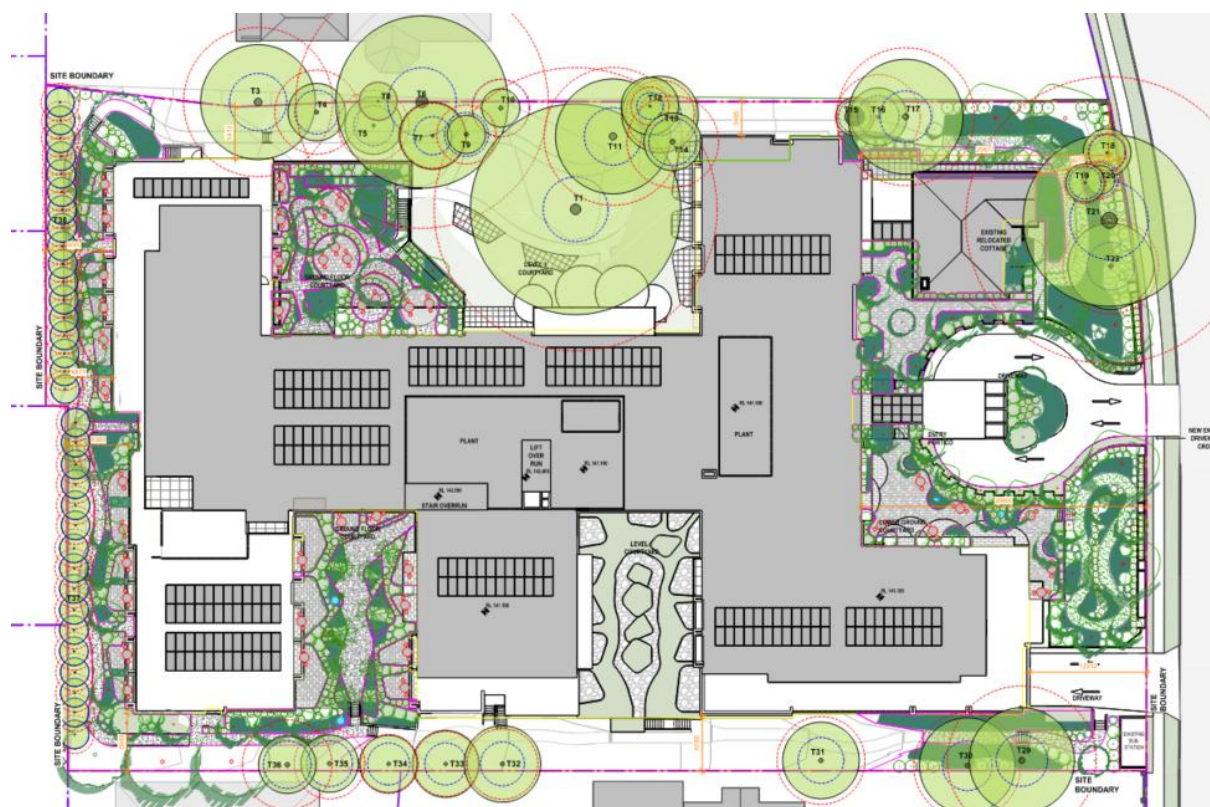


Figure 1 – Architectural site plan

1.2 Existing Site Description

The existing Thompson Health Care Beecroft House seniors housing facility, located at 132-134 Beecroft Road, Beecroft, is to be redeveloped. The proposed works involve the knockdown rebuild of a new seniors' housing building and the relocation of an existing residential cottage on the site. The site area will also be expanded to include the additional neighbouring lot at 132 Beecroft Road, which will be consolidated as part of the works.

The site is located on Beecroft Road, which is a classified TfNSW road, with vehicle access on the northern boundary and is bounded by residential homes on the three other boundaries

The existing site area is 7,911m² and is located at the top of the crest at in Beecroft Road. The crest is located near the centre of the site and as such the site generally falls in both a north and south direction.

Preliminary dial before you dig and survey information shows that Authority service infrastructure is present within Beecroft Rd. This includes inground Jemena gas mains and Sydney Water trunk & general connection watermain. An existing 150mm VC Sydney Water sewer main is located within the site along the southern boundary which will be diverted to facilitate the construction of the basement.

