



HARBOUR ROCKS HOTEL

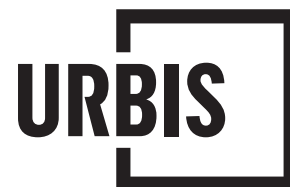
ENVIRONMENTAL IMPACT STATEMENT

PREPARED ON BEHALF OF

TMG ARGYLE AND AMCO ARGYLE PTY LTD

NOVEMBER 2017

SSD 17_8687



URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

Associate Director	Alaine Roff
Consultant	Edward Green
Project Code	SA6306
Report Number	Final

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SIGNED DECLARATION

SUBMISSION OF ENVIRONMENTAL IMPACT STATEMENT

This Environmental Impact Statement has been prepared in accordance with Schedule 2 of the *Environmental Planning and Assessment Regulation 2000*.

Environmental Assessment prepared by:

Names:	Alaine Roff Bachelor of Arts, University of Newcastle Master of Town Planning, UNSW Edward Green Bachelor of Planning, UNSW
Address:	Urbis Pty Ltd Level 23, Darling Park Tower 2, 201 Sussex Street Sydney NSW 2000
In respect of:	The Harbour Rocks Hotel

Applicant and Land Details:

Applicant:	TMG Argyle Pty Ltd and AMCO Argyle Pty Ltd c/- Urbis
Applicant Address:	Urbis Pty Ltd Level 23, Darling Park Tower 2, 201 Sussex Street Sydney NSW 2000
Land to be Redeveloped:	The Harbour Rocks Hotel 34-52 Harrington Street, The Rocks Lot 11 and 14 in DP 773812
Project:	Refurbishment of the Harbour Rocks Hotel

Declaration:

I certify that the contents of the Environmental Impact Assessment, to the best of my knowledge, have been prepared as follows:

In accordance with the requirements of the Schedule 2 of Environmental Planning and Assessment Regulation 2000 and State Environmental Planning Policy (State and Regional Development) 2011:

The information contained in this report is true in all material particulars and is not misleading.

Name	Alaine Roff, Associate Director	Edward Green, Consultant
Signature:		
Date:	Wednesday, 22 November 2017	Wednesday, 22 November 2017

SECRETARY'S ENVIRONMENTAL ASSESSMENT REQUIREMENTS

The Secretary's Environmental Assessment Requirements (SEARs) for SSD 17_8687 – "Refurbishment of The Harbour Rocks Hotel" were issued on 14 September 2017. A copy of the SEARs is included at Appendix A. Table 1 below summarises the requirements and identifies where responses to each of the SEARs are addressed in this report.

Table 1 – Secretary's Environmental Assessment Requirements

Secretary's Environmental Assessment Requirement	Reference
General Requirements	
The Environmental Impact Statement (EIS) must address the Environmental Planning and Assessment Act 1979 and meet the minimum form and content requirements in clauses 6 and 7 of Schedule 2 of the Environmental Planning and Assessment Regulation 2000. Notwithstanding the issues specified below, the EIS must include an environmental risk assessment to identify the potential environmental impacts associated with the development. Where relevant, the assessment of the key issues below, and any other significant issues identified in the assessment, must include: - adequate baseline data. - consideration of potential cumulative impacts due to other development in the vicinity. - measures to avoid, minimise, and if necessary, offset the predicted impacts, including detailed contingency plans for managing significant risks to the environment.	The EIS has been prepared in accordance with the Secretary's Requirements and meets the minimum form and content requirements specified in Schedule 2 of the <i>Environmental Planning and Assessment Regulation 2000</i>. The EIS includes a comprehensive assessment of the environmental risks and impacts associated with the development.
The EIS must be accompanied by a report from a qualified quantity surveyor providing: - a detailed calculation of the capital investment value (as defined in clause 3 of the Environmental Planning and Assessment Regulation 2000) of the proposal, including details of all assumptions and components from which the CIV calculation is derived. - an estimate of the jobs that will be created by the development (construction and operation). - certification that the information provided is accurate at the date of preparation.	Appendix B
Key Issues – The EIS must address the following specific matters:	
1. Environmental Planning Instruments, Policies & Guidelines - Address the relevant statutory provisions applying to the site, contained in the relevant EPIs, including: - State Environmental Planning Policy (State and Regional Development) 2011 - Sydney Cove Redevelopment Authority Scheme - State Environmental Planning Policy 55 - Remediation of Land (SEPP 55) - State Environmental Planning Policy (Infrastructure) 2007	Section 5 and Section 7

Secretary's Environmental Assessment Requirement	Reference
– Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. • Any variations to the Sydney Cove Redevelopment Authority Scheme, including the Environmental Planning and Assessment (Sydney Cove) Savings and Transitional Regulation 1999. • Address the relevant provisions, goals and objectives in the following: – NSW 2021 – A Plan for Growing Sydney – Towards our Greater Sydney 2056 (<i>now superseded by the Draft Greater Sydney Region Plan</i>) – Draft Central District Plan (<i>now superseded by the Revised Draft Eastern City District Plan</i>) – Sydney 2030 – Sydney City Centre Access Strategy 2013 – Sydney's Walking Future 2013 – Sydney Local Environmental Plan 2012.	
2. Built Form and Urban Design • Outline the design process leading to the proposal and outline specific design features, including materials, finishes and colours. • Consider the site and current building's historic character, layout, setbacks, architectural design, materials, articulation and detailing, amenity, views and vistas, open spaces and public domain, connectivity and street activation. • Consider the suitability of the height, bulk and scale of the proposed deck structure and awning within the context of the locality and its surrounds.	Appendix C
3. Heritage • Prepare a statement of heritage impact (in accordance with the guidelines in the NSW Heritage Manual) which identifies: – all heritage items (state and local) within and in the vicinity of the site including built heritage, landscapes and archaeology, and detailed mapping of these items, and why the items and site(s) are of heritage significance – what impact the proposed works will have on their significance, including any impacts from the works, and any impacts on views to and from heritage items – detailed mitigation measures to offset potential impacts on heritage values – compliance with the policies of any relevant Conservation Management Plan, including the conservation policies outlined in the 'Conservation Management Plan, Evans Stores, 34-40 Harrington St & Terraces, 42-52 Harrington St', prepared by Owell and Peter Phillips and dated 2007 – provide details of visual impacts of the proposed development on the historic streetscapes of George Street and Gloucester Walk. • The Heritage Impact Statement (HIS) must provide justification for any changes to fabric of significance (e.g. the insertion of new openings into existing sandstone walls between bays 1 and 2 and bays 3 and 4) and discuss the alternative options that have	Appendix E, Appendix F and Appendix G

Secretary's Environmental Assessment Requirement	Reference
been considered. The HIS must demonstrate that any intervention is an acceptable heritage impact for the building and detail any mitigation measures that should be considered. • If excavation is proposed, prepare an archaeological assessment of the likely impacts of the proposal on any Aboriginal cultural heritage, European cultural heritage and other archaeological items and outline proposed mitigation and conservation measures. The historic archaeological assessment should be prepared in accordance with the Heritage Division, Office of Environment and Heritage Guidelines including but not limited to 'Assessing Significance for Historical Archaeological Sites and Relics' 2009. The historic archaeological assessment should identify what relics, if any, are likely to be present, assess their significance and consider the impacts from the proposal on this potential resource. Where harm is likely to occur, it is recommended that the significance of the relics be considered in determining an appropriate mitigation strategy. If harm cannot be avoided in whole or in part, an appropriate Research Design and Excavation Methodology should also be prepared to guide any proposed excavations. • The historical archaeological assessment should be prepared by a historical archaeologist suitable to satisfy the Excavation Director Criteria of the Heritage Council of NSW for the proposed activity and significance level. • Prepare an interpretation strategy that includes the provision for interpretation of any archaeological resources uncovered during the works.	
4. Use • Outline operational details including but not limited to: – hours of operation – patron capacity – use of outdoor area/s, including outdoor speakers (if any). • Detail waste storage and disposal provisions.	Section 3.4 and Appendix G
5. Visual and View Impacts • Identify important sight lines and visual connectivity to and from the site. • A visual impact assessment is to be provided to identify the visual changes and impacts on the site and its surrounds when viewed from key public domain areas (e.g. Nurses Walk) and any nearby residences.	Section 6.1, Appendix C and Appendix I
6. Amenity • Outline and address the proposed development's impacts in terms of sunlight, wind and safety and security, including consideration of Crime Prevention through Environmental Design (CPTED) principles. • Detail any external lighting or illumination and assess the impacts of this lighting/illumination from surrounding properties and the public domain.	Section 6.2 and Appendix C N.B. the applicant can advise that a charcoal grill / solid fuel cooking is no longer proposed and there will be no adverse odour impacts resulting from the proposal.

