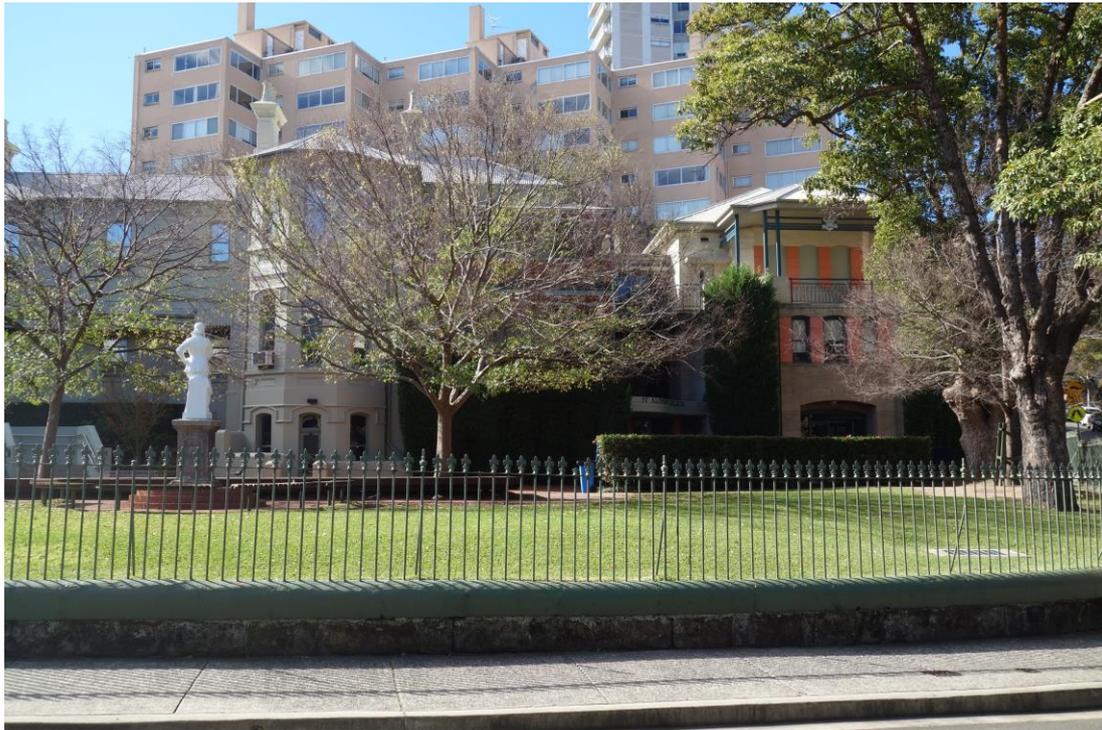


STATEMENT OF HERITAGE IMPACT

ST ALOYSIUS' COLLEGE MASTERPLAN AND STAGE 1 WORKS



St Aloysius' College Senior School
1-5 Jeffreys Street
KIRRIBILLI NSW 2060

9 FEBRUARY 2018



NBR&PARTNERS PTY LTD

Level 3, 4 Glen Street,
Milsons Point NSW 2061 Australia
nbrsarchitecture.com

ABN 16 002 247 565

Sydney: +61 2 9922 2344
Melbourne: +61 3 8676 0427
architects@nbrsarchitecture.com

DIRECTORS

Geoffrey Deane NSW reg. 3766, Rodney Drayton NSW reg. 8632,
Andrew Duffin NSW reg. 5602, Garry Hoddinett NSW reg. 5286,
Andrew Leuchars LA reg. 035, James Ward

ASSOCIATE DIRECTORS

Trevor Eveleigh, Samantha Polkinghorne, Brett Sherson, Andrew Tripet,
Jonathan West **SENIOR ASSOCIATES** Barry Flack
ASSOCIATES Derek Mah, Hung-Ying Foong Gill, Sophie Orrock,

NBRS & PARTNERS Pty Ltd
Level 3, 4 Glen Street
Milsons Point
NSW 2061 Australia

Telephone +61 2 9922 2344 - Facsimile +61 2 9922 1308

ABN: 16 002 247 565

Nominated Architects

Geoffrey Deane: Reg No. 3766; Andrew Duffin: Reg No. 5602; Garry Hoddinett: Reg No 5286

This report has been prepared under the guidance of the Expert Witness Code of Conduct in the Uniform Civil Procedure Rules and the provisions relating to expert evidence

This document remains the property of NBRS & PARTNERS Pty Ltd.

The document may only be used for the purposes for which it was produced. This report is provided for the use of and reliance upon by St Aloysius' College (ABN 46 621 313 264) as the owner and beneficiary, and may not be relied upon by any other party without the express permission of St Aloysius' College.

Unauthorised use of the document in any form whatsoever is prohibited.

ISSUED	REVIEW	ISSUED BY
28 November 2017	Draft	L Masson
19 January 2018	Draft	P Jeffery
9 February 2018	Final	P Jeffery

STATEMENT OF HERITAGE IMPACT: ST ALOYSIUS' COLLEGE MASTERPLAN AND STAGE 1 WORKS

St Aloysius' College Senior School, 1-5 Jeffreys Street, Kirribilli NSW

CONTENTS

1.0	INTRODUCTION	1
1.1	Background	1
1.2	Methodology	1
1.3	Site location	2
1.4	Authorship	2
1.5	Acknowledgements	2
2.0	HISTORICAL CONTEXT	3
2.1	Kirribilli	3
2.2	History of the Subject Site	4
2.3	Description of the Building	12
2.4	Views	12
2.5	Exterior Description	14
2.6	Internal Description	17
2.7	Previous Modifications	23
3.0	HERITAGE CONSIDERATIONS	24
3.1	Relevant Heritage Legislation	24
3.2	Heritage Significance of Wyalla	24
3.3	Heritage Items in the Vicinity	24
3.4	Significance of Heritage Items in the Vicinity	25
4.0	HERITAGE IMPACT ASSESSMENT	26
4.1	Design Intent	26
4.2	Proposed Works	26
4.3	Evaluation Against North Sydney Local Environmental Plan 2013	29
4.4	Evaluation Against North Sydney Development Control Plan 2013	29
5.0	HERITAGE IMPACT ASSESSMENT	32
5.1	Evaluation against the NSW Heritage Guidelines	32
6.0	CONCLUSIONS AND RECOMMENDATIONS	36
6.1	Conclusions	36
6.2	Recommendations	37
7.0	APPENDICES	38
7.1	NSW State Heritage Inventory: Wyalla, 1-5 Jeffreys Street Kirribilli	38
7.2	NSW State Heritage Inventory: Craiglea, 49 Upper Pitt Street Kirribilli	41
7.3	Architectural drawings showing the proposed masterplan and stage 1 works	45

LIST OF FIGURES

<i>Figure 1 - Sketch showing the location of St Aloysius' Senior School and its location relative to the Junior School (Burton Street) and Middle School sites.</i>	2
<i>Figure 2 - Extract from Parish Map No.PMap MN05 No.14061301 showing the 120 acres granted to Robert. (Source: NSW Land and Property Information)</i>	4
<i>Figure 3 – Plan A of 1 acre 0 roods and 39 perches in Parish of Willoughby County of Cumberland proposed to be brought under the Real Property Act by WH Platt, December 1881. The original curtilage of Wyalla is denoted by blue outline and shading thereon. (Source: NSW Land & Property Information, DP 55414)</i>	5
<i>Figure 4 – Block plan accompanying Certificate of Title Vol 2682 Fol 192. The pink shading indicates the area resumed from the property to round the corner. (Source: NSW Land & Property Information)</i>	6
<i>Figure 5 – Extract from Detail Survey North Sydney Sheet 4, 1891 showing original boundaries of Wyalla. (Source: North Sydney Heritage Centre Stanton Library)</i>	6
<i>Figure 6 – Portrait of Dr Alexander Kinnear Morson from a photograph by Moss, of Maitland. Morson lived and practiced at Maitland for several years before retiring to North Sydney. (Source: The Bulletin, 27 August 1881, p4)</i>	7
<i>Figure 7 – Rough sketch of Wyalla prepared by CJ Kaye in 1916. (Source: Reproduced in McNamara Soder & Associates, Conservation plan for "Wyalla", part of St Aloysius' College campus / prepared for St Aloysius' College, March 1993)</i>	8
<i>Figure 8 – Subdivision plan for subdivision of Ardross Estate showing Wyalla outlined in blue owned by St Aloysius College, 2 September 1922. (Source: North Sydney Heritage Centre Stanton Library, LH REF SP /26)</i>	9
<i>Figure 9 – Wyalla, ca1920s. (Source: North Sydney Heritage Centre Stanton Library, LH REF PF 1662)</i>	10
<i>Figure 10 – Detail from 1943 aerial survey of Sydney showing present curtilage of Senior School. (Source: NSW Land & Property Information, SIXMaps)</i>	10
<i>Figure 11 – Two views of Wyalla / Beryl Graham, 16 June 1977. (Source: North Sydney Heritage Centre Stanton Library, LH REF CT 10/26 and 10/27)</i>	11
<i>Figure 12 -View of the western elevation of Wyalla, looking east from Jeffreys Street, August 2016.</i>	12
<i>Figure 13 – View of Wyalla looking northeast from the corner of Jeffreys Street and Upper Pitt Street, August 2016.</i>	12
<i>Figure 14 -Partial view of Wyalla and its south annex, viewed from Upper Pitt Street, August 2016.</i>	12
<i>Figure 15 – Partial view of the south annex attached to the former main entrance to Wyalla, viewed from Upper Pitt Street, August 2017.</i>	12
<i>Figure 16 - General view of Jeffreys Street, looking northwest towards the Jeffreys Street Conservation Area, November 2017.</i>	13

