



# Environmental Impact Statement

## State Significant Development Application SSD\_8667

### Goulburn Base Hospital Redevelopment

Submitted to the NSW Department of Planning and Environment  
On Behalf of Health Infrastructure NSW

## Report Revision History

Revision	Date Issued	Prepared by	Reviewed by
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04	19/11/17	<b>James Kingston</b> <i>Project Planner</i>	<b>David Ryan</b> <i>Executive Director</i>
05	02/02/18	<b>James Kingston</b> <i>Project Planner</i>	<b>David Ryan</b> <i>Executive Director</i>
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*This document is preliminary unless approved by a Director of City Plan Strategy & Development.*

## Declaration and Certification

I certify that I have prepared the content of this Environmental Impact Statement (EIS) and to the best of my knowledge:

- it is in accordance with Schedule 2 of the Environmental Planning and Assessment Regulation 2000;
- it contains all available information that is relevant to the environmental assessment of the development to which the statement relates; and
- the information contained in the statement is neither false nor misleading.

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#### CERTIFICATION

This report has been authorised by City Plan Strategy & Development, with input from a number of other expert consultants, on behalf of the Client. The accuracy of the information contained herein is to the best of our knowledge not false or misleading. The comments have been based upon information and facts that were correct at the time of writing this report.

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## Appendices

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1	Survey Plans	Cardno
2a	Architectural Plans	Billard Leece Partnership
2b	Photomontage	Billard Leece Partnership
3	Architectural Design Statement	Billard Leece Partnership
4a	Quantity Surveyor Cost Summary	MBM
4b	Quantity Surveyor Report	MBM
5	Hazardous Building Materials Assessment	Environmental Investigation Services
6	Preliminary Environmental Site Assessment	Environmental Investigation Services
7	Transport and Accessibility Assessment	TTW
8	Preliminary Construction Traffic Management Plan	TTW
9	Ecologically Sustainable Design Statement	WGE
10	Statement of Heritage Impact	PMA
11	Acoustic Report	WGE
12	Structural/Civil Report and Plans	Bonacci
13	Electrical Servicing Report	WGE
14a	Hydraulic Services Report	GHD
14b	Hydraulic Services Plans	GHD
15	Landscape Plan	Arcadia
16	Preliminary Waste Management Plan	TSA Management
17	Preliminary Construction Management Plan	TSA Management
18	Geotechnical Investigation	JK Geotechnics
19	Arboricultural Impact Appraisal and Method Statement	Naturally Trees
20	Letter providing comment on dryland salinity and acid sulfate soils	Environmental Investigation Services
21	Access Report	iAccess
22	BCA Assessment Report	Blackett Maguire + Goldsmith
23	Secretary's Environmental Assessment Requirements	NSW Department of Planning and Environment

## Abbreviations & Acronyms

Abbreviation/Acronym	
ADE	Additional Environmental Investigation
BLP	Billard Leece Partnership
BSHS	Bourke Street Health Service
CIV	Capital Investment Value
CMP	Construction Management Plan
CNVMP	Construction Noise and Vibration Management Plan
CPSD	City Plan Strategy and Development
CPTED	Crime Prevention through Environmental Design
CSP	Clinical Services Plan
DPE	Department of Planning and Environment
ED	Emergency Department
EIS	Environmental Impact Statement
ELS	Goulburn Mulwaree Employment Land Strategy
EPA	The Environment Protection Authority
EPBC	Environment Protection and Biodiversity Conservation Act 1999
EP&A Act	Environmental Planning and Assessment Act 1979
EP&A Regs	Environmental Planning and Assessment Regulation 2000
ESD	Ecologically Sustainable Development
FSR	Floor Space Ratio
GFA	Gross floor area
GHS	Goulburn Health Service
GHS CSP	'Goulburn Health Service Clinical Services Plan 2014'
GMC	Goulburn Mulwaree Council
GMLEP	Goulburn Mulwaree Local Environmental Plan 2009
GMDCP	Goulburn Mulwaree Development Control Plan 2009
GoBH	Goulburn Base Hospital
HI	Health Infrastructure
HUDD	Healthy Urban Development Checklist
ICU	Intensive Care Unit
IPU	Inpatient Unit
ISEPP	State Environmental Planning Policy (Infrastructure) 2007
LGA	Local Government Area
LHC	Land and Housing Corporation
NSWALC	NSW Aboriginal Land Council
OEH	Office of Environment and Heritage
OSD	On-site detention
PMA	Perumal Murphy Alessi
REF	Review of Environmental Factors
RMS	Roads and Maritime Services
SEARs	Secretary's Environmental Assessment Requirements
SEPP SRD	State Environmental Planning Policy State and Regional Development 2011
SETRP	South East Tablelands Regional Plan 2036
SHI	Statement of Heritage Impact
SNSW LHD	Southern NSW Local Health District
SSD	State Significant Development
SSDA	State Significant Development Application
TfNSW	Transport for New South Wales
WMP	Waste Management Plan
WSUD	Water Sensitive Urban Design

## 1. Executive Summary

This Environmental Impact Statement (EIS) has been prepared by City Plan Strategy and Development Pty Ltd (CPSD) as instructed by TSA Management on behalf of NSW Health Infrastructure (HI). This EIS is submitted to the Minister for Planning and Environment for a State Significant Development Application (SSDA) pursuant to Part 4 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) and State Environmental Planning Policy (State and Regional Development) 2011 (SEPP SRD).

This EIS relates to the redevelopment of Goulburn Base Hospital (GoBH), which acts as a healthcare hub for the northern sector of the Southern New South Wales Local Health District (SNSW LHD). Existing facilities on the site are outdated, inhibiting the ability of GoBH to respond to and provide for the future service needs of the LHD. The proposed redevelopment of GoBH aims to develop a facility that can enable staff/clinicians to implement contemporary models of care that better meet the needs of the community, improve the efficiency and effectiveness of service delivery, enhance the functionality and capacity of clinical spaces and remedy the sub-standard facility environments. To facilitate this, in summary, the proposal includes:

- The demolition of ageing assets and maintenance of important heritage buildings on the site. The ageing assets to be demolished include, the front entry, reception, admin, HIM wound and pre-admission clinics, imaging, medical records, blood collection, west wing, maternity, CT and eye, bed tower, education and antenatal clinic building. This will improve the curtilage and legibility of existing heritage buildings.
- Construction of:
  - A new four (4) storey acute services building;
  - A new entrance to ambulatory care facilities from Albert Street;
  - New car parking facilities at Albert Street, Goldsmith Street and Faithfull Street to accommodate 139 new car parking spaces, increasing the onsite provision to a total of 196 car parking spaces; and
  - An Engineering Compound which includes the fire hydrant, pump house, generator, electrical sub station, water tank, sprinkler booster set, and OSD tank.
- Integration of the new acute services building with existing buildings to create a link between the existing theatres and new hospital building.
- Refurbishment of existing Ambulatory Care and Imaging/Emergency Department.
- Landscaping works throughout the northern portion of the site.
- Associated civil works (outlined by Bonacci in the Civil/Structural Report and Drawings that accompany this EIS).

The proposal will provide an additional 23 beds, 8 oncology chairs and 54 on-site car parking spaces to the existing GoBH site. A detailed description of the proposed works is set out in Section 4 of this EIS.

The proposal has a capital investment value of \$96,363,467 and is therefore classified as State Significant Development (SSD) pursuant to the \$30 million threshold in Schedule 1 of SEPP SRD.

This EIS responds to the Secretary's Environmental Assessment Requirements (SEARs) issued by the Department of Planning and Environment (DPE) for the proposal on 25 August 2017. In accordance with the SEARs, this EIS provides an assessment of the environmental impacts of the proposed development and sets out the undertakings made by HI to mitigate and manage any potential impacts arising from the development. Implementation of these mitigation measures will ensure that any potential environmental risk is ameliorated.

This EIS also considers the economic and social benefits that inform the delivery of this project. Notably the capacity of the proposal to enhance the key role of the GoBH in providing

acute and sub-acute inpatient, Mental Health and community health services for the local population of around 36,000 (primarily residents of the Goulburn Mulwaree and Upper Lachlan Shires), and as the hub for the northern sector of the SNSW LHD. The proposal is critical in that it will greatly assist in providing contemporary healthcare services to satisfy the most pressing requirements identified within the 'Goulburn Health Service Clinical Services Plan 2014' (GHS CSP). Importantly, this proposal strongly aligns with Commonwealth, NSW, and NSW Health strategic objectives for the provision of improved health services to regional, rural and remote communities.

The EIS fulfils the requirements of the EP&A Act, the Environmental Planning and Assessment Regulation 2000 (EP&A Regs) and addresses all relevant matters for consideration prescribed by the SEARs. The EIS demonstrates that the potential impacts of the proposal can be satisfactorily managed and/or mitigated. In light of the above, and the evident public benefits of the proposal, we recommend that consent be granted to this application.

## 2. Introduction

### 2.1 Purpose of this EIS

The proposed development at GoBH is declared as State Significant Development (SSD) under SEPP SRD. Division 4.7 of the EP&A Act applies to SSD and requires that an EIS be prepared to accompany SSDAs.

This EIS has been prepared to address a range of relevant matters for consideration as required under the EP&A Act and EP&A Regs, including the following:

- Details of the proposed development, including analysis of feasible alternatives;
- Assessment of potential environmental impacts of the proposed development in accordance with the SEARs issued on 25 August 2017;
- Measures proposed to mitigate any adverse impacts on the environment; and
- Justification for the development and recommendation for planning approval.

This EIS has been prepared in accordance with Clauses 6 and 7 of Schedule 2 of the EP&A Regs.

### 2.2 Structure of this EIS

Table 1 below outlines the structure of this EIS.

Table 1: Structure of EIS

Section	Description
1. Executive Summary	Summary of the EIS
2. Introduction	Overview of the EIS and background to the proposal.
3. Site Analysis	Analysis of the development site.
4. Description of the Development	Description of the proposed works (including consideration of feasible alternatives).
5. Secretary's Environmental Assessment Requirements	An overview of the SEARs
6. Statutory Planning Considerations	Consideration of the relevant statutory planning considerations including relevant Acts, SEPPs and LEP as they apply to the site and proposed development.
7. Non-Statutory Planning Considerations	Consideration of the relevant strategic planning considerations as they apply to the site and proposed development.
8 Environmental Impact Assessment	Addresses the key issues identified in the SEARs.
10. Mitigation Measures	Provides a compilation of recommended mitigation measures for the proposed work.
11. Conclusion	Summarises the key issues and provides a recommendation to approve the proposed development.

## 2.3 The Site

GoBH is located approximately two (2) hours southwest of Sydney and one (1) hour northeast of Canberra. The site is located at 130 Goldsmith Street, Goulburn, in the Goulburn Mulwaree local government area. GoBH occupies a city block bounded by Goldsmith, Albert, Clifford and Faithfull Streets and is located approximately 1km to the northwest of the Goulburn CBD.

The site has a total area of 38,790m<sup>2</sup> and is comprised of 11 allotments. The 11 allotments to which this EIS relates are legally described as:

- Lot 1 Section 46 Deposited Plan 758468;
- Lot 2 Section 46 Deposited Plan 758468;
- Lot 3 Section 46 Deposited Plan 758468;
- Lot 4 Section 46 Deposited Plan 758468;
- Lot 5 Section 46 Deposited Plan 758468;
- Lot 6 Section 46 Deposited Plan 758468;
- Lot 7 Section 46 Deposited Plan 758468;
- Lot 8 Section 46 Deposited Plan 758468;
- Lot 9 Section 46 Deposited Plan 758468;
- Lot 10 Section 46 Deposited Plan 758468; and
- Lot 1 Deposited Plan 133606.

A detailed description of the site is provided in Section 3 of this EIS.

## 2.4 Project Objectives

The proposed development forms part of a wider program for the delivery of improved healthcare and associated services in the Southern NSW Local Health District (SNSW LHD).

The overall aims of this project are to:

- Cater for future service demand created by the Region's ageing population and increased incidence of chronic disease;
- Improve the efficiency and effectiveness of service delivery through better patient flows, integrated care and model of care and elimination of service duplication;
- Provide asset replacement capable of enhancing functionality and capacity;
- Remedy the sub-standard facility environments;
- Develop a facility to enable staff/clinicians to implement contemporary models of care to better meet the needs of the community; and
- Attract and retain a skilled and sustainable workforce at GoBH.

Planning for the redevelopment of GoBH has been informed by the GHS CSP and consultation with the community, hospital staff, relevant stakeholders and Goulburn Mulwaree Council (GMC). The proposed development will seek to provide the physical capacity to support the increasing health service demands and new models of care being driven by a growing and ageing population.

## 2.5 Development for which approval is sought

This SSDA seeks approval for the redevelopment of GoBH. A detailed description of the proposal is provided in Section 4 and a brief overview of the development is provided below:

### Demolition

- Demolition of the front entry, reception, admin, HIM wound and pre-admission clinics, imaging, medical records, blood collection, west wing, maternity, CT and eye, bed tower, education and antenatal clinic building.

### New Construction

- Construction of a new four (4) storey acute services building to accommodate the following services:
  - Emergency and short stay unit, ambulance bays, medical imaging, medical records, TECs, patient flow, front of house including retail, paediatric unit, maternity unit, peri operative unit, inpatient units including surgical, medical, special care cots, GEM and palliative care.
- Construction of a new entrance to ambulatory care facilities from Albert Street.
- Construction of new car parking facilities at Albert Street, Goldsmith Street and Faithfull Street to accommodate 139 new car parking spaces.