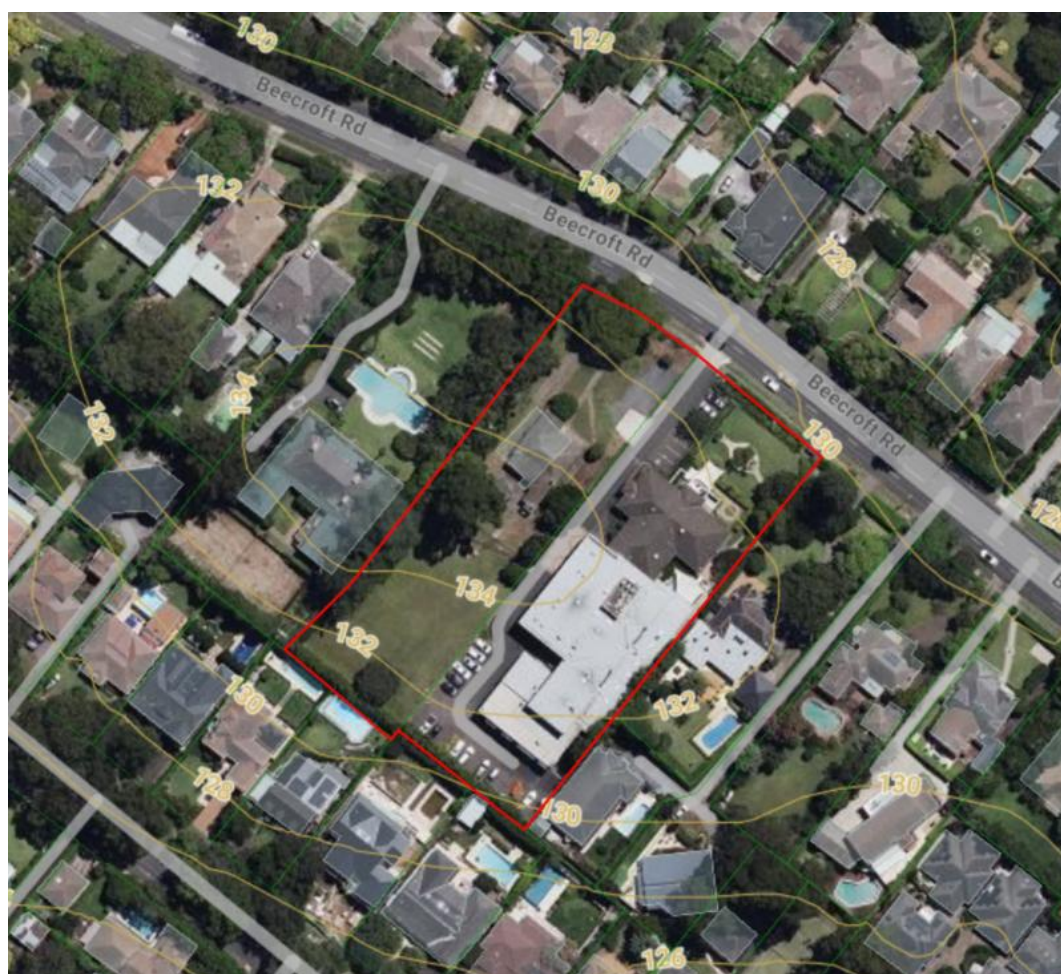


Figure 3 - Site aerial image (Source: Mecone Mosaic)

1.3 SEARs Requirements

SEARs requirements for the preparation of an Environmental Impact Statement (EIS) for the SSDA submission (Application No.:SSD-86878982) and the applicable Civil items are summarised in Table 1 below.