Secretary's Environmental Assessment Requirement	Reference
• Provide detailed plans of the new kitchen fit-out and details of the position and design of the mechanical ventilation and extraction system including details of the discharge points and impact on the existing arrangement. • Provide an assessment of smoke and odour impacts as a result of the new charcoal grill and include details of appropriate odour control devices. • Demonstrate compliance with Australian Standard AS 1668.2 - 2012 The use of ventilation and air conditioning in buildings Part 2: Mechanical ventilation in buildings - Clause 3.4.6. If an alternative solution is proposed, provide detailed information on the treatment of air prior to discharge.	
7. Noise • Provide a Noise and Vibration Assessment in accordance with the relevant EPA guidelines. This assessment must detail construction noise impacts and consider any potential operational noise impacts on nearby noise sensitive receivers and outline proposed noise mitigation and monitoring issues.	Section 6.3 and Appendix K
8. Signage • Details of any proposed signage, including on or under the awning structure and an assessment against the relevant provisions of Sydney Development Control Plan 2012.	Section 5.2.8 and Appendix C
9. Building Code of Australia (BCA) and the Disability Discrimination Act • Prepare a BCA and access report demonstrating compliance with the Building Code of Australia and the Disability Discrimination Act 1992.	Appendix J
10. Ecologically Sustainable Development (ESD) • Detail how ESD principles (as defined in clause 7(4) Schedule 2 of the EP&A Regulation 2000) will be incorporated in the design, construction and ongoing phases of the development.	Appendix C
11. Environmental, Construction and Site Management Plan • Provide an Environmental and Construction Management Plan for the proposed works, and include: – community consultation, notification and complaints handling – impacts of construction on adjoining development and proposed measures to mitigate construction impacts – noise and vibration impacts on and off site – water quality management for the site – construction waste classification, transportation and management methods in accordance with DECCW's Know Your Responsibilities: Managing Waste from Construction Sites Guideline.	Section 6.5 and Appendix L
Consultation	

Secretary's Environmental Assessment Requirement	Reference
During the preparation of the EIS, you must consult with the relevant local, State or Commonwealth Government authorities, service providers, community groups and affected landowners. In particular, you must consult with: • City of Sydney Council • Office of Environment and Heritage - Heritage Division. The EIS must describe the consultation process and the issues raised, and identify where the design of the development has been amended in response to these issues. Where amendments have not been made to address an issue, a short explanation should be provided.	Section 4 and Appendix C
Plans and Documents	
The EIS must include all relevant plans, architectural drawings, diagrams and relevant documentation required under Schedule 1 of the Environmental Planning and Assessment Regulation 2000. Provide these as part of the EIS rather than as separate documents. In addition, the EIS must include the following: 1. An existing site survey plan drawn at an appropriate scale illustrating: • The location of the land, boundary measurements, area (sq.m) and north point • The existing levels of the land in relation to buildings and roads • Location and height of existing structures on the site • Location and height of adjacent buildings • All levels to be to Australian Height Datum (AHD). 2. A locality/context plan drawn at an appropriate scale indicating: • Significant local features such as parks, community facilities and open space and heritage items • The location and uses of existing buildings, shopping and employment areas • Traffic and road patterns, pedestrian routes and public transport nodes. 3. Drawings at an appropriate scale illustrating: • Detailed plans, sections and elevations of the development, including all temporary structures and site features and their relation to adjoining site • The height (AHD) of the proposed development in relation to the land • Any changes that will be made to the level of the land by excavation, filling or otherwise • Detailed architectural plans at a scale of 1:20 or 1:50 showing how the proposed awning would be fixed to the host building and how stormwater from the awning would be addressed. 4. Include a materials and colours schedule for the proposed external works.	Appendix D and Appendix C

1. INTRODUCTION

This Environmental Impact Statement (EIS) is submitted to the Department of Planning and Environment (DPE) in support of a State Significant Development (SSD 17_8687) for refurbishment of the Harbour Rocks Hotel at 34-52 Harrington Street, The Rocks. This proposal is made pursuant to Part 4, Division 4.1 of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

Schedule 2 of *State Environmental Planning Policy (State and Regional Development) 2011* (SEPP SRD) identifies development within The Rocks as State Significant Development (SSD) if:

“(6)(b) it does not comply with the approved scheme within the meaning of clause 27 of Schedule 6 to the Act.”

The proposal is SSD because the site is within The Rocks and the proposed building envelope breaches the ‘approved scheme’, also known as the Sydney Cove Redevelopment Authority Scheme – Drawing XXXVIII endorsed by the Minister on 6 August 1984.

The proposed works are largely internal, and would otherwise not trigger SSD. The proposed deck awning is the only element outside the SCRA envelope, triggering the SSD pathway.

The EIS is based on architectural plans detailing the proposed works, and other technical information in specialist consultant reports. The technical studies were undertaken to address the specific potential environmental impacts outlined in the SEARs.

1.1. THE PROJECT

The proposal will refurbish a popular dining location within The Rocks by:

- Improving the internal circulation and layout of the lower ground floor, enabling a superior visitor experience by separating bar, lounge, dining and private dining areas while also providing openings for ease of movement between each.
- Creating a genuine alfresco area by upgrading the existing deck structure, and providing an awning for visitor amenity.

Overall, the proposal will deliver the following public benefits:

- It will enable the refurbishment of (and reinvestment in) an item of State Heritage significance, further supporting and celebrating its ongoing adaptive reuse.
- The architectural design has undergone independent reviews from Place Management NSW and has been refined to provide a contemporary heritage solution which enables greater user amenity and functionality.
- At a higher level the project sustains the cultural vibrancy of The Rocks and supports Sydney’s role as a pre-eminent tourist destination.

2. THE SITE

The site, known as the Harbour Rocks Hotel is located at 34-52 Harrington Street, The Rocks. The site is rectangular, approximately 910m² in size and is legally described as Lot 11 and 14 in DP 773812. It is bound by a frontage to Harrington Street to the west, Suez Canal Walk to the north, Nurses Walk to the east and an existing commercial building (66 Harrington Street) to the south (refer to Figure 2 and Figure 3).

The substantive building (34-40 Harrington Street) and the adjoining terraces occupied by the Hotel (42-52 Harrington Street) are items of State Heritage significance. The Harbour Rocks Hotel is a three-storey brick (former warehouse) building, with the adjoining (six) terrace houses being two storeys in height.

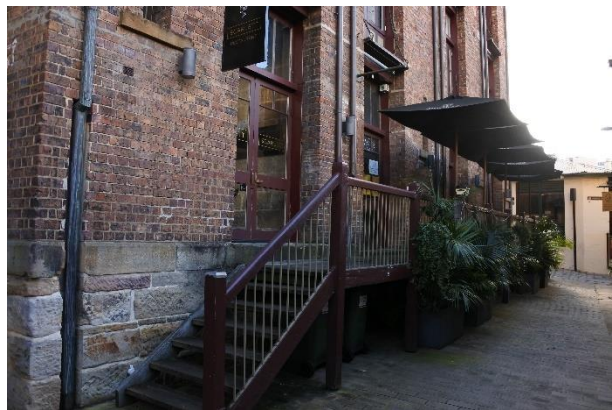
We note the scope of works is limited to the following parts of the overall site:

- Internal refurbishments of the lower ground floor level.
- Upgrades to the existing deck fronting Nurses Walk, including the erection of an awning structure.

Figure 1 – Site Photographs



Picture 1 – Front Façade of the Harbour Rocks Hotel



Picture 2 – Existing Deck viewed from the South East



Picture 3 – Existing Northern Façade of the Building



Picture 4 – Existing Dining Area (Lower Ground Floor)

Figure 2 – Site Aerial



Figure 3 – Site Locality Map



3. PROPOSED DEVELOPMENT

3.1. OVERVIEW OF PROPOSED DEVELOPMENT

Welsh + Major Architects were commissioned by TMG Developments in late 2016 to design the refurbishment and consolidation of the existing lower ground floor into a single restaurant and bar venue. The brief later expanded to include a replacement balcony structure and permanent weather protection in place of the existing dilapidated structure on Nurses Walk. The proposal is described in its components below.