<i>Figure 17 - View looking south along Jeffreys Street, November 2017.</i>	13
<i>Figure 18 - View looking northwards along the public walkway located to the east of Wyalla, November 2017.</i>	13
<i>Figure 19 - Partial view of the location of the proposed single-storey addition, November 2017.</i>	14
<i>Figure 20 - The western elevation of Wyalla, and its garden frontage looking eastwards from Jeffreys Street, August 2017.</i>	15
<i>Figure 21 - Partial view of Wyalla showing the a section of the nineteenth century balcony and verandah located at its southwest corner, August 2016.</i>	15
<i>Figure 22 - General view of the balcony showing the new floor finish, November 2017.</i>	16
<i>Figure 23 - Oblique view (looking northwest) of the west elevation, showing the proposed location of the ground floor addition, November 2017.</i>	16
<i>Figure 24 - General view of the western elevation of Wyalla showing the proposed location of the ground floor addition and the section of masonry and windows to be removed as part of the Stage 1 Works, November 2017.</i>	17
<i>Figure 25 - view of the ground corridor and its semi-circular roof to be retained and unaffected by the proposed works, November 2017.</i>	18
<i>Figure 26 - Partial view of the basement space and steps to be re-configured to address statutory requirements, November 2017.</i>	18
<i>Figure 27 - View of the former main entrance to Wyalla, November 2017. Note the original door has been removed.</i>	19
<i>Figure 28 - View of the ground floor corridor, looking north. Note the ceilings, cornices, and light fittings, were installed c2006. November 2017.</i>	19
<i>Figure 29 - Typical classroom located within Wyalla, showing the windows to be removed as part of this application, November 2017.</i>	20
<i>Figure 30 - Typical classroom located at Level 1, November 2017. Note the services riser located on the corner, the fire-rated plasterboard ceiling and coved cornice installed as part of the c2005 refurbishment works.</i>	20
<i>Figure 31 - View of the existing external stair between the northern addition and Wyalla, linking Levels 1, 2 and 3, would be enclosed as part of the Stage 1 works, November 2017. The render marked out to replicate ashlar stone would remain.</i>	21
<i>Figure 32 – View from the open stair, looking southeast over the site of the proposed addition, November 2017.</i>	21
<i>Figure 33 - General view of the first-floor corridor, looking south, November 2017.</i>	22
<i>Figure 34 – Partial view of the first-floor corridor west wall showing the are infill stud wall to be removed as part of the Stage 1 Works, November 2017.</i>	22

Figure 35 – Typical riser located at Level 2, November 2017..... 23

Figure 36 – General view showing the ceilings, coved cornices, and lighting installed, c2005, November 2017..... 23

Figure 37 – Extract from Heritage Map – Sheet HER_002 attached to the North Sydney LEP, showing the location of the two sites comprising St Aloysius College (Middler School) and heritage items in proximity to the school..... 25

Figure 38 – Perspective showing the bulk and scale of the proposed single-storey addition to the east elevation of Wyalla. Source: pmdl Architects, October 2017..... 26

Figure 39 - Elevations indicating the names of buildings comprising the Senior School, from left to right Wyalla Addition, Wyalla, Northeast addition (Pillbox Addition) and Dalton Hall. Source: pmdl Architects, October 2017..... 27

1.0 INTRODUCTION

1.1 BACKGROUND

St Aloysius' College is preparing a Masterplan for its three sites comprising:

- Junior School, 29 Burton Street Kirribilli;
- Middle School, 47 Upper Pitt Street Kirribilli; and
- Senior School, 1-5 Jeffreys Street Kirribilli.

The St Aloysius' College Redevelopment project has been designated a State Significant Development (SSD 8669) by the Minister for Planning. The Secretary's Environmental Assessment Requirements (SEARs) were issued on 28 August 2017, identifying both general requirements and key issues to be addressed in an Environmental Impact Statement (EIS), prepared by Willowtree Planning Pty Ltd, for the staged development.

This Statement of Heritage Impact has been prepared to, in part, address Heritage Issues (Key Issue 10) set out in the SEARs for Application SSD 8669. The relevant SEARs heritage requirements are:

- *The EIS should identify any listed or potential heritage items within the development area. If any listed or potential heritage items, including archaeological resources, are likely to be affected, a heritage Impact (HIS) must be prepared in accordance with the guidelines in the NSW Heritage Manual.*

A separate historical archaeological assessment has been prepared by Casey & Lowe to satisfy the archaeological requirements of the Environmental Impact Assessment.

This statement relates specifically to Stage 1 works to 1-5 Jeffreys Street, Kirribilli, as follows:

- The Masterplan and Concept Approval for St Aloysius' College Senior School, and
- The detailed built form approval for the Senior School.

1.2 METHODOLOGY

This report follows the principles outlined in the *NSW Heritage Manual* and the guidelines contained in *Statements of Heritage Impact* (NSW Heritage Office and Department of Urban Affairs & Planning, 1996, revised 2002).

The terms *fabric, place, preservation, reconstruction, restoration, adaptation* and *conservation* used throughout this report have the meaning given them in *Australia ICOMOS Charter for Places of Cultural Significance (Burra Charter) 2013*.

This assessment has taken into consideration the heritage planning controls contained in the following documents:

- North Sydney Local Environmental Plan 2013 (LEP)
- North Sydney Development Control Plan 2013 (DCP)
- *Heritage Act 1977 (NSW)*
- *Environmental Planning and Assessment Act 1979*

1.3 SITE LOCATION

St Aloysius' College Senior School is located at 1-5 Jeffreys Street, Kirribilli and is described as Lot 101 in DP 1108496 (Parish of Willoughby, County of Cumberland) by documents held by the NSW Land Titles Office. It is bounded to the north by low-rise residential development, to the east by a public walkway and high-rise residential development, to the south by Upper Pitt Street and the Middle School, and to the west by Jeffreys Street and the Jeffreys Street Conservation Area. The surrounding area is generally characterised by residential development, educational facilities, and foreshore open park areas.

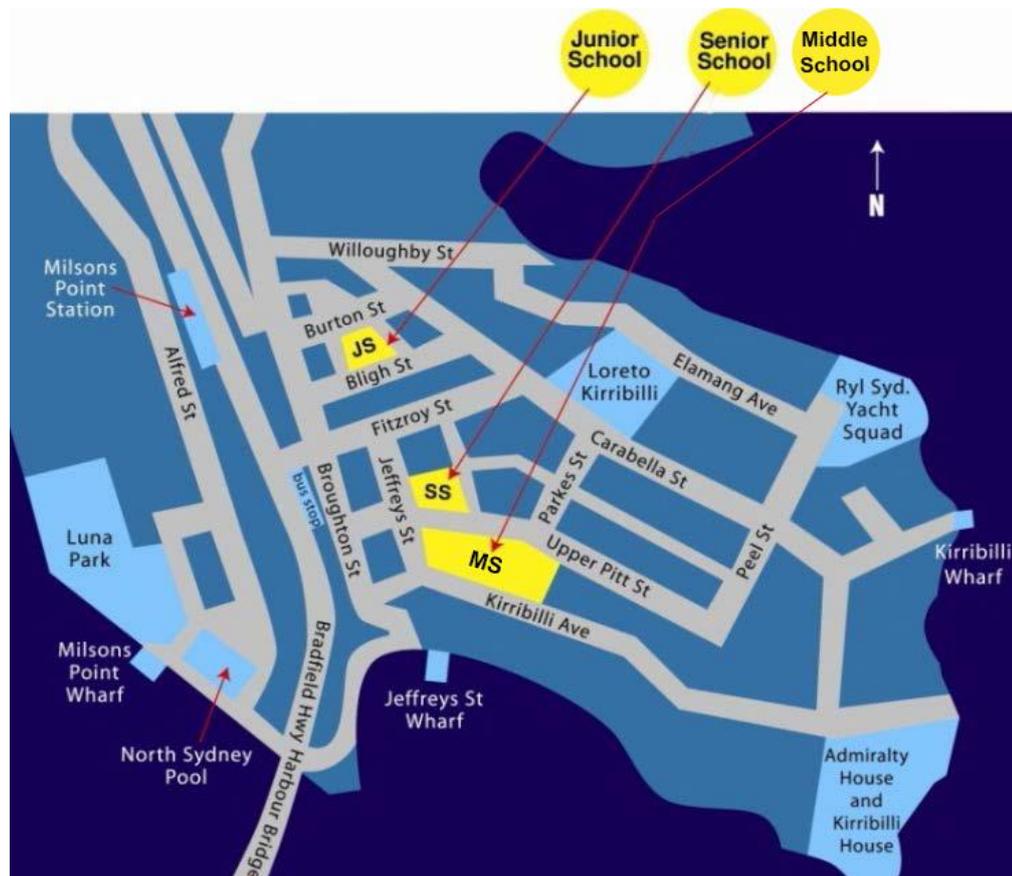


Figure 1 - Sketch showing the location of St Aloysius' Senior School and its location relative to the Junior School (Burton Street) and Middle School sites.

Source: www.staloyusius.nsw.edu.au

1.4 AUTHORSHIP

This report was prepared by Pam Jeffery, Senior Heritage Consultant, and Léonie Masson, Historian, both of **NBR**SARCHITECTURE. Illustrations and photographs contained in this report were prepared by **NBR**SARCHITECTURE unless otherwise noted.

1.5 ACKNOWLEDGEMENTS

The authors of this report gratefully acknowledge assistance of the staff of St Aloysius' College for providing access to archival material and records.

2.0 HISTORICAL CONTEXT

2.1 KIRRIBILLI

Kirribilli was originally part of land granted in 1794 to Samuel Lightfoot, a convict whose sentence had expired. Evidence suggests he never occupied the land and soon afterwards illegally sold it to Scottish martyr, Thomas Muir, who established a farm there in 1794 (further up the north shore). After Thomas Muir escaped from the Colony in 1796 the grant was retracted and reverted to the government. Eventually 30 acres of Lightfoot's grant was included in the 120-acre grant to Robert Ryan, a member of the NSW Corps. Around 1806 he sold his land to Sydney merchant, Robert Campbell, then the largest private owner of cattle in the colony. In 1822 Campbell leased the whole area to James Milson, the first white person to settle there. Milson supplied ships in Sydney Harbour with fresh provisions and water, as well as ballast from a quarry near Careening Cove. He also proceeded to build several homes including Brisbane House, Grantham, Wia Wia, Elamang and Coreena. In the mid-1830s Milson and Campbell disputed their title to the land. Campbell was eventually recognised as the owner without registered title and Milson the permissive occupant.

In the late 1830s and the early 1840s portions of Kirribilli Point were developed and marine villas erected. Among the earliest were Wotonga (now Admiralty House), Beulah, Woodlands (later Thuelda) and Carabella. Further development though was hampered by the lack of regular and cheap ferry services, and so early settlers of the area were largely merchants and colonial administrators who were attracted to the north shore for the cleaner air and environment and proximity to the city. These gentlemen could afford to pay private watermen to transport them between both shores.

Further subdivision of the land in the late 1850s attracted more professionals and commercial people. With the formation of the North Shore Steam Ferry Company in 1861, and the subsequent provision of cheap and regular ferry transport, the development of Kirribilli Point and the North Sydney area quickened. The construction of a road network and services such as piped water supply, gas, schools, churches, along with the promise of a harbour bridge or tunnel crossing from the 1880s, made the area even more attractive. Back from the ferry terminus there were crowded hotels and shops with smaller cottages and terrace houses for local workers.