Table 1 – SEAR’s Requirements

SEARs Requirements	Relevant Section of Report
11 Water Management - Detail the proposed drainage design and servicing infrastructure to be incorporated as part of the development - Demonstrate how the development complies with council’s drainage requirements and identify proposed stormwater treatment and water quality management measures to minimise adverse environmental impacts.	Section 3.2 Refer Stormwater report

2 Water

2.1 Existing Infrastructure

Dial Before You Dig (DBYD) information indicates that multiple Sydney Water watermains are available in Beecroft Road Street. The existing water infrastructure is as follows;

- Ø100 cast iron cement lined watermain
- Ø300 polyethylene trunk watermain

The site contains an existing connection to the Ø300 trunk water main which services the existing fire hydrant and sprinkler systems and a separate connection servicing the site potable water reticulation. The proposed development intends to retain the existing connections subject to confirmation from Sydney Water.

Pressure and flow information for both watermains have been received from Sydney Water which states that the main has capacity to service the site. The results are discussed in the section.2.2 below.

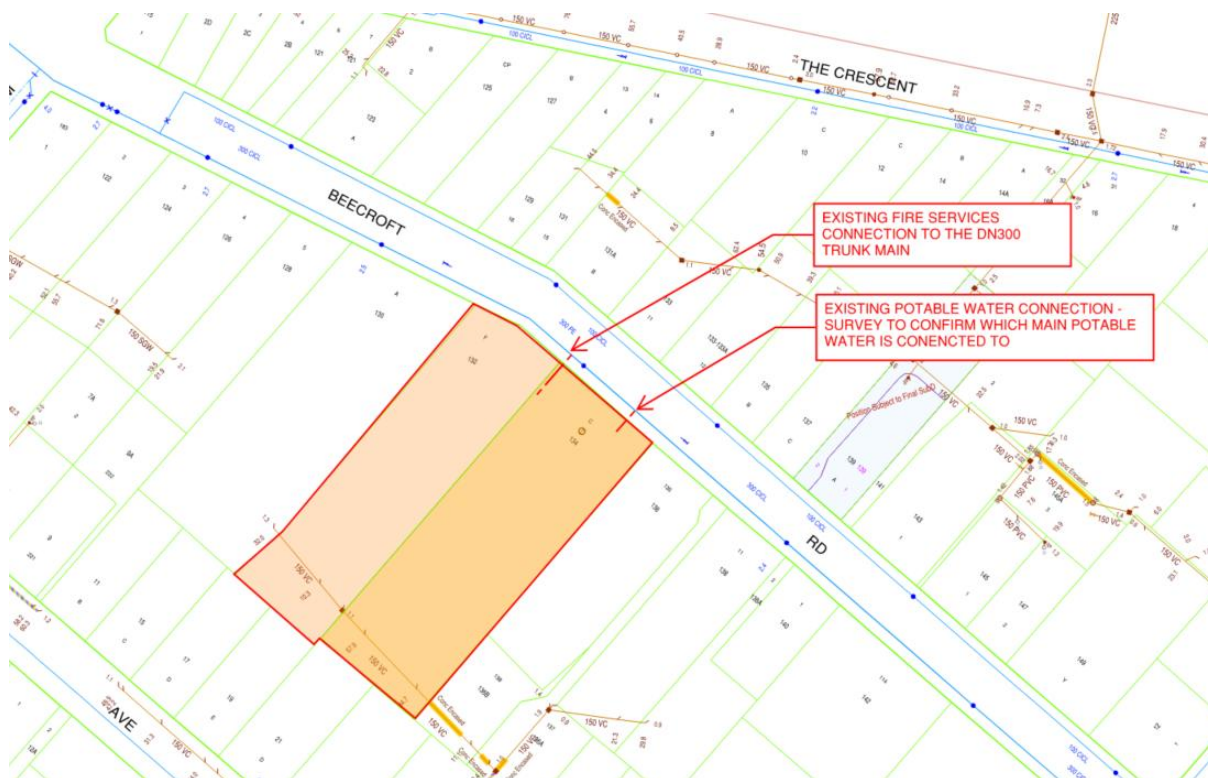


Figure 3 - Sydney Water DBYD Information for the existing watermains

2.2 Development Services

2.2.1 Potable Water

The water supply connection point is proposed to be made off the existing Ø300 in Beecroft Rd.

The estimated potable water demand for the site is as follows

- Maximum Daily Demand = 29 kL/day
- Average Daily Demand = 25 kL/day
- Peak Demand = 6.5L/s

The pressure and flow information received from Sydney Water states that the main has capacity to service the site.

