



SSDA  
SECTION 4.55(1a)  
APPLICATION  
PLANNING REPORT

SSD 17\_8667  
GOULBURN BASE HOSPITAL  
130 Goldsmith St, Goulburn

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## EXECUTIVE SUMMARY

LJB Urban Planning Pty Ltd has been commissioned by Health Infrastructure to prepare a Modification Application in support of the following works within the Goulburn Base Hospital, as follows:

- Retention of the internal and external walls at ground level for Building O and rectify the walls below the awning level with new structural support, openings and a painted and rendered finish is proposed.

Following demolition of the former Administration and Hospital Records Building, approved under SSD 8667, it revealed that the internal wall (originally external) that is now visible following the demolition, presents a highly modified exterior that needs further resolution to ensure structural integrity and improve the architectural finish of the modified building form.

The proposed modifications will not affect the wider hospital redevelopment, which is currently under construction in conjunction with the State Government and will continue to achieve the strategic direction of the following strategic planning documents:

- East Tablelands Regional Plan 2036; and
- Goulburn Mulwarre Employment Land Strategy.

The Environmental Impact Statement (EIS), prepared by City Plan Strategy & Development P/L, dated March 2018, that accompanied the original SSD application (SSD 17\_8667) outlined the following objectives for the original proposal:

- *Cater for future service demand created by the Region's ageing population and increased incidence of chronic disease;*
- *Improve the efficiency and effectiveness of service delivery through better patient flows, integrated care and model of care and elimination of service and duplication;*
- *Provide asset replacement capable of enhancing functionality and capacity;*
- *Remedy the sub-standard facility environments;*
- *Develop a facility to enable staff/clinicians to implement contemporary models of care to better meet the needs of the community; and*
- *Attract and retain a skilled and sustainable workforce at GoBH.*

The modification of the SSDA to undertake works to the exposed external wall (Building O) will continue to satisfy the objectives of the approval, as it will not alter the functionality of the hospital and will maintain the highly significant 1887 Hospital Pavilions and will improve the aesthetics in a simple compatible finish to complement the wider hospital buildings.

Building O is positioned in close proximity to the following heritage listed items:

- Central Building; and
- Original 1887 Pavilions.

Building O is located to the east of the Administration building. As such, the retained northern wall of Building O will need further resolution to ensure it is finished with simple succinct resolution given its location, adjacent to this prominent, retained building. The proposed works to finish the external wall will have no detrimental impact, as determined in the report below.

Perumal Murphy Alessi Heritage Consultants have prepared a Statement of Heritage Impact to accompany this modification and have determined that the proposed works will not create any additional adverse impact on the cultural significance of the site and area.

There is no increase in staff that would require any additional parking and no greater strain on the surrounding traffic network.

Overall, the proposed works to the external northern wall of Building O are required to ensure the wall is finished in an appropriate manner to maintain structural stability for years to come and the finish of the wall will be in a simple compatible finish to minimise impacts on the adjacent Administration building. Overall, the works are considered to be substantially the same development and is an appropriate modification that is necessary due to the demolition of the former Administration and Hospital Records wing.

The proposed modification is reasonable for reasons discussed in the report below and should be supported.

## 1.0 INTRODUCTION

- 1.1 This report has been prepared for Health Infrastructure (HI) by LJB Urban Planning Pty Ltd to support an application under Section 4.55(1A) of the Environmental Planning and Assessment Act 1979.
- 1.2 The subject site is legally described as follows:
- Lot 100 DP 1257296
- 1.3 The site is located about 700m northwest of the Goulburn Central Business District and 3.8km northeast of the Hume Highway interchange, shown in **Figure 1** below.



Figure 1: Locality Map (Source: Nearmap)

- 1.4 The site has a primary frontage to Goldsmith Street of 210.69m, secondary frontages of 186.56m to Albert Street, 183.45m to Faithful Street and 210.30m to Clifford Street. Refer to **Figure 2**, below.





Figure 2: Subject site – Location of works Highlighted by Yellow Outline (Source: Nearmap)

- 1.5 The site is zoned SP2 Infrastructure under Goulburn Mulwaree Local Environmental Plan. The land is within a heritage conservation area under Clause 5.10 of Goulburn Mulwaree Local Environmental Plan 2009. The land is within Goulburn City Conservation Area and contains locally listed heritage item No. 181, being the Central Building and former pavilions. The identified heritage item is also listed on the Department of Health's section 170 Register (Heritage Act 1977).
- 1.6 The site is currently occupied by Goulburn Base Hospital. Construction works under the current approval are underway. This application seeks to modify the previously approved State Significant Development application SSD 17\_8667.
- 1.7 SSD 17\_8667 was approved by the former NSW Department of Planning and Environment, now known as the NSW Department of Planning and Environment (DPE) on 3 December 2018. The consent granted approval for:
  - Site preparation works including demolition of existing buildings and structures and site remediation works.
  - Construction of a new four storey Acute Services Building and internal refurbishment works to existing hospital buildings with a total gross floor area of 12,072m<sup>2</sup>
  - Construction of a new Engineering Compound and new emergency vehicle bay off Faithful Street.
  - Augmentation to existing vehicle access arrangements and construction of new car parking areas accommodating a net increase of 54 car parking spaces.
  - Landscaping and public domain works, including construction of a new formal landscaped lawn area at the northern end of Goldsmith and Albert Streets and screen planting to car park site frontages.

- Installation of business identification signage including 10 pylon signs and four building façade signs.
- Ancillary infrastructure and services works.
- Lot consolidation.

1.8 Three modification applications have been submitted to DPE to amend SSD 17\_8667 to date. The first modification was withdrawn. The second modification was approved on 28 January 2020. The approved modifications included the following:

- Internal and external design changes to the approved building
- Changes to loading dock, ambulance entry, access and parking layout
- Retention of Building 32 (previously approved for demolition and internal refurbishment)
- Changes to the approved signage
- Alterations to the approved landscaping
- Inclusion of a staging plan
- Retention of Ward Block, Building H & M that were previously approved to be demolished.

1.9 The third modification was approved on 1 April 2022. The approved modification was for the retention of Ward Block that was previously approved for demolition.

1.10 This modification seeks to further modify SSD 17\_8667 as follows:

*Retention of the internal and external walls at ground level for Building O and rectify the walls below the awning level with new structural support, openings and a painted and rendered finish is proposed. All walls above awning level will be retained in situ.*

1.11 Amended plans are attached at **Appendix 1** and include:

DWG No.	Rev	Name of Plan	Date
AA-02-02	C	Site Plan – Proposed Main Works - S4.55 Modification Application	05/08/22
AA-21-01	B	Elevations – North & South - SSDA	12/07/22
AA-21-03	-	Building Perspective	12/07/22
18483-STH-AR-DWG-62-N5	H	Linkway Canopy Plans – Elevation – Sections & Details	7/07/2022

1.12 Under the original approval, the former Administration Building and Records Wing was approved for demolition. This has been undertaken and resulted in the exposure of an internal wall (originally an external wall). This wall requires further design resolution to ensure its structural integrity and aesthetic finish to minimise impacts on the heritage significance of retained buildings and in particular the Administration building, which is adjoins to the west.

1.13 This report provides information on the subject site, the proposed development and undertakes an assessment against the relevant heads of consideration set out in the Environmental Planning and Assessment Act 1979.

1.14 The amended development is considered to be substantially the same development, and this will be further addressed in Section 3 of this report, below.

## 2.0 STRATEGIC CONTEXT

- 2.1 The Environmental Impact Statement (EIS), prepared by City Plan Strategy & Development P/L, dated March 2018, that accompanied the original SSD application (SSD 17\_8667) outlined the following objectives for the original proposal:
- *Cater for future service demand created by the Region's ageing population and increased incidence of chronic disease;*
  - *Improve the efficiency and effectiveness of service delivery through better patient flows, integrated care and model of care and elimination of service and duplication;*
  - *Provide asset replacement capable of enhancing functionality and capacity;*
  - *Remedy the sub-standard facility environments;*
  - *Develop a facility to enable staff/clinicians to implement contemporary models of care to better meet the needs of the community; and*
  - *Attract and retain a skilled and sustainable workforce at GoBH.*
- 2.2 Overall, the proposed development was necessary to provide significant social benefits for the local community by providing for an improved hospital that would provide much needed services and facilities for the wider community.
- 2.3 This application seeks to modify SSD 17\_8667 to make good the exposed internal wall to ensure that the building is finished in a high standard that will minimise potential heritage impacts on the main Administration Building to the west, and ensure the ongoing integrity of the wall.
- 2.4 The strategic intent, for the upgrade and expansion of the wider hospital site remains as approved. The works proposed to finish the northern wall of Building O will not alter the strategic redevelopment of the site, as there is no increase to the building footprint.
- 2.5 The proposed finishes that will be applied to the northern wall of Building O will have no adverse impact on the heritage listed buildings on the site and will improve the aesthetics when viewed from the street.
- 2.6 The following strategic plans were taken into consideration during the assessment of the original SSD:
- South East Tablelands Regional Plan 2036; and
  - Goulburn Mulwarre Employment Land Strategy.
- 2.7 The proposed modification in relation to the above strategies are considered separately below.