Kirribilli continued to prosper into the twentieth century with the Residential Guide to Sydney and Suburbs, in 1915 describing it as *'a select rising suburb, situated on the Northern foreshores of Sydney Harbour. There are many handsome residences and fine streets, being of high elevation it commands perfect views of the harbour'*. Despite the ongoing absence of a fixed harbour crossing, the area was just a short ferry ride away and, developers saw opportunities to build flats and boarding houses. Early flat development around the Kirribilli foreshores offered prime viewing of the Harbour as well as a short ferry commute to work, and home again. One of the first flat buildings was erected on the Kirribilli waterfront in 1907 at 1 Waruda Street and others followed soon after. These buildings often occupied the sites of former large and rundown mansions built during the nineteenth century by wealthy landowners who were selling up or subdividing their properties to take advantage of the rising property prices. Population densities increased further as guesthouses and private hotels also sprang up to take advantage of the suburb's convenient location.

By the 1920s some areas of Kirribilli were regarded as too congested and many welcomed the demolitions that accompanied the construction of the Sydney Harbour Bridge from 1926. But the Bridge not only removed old building stock, it severely affected the viability of businesses that had gathered around the ferry terminal. The local economic effect of this

was compounded by the onset of depression in the 1930s and parts of the suburb were condemned as 'slums'. One response was modernisation through the building of low-income flats. The Greenway Flats, begun a decade later, on land cleared during the Bridge construction, were the clearest realisation of this ideal.

Through the 1950s and 1960s private developers also seized upon the ideal of modernisation. Continuing the pattern begun in the early 1900s, they built flats on the site of older housing stock. But, as in other parts of North Sydney, the unprecedented pace and height of this development prompted some residents to question the impact of high-rise buildings upon their suburb's identity and appeal. By the 1970s, Kirribilli had one of the highest population densities in Australia.



Figure 2 - Extract from Parish Map No.PMap MN05 No.14061301 showing the 120 acres granted to Robert. (Source: NSW Land and Property Information)

2.2 HISTORY OF THE SUBJECT SITE

The subject site is located on Lot 101 in DP 1108496, being originally part of 120 acres granted to Robert Ryan in April 1800.

Following the death of Robert Campbell in 1846, the estate was inherited by his six surviving children. Subdivision of the land began soon after. In May 1866 and October 1868

respectively, John Campbell and one of his siblings conveyed portions of the Campbell Estate to William Hampton Platt. Thereon, Platt promptly erected a large villa residence named "Ardross". The Platt family moved to the 'bush' near Carcoar in 1874. In December 1881, Platt lodged an application to convert the one acre and thirty-seven perches of land to Torrens title. At this date, the property was valued at £5000 and was in the occupation of Robert H Burnett. One month before the application, Platt had signed an agreement for sale to John Noake and John Daniel Ewens for £5000. The land is shown in a survey plan reproduced at Figure 3. Certificate of Title Vol 616 Fol 69 was issued in December 1881 in the name of William Hampden Platt of Carcoar. Simultaneously, Burnett's tenancy was set to expire in February 1882.

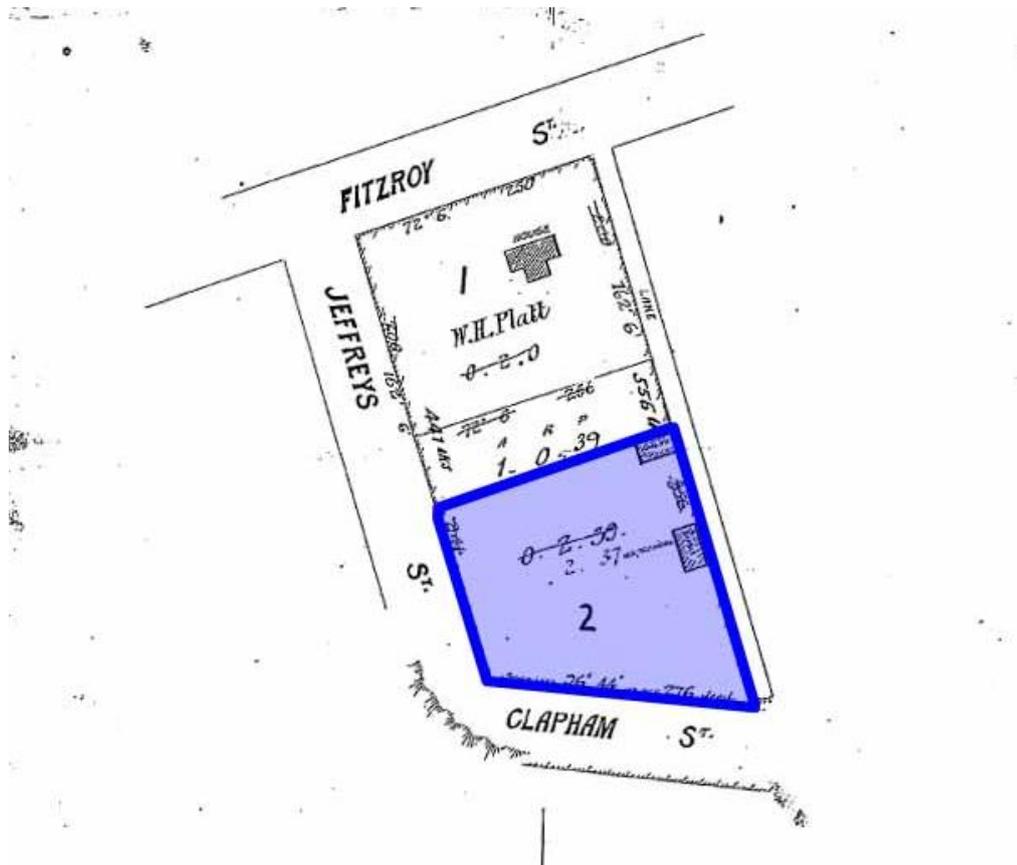


Figure 3 – Plan A of 1 acre 0 roods and 39 perches in Parish of Willoughby County of Cumberland proposed to be brought under the Real Property Act by WH Platt, December 1881. The original curtilage of Wyalla is denoted by blue outline and shading thereon. (Source: NSW Land & Property Information, DP 55414)

In April 1888, Platt subdivided Ardross into two portions, and conveyed the southern mostly undeveloped half to Winifred Margaret Dodds, wife of Leonard Dodds of Balmain, mining agent; Ardross and the residue of grounds was conveyed in November 1889 to Henrietta Noake for £2000.¹ Figure 4 comprises a plan of the two roods and eight perches of land conveyed to Dodds.

¹ CT Vol 616 Fol 69, NSW Land & Property Information



Figure 4 – Block plan accompanying Certificate of Title Vol 2682 Fol 192. The pink shading indicates the area resumed from the property to round the corner. (Source: NSW Land & Property Information)



Figure 5 – Extract from Detail Survey North Sydney Sheet 4, 1891 showing original boundaries of Wyalla. (Source: North Sydney Heritage Centre Stanton Library)

Wyalla, a substantial brick house, was erected on the land at the corner of Jeffrey and Pitt Streets by the beginning of 1889. The first known tenant of the house was TH Ivey, a Manager of the Bank of New South Wales. He lived there for a short period as in December 1891, Dodds sold the property to Dr Alexander Kinnear Morson of North Sydney.² Thereafter the North Sydney Council rate books record Morson as the owner and occupier of Wyalla.

² CT Vol 881 Fol 193, NSW Land & Property Information

Similarly, Morson is identified as the principal householder in the residence in Pitt Street at the 1891 census, with a total of four males and four females living in the home.

The footprint of the house and outbuildings is shown in the detail survey of 1891 (Figure 5). This 1891 base plan, shows *Wyalla* as a main block with a wing projecting to the north, a three-sided bay won the southern elevation, with a similar bay on the western face. The two bays were connected by a two-storey verandah at the south-west corner. Entry to the house was via a large set of stairs on the southern (Pitt Street) frontage, with a smaller set of steps on the western facade fronting Jeffrey Street. Later additions are indicated as cross-hatched structures on the site along the north-western boundary.

Dr Alexander Kinnear Morson died at *Wyalla* on 15 November 1902. Shortly before his death, Morson retired as a trustee for the North Shore Hospital. He left an estate valued at £13,955/8/1. In 1908, the property passed by transmission to his widow, Maria, who had continued to live in *Wyalla* after her husband's death. She promptly sold the property in January 1908 to Annie Wilson Hardwick Hutton, wife of George Hutton of North Sydney.³

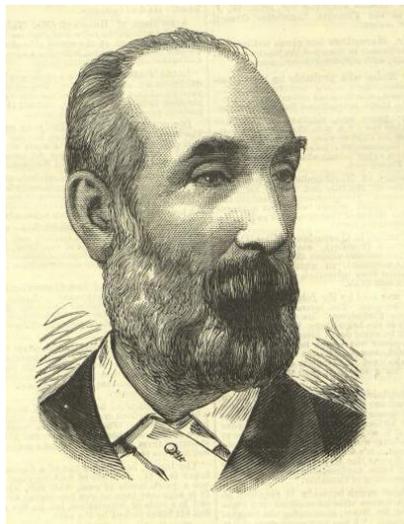


Figure 6 – Portrait of Dr Alexander Kinnear Morson from a photograph by Moss, of Maitland. Morson lived and practiced at Maitland for several years before retiring to North Sydney. (Source: *The Bulletin*, 27 August 1881, p4)

Mrs Annie Hutton moved into *Wyalla* soon after and is listed at 46 Pitt Street in the Sands Directory and North Sydney Council valuation books. During her occupancy of the property she operated the residence as a boardinghouse. Until March 1916, Mrs Hutton continued to operate *Wyalla* as a boardinghouse. Two months later, on 17 May 1916, she ordered the auction sale of her superior furniture and general household effects "in consequence of having sold her fine residence and her decision to relinquish housekeeping".⁴ In the intervening period, the property was placed in the hands of CJ Kaye. He approached St Aloysius' College offering the property to the Jesuit fathers for the sum of £6250. The school expressed interest in purchasing *Wyalla* as student numbers had increased substantially in 1915 and the existing school facilities located on the south side of Pitt Street (refer to Figure 7) were overcrowded. Eventually a sale price of £5650 was agreed upon and the conveyance was registered on 17 June 1916.⁵

³ CT Vol 2682 Fol 193, NSW Land & Property Information

⁴ *Daily Telegraph*, 10 May 1916, p3

⁵ McNamara Soder & Associates, *Conservation plan for "Wyalla", part of St Aloysius' College campus / prepared for St Aloysius' College*, March 1993



Figure 7 – Rough sketch of Wyalla prepared by CJ Kaye in 1916. (Source: Reproduced in McNamara Soder & Associates, Conservation plan for "Wyalla", part of St Aloysius' College campus / prepared for St Aloysius' College, March 1993)

MILSON'S POINT-KIRRIBILLI

ARDROSS ESTATE

4 Magnificent Building Sites together with Residence 'ARDROSS'

AUCTION SALE ON THE GROUND
SATURDAY 2nd SEPTEMBER 1922 at 3 P.M.