3.1.1. Internal Works

- De-fit of existing restaurant, cafe and office spaces.
- Remove existing non-heritage walls at rear of central bays.
- Partial demolition of existing kitchen in preparation for reconfiguration.
- Construction of new openings in existing sandstone walls between bays 1 and 2 and bays 3 and 4 to match the existing opening between bays 2 and 3.
- Reconfiguration of existing AC and ventilation.
- Reconfiguration of existing electrical, fire and hydraulic services to suit new layouts.
- Construction of new bar counter in bay 1.
- Reconfiguration of existing Kitchen including new charcoal grill and pass.
- Construction of new steps in between upper and lower levels in bays 2 and 3.
- Construction of new banquette seating in bays 1 and 2.
- Fit out of new retail/takeaway space in bay 4.
- Construction of new feature joinery to conceal existing fire hose reel and hydrant.
- New "loose fit" furnishings throughout.
- New stone, tile and timber floor finishes.

3.1.2. External Works

- Make good of existing external doors.
- Conversion of the existing doorway onto Suez Canal into a new accessible entrance into the premises.
- Demolition of existing timber deck and steps on Nurses Walk.
- Construction of new deck structure with integrated bar tables and overhead canopy awning.
- New glass awnings to be installed above each of the existing doors to the balcony.
- Signage (full scope described in Section 5.2.5).

3.1.3. Design Rationale

The proposal has sought to meet the client brief while balancing its intervention of the heritage fabric of the building. The proposed balcony sits within the footprint of the existing timber structure. The new canopy is cantilevered from the columns that support the balcony and only requires minimal fixing into the existing building for stability. The awning is set off the face of the building allowing an uninterrupted reading of the existing masonry façade. Glass awnings above each existing doorway allow for all weather access between the internal areas and the covered balcony.

Minimal structure and light (slightly reflective) materials combine to make the balcony/deck structure appear as fine as possible in contrast to the heavy masonry of the original building. The structure has been designed

to integrate tables, signage, lighting and drainage – preventing the need for secondary additions and to reduce clutter in the public domain.

Within the building the interior upgrades have been designed to enhance the understanding of the original building by revealing the original archways and opening the area to patrons. The proposed interior seeks to use the existing sandstone and masonry walls as the focus with new materials selected to recede. The new openings create an enfilade on the lower level seek to further enhance the appreciation of the building as an arrangement of four interconnected bays. For further details refer to the architectural plans and design report prepared by Welsh + Major at Appendix C.

Figure 4 – Photomontages of Proposal



Picture 5 – View from Nurses Walk (Before)



Picture 6 – View from Nurses Walk (After)



Picture 7 – View from Suez Canal (Before)



Picture 8 – View from Suez Canal (After)

3.2. ACCESS

There are no substantive changes to external access arrangements aside from the conversion of an existing doorway on Suez Canal to a new accessible entrance, and the replacement of the existing deck structure. Internally, two new openings are being created together with the demolition of the existing kitchen walls to create a space more conducive to a successful bar and dining environment.

3.3. MATERIALS AND FINISHES

The materials and finishes have been selected as part of an ongoing liaison process with the landowners, PMNSW and are shown on the Architectural Plans at Appendix C. Welsh + Major have provided the following commentary:

The balcony and awning structure is proposed to be constructed from a combination of bead blasted stainless steel and mild steel coated with a mid grey micaceous oxide paint finish. The stainless steel will have a dull lustrous finish which will reflect the colours of the surrounding heritage buildings while standing out as a distinct contemporary addition. The painted elements reference the predominant steel finish used in The Rocks area, including on the Harbour Bridge. The decking and stair treads are proposed as spotted gum with an oil finish, and are intended to weather and soften over time.

3.4. OPERATION

The Harbour Rocks Hotel will continue to operate under the existing liquor license (reference: LIQH400101473). The refurbished restaurant area will have a future capacity of approximately 104 patrons.

The area will be serviced by various services service and kitchen staff including waiters/waitresses, bartenders, maître d', store attendants, chefs, stewards and managers. This is outlined in more detail within the Plan of Management at Appendix G.

The proposed hours of operation are as existing/approved except for the addition of opening during lunch time.

- Breakfast: 6:30am – 10:30am.
- Lunch: 12 noon – 3pm.
- Dinner: 5:30pm – 10pm (bar and lounge to remain open until 12 midnight).

Waste storage will continue to be managed per existing arrangements (existing loading dock, accessed from Suez Canal), with the existing waste contractors (Sydney Waste) to be retained. Refer to page 5 of the Plan of Management at Appendix H for further detail.

Likewise, security arrangements will continue to be managed as existing, which includes professional security personnel, and applicable managers.

3.5. ESD PRINCIPLES

The works will meet with objectives of clause 7(4) Schedule 2 of the EP&A Regulation 2000 through sustainable building practices including:

- Reuse of significant portions of the existing kitchen areas and building services together with selected furnishings and lighting.
- New interior elements being designed as a series of 'loose fit' pieces capable of adaptation to future uses of the premises, reducing the potential redundancy of the fit out as the use of the premises evolves over time.
- Interior fit out reconfiguring the existing air conditioning system which will be zoned to reflect the usage patterns of the business ensuring that cooling and heating can be targeted to areas as required.
- Selection of high quality materials for the new balcony structure suitable for the environment to ensure outstanding durability and a long lifetime.

4. CONSULTATION

4.1. PLACE MANAGEMENT NSW

The project team has had ongoing engagement with Place Management NSW (the landowners), to seek guidance on the proposed scheme. Owners consent will be provided prior to determination. The following program of consultation has already occurred:

Initial deck and awning design prepared by Bennett + Trimble:

- 15.08.16 - Presentation to SHFA.
- 23.08.16 - Feedback received from SHFA (awning concept not supported).
- 04.11.16 - Presentation of final sketch design iteration.
- 29.11.16 - Feedback received from SHFA (awning concept not supported).

New deck and awning design prepared by Welsh + Major:

- 06.03.17 - Presentation interior concept and requested input into deck and awning design prior to new concept being prepared - SHFA Heritage + Urban Design Director + Managers, TMG and Welsh + Major design team.
- 04.05.17 - Presentation of deck and awning concept and interiors including internal openings - SHFA Heritage + Urban Design Director + Managers, TMG and Welsh + Major design team.
- SHFA team formal feedback provided 09.05.17.
- A final meeting was held with PMNSW on 28.09.17 at which the developed design was presented.

4.2. CITY OF SYDNEY COUNCIL

The proponent reached out to the City of Sydney Council in September 2017 to arrange a meeting to discuss the proposal. Council sought clarification as to whether the scheme had significantly advanced since the issue of SEARs. Upon learning that the scheme had not fundamentally changed, Council were comfortable with their input into the SEARs document, and will be consulted during the exhibition of the EIS per standard SSD requirements.

4.3. OFFICE OF ENVIRONMENT AND HERITAGE – HERITAGE DIVISION

The project team have reached out to NSW OEH during the preparation of the EIS asking if a briefing is required. At the time of writing, no response has been received although any OEH comments can be considered post Test of Adequacy stage, or as part of a 'Response to Submissions'.

5. PLANNING FRAMEWORK ASSESSMENT

5.1. STRATEGIC FRAMEWORK

The following planning policies and guidelines are relevant to the proposed development and identified within the SEARs response. The following sections assess the proposed development against these strategic planning policies and guidelines as relevant.

5.1.1. NSW 2021

NSW 2021 is a 10-year plan to rebuild the economy, provide quality services, renovate infrastructure, restore government accountability, and strengthen the local environment and communities. The proposal is consistent with the goals of the plan in that it:

- Improves the entertainment offering of a key venue with The Rocks, a major tourist and entertainment precinct in Sydney.
- Enhances cultural and recreation opportunities for the broader community.

5.1.2. A Plan for Growing Sydney

The proposal is consistent with A Plan for Growing Sydney in that it:

- Promotes Sydney's heritage, arts and culture by investing in the 'cultural ribbon' and its heritage buildings.
- Will generate social and economic benefits, adding to Sydney's reputation as a global city and pre-eminent tourist destination.

5.1.3. Draft Greater Sydney Region Plan

The Draft Greater Sydney Region Plan is a draft amendment to A Plan for Growing Sydney, drawing upon the vision established by the Greater Sydney Commission's District Plans. The proposal is consistent with the draft plan in that it will promote Sydney's heritage by reinforcing the use of, and refurbishing, a State listed item.

5.1.4. Revised Draft Eastern City District Plan

The Revised Draft Eastern City District Plan was placed on public exhibition on 26 October 2017. The proposal is consistent with the Draft Eastern City District Plan in that it:

- Enhances and respects the District's environmental heritage.
- Contributes towards the economic development of the 'Eastern City' through reinvestment in entertainment and tourism related infrastructure.

5.1.5. Sydney 2030

Sydney 2030 is a strategic plan prepared by the City of Sydney focussed around three key elements: green, global and connected. The proposal is consistent with this plan in that it:

- Supports a globally competitive city with a lively and engaging city centre (and surrounds).
- Sustains the cultural vibrancy of The Rocks.
- Includes sustainable building practices and supports the adaptive reuse of environmental heritage.