### Refurbishment and Site Integration

- Integration of new build with the existing building to maintain a link between the existing theatres and new hospital building.
- Refurbish existing ambulatory care services through the provision of:
  - A new 8 chair Oncology Unit;
  - Medical day procedures and consult clinics, including specimen collection, located within vacated space within the existing SARU building (with flexibility to convert these spaces back to beds should the CSP projections be realised); and
  - Integrated Ambulatory Care strategies incorporated into inpatient services (ie Maternity and Paediatrics).
- Refurbishment of existing imaging/emergency department to accommodate a pharmacy and retail.

### Engineering and Landscaping Works

- Landscaping throughout the northern portion of the site.
- Engineering compound which includes the fire hydrant, pump house, generator, electrical sub station, water tank, sprinkler booster set, and OSD Tank.
- Associated Civil works outlined by Bonacci in the Civil/Structural Report and Drawings that accompany this EIS

All of the above will be staged to allow the hospital to remain in operation during the redevelopment.

## 2.6 The Proponent and Project Team

This SSDA and EIS are prepared on behalf of HI. The principal consultant team for the project is set out in the table below.

Table 2: Proponent and Project Team

Role	Consultant
Planner	CPSD
Surveyor	Cardno
Architect	Billard Leece Partnership
Quantity Surveyor	MBM
Hazardous Building Materials Consultant Contamination Consultant Salinity and Acid Sulfate Soils Consultant	Environmental Investigation Services
Transport and Parking Engineer	TTW
Ecologically Sustainable Design Consultant Acoustic Engineer	WGE
Heritage Consultant	PMA
Structural/Civil Engineer	Bonacci
Electrical Servicing Consultant	WGE
Hydraulic Services Consultant	GHD
Landscape Architect	Arcadia
Waste and Construction Management Consultant	TSA Management
Geotechnical Consultant	JK Geotechnics
Arboricultural Consultant	Naturally Trees
Access Consultant	iAccess
BCA Consultant	Blackett Maguire + Goldsmith
Communication and Consultation	SNSW LHD

### 3. Site Analysis

#### 3.1 The Regional Context

Goulburn is located approximately 190km south west of Sydney and 95km north east of Canberra. The location of Goulburn relative to Sydney, Wollongong and Canberra is illustrated at Figure below.

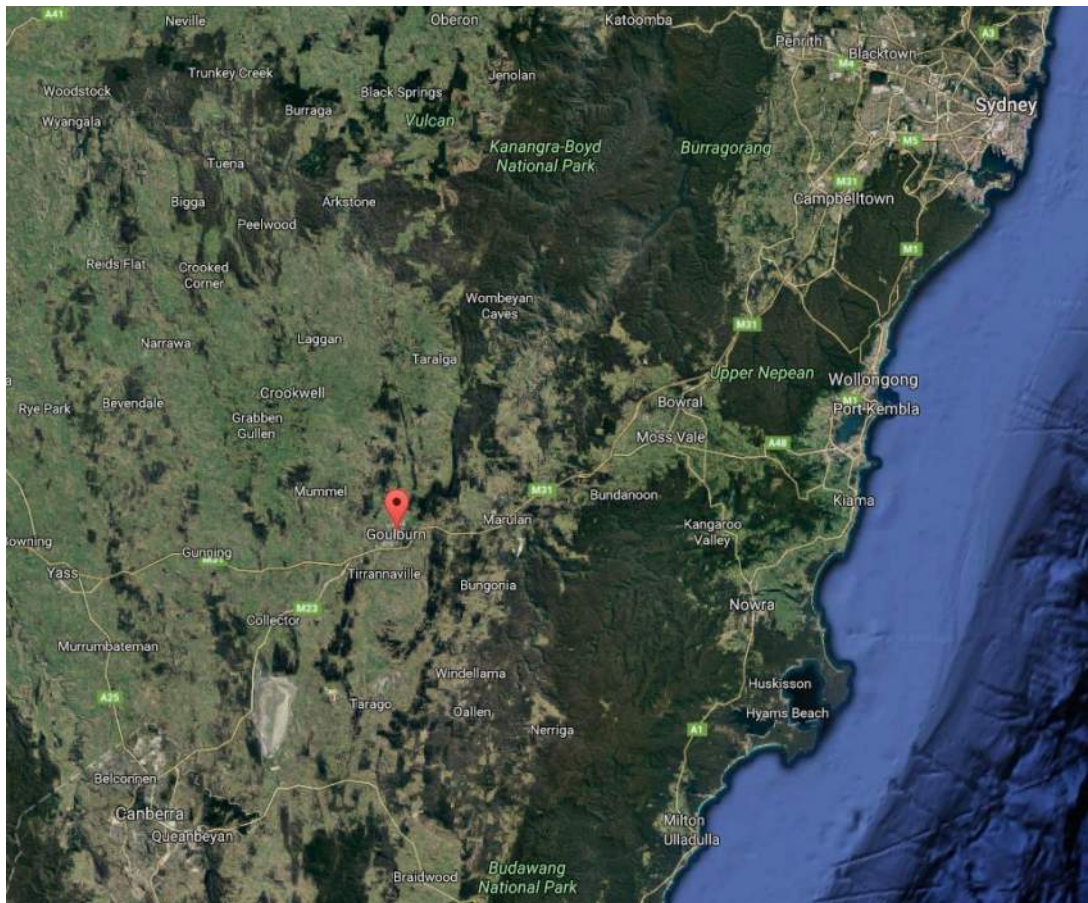


Figure 1: Aerial photograph showing the location of Goulburn relative to Sydney, Wollongong and Canberra. (Source: GoogleMaps)

Goulburn is identified as a strategic centre for the South East and Tablelands Region as seen at Figure on the page over.

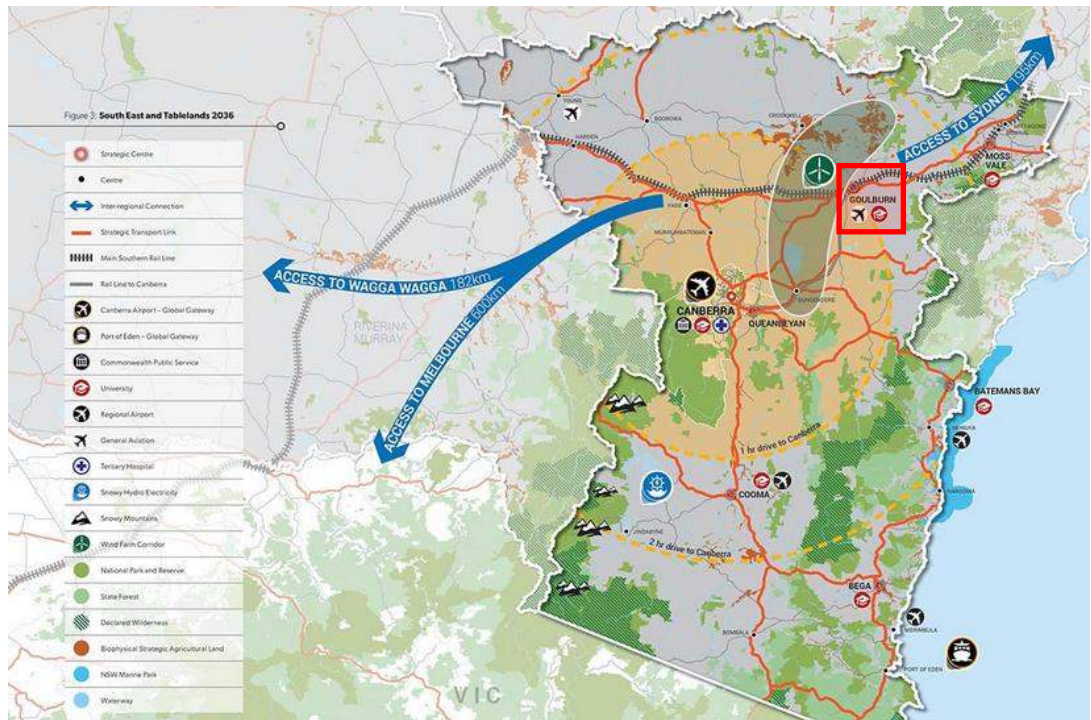


Figure 2: Extract of South East and Tablelands Regional Plan (Source: NSW DPE).

GoBH is located within the Goulburn Mulwaree Local Government Area (LGA) and is the primary healthcare hub for the northern sector of the SNSW LHD. Refer to Figure 3 below.



Figure 3: Map of SNSW LHD (Source: NSW Health SNSW LHD)

The GHS CSP describes and categorises the hospitals within the SNSW LHD (identified at Figure 3 above). These categorisations are shown at Figure 4 below and the services currently provided are summarised at Figure 5 below.

**Table 1. SNSW LHD Current Hospital and Multipurpose Services**

<b>District C1</b>	Goulburn Base Hospital, Bega Hospital
<b>District C2</b>	Batemans Bay, Cooma, Moruya and Queanbeyan District Hospitals
<b>D1a Community Acute with Surgery</b>	Pambula Hospital
<b>D1b Community Acute w/o Surgery</b>	Yass Hospital
<b>Community Non-Acute</b>	Crookwell Hospital
<b>Psychiatric</b>	Kenmore
<b>Ungrouped Non-Acute</b>	Bourke Street Health Service
<b>Multipurpose Services</b>	Bombala, Braidwood and Delegate
<b>Other facilities</b>	Primary and Community Health Services offering child and family, community nursing, drug and alcohol, aged care, oral health, health promotion and women's health services are organised as networks or clusters across the District

Figure 4: Extract from the GHC CSP 2014 showing the categorisation of hospitals in the SNSW LHD (Source: GHC CSP)

**Table 2. SNSW LHD Hospital and Multipurpose Services- Peer Groups and Services Provided**

Site	Level	Peer group	MH beds	Emergency Department	HDU/ICU	Surgery	Medical	Paediatrics	Maternity	Renal	Oncology
Delegate MPS	1	MPS		*							
Bombala MPS	2	MPS		*			*				
Braidwood MPS	2	MPS		*			*				
Crookwell	2	Community Non -Acute		*			*				
Yass	2	D1b Community Acute Non surgery		*			*				
Pambula	2	D1a Community Acute with surgery		*		*D/O	*				
Batemans Bay	2	District Group 2		*		*D/O	*				
Cooma	3	District Group 2		*		*	*	#	*	*	*
Moruya	3	District Group 2		*	HDU	*	*	#	*	*	*
Queanbeyan	3	District Group 2		*		*	*		*	*	*
Bega	3	District C1	6	*	*	*	*	*	*	*	*
<b>Goulburn</b>	<b>4</b>	<b>District C1</b>	<b>32</b>	<b>*</b>	<b>*</b>	<b>*</b>	<b>*</b>	<b>*</b>	<b>*</b>	<b>*</b>	<b>*</b>
Kenmore		Psychiatric									
Bourke Street Hlth Service		Ungrouped Non-Acute									*

# = Short stay only

Figure 5: Extract from the GHC CSP 2014 showing the services provided by hospitals in the SNSW LHD (Source: GHC CSP)

The categorisation and service summary extracted above demonstrate the status of GoBH as a hub for acute hospital services within the northern portion of the SNSW LHD.

### 3.2 Local Context

GoBH is located approximately 1km west of the Goulburn Town Centre and is surrounded by a range of residential uses, educational establishments, community facilities and public open space. The site's local context is illustrated at Figures 6 and 7 below.



Figure 6: Aerial photograph of the Goulburn with the site outlined in red and the approximate extent of the town centre outlined in blue (Source: GoogleMaps)



Figure 7: Extract from Landscape report showing the site's local context (Source: Arcadia)

### 3.2.1 The Goulburn Health Service

GoBH is the primary acute hospital and health care facility within the local context and is supported by a range of smaller facilities which form the Goulburn Health Service (GHS). The GHS CSP 2014 describes the GHS as comprising:

- GoBH;
- Goulburn Community Health Service;
- Bourke Street Health Service (BSHS);
- Crookwell Hospital – acute, emergency and community health services; and
- Mental Health Services which are managed separately from the GHS, including Chisholm Ross Centre, Giles Court Unit, Kenmore Hospital and various other community mental health services.

The GHS plays a key role in providing acute and sub-acute inpatient, Mental Health and community health services for the local population of around 36,000 (primarily residents of the Goulburn Mulwaree and Upper Lachlan Shires), and is the hub for the northern sector of the SNSW LHD.

### 3.3 Site and Local Area Description

GoBH was opened in 1889 as Goulburn's third public Hospital. The site has undergone multiple expansions and redevelopments throughout its operation, with the most recent alterations being completed in 2013.

The site is largely built upon, with buildings of varying condition and linkages between each. Surface gradients on the site typically slope down to the south east corner, with surface levels falling approximately 8m over a distance of approximately 300m.

An aerial photograph of the site is provided at Figure 8, the existing built form and open space on the site is illustrated at Figure 9, and the site's topography is shown at Figure 10.