HARDIE & CORMAN PROPY LTD

AUCTIONEERS, "Ocean House" 36 Martin Place Sydney
Branch Office MILSON'S POINT

TORRENS TITLE

TERMS

For the Land —
20% Deposit, Balance by
8 equal Quarterly payments
Interest 6 1/2%

For the House —
1/3 Deposit, Balance on Mortgage
for 3 Years at 7% per annum

G. J. McGUIRE
Licensed Surveyor R.P.A.
28 Bond St Sydney

Figure 8 – Subdivision plan for subdivision of Ardross Estate showing Wyalla outlined in blue owned by St Aloysius College, 2 September 1922. (Source: North Sydney Heritage Centre Stanton Library, LH REF SP /26)



Figure 9 – Wyalla, ca1920s. (Source: North Sydney Heritage Centre Stanton Library, LH REF PF 1662)

Wyalla was converted to the Senior School of St Aloysius College accommodating up to 80 boys. The Senior School opened in term 3 in 1916. The statue of St Aloysius was installed in the grounds of Wyalla in 1929 during the School's jubilee celebrations. Two years later, a strip of Wyalla's grounds was dedicated to public use as a footpath.



Figure 10 – Detail from 1943 aerial survey of Sydney showing present curtilage of Senior School. (Source: NSW Land & Property Information, SIXMaps)

The main section of *Wyalla* remained substantially intact until the 1950s. During 1950, two small classrooms at the rear of *Wyalla* were enlarged into the Hepburn Memorial rooms. Otherwise, the lawn tennis courts and southern earth embankment were removed, and asphaltting of the remaining lawn areas took place between 1939 and 1955.

In 1951, the Old Boys Union and Ladies Committee commenced fundraising for a senior school war memorial wing. Three years later, coinciding with the 75th anniversary of St Aloysius' College, and in conjunction with receipt of federal government funding, the War Memorial Wing was added to *Wyalla* as a brick Science block at the south-east corner and opened by Cardinal Gilroy in April 1954. Between 1955 and 1967 a small, pre-1916 weatherboard building on the northern boundary and the northern embankment were removed.

In 1967 the junior students moved to *Wyalla* during major redevelopment of the main campus building. Following the relocation of the Junior School to the former Milsons Point Public School in Burton Street in 1993, *Wyalla* underwent renovations and restoration and the house was officially opened and blessed on 9 February 1997 as the new Senior School for Years 11 and 12.



Figure 11 – Two views of *Wyalla* / Beryl Graham, 16 June 1977. (Source: North Sydney Heritage Centre Stanton Library, LH REF CT 10/26 and 10/27)

Since that date, North Sydney Council approved the demolition of the adjoining buildings to the north, 1-5 Jeffrey Street to make way for a new building to include a pool, sports facilities, classrooms, rooftop parking, seminar rooms and offices.⁶ The recent north and south additions to *Wyalla*, including the walkway linking the first floor of *Wyalla* (Senior School) with the Middle School (47 Upper Pitt Street) were constructed between 1997 and 2012.

In 2017 St Aloysius' College commissioned PMDL Architecture + Design to prepare a masterplan for the Junior, Middle and Senior Schools. The masterplan provides a framework for optimising the College's existing buildings and facilities, that will enable it to maintain its functions and operations from its Kirribilli base into the future.

⁶ DA2007/469, North Sydney Council

2.3 DESCRIPTION OF THE BUILDING

2.3.1 SETTING

Wyalla was constructed as a free-standing residence, set back from Jeffreys Street. The original entrance was accessed from Upper Pitt Street, with a garden located to its west. Plans indicate a tennis court was located near the Jeffreys Street boundary in the early twentieth century.

In c2000 the setting was altered by the construction of classroom and auxiliary spaces to the north and south of the original house, although the garden frontage has been retained between *Wyalla* and Jeffreys Street, together with sections of the original palisade fence.

The early Victorian development to the north, east and south has been progressively replaced with medium- and high-rise residential development and educational facilities. An area containing surviving Victorian terrace housing is located to the west of Jeffreys Street, forming the Jeffreys Street Conservation Area (CA26).

2.4 VIEWS

The principal views to *Wyalla* are looking eastwards from Jeffreys Street and the Jeffreys Street Conservation Area to the former garden frontage. The original front entrance, which addressed Upper Pitt Street was irreversibly altered after 1997 when the south annex and pedestrian bridge were constructed.



Figure 12 -View of the western elevation of *Wyalla*, looking east from Jeffreys Street, August 2016.



Figure 13 – View of *Wyalla* looking northeast from the corner of Jeffreys Street and Upper Pitt Street, August 2016.



Figure 14 -Partial view of *Wyalla* and its south annex, viewed from Upper Pitt Street, August 2016.



Figure 15 – Partial view of the south annex attached to the former main entrance to *Wyalla*, viewed from Upper Pitt Street, August 2017.



Figure 16 - General view of Jeffreys Street, looking northwest towards the Jeffreys Street Conservation Area, November 2017.



Figure 17 - View looking south along Jeffreys Street, November 2017.



Figure 18 - View looking northwards along the public walkway located to the east of Wyalla, November 2017.



Figure 19 -Partial view of the location of the proposed single-storey addition, November 2017.

2.5 EXTERIOR DESCRIPTION

St Aloysius' College Senior School is located within the building located at 1-5 Jeffreys Street, Kirribilli. The building consists of three sections, the central section containing the surviving fabric of *Wyalla*, with brick additions to the north and south of the original building.

Wyalla was constructed as a two-storey residence with a basement, comprising traditional load-bearing brickwork, with a slate roof and terra cotta ridge and hip joints, and a verandah and cast iron and timber balcony located at the southwest corner of the original building. Gutters and downpipes were replaced as part of the c2005 refurbishment works. The surviving original external walls are painted render, lined out to imitate ashlar stone courses, with a decorative bracketed cornice below the boxed eaves.

The original balcony with cast iron balustrade, columns, and valance, has been retained on the western and southern elevations, although the balcony floor has been covered with a waterproof barrier.

Plans of *Wyalla* in the 1890s indicate the main elevation faced south (refer to Figure 5), while the west elevation faced the garden frontage. The east elevation faced a service lane running north-south between Fitzroy Street and Upper Pitt Street.

Original double hung timber framed windows have been retained on the east and west elevations, with French doors opening onto the first-floor balcony. Windows appear to have been re-glazed throughout the building and hardware replaced or augmented with deadlocks. Air conditioning units have been installed into several window sashes.



Figure 20 - The western elevation of Wyalla, and its garden frontage looking eastwards from Jeffreys Street, August 2017.



Figure 21 - Partial view of Wyalla showing a section of the nineteenth century balcony and verandah located at its southwest corner, August 2016.



Figure 22 - General view of the balcony showing the new floor finish, November 2017.



Figure 23 - Oblique view (looking northwest) of the west elevation, showing the proposed location of the ground floor addition, November 2017.



Figure 24 - General view of the western elevation of Wyalla showing the proposed location of the ground floor addition and the section of masonry and windows to be removed as part of the Stage 1 Works, November 2017.

2.6 INTERNAL DESCRIPTION

The interior of *Wyalla* has been irreversibly altered by previous alterations and adaptation of the residence as a school, including the removal of cooking and bathroom facilities. New services have been installed throughout the building resulting in the construction of risers and bulkheads inserted into original spaces.

Lighting fixtures, GPOs, and fitout, generally dates from c2005, and have negligible heritage significance.

2.6.1 GROUND LEVEL (WYALLA)

This level was originally constructed as the basement of *Wyalla*, but following the construction of the Wyalla Addition became the ground floor level, enabling level access into part of the Senior School.

The spaces have been substantially altered, including the construction of some new floors, insertion of services throughout the former house, and the construction of new door openings cut into original masonry walls. This level contains storage areas, plantrooms, and the "Cadets' Room" areas.

The original semi-circular ceilings have been retained, although new lights, movement detectors, and smoke detectors, have been installed throughout the area to address statutory requirements.



Figure 25 - view of the ground corridor and its semi-circular roof to be retained and unaffected by the proposed works, November 2017.

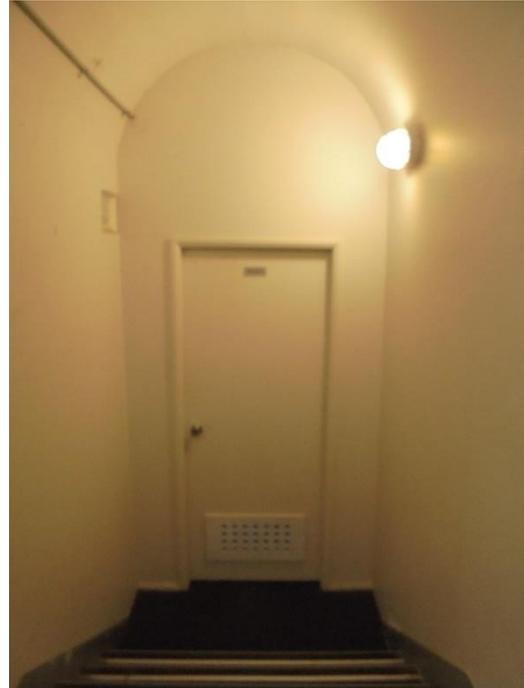


Figure 26 - Partial view of the basement space and steps to be re-configured to address statutory requirements, November 2017.

2.6.2 LEVEL 1 (WYALLA)

The original entrance to *Wyalla* was located at Level 1, accessed via steps and a verandah located on the south elevation of the house. The entrance screen remains *in situ* although the original door was removed in c2005, when the central hallway passage was adapted to connect the northern addition and *Wyalla*.

Wyalla was constructed as traditional load bearing masonry construction with timber floors and floor structure. Floors constructed as part of the 2005 works, abutting the original house, are reinforced concrete slabs and were not investigated as part of this report.

New ceilings and cornices have been installed throughout Level 1. Original windows and French doors have been retained on exterior walls. Original four-panel timber doors, architraves, and staff moulds have been retained throughout the ground level. The original clear finished joinery has been painted throughout the building.



Figure 27 - View of the former main entrance to Wyalla, November 2017. Note the original door has been removed.



Figure 28 - View of the ground floor corridor, looking north. Note the ceilings, cornices, and light fittings, were installed c2005. November 2017.



Figure 29 - Typical classroom located within Wyalla, showing the windows to be removed as part of this application, November 2017.