5.1.6. Sydney City Centre Access Strategy 2013

The proposal is consistent with the Sydney City Centre Access Strategy 2013 in that it reinforces the designation of The Rocks as a 'mixed access priority' area. The proposal does not include any vehicle parking and is generally accessed on foot.

5.1.7. Sydney's Walking Future 2013

The proposal is consistent with Sydney's Walking Future 2013 in that it continues to encourage walking as a component of an active/integrated travel system. The Rocks is a popular destination for locals and tourists, particularly walking through the historic laneways.

5.2. STATUTORY PLANNING FRAMEWORK

The following sections assess the proposed development against the relevant planning instruments.

5.2.1. State Environmental Planning Policy (State and Regional Development) 2011

As noted previously, the works are located within The Rocks, an identified State Significant Site in Schedule 2 of *State Environmental Planning Policy (State and Regional Development) 2011* (SRD SEPP). As the proposal does not comply with the 'approved scheme' (i.e. SCRA Scheme), it is SSD for the purposes of the EP&A Act. The variation to the SCRA Scheme consists of an outdoor awning on the eastern façade of the building, which is discussed in Section 7.

5.2.2. Sydney Cove Redevelopment Authority Scheme

SCRA Scheme approved drawing XXXVIII nominates the following permitted uses: 'commercial', 'residential' and 'special'. The site will retain its existing use as a hotel and licensed premises, which is permitted per the definitions of 'residential' and 'commercial' under the SCRA Scheme.

As above, the proposal does not comply with the SCRA Scheme axonometric envelope. The breach of the SCRA axonometric envelope is an outdoor awning on the eastern façade of the building. The environmental impacts of this breach are addressed in Section 7

5.2.3. State Environmental Planning Policy 55 – Remediation of Land (SEPP 55)

SEPP 55 requires a consent authority to consider whether the land is contaminated and if it is suitable for its proposed use, after remediation has been completed if required. The site is not currently used (or proposed to be used) for any purpose which could give rise to site contamination.

There is a small amount of excavation proposed to facilitate the refurbishment works, specially the new openings, however this will not disturb the subsoil areas. Accordingly, the site is considered suitable for the proposed development and no further assessment against SEPP 55 is required.

5.2.4. State Environmental Planning Policy (Infrastructure) 2007

The subject site is within the CBD Rail Link (Zone B - Tunnel) interim rail corridor per the SEPP (Infrastructure) mapping. As the works will have a capital investment value which exceeds \$200,000 the NSW DPE will need to give written notice of the application to the relevant rail authority. The proposal will have no impact upon the practicability and/or cost of carrying out rail expansion projects on the land in the future.

Figure 5 – SEPP (Infrastructure) Interim Rail Corridor CBD Rail Link & CBD Metro Map 6 of 9



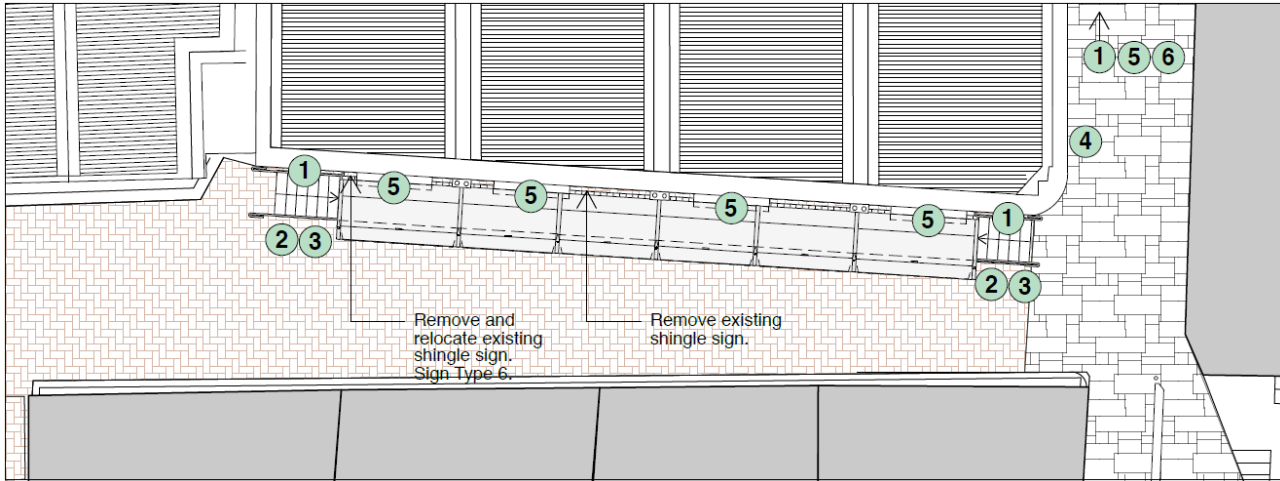
5.2.5. State Environmental Planning Policy 64 – Advertising and Signage

SEPP 64 applies to all signage that can be displayed with or without development consent under an environmental planning instrument and is visible from any public place or public reserve. SEPP 64 applies to the proposal, as all the signage proposed is visible to the surrounding public thoroughfares. The proposal includes a 'refresh' of existing signage, involving:

- Main restaurant name signs located at each main entry point, i.e. at the accessible entry on Suez Canal and adjacent to the stairs at either end of the deck on Nurses Walk.
- Menu board signs located at each end of the deck on Nurses Walk, integrated into an extension of the stair handrail.
- Statutory directional signage to the new accessible entry on Suez Canal located at each end of the deck.
- Removal of two existing shingle signs fixed to the Nurses Walk facade.
- New graphics to the existing shingle sign on Suez Canal at the corner of Nurses Walk.
- Relocation of an existing shingle sign from the Nurses Walk façade to the Suez Canal near the corner of Harrington Street.
- De-cal signage on the new glazed door to Suez Canal and the existing glazed doors to the Nurses Walk deck.

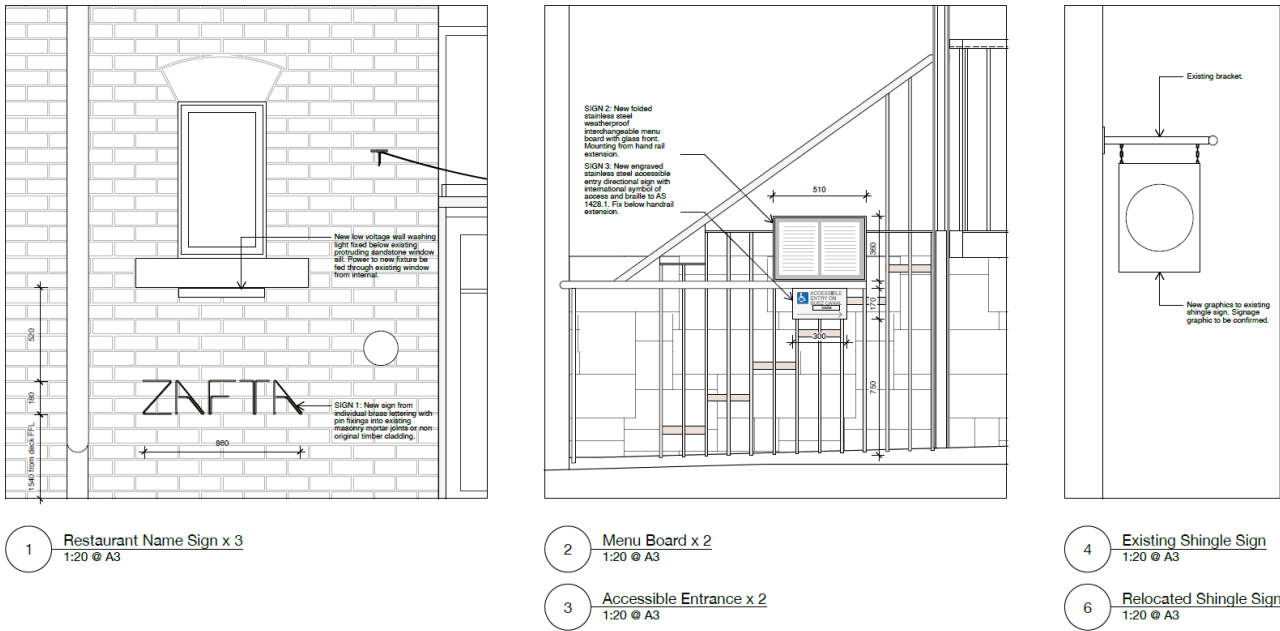
Refer to Figure 6 and Figure 7 below for details of the proposed signage and location:

Figure 6 – Proposed Signage Locations



- NOTES:
- Final Graphics to be determined.
 - Exact location of all signs to be approved by Architect on site.
 - All fixings into existing fabric to be stainless steel/non-ferrous pin fixings into existing mortar joints. All other fixings to be approved by Heritage Architect.
 - Refer to SSDA07 and SSDA09 for location of Sign Type 5 (vinyl decal signage to glass entry doors)
 - Refer to SSDA07 for proposed location of Sign type 6 relocated shingle sign.

