



# Goulburn Base Hospital Redevelopment Modification 4

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Minor façade works  
State Significant Development Modification Assessment  
(SSD-8667-Mod-4)

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# Glossary

Abbreviation	Definition
<b>Council</b>	Goulburn Mulwaree Council
<b>Department</b>	Department of Planning and Environment
<b>EIS</b>	Environmental Impact Statement
<b>EP&amp;A Act</b>	<i>Environmental Planning and Assessment Act 1979</i>
<b>EP&amp;A Regulation</b>	Environmental Planning and Assessment Regulation 2021
<b>EPI</b>	Environmental Planning Instrument
<b>LEP</b>	Local Environmental Plan
<b>Minister</b>	Minister for Planning
<b>Planning Secretary</b>	Secretary of the Department of Planning and Environment
<b>Planning Systems SEPP</b>	State Environmental Planning Policy (Planning Systems) 2021
<b>SEARs</b>	Planning Secretary's Environmental Assessment Requirements
<b>SEPP</b>	State Environmental Planning Policy
<b>SSD</b>	State Significant Development

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# 1 Introduction

This report provides an assessment of an application to modify a State Significant Development (SSD) consent for the redevelopment of Goulburn Base Hospital (SSD-8667).

The proposed modification seeks approval to amend the approved plans to retain the internal and external walls at ground level for Building O and rectify the walls below awning level with new structural support and updated finishes.

The application has been lodged by Health Infrastructure (on behalf of Health Administration Corporation, the Applicant), pursuant to section 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EP&A Act).

## 1.1 Background

The existing hospital campus is regular in shape and has an area of approximately 3.87 hectares. The campus is legally described as Lot 100 DP 125296 and is located approximately 700 metres northwest of the Goulburn central business district and 3.8 kilometres north-east of the Hume Highway interchange (see **Figure 1**). The construction of the approved hospital redevelopment is nearing completion.



**Figure 1** | Local context map (Base source: Nearmap)



The current campus layout and the location of the affected building within the campus is shown in **Figure 2** below.



**Figure 1 | Site layout (Base source: Nearmap)**

Under the original approval, the former Administration and Hospital Records Building was approved for demolition. This has now been undertaken and resulted in the exposure of an internal wall (originally an external wall). The Applicant is now seeking to further resolve the design of the wall to ensure its structural integrity and aesthetic finish to minimise impacts on the heritage significance of retained buildings on the campus.

## 1.2 Approval history

On 3 December 2018, development consent was granted by Executive Director, Priority Projects for the redevelopment of Goulburn Base Hospital (SSD-8667). The development consent permits the following works:

- site preparation works, including demolition of existing buildings and structure and site remediation works.
- construction of a new four storey Acute Services Building (ASB) and internal refurbishment works to existing hospital buildings with a total gross floor area of 12,072sqm.
- construction of a new engineering compound and new emergency vehicle bay off Faithful Street.
- augmentation of existing vehicle access arrangements and construction of new car parking areas accommodating a net increase of 54 car parking spaces.
- landscaping and public domain works, including construction of a new formal landscaped lawn area at the northern part of the site at Goldsmith and Albert Streets and screen planting to car parking.
- installation of business identification signage, including 10 pylon signs and four building façade signs.
- ancillary infrastructure and services works.
- lot consolidation.

Modification of the development consent was previously sought on two occasions, however modification 1 was subsequently withdrawn. A history of the modifications is provided below (see **Table 1**)