Figure 30 - Typical classroom located at Level 1, November 2017. Note the services riser located on the corner, the fire-rated plasterboard ceiling and coved cornice installed as part of the c2005 refurbishment works.

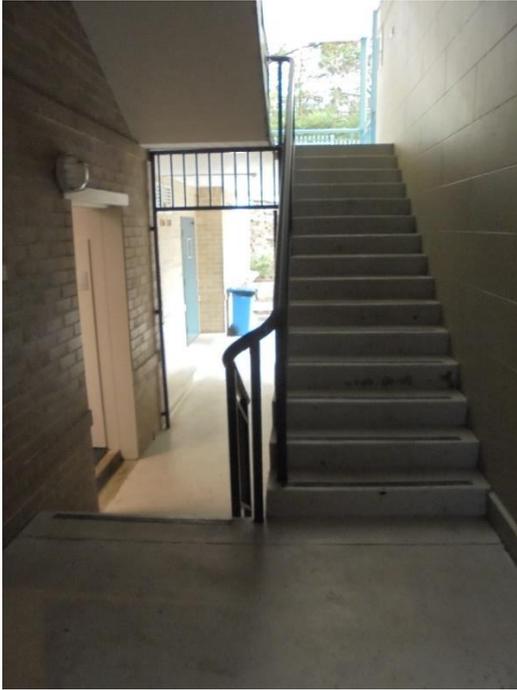


Figure 31 - View of the existing external stair between the northern addition and Wyalla, linking Levels 1, 2 and 3, would be enclosed as part of the Stage 1 works, November 2017. The render marked out to replicate ashlar stone would remain.



Figure 32 – View from the open stair, looking southeast over the site of the proposed addition, November 2017.

2.6.3 LEVEL 2 (WYALLA)

The Level 2 layout of *Wyalla* is similar to that at ground level, having a central corridor running north-south with two rooms located on either side. The corridor is divided by a semi-circular arch. There is a change in floor level at the northern end of the corridor, leading to the former service wing attached to the house, and now forming the interface with a c2005 building.

Large openings located on the southeast and southwest walls of the corridor appear to date from c1916, when the residence was first adapted as a school. Two early openings were infilled with stud walls in c2005 forming two separate rooms on either side of the corridor.

Four-panel doors and architraves have been retained and adapted, to enhance the original architectural character of *Wyalla*. The original ceiling has been replaced, or covered, with fire-rated plasterboard, and new cornices.

Chimneypieces have been removed throughout the building, although chimney breasts, including staff moulds have been retained throughout *Wyalla*. Ceilings and cornices have generally been replaced throughout the building. Those works appear to date from c2005, when substantial changes were undertaken including the installation of a HVAC system within *Wyalla*.



Figure 33 - General view of the first-floor corridor, looking south, November 2017.

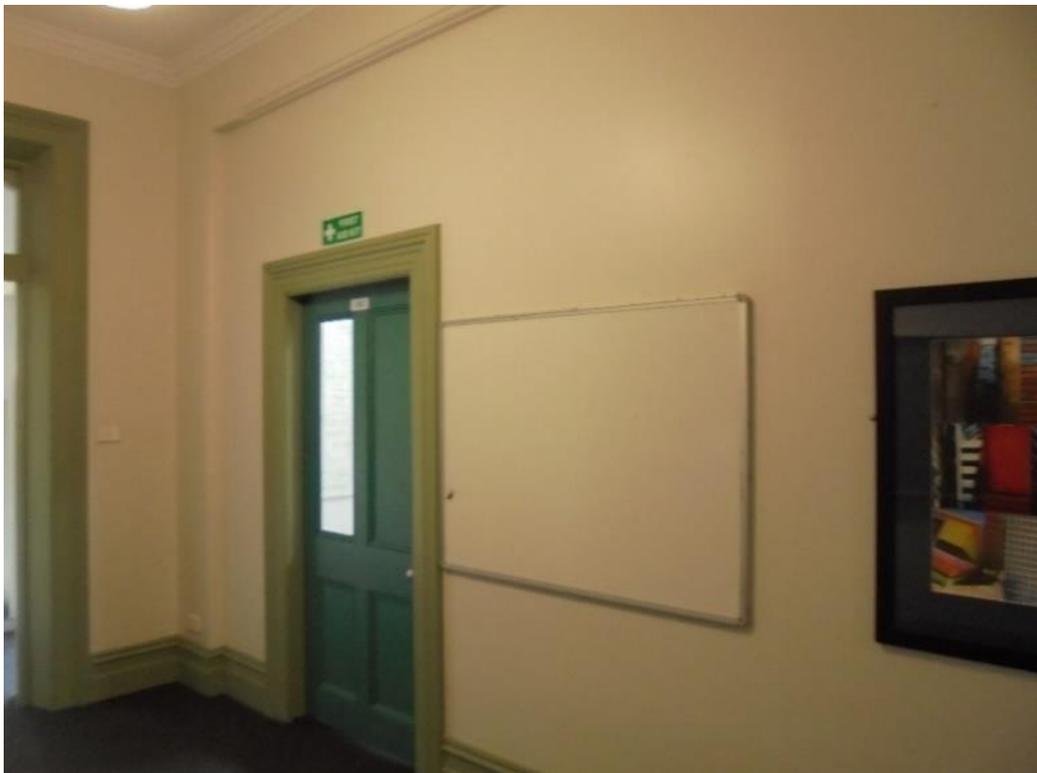


Figure 34 - Partial view of the first-floor corridor west wall showing the infill stud wall to be removed as part of the Stage 1 Works, November 2017.



Figure 35 – Typical riser located at Level 2, November 2017.



Figure 36 – General view showing the ceilings, coved cornices, and lighting installed, c2005, November 2017.

2.7 PREVIOUS MODIFICATIONS

The following alterations and modification have been carried out to *Wyalla* and its setting:

DATE	MODIFICATION
1886	<i>Wyalla</i> constructed as a residence
c1902	Tennis court constructed
1908	<i>Wyalla</i> adapted as boarding house; verandah and balcony partially enclosed
1916	<i>Wyalla</i> adapted as a school; lavatory facilities constructed; kitchen areas adapted
1931	Section of land to the east of <i>Wyalla</i> dedicated as public footpath
1950	Two classrooms enlarged to create the Hepburn Memorial Rooms
1997	Demolition of buildings to the east of <i>Wyalla</i> ; site increased following the acquisition of two allotments to the north of <i>Wyalla</i> ; southeastern addition to <i>Wyalla</i> constructed. <i>Wyalla</i> refurbished as Senior School; internal changes to walls; new internal openings constructed.
c2000-c2005	Setting of <i>Wyalla</i> House adapted; driveway relocated; palisade fence extended; timber and glass screens removed from balcony and verandah of <i>Wyalla</i> ; south addition to <i>Wyalla</i> constructed; pedestrian bridge over Upper Pitt Street constructed.
2011	Dalton Hall constructed.

3.0 HERITAGE CONSIDERATIONS

3.1 RELEVANT HERITAGE LEGISLATION

The site of St Aloysius' College Senior School includes the former residence, *Wyalla*, which is identified as a heritage item (Item No. 10292) on Schedule 5 attached to the *North Sydney Local Environmental Plan 2013* (LEP) and is protected under the *Environmental Planning and Assessment Act 1979*.

The 'relics' provision of the *Heritage Act 1977* would not apply if the project is assessed as State Significant Development, however a separate assessment has been prepared to inform the Statement of Environmental Effects and consistent with the Secretary's Environmental Assessment Requirements (Key Issue 10) for SSD 8669.

3.2 HERITAGE SIGNIFICANCE OF WYALLA

Wyalla, a former residence constructed in ca1889, was acquired and adapted to accommodate part of St Aloysius' College in 1916.

The statement of significance contained in the State Heritage Inventory (Database number: 2180141) is accepted as the basis of this assessment of heritage impacts. It states:

A large mansion of the later-nineteenth century on a landmark site in Kirribilli, now with long associations with a significant private school. Interesting use of Italianate and other details.

3.3 HERITAGE ITEMS IN THE VICINITY

St Aloysius' College Senior School is located close to the following heritage items identified on Schedule 5 attached to the LEP:

- *Craiglea*, 49 Upper Pitt Street, Kirribilli (Item No. 10288)
- Jeffrey Street Conservation Area (CA26).

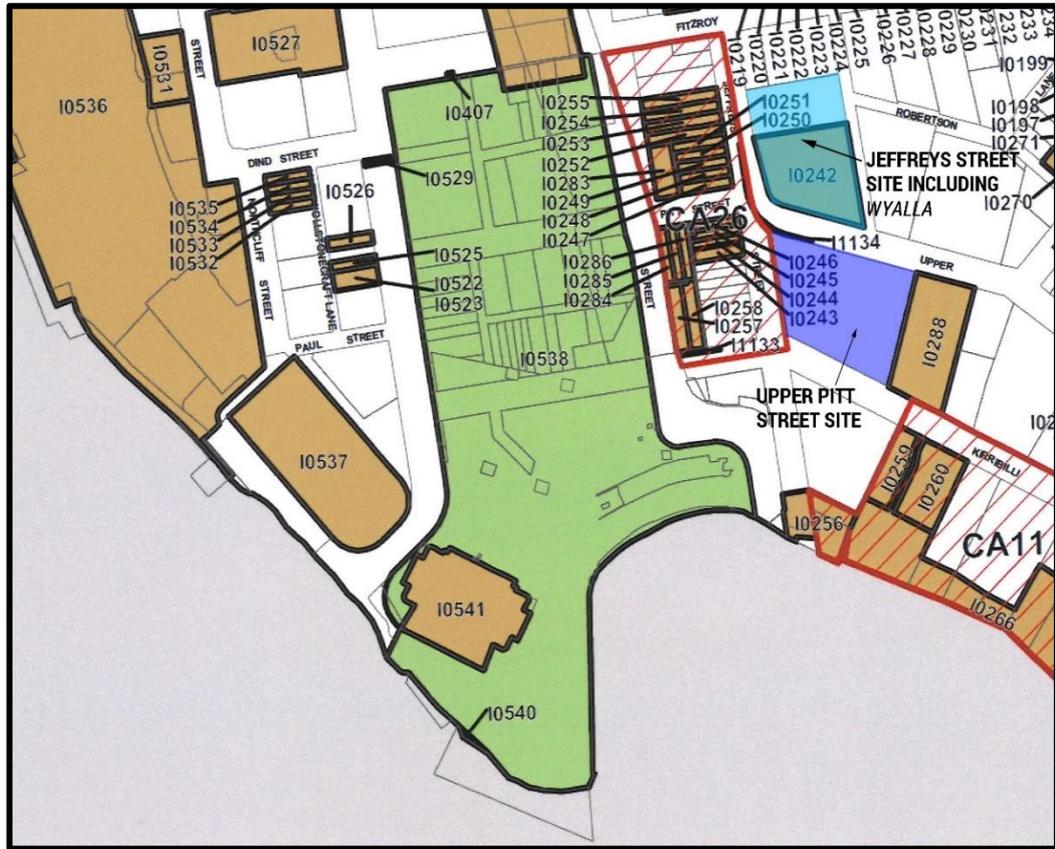


Figure 37 – Extract from Heritage Map – Sheet HER_002 attached to the North Sydney LEP, showing the location of the two sites comprising St Aloysius College (Middler School) and heritage items in proximity to the school.