Figure 8: Aerial photograph of the site (Source: SixMaps)



Figure 9: Aerial showing existing built form and open space on the site (Source: BLP 2017)

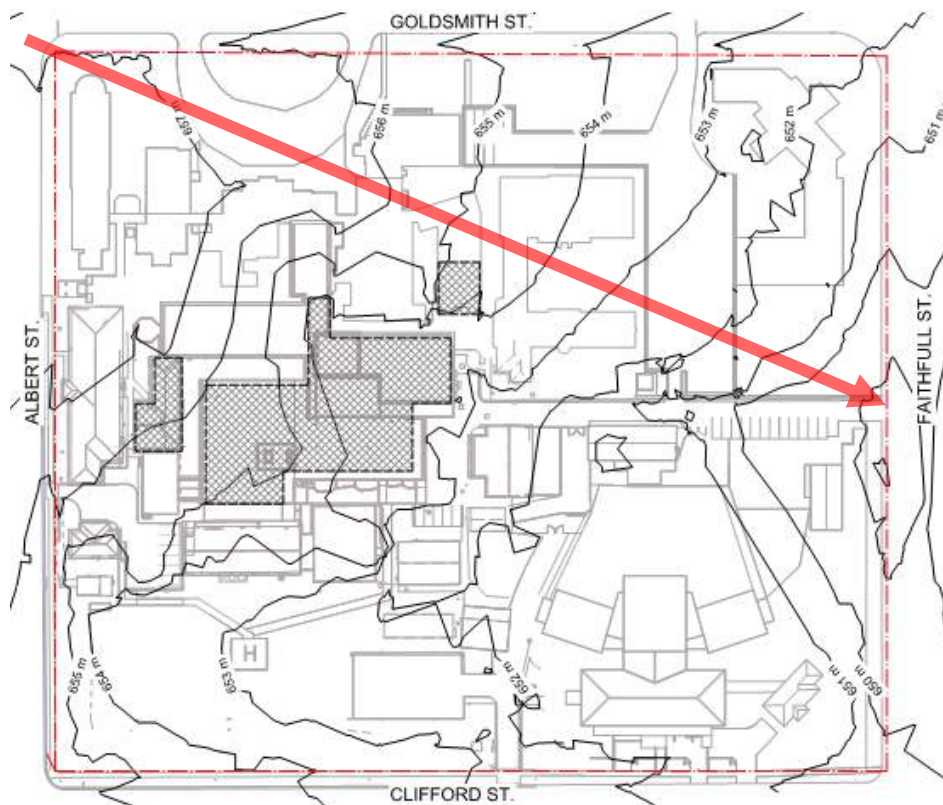


Figure 10: Extract of Topographic Analysis Diagram (Source: BLP 2017)

The site is located in an area of mixed uses. To the south of the site is an area of open space, known as Victoria Park. To the west is Goulburn High School. To the east and north are primarily residential dwellings, with a childcare centre located to the north-east of the site and on the corner of Goldsmith and Faithfull Streets.

### 3.3.1 Legal Description

GoBH has a street address of 130 Goldsmith Street and comprises various allotments. The allotments that are the subject of this application are Lots 1-10 Section 46 Deposited Plan 758468 and Lot 1 Deposited Plan 133606.

The allotments described above are illustrated at Figure 11 below.

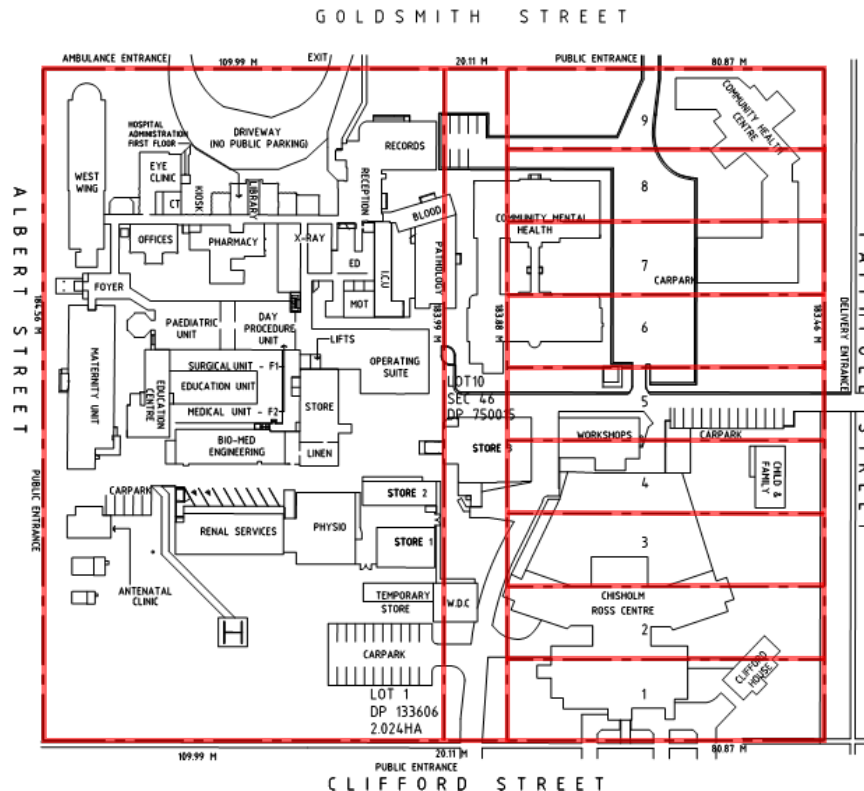


Figure 11: Title Plan (Source: BLP)

### 3.3.2 Ownership

GoBH is under the ownership of the SNSW LHD.

### 3.3.3 Existing Improvements

Existing site features include several hospital buildings, internal roads, car parking, helipad and staff amenity facilities. An existing site plan of GoBH has been prepared by BLP. An extract is provided below (for further detail refer to the Architectural Plans that accompany this application).

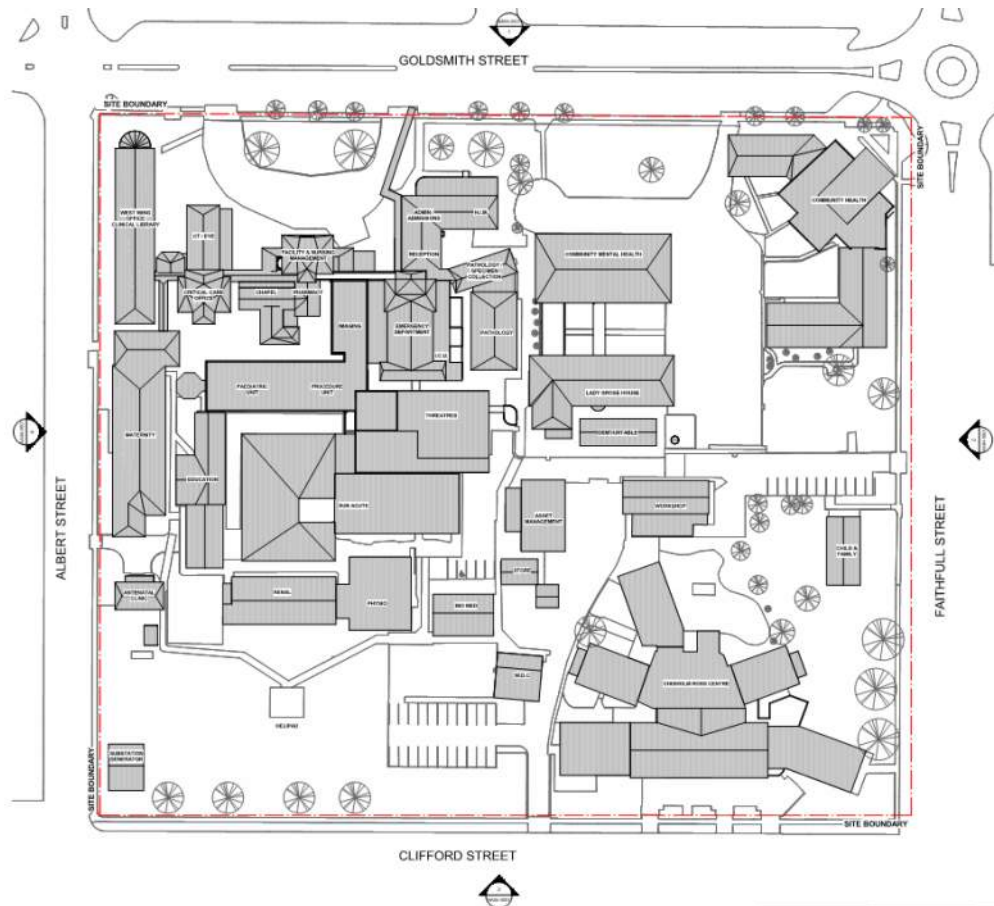


Figure 12: Existing Site Plan of GoBH (Source: BLP)

### 3.3.4 Existing Access Arrangements

Current vehicular access to the GoBH site is from Albert Street, Goldsmith Street, Faithfull Street and Clifford Street. Primary vehicular access to the site is provided adjacent to the main entrance on Goldsmith Street. This is in the form of patient drop off facilities with no parking permitted. A smaller entry located on the eastern portion of the site's Goldsmith Street frontage provides staff parking, with a range of staff and visitor parking also provided near the site's Faithfull Street, Albert Street and Clifford Street entrances.

Loading and service vehicles currently access the site from Faithfull Street and Clifford Street.

Ambulances currently access the site from the main entry at Goldsmith Street.

The existing access arrangements described above are illustrated in the Figure on the page over.



Figure 13: Site plan showing primary transport, ambulance, delivery and logistics, public transport and car parking access (Source: BLP)

Pedestrian access throughout the site is currently provided in the form of covered walkways and marked foot crossings. GoBH is well serviced by a number of pedestrian links that offer a high level of connectivity with the surrounding footpath network. Pedestrian refuges are provided at Goldsmith Street, Faithfull Street and Clifford Street.

In terms of public transport, the site is serviced by three bus routes via Goldsmith Street at the north-west corner of the site. These bus routes are infrequent, only operating three times a day only during the morning and afternoon peak hours.

Goulburn train station is located 1.6km from the site and is serviced by the following lines as well as NSW TrainLink coach services from Moss Vale:

- The Southern Highlands Line servicing Central, Campbelltown and Moss Vale.
- NSW TrainLink Xplorer and XPT long distance services from Sydney to Canberra, Griffith and Melbourne.

Pedestrian and public transport access to the site are further demonstrated in the Figure on the page over.



Figure 14: Site plan showing main pedestrian entry points, bus stop locations and pedestrian paths, and car park locations (Source: BLP)

### 3.3.5 Active Transport

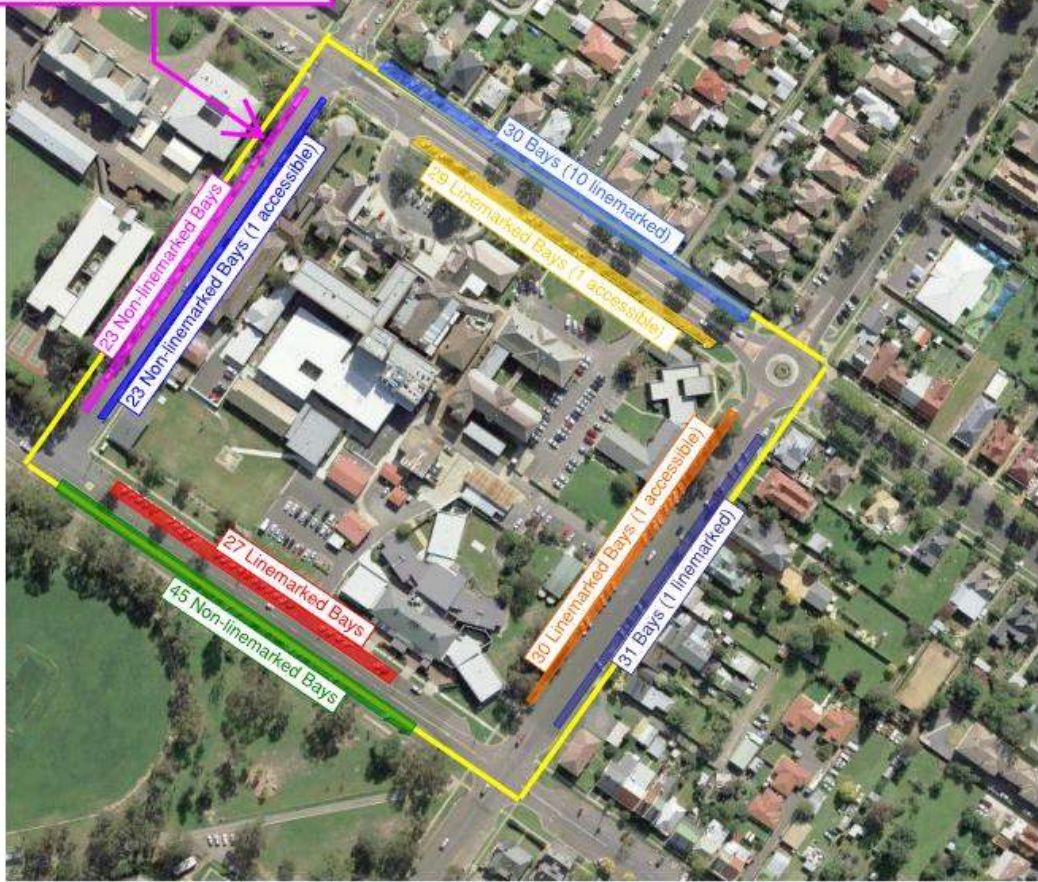
A dedicated cycleway is located on Fitzroy Street, which adjoins Goldsmith Street approximately 200m north west of the site. Although there are no cycleways or other active transport infrastructure within the site's immediate vicinity, the surrounding streets are characterised by wide carriageways and may be described as bicycle friendly.