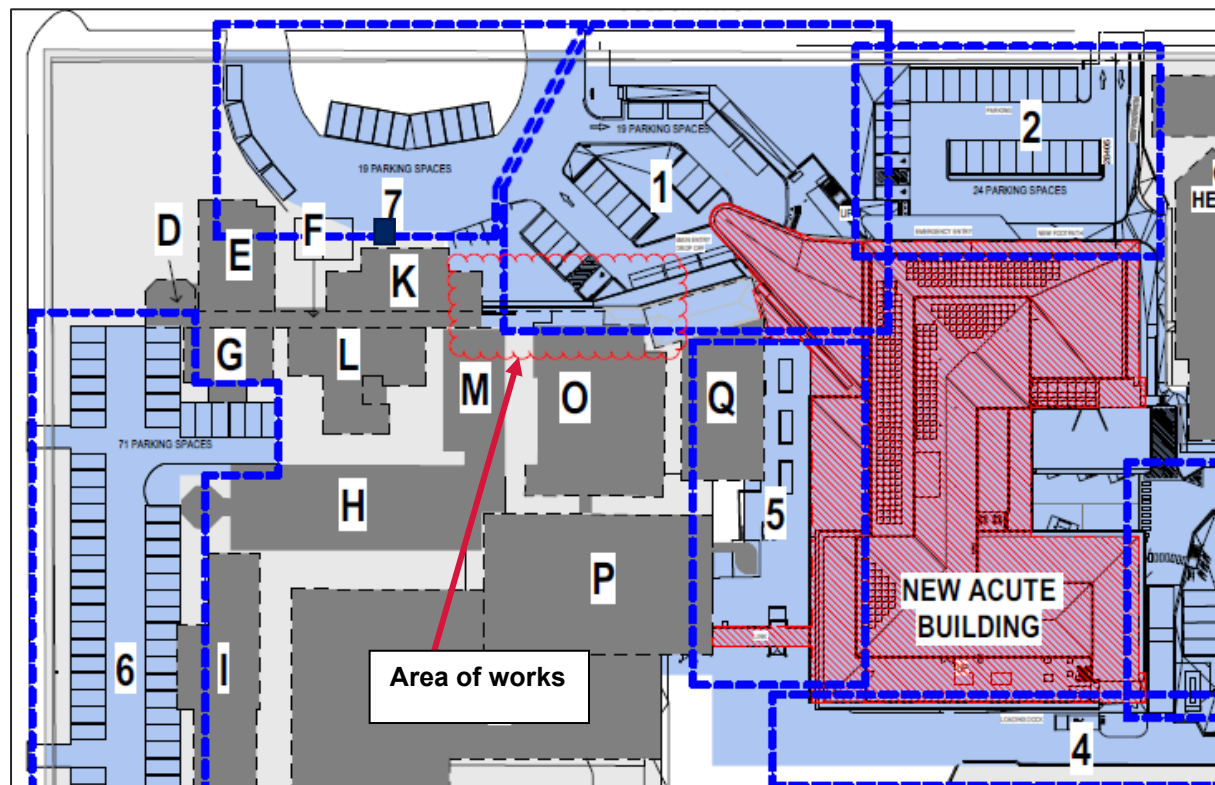
**Table 1 | Summary of Modifications**

Mod No.	Summary of Modifications	Approval Authority	Type	Approval Date
<b>Mod-1</b>	Deletion of condition B8	-	4.55(1A)	Withdrawn
<b>Mod-2</b>	Design refinements to the exiting approval including design changes, landscaping amendments, signage and amended conditions related to staging.	Department	4.55(2)	28 January 2020
<b>Mod-3</b>	Retention of the Ward Block (also known as buildings H and M)	Department	4.55(1A)	1 April 2022

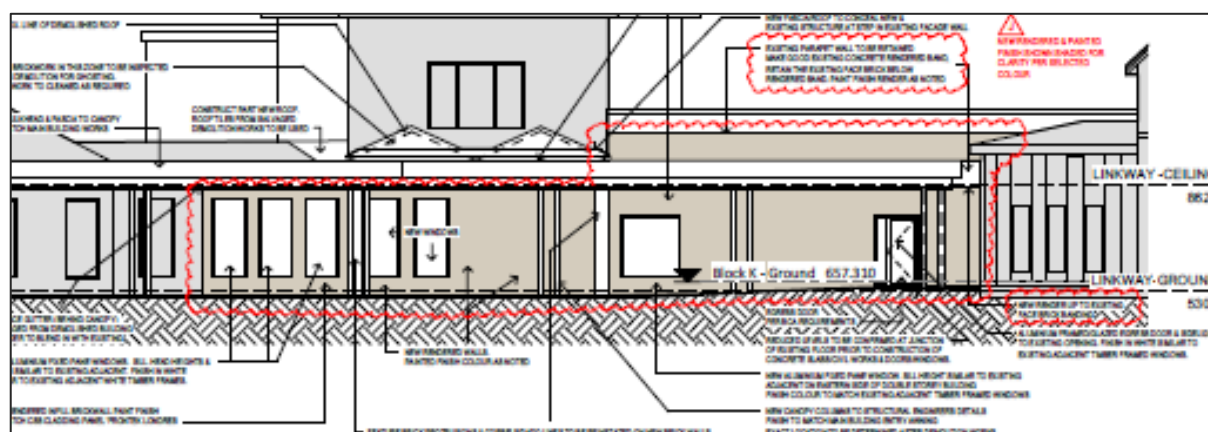


## 2 Proposed modification

On the 17 August 2022, the Applicant lodged a fourth modification application (SSD-8667-Mod-4) to amend the approved project under section 4.55(1A) of the EP&A Act. The proposed modification seeks to retain the internal and external walls at ground level for Building O and rectify the walls below the awning level with new structural support, openings and finishes as show in **Figures 3 and 4**.