Source: North Sydney Council website.

3.4 SIGNIFICANCE OF HERITAGE ITEMS IN THE VICINITY

Under Section 5.10 of NSLEP 2013, North Sydney Council is obliged to take into consideration the impact of development on heritage items and conservation area in its vicinity.

The following statements of significance are accepted as the basis for this assessment:

Craiglea, 49 Upper Pitt Street Kirribilli (taken from SHI Database number: 2180140):

An elegant late nineteenth century two storey mansion in the Italianate style, and the last still on its original subdivision extending from Pitt Street to Kirribilli Avenue. One of the best Italianate style mansions in Kirribilli now incorporated into a residential development in Kirribilli.

Jeffreys Street Conservation Area (CA26), taken from Section 8.5 of the North Sydney Development Control Plan 2013)

The Jeffreys Street Conservation Area is significant:

a) *For the unity of its subdivision history which is evident in the built form of the area and that overlays its sloping and stepped topography.*

B) *As an area of mid to late Victorian and Federation speculative terraces that are a remnant of the early development of the area prior to the clearances for the construction of the Sydney Harbour Bridge.*

4.0 HERITAGE IMPACT ASSESSMENT

4.1 DESIGN INTENT

The following objectives form the basis of the redevelopment of St Aloysius' College:

- Create a world class secondary education precinct with modern teaching and learning facilities;
- Rationalise existing teaching functions to facilitate specialised activities within the Senior School;
- Establish additional floor space to increase availability and efficiency of teaching functions for St Aloysius' College;
- Improve internal circulation and access to flexible teaching spaces;
- Promote the heritage elements of the campus; and
- Strengthen pedestrian linkages through the campus.

4.2 PROPOSED WORKS

The works to the Senior School include the adaptation of the interior of *Wyalla* and an addition to the eastern elevation of *Wyalla* at ground level. The following Stage 1 Works are proposed to the St Aloysius' College Senior School:



Figure 38 – Perspective showing the bulk and scale of the proposed single-storey addition to the east elevation of *Wyalla*. Source: pmdl Architects, October 2017.

Generally

- Upgrading of services, including the removal of non-significant redundant services throughout all buildings on site, including electrical, HVAC, data and communications. Existing risers and penetrations would be reused.
- Repainting previously painted surfaces. Repainting with *Wyalla* would be consistent with the recommendations of the NSW Heritage Division.
- Replacement of non-significant lights with energy efficiency lights.



Figure 39 - Elevations indicating the names of buildings comprising the Senior School, from left to right Wyalla Addition, Wyalla, Northeast addition (Pillbox Addition) and Dalton Hall. Source: pmdl Architects, October 2017.

Dalton Hall

Spaces within Dalton Hall (north addition) have negligible heritage significance relative to other fabric comprising the buildings located at 1-5 Jeffreys Street, Kirribilli.

Location	Description of works
Ground floor	Electrical cupboard relocated. (Non-significant fabric)
Level 1	No specific works proposed.
Level 2	No specific works proposed.
Level 3	Reconfiguration of teaching spaces. Construction of new stair linking Level 3 and Level 4.
Level 4	Reconfiguration of internal spaces in north wing, constructed in c2010. Extend existing stair landing in northern stair to form level floor and new locker storage area. Construction of an enclosure to open stairwell to form a continuous weatherproof stairwell from roof to ground level.

Northeast Addition (Pillbox Addition)

Spaces within the Northeast addition (Pillbox addition) have negligible heritage significance generally, relative to other fabric comprising the buildings located at 1-5 Jeffreys Street, Kirribilli.

Location	Description of works
Ground floor	No specific works proposed.
Level 1	Reconfiguration of teaching spaces

	Relocation of lockers Construction of electrical riser.
Level 2	Demolition of an internal wall. Construction of an enclosure to open stairwell to form a continuous weatherproof stairwell from roof to ground level.
Level 3	Slab of stair landing extended Door opening relocation
Level 4	No specific works proposed.

Wylla

Wylla was constructed as a house in ca1889, and fabric and spaces within this section of the building are considered to have high heritage significance relative to other components and spaces forming St Aloysius' College Senior School.

Ground floor	Reconstruct existing steps (c2005) to address statutory requirements.
Level 1	Construction of single-storey addition to east elevation including the partial removal of masonry wall and eight double-hung windows constructed in c1886 Reconfiguration of internal spaces. Removal of sections of internal masonry wall at ground floor level, c1886, to provide access to the central corridor.
Level 2	Removal of sections of internal masonry walls, c1886 Reconfiguration of teaching spaces.
Level 3	No specific works proposed.
Level 4	No specific works proposed.

Wylla Addition

Spaces within the *Wylla* addition (south addition) have negligible heritage significance generally. Walls and spaces at the interface between *Wylla* and the south addition are not affected by the proposed works.

Ground floor	Demolish internal walls to form open plan teaching space Reconfigure internal spaces as an office, reception, and waiting area Demolish existing stair and construct new flight connecting ground and Level 1. Construct internal glazed windbreak and door.
Level 1	Reconfigure teaching spaces.
Level 2	Adapt existing area as theatrette.
Level 3	No specific works proposed.
Level 4	No specific works proposed.

4.3 EVALUATION AGAINST NORTH SYDNEY LOCAL ENVIRONMENTAL PLAN 2013

This assessment of heritage impacts has been prepared to, in part, address the requirements of Section 5.10 of NSLEP 2013 which states:

The consent authority may, before granting consent to any development:

- a) on land on which a heritage item is located, or*
 - b) on land that is within a heritage conservation area, or*
 - c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*
- require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.*

4.4 EVALUATION AGAINST NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The following relevant sections of the North Sydney DCP have been taken into consideration in assessing the potential heritage impact of the proposed Masterplan and Stage 1 Works to the College site located at 1-5 Jeffreys Street, Kirribilli.

Section 13.4 Development in the vicinity of Heritage Items.

Objectives:

- 01. Ensure that new work is designed and sited so as to not detrimentally impact upon the heritage significance of the heritage item and its setting.***

The subject site is located in the vicinity of *Craiglea* (49 Upper Pitt Street) and the Jeffreys Street Conservation Area. The works would be located within the boundary of 1-5 Jeffreys Street, and would not alter existing views between heritage items in the immediate area of within the Jeffreys Street Conservation Area.

The eastern addition to *Wyalla* would be visible in views from the pedestrian laneway adjoining the eastern side of the subject site. It would be located below natural ground level to minimise its bulk and scale against the eastern elevation of *Wyalla*. The addition would not alter existing views to the main façade of *Wyalla* from Jeffreys Street or Upper Pitt Street. The proposed works would not affect the legal or heritage curtilage associated with *Craiglea* or the Jeffreys Street Conservation Area.

Section 13.5.1 Protecting heritage significance.

Objectives:

- 01. Ensure changes to heritage items are based on an understanding of the heritage significance of the heritage item.***
- 02. Allow change to occur to heritage items to meet amenity and contemporary safety, sustainability or technical standards, provided that those changes are sympathetic to and does not detrimentally affect the heritage significance of the heritage item.***
- 03. Ensure significant features of heritage items are retained and that development is sympathetic to these features with particular regard to bulk, form, style, character, scale, setbacks and materials.***
- 04. Acknowledges changes over time to heritage items, as subsequent layers may also be of significance.***
- 05. Encourage reinstatement of missing details and removal of past unsympathetic changes, to improve overall outcomes to the heritage significance of the heritage item.***
- 06. Allow changes to the rear of the heritage items where the new work does not impact the heritage significance of the heritage items.***
- 07. Ensure that new uses of heritage items are compatible with the fabric and heritage significance of the item.***
- 08. Encourage changes to be reversible where possible and appropriate.***

The proposed minor demolition works would affect some masonry walls dating from the original construction of *Wyalla* in ca1889. The works have been developed with consideration of the heritage significance of the place and its components to maintain nineteenth century fabric where possible, together with the owner's requirements to adapt the building to meet current and future educational requirements, and to continue the association of the site with St Aloysius' College which commenced in 1916.

Masonry nibs would be retained to enable visitors to appreciate the location of original spaces within *Wyalla*, and where possible stud wall partitions would be removed and earlier internal openings recovered.

Finishes affected by the works would be repaired to match the existing adjacent finishes. Traditional plaster finishes within *Wyalla* would be repaired to minimise further damage to nineteenth century plaster finishes and mouldings.

Section 13.5.2 Form, massing, scale.

Objectives:

- 01. To allow alterations and additions to heritage items, where the work does not impact on the heritage significance of the heritage item.***
- 02. To maintain and promote the original built form of the heritage item as viewed from the public domain.***

The proposed minor addition to *Wyalla* would be sited on the eastern side of the building to minimise visual impacts to the main façade of the building from Jeffreys and Upper Pitt Streets. The addition would be low-scale; its form drawing on that of nineteenth century conservatories to complement the former house. The ground level of the addition would match the interior of *Wyalla*, and would be below the natural ground level of the eastern section of the site, to minimise its visual impact in views to the site from the pedestrian laneway or oblique views from Upper Pitt Street.

The modification of the eastern elevation of *Wyalla* would necessitate the removal of a section of 1889 masonry and windows to enable the construction of a large, flexible and accessible teaching space at ground level. The impact of the works would be mitigated by retaining masonry nibs and masonry above the opening as evidence of the original layout of the building and to minimise removal of original building fabric.

An existing open stair located immediately to the north of *Wyalla* would be enclosed as part of the Stage 1 works. The stair was constructed ca2005 and the works would have an acceptable impact on the appearance of the eastern elevation of the building. The enclosure would be steel and glass to be recognisable as new work.

Section 13.5.5 Interior layouts.

Objectives:

- 01. To ensure that significant interior elements are retained and preserved.***

Changes to the interior of the building would include the construction of new openings within masonry walls dating from c1889 to facilitate the ongoing use of the building by St Aloysius' College. Preference is to be given to the removal of stud wall where possible, however new openings are to be forming in internal masonry walls to provide open, flexible spaces to adapt to individual learning approaches and group work.