## South East and Tablelands Regional Plan 2036

- 2.8 This strategy has not altered direction following approval of the SSD application. It continues to seek:

*A borderless region in Australia's most geographically diverse natural environment with the nation's capital at its heart.*

- 2.9 The strategy continues to identify Goulburn as one of the six strategic centres in the South East Tablelands Region, as shown in **Figure 3** below:

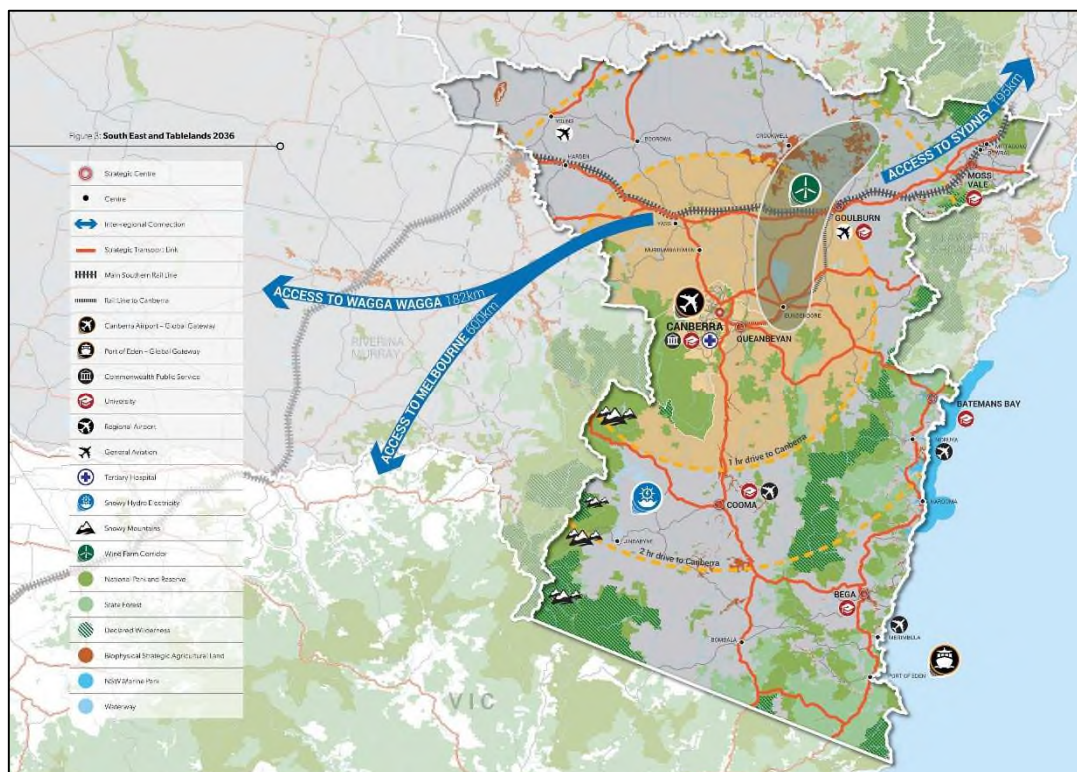


Figure 3: South East Tablelands 2036 Plan (Source: South East and Tablelands Regional Plan 2036 prepared by Department of Planning and Environment)

- 2.10 The SETRP goals remain unchanged and are listed below:

- 1) *A connected and prosperous economy;*
- 2) *A diverse environment interconnected by biodiversity corridors;*
- 3) *Healthy and connected communities ; and*
- 4) *Environmentally sustainable housing choices*

- 2.11 The proposed works to the northern elevation of Building O will not alter the NSW Government's commitment, within this regional plan, to the redevelopment of the Goulburn Hospital. The new buildings approved will be constructed and the modified works to the northern elevation of Building O will still ensure that the overall development will maintain improved services to the community, provide improved health facilities and provide for increased employment opportunities.

- 2.12 The proposed development and environmental impacts are discussed in detail below. Overall, the proposed modification, to undertake works to the exposed external northern wall of Building O, will not detrimentally affect the strategic vision for the hospital and will enhance services and facilities within the site.
- 2.13 The proposed works will be a positive contribution to existing heritage items on the hospital site and overall will assist in meeting the strategic vision for this regional area and continue to satisfy the strategic context for the locality.

Goulburn Mulwarre Employment Land Strategy (GMELS)

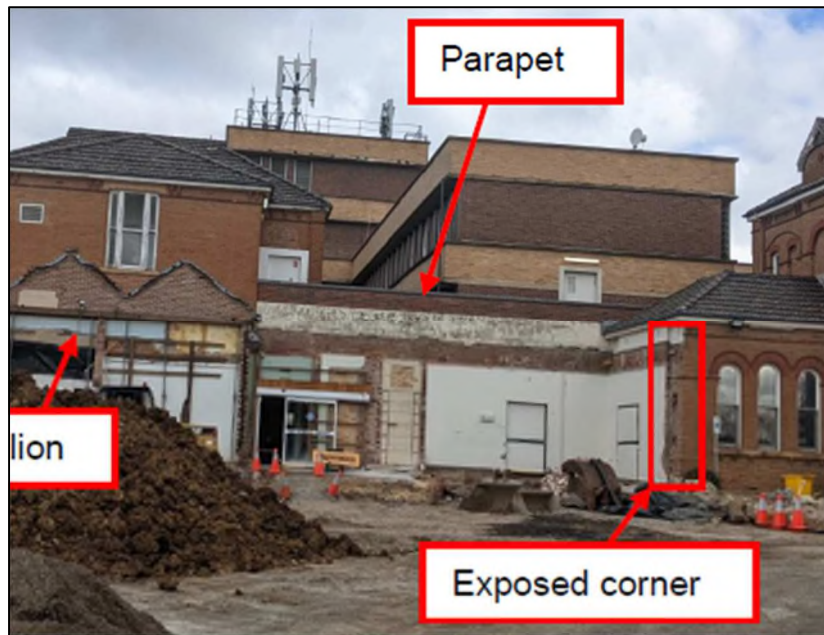
- 2.14 The GMELS is a strategic plan for employment lands in the LGA that will guide future decision making between key stakeholders. The strategy continues to recognise that “health care and social assistance” accounts for one of the top three sectors of the employment population.
- 2.15 The strategy continues to outline the State Government’s \$120 million dollar commitment to the redevelopment of the Goulburn Base Hospital for the following works:
- *new emergency department;*
  - *intensive care unit and theatres;*
  - *inpatient services; and*
  - *a comprehensive ambulatory care service.*
- 2.16 The modification to the northern exposed elevation for Building O will not affect the provision of the above works, which have previously been approved and are under construction.
- 2.17 Based on the above, the proposed modifications will continue to achieve the strategic vision for the Goulburn area.

### 3.0 PROPOSED MODIFICATIONS

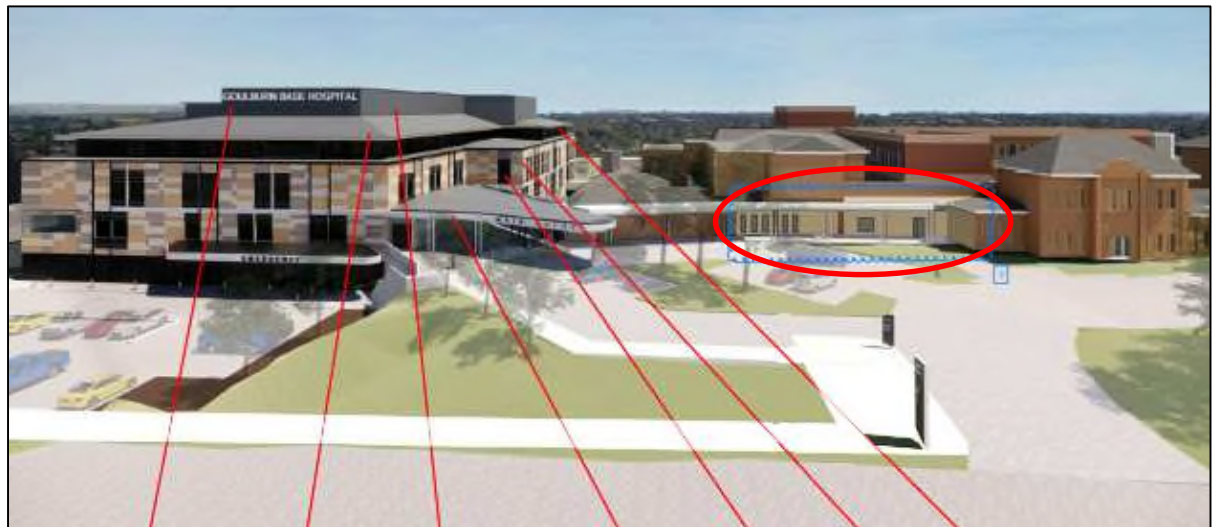
- 3.1 Following demolition of the former Administration and Hospital Records Building, approved under SSD 8667, it revealed that the internal wall (originally external) that is now visible following the demolition, presents a highly modified exterior that needs further resolution to ensure structural integrity and improve the architectural finish of the modified building form.
- 3.2 This modification seeks to modify SSD 17\_8667 to finish the exposed northern wall of Building O.
- 3.3 The proposed works include the following:
- Installation of new windows and glazed egress door;
  - Rendered wall;
  - Replace gutter behind canopy;
  - Clean retained brickwork;
  - Install structural support head beams and provide support for existing walls that are to be retained;
  - Retain existing parapet wall;
  - Feature brick protrusions and corbel/dado lines to be reinstated on new brick walls from salvaged bricks from demolition works; and
  - Retain details of previous gabled roof line on façade.
- 3.4 All works will be undertaken in a simple and compatible finish to ensure works do not mimic works undertaken in the past and not to detract from the heritage significance of the wider hospital buildings.
- 3.5 The following photographs (extracted from the HIS prepared by Permual, Murphy Alessi Dated 16 June 2022) highlight the need for further resolution of the future external wall of Building O:







- 3.6 The proposed works will ensure that the parapet and previous gabled roof lines are retained, and the new works will be simple and compatible with the remaining hospital buildings, as shown in the Figure 4 below:



**Figure 4: Artist Impression when viewed from Goldsmith Street, red circle highlights area of proposed works under this modification.**

- 3.7 The proposed modification of the retained northern wall for Building O will not adversely affect the heritage significance of the wider site and the simplistic finishes and retention of the second storey, above the parapet, will respect the heritage values of the former buildings and be a positive outcome.
- 3.8 **Figure 5** below a 'grading of significance' diagram (Source: PMA HIS 2022 extracted from PMA 2016) and also shows the location of Building O within the hospital grounds with the northern (subject of this modification) highlighted by a magenta rectangle:

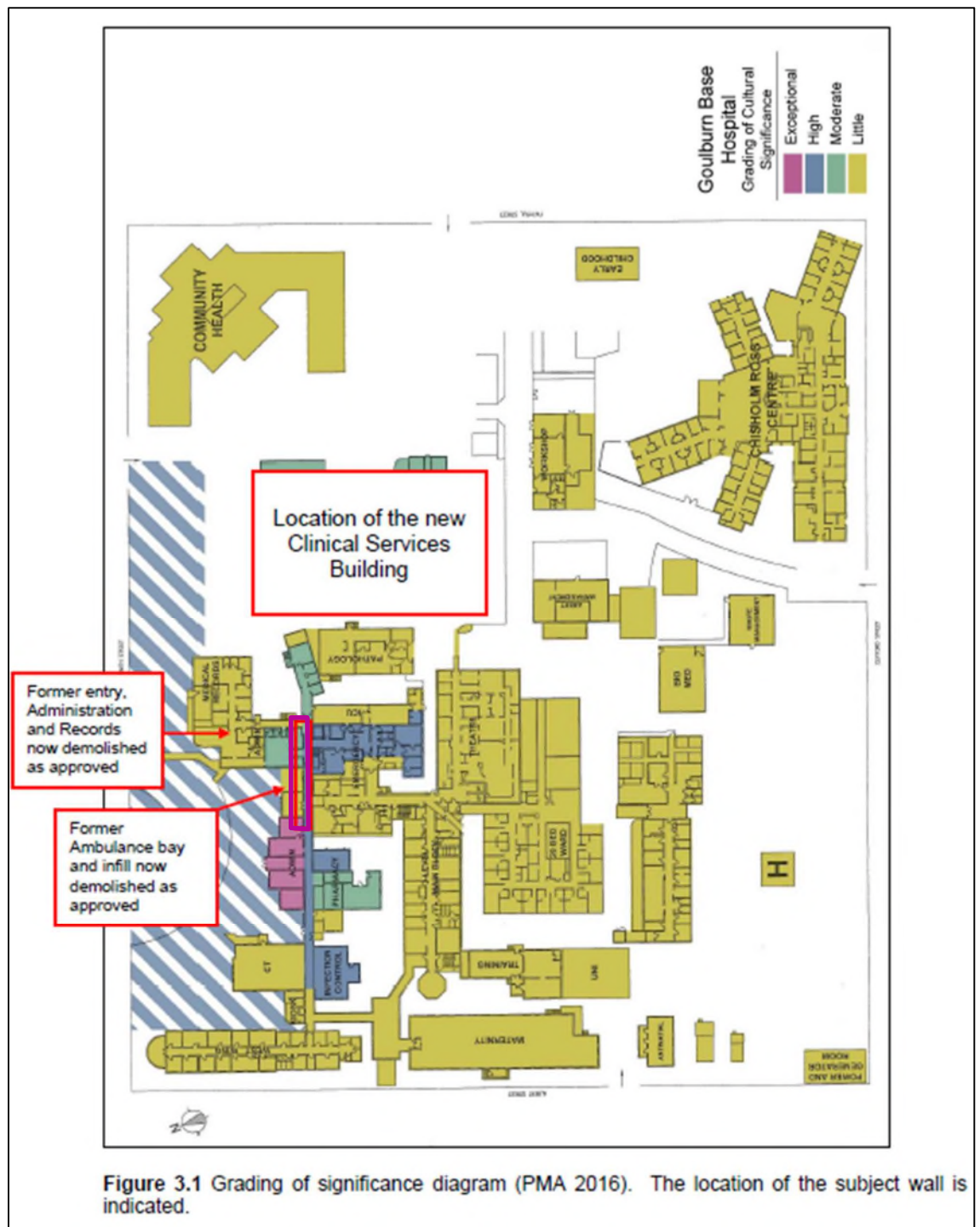


Figure 5: Magenta rectangle highlights location of works subject to this modification. The previously internal wall of Building O has been exposed following demolition of the former Administration and records win and former Ambulance Bay (Source: PMA 2022).

- 3.9 The SSD 17\_8667 approval did not include any works to the northern exposed wall of Building O as it sat behind the buildings approved to be demolished. Following demolition this wall is required to be made good and ensure the architectural finish is visually pleasing, given the heritage significance of the site and particularly when viewed from Goldsmith Street.
- 3.10 There will be no changes to the already approved building footprints and heights. The height remains as approved and there is no change to the gross floor area of number of parking spaces.



### Justification for proposed modification

- 3.11 Following demolition of the former Administration and Records wing and former Ambulance Bay, it is clearly evident that the wall that is now an exposed northern wall for Building O will need rectification. Works are necessary to ensure it is structural safe and finished in a manner that is compatible with the buildings it adjoins.
- 3.12 As demonstrated in the artist impression above in **Figure 4**, the works will be minimal and are necessary to ensure that the redevelopment of the hospital will respond appropriately to the heritage significance of the wider hospital site and be aesthetically pleasing when viewed wholistically from Goldsmith Street.
- 3.13 This modification is now necessary, as it was unknown that the condition of the wall would present in this manner until demolition of the adjoining buildings was complete. The works will be minimal in nature and will not change approved heights, building footprints, uses and/or car parking spaces across the site.
- 3.14 In addition, the works proposed to the northern wall of Building O will not affect the curtilage around the listed heritage items on the site and will be simple and compatible to respect these buildings.
- 3.15 The works proposed are necessary to ensure that the exposed northern wall has a seamless integration with the adjoining buildings, particularly when viewed from the public domain.
- 3.16 As discussed above, the SSDA needs to be modified as it was unknown that the exposed northern wall would be in this condition until the demolition of the former Administration and Records Wing along with the former Ambulance Bay was demolished.
- 3.17 Overall, the proposed works will have a minimal impact.

### Consideration of Section 4.55 Applications

- 3.18 This Section 4.55(1A) application is not subject to the complying, prohibited, designated, or advertised development provisions of the Act. There are no issues relating to endangered flora or fauna, watercourses or bush fire.
- 3.19 The application is submitted pursuant to the provisions of Section 4.55(1A) of the Act which states:

#### **(1A) Modifications involving minimal environmental impact**

*A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:*

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (c) it has notified the application in accordance with:*
  - (i) the regulations, if the regulations so require, or*
  - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*

(d) *it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.*

*Subsections (1), (2) and (5) do not apply to such a modification.*

3.20 An assessment of the requirements of Section 4.55(1A) is contained in the following section.

3.21 The Environmental Planning and Assessment Act 1979, requires the assessment of development proposals against the relevant 'heads of consideration' set out in Section 4.15 and the requirements of 4.55(8) of the EPA Act. These are addressed below.

#### **Requirements of Section 4.55(1A)**

3.22 The proposed amendments are considered to satisfy the test for a section 4.55(1A) application for the following reasons:

##### ***Substantially the same development***

3.23 Whether a development is substantially the same development is a question of fact. This involves a qualitative and quantitative analysis. The analysis involves a comparison between the development as modified and the development originally approved. In the case of *Scrap Realty v Botany Bay City Council* [2008] the Chief Judge described the exercise as being:

3.24 *"The power of a consent authority to modify a consent is a power to alter without radical transformation of a consent"*

3.25 The development as modified must still retain the essence of the original approval. The modification seeks to undertake works to the now exposed northern wall of Building O. The works are necessary to improve the aesthetics of the wall and ensure a seamless integration with adjoining buildings, the works will not transform the consent. The main purpose of the consent was for the upgrade of the wider hospital site. This core purpose and essence of the original approval does not change.

3.26 The works to the exposed northern wall of Building O will not change building footprints, heights, use or car parking spaces available on-site. The works are minor in nature and necessary, and the modification will not transform the consent.

3.27 The modifications do not change the essential features of the approved development and therefore notwithstanding the modifications, the amended proposal is still 'substantially the same development'.

3.28 The impacts of the development are not substantially different. The application as amended is considered 'substantially the same development' and therefore meets the test under S4.55 (1A) of the Environmental Planning & Assessment Act 1979.

##### ***Notification of the amendments***

3.29 Given the nature of the modification, notification is unlikely to be required.

##### ***Any submissions made***

3.30 If required, any submissions made will be considered.

## 4.0 STATUTORY CONTEXT

### 4.1 Planning Controls and Regulations

4.1.1 The relevant planning controls applicable to the Section 4.55 application are listed below:

- State Environmental Planning Policy (Planning Systems) 2021
- State Environmental Planning Policy (Transport and Infrastructure) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- Goulburn Mulwaree Local Environment Plan 2009

4.1.2 Given the nature of the changes proposed under this modification, the development will continue to satisfy all SEPPs.

4.1.3 Compliance with the applicable section of the GMLEP 2009, is discussed below:

#### **Goulburn Mulwaree Local Environmental Plan 2009**

##### Zoning

4.1.4 The site is zoned SP2 Infrastructure. The redevelopment of the site for the purpose of a Health Service Facility is permitted in the zone.

##### Height

4.1.5 Clause 4.3 of the LEP specifies the maximum Height of Buildings and objectives for development. The subject site has a maximum height limit of 8 metres. The works have an approved height of 21.285 metres.

4.1.6 In accordance with Clause 5.12 of GMLEP, the provisions of the LEP do not:

*‘restrict or prohibit, or enable the restriction or prohibition of, the carrying out of development, by or on behalf of a public authority, that is permitted to be carried out with or without development consent, or that is exempt development under State Environmental Planning Policy (Infrastructure) 2007’*

4.1.7 As such, development standards such as the maximum building height standard do not strictly apply to the development.

4.1.8 Notwithstanding the modification seeks to undertake works along the exposed northern wall of Building O only and there will be no changes to the previously approved heights.

##### Floor Space Ratio

4.1.9 Clause 4.4 of the LEP provides for the maximum floor space ratio (FSR). There is no FSR applicable to the site.

4.1.10 Notwithstanding, there are no changes to the building footprint of Building O.

## Heritage Conservation

- 4.1.11 Clause 5.10 of the LEP outlines the requirements for development of or within close proximity of heritage items and within or nearby heritage conservation areas.
- 4.1.12 The land is within Goulburn City Conservation Area and contains locally listed heritage item No. 181, being the Central Building and former pavilions. The identified heritage item is also listed on the Department of Health's section 170 Register (Heritage Act 1977).
- 4.1.13 The works proposed to be undertaken along the exposed northern wall of Building O will not result in adverse heritage impacts. Perumal Murphy Alessi Heritage Consultants have assessed the proposed modifications and concluded the following:

*The proposed modifications to the ground floor walls of Building O at Goulburn Base Hospital are considered acceptable from a heritage point of view and will create no additional adverse impact on the cultural significance of the site or its identified significant elements.*

*The Hospital use of the site and identified exceptional and highly significant buildings will be retained and continue to enhance the significance of the site and area.*

*The highly significant Hospital pavilions have been largely retained and will remain highly visible and able to be appreciated.*

*The works are confined to areas that have previously undergone successive change, alterations and additions. The works seek to stabilise, repair and minimise damage to the remaining structure and details.*

*Any potential heritage impacts on the significance of the Hospital and conservation area are also reduced and minimised by:*

- *the retention of the setback from the Goldsmith Street frontage and retention of the open and landscaped area along the primary address and in front of the Hospital buildings;*
- *the retention of the existing main access and curved driveway and setting of the 1887 Hospital pavilions;*
- *the retention, stabilisation and repair of elements identified as being of significance, particularly the two storey form and details of the 1887 pavilions and the front, north eastern corner of the single storey section of the central pavilion, existing face brick details, parapet and roof;*
- *the retention of the significant connections, the ground floor corridor and external open walkway at first floor level and parapet between the central and eastern pavilions;*
- *the use of a simple and compatible finish that indicates change and does not mimic or detract from but rather highlights the remaining face brick and stone details; and*
- *by the retention gabled shadow line that also interprets the past form.*

*The ongoing use of the site as a Hospital with associated uses is considered a positive impact that enhances the significance of the site.*

*The proposed works will have no impact on the primary views to and from the buildings and along Goldsmith Street. The cultural values and historic fabric of the site and conservation area will remain visible and able to be interpreted.*

*On this basis there should be no hesitation in approving the proposed modification on heritage grounds.*

- 4.1.14 The proposed works will have no detrimental effect on the heritage significance of the site and are appropriate to ensure the exposed northern wall is finished in a seamless manner.