Figure 7 – Proposed Signage Details



In accordance with Part 2 of the SEPP, the compliance of the proposal with the objectives of the policy and the assessment criteria in Schedule 1 needs to be assessed:

Table 2 – SEPP 64 Assessment

Criteria	Note	Complies
Character of the area	The proposed signage is compatible with the existing and future desired character of the area in the following ways: • The scale and location of signage is consistent with the scale of the proposed development and existing signage. • The signs are of a simple design that is compatible with the use and character of the site. • The size of the lettering has been developed to be in proportion to the large masonry façade, as well as the height of the existing brick coursing.	✓
Special areas	The Heritage Impact Statement makes the following comment regarding the proposed signage: <i>“All refreshed and additional signs will have a negligible impact on heritage significance of the item and will assist to promote use and appreciation of the site.”</i> • The material selected for the restaurant naming signage is brass, which complements the historical context while being an appropriate, non-ferrous, material for fixing to sensitive heritage fabric. • The design of the restaurant naming signage (fine metal lettering set proud in front of the existing façade surfaces) creates minimal obstruction and allows the texture of the existing masonry and timber to be read continuously behind the lettering.	✓
Views and vistas	The signage is of a scale and height consistent with the proposed building form and does not adversely impact on any significant views of vistas from other properties, nor will it impede the visibility of other existing signage in the surrounding area.	✓
Streetscape, setting or landscape	The signage will provide the following key features: • Incorporate quality materials and finishes. • The proposed signs are an appropriate height given the relative scale of the proposed new buildings and their intended use, also accommodating for people ambulant and wheelchair bound people as per AS1428.2:1992. • Visual clutter is minimised. Signs are sited at a suitable distance apart to ensure they do not dominate the visual appearance of the site and are acceptable from a heritage perspective.	✓
Site and building	• The dimensions of the proposed signs are appropriate given the size and overall scale of the building. The proposed signage has been appropriately positioned and proportioned to identify the principal entry points for patrons. • The sign marking the accessible entrance on Suez Canal has been located within the ideal shared viewing zone for people ambulant and wheelchair bound people per AS1428.2:1992.	✓

Criteria	Note	Complies
Associated devices and logos with advertisements and advertising structures	N/A	N/A
Illumination	The restaurant naming signage is proposed to be illuminated by discreet low voltage fixtures located beneath the existing sandstone window sills above the signs on Nurses walk and fixed from the timber cladding above for the sign on Suez Canal. The proposed illumination will not give rise to any unreasonable off-site impacts.	✓
Safety	- The proposed sign will not encroach on the roadway or interfere with pedestrian or vehicular sight-lines. - The signage will not reduce the safety for pedestrians or bicyclists.	✓

5.2.6. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The site is within an area subject to the provisions of *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005* (the “Harbour REP”). The Harbour REP has specific provisions applicable to an area defined as the “Foreshores and Waterways Area”, and the entire precinct of The Rocks is within the Foreshores and Waterways Area.

Development within the Foreshores and Waterways Area must consider the matters included in clause 21 to 27 of the Harbour REP. Given the scope of the proposal, it will not have an adverse impact upon the scenic quality or ecology of the Harbour. The site sits outside the Sydney Opera House buffer zone. The proposal is consistent with the aims and objectives of the SREP.

5.2.7. Sydney Local Environmental Plan 2012

Although the site is within the City of Sydney LGA, the provisions of the Sydney Local Environmental Plan 2012 largely do not apply to development in The Rocks due to the various SEPPs outlined above and the SCRA Scheme.

The relevant SLEP 2012 provisions applicable to the SSD are reviewed in Table 2 below. The proposal is consistent with the relevant objectives and provision of SLEP 2012.

Table 3 – Sydney Local Environmental Plan 2012

PROVISION	RESPONSE
Heritage Conservation (Clause 5.10)	Clause 5.10 aims to conserve environment heritage, heritage items, conservation areas, archaeological sites and places of significance. As above, the site is listed on the State Heritage Register. Heritage Impact Assessment Detailed heritage assessment of the proposal in relation to its context has been undertaken in a Heritage Impact Assessment provided at Appendix E. The HIS concludes: The proposed concept is supported on heritage grounds. The proposal has been designed with heritage considerations at the forefront. The replacement of the ageing 1980s rear deck with a more usable, yet enhanced design will improve both public access to the basement level and the viability of the proposed seamless business. The use of steel in the construction assists in the

PROVISION	RESPONSE
	durability of the structure and enables a self-supporting canopy. The choice of bridge paint for the main steel structure is very much in keeping with other steel structures throughout The Rocks area. • The creation of two additional openings to match an existing opening between the lower bays is a reasonable measure when balanced with the increase in public access to the significance spaces within the basement level and the ability to properly appreciate the basement. The proposed work would be undertaken by an experienced heritage stonemason with existing stone placement recorded and the stone either re-used or stored on site. • The Rocks is Sydney's most prominent heritage area and the subject site is a handsome and significant heritage building. While this can be appreciated by viewing the external elements of the building, increasing the accessibility of the significant basement area (by having a viable business operating from within) allows for a greater appreciation of the heritage significance of the basement space, the overall building and the broader area. Indigenous Archaeology • Unearthed Archaeology & Heritage undertook an Aboriginal archaeological assessment of the proposed area for excavation in accordance with in accordance with the Office of Environment & Heritage's (OEH) <i>Guide to investigating, assessing and reporting on Aboriginal cultural heritage in NSW and Code of Practice of Archaeological Investigation of Aboriginal Objects in NSW</i>. • The report concludes: – There is no objection to the proposed development on archaeological grounds; – No Aboriginal objects were recorded during the site inspection and it is expected that any sites or evidence of Aboriginal occupation will have been removed during excavation and quarrying of the site historically; • Unearthed provided the following recommendations / mitigation measures to ensure the protection of any potential archaeological finds: – Inspection should be made of the ground surface underlying the existing slab/floor surfaces upon removal for the proposed development by a qualified archaeologist to confirm the historical disturbance within the areas of proposed works; – If, during the proposed works, any Aboriginal objects or evidence of Aboriginal occupation is uncovered, all work must cease in the vicinity of the suspected Aboriginal objects or evidence of occupation, and further advice should be sought from a qualified archaeologist. Non-Indigenous Archaeology • Casey and Lowe were engaged to provide an assessment of non-Indigenous archaeology potential at the site due to the minor excavation works. The report finds: – The area is considered to be heavily disturbed due to construction and renovation activities which have occurred from 1988. – The small level of excavation (400x400x200mm deep) for new pad footings will allow the nature of the underlying strata of these areas to be determined and recorded. Similarly, the excavation for the new deck pad footings on Nurses Walk may expose evidence of the laneway's earlier surfacing.

PROVISION	RESPONSE
	- Casey and Lowe provided the following recommendations / mitigation measures to ensure the protection of any potential archaeological finds: - Once the sections of lower ground flooring or concrete slab in the areas identified are lifted, the underlying strata is inspected by an archaeologist to determine whether it is fill prior to any work taking place. The nature of the fills under the present concrete slab can then be recorded.
Other land uses (car parking) (Clause 7.9)	The provisions of Part 7 Division 1 seek to implement maximum parking provisions, aimed at limiting the number of car spaces as a means of reducing vehicular traffic. The maximum number of car parking spaces for a building used for the purposes of hotel accommodation is 1 space for every 4 bedrooms up to 100 bedrooms. There is no car parking provided at the site, which encourages patrons to arrive via active modes of transport and reduces traffic generation on the surrounding road network.