Masonry nibs would be retained, together with sections of masonry above openings, to enable visitors to understand the location of original walls and the internal configuration of

spaces within *Wyalla*. The dimensions of new openings would be consistent with the proportions and detailing of comparable nineteenth century houses.

Section 13.9.4 Materials, colours and finishes

Objectives:

To ensure that materials and finishes are consistent with the characteristic elements of the heritage item or heritage conservation areas.

The architectural expression of the proposed external works would be contemporary in keeping with Burra Charter principles to assist visitors to distinguish new work from original building fabric. The palette of materials would draw on those currently incorporated into the existing building, including painted render, glass, and painted metal.

Internal finishes affected by the works would be repaired to match the existing adjacent finishes. Traditional plaster finishes within *Wyalla* would be repaired to minimise further damage to nineteenth century plaster finishes and mouldings.

5.0 HERITAGE IMPACT ASSESSMENT

5.1 EVALUATION AGAINST THE NSW HERITAGE GUIDELINES

The following assessment of this application is based on the guidelines set out by the NSW Heritage Office (now Heritage Division of the Office of Environment & Heritage) publication '*Statements of Heritage Impact*', 2002. The standard format has been adapted to suit the circumstances of this application.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

The proposed works would include the removal internal masonry, external masonry, and windows dating from c1886.

The works have been designed to conceal and minimise further visual impacts on views to *Wyalla* from Jeffreys Street, and would not alter existing views to or from *Craiglea* (49 Upper Pitt Street) or within the Jeffreys Street Conservation area generally.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

The works include the removal of a section of masonry wall and eight windows currently located on the eastern elevation of *Wyalla*. The removal of the masonry and double-hung timber windows, dating from c1886, would involve significant fabric from the place but would assist St Aloysius' College to increase the size and reconfigure teaching spaces to suit current and projected teaching requirements.

Changes are limited to the sunken ground floor courtyard level of the eastern elevation to minimise visual impacts on the principal views to *Wyalla* from Jeffreys Street.

The following sympathetic solutions have been considered and discounted for the following reasons:

Other design solutions were considered, and discounted, to achieve flexible teaching spaces within the Senior School campus including:

- a) Construction of a separate building: this was rejected as it would have resulted in the loss of open area between *Wyalla* and the Jeffreys Street Conservation Area, and affected the heritage setting of *Wyalla*.
- b) Additional floor level constructed over the north or south buildings: this was rejected as the new development would have increase the bulk of the school building, and adversely affected views to and from *Wyalla* from Jeffreys Street and Upper Pitt Street.
- c) Relocating teaching functions to other spaces and reusing the existing rooms as offices: this was rejected as the spaces were generally too large as individual offices, storage areas and auxiliary spaces.

5.1.1 MINOR PARTIAL DEMOLITION

Is the demolition essential for the heritage item to function?

Yes, the demolition is required to facilitate the re-configuration of internal spaces within *Wyalla*. The partial demolition of the eastern elevation, and construction of a single-storey addition would increase the floor area of two ground floor teaching spaces to accommodate larger groups of students. The partial removal of internal

corridor walls is intended to increase the flexibility of teaching spaces and to provide visually connected spaces.

Are important features of the item affected by the demolition (eg fireplaces in buildings)?

The demolition works would include the removal of eight double hung windows constructed in c1886. Internal joinery would be retained in situ or reused as part of the proposed works to *Wyalla*.

Two drywall infill panels would be removed at first-floor level to recover the original wall openings dating from the early twentieth century. The moulded details at the reveals and head of the two openings would be recovered as part of the works.

Yes, the works include the partial demolition of fabric constructed in c1886. The partial removal of masonry and eight windows from the eastern elevation of *Wyalla* are required to increase the area of two teaching spaces at ground level.

Is the resolution to partially demolish sympathetic to the heritage significance of the item (eg creating large square openings in internal walls rather than removing the wall altogether)?

Demolition would be limited to sections of masonry walls, and would retain masonry above the head of the opening, facade, and masonry nibs, to support a structural beam⁷ above the opening.

Details around openings would match those present on site, that is, match staff moulds or timber architraves. Existing four-panel doors would be retained in situ or salvaged for future reuse within *Wyalla* or off-site.

If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?

The affected fabric is generally in good condition. It is to be removed to facilitate the re-configuration of the ground floor teaching spaces within *Wyalla*. The partial removal of the masonry and addition at ground floor level are intended to increase the floor area of teaching spaces within *Wyalla* and facilitate flexible learning spaces and visual connection between teaching spaces.

5.1.2 MINOR ADDITIONS

How is the impact of the addition on the heritage significance of the item to be minimised?

The demolition of masonry walls and windows would involve the removal of fabric constructed in 1886, altered again in the early twentieth century when the residence was adapted as a teaching facility. The windows and masonry to be removed are typical of construction of the late nineteenth century. Original windows at the first-floor level are to be retained in situ to assist students, staff and visitors to understand the original fenestration of the eastern elevation. The works would not affect the bracketed cornice detail below the gutter. The exterior works would take advantage of the sloping ground and sunken courtyard to minimise the visual impact of the addition in views to *Wyalla*. The works would not alter the existing views to or from the west elevation of *Wyalla* or views within the Jeffreys Street Conservation Area.

⁷ To engineer's future design.

Can the additional area be located within an existing structure? If not, why not?

No, the additional space cannot be located within the existing building envelope. The addition would be immediately adjacent to the eastern wall to increase the floor area and enable the re-configuration of internal spaces at ground level.

Will the additions visually dominate the heritage item?

No, the single-storey addition would not be visible in the main views to *Wyalla* from the Jeffreys Street Conservation Area. The external walls of the proposed addition and the enclosure of the northern stair would be generally in keeping with the language and materials exhibited on site.

Is the addition sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?

There are no known archaeological deposits within the boundary of the site. A separate archaeological assessment of the three sites comprising St Aloysius' College has been carried out as required under the SEARs for this project (Project no. 8669).

The addition would be located over utilitarian spaces constructed in 2005 and would connect into existing services. The enclosure of an existing stairwell would not require any sub-surface works. No further trenching for services would be required as part of these works.

Are the additions sympathetic to the heritage item? In what way (eg form, proportions, design)?

Yes, the scale and bulk of the proposed addition has been developed to minimise visual impacts on views to and from the *Wyalla*. The addition would be limited to a single-storey on the eastern side of *Wyalla*, and although ground floor windows would be removed, the first-floor windows would be retained in situ to demonstrate the type of windows and the fenestration pattern of the former house.

5.1.3 NEW DEVELOPMENT ADJACENT TO A HERITAGE ITEM

How is the impact of the new development of the heritage significance of the item or area to be minimised?

Wyalla is in the vicinity of *Craiglea* and the Jeffreys Street Conservation Area. Both items are identified as environmental heritage in the North Sydney LEP, demonstrating significance at the local level.

The addition to *Wyalla* would be located on the eastern elevation, and would not alter the existing views to or from the Jeffreys Street Conservation Area. The proposed addition would be set back from the eastern boundary, and would be sited to take advantage of the fall in ground levels and to generally be hidden in views to *Wyalla* from Upper Pitt Street. The addition would not be visible in views to or from *Craiglea* (49 Upper Pitt Street).

Why is the new development required to be adjacent to heritage item?

The minor addition is required to enable the floor area of two ground floor teaching spaces to be increased and to allow St Aloysius' College to consolidate the Senior School activities to the site at 1-5 Jeffreys Street, Kirribilli. The visual impact of the works would be mitigated by locating the addition on the eastern side of the building, limiting the structure to one-storey in height, and taking advantage of the sloping ground line to minimise its impact on views generally within the immediate area.

How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?

The proposed works would be wholly contained within the legal boundary of St Aloysius' College. The setting of *Wyalla* was irreversibly altered by the construction of the south wing between 1997 and 2012 which resulted in the loss of its principal entry from Upper Pitt Street, and added importance to the open area between *Wyalla* and the Jeffreys Street Conservation Area.

The addition would be located to the east of the former residence and would not further alter views within the visual catchment of the Jeffreys Street Conservation Area.

How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?

The addition would be sited on the eastern side of *Wyalla* to minimise adverse impacts on the principal views from the Jeffrey Street Conservation Area. The addition would be of lightweight construction with metal and glass finishes, to distinguish the new works as a later addition to the load-bearing masonry of the Victorian structure.

Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?

There are no known archaeological deposits within the boundary of *Wyalla*. The proposed addition would be located over paved courtyard and utilitarian spaces, and would not require further trenching as services would connect to those existing on site. The area below the courtyard accommodates plant rooms, storage, and service areas. The site was selected to minimise further impacts to significant fabric and spaces with the school.

Is the new development sympathetic to the heritage item? In what way (eg form, siting, proportions, design)?

The architectural expression of the addition and stair enclosure would draw on contemporary architectural expression, incorporating metal and glass finishes. The new fabric would be visible on the eastern side of the building, but would not be visible in the principal view to *Wyalla* from the Jeffreys Street Conservation Area.

Will the additions visually dominate the heritage item? How has this been minimised?

The addition would be single-storey and would not visually dominate *Wyalla* or the Senior School. The addition would be located to the east of *Wyalla* to enable the retention of the open garden area between the former house and Jeffreys Street, and would retain the existing view corridor along the public pathway to the east of the Senior School site.

Will the public, and users of the item, still be able to view and appreciate its significance?

Views of changes to the exterior of *Wyalla* and the Senior School would be limited to the eastern elevation. The addition would be of lightweight construction and readily distinguishable as an addition to the original building.

6.0 CONCLUSIONS AND RECOMMENDATIONS

6.1 CONCLUSIONS

6.1.1 BUILT HERITAGE CONCLUSIONS: MASTERPLAN

The proposed St Aloysius' College Masterplan has been developed in response to the needs of the school, statutory requirements and in consideration of the identified heritage significance of the former residence, *Wylla*.

The proposed works have been devised to enable St Aloysius' College to continue to consolidate teaching, learning and support spaces at 1-5 Jeffreys Street, Kirribilli for use as a Senior School. The complex currently comprises three sections:

- North Wing, and Dalton Hall constructed c2010.
- *Wylla*, constructed c1886, and adapted as a school and accommodation for eighty boarders in 1916, and further adapted in c1954.
- South Wing, constructed 1997-2012.

The design intention is to undertake further internal adaptation of spaces where possible to minimise the construction of new buildings and loss of open space within the boundary of the site.

The proposed works would have little impact on the existing setting of *Wylla*. The removal of sections of internal and external walls would potentially have an adverse heritage impact on *Wylla*. The masonry walls and windows are surviving evidence of the former residence, and the development of the site as a school. In our opinion, the impact of the proposed demolition of masonry walls could be reduced by the mitigation strategies set out in Section 6.2 – Recommendations of this report.