## 4.2 Mandatory Matters for Consideration

4.2.1 The relevant statutory requirements for the project are outlined in **Table 1** below:

**Table 1: Statutory Requirements for Modification**

Category	Action Required
<b>Whether the development to which the consent as modified relates to substantially the same development.</b>	Refer to <b>Section 3</b> above, the works to the exposed northern wall of Building O was unknown until demolition of the former Administration and Records Wing and former Ambulance Bay. The works are necessary to ensure the wall is finished and compatible with the adjoining buildings when viewed from the public domain, the works are considered to be substantially the same development.
<b>Permissibility</b>	The site is zoned SP2 Infrastructure. The redevelopment of the site for the purpose of a Health Service Facility is permitted in the zone.  Works to the exposed northern walls of Building O are necessary following the approved demolition of the adjacent buildings, the works will still remain consistent with the zone objectives.
<b>Heritage Impacts under GMLEP 2009 and Section 170 Register.</b>	Refer to Section 4.1 above, the simple and compatible finish to the exposed northern wall of Building O will have no adverse heritage impact.
<b>Referral to any external authorities.</b>	No referrals required.
<b>Notification</b>	Department to determine if notification of the amendment is required.
<b>Any relevant provisions of Section 4.15(1) of the EP&amp;A Act 1979</b>	The proposed modification has considered the relevant provisions of Section 4.15(1) of the EP&A Act as shown in this Section and Section 6 below.  The modification does not alter the existing compliance with the GMLEP 2009.  The proposal seeks to undertake minor works to the now exposed northern wall of Building O and will be simple and compatible in nature. There will be no changes to height and no adverse impact on heritage listed buildings, as discussed in this Section above.  A separate compliance table is not required, as there are no numerical changes to the overall development.

## 5.0 COMMUNITY ENGAGEMENT

- 5.1 The proposed modification, to works along the now exposed northern wall of Building O, will not detrimentally affect the community, refer to Section 6 below.
- 5.2 Notwithstanding, should the Department require the application to be advertised or notified, this will be undertaken as part of the assessment process.



## 6.0 ASSESSMENT OF IMPACTS

### 6.1 The Likely Impacts

- 6.1.1 This Statement of Effects has considered the potential impact of the modified development on surrounding properties, the streetscape and the environment.
- 6.1.2 As demonstrated in Section 3, above, the proposed works to the exposed northern wall of Building O is considered to be substantially the same development and can be considered under Section 4.55 of the Environmental Planning and Assessment Act.
- 6.1.3 An assessment of the environmental impacts for the modification are discussed below.

#### Visual Impact

- 6.1.4 The demolition of the former Administration and Records wing and former Ambulance Bay has resulted in the exposure of the northern wall of Building O. The current condition of this wall requires both structural and aesthetic improvement to enable its use and to ensure there are no adverse heritage impacts for adjoining buildings.
- 6.1.5 The building is setback approximately 34 metres from the Goldsmith Street boundary and the works are necessary to ensure that Building O has an appropriate architectural finish and integration with the retained buildings when viewed from the public domain. Visually the works will complete the facades fronting Goldsmith Street in a consistent and complimentary manner.
- 6.1.6 Under the original approval, the condition of this internal wall was unknown and following demolition it is clear that works need to be undertaken to ensure structural stability and to minimise adverse impacts on the heritage significance of the wider hospital site, particularly the original Administration Building to the west.
- 6.1.7 The proposed works will be finished in simple and compatible finish and will be an acceptable finish along the Goldsmith streetscape.

#### Heritage

- 6.1.8 Perumal Murphy Alessi prepared a Heritage Impact Assessment (HIA Report) to support the original SSD application and a SHI to support this subsequent Modification application. The subject building is not identified as having heritage significance. The site itself is considered significant for a range of reasons, which will not be impacted by this modification, including:
- *Retention of the hospital and community uses on the site;*
  - *Retention of the street layout and subdivision pattern;*
  - *Provision of a new Acute Services building that will complement the site and its historic importance;*
  - *Demolition of perimeter buildings to enable open carpark and landscaped areas.*
- 6.1.9 The SHI determined that the remaining northern wall has lost much of its early fabric, details and integrity at ground floor level. However, the parapet and walkway at first floor level and upper storey façade of the eastern pavilion remain and are considered to be of high significance.

- 6.1.10 On this basis, it is considered that the works to be undertaken along the northern wall of Building O will not have an adverse heritage impact and should be supported. The approved drawing list mitigation measure is recommended to be modified as shown at **Appendix 3**.

## **6.2 The Suitability of the Site for the Development**

- 6.2.1 The site remains suitable for the approved and modified development. The site will deliver, as envisaged by the SSDA, and upgrade hospital facility to support the needs of residents within the area and within convenient proximity to Goulburn.

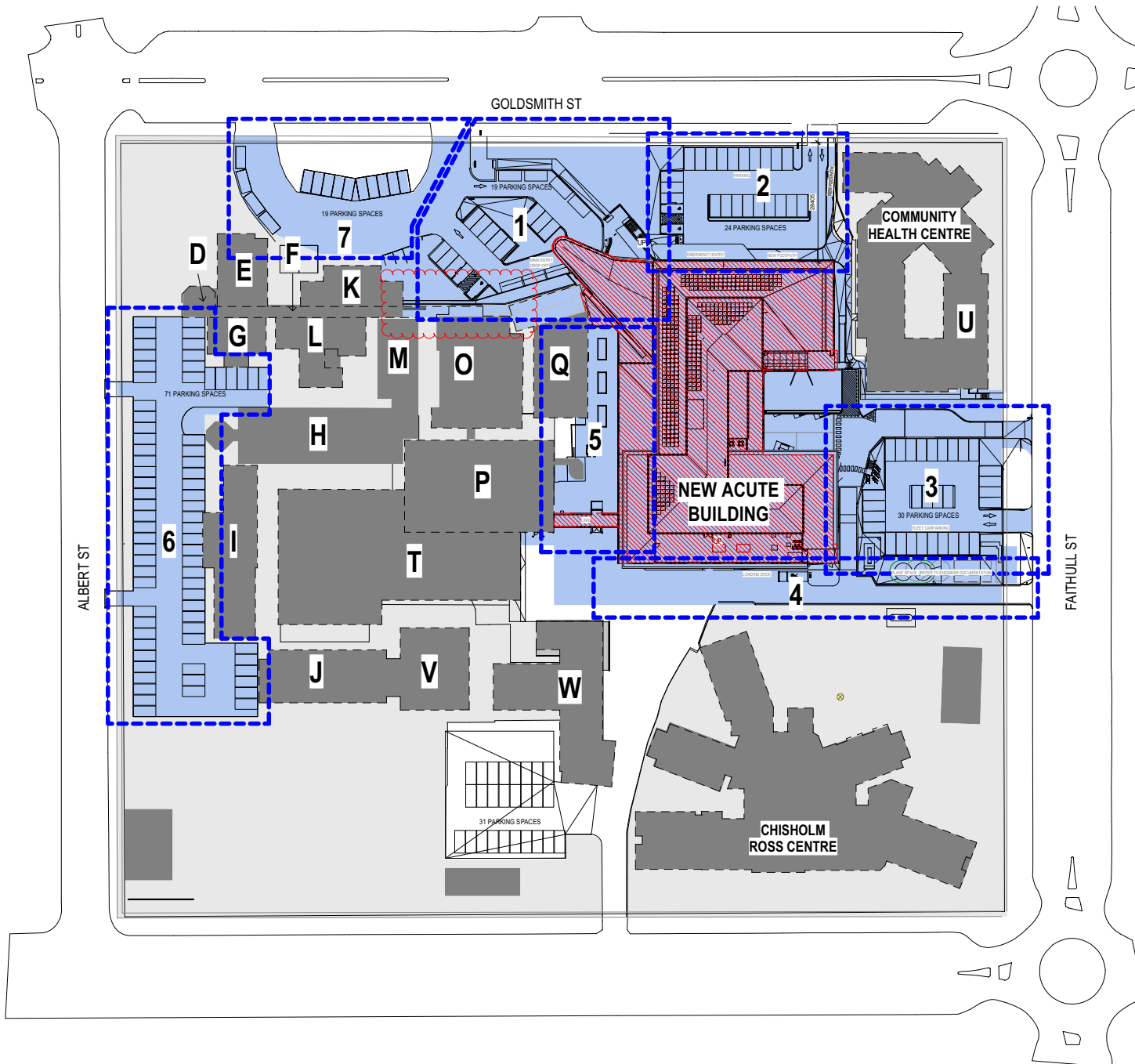
## **6.3 The Public Interest**

- 6.3.1 It is in the public interest to allow the orderly and economic development of the Goulburn Hospital site. The works to the northern wall of Building O have no unreasonable adverse environmental, economic or social impacts, and has general merit.