2.2.2 Non-Potable Water – Rainwater Reuse

A rainwater reuse tank (RWT) will capture roof water from the building and will be used for landscape irrigation purposes. It is not proposed that the stored water be plumbed for toilet flushing due to possible health concerns with cross-contamination for vulnerable elderly people.

2.2.3 Fire Hydrant and Sprinkler

Fire hydrant and sprinklers will be required through the development. The 300Ø Authority watermain has adequate flow for the fire hydrant system however does not achieve simultaneous operation of the sprinkler system. As a result, a fire sprinkler storage tank will be required.

3 Sewer

3.1 Existing Infrastructure

Dial Before You Dig (DBYD) information indicates that Sydney Water sewer is in and around the site. An existing Ø150 sewer line traverses through the site to service 130 Beecroft Road.

The sewer is approximately 1.3m deep across the site with a level difference of 2.6m from upstream to downstream, refer invert levels as shown in figure 4 below.

A peg-out has been obtained to confirm the existing invert levels at the point where it crosses the boundary. The result has been shown in the image below.

The existing sewer mains crosses the proposed basement and will be required to be diverted as it services an existing property upstream of the proposed development.



Figure 4 – Existing Sewer Map

3.2 Proposed Sewer Diversion

The sewer main diversion is proposed to be split into two separate lines around the basement as stated below.

Sewer Main Diversion

- Sewer to be diverted from the existing manhole near the northern boundary to approximately 10m west around the proposed basement, and connected into a proposed manhole on existing sewer line near southern boundary.
- Decommission existing sewer traversing through proposed basement



Figure 5 – Proposed sewer diversion

The construction of the sewer diversion is proposed to be completed under a single stage construction methodology and will be undertaken during the main works either prior or during the shoring and bulk excavation works for the basement. Detailed design is to be completed by Sydney Water servicing coordinator.

All costs for the sewer diversion are assumed to be incurred by the developer.

3.3 Development Services

A property service sewer connection inside the boundary will be constructed as part of the sewer diversion works to the site to drain.

The estimated sewerage discharge rates for the site are as follows

- Maximum Daily Discharge = 25.1 kL/day
- Average Daily Discharge = 22.5kL/day

The invert levels of the proposed authority sewer diversion are above the basement level. As such, a sewer pump pit will likely be required to pump any sanitary waste generated from the basement.

4 Gas

4.1 Existing Infrastructure

Dial Before You Dig (DBYD) information shows that Jemena Gas mains are available in Beecroft Road. The existing gas infrastructure is as follows;

- Ø32 Nylon main at 210kPa medium pressure (Northern side of Beecroft Road)
- Ø75 Nylon main at 210kPa medium pressure (Southern side of Beecroft Road)

The site contains an existing authority gas meter which is assumed to be connected to the Ø75 Nylon gas main.