### 3.3.6 Existing Parking Situation

A mix of on-site parking spaces and on-street parking spaces are available within close proximity of the site. The spaces available for use by hospital staff, patients and visitors include:

- 142 on-site parking spaces; and
- 238 on-street spaces are located along Goldsmith, Faithfull, Clifford and Albert Streets for Hospital overflow/ visitor and staff demand (refer to Figure on the page over).

West side of Albert St does not allow parking from 8:30-9:30am and 3:00-4:00pm during school days through a combination of Bus Zone and No Parking signage.



Note: Number of non-linemarked bays are an estimate only and vary on the efficiency in parking.

Figure 15: On-street parking count map (Source: TTW)

The Traffic and Accessibility Statement prepared by TTW, determines that the parking demand of the existing hospital is in the order of 291 spaces. This demand is informed by patient and visitor numbers and travel mode surveys. Specifically, it may be broken down in the following way:

- 219 spaces for staff (based on 347 staff with 85% car use, an average car occupancy of 1.2 people per vehicle and 89% of staff on site during afternoon shift changeover);
- 41 spaces for outpatients (based on 45 peak outpatients expected and 90% car use); and
- 31 spaces for visitors (based on 102 beds with 2 visitors per bed, 90% car use, an average car occupancy of 1.2 people per vehicle and a length of stay of up to 2 hours).

TTW carried out a parking occupancy survey for the existing on site parking. The parking occupancy survey showed that the existing on site parking is operating at a peak of approximately 80% capacity between 11am and 3pm. It is noted that the availability of on street parking around the Hospital means that those travelling to the Hospital are likely to also utilise on street parking when it is more convenient.

### 3.3.7 Heritage

This SSDA is accompanied by a comprehensive Statement of Heritage Impact (SHI) prepared by Perumal Murphy Alessi (PMA). It is noted that, "Goulburn Hospital is not listed on the State Heritage Register, however, the Central Building and former Pavilions have been listed on the Department of Health S 170 Register. The Central Building and former Pavilions are listed as a local item under Schedule 5 of the Goulburn Mulwaree Local Environmental Plan 2009 (1181) and site is also located in the Goulburn City Conservation Area". An extract of the heritage mapping from the Goulburn Mulwaree Local Environmental Plan 2009 (GMLEP) is provided at Figure 16 below.



Figure 16: Extract of the heritage mapping from the Goulburn Mulwaree Local Environmental Plan 2009 (GMLEP) showing the site outlined in red.

PMA describes the significance of GoBH in the SHI that accompanies this EIS.

The potential impact of the proposal on the site's heritage significance is discussed in detail in the SHI that accompanies this SSDA and at Section 8.6 below. However, it is noted that the proposal will not be removing the Central Building Pavilions which are the oldest and most significant heritage buildings on the site. As set out in further detail in Section 8.6 of this EIS, the proposal has been designed to demolish buildings that "clutter" the heritage buildings and provide more sympathetic landscaped outcome adjacent to the heritage pavilion building.

### 3.3.8 Summary of Planning/Development History

The SHI prepared by PMA describes the development history in the following extract:

*The Hospital is the city's third public Hospital and was established on this site in c.1887 when the purposed designed building was constructed. A design competition was established, however, the Hospital Committee rejected the schemes and commissioned prominent local architect, EC Manfred to design the building. Manfred prepared a number of options and the new building in the "pavilion" style was opened in October 1889. Since that time the Hospital has continued to expand and develop with the latest additions completed in 2013.*

In accordance with the above extract there are a range of planning applications that have been approved for works at GoBH over the years.

In late 2017 a number of activities were approved on the site as "Development permitted without consent" pursuant to Clause 58 of State Environmental Planning Policy (Infrastructure) 2007 (ISEPP). An extract from the Review of Environmental Factors (REF) prepared for these works is provided below detailing the works that formed part of the abovementioned package.

*The proposed development activity the subject of this assessment, includes:*

*- The construction of a light weight extension to the existing Community Health building*

*- The constructions a workshop/shed as an extension to the existing Bio-Med building*

*- Relocate existing demountable building to the south of the site*

*- Demolish Child and Family building, Workshop (to the north of Chisholm Ross Centre), Asset Building/Boiler House, Medical Records building, Nurses Accommodation building, Lady Grose and adjoining Community Mental Health building. As part of this demolition it will also be necessary to:*

*- Make good existing loading dock after demolition of the adjoining building;*

*- Close existing road access; and*

*- Ancillary remediation/earthworks to make good after demolition of buildings and allow access to the site to remove demolished material.*

*- Minor alterations to engineering services infrastructure as follows:*

*- Relocate existing Oxygen tank to new location on Faithful Street;*

*- Relocate existing sewerage lines to location as indicated;*

*- Divert incoming water supplies and connect to existing buildings;*

*- Divert existing site stormwater to the south east; and*

*- Upgrade natural gas supply.*

*- Thirteen trees will be removed as a result of the proposed activity.*

The works outlined above were essential in enabling the delivery of services and infrastructure upgrades to the GoBH campus. Specifically, the works will allow the continuous provision of services offered across the broader GoBH site. The likely impacts of the works detailed above were assessed in the form of a REF prepared in accordance with Part 5 of the EP&A Act.

### 3.4 Site Photos

Photos of the sites and surrounds are provided below.



Figure 17: The main pedestrian and vehicular access to the site is from Goldsmith Street, in front of the original building. (Source: PMA)



Figure 18: The entry retains the original curved driveway and mature trees and plantings. (Source: PMA)



Figure 19: Another driveway, which provides access to staff car parking, is located toward the north eastern corner of the site, near Springfield House. (Source: PMA)



Figure 20: The site is largely unfenced, however, the Goldsmith Street frontage is bounded by a concrete edged garden bed and planting. (Source: PMA)



Figure 21: View looking west along the Goldsmith Street frontage. (Source: PMA)



Figure 22: The Clifford Street frontage also remains relatively open. (Source: PMA)



Figure 23: A driveways and car park appear to be relatively recent additions to the Clifford Street frontage. (Source: PMA)



Figure 24: The Faithfull Street frontage also remains relatively open and free of fencing. (Source: PMA)



Figure 25: Some trees and buildings mark the Faithfull Street frontage which also has a driveway which accesses staff parking area and service buildings in the mid section of the site. (Source: PMA)



Figure 26: The vehicular access on the Faithfull Street frontage. (Source: PMA)



Figure 27: The Faithfull Street frontage. Some fencing is located about the Community Health Centre located on the corner of Faithfull and Goldsmith Streets. (Source: PMA)



Figure 28: A row of trees extend along the street verge along the northern end of Albert Street. (Source: PMA)

## 4. Detailed Description of the Development

### 4.1 Demolition

The proposed development will include the demolition of the front entry, reception, admin, HIM wound and pre-admission clinics, imaging, medical records, blood collection, west wing, maternity, CT and eye, bed tower, education and antenatal clinic building is proposed. The demolition of these ageing assets will improve the curtilage and legibility of important heritage buildings on the site.

The location of these buildings is illustrated at Figure 29 below.

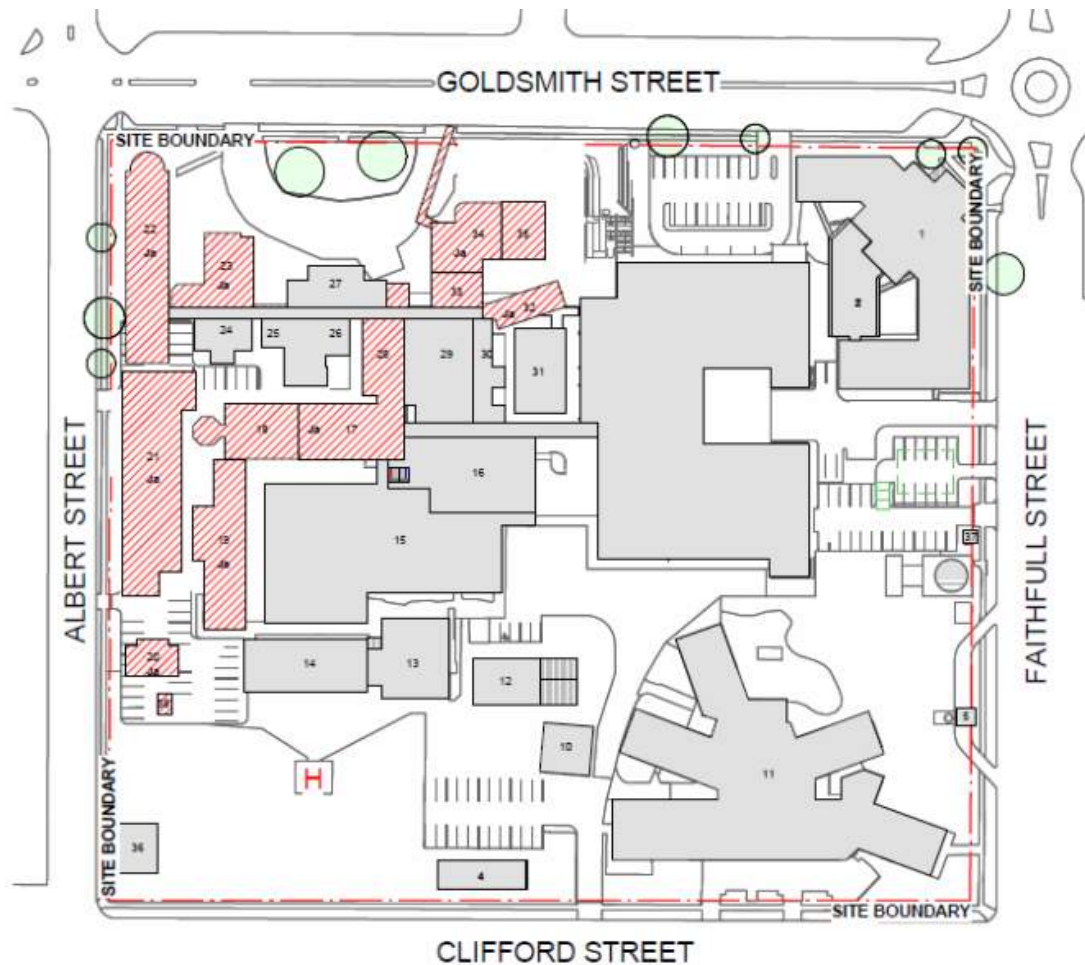


Figure 29: Demolition plan extracted from the Architectural Design Summary (Source: BLP).

### 4.2 Construction

Key construction elements of a proposed redevelopment include:

- Construction of a new four (4) storey hospital building;
- Integration of the proposed new building with the existing building to create a link between the existing theatres and new hospital building;
- Refurbishment of existing ambulatory care services and imaging/emergency department; and
- Construction of new car parking facilities at Albert Street, Goldsmith Street and Faithfull Street.

A site plan of the proposed works has been prepared by BLP and an extract is provided below.

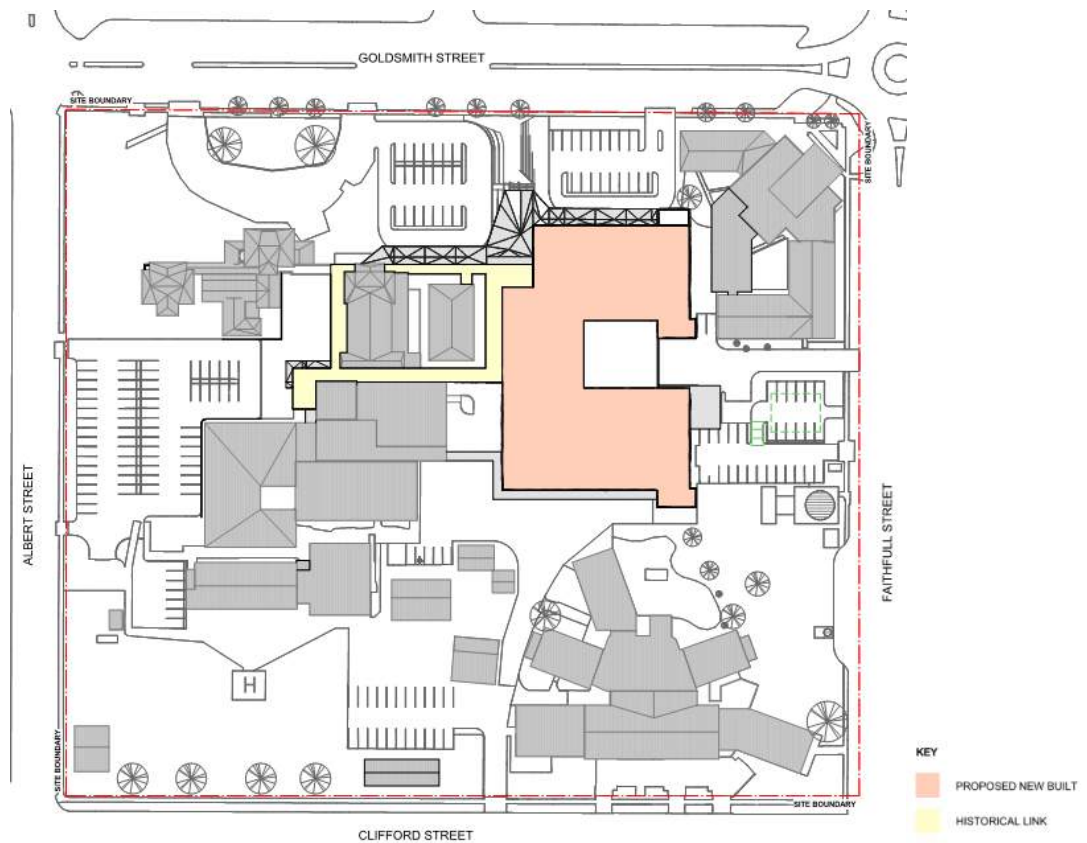


Figure 30: Proposed Site Plan (Source: BLP)

The proposed development will facilitate a 23 bed increase to the existing 102 beds provided at GoBH, providing a total of 125 beds at completion. The provision of additional beds and the proposed upgrade to existing outdated services will allow for the implementation of contemporary models of care at the site.