## **7.0 JUSTIFICATION OF THE MODIFIED REPORT**

- 7.1 The proposed modification will ensure that the heritage significance of the hospital site is managed effectively and will support the wholistic redevelopment of the Goulburn Base Hospital.
- 7.2 This report has demonstrated that the proposed modification addresses the requirements of Section 4.55(1A) of the Act and is considered substantially the same development.
- 7.3 The works to the northern wall of Building O will in no way affect the State Government's commitment to upgrading and providing improved services within the Goulburn Hospital for the wider community and will ensure that the project continues to achieve the intent and strategic goals within the East Tablelands Regional Plan 2036 and Goulburn Mulwarre Employment Land Strategy.
- 7.4 Works to the northern wall of Building O will ensure that the redevelopment along Goldsmith Street integrates suitably between old and new facades and minimises heritage impacts.
- 7.5 The works will not detrimentally affect the heritage significance of the nearby Central Building and Original 1887 Pavilions, which are identified as heritage items under the GMLEP 2009, Section 170 Register and are recognised by the National Trust of Australia (NSW). The works will not adversely impact on the curtilage of these items, that will have been improved with works approved and undertaken under SSD 17\_8667.
- 7.6 The works to the exposed northern wall of Building O is necessary and will support the future needs of the hospital and wider community with no adverse effects on heritage, traffic, parking and servicing. The works will have no adverse effect on the original approval and overall will continue to satisfy the strategic direction of the locality and will support the improved hospital facility and satisfy the strategic and local planning controls without adverse impacts.
- 7.7 Accordingly, the modification to SSD 17\_8667 to facilitate works to the exposed northern wall of Building O is recommended.

# Appendix One



1 Site Plan-SSD  
SCALE: 1:500

## EXISTING BUILDING LEGEND:

BLDG	LEVEL	DEPARTMENT
A	GR	WEST WING / OFFICES / CLINICAL LIBRARY
B	GR	MATERNITY ENTRANCE
C	GR	MATERNITY
D	GR	KIOSK
E	GR	PAEDIATRIC CLINIC EYE CLINIC MEDICAL IMAGING/ CT
F	GR	LINK / CORRIDOR
G	GR	CRITICAL CARE & MEDICAL OFFICES
H	GR	CHILDREN'S WARD & DAY ONLY UNIT
L1		SURGICAL WARD
L2		MEDICAL WARD
I	GR	EDUCATION
J	GR	RENAL DIALYSIS
K	GR	MEDICAL IMAGING
L	GR	PHARMACY CHAPEL
M	GR	MEDICAL IMAGING
L1		SURGICAL WARD
L2		MEDICAL WARD
O	GR	EMERGENCY INTENSIVE CARE UNIT STAFF DINING/ MEETING & OFFICES
P	LG	KITCHEN
GR		OPERATING THEATRES
L1		CSSD
Q	LG	MORTUARY
GR		PATHOLOGY
T	LG	BACK OF HOUSE
GR		REHABILITATION UNIT
U	GR	COMMUNITY HEALTH CENTRE
V	GR	PHYSIOTHERAPY
W	GR	BIO-MED/ WASTE ASSET MANAGEMENT WORKSHOP
X	LG	SUBSTATION GENERATOR
Y	LG	OXYGEN COMPOUND
Z	LG	ASSESMENT MANAGEMENT OFFICE

## SCOPE OF SITE WORKS

- 1 MAIN ENTRY DROP-OFF + PARKING.  
REFER TO ARCHITECTURAL DRAWING AR-10-002.
- 2 EMERGENCY DROP-OFF + PARKING.  
REFER TO ARCHITECTURAL DRAWING AR-10-002.
- 3 STAFF / FLEET CARPARK.  
AMBULANCE ROAD / ACCESS / PLAZA.  
REFER TO ARCHITECTURAL DRAWING AR-10-003.
- 4 SERVICE ROAD / LOADING DOCK.  
REFER TO ARCHITECTURAL DRAWING AR-10-003.
- 5 WEST COURTYARD / LINK CORRIDOR.  
REFER TO ARCHITECTURAL DRAWING AR-10-003.

6&7 CARPARKING.  
TO BE CAPTURED AS FINAL WORKS (SEPARATE WORKS FROM THE  
NEW ACUTE BUILDING WORKS).

PREVIOUS APPROVED SCHEME				CURRENT SCHEME			
MAIN ENTRY PARKING SPACES	21	MAIN ENTRY PARKING SPACES	19	EMERGENCY PARKING SPACE	22	EMERGENCY PARKING SPACE	24
FLEET PARKING SPACES	30	FLEET PARKING SPACES	30	SOUTHERN PARKING SPACES	31	SOUTHERN PARKING SPACES	31
WESTERN PARKING SPACE	72	WESTERN PARKING SPACE	74	NORTHERN PARKING SPACE	20	NORTHERN PARKING SPACE	19
TOTAL PARKING SPACE =	196	TOTAL PARKING SPACE =	197				

KEY PLAN

REV DESCRIPTION DATE

1	ISSUE FOR INFORMATION APPLICATION SUBMISSION	20/02/2019
2	ISSUE FOR INFORMATION APPLICATION	22/02/2019
3	ISSUE FOR INFORMATION APPLICATION	22/02/2019
4	ISSUE FOR INFORMATION APPLICATION	22/02/2019
5	ISSUE FOR INFORMATION APPLICATION	22/02/2019
6	ISSUE FOR INFORMATION APPLICATION	22/02/2019
7	ISSUE FOR INFORMATION APPLICATION	22/02/2019
8	ISSUE FOR INFORMATION APPLICATION	22/02/2019
9	ISSUE FOR INFORMATION APPLICATION	22/02/2019
10	ISSUE FOR INFORMATION APPLICATION	22/02/2019
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99	ISSUE FOR INFORMATION APPLICATION	22/02/2019
100	ISSUE FOR INFORMATION APPLICATION	22/02/2019

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SILVER THOMAS HANLEY (AUS) PTY LTD ABN 21 134 476 066  
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION  
CLIENT

**PROJECT MANAGER**  
Level 15, 207 Kent Street,  
Sydney NSW 2000  
PH: (02) 9276 1400

**PROJECT**  
**Goulburn Hospital & Health Service Redevelopment**  
130 Goldsmith St, Goulburn NSW 2580

**DRAWING TITLE**  
**SITE PLAN - PROPOSED MAIN WORKS - S4.55 MODIFICATION APPLICATION**

**SCALE**  
As indicated @ A1

**DATE**  
08/01/19

**DRAWN BY**  
MS

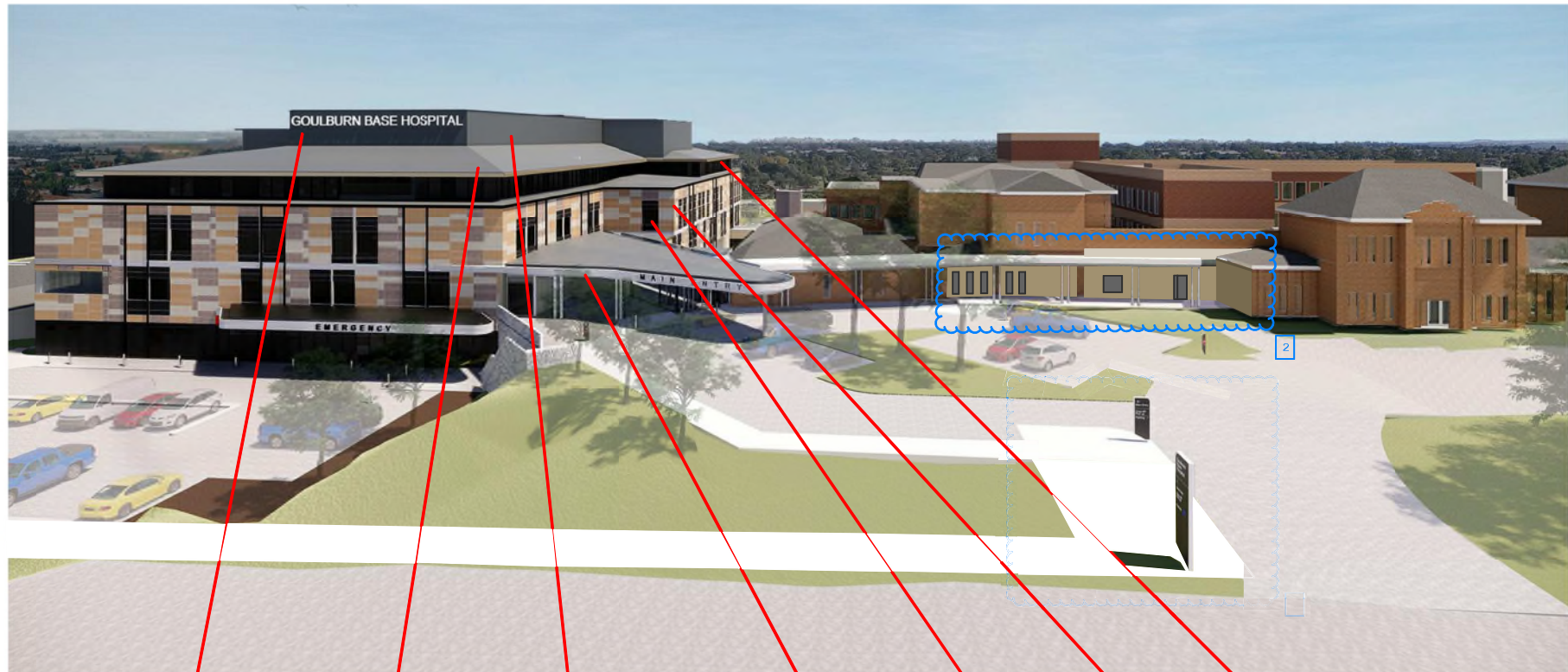
**CHECKED**  
MS

**PROJECT NO.**  
10406.00

**DRAWING NO.**  
AA-02-02

**REVISION**  
C





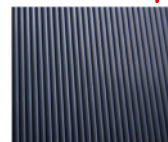
2 FACADE OF BUILDING 'O' ADJUSTED  
AS SHOWN ON DRAWING TITLED  
'LINKWAY CANOPY PLANS -  
ELEVATION - SECTION & DETAILS.'



VMC VERTICAL METAL CLADDING



MDR PITCHED METAL ROOF



LVA VERTICAL ROOF PLANT LOUVER



LWV VERTICAL STAIR LOUVER



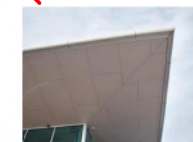
CFC FIBER CEMENT SHEET CLADDING



LWV BLACK ALUMINUM WINDOW FRAMES



PFT PORCELIN STONE LOOK FACARE TILE



CFC CFC EAVES LINING

## BUILDING PERSPECTIVE

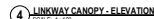
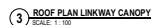
Goulburn Hospital & Health Service Redevelopment

Project Number 10406.00

Scale @ A1 Sheet Size As indicated Date 12/07/22

Drawing Number: AA-21-03



[illegible]

**NOTES:**

FOR LIGHTING AND POWER REFER TO ELECTRICAL ENGINEERING DRAWINGS  
FOR DRY FIRE REFER TO HYDRAULICS/FIRE ENGINEER

CONTRACTOR TO CROSS-CHECK AND COORDINATE ALL INFORMATION  
RELATING TO SERVICES WITH THE RELEVANT SERVICES CONSULTANT  
DOCUMENTATION. CIVIL PAYING LEVELS AT DOORWAYS TO BE CONFIRMED ON  
SITE.