5.2.8. Sydney Development Control Plan 2012

Sydney Development Control Plan (SDCP) 2012 does not apply to this application pursuant to Clause 11 of SEPP SRD. However, the DCP has been considered and the proposal is generally consistent with the relevant signage provisions (Section 3.16.3) per Table 4 below:

Table 4 – SDCP 2012 Assessment

SDCP 2012 Provision	Comment	Complies
(1) Signage is to be compatible with the architecture, materials, finishes and colours of the building and the streetscape	- The materiality (brass) is an appropriate response to the sensitive heritage fabric. - The design of the restaurant naming signage allows the texture of the existing masonry and timber to be read continuously behind the lettering. - The dimensions of the proposed signs are appropriate given the size and overall scale of the building.	✓
(2) Signage attached to a building is to be positioned in locations or on panels in between any architectural elements (such as awnings, windows, doors and parapet lines). Signs are not to conceal or detract from integral architectural features or cover any mechanical ventilation systems.	Complies. Signs do not conceal any architectural features.	✓
(3) Signage is to be installed and secured in accordance with relevant Australian Standards.	Noted. This can be conditioned by the consent authority accordingly.	✓
(4) Signage that will detract from the amenity or visual quality of heritage items, heritage conservation areas, open space areas, waterways or residential areas is not permitted.	Complies – the HIS appended to this EIS concludes: “[the] additional signs will have a negligible impact on heritage significance of the item and will assist to promote use and appreciation of the site.”	✓

SDCP 2012 Provision	Comment	Complies
(5) Signage should not create unacceptable visual clutter taking into account existing signs, neighbouring buildings, the streetscape and the cumulative effect of signs.	Visual clutter is minimised. Signs are sited at a suitable distance apart and are sized to ensure they don't dominate the visual appearance of the site (or any façade).	✓
(6) Signs should allow the main facades of buildings from the first floor to the rooftop or parapet to be uncluttered and generally free of signage	Minimal signage is proposed, and as above, the sizing and proposed location of the signage does not give rise to any visual clutter or off-site environmental impacts.	✓
(7) Signage is not to be supported by, hung from or placed on other signs or advertisements.	N/A – not proposed.	N/A
(8) Signage that will distract road users, or could be mistaken for a traffic control device, is not permitted.	N/A – not perceptible from the road.	N/A
(9) Signage that will unduly obstruct the passage or sightlines of vehicles, cyclists or pedestrians is not permitted.	N/A – due to the size, location and siting of the signs, the passage or sightlines of vehicles, cyclists or pedestrians will not be unduly obstructed.	N/A
(10) Advertisements, dynamic content signs and light projection signs on or within the vicinity and visible from a classified road are to be consistent with the road safety criteria in section 3 of the NSW Transport Corridor Advertising and Signage Guidelines.	N/A – not proposed.	N/A
(11) Signage is not to contain reflective materials, colours and finishes	N/A – not proposed.	N/A
(12) Signage is not to incorporate sound, vibration, odour or other emissions, unless the emission is necessary as part of a community message, an approved public artwork or to meet accessibility requirements.	N/A – not proposed.	N/A
(13) Signage is not to result in the gathering of people in any manner that will limit the movement of motorists, cyclists or pedestrians along a public road, thoroughfare, footway or other access way.	N/A – not proposed. Signage is related to the restaurant use of the building and will not cause any undue gathering or crowding.	✓

6. ENVIRONMENTAL ASSESSMENT

6.1. VISUAL AND VIEW IMPACTS

In responding to the requirements of the SEARs, a Visual Impact Assessment has been prepared by Envisage. The RMS (2013) methodology for assessing visual impact has been adopted for this project, which combines two criteria (sensitivity and magnitude of change) to identify an overall level of visual impact.

There are two viewing locations in the public domain from where the effect of the proposed new deck would be visible (see Figure 8):

Figure 8 – Key Public Domain Viewpoints



Envisage found the proposal to have an acceptable level of impact considering the prevailing character of the area, concluding:

- There would be no more than a minor impact to any surrounding viewpoints and there would be no reduction in the visual connectivity of any sightlines.
- The new deck would be a 'like for like' replacement which has been designed in consultation with heritage specialists; and
- The visual nature of these proposed changes can be justified as being visually acceptable and would lead to an overall minor visual effect or impact.

6.2. AMENITY

6.2.1. Sunlight

The proposal for a deck awning will provide for a 'weather proof' alfresco dining space, offering greater amenity to visitors. The hotel currently uses temporary/removable shade umbrellas on the deck. The proposed permanent solution will only cause slightly more overshadowing to Nurses Walk at 12 noon during the winter solstice (21 June). Refer to the shadow diagrams at Appendix C for further detail.

6.2.2. Wind

The proposal for a deck awning will not alter the wind environment on Suez Canal or Nurses Walk by any more than an inconsequential level when compared to the existing situation.

6.2.3. CPTED

The proposed refurbishment works will result in an enhancement in the presentation of The Harbour Rocks Hotel to the adjoining public domain. Existing security protocol at the Hotel (personnel, CCTV etc.) will remain in place. The proposal will result in an acceptable CPTED outcome. The external deck will provide passive surveillance of the walkway.

6.3. NOISE

A noise and vibration assessment has been undertaken by SLR (see Appendix K) in response to the SEARs requirements. The report discusses the criteria for noise emissions from the development with respect to construction and operational noise sources, addresses the noise impact from the development onto the nearest noise sensitive receivers, and provides conceptual recommendations where required to support the proposal.

6.3.1. Construction

The NSW Environmental Protection Authority (EPA) *Interim Construction Noise Guideline* (ICNG) (DECC, 2009) has been used to guide the construction noise and vibration assessment.

SLR conclude that the proposed works are low in intensity, limited in duration and can be expected to generate low levels of noise. Through considered management of the works it is expected that construction noise and vibration levels can be readily controlled to meet the relevant limits.

6.3.2. Operation

Mechanical Plant

The NSW EPA *Industrial Noise Policy* (INP) provides a framework and process for deriving noise criteria.

It is understood that an existing (currently capped off and unused) roof duct with a new fan is to be used to supply fresh air ventilation. This duct is located on the roof of the building on the Nurses Walk side. In lieu of mechanical services design data, SLR have conservatively assumed internal mechanical plant noise levels of 50 dB LAeq at 3m.

On this basis, the mechanical services noise levels at the commercial receivers 8m away on the opposite side of Nurses Walk and the residences (~30m away) on the opposite side of Harrington Street are predicted comfortably comply with the INP criteria.

Patron/Entertainment Noise

The Nurses Walk façade of the restaurant comprises four sets of openable double doors which will open onto the refurbished deck area. SLR have assumed the following in making an assessment of patron and entertainment noise:

- Internal reverberant noise levels (including background amplified music) of 75 dB LA10.
- Restaurant operating hours of 6:30 am to 12:00 am.
- Doors facing Nurses Walk may remain open through the entire operating period.
- Speakers on the veranda, if any, shall be limited to provide background ambient levels only - sufficient to enable patrons to enjoy comfortable speech.

As noted above, the residences on the opposite side of Harrington Street are some 35m from the Nurse's Walk façade and afforded significant screening due to the intervening hotel building.

Due to the distance and significant acoustic screening, patron/entertainment noise from the restaurant and veranda is predicted to be comfortably beneath the project criteria.

6.4. TRAFFIC

The existing Hotel operation does not comprise any on-site parking, with the proposal not seeking to provide any. As discussed in Section 5.2.7, the Sydney LEP 2012 prescribes maximum car parking spaces, not minimums. Due to the heritage nature of the building, seeking to retrofit basement car parking would be unfeasible.

Currently, patrons can arrive via public transport as the site is proximate to Wynyard and Circular Quay train stations, Bus stops on Bridge Street, the Circular Quay ferry terminal and various taxi ranks. The proposed increase in patron numbers will not cause undue stress to the existing transit network servicing the site.

6.5. ENVIRONMENTAL, CONSTRUCTION AND SITE MANAGEMENT

6.5.1. Environmental Management

The following environmental issues have been identified by Promena Projects in the Preliminary Environmental Management Plan with the appropriate 'control method' to be conditioned and form part of the Construction Management Plan proper prepared by the appointed building contractor:

Table 5 – Environmental Management Procedures

Environmental Issue	Control Method	Responsibility
Recycling	Demolition materials and site generated waste shall be recycled where possible.	Demolition Subcontractor
Hazardous Substances	Any hazardous substances discovered on site shall be treated with care and in line with the approved guidelines and SWMS for their removal from site. Any chemical or hazardous substances used during the construction process will be used in line with their approved MSDS and instructions for use.	Demolition Subcontractor
Erosion and Sediment Control	Erosion and sediment control will be controlled in line with the Erosion and sediment control plan produced by the Hydraulic Engineer. Additional Erosion control like gutter guards and hay-bales will be used if required.	Demolition Subcontractor
Noise & vibration	Noise and vibration is to be minimised using small machinery during demolition works. Constant monitoring of demolition activities will be undertaken to ensure vibration and noise is eliminated where possible.	Demolition Subcontractor
Stormwater	Stormwater runoff from site is to be controlled and filtered in line with an erosion and sediment control plan. It is expected this will be a requirement of the consent.	Promena Projects
Air Quality	Pollution from dust is to be reduced by wetting of dry fill during the demolition works.	Demolition Subcontractor

6.5.2. Construction Management

Promena Projects have prepared a Preliminary Construction Management Plan which outlines the following key measures:

- Standard working hours for audible noisy works are 7am to 6pm Monday to Friday and 8:00am to 1:00pm Saturdays. No site works can undertaken on Sundays or Public Holidays.
- All deliveries are to be received via site access on Harrington Street through to Seuz Canal.