Additionally, the proposed works will consolidate many of the existing hospital facilities within the new four (4) storey hospital building. The following table provides a level by level summary of the proposed acute services building.

Table 3: Proposed uses for new build

Location/Level	Works/Use
Lower Ground Floor	ED, General Imaging, plant, front of house and shell space.
Ground Floor	Sub-Acute Rehabilitation Unit, maternity, paediatrics, front of house, pharmacy and outdoor terrace.
First Floor	Perioperative, Surgical and In Patient Units (IPUs)
Second Floor	Intensive Care Unit (ICU), IPU, Palliative Care, ambulatory and outdoor terrace
Third Floor	Plant

The construction of the proposal will be managed in accordance with a Construction Management Plan (CMP). This EIS is accompanied by a Preliminary CMP, the objectives of which are to:

- Minimise inconvenience to the public and adjoining properties during the constructions stages;
- Maintain effective communication with the developer and the community;
- Maintain a safe working environment; and
- Ensure the requirements of relevant approvals, licenses codes or standards are met.

Construction management is addressed in detail at Section 8.16 of this EIS.

### 4.3 Architectural Intent

The proposed architectural design responds to the project objectives outlined in Section 2.4, as well as the regional context and local context of the site as described in Section 3 of this EIS.

The architectural design of the proposal emphasises the provision of quality rural healthcare for the community. Specifically, the architectural design seeks to prioritise:

- Patient centric care through evidence based design;
- Connectivity to enhance the function and operation of clinical spaces;
- Legibility from the public domain to promote easy and efficient access;
- Aesthetic appeal that is responsive to the architectural history of the locality; and
- The use of quality materials to ensure the proposal, is durable and versatile in catering to the future healthcare needs of the catchment.

For further detail with respect to the architectural intent of the proposal reference should be made to the Architectural Design Statement prepared by BLP at Appendix 3.

### 4.4 Building Height & Scale

The proposed four (4) storey hospital building will have a maximum height of 21.96m (as advised in the architectural design summary prepared by BLP). The scale of the new hospital building is described in the Table below.

Table 4: Development Statistics (as advised by TSA)

Item	Proposed Figure
Existing GFA	11,275m <sup>2</sup>
GFA to be demolished	8,840m <sup>2</sup>
Proposed GFA	11,666m <sup>2</sup>
Total GFA on site following completion	14,101m <sup>2</sup>
Net gain of GFA	2,826m <sup>2</sup>

The environmental impacts associated with the proposed building height and scale are assessed in Section 8.2 of this EIS.

## 4.5 Façade Treatments

The proposed façade treatments will comprise a combination of the materials identified in the Table extract below (for detail refer to the Architectural Design Statement).

FINISH SCHEDULE			
CODE	ITEM	COLOUR & FINISH	LOCATION
01	OLD COLONIAL FACE BRICK	AMBER GLOW	AT LOWER GROUND FLOOR AND LINK FACADES. LIMITED AMOUNT AT NORTH FACADE ON GROUND FLOOR
02	CURTAIN WALL SYSTEM	TEA COLOUR CURTAIN WALL SYSTEM	WEST FACADE AND EAST FACADE ABOVE THE COURTYARD
03	ALUMINIUM SHEET WITH SPARKING COLOUR FINISH	SPARKING WHITE SILVER	FACADE FACETED CLADDING
04	ALUMINIUM SHEET WITH SPECTRA COLOUR FINISH	SPECTRA GALAXY BLUE	FACADE FACETED CLADDING
05	ALUMINIUM SHEET WITH GALACTIC SPARKLING COLOUR FINISH	ANTHRACITE SILVER	FACADE FACETED CLADDING
06	PERFORATED ALUMINIUM PANEL	POWDER COATED WITH CHARCOAL METALLIC COLOUR FINISH	ENTRANCE CANOPIES
07	CORRUGATED SHEET	WHITE CORRUGATED SHEET	PLANT EXTERNAL FINISH
PF21	Powdercoat Window Mullions & Selected Door's		

The combination of proposed façade treatments may be observed on the elevations extracted below.

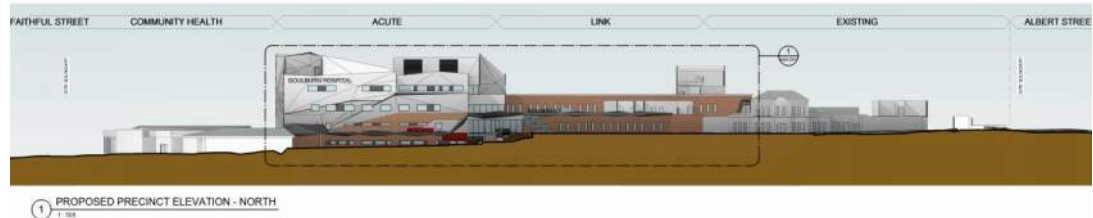


Figure 31: Precinct elevation showing the proposed works viewed from the north (toward Goldsmith Street) (Source: BLP)

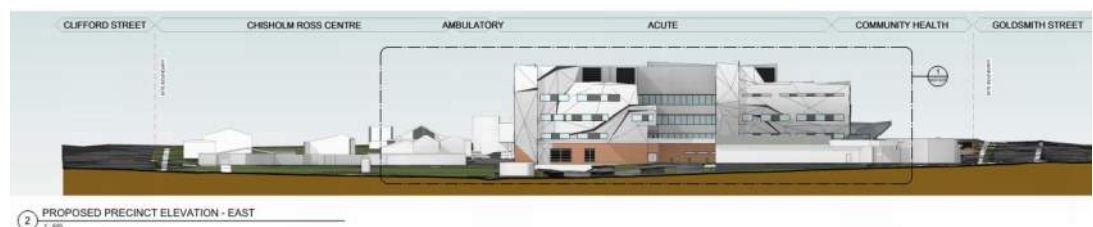


Figure 32: Precinct elevation showing the proposed works viewed from the East (toward Faithful Street) (Source: BLP)

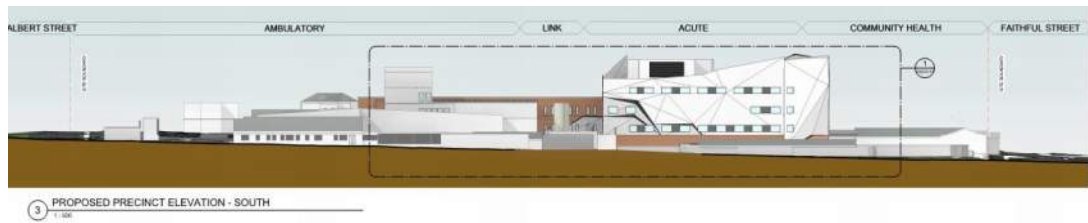


Figure 33: Precinct elevation showing the proposed works viewed from the south (Source: BLP)

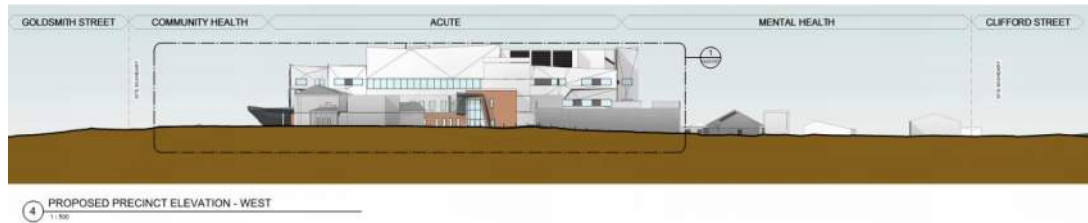


Figure 34: Precinct elevation showing the proposed works viewed from the west (Source: BLP)

The environmental impacts associated with the proposed façade treatment are assessed in Section 8.2 of this EIS.

## 4.6 Landscaping

The proposal includes new landscaping works toward the north and north-western boundaries of the site. The Landscape concept that accompanies this EIS aims to:

- Retain the bushland character of the Goulburn Mulwaree LGA;
- Preserve and accentuate the heritage features of the existing GoBH site;
- Integrate cultural layers of the Goulburn Mulwaree LGA; and
- Respond to local geology and morphology.

The above aims make up Arcadia's landscape "vision", which has subsequently informed the proposed landscape design. For detail, reference should be made to the Landscape Concept Plans extracted in the Figures on the page over.



Figure 35: Extract of Landscape Masterplan (Source: Arcadia)

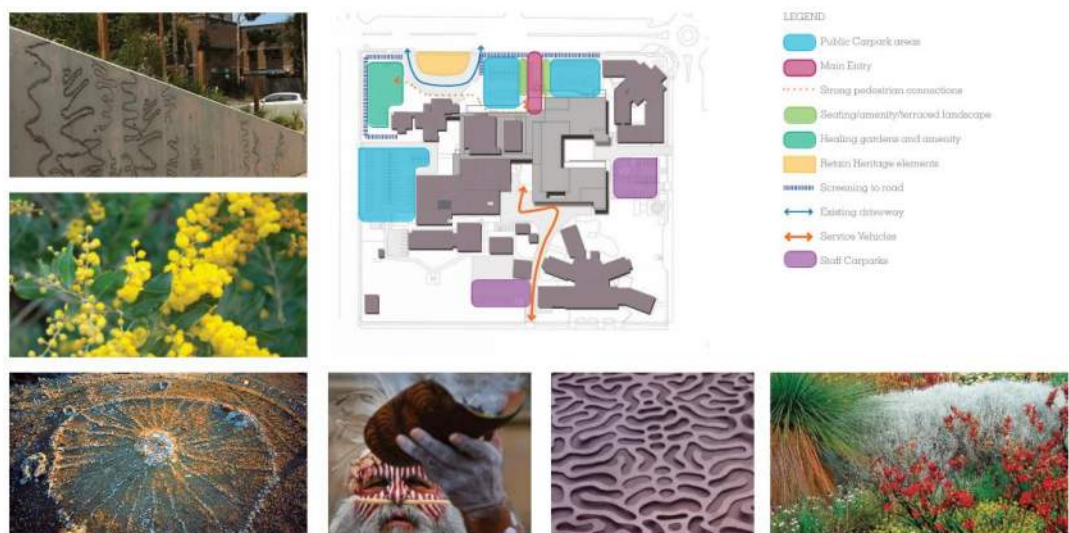


Figure 36: Extract of Landscape Schematic Masterplan (Source: Arcadia)

## 4.7 Access and Parking

The proposal will result in the following additional parking facilities on the GoBH site:

- A new car park accessed from Albert Street (providing approximately 61 spaces);
- Two new car parks accessed from Goldsmith Street (providing approximately 44 spaces); and
- A new car park accessed from Faithfull Street (providing approximately 34 spaces).

The locations of the proposed new spaces are shown in the Figure over the page.

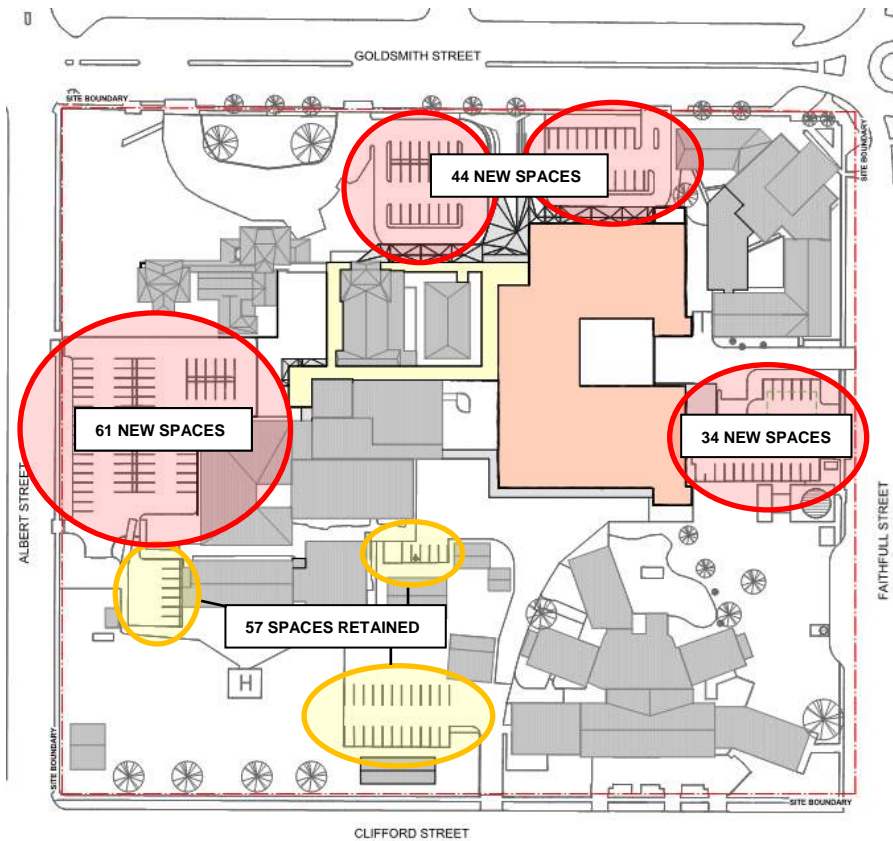


Figure 37: Proposed Car Parking Locations, extract from the Transport and Accessibility Assessment (Source: TTW)

The proposed 139 car spaces will bring the total on-site parking supply to 196 spaces following completion, representing a net increase of 54 spaces at the site.