ALL STRUCTURAL MODIFICATIONS AND REQUIREMENTS TO BE VERIFIED BY  
STRUCTURAL ENGINEER

EXTFL ###-###-EXISTING REDUCED LEVEL FROM SURVEY  
EXTINT.FFL ###-###-NOMINAL REDUCED LEVEL ADJUSTED AT FROM  
INTERPOLATION FROM CLOSEST SURVEY POINTS. IS TO BE C.O.S

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PROJECT

**Goulburn Hospital Final**

**Works**

130 Goldsmith St, Goldburn NSW 2580  
DRAWING TITLE \_\_\_\_\_

**LINKWAY CANOPY PLANS -  
ELEVATION - SECTIONS &**

## ELEVATION SECTIONS & DETAILS

SCALE	DATE	DRAWN BY	CHECKED
As indicated @ A0	10/22/21	DP	DP
PROJECT No.	DRAWING No.	REVISION	

10516 18483-STH-AR-DWG-62-N5 J

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# Appendix Two



## **STATEMENT OF HERITAGE IMPACT GOULBURN BASE HOSPITAL – BUILDING O FAÇADE REMEDIATION AND ADAPTIVE WORKS**

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This report has been prepared on behalf of Health Infrastructure to accompany the Section 4.55 Modification Application and to assess the potential heritage impacts of the proposed façade works to Building O at Goulburn Base Hospital, No. 130 Goldsmith Street, Goulburn (the site).

### **1.0 Background & Heritage Listing Status**

A major redevelopment of the Goulburn Base Hospital (GBH) is currently in progress with works being carried out in accordance with REFs and approval (SSD 8667).

Planning commenced in 2015 and resulted in the construction of the new Clinical Services Building (CSB) over the eastern portion of the site. The building is connected to the original and early Hospital pavilions and buildings which are located to the west of the new building and continue to address Goldsmith Street.

Demolition, as approved, of the former Administration and Hospital Records wing that extended towards the Goldsmith Street frontage and ambulance bay area have now been completed and have exposed a wall that encloses part of the retained connecting link between the early Hospital pavilions and new CSB.

The wall at ground floor level, which was originally both external and internal, has been subject to successive alterations and additions over the years. Prior to demolition it was internal. The demolition has revealed a largely rendered surface and infill with various openings below the exposed face, rendered and painted brick walls. The façade also retains evidence (flashing line) of the removed gabled roofs.

It is currently proposed to retain the internal and external corridors and walkways and adapt the exposed wall below the awing level and approved awnings. New structural support, openings and a painted, rendered finish is proposed. The face brick parapet and first floor façade including the gabled shadow lines above the awning will be retained.

Goulburn Base Hospital is not listed on the State Heritage Register, however, the Central Building and original 1887 Pavilions have been listed on the Department of Health S170 Register and have been recognised by the National Trust of Australia (NSW). The Central Building and former Pavilions have also been listed as a local item under Schedule 5 of the Goulburn Mulwaree Local Environmental Plan 2009 (L181). The site is also located in the Goulburn Residential Conservation Area (West).

As such any proposed works must consider the potential impacts on the cultural significance of the site, primary buildings and elements and their setting, surrounding streetscapes and conservation area context.

---

This report refers to the findings of the Heritage Assessment prepared by our office (PMA, dated February 2016) and Statement of Heritage Impact reports prepared since that time in relation to the new Clinical Services Building and associated works and other new facilities on the Hospital site.

The proposed works have been assessed with reference to Goulburn Mulwaree Council planning documents and standard criteria. The purpose of the report is to outline the current proposed works, options discussed and how any potential heritage impacts are reduced and mitigated.

## 2.0 Historical overview

The history of the site has been well documented. The current Hospital is the third general Hospital to be constructed in Goulburn and was constructed over two land grants between 1887 and 1889. Designed by local architect, EC Manfred, the Hospital was planned on the pavilion system and was officially opened on 11<sup>th</sup> October 1889 by Mayor, HS Gannon.

Early photographs show the central pavilion framed by two similarly detailed, two storey pavilions with single storey connections and bays. The two pavilions provided separate wards each side of the main, central administration block. A circular driveway was also constructed along the Goldsmith frontage. Several improvements were made in the early 1900s and new buildings and facilities have been successively added. In 1919 a single storey wing with operating facilities was completed. Constructed on an angle and later adapted for other uses, it now forms the connection between the original Hospital pavilions and new CSB.

The first block of wards was constructed in 1933 with the second block following in 1937. This block, “The West Wing”, located at the north western corner of the site was extended in 1943. Two Nurses’ Homes, designed by the Government Architects Office, were constructed on the eastern side of the site in the 1920s and late 1930s. These and associated additions were demolished to enable the construction of the CSB.

The Hospital continued to expand in the 1940s. A new Children’s Ward was constructed in 1943. It was later converted for use as Administration and Medical records. The wing was also modified in the late 20<sup>th</sup> century to create the new entry. Following a review of options it was also recorded and has recently been demolished to make way for the new Hospital entry.

A Maternity Ward was completed in 1949. Located close to the Albert Street frontage it now has a separate entry facing the street. A covered walkway also connects it to the main buildings.

In 1951 the Hospital was officially gazetted as a “base” hospital, the sixth in NSW. The term is derived from military use and applies to a large rural, central hospital which could provide a range of facilities and that would not require sending patients to Sydney. Goulburn retains this classification and remains the largest Hospital in the Southern NSW Area Health District.

The facilities at the Hospital continued to expand with other wards and training facilities added in the 1950s. By this time some infill had been added between the central, original pavilion and the eastern pavilion. A kiosk was located in this area, along the main east-west corridor. The kiosk was later relocated and an ambulance bay has also since been added to this area. The infill and ambulance bay have also been recently removed.

Discussions relating to the construction of a new Hospital building also began, however, it wasn’t until 1964 that it was announced that a new multi-storey building would be constructed. Opened in October 1966, the modern building designed by the Government Architects Office with a prominent five storey tower, provided new wards, operating theatres and other much needed facilities.



Major “renovations” were also carried out in the 1970s including re-roofing of the old Hospital buildings and additions to existing wards. Other additions to the building included the Ambulance bay and associated infill at the front of the building.

Additions to the site included the construction of the Health Commission Offices (now Community Health Centre) on the corner of Goldsmith and Faithfull Streets. This building has been extended twice since that time. The 1980s and 1990s also saw the addition of the Pathology Building and the Chisholm Ross Centre on the corner of Faithfull and Chisholm Street which opened in 1997 and has since been extended. A notable change to the central section of the site was the construction of a new ward and rehabilitation building (the Sub Acute Rehabilitation Unit (SARU)) completed in c. 2013. Constructed at the rear of the 1960s block it replaced the early laundry and service buildings.

Construction work on the CSB commenced in 2019 following detailed assessment, consultation and ongoing review and revision of the design that considered the heritage values of the original and early buildings and their setting and Goldsmith Street address and context.

Today, it is clear that the buildings have continually been upgraded and replaced to ensure that the Hospital remains a functional facility with a range of medical and associated services. Works have been ongoing so that the site can continue to operate in an efficient, up-to-date, compliant and viable manner for the local and wider region into the future.

### 3.0 Assessed significance

The significance of site as indicated on the State Heritage Inventory (SHI) Database<sup>1</sup> relates to the original 1887 building and its historical association with local architect EC Manfred. The Statement of Significance is as follows:

*Goulburn Base Hospital is significant locally for the late Victorian style of its central building and pavilions, erected in 1887. The building was designed by the noted Goulburn Architect, EC Manfred.*

This is reiterated by Statement of Significance on the Department of Health S 170 Register<sup>2</sup> which also notes its contribution to the area:

*Of architectural and historical significance as a major institutional work of the local architect EC Manfred. A large Federation period hospital with major streetscape impact on Goldsmith Street in Goulburn.*

The findings of the Heritage Assessment (PMA, February 2016) are summarised as follows and the grading of buildings and elements has also been included (**Figure 3.1**).

Goulburn Base Hospital is of local historic, aesthetic and social significance as a purpose built hospital that retains strong evidence of its original establishment on the site and subsequent stages of development which reflect the growth and development of Goulburn and surrounding areas.

Although not the first purpose built hospital in Goulburn, the site significantly retains much of the original 1887 building which continues to be a prominent feature of Goldsmith Street.

<sup>1</sup> Heritage NSW SHI, Goulburn Base Hospital, Central Building, Pavilions, Database number: 2933144.

<sup>2</sup> Heritage NSW SHI, Central Building and former Pavilions, Database number: 3540268.

Designed by highly regarded, local architect EC Manfred, it is a good example of a late Victorian style building that despite various alterations and additions retains a strong sense of its early external form, character and fabric, particularly main one and two storey pavilion and two, attached two storey pavilions and associated wings.

The main one and two storey central wing in particular is of high aesthetic and social significance to the local community as a visually prominent, original element of the Hospital that retains original details and fabric. With the curved driveway, which reflects the original access, associated front lawn and two mature trees it makes a positive contribution to the Goldsmith Street streetscape.

The West Wing and other later buildings date from subsequent phases of development and are similarly good, representative examples of Post-war, late 20<sup>th</sup> and early 21<sup>st</sup> century buildings that incorporate standard details, materials and construction techniques that are not unique or rare in the local or wider context. The group of 1950s buildings and wards in the mid-section section of the site are representative examples of simple, single storey, utilitarian and institutional structures designed by the NSW Government Architect's Office. The buildings have some associational value, however, make limited visual contribution to the site and area and have undergone various upgrades and additions to enable on-going use.

The multi-storey block (1960s building) is also associated with the Government Architect's Office, however, is a representative example of a late 20<sup>th</sup> century, multi-storey hospital building that incorporates standard material, details and elements. The building is a visible element and forms a backdrop to the historic buildings and site.

The various changes to the site and buildings, ongoing upgrades and development also represent the requirement for changing and expanding health care services and facilities in the local and wider area. The ongoing use and development of the site for health care services also enhances its significance.