**Figure 3 |** Site plan showing area of works (Base source: Architectural Plans)



**Figure 4 |** Elevation showing new rendered finish (Source: Architectural Plans)



## 3 Statutory context

### 3.1 Scope of modifications

The Department has reviewed the scope of the modification application and considers that the application can be characterised as a modification involving minimal environmental impacts as the proposal:

- would not significantly increase the environmental impacts of the project as approved.
- is substantially the same development as originally approved.
- would not involve any further disturbance outside the already approved disturbance areas for the project.

Therefore, the Department is satisfied the proposed modification is within the scope of section 4.55(1A) of the EP&A Act and does not constitute a new development application. Accordingly, the Department considers that the application should be assessed and determined under section 4.55(1A) of the EP&A Act rather than requiring a new development application to be lodged.

### 3.2 Consent authority

The Minister for Planning is the consent authority for the application under section 4.5(a) of the EP&A Act. However, under the Minister's delegation dated 9 March 2022, the Team Leader, Social Infrastructure may determine the modification application as:

- the Goulburn Mulwarre Council (Council) has not made an objection.
- a political donation disclosure statement has not been made.
- public exhibition of the application was not required and therefore no public submissions objecting to the proposal were received.

### 3.3 Mandatory matters for consideration

The Department conducted a comprehensive assessment of the project against the mandatory matters for consideration as part of the original assessment of SSD-9831.

Recently, before the lodgement of the modification application, all NSW State Environmental Planning Policies (SEPPs) were consolidated into 11 policies. The operation of the consolidated SEPPs commenced on 1 March 2022, with the exception of State Environmental Planning Policy (Housing) 2021, which commenced on 26 November 2021.

The SEPP consolidation does not change the legal effect of the repealed SEPPs, as the provisions of these SEPPs have simply been transferred into the new SEPPs. Further, any reference to an old SEPP is taken to mean the same as the new SEPP.

The Department considers this modification application does not result in significant changes that would alter the mandatory matters for consideration under section 4.15 of the EP&A Act, including the relevant recently consolidated SEPPs as the provisions remain unchanged, and conclusions made as part of the original assessment.

The Department has considered the findings and recommendations in the Department's Assessment Report for SSD-8667, including the key reasons for granting consent outlined in the Notice of Decision. The Department is satisfied that the key reasons for the granting of consent continue to be applicable to the development, as modified.

## 4 Engagement

Section 105(4) of the Environmental Planning and Assessment Regulation 2021 (EP&A Regulation) specifies that the notification requirements of the EP&A Regulation do not apply to section 4.55(1A) modifications with minimal environmental impact. Accordingly, the application was not notified or advertised. However, it was made publicly available on the Department's website on 17 August 2022 and was referred to Council for comment.

Council raised no objections to the proposed modification and agreed with the findings of the Heritage Impact Statement provided with the application.