Private vehicular access is proposed via new driveways from Goldsmith Street, Faithfull Street and Albert Street and access from the existing driveways on the site will be maintained. The existing drop off and pick up location on Goldsmith Street will be maintained and new drop off areas are proposed from the Goldsmith Street and Albert Street carparks, which are designed as flush to the entrance to allow for less mobile passengers to disembark easily.

In terms of pedestrian access, the main entry on Goldsmith Street will be adjusted and provided over two levels to connect to the car parking available from Goldsmith Street as well as the drop off and pick up area. Figures 35 and 36 over the page show the site access and wayfinding of the Lower Ground Floor and Ground Floor of the hospital. The provision of bicycle racks will be further explored in the detailed design phase; however, staff change rooms and showers are provided as part of the redevelopment. Public transport access to the site via the Goldsmith Street bus stop will not be affected by the proposed works.

Ambulance access is proposed via Faithfull Street (to the north of the new Faithfull Street car park) to allow for separate ambulance and private vehicle movements.



Figure 38: Lower Ground Floor site access & wayfinding diagram (Source: BLP)

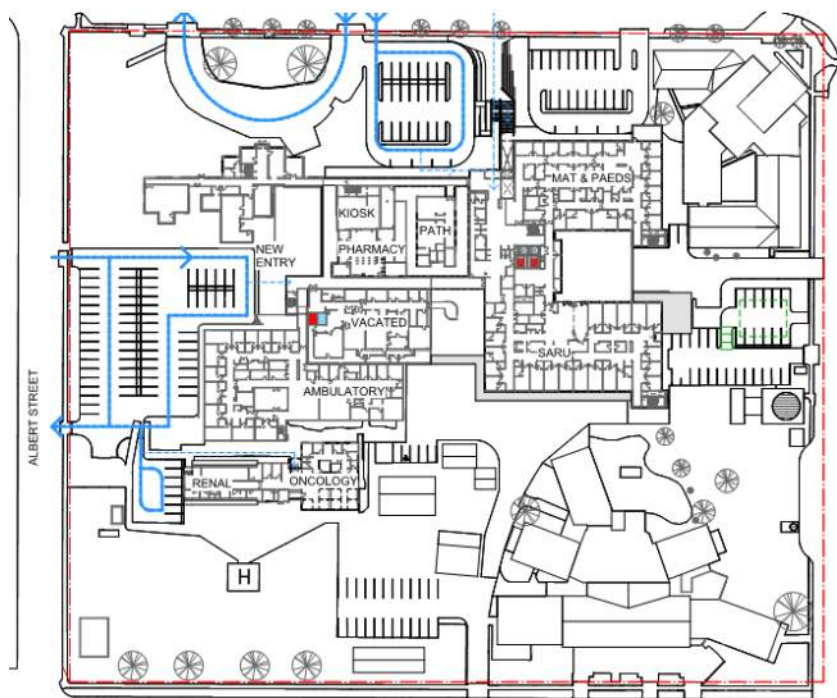


Figure 39: Ground Floor site access & wayfinding diagram (Source: BLP)

## 4.8 Excavation and Filling

Excavation and filling are addressed in the Geotechnical Investigation and the Civil & Structural Design Report that accompany this EIS. Proposed earthworks will include cut and fill for new carparks and building structures. Specifically, retaining walls will be required to account for the level change between the existing road and the proposed carparks (which need to meet the existing and proposed hospital floor levels). The maximum amount of cut for the building will be approximately 2m (not including deeper excavation for structure).

For detail, reference should be made to the Civil & Structural Design Report and Drawings as well as the Geotechnical Investigation that accompany this EIS.

## 4.9 Infrastructure and Utility Works

### Civil Engineering

Civil engineering works will consist of siteworks and stormwater improvements to serve the existing and proposed buildings, specifically:

- Cut and fill for the new carparks and building. Retaining walls will be required to account for the level change between the existing road and the proposed carparks (which need to meet the existing and proposed hospital floor levels).
- The proposed building location on/over the existing access road will require the existing overland flow path to be adjusted and the stormwater diverted.
- Proposed civil works to the Goldsmith Street frontage include new carparks and a new entrance.
- On-site detention will be required to limit flows from the site (to ensure there is no adverse impact on downstream properties as a result of the development).
- The provision of bio-retention to treat runoff from new carpark areas.

For detail, reference should be made to the Civil & Structural Design Report and Drawings.

### Hydraulic Services

The Hydraulic Services Report and Plans that accompany this application detail the proposed design with respect to:

- Domestic water supply;
- Filtration;
- Gas supply;
- Hot water;
- Warm water;
- Sewer systems;
- Fire hydrant and fire hose reel service;
- Fire sprinklers;
- Fire detection and alarm systems; and
- Allowances for potential future expansion.

For information regarding the abovementioned items, reference should be made to the Hydraulic Services Report and Plans that accompany this application.

### Electrical

This SSDA is accompanied by an Electrical Services Infrastructure Report prepared by WGE, which provides details with respect to existing electrical infrastructure and carrier services in

proximity to the proposed site. For detail regarding Electrical Services Infrastructure, reference should be made to this report.

#### 4.10 Tree Removal

There is no tree removal proposed as part of this application.<sup>1</sup>

An assessment of the proposed building footprint has been undertaken by consulting arborist Naturally Trees (Appendix 19). This assessment identified a number of trees which will require protection during construction. The tree management plan, prepared by Naturally Trees details the location of the trees to be protected and is extracted in the Figure below.



Figure 40: Extract of tree management plan from Appendix 8 of Arboricultural Impact Appraisal and Method Statement (Source: Naturally Trees)

A mitigation measure has been included at Section 9 of this EIS to ensure that appropriate protective measures are adopted throughout construction.

#### 4.11 Hours of Operation

The site will operate 24hrs a day and 7 days a week in accordance with the existing arrangements.

#### 4.12 Jobs Creation

The proposed development will result in the following employment generation:

- **Operational:** The proposal is expected to result in an additional 45 FTE jobs.
- **Construction:** A maximum of 200 construction workers.

<sup>1</sup> The Arborist Report that accompanies this EIS identifies the removal of "Tree 54". Tree 54 has been removed as part of the early works REF and does not form part of this SSDA.

## 4.13 Analysis of Alternative Options

HI has explored a number of options for the location and layout of the new facility during the concept design phase.

A number of broad options were considered for the expansion of the campus. Out of the options tabled as part of the concept and schematic design assessment process, the proposed option was considered to be the most appropriate way of meeting the future needs of the community.

The option selected, the subject of this application, is considered to provide a highly resolved architectural design that responds to the service needs of the existing hospital and enables the delivery of contemporary models of care. Specifically, and in comparison with other options considered, the proposal:

- Allows for façade articulation and heightened visual interest from vantage points within the site and the surrounding locality;
- Achieves improved solar access and amenity for staff, patients and visitors;
- Offers increased efficiency in ambulance access to the Lower Ground Floor from Faithfull Street (avoiding potential conflict with private vehicles); and
- Enables easy and legible connectivity between the new build elements and existing hospital buildings.

For these reasons, as expanded in Section 8 of this EIS, the proposed option provides a more resolved architectural design and higher level of internal and external amenity than other designs previously contemplated on the subject site.

## 4.14 Impact of not proceeding with the proposal

Generally, the key impacts of not proceeding with the proposal would include:

- Limiting the ability of GoBH to meet the healthcare demands of the catchment population;
- Limiting the attraction and retention of health services staff within the GHS;
- Preventing the full implementation of contemporary models of care with much of the existing GoBH infrastructure not consistent with contemporary standards of health and safety and patient care;
- Increasing the likelihood of recurrent operating costs incurred by the State resulting from a growth in demand of health services;
- Limiting the potential for health services to be delivered to the quality required by Health Infrastructure and the NSW LHD; and
- Facilitating a substantial long-term undersupply of key clinical services including, emergency, imaging, maternity, paediatric, perioperative, ICU and palliative care facilities.

In addition to the impacts identified above, failure to deliver this proposal would undermine the broader service capacity of the GHS. The GHS is reliant upon GoBH as the major healthcare hub in the north of the NSW LHD. This would have a significant and detrimental impact on services provision for patients within the GHS and the NSW LHD.

To this end, the impact of not proceeding with the proposal would be unacceptable due to the inability of infrastructure to meet the current and future health care demands of the local and regional community.

## 5. Secretary's Environmental Assessment Requirements

This EIS has been prepared to in accordance with the form and content requirements outlined in Schedule 2, Part 3, Clause 6 and 7 of the Environmental Planning and Assessment Regulation 2000 and the Secretary's Environmental Assessment Requirements (SEARs) specifically for the development.

The SEARS were issued by the Department of Planning and Environment on 2 April 2015 and a copy is attached at Appendix 1.

The table below summarises the SEARS and includes a reference identifying where each requirement has been addressed in this EIS.

Table 5: SEARs

SEAR/Key Issues	Where Addressed in EIS
1. Statutory and Strategic Context	Sections 6 & 7
2. Policies	Section 7
3. Built Form and Urban Design	Section 8.2
4. Environmental Amenity	Section 8.3
5. Transport and Accessibility	Section 8.4
6. Ecologically Sustainable Development (ESD)	Section 8.5
7. Heritage	Section 8.6
8. Noise and Vibration	Section 8.7
9. Sediment, Erosion and Dust Control	Section 8.8
10. Contamination	Section 8.9
11. Utilities	Section 8.10
12. Contributions	Section 8.11
13. Drainage	Section 8.12
14. Flooding	Section 8.13
15. Waste	Section 8.14
16. Construction Hours	Section 8.15
Plans and Documents	All of the required plans and documentation stipulated in this section of the SEARs (where relevant) accompany this EIS as appendices. Many of these items are also addressed at Sections 8.16.
Consultation	Section 5.1

## 5.1 Consultation

### 5.1.1 Overview

In accordance with the SEARS for this project, consultation was undertaken with the following stakeholders:

- Goulburn Mulwaree Council;
- Transport for NSW (TfNSW);
- Roads and Maritime Services (RMS);
- Water NSW; and
- The local community.

The following sections of this report provide the details of consultation undertaken directly before and following the issue of the SEARs for this project (on 25 August 2017).

### 5.1.2 Goulburn Mulwaree Council

A number of meetings were undertaken with the Council in relation to the project. The table below provides details of the meetings held, the matters raised, and responses to these matters.

Table 6: Response to pre-lodgement matters raised

Consultation	Matters Raised	Response
<b>Goulburn Mulwaree Council</b> 16 Dec 2016	Council advised that the context of the Hospital (located opposite a school, a park and surrounded by residential dwellings) should be a primary consideration throughout the design of the proposal.	The hospital's context has informed the design of the proposed works through the following design initiatives: <ul style="list-style-type: none"> <li>▪ The proposed building has been designed to be consistent with the varied nature of existing built forms on the site and throughout the immediate locality;</li> <li>▪ The façade of the proposed building has been designed and articulated in a manner that creates visual interest and reduces perceived bulk from the public domain;</li> <li>▪ The scale of the site was determined suitable to support a larger built form located away from significant heritage building;</li> <li>▪ The demolition of buildings around existing heritage items and consolidation of these services within the new acute building provides improved heritage curtilage, with opportunity for greater landscaped public open space adjacent to heritage buildings;</li> <li>▪ The proposed acute services building is setback generously from surrounding residential uses;</li> <li>▪ The proposed building is designed to respond to the topography of the site and improve pedestrian and vehicular links to the surrounding locality; and</li> <li>▪ The proposed building will not adversely overshadow any public areas or surrounding residential development.</li> </ul> A more detailed discussion of how context has informed the design of the proposal is provided at Section 8.2 of this EIS.
<b>Goulburn Mulwaree Council</b> 16 May 2017	Parking during construction	Council asked that the proposal ensure that adequate parking is available on the streets for Hospital users. To address this concern, a preliminary construction traffic management plan has been prepared by TTW. This plan proposes a combination of on site and off site parking to be provided to manage hospital demand throughout construction. A mitigation measure has also been included in Section 9 of this EIS, to ensure that prior to the