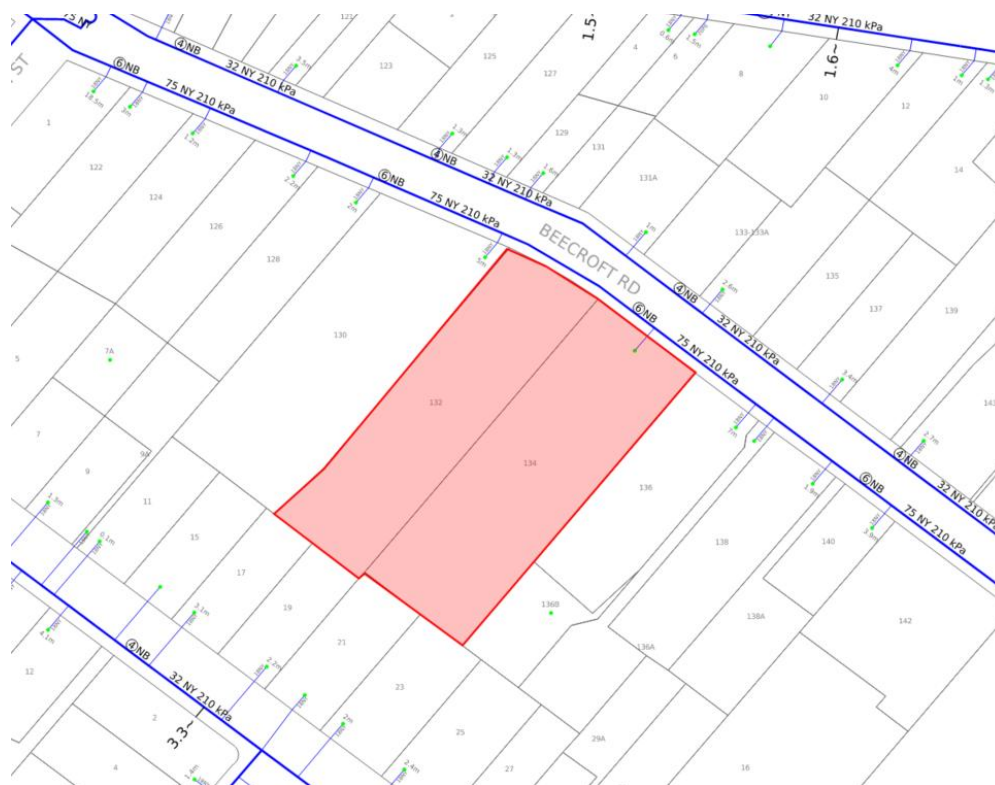


Figure 6 - Jemena DBYD Information for the existing gas mains

4.2 Development Services

The existing gas supply connection point will be retained subject to confirmation from Jemena. A new gas application will be submitted to confirm the metering arrangement and regulator pressures are suitable.

Appendix A – Pressure and Flow Advice

Pressure & Flow Application Number: 2247114
Your Pressure Inquiry Dated: 2025-10-02
Property Address: 134 Beecroft Road, Beecroft 2119

The expected maximum and minimum pressures available in the water main given below relate to modelled existing demand conditions, either with or without extra flows for emergency fire fighting, and are not to be construed as availability for normal domestic supply for any proposed development.

ASSUMED CONNECTION DETAILS

Street Name: Beecroft Road	Side of Street: South
Distance & Direction from Nearest Cross Street	224 metres West from Murray Road
Approximate Ground Level (AHD):	131 metres
Nominal Size of Water Main (DN):	300 mm

EXPECTED WATER MAIN PRESSURES AT CONNECTION POINT

Normal Supply Conditions	
Maximum Pressure	67 metre head
Minimum Pressure	54 metre head

WITH PROPERTY FIRE PREVENTION SYSTEM DEMANDS	Flow l/s	Pressure head m
Fire Hose Reel Installations (Two hose reels simultaneously)	0.66	54
Fire Hydrant / Sprinkler Installations (Pressure expected to be maintained for 95% of the time)	10	56
	15	55
	20	54
	25	53
	30	52
Fire Installations based on peak demand (Pressure expected to be maintained with flows combined with peak demand in the water main)	10	52
	15	51
	20	50
	25	49
	30	47
Maximum Permissible Flow	40	44

(Please refer to reverse side for Notes)

Appendix B – Sydney Water Sewer Service Protection Report

LEGEND:

	SEWER MAIN AND DIRECTION OF FLOW		POTABLE WATER MAIN	S.O.	SQUARE OFF
	SYDNEY WATER SEWER MAN-HOLE		HYDRANT	TIE	TIE MEASUREMENT FROM CORNER
	MAINTENANCE SHAFT		STOP VALVE	PEG	PEG IN GOUND
	RODDING POINT		DUCTILE IRON CEMENT LINED	NAIL	NAIL IN GROUND OR ON WALL
	VENTSHAFT (INDUCT OR EDUCT)		EARTHENWARE	BDY	BOUNDARY
	VERTICAL RISER		REINFORCED CONCRETE	EX.	EXISTING
	P.C.P. OR JUNCTION		SALT GLAZED WARE	DN	DIAMETER
			VITRIFIED CLAY	PEG	PEG

ELECTRONIC DETECTION USED TO LOCATE SEWER MAIN ON SITE.