### Significance of the subject area

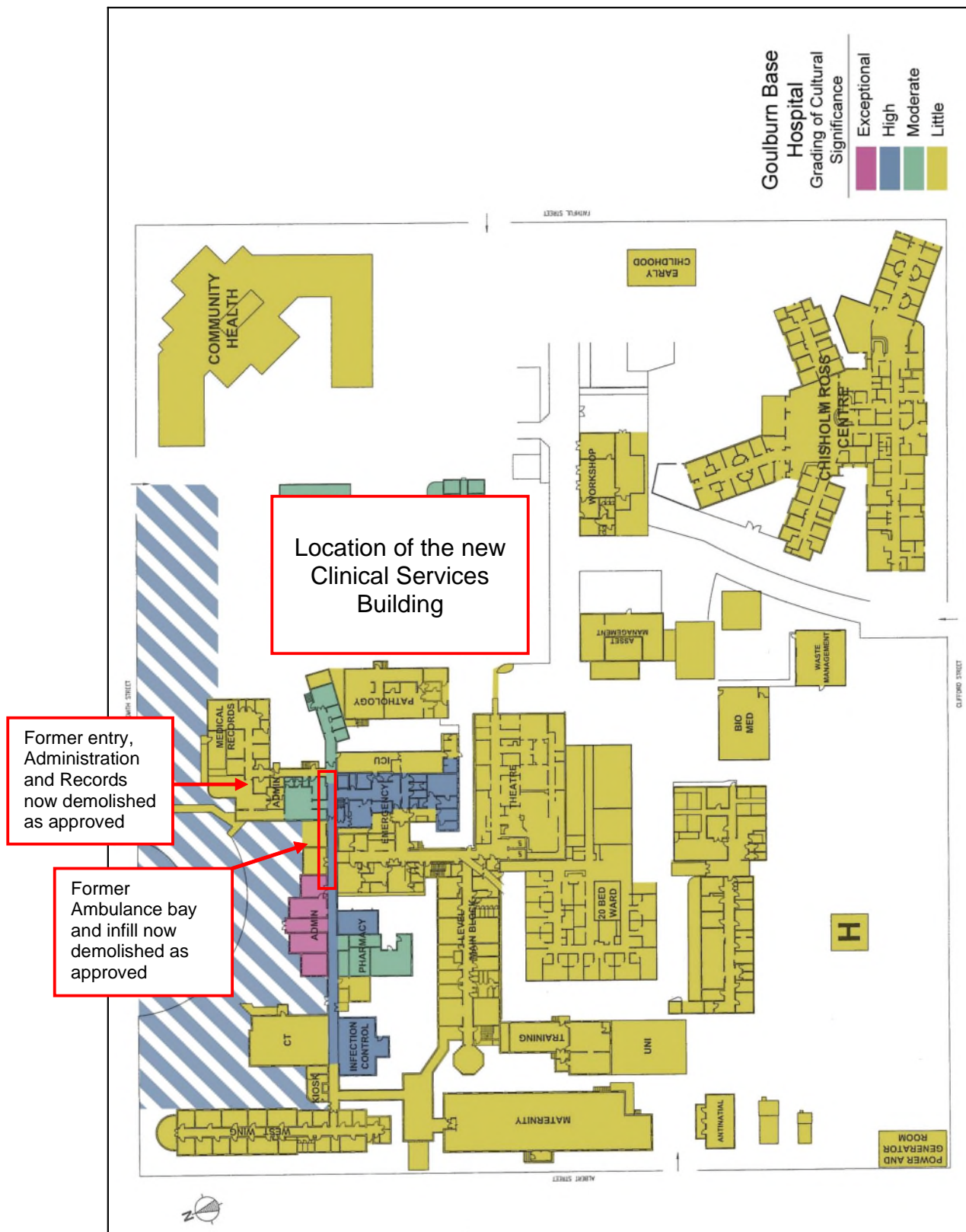
The subject walls are located along the main east-west corridor space that originally and continues to connect the original Hospital pavilions. As such, the corridor space and connection has been rated as being of High significance.

The external and internal walls and spaces have, however, been successively modified and upgraded to suit ongoing Hospital uses.

The former entry and Hospital Administration area, ambulance bay and infill (now demolished) were rated as being of Moderate and Little significance due to the extent of changes and as part of later infill and additions to the Hospital.

The northern wall remains, however, has lost much of its early fabric, details and integrity at ground floor level.

The parapet and walkway at first floor level and upper storey façade of the eastern pavilion remain and are considered to be of High significance.



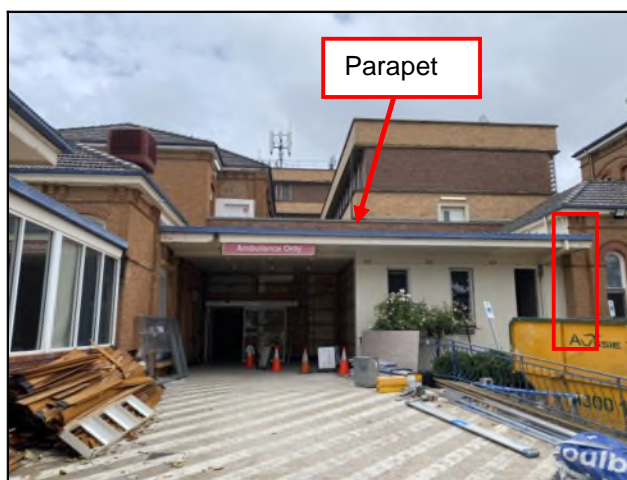
**Figure 3.1** Grading of significance diagram (PMA 2016). The location of the subject wall is indicated.

#### 4.0 The existing situation & current proposed works

The approved demolition works have revealed rendered and modified walls with some wide openings, brick and lightweight infill.

The eastern facade of the one and two storey central pavilion and specifically the eastern façade of single storey section has been largely rendered and painted. The former infill/ addition was constructed to the façade. The removal of the wall has fully exposed the north eastern corner (indicated **Figure 4.1** & **Figure 4.2**)

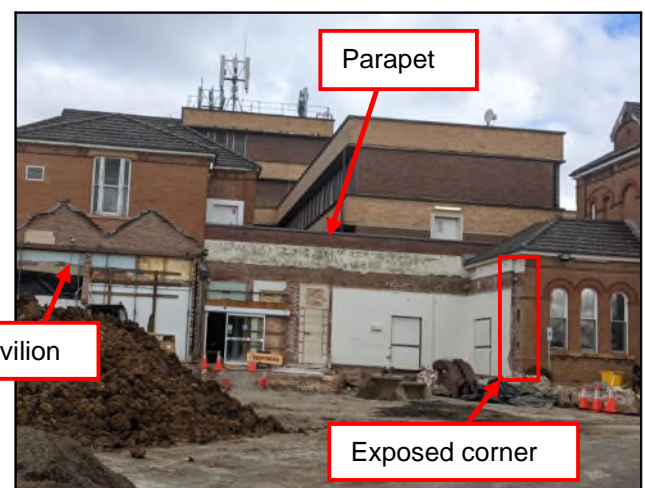
The internal corridor and open walkway at first floor level with the rendered and face brick parapet remain and will continue to connect the central and eastern pavilions. The wall below the parapet and ground floor of the eastern pavilion indicate a number of changes and modifications. The façade also retains evidence of the former roofs.



**Figure 4.1** The subject area just prior to demolition.



**Figure 4.2** The area following the demolition which has revealed rendered and modified walls and parapet above the main corridor and bounding the first floor open walkway. The north eastern corner of the single storey section of the main pavilion has also been fully exposed. The earlier gabled roof form of the eastern pavilion is also apparent (at left).



It is currently proposed to make good and adapt the exposed wall sections to the east of the central Hospital pavilion as illustrated in the architectural drawings prepared by STH Pty Ltd.

It is proposed to retain as much of the existing walls as possible and particularly maintain the integrity and structure of the eastern, single storey section of the central pavilion, existing corridor, first floor walkway and parapet connecting to the eastern pavilion.

The exposed north eastern corner, the plinth and details of the eastern, single storey section of the central pavilion is proposed to be repaired using salvaged bricks. The existing rendered finish of the east facing wall is proposed to be retained and repaired. The existing opening, which is a later alteration, is proposed to be infilled and rendered to match. The existing corbelled brick and eaves details and roof will be retained.

An existing opening at the western end of the north facing wall is proposed to be retained and adapted to provide a fire egress door. A new aluminium framed door and sidelight are proposed. A new large window is also proposed to the former ambulance bay door at the eastern end of the same wall.

Additional structural support, waterproofing and footings are proposed at the ground floor level of the northern façade of the eastern pavilion with new brick infill walls and openings. A new fascia is proposed to conceal new structural beams. The new wall is proposed to be rendered and vertically proportioned fixed windows are proposed. The face brick first floor façade and existing timber window will be retained. It is proposed to cut back the flashing of the former gabled roof sections, but retain the gabled shadow (ghost) line and make good and repair the exposed face brick for interpretive purposes.

The rendered finish is proposed to be painted a light, relatively neutral colour that is proposed to complement the face brick of the original pavilions and CSB cladding panels.

Overall, the works are proposed to rationalise and improve the walls and facades that have been affected by past alterations and additions and have been exposed by the approved demolition works and to stabilise and minimise damage to the retained walls and structure.

## **5.0 Heritage Impact Assessment**

### **5.1 Goulburn Mulwaree Local Environmental Plan 2009 & DCP 2009**

In accordance clause **5.10 Heritage conservation** of the GMLEP 2009:

#### ***(4) Effect of proposed development on heritage significance***

*The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).*

#### ***(5) Heritage assessment***

*The consent authority may, before granting consent to any development:*

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*



*require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.*

The significance of the site largely relates its ongoing use as a Hospital and its historic, aesthetic and social significance and values as a purpose built hospital that retains strong evidence of its original establishment and subsequent stages of development which reflect the growth and development of Goulburn and surrounding area.

The architectural character of the original Hospital pavilions and their contribution to the Goldsmith Street streetscape and their association with local architect, EC Manfred, has also been noted.

The proposed works, modifications and adaption of the walls to the east of the central pavilion, are considered acceptable from a heritage point of view and will create no additional adverse impact on the fundamental significance of the Hospital.

The buildings will significantly continue function as part of the Hospital. The historic and aesthetic character, the primary form, one and two storey scale of the central pavilion and its connection to the western and eastern pavilions will be retained. The existing face brick facades, brick and stone details will be retained and remain face brick and stone. The damaged, north eastern corner will also be repaired and reinstated to match.

The associated, highly significant open front setback, garden and relationship to the Goldsmith Street frontage will also remain. The historic and early architectural character and its primary setting will remain highly visible and able to be interpreted.