		commencement of construction, a Final Construction Traffic Management Plan is prepared.
<b>Goulburn Mulwaree Council &amp; Water NSW</b> 16 May 2017	Discussion centred around authority for sewer augmentation, easements & Council upgrade and diversion works	The outcomes of this meeting informed the detailed design of civil, hydraulic, electrical servicing for the site. Utilities are discussed in detail at Section 8.10 of this EIS and Drainage is discussed in detail at Section 8.12 of this EIS. This meeting also informed the mitigation measures proposed with respect to these items at Section 9 of this EIS.
<b>Goulburn Mulwaree Council</b> (Consultation with Mayor, Councillor and General Manager) 20 June 2017	Discussion centred around car parking considerations, clarification of site access and existing traffic conditions	The proposal responded to these matters through the following features: <ul style="list-style-type: none"> <li>▪ The on site parking provided by the proposal is proportionate to and accommodates the additional demand of increased bed, staff and visitor numbers (refer to Section 8.4 for detail);</li> <li>▪ Access has been clarified through clear pedestrian and vehicular entrances and the separation of ambulance, servicing, and visitor parking facilities to avoid potential conflicts; and</li> <li>▪ TTW has provided a detailed analysis of the proposal's impact on the surrounding street network concluding that additional trips can be accommodated within the local road network and the intersections analysed will continue to operate at a high level of service.</li> </ul> For details with respect to any of the above responses refer to Section 8.10 of this EIS.
<b>Goulburn Mulwaree Council</b> 12 July 2017	Authority for sewer augmentation, easements & Council upgrade and diversion works	The meeting focused on more specific details of the sewerage connection requirements for the new hospital and interface with council sewerage mains. This consultation informed the hydraulic design of the proposed works, as detailed in Section 8.10 of this report and in the Hydraulic Servicing Reports and Plans provided at Appendix 14.
<b>Goulburn Mulwaree Council &amp; RMS</b> 7 Sep 2017	RMS raised that there will need to be careful consideration of parking and access during construction.	To mitigate construction impacts construction vehicle access will be limited to Faithfull Street and construction workers will not be permitted to park within the immediate vicinity of the Hospital. Vehicular access to the Hospital during construction will be maintained for both staff/visitors, ambulance vehicles and service vehicles. It is understood that the RMS have agreed the scope of traffic modelling conducted was appropriate.
<b>Goulburn Mulwaree Council</b> 28 Nov 2017	Presentation of design and Project Delivery Strategy	The proposed design was presented to Council, as was the delivery strategy and proposed program for completion of works. There were no issues raised by Council at this meeting.
<b>Goulburn Mulwaree Council</b> (Consultation with Director of Planning, Director of Engineering and General Manager) 10 Jan 2018	Parking arrangements in the surrounding streets.	A number of strategies were discussed to restrict construction staff workers from parking within one block of the Hospital. The intent of such a restriction is to provide overflow parking immediately adjacent to the Hospital for visitors and outpatients. This has been reflected in the Preliminary Construction Traffic Management Plan prepared by TTW to accompany this EIS. HI is also committed to continuing work with Council to develop strategies to manage on street parking near the Hospital.

### **5.1.3 Transport for New South Wales**

A meeting with TfNSW was conducted via a representative of Goulburn Mulwaree Council on 1 September 2017. The main concern raised at this meeting was by the Centre for Road Safety and related to potential impacts to local bus services near to the site. In response, we note that the Transport and Accessibility Statement prepared by TTW, which accompanies this EIS, confirms that the proposal will result in a minimal increase in public transport trips and a negligible impact. Therefore, we can confirm that the proposed works will not result in any unreasonable impacts with regard to the public transport network. The existing bus stop adjacent to the site on Goldsmith Street will remain operational during the proposed works.

### **5.1.4 Roads and Maritime Services**

A meeting was held between the project team, Goulburn Mulwaree Council and RMS on 7 September 2017. The main issue raised by RMS related to parking and access during construction of the project. In response, to mitigate impacts during construction, vehicle access will be limited to Faithfull Street and construction workers will not be permitted to park within the immediate vicinity of the hospital. Vehicular access to the hospital during construction will be maintained for both staff/visitors, ambulance vehicles and service vehicles.

Further to the above, we understand that RMS representatives at the meeting agreed with the scope of traffic modelling proposed to be undertaken by TTW.

Minutes of this meeting can be found at Appendix D of the Transport and Accessibility Statement at Appendix 7 of this EIS.

### **5.1.5 Water NSW**

A meeting was undertaken between Goulburn Mulwaree Council and Water NSW on 16 May 2017. This meeting focused on authority for sewer augmentation, easements and Council upgrade and diversion works. The discussion at this meeting informed the detailed design of civil, hydraulic and electrical servicing for the site. The proposed arrangement for utilities is discussed in Section 8.10 and drainage is discussed in Section 8.12 of this EIS. This meeting also informed the mitigation measures proposed with respect to these items at Section 9 of this EIS.

### **5.1.6 Community and Hospital Staff Consultation**

Extensive consultation has been carried out with the local community and hospital staff in relation to the proposed development. Specifically, meetings have been held with:

- Goulburn High School;
- Goulburn Community Consultative Committee;
- ED, Pathology; Maternity, Patient Support, Pastoral Care, Medical Ward, Surgical Ward, ICU, Operating Theatre and other hospital staff;
- Oncology and Palliative Care Support Group;
- Goulburn Mulwaree Rotary Club;
- Goulburn Friendship Club
- Local Media (including Goulburn Post and 2GN/Eagle FM);
- Goulburn Lions Club;
- Bourke Street Health Service Staff;
- Leukaemia Foundation;
- Probus Club of Goulburn;

- Goulburn Chamber of Commerce;
- Breast Cancer Support Group;
- Argyle Garden Club;
- Goulburn Country Women's Association;
- Goulburn Heritage Group;
- Goulburn Base Hospital Ex-Trainee Nurses Reunion;
- Bungonia Progress Association;
- Goulburn Medical Advisory Committee; and
- Pru Goward, Member for Goulburn.

The above groups/individuals have been consulted on numerous occasions and provided with updates throughout the design development process. A range of formats have also been applied throughout the consultation process, including a number of neighbourhood meetings to brief local residents on the proposal, updates included in staff newsletters and a range of patient user groups.

### Community Information Session - Interactive Shopfront'

In addition to general consultation with the above community groups, an interactive shopfront was also established in the Goulburn city centre at the corner of Auburn and Goldsmith Streets on Thursday 30th November 2017 from 2pm to 7pm (30 attendees) and on Saturday 2nd December 2017 from 10am to 2pm (34 attendees). These sessions provided an opportunity for members of the community to view the Schematic Designs and a 'flythrough' of the new Hospital design. During these sessions, a number of matters were raised. The community's response to the proposal was largely positive, however, the few matters raised are addressed in the following Table.

Table 7: Summary of matters raised and responses to community consultation.

Matter Raised	Response
Construction noise	In relation to construction noise and vibration the Acoustic Report that accompanies this EIS recommends that a Construction Noise and Vibration Management Plan (CNVMP) be prepared prior to the commencement of construction. The Acoustic Report states that the CNVMP <i>"should assess the likely noise and vibration emissions from construction activities occurring on site and recommend reasonable and feasible mitigation measures in order to comply with construction noise and vibration criteria and in doing so, minimizing the impact of construction activities on nearby residents but also on the hospital itself"</i> . The preparation and implementation of the a CNVMP is included as a mitigation measure at Section 8.7.3 and Section 9.
On-site parking and inability of additional parking to account for additional demand	As seen in the previous table, parking has been a major consideration throughout the design of the proposal. The following is noted with respect to parking: <ul style="list-style-type: none"> <li>▪ The existing parking arrangement for GoBH, discussed in Section 3.3.6 of this EIS, utilises a mix of on-site car parking spaces as well as on-street car parking spaces in close proximity. This includes on-street parking spaces along Clifford Street and Albert Street, which are not adjacent to residential uses (although the western side of Albert Street is subject to time restricted parking in the morning and afternoon associated with Goulburn High School).</li> <li>▪ The proposal will result in an increase of 45 FTE staff, 23 beds and 20 peak outpatients, resulting in a total increase in demand for 53 spaces.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ The proposed works will result in 196 car spaces on the site. This represents an additional 54 car spaces on the site. The additional parking spaces offsets the additional demand.</li> <li>▪ Following the completion of works carried out under a separate application, there will be approximately 226 car parking spaces in the immediate vicinity of the site. As such, the total available parking (on site and off site) post completion will be approximately 422 spaces. This has been assessed by TTW as being "sufficient and convenient parking", consistent with demand requirements.</li> </ul> <p>For detail, reference should be made to Section 8.4 of this EIS.</p>
Wind from Victoria Park	Wind impacts are addressed in Section 8.3 of this EIS. The proposal is not expected to have any adverse impacts with respect wind throughout the locality and is not expected to be impacted in any adverse way by wind throughout the locality.
Increased staff consultation required	In response to this feedback efforts have been made to increase staff consultation throughout the GHS. The project team will continue these to seek input from staff throughout construction and operation phases.

Further to the interactive shopfront, a "Community Consultation Committee" and "Community Working Group" were set up for the project. Some details are provided below.

#### **‘Community Consultation Committee’**


Community Consultation Committees (CCCs) are a NSW LHD initiative that provide an opportunity for community members to provide input in relation to a health service that directly meets the needs of the local population. The Goulburn Health Service (GHS) CCC held regular meetings during the project’s planning phase. Members of the Goulburn Hospital CCC included representatives from the NSW LHD Board, GHS Executive, GHS Management, Local Council and interested community members. The issues discussed at the CCC focused on the proposed new health services and design of the redevelopment at Goulburn Hospital and whether the demand for new services aligned with funding arrangements. Discussions regarding design and service access focused on quality, safety, access and equity.

#### **‘Community Working Group’**

The Community Working Groups (CWGs) provided an opportunity to capture patient (i.e. consumer) feedback and incorporate this feedback into the design process for the new subject redevelopment project, with the ultimate aim being to improve patient experience outcomes. Patient experience ‘themes’ identified and discussed during the CWGs included:

- Parking (e.g. improved drop off and parking)
- Ambulance arrival (e.g. privacy and dignity issues)
- Welcoming arrival
- Waiting areas (e.g. wheel chair and buggy parking, a café or food court area, a variety of seating spaces and seats)
- Accessibility (e.g. Seating nooks and rest areas. Fit for purpose spaces)
- Furniture and fittings (e.g. more comfortable furniture)

All of the above issues have been addressed in the design development of the project. Specifically, we note that the proposed scheme improves parking arrangements (improved wayfinding, signage and separation of high turnover areas for improved efficiency in movement), improved ambulance access (new access from Faithfull Street) and pick up/drop off, a high level of accessibility (refer to Access Report at Appendix 21) and high quality internal amenity (refer to architectural plans at Appendix 2a for further detail).



To conclude, the majority of the feedback from the consultative phase of this project has been positive, with all issues raised having been addressed in the design development of the project.

## 6. Statutory Planning Considerations

### 6.1 Overview

The Secretary requires the assessment of the SSD Application in relation to the following statutory instruments:

- Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth);
- Environmental Planning and Assessment Act 1979;
- Environmental Planning and Assessment Regulation 2000;
- Biodiversity Conservation Act 2016;
- State Environmental Planning Policy (State & Regional Development) 2011;
- State Environmental Planning Policy (Infrastructure) 2007;
- State Environmental Planning Policy No. 33 Hazardous and Offensive Development;
- State Environmental Planning Policy No. 55 – Remediation of Land;
- State Environmental Planning Policy No. 64—Advertising and Signage;
- State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011; and
- Goulburn Mulwaree Local Environmental Plan 2009.

Where relevant, these controls are addressed below.

### 6.2 Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth)

The Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) commenced on 16 July 2000. The EPBC Act introduced various assessment and approvals systems for:

- (a) *actions that have a significant impact on matters of national environmental significance;*
- (b) *actions that have a significant impact on the environment of Commonwealth land; and*
- (c) *actions carried out by the Commonwealth Government.*

Under the assessment and approval provisions of the EPBC Act, actions that are likely to have a significant impact on a matter of national environmental significance are subject to a rigorous assessment and approval process. An action includes a project, development, undertaking, activity, or series of activities.

The EPBC Act identifies seven matters of national environmental significance, which are set out below:

- (a) *World Heritage properties;*
- (b) *National Heritage places;*
- (c) *Ramsar wetlands of international significance;*
- (d) *nationally listed threatened species and ecological communities;*

- (e) listed migratory species;
- (f) Commonwealth marine areas; and
- (g) nuclear actions (including uranium mining).

There are no relevant World Heritage properties, National Heritage places, Ramsar wetlands, Commonwealth marine areas, listed migratory species, nationally listed threatened species and ecological communities or Commonwealth lands on the site or surrounding area.

Therefore, it is concluded that there will not be a significant impact on any matters of national environmental significance arising from the proposal, and consequently the proposed activity is not considered to be a “controlled action” pursuant to the EPBC Act.