- Hours of delivery are to be before 6:30am Monday to Friday to avoid public disruption.
 - Appropriate traffic control and pedestrian control measures will be in place for all material deliveries.
 - All materials will be stored within the site boundaries. All subcontractor materials are to be stored off site and delivered to site only as required.
- All construction waste will be removed from site via wheelie bins and skip bins on wheels or dollies.

6.5.3. Traffic Management

Due to the scale and scope of the proposed works, there is not expected to be significant impacts upon the local road network, however at select times, material deliveries may inhibit local traffic (due to stationary vehicles). To address this potential traffic-related issue the following mitigation measures are proposed:

- All deliveries are to be received via site access on Harrington Street through to Seuz Canal.
- Hours of delivery are strictly before 6:30am Monday to Friday to avoid public disruption.
- Appropriate traffic control and pedestrian control measures will be in place for all material deliveries.
- All materials will be stored within the site boundaries.
- All subcontractor materials are to be stored off site and delivered to site only as required.

For further information regarding construction, environmental and traffic management refer to Appendix L.

7. VARIATION TO SCRA SCHEME

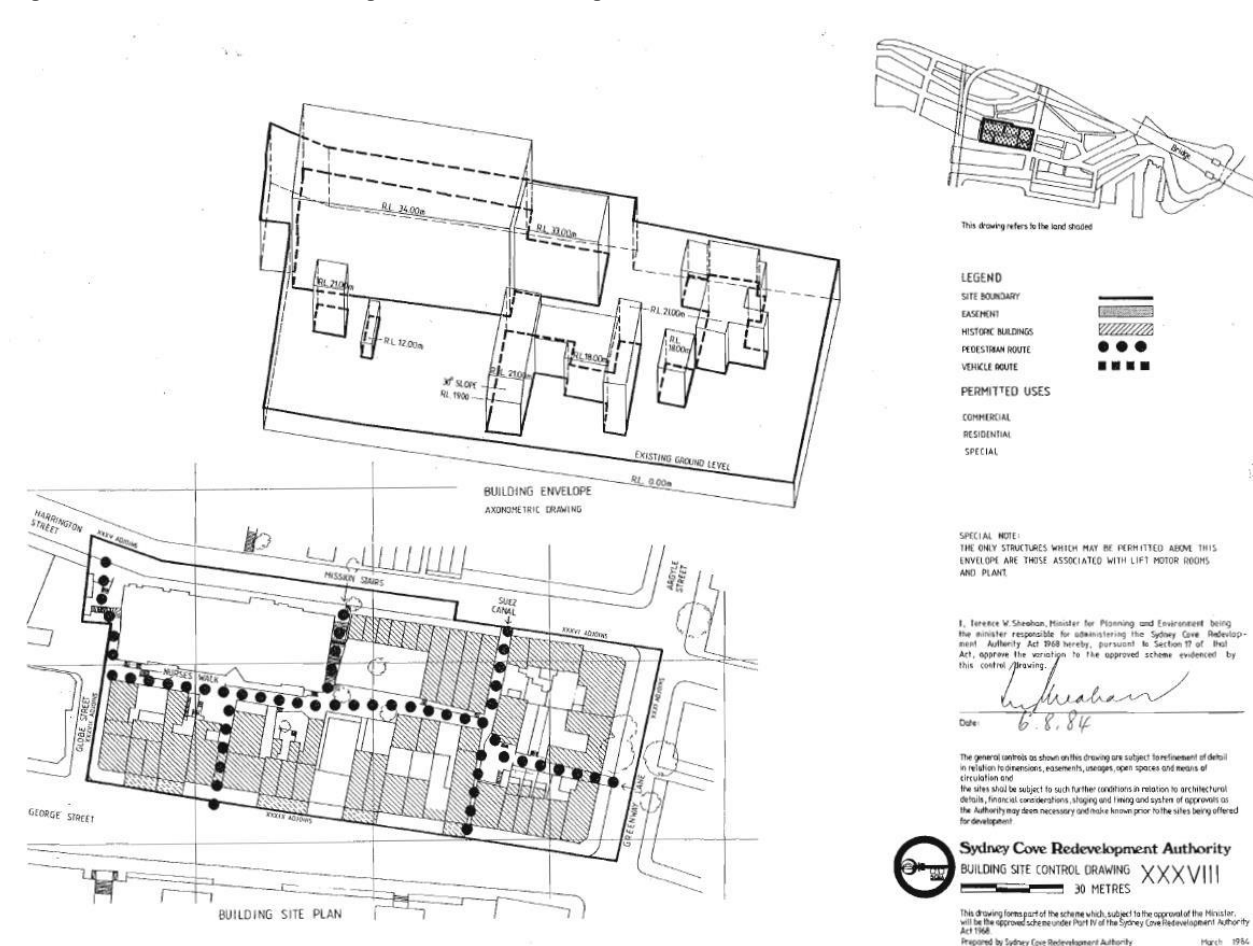
This application is made under Part 2 of Environmental Planning and Assessment (Sydney Cove) Savings and Transitional Regulation 1999. A variation is sought to the approved scheme to enable the Minister to grant development consent to the SSD application. This section of the report includes:

- A description of the way in which the proposed development does not comply with the relevant provisions contained within SCRA Scheme.
- Reasons for the variation to the current provisions of the SCRA Scheme.
- Assessment of the matters listed in Clause 9(2) of the Regulation.

7.1. DESCRIPTION OF THE PROPOSED SCRA VARIATION

The relevant Building Site Control Drawing for the site at 34-52 Harrington Street is Drawing XXXVIII. The current and applicable version is Drawing XXXVIII endorsed by the Minister on 6 August 1984, and a copy is provided at Figure 9 below.

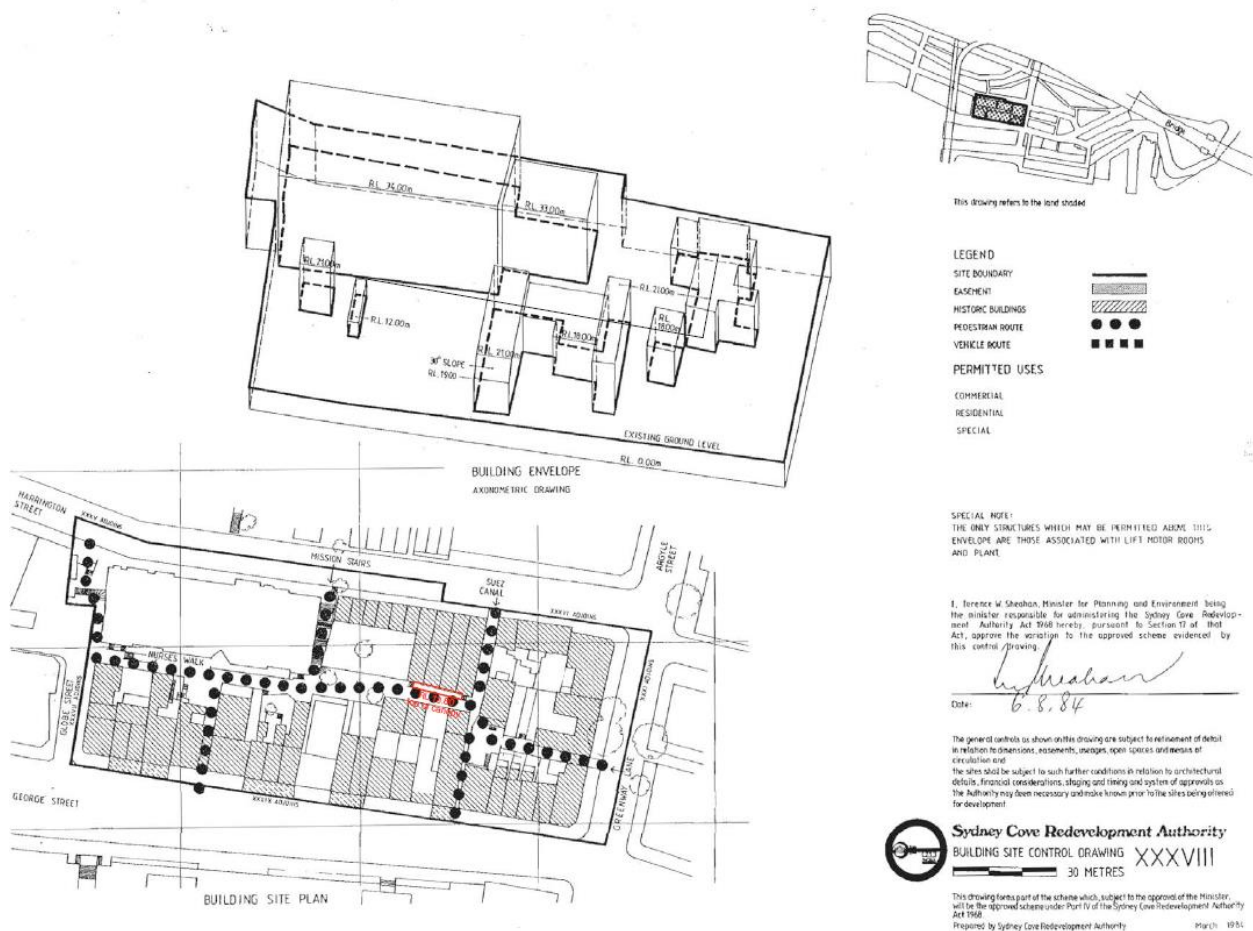
Figure 9 – SCRA Scheme Building Site Control Drawing XXXVIII