As a functioning Hospital, the building and particularly the subject area have previously undergone various alterations and additions to cater for ongoing use and services. The walls have been affected by infill, cutting in and addition of new openings and walls and addition of rendered, lightweight and painted finishes and services.

The existing walls and parapets will be largely retained. The retention, repair and reinstatement of the plinth details of the front, north eastern corner of the eastern single storey section of the central wing is considered a positive. The other details of the façade, the corbelled brick details below the eaves and existing roof form and cladding will also be retained.

The retention and provision of a new rendered finish to the walls below the canopy and awning level is proposed to prevent additional undue damage to the building form and structure, particularly the eastern single storey wing and parapeted walkway, and to rationalise and repair the existing varying brick and rendered walls.

Due to the extent of changes, there are concerns that reconstruction and reinstatement of the earlier details or removal of the later, cement rendered finish would cause additional damage and potentially affect the integrity of the remaining structure and parapet. Introduction of modern claddings and finishes was not considered appropriate in this location. Retention of a rendered finish is intended to provide a compatible finish that acknowledges and interprets the changes to the area and does not detract from the remaining face brick and details. Existing openings have also been retained to reduce change and provide a necessary egress and light.

The provision of new structure and adaption of the ground floor of the eastern pavilion is also considered acceptable. The existing wall was originally internal and has also undergone various modifications and changes. The proposed rendered brick wall with vertically proportioned openings does not seek to mimic or replicate original details, but rather also recognises changes and highlights the retained brick structure. The integration of some additional structure is required, however, will have no adverse impact.



The primary two storey form and details including details of the first floor façade, eaves and main roof form have been retained. The shadow (ghost) line and interpretation of the former double gable roof will also remain. The existing and highly significant connections, the internal corridor and the open, parapeted walkway between the central and the eastern pavilion at ground and first floor levels will also significantly be retained.

The work to the façade is confined to ground floor level. Any potential adverse heritage impacts are also reduced by the awning which will screen and shadow the walls, setbacks and the proposed landscaping and buffering and interpretive elements around the buildings. The overall form and character of the early pavilions will remain visible from the Goldsmith Street frontage.

The works are confined to the site and are setback from the Goldsmith Street frontage with improved (approved) car parking area, landscaping and planting to be provided between. As such it is considered that the proposed modification will be no adverse impact on the surrounding streetscapes and conservation area.

In relation to the Heritage objectives and controls of the GMDCP 2009, section **3.3.2 Alterations and Additions:**

<b>Controls</b>	<b>Response</b>
<i>A. Avoid changes to the front elevation - locate new work to the rear of, or behind the original building section.</i>	The proposed modifications affect areas that have previously undergone successive changes, alterations and additions and areas revealed by the approved demolition works. The works are on the front elevation, however, have been kept simple so that the primary form and intact facades and details of the exceptional and highly significant Hospital pavilions remain intact, highly visible and are able to be appreciated.
<i>B. Design new work to respect the scale, form, massing and style of the existing building, and not visually dominate the original building.</i>	The existing scale, form, massing and style of the building have been retained. The proposed modification and adaption of the affected wall areas are proposed to repair, stabilise and maintain the integrity of the remaining structure and not visually dominate or detract from the original and unaltered brick forms and details.
<i>C. The original roof line or characteristic roof elements are to remain identifiable and not be dwarfed by the new works.</i>	The existing original roof and parapet lines of the Hospital pavilions have been retained and will remain identifiable.
<i>D. Retain chimneys and significant roof elements such as gables and finials where present.</i>	No chimneys are extant, however, the significant roof elements particularly the open, parapeted walkway between the central and eastern pavilion has been retained.
<i>E. Ensure that the new work is recognisable as new, “blending in” with the original building without unnecessarily mimicking or copying</i>	The new work is intended to read as altered and modified areas and not blend in or mimic the original details. The new work will highlight and allow the existing historic brick and stone details to remain visible and able to be interpreted.

<p><i>F. Complement the details and materials of the original roof including ridge height and slopes without compromising the ability to interpret the original form.</i></p>	<p>The proposed work is intended to minimise impact on the parapet, elevated walkway and roof form.</p>
<p><i>G. New materials are to be compatible with the existing finishes. Materials can differentiate new work from original building sections where appropriate, for example by the use of weatherboards where the original building is brick or by the use of “transitional” materials between old and new.</i></p>	<p>The materials and details are considered appropriate and compatible to the building will not detract from the historic fabric on the site or area.</p> <p>The render is intended to be interpreted as modified and adapted areas and allows the historic face brick structure to remain visually dominant.</p>
<p><i>H. Retain front verandahs. Reinstating verandahs, and removing intrusive changes is encouraged, particularly where there is physical and/ or historic evidence.</i></p>	<p>The remaining primary details of the historic pavilions will be retained.</p> <p>The affected walls have been previously extensively modified. Remaining early brick walls have also been largely rendered.</p> <p>Some physical and historic evidence remains, however, the removal of the render would damage the walls and potentially the wall, parapet and roof structure above.</p> <p>The previous changes are such that reinstatement of early details would require wholesale removal and reconstruction that would require additional structure and similarly create undue damage to remaining primary details.</p>

## 5.2 Heritage NSW criteria

The relevant questions have been considered in detail below.

### ***How is the impact of the new development on the heritage significance of the item and area to be minimised?***

The proposed modification of the walls is consistent with the aim to retain the historic character and features and improve the Hospital use which also contributes to the significance of the place and its contribution to the area. Any potential heritage impacts of the proposed modifications on the significance of the Hospital and surrounding conservation area are minimised by:

- the retention of the street layout and Hospital site boundaries;
- the retention of the setback from the Goldsmith Street frontage and retention of the open and landscaped frontage and primary address of the Hospital buildings;
- the retention of the existing main access and curved driveway and setting of the main 1887 Hospital pavilions;
- the retention of the elements identified as being of exceptional and high significance;
- the repair and reinstatement of the north eastern exposed corner of the single storey section and use of matching salvaged bricks;
- the retention of existing face brick and wall details where possible including the corbelled brick and eaves details and existing roof, rendered and face brick parapet and details of the first floor of the eastern pavilion including the face brick facades and details, window, eaves and roof and retention of the gabled shadow line that interprets the early roof form;

- the repair and stabilisation of the facades including the addition of new supporting structure;
- the use of existing openings to provide a necessary egress and natural light in the significant internal corridor space;
- the use of a compatible (painted rendered) finish that interprets changes to this section of the building and does not detract, but rather highlights the intact, original brick structure and details; and
- by the adaption of the ground floor of the eastern pavilion and provision of appropriate vertically proportioned windows along the corridor.

***How does the new development affect views to, and from the item? Will the public and users of the item, still be able to view and appreciate its significance?***

The proposed works are confined to the existing building and setback and will have no adverse impact on primary views along Goldsmith Street or appreciation of the residential context in the conservation area.

The proposed walls and modifications will be visible on site, however, will be overshadowed by the proposed awning/ canopy and will also be visually dominated by the historic two storey face brick pavilions and brick and stone details.

The front setback and primary setting and views to and from the historic Hospital pavilions will also be retained and not affected by the proposed modifications which are confined to the ground floor level. The historic pavilions and connecting parapets will continue to be highly visible and able to be interpreted and appreciated as being part of the late 19<sup>th</sup> century development of the site and area.

***Is the development sited on any known, or potentially significant archaeological deposits?***

The potential for archaeological resources in the affected areas is considered to be low and disturbed by past alterations and additions and recent approved demolition works.

The area retains early fabric and details, however, these have also been affected by past changes and similar, early details remain evident in the attached sections of the building.

Some minor excavation will be required, however, overall the works seek to minimise impact and damage to the existing retained building structure including footings, floor, wall and ceiling/ roof fabric. The potential for resources in floor, wall and ceiling cavities is also low due to the changes and replacement of floor, ceilings and roof claddings. However, should any resources be uncovered during the works, advice will be sought from a qualified archaeologist.

### **5.3 Conclusion and recommendations**

The proposed modifications to the ground floor walls of Building O at Goulburn Base Hospital are considered acceptable from a heritage point of view and will create no additional adverse impact on the cultural significance of the site or its identified significant elements.

The Hospital use of the site and identified exceptional and highly significant buildings will be retained and continue to enhance the significance of the sit and area.

The highly significant Hospital pavilions have been largely retained and will remain highly visible and able to be appreciated.

The works are confined to areas that have previously undergone successive change, alterations and additions. The works seek to stabilise, repair and minimise damage to the remaining structure and details.

Any potential heritage impacts on the significance of the Hospital and conservation area are also reduced and minimised by:

- the retention of the setback from the Goldsmith Street frontage and retention of the open and landscaped area along the primary address and in front of the Hospital buildings;
- the retention of the existing main access and curved driveway and setting of the 1887 Hospital pavilions;
- the retention, stabilisation and repair of elements identified as being of significance, particularly the two storey form and details of the 1887 pavilions and the front, north eastern corner of the single storey section of the central pavilion, existing face brick details, parapet and roof;
- the retention of the significant connections, the ground floor corridor and external open walkway at first floor level and parapet between the central and eastern pavilions;
- the use of a simple and compatible finish that indicates change and does not mimic or detract from but rather highlights the remaining face brick and stone details; and
- by the retention gabled shadow line that also interprets the past form.

The ongoing use of the site as a Hospital with associated uses is considered a positive impact that enhances the significance of the site.

The proposed works will have no impact on the primary views to and from the buildings and along Goldsmith Street. The cultural values and historic fabric of the site and conservation area will remain visible and able to be interpreted.

On this basis there should be no hesitation in approving the proposed modification on heritage grounds.

# Appendix Three

### Mitigation Measures to be modified

To give effect to the proposed modification, the application seeks to modify the following mitigation measure:

#### Condition A2(d)

DWG No.	Rev	Name of Plan	Date
AA-02-02	<del>B</del>	Site Plan – Proposed Main Works – S4.55 Modification Application	<del>22/11/2019</del>
	<del>C</del>		<del>16/02/2022</del>
			5/08/22
AA-21-01	<del>A</del>	Elevations – North & South - SSDA	<del>13/09/2019</del>
	B		12/07/22
AA-21-03	-	Building Perspective	<del>13/09/19</del>
	-		12/07/22
18483-STH-AR-DWG-62-N5	H	Linkway Canopy Plans – Elevation – Sections & Details	7/07/2022

There are no other mitigation measures that require modification.





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