Given the level of impact of the scheme on *Wylla* and other heritage items in the vicinity, we consider the Masterplan to be generally acceptable in heritage terms for the following reasons:

- a) The proposed addition would enable essential educational facilities to be upgraded within the boundary of the *Wylla* (Senior School) campus.
- b) The proposed works have been strategically located to minimise adverse impacts on significant views to *Wylla*.
- c) The scale, bulk, and location of the proposed minor addition are acceptable in heritage terms as they would not visually dominate *Wylla*.
- d) The proposed development will have minimum impact on the existing sightlines between *Wylla* and the Jeffreys Street Conservation Area.
- e) The proposed works and siting maintain existing view corridors within the immediate Kirribilli area.
- f) The proposal would not alter views to the roof form of *Wylla* from areas in the public domain.

6.1.2 BUILT HERITAGE CONCLUSIONS: STAGE 1 WORKS

The architectural expression and materials of the proposed external works would be compatible with other development on the site, and commensurate with the quality of recent buildings in the immediate Kirribilli area. The single-storey addition and stair enclosures would be lightweight construction, consistent with best-practice heritage principles, so that they are recognisable as new work.

Wyalla Setting

The Stage 1 Works would have little impact on the heritage setting of *Wyalla* and/or the Jeffreys Street Conservation Area. The proposed addition would be situated adjacent to the east elevation of *Wyalla* and would not alter existing views to *Wyalla* from Jeffreys Street.

The proposed addition would be located over a sunken courtyard area which, together with the fall from north to south of the eastern boundary, would assist in minimising the visual impact of the single-storey addition from Upper Pitt Street. The proposed stair enclosure works would also be limited to the east elevation, and would have negligible impact on views to *Wyalla* or its significant heritage fabric.

Wyalla Building Fabric

The removal of original masonry walls and windows would potentially have an adverse impact on heritage fabric comprising *Wyalla*. The intention is to create openings in existing walls to provide visual and spatial connections between teaching spaces.

6.2 RECOMMENDATIONS

The following recommendations are made in relation to the proposed St Aloysius' College Masterplan and Stage 1 Works:

- a) *Wyalla* and all surviving nineteenth century fabric is to be protected from damage during construction works.
- b) Ongoing advice from a heritage architect should be sought during design development and construction development phases of the works to assist in developing strategies to mitigate heritage impacts.
- c) Fabric and spaces affected by the proposed works should be photographically recorded prior to the works being carried out.
- d) Internal drywall infill panels are to be removed in preference to the removal of masonry.
- e) Openings in walls are to maintain masonry nibs and masonry above new openings.
- f) Window frames, glass, sashes, architraves, and door leafs, are to be salvaged where possible for re-use off site. Where appropriate, original hardware is to be retained, and used for repairs to *Wyalla* windows.
- g) The history and development of the site should be communicated to students, staff and visitors to enhance their understanding of the significance of *Wyalla* and St Aloysius' College.

7.0 APPENDICES

7.1 NSW STATE HERITAGE INVENTORY: WYALLA, 1-5 JEFFREYS STREET KIRRIBILLI

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

Page 1 of 3



Home > Topics > Heritage places and items > Search for heritage

Wyalla

Item details

Name of item:	Wyalla
Other name/s:	St. Aloysius College
Type of item:	Built
Group/Collection:	Residential buildings (private)
Category:	House
Primary address:	1-5 Jeffreys Street, Kirribilli, NSW 2060
Local govt. area:	North Sydney

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
1-5 Jeffreys Street	Kirribilli	North Sydney			Primary Address
46 Upper Pitt Street	Kirribilli	North Sydney			Alternate Address

Statement of significance:

A large mansion of the later-nineteenth century on a landmark site in Kirribilli, now with long associations with a significant local private school. Interesting use of Italianate and other details.

Heritage
Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Note: There are incomplete details for a number of items listed in NSW. The Heritage Division intends to develop or upgrade statements of significance and other information for these items

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

16/10/2017

http://www.environment.nsw.... http://www.environment.nsw....

Page 2 of 3

as resources become available.

Description

Physical description: o This building is designed in the Victorian Italianate style.

A large two storey Italianate house with an asymmetrical front having a projecting three-facet bay with moulded details to segmental arch windows. South wing behind has a two storey verandah with cast-iron posts in pairs and lace balustrades and valences. The north wing is sparsely detailed by comparison, with no verandahs. Hipped gable roof is clad in corrugated-iron and moulded cornices are bracketed.

Physical condition and/or Archaeological potential: —

Modifications and dates: There is an unsympathetic addition on the south side.

History

Historical notes: Early history of house not researched but purchased 1916 by St. Aloysius College and has housed Junior School since then.

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
4. Settlement-Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities.	(none)-
6. Educating-Educating	Education-Activities associated with teaching and learning by children and adults, formally and informally.	(none)-

Assessment of significance

SHR Criteria (g) [Representativeness] This item is assessed as historically representative locally. This item is assessed as aesthetically representative statewide. This item is assessed as socially representative locally.

Integrity/Intactness: —

Assessment criteria: Items are assessed against the  **State Heritage Register (SHR) Criteria** to determine the

http://www.environment.nsw.... http://www.environment.nsw....

16/10/2017

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

Page 3 of 3

level of significance. Refer to the Listings below for the level of statutory protection.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan		10242	02 Aug 13		

Study details

Title	Year	Number	Author	Inspected by	Guidelines used
North Sydney Heritage Study Review	1993	0141	Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison	TB 17/3/92	Yes

References, internet links & images

None

Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

Data source

The information for this entry comes from the following source:

Name: Local Government

Database number: 2180141

[Return to previous page](#)

Every effort has been made to ensure that information contained in the State Heritage Inventory is correct. If you find any errors or omissions please send your comments to the [Database Manager](#).

All information and pictures on this page are the copyright of the Heritage Division or respective copyright owners.

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

16/10/2017

7.2 NSW STATE HERITAGE INVENTORY: CRAIGLEA, 49 UPPER PITT STREET KIRRIBILLI

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

Page 1 of 4



Home > Topics > Heritage places and items > Search for heritage

Craiglea

Item details

Name of item: Craiglea

Type of item: Built

Group/Collection: Residential buildings (private)

Category: House

Primary address: 49 Upper Pitt Street, Kirribilli, NSW 2061

Local govt. area: North Sydney

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
49 Upper Pitt Street	Kirribilli	North Sydney			Primary Address
88 Kirribilli	Street	North Sydney			Alternate Address

Statement of significance:

An elegant late nineteenth century two storey mansion in the Italianate style, and the last still on its original subdivision extending from Pitt Street to Kirribilli Avenue. One of the best Italianate style mansions in Kirribilli now incorporated into a residential apartment development. It is a significant relic of later period of mansion style development in Kirribilli.

An elegant late nineteenth century mansion in the Italianate style, and the last still on its original subdivision extending from Pitt Street to Kirribilli Avenue. One of the best Italianate style houses in Kirribilli. Significant relic of later period of mansion style development in Kirribilli.

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include information on landscape significance, interiors or the social history of sites and buildings. Inventory sheets are updated by Council as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conversation Management Plans, so that the

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

16/10/2017

significance of heritage items can be fully assessed prior to submitting development applications.

Note: There are incomplete details for a number of items listed in NSW. The Heritage Division intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Physical description:	<p>A substantial two storey stone and rendered masonry mansion with a hipped terracotta tile roof with rendered masonry chimneys with decorated cappings. The house has been substantially altered and incorporated into an apartment development. The asymmetric facade has a projecting three-facet bay and a flanking verandah. The verandahs have paired cast-iron posts and cast-iron lace balustrades. Semi circular arched doors and windows with stucco mouldings and bracketed stucco cornice and two pane double hung sash windows. Extension to the street with projecting classically detailed balconies. Entrance court to street with rendered wall and piers and aluminium palisade fence. Extensive paving and modern plantings.</p> <p>o This building is designed in the Victorian Italianate style.</p> <p>A two storey mansion of substantial size made of rendered brick and stone with a modern terracotta tile roof. The asymmetric facade has a projecting three-facet bay and a verandah range, both over two storeys. The verandahs have paired cast-iron posts and cast-iron lace balustrades. Windows and doors are semi-circular arched with stucco mouldings and moulded cornices are bracketed. Fine stone fence to Kirribilli Avenue.</p>
Physical condition and/or Archaeological potential:	Good
Modifications and dates:	Extensive moderations for apartment development.
Further information:	One of the last Italianate Mansions on the peninsula.

History

Historical notes:	Built 1884 on a subdivision undertaken by G. A. Lloyd, businessman and auctioneer and one-time resident of 'Wotonga'. The year of finished construction was 1890.
--------------------------	---

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
4. Settlement-Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities.	(none)-

4. Settlement-Building settlements, towns and cities
- Towns, suburbs and villages-Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages
- (none)-

Assessment of significance

SHR Criteria a) [Historical significance]	High Local
SHR Criteria b) [Associative significance]	Potential
SHR Criteria c) [Aesthetic significance]	High Local
SHR Criteria e) [Research potential]	Potential
SHR Criteria f) [Rarity]	Rare Historically & Rare Aesthetically Locally.
SHR Criteria g) [Representativeness]	This item is assessed as historically representative locally. This item is assessed as aesthetically representative regionally. This item is assessed as socially representative locally.
Integrity/Intactness:	Moderate, extensive alterations
Assessment criteria:	Items are assessed against the State Heritage Register (SHR) Criteria to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan		10288	02 Aug 13		

Study details

Title	Year	Number	Author	Inspected by	Guidelines used
North Sydney Heritage Study Review	1993	0140	Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison	TB 17/3/92	Yes
	1993				

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

Page 4 of 4

North Sydney Heritage Study Review		Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison	Yes
North Sydney Heritage Study Review	1993	Tony Brassil, Robert Irving, Chris Pratten, Conybeare Morrison	Yes
North Sydney Conservation Area Study	1997	Noel Bell Ridley Smith & Partners, with EDAW (Aust) & Wendy Thorpe	Yes
North Sydney Heritage Review	2002	John Oultram	No

References, internet links & images

None

Note: internet links may be to web pages, documents or images.

Data source

The information for this entry comes from the following source:

Name: Local Government

Database number: 2180140

[Return to previous page](#)

Every effort has been made to ensure that information contained in the State Heritage Inventory is correct. If you find any errors or omissions please send your comments to the **Database Manager**.

All information and pictures on this page are the copyright of the Heritage Division or respective copyright owners.

<http://www.environment.nsw.gov.au> <http://www.environment.nsw.gov.au>

16/10/2017

7.3 ARCHITECTURAL DRAWINGS SHOWING THE PROPOSED MASTERPLAN AND STAGE 1 WORKS