The drawing specifies an axonometric envelope across the site, which will be protruded by the proposal at the eastern elevation fronting Nurses Walk due to the awning structure.

A draft axonometric drawing has been prepared to replace the existing drawing that reflects the proposed development outlined in detail within the EIS. A reduced sized copy of the replacement drawing is provided as Figure 10 and at Appendix C.

Figure 10 – Proposed SCRA Building Envelope



The variation assists in delivering the following benefits:

- Provide greater user amenity, and allow greater functionality of the space.
- Represents a contemporary refurbishment solution which relates to, and is consistent with the surrounding heritage context.
- Avoids detrimental visual impacts or view loss.

Additional detail regarding the design rationale for the proposed development is provided in the Architectural Design Report prepared by Welsh + Major. Justification for the proposed variation to the SCRA Scheme is provided in the following section of this report.

7.2. CLAUSE 9(2) ASSESSMENT

Clause 9 of the Environmental Planning and Assessment (Sydney Cove) Savings and Transitional Regulation 1999 provides an overview of the key statutory considerations the Minister must consider in determining to grant a variation to SCRA.

The proposed variation to the approved scheme has been assessed in accordance with the provisions of Clause 9(2) as outlined below:

Table 6 – Clause 9(2) Assessment

Clause	Response
(a)(i) Will not permit development that will adversely affect	Streetscape and visual impacts: The proposal has been designed to provide a high design quality and response to the surrounding properties.

Clause	Response
development on adjoining land	Views and vistas: The visual impact assessment prepared by Envisage found there would be no more than a minor impact to any surrounding viewpoints and there would be no reduction in the visual connectivity of any sightlines. Odour: The applicant can advise that a charcoal grill / solid fuel cooking is no longer proposed and there will be no adverse odour impacts resulting from the proposal.
(a)(ii) heritage significance of buildings, structures or sites in the locality	In response to the State Heritage listing of the site a Heritage Impact Statement has been prepared by Urbis. The proposed concept is supported on heritage grounds. The proponent has also undertaken extensive consultation with Place Management NSW's (the landowners) Heritage team to create an acceptable solution which meets functional, heritage, safety and BCA/DDA requirements. Overall, it is considered that the proposed variation from the SCRA Scheme will not result in any significant adverse effects on the heritage significance of the area or the individual items of heritage significance.
(a)(iii) quality of the public domain in the locality	The proposed variation to the SCRA Scheme will result in an improvement to the hotel's external amenity and the general presentation of the Harbour Rocks Hotel building to the public domain.
(b) impact on the natural or built environment and social or economic impact in the locality	The proposal is considered to have a direct social and economic benefit to the locality as it: • Reinforces the existing use of the building. • Refurbishes and reinvests in the upkeep of an item of State Heritage. • Continues to promote The Rocks as a pre-eminent tourism destination; and Successfully mitigates impacts upon the natural and built environment as described in Section 6 of this EIS.
(c) general planning and design principles for the Sydney Cove Redevelopment Area	As above, the proposal meets the objectives of the SCRA Scheme in that does not give rise to any adverse environmental impacts and will provide a direct public benefit through reinvestment in an item of State heritage, serving to improve the functionality of the space in a way which achieves both BCA/DDA compliance while respecting the heritage fabric of the building.

7.3. SUMMARY

Section 7 has been prepared in support of a proposed amendment to the SCRA Scheme and in conjunction with a SSD application for the refurbishment of the Harbour Rocks Hotel at 34 Harrington Street, The Rocks.

The proposed variation is considered reasonable and will result in a positive outcome for the site. Accordingly, it is recommended the Secretary prepare a draft variation to the SCRA Scheme in accordance with the information provided within this report (including the amended Building Site Control Drawing) and the relevant provisions of the Environmental Planning and Assessment (Sydney Cove) Savings and Transitional Regulation 1999.

8. RECOMMENDATIONS AND MITIGATION MEASURES

A range of mitigation measures are proposed to reduce any potential environmental and social impact of the proposal. Table 7 below provides a summary of the environmental management measures proposed.

Table 7 – Mitigation Measures

Item	Mitigation Measure
Aboriginal Archaeology	• Inspection should be made of the ground surface underlying the existing slab/floor surfaces upon removal for the proposed development by a qualified archaeologist to confirm the historical disturbance within the areas of proposed works; • If, during the proposed works, any Aboriginal objects or evidence of Aboriginal occupation is uncovered, all work must cease in the vicinity of the suspected Aboriginal objects or evidence of occupation, and further advice should be sought from a qualified archaeologist.
Non-Indigenous Archaeology	• Once the sections of lower ground flooring or concrete slab in the areas identified are lifted, the underlying strata is inspected by an archaeologist to determine whether it is fill prior to any work taking place. The nature of the fills under the present concrete slab can then be recorded.
BCA	• Key compliance issues outlined on Page 6 of the BM+G BCA Report at Appendix J must be resolved before the issuing of a Construction Certificate. BM+G conclude the proposal can readily achieve compliance with the BCA.
Noise and Vibration	• Construction Noise not to breach the thresholds nominated under The NSW Environmental Protection Authority (EPA) <i>Interim Construction Noise Guideline</i> (ICNG) (DECC, 2009) and Table 1 of the SLR Noise and Vibration Assessment at Appendix K. • Mechanical Plant noise not to breach the framework outlined under The NSW EPA <i>Industrial Noise Policy</i> (INP) outlined in Table 4 of the SLR Noise and Vibration Assessment at Appendix K. • Patron / Entertainment noise not to breach the thresholds nominated per the standard EPA Noise Guide for Local Government outlined on page 8 of the SLR Noise and Vibration Assessment at Appendix K.
Construction Management	• The appointed contractor to prepare a detailed Construction Management Plan based on the parameters set out in the conditions of consent and the Promena Projects Preliminary Construction, Environmental and Traffic Management Plans at Appendix L.

9. CONCLUSION

The proposal delivers an intelligent refurbishment solution which provides for reinvestment in, and a celebration of, a State heritage listed building within one of Sydney's most prominent heritage and tourism precincts. The proposal will provide allow:

- An enhanced public domain and architectural outcome through the upgrade and refurbishment of the external deck structure.
- Improved accessibility in the basement area, with the heritage interventions creating a greater appreciation of this space and the building at large.
- Greater commercial viability for the Hotel owners, reinforcing the site's continued adaptive reuse and preservation.
- A boost to the tourist economy in The Rocks, with the proposal achieving the various State and Local Government objectives pertaining to the preservation of heritage and the promotion of a vibrant tourism and entertainment precinct.
- The project has undergone extensive consultation with the landowners Place Management NSW, who have provided rigorous independent review throughout the design process.
- Overall, it satisfies the commercial and heritage objectives of the project brief and successfully mitigates any undue or unreasonable environmental impacts.

Having considered all the relevant matters, it is concluded that that the proposal will facilitate a sound development outcome that upholds the NSW Government's vision for the site, and it is requested that the Minister approve this SSDA under Section 89E of the EP&A Act.

DISCLAIMER

This report is dated 22 November 2017 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of TMG Argyle and AMCO Argyle Pty Ltd (**Instructing Party**) for the purpose of Environmental Impact Statement (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

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This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.



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