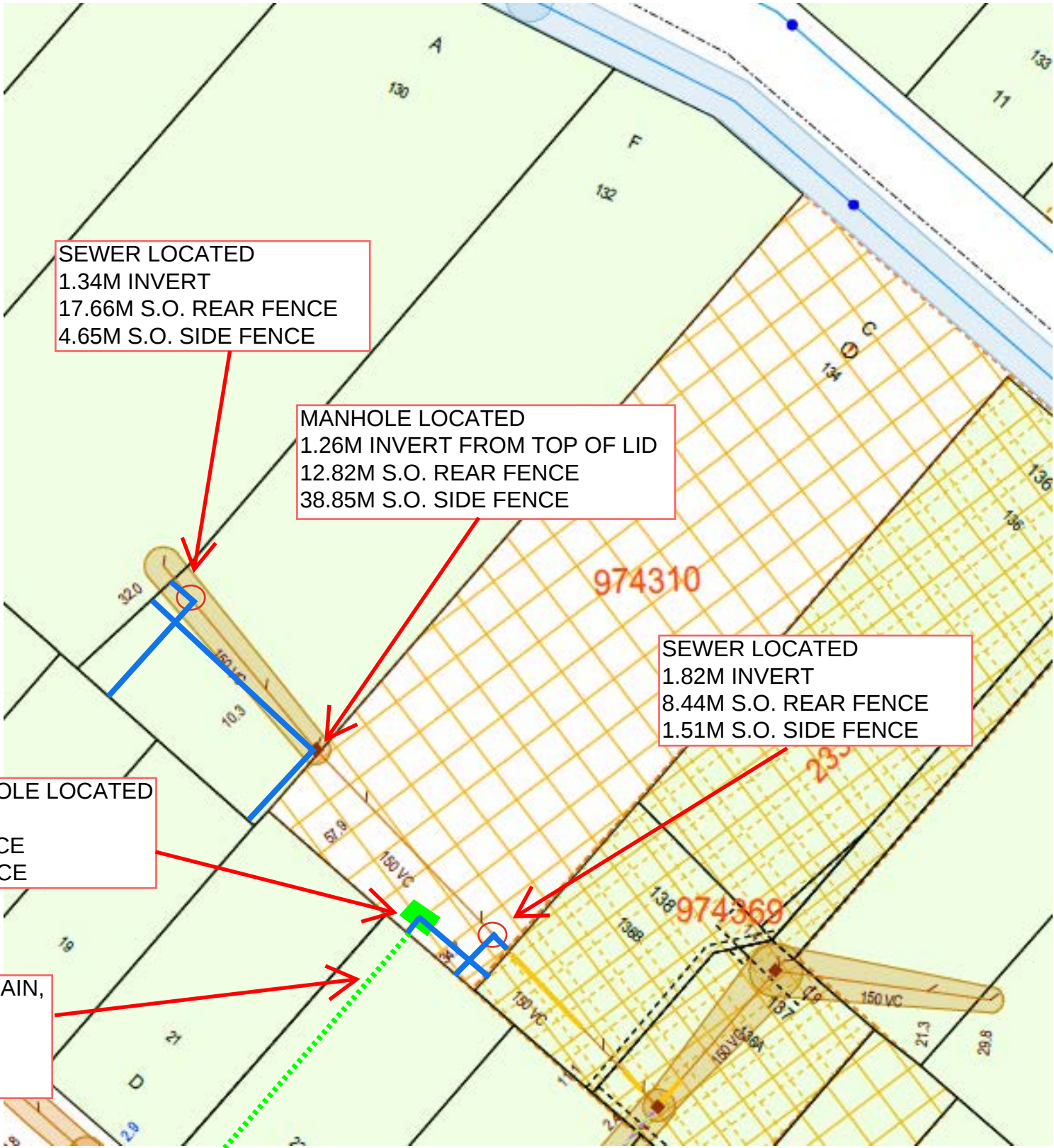
S.O. - SQUARE OFF
TIE - MEASURMENT TIED FROM THAT POINT

NOTES:

- CONTRACTOR TO CONFIRM LINE, LEVEL AND SIZE OF ALL THE EXISTING SERVICES (AS PER NOTE ON PLAN) WITHIN THE VICINITY OF ANY NEW WORKS AND REPORT ANY CONFLICT TO SITE SUPERINTENDENT PRIOR TO ANY CONSTRUCTION COMMENCING
- Ausflow PTY LTD (ABN: 86 097 766 428)
Ph: (02) 9555 7979
12.1, 160 Bourke Road, Alexandria NSW 2015
Email: info@ausflowsydney.com.au
Web: www.ausflowsydney.com.au
ACCREDITED AS SERVICE PROTECTION REPORTER BY SYDNEY WATER
- THE LOCATION OF THE ASSETS SPECIFIED ON THIS REPORT HAVE BEEN TAKEN FROM EXISTING FENCE LINES AND/OR SURVEYORS MARKINGS OR PEGS. FENCE LINES MAY NOT BE TRUE BOUNDARY LINES AND MAY NEED TO BE CONFIRMED BY SURVEYOR.
- THIS PLAN IS NOT TO SCALE, DO NOT SCALE FROM THIS PLAN REFER DIMENSIONS SHOWN

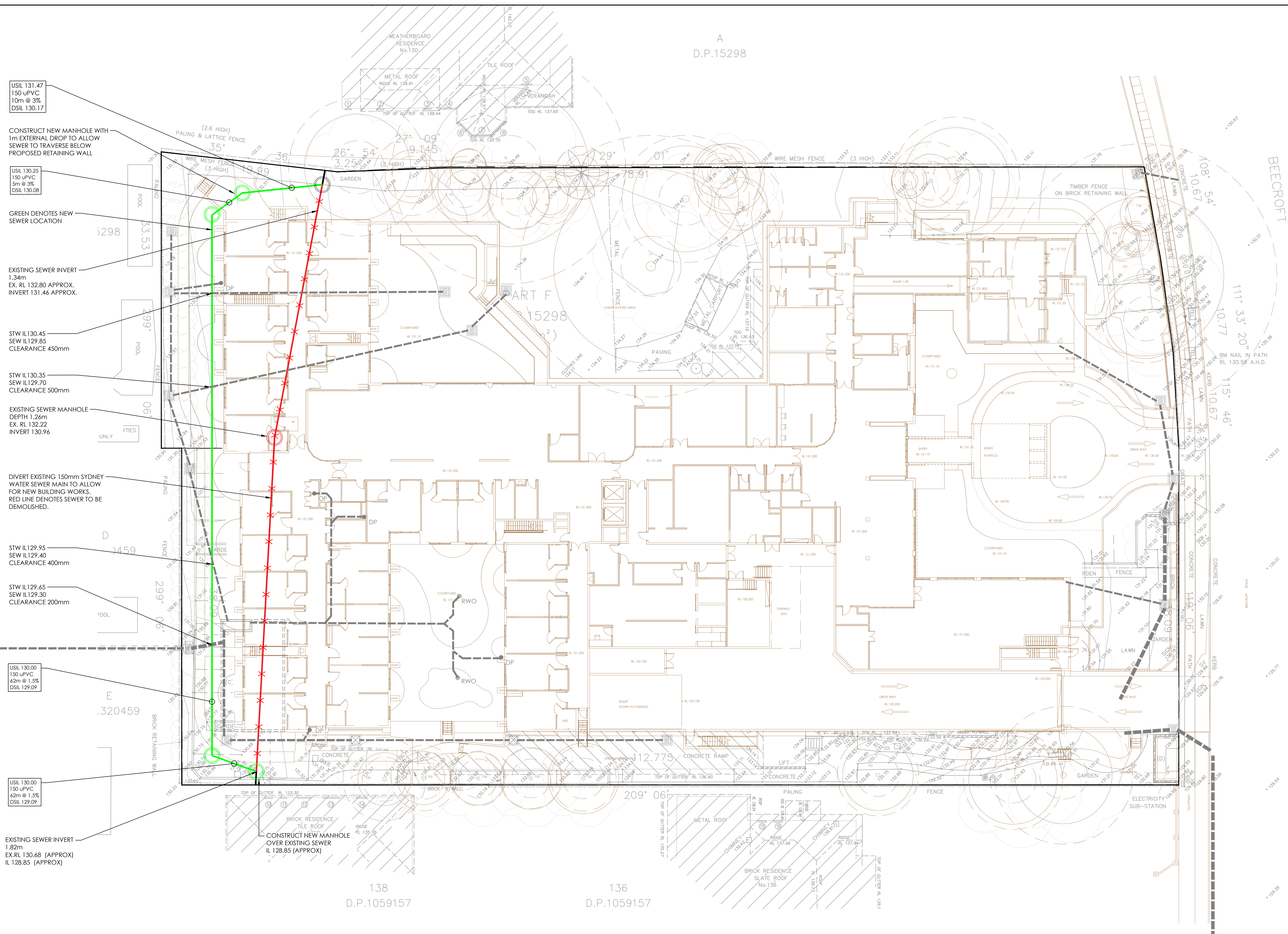
PEG-OUT / SERVICE PROTECTION REPORT

A3 - SIZE SHEET

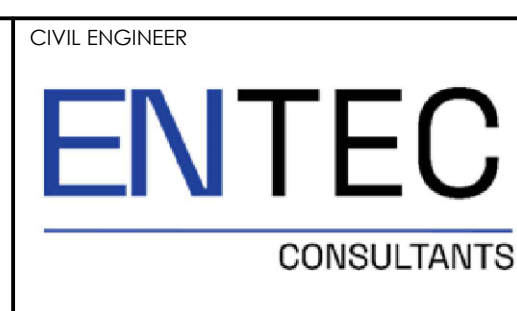


PLAN TO BE READ IN CONJUNCTION WITH CURRENT SURVEY PLAN	UTILITIES LOCATED:				SITE STRATA (CIRCLE APPLICABLE)								PROPERTY ADDRESS:		PLAN SUPPLIED BY:	
	SERVICE	DATE	SIZE (mm)	TYPE	CLAY	ROCK	ROCK TRENCH	SAND	SHALE	TUNNEL	RUBBISH FILL	OTHER (SPECIFY)	LOT:	F&C		