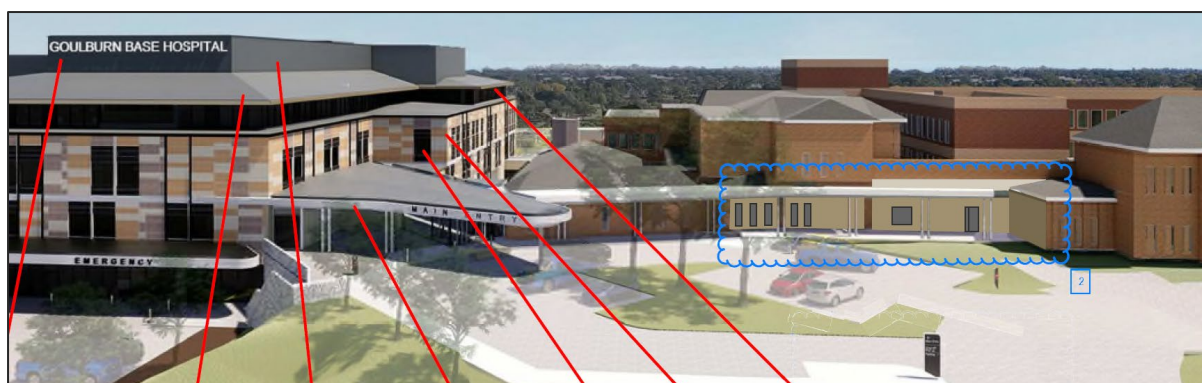
## 5 Assessment

The demolition of the former Administration and Hospital Records building and former ambulance bay has resulted in the exposure of the northern wall of Building O, as shown in **Figure 5**. The current condition of this wall requires both structural and aesthetic improvement to enable its retention and to ensure there are no adverse heritage impacts for adjoining hospital buildings.



**Figure 5** | Photo showing exposed wall (Source: Modification Report)

The proposed modification will not result in visual impacts given that the building is setback 34m from the northern Goldsmith Street boundary, and the works are necessary to ensure that Building O has an appropriate architectural finish and integration with the retained buildings when viewed from the public domain. Visually the works will complete the facades fronting Goldsmith Street in a consistent and complimentary manner as shown below in **Figure 6**. No additional floorspace is proposed.



**Figure 6 |** Perceptive of finished wall (within blue bubble lines) (Source: Architectural Plans)

A Statement of Heritage Impact (SHI) was submitted with the modification application. The SHI determined that the remaining northern wall has lost much of its early fabric, details and integrity at ground floor level. However, the parapet and walkway at first floor level and upper storey facade of the eastern pavilion remain and are considered to be of high significance. The SHI has assessed the heritage significance of the building and has recommended adequate mitigation measures to ensure that the heritage value is not distorted but improved via the works. Council has reviewed the application including the SHI and raised no objection to the proposal and supported the SHI.

The Department is satisfied that the works to the exposed northern wall of Building O are necessary and will support the future needs of the hospital with no adverse effects on heritage, traffic, parking and servicing. The works will have no adverse effect on the original approval and overall will continue to satisfy the strategic direction of the locality and will support the improved hospital facility and satisfy the strategic and local planning controls without adverse impacts. Therefore, the Department is supportive of the proposed modification.

## 6 Evaluation

The Department has reviewed the proposed modification, assessed the merits of the modified proposal, and all issues associated with the proposal have been thoroughly addressed. The development will not significantly change as the façade changes will not result in adverse visual impact on surrounding properties nor will it result in significant heritage impact on the site.

The Department considers that the application is consistent with the objects of the EP&A Act and continues to be consistent with strategic directions for the State.

The development as modified would be substantially the same as that originally approved and would deliver a significant public benefit through the provision of improved healthcare facilities. The Department concludes the impacts of the proposed modification are acceptable. Consequently, the Department considers the development is in the public interest and the modification application should be approved.



## 7 Recommendation

It is recommended that the Team Leader, Social Infrastructure, as delegate of the Minister for Planning:

- **considers** the findings and recommendations of this report.
- **determines** that the application SSD-8667-Mod-4 falls within the scope of section 4.55(1A) of the EP&A Act.
- **accepts and adopts** all of the findings and recommendations in this report as the reasons for making the decision to approve the modification.
- **forms the opinion** under section 7.17(2)(c) of the *Biodiversity Conservation Act 2016* that a biodiversity development assessment report is not required to be submitted in relation to this application as the modification will not increase the impact on biodiversity values of the site.
- **modify** the consent SSD-8667.
- **signs** the attached approval of the modification (**Appendix B**).

**Recommended by:**



**Tom Stanton**  
Senior Environmental Assessment Officer  
Social Infrastructure

## 8 Determination

The recommendation is **adopted** by:

A handwritten signature in black ink, appearing to read 'David Gibson', with a long horizontal flourish extending to the right.

13 September 2022

**David Gibson**

Team Leader

Social Infrastructure

as delegate of the Minister for Planning

# Appendices

## **Appendix A – List of referenced documents**

<https://pp.planningportal.nsw.gov.au/major-projects/projects/modification-4-facade-works>

## **Appendix B – Instrument of Modification**

<https://pp.planningportal.nsw.gov.au/major-projects/projects/modification-4-facade-works>

## **Appendix C – Consolidated Consent**

<https://pp.planningportal.nsw.gov.au/major-projects/projects/modification-4-facade-works>