PRIOR TO COMMENCEMENT OF EXCAVATION FOR PROPOSED AND / OR EXISTING SERVICES CONTACT: DIAL BEFORE YOU DIG Ph. 1100 ELECTRICITY AUSGRID Ph. 4951 4555 GAS AGILITY Ph. 132 909 TELECOMM. TELSTRA Ph. 9204 0880 GIVE AT LEAST 48 HOURS NOTICE	EXISTING SEWER:	09/10/26	150	VC									No.	132&134		
	COUNCIL STORM WATER ASSET:	09/10/25	225	PVC									Street name:	BEECROFT RD		
	STORMWATER: SWD												Suburb:	BEEROFT		
	POTABLE WATER:															
					I Gabriel Austin, of Ausflow Pty Ltd, being accredited to carry out a Service Protection Report, certify that the information shown on the report is accurate and has been prepared in accordance with the relevant instructions.											
					LOCATOR: Gabriel Austin LOCATOR SIGNATURE:											
													SHEET 1 OF 1		REVISION No. 1	

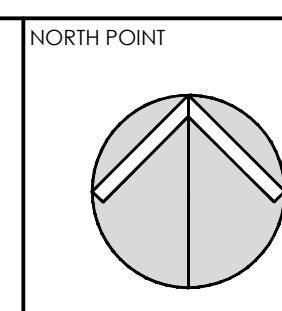
Appendix C – Proposed Sydney Water Sewer Diversion Plan



A	ISSUE FOR SSDA	14.11.25	DR	NP
ISSUE	AMENDMENT	DATE	DRAWN	APP



PROJECT
THOMPSON HEALTH CARE
BEECROFT
132-134 BEECROFT ROAD,
BEECROFT



DRAWING TITLE				
SEWER DIVERSION PLAN				
DRAWN DR	DATE OCT 25	SCALE 1:200	QA CHECK NP	DATE
DESIGNED DR	PROJECT NO. 250159		DRAWING NO. C401	ISSUE A