### 6.3 Environmental Planning & Assessment Act 1979

#### 6.3.1 Section 1.3 - Objects of Act

The objects of the EP&A Act are prescribed under Section 1.3 and are addressed in the table below:

Table 8: Section 1.2 Objects of the Act

Object	Response
(a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State’s natural and other resources,	<p>The proposed development promotes the social and economic welfare of the community by enhancing the operational efficiency of GoBH. This will provide:</p> <ul style="list-style-type: none"> <li>▪ Improved public health care throughout the SNSW LHD; and</li> <li>▪ Additional employment opportunities throughout construction and operation of the site.</li> </ul> <p>The social and economic impacts of the proposal are assessed in detail at Section 8.17 of this EIS.</p> <p>The proposed development manages environmental impacts to achieve a better environment through the design, siting and servicing of the proposed works. A detailed assessment of potential environmental impacts resulting from the proposed works is provided at Section 8 of this EIS. Any impacts (or potential impacts) resulting from the proposed works are addressed through mitigation measures detailed at Section 9 of this EIS.</p>
(b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment	<p>Ecologically sustainable development is addressed in detail at Section 8.5 of this EIS and the ESD Statement that accompanies this application.</p> <p>Section 8.5 of this EIS outlines a range of design measures that demonstrate the way ESD is entrenched into the design proposal. Specifically, it is concluded that the proposed works are consistent with recognised best practice principles that can be applied throughout the design and ongoing operational phases of the development.</p>
(c) to promote the orderly and economic use and development of land	<p>The proposal promotes the orderly and economic use and development of the land by replacing existing outdated facilities and providing a facility that is better able to implement contemporary models of care. In doing so, the redevelopment of GoBH will improve the efficiency and effectiveness of service delivery, enhance the functionality</p>

	and capacity of clinical spaces and remedy the sub-standard facility environments.
(d) to promote the delivery and maintenance of affordable housing	NA
(e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats	As outlined in Section 6.5 of this EIS, the Planning Agency Head and the Environment Agency Head have determined that the proposed development is not likely to have any significant impact on biodiversity values.
(f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage)	<p>Heritage is assessed in detail at Section 8.6 of this application and in the Statement of Heritage Impact that accompanies this application.</p> <p>The sustainable management of built and cultural heritage is promoted through:</p> <ul style="list-style-type: none"> <li>▪ The proposed retention of exceptional and highly significant buildings and elements; and</li> <li>▪ Proposed improvements and landscaping along the street frontages in the north western portion of the site.</li> </ul> <p>These measures and those identified in the detailed assessment of heritage at Section 8.6 of this EIS mean that the proposed works will have an acceptable heritage impact on the site and surrounding locality.</p>
(g) to promote good design and amenity of the built environment	<p>Built form and urban design is addressed in detail at Section 8.2 of this EIS and environmental amenity is addressed in detail at Section 8.3 of this EIS. These assessments demonstrate that:</p> <ul style="list-style-type: none"> <li>▪ The built form of the proposal is appropriate in the context of the existing site and locality, satisfying the growing operational needs of GoBH whilst minimising adverse impacts on surrounding sites; and</li> <li>▪ Environmental amenity has been a primary consideration throughout the preliminary design phases of this proposal, resulting in potential issues having been mitigated through initial design development stages of the proposal.</li> </ul>
(h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants	A range of mitigation measures have been proposed at Section 9 of this EIS. Subject to these mitigation measures the proposed works will be capable of promoting the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants.
(i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State	NA
(j) to provide increased opportunity for community participation in environmental planning and assessment	Extensive community participation has been carried out prior to the lodgement of this SSDA and further consultation will be carried out during the public exhibition of the SSDA. For details with respect to consultation carried out to date, refer to Section 5 of this EIS.

With regard to the responses provided in the table above, we are satisfied that the proposed development appropriately responds to the objects of the EP&A Act.

### 6.3.2 Section 4.15 - Evaluation

The proposed development has been evaluated and assessed against the relevant heads of consideration under Section 4.15 of the EP&A Act.

The table below, identifies the matters for consideration under Section 4.15, that apply to SSD, in accordance with Section 4.40 of the EP&A Act.

Table 9: Section 4.15(1) Matters for Consideration

Section 4.15(1)	Comment
(a)(i) any environmental planning instrument	Consideration of all relevant SEPPs and the GMLEP is undertaken in Section 6 of this EIS. The proposal is consistent with all relevant provisions.
(a)(ii) any proposed instrument	Not applicable.
(a)(iii) any development control plan	Pursuant to Clause 11 of SEPP SRD, DCP's do not apply to SSD.
(a)(iiia) any planning agreement	Not applicable.
(a)(iv) the regulations	This SSDA is considered to satisfactorily meet the relevant requirements of the EP&A Regulations relating to applications and the requirements for EIS's in Schedule 2. Refer to Section 6.4 of this EIS.
(a)(v) any coastal zone management plan	Not applicable.
(b) the likely impacts of that development	The likely impacts of the development have been considered in Section 8 of this EIS. Mitigation measures to manage the impacts identified are discussed in Section 8 and set out in Section 9 of this EIS.
(c) the suitability of the site for the development	<p>The site supports an existing hospital and is located in an established urban area and with all urban and infrastructure services available or capable of augmentation to meet the needs of the development.</p> <p>Investigations into contamination, geology, access and services show that the site is suitable for the proposed development and capable of accommodating development of the intensity proposed.</p> <p>Measures will be put in place to manage impacts during construction and operation to protect the amenity of adjoining residents and patients, staff and visitors to GoBH.</p>
(d) any submissions	This is a matter for the DPE.
(e) the public interest	<p>Having regard to the provisions of the EP&amp;A Act and this EIS, it is concluded that the development is significantly in the public interest because of the important improvements in health and hospital services resulting from the new hospital facilities to be provided. The social and economic benefits of the proposal are discussed at Section 8.17.</p> <p>Furthermore, this EIS demonstrates that the development does not result in any adverse environmental impacts subject to adopting the recommendations and mitigation measures contained herein. On balance, the proposal is very much in the public interest.</p>
Biodiversity values exempt if: (a) On biodiversity certified land (b) Biobanking Statement exists	Not applicable.

## 6.4 Environmental Planning & Assessment Regulation 2000

### 6.4.1 Requirements for Preparing an EIS - Schedule 2

Schedule 2 of the EP&A Regs prescribes requirements for preparing an EIS. This EIS has been prepared in accordance with the EP&A Regs as set out in the Table below.

Table 10: EP&A Regulation - Schedule 2 Requirements

Schedule 2 Subclause	Comment
<p>4 Integrated development—requirements of approval bodies</p> <p>(1) An application for environmental assessment requirements must, in the case of a development application for integrated development, also include particulars of the approvals that are required.</p>	<p>N/A. Section 4.44(2) of the EP&amp;A Act states that Division 4.8 Integrated Development, does not apply to <i>"development the subject of a development application made by or on behalf of the Crown (within the meaning of Division 4), other than development that requires a heritage approval"</i>.</p>
<p>6 Form of environmental impact statement</p> <p>An environmental impact statement must contain the following information:</p> <p>(a) the name, address and professional qualifications of the person by whom the statement is prepared,</p> <p>(b) the name and address of the responsible person,</p> <p>(c) the address of the land:</p> <p>(i) in respect of which the development application is to be made, or</p> <p>(ii) on which the activity or infrastructure to which the statement relates is to be carried out,</p> <p>(d) a description of the development, activity or infrastructure to which the statement relates,</p> <p>(e) an assessment by the person by whom the statement is prepared of the environmental impact of the development, activity or infrastructure to which the statement relates, dealing with the matters referred to in this Schedule,</p> <p>(f) a declaration by the person by whom the statement is prepared to the effect that:</p> <p>(i) the statement has been prepared in accordance with this Schedule, and</p> <p>(ii) the statement contains all available information that is relevant to the environmental assessment of the development, activity or infrastructure to which the statement relates, and</p> <p>(iii) that the information contained in the statement is neither false nor misleading.</p>	<p>All of these matters have been addressed in the body of this EIS.</p>
<p>7 Content of environmental impact statement</p> <p>(1) An environmental impact statement must also include each of the following:</p> <p>(a) a summary of the environmental impact statement,</p> <p>(b) a statement of the objectives of the development, activity or infrastructure,</p> <p>(c) an analysis of any feasible alternatives to the carrying out of the development, activity or infrastructure, having</p>	<p>In response to this clause, we comment as follows:</p> <ul style="list-style-type: none"> <li>▪ A summary of the EIS is undertaken in the Executive Summary at the commencement of this EIS;</li> <li>▪ A statement of the objectives of the development is undertaken in the Introduction of this EIS at Section 2;</li> <li>▪ An analysis of feasible alternatives and the consequences of not</li> </ul>

regard to its objectives, including the consequences of not carrying out the development, activity or infrastructure,

(d) an analysis of the development, activity or infrastructure, including:

(i) a full description of the development, activity or infrastructure, and

(ii) a general description of the environment likely to be affected by the development, activity or infrastructure, together with a detailed description of those aspects of the environment that are likely to be significantly affected, and

(iii) the likely impact on the environment of the development, activity or infrastructure, and

(iv) a full description of the measures proposed to mitigate any adverse effects of the development, activity or infrastructure on the environment, and

(v) a list of any approvals that must be obtained under any other Act or law before the development, activity or infrastructure may lawfully be carried out,

(e) a compilation (in a single section of the environmental impact statement) of the measures referred to in item (d) (iv),

(f) the reasons justifying the carrying out of the development, activity or infrastructure in the manner proposed, having regard to biophysical, economic and social considerations, including the principles of ecologically sustainable development set out in subclause (4).

(2) Subclause (1) is subject to the environmental assessment requirements that relate to the environmental impact statement.

(4) The principles of ecologically sustainable development are as follows:

(a) the precautionary principle, namely, that if there are threats of serious or irreversible environmental damage, lack of full scientific certainty should not be used as a reason for postponing measures to prevent environmental degradation. In the application of the precautionary principle, public and private decisions should be guided by:

(i) careful evaluation to avoid, wherever practicable, serious or irreversible damage to the environment, and

(ii) an assessment of the risk-weighted consequences of various options,

(b) inter-generational equity, namely, that the present generation should ensure that the health, diversity and productivity of the environment are maintained or enhanced for the benefit of future generations,

(c) conservation of biological diversity and ecological integrity, namely, that conservation of biological diversity and ecological integrity should be a fundamental consideration,

(d) improved valuation, pricing and incentive mechanisms, namely, that environmental factors should be included in the valuation of assets and services, such as:

carrying out the development is undertaken in Section 4.13 and 4.14 of this EIS.

- An analysis of the development is undertaken in Section 4 of this EIS;
- An analysis of the likely impact on the environment is undertaken in Section 8 of this EIS;
- A full description of the measures proposed to mitigate any adverse effects of the development is undertaken at Section 9 of this EIS;
- A list of any approvals that must be obtained under any other Act or law before the development, activity or infrastructure may lawfully be carried out is undertaken following this table;
- A list of all of the measures referred to in (d)(iv) is in Section 9 of this EIS;
- The proposed development is consistent with principles of ESD, as set out in Section 8.5 of this EIS.

<p>(i) polluter pays, that is, those who generate pollution and waste should bear the cost of containment, avoidance or abatement,</p> <p>(ii) the users of goods and services should pay prices based on the full life cycle of costs of providing goods and services, including the use of natural resources and assets and the ultimate disposal of any waste,</p> <p>(iii) environmental goals, having been established, should be pursued in the most cost effective way, by establishing incentive structures, including market mechanisms, that enable those best placed to maximise benefits or minimise costs to develop their own solutions and responses to environmental problems.</p>	
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In relation to Clause 7(1)(d)(v) in Schedule 2 of the EP&A Regs, the following Table sets out the approvals required before this development may lawfully be carried out:

Table 11 Approvals Required

Act	Approval Required?
Legislation that does not apply to SSD (Section 4.41 of EP&A Act)	
the concurrence under Part 3 of the <a href="#">Coastal Protection Act 1979</a> of the Minister administering that Part of that Act,	N/A
a permit under section 201, 205 or 219 of the <a href="#">Fisheries Management Act 1994</a> ,	N/A
an approval under Part 4, or an excavation permit under section 139, of the <a href="#">Heritage Act 1977</a> ,	N/A
an Aboriginal heritage impact permit under section 90 of the <a href="#">National Parks and Wildlife Act 1974</a> ,	N/A
an authorisation referred to in section 12 of the <a href="#">Native Vegetation Act 2003</a> (or under any Act repealed by that Act) to clear native vegetation or State protected land,	N/A
a bush fire safety authority under section 100B of the <a href="#">Rural Fires Act 1997</a> ,	N/A
a water use approval under section 89, a water management work approval under section 90 or an activity approval (other than an aquifer interference approval) under section 91 of the <a href="#">Water Management Act 2000</a> .	N/A
Legislation that must be considered (Section 4.42 of EP&A Act)	
an aquaculture permit under section 144 of the <a href="#">Fisheries Management Act 1994</a> ,	N/A
an approval under section 15 of the <a href="#">Mine Subsidence Compensation Act 1961</a> ,	N/A
a mining lease under the <a href="#">Mining Act 1992</a> ,	N/A
a production lease under the <a href="#">Petroleum (Onshore) Act 1991</a> ,	N/A
an environment protection licence under Chapter 3 of the <a href="#">Protection of the Environment Operations Act 1997</a> (for any of the purposes referred to in section 43 of that Act),	N/A

a consent under section 138 of the Roads Act 1993,	Yes. A s138 consent will be required if any work will occur within a Council Road Reserve.
a licence under the <a href="#">Pipelines Act 1967</a> .	N/A

## 6.5 Biodiversity Conservation Act 2016

The Biodiversity Conservation Act 2016 (BC Act) commenced on 25 August 2017 and sets out, among other things, to establish a scientific method for assessing the likely impacts on biodiversity values of proposed development and land use change. Specifically, of relevance to the proposed works:

- Section 7.3 of the BC Act prescribes the test for determining whether proposed development or activity is likely to significantly affect threatened species or ecological communities, or their habitats;
- Section 1.5 of the BC Act prescribes what biodiversity and biodiversity values are for the purposes of the BC Act; and
- Clause 1.4 of the Biodiversity Conservation Regulation 2017 outlines additional biodiversity values for the purposes of the BC Act.

Under Section 7.9 of the BC Act, a development application for SSD is required to be accompanied by a Biodiversity Development Assessment Report (BDAR) unless “the Planning Agency Head and the Environment Agency Head determine that the proposed development is not likely to have any significant impact on biodiversity values.” Waivers from the Planning Agency Head (dated 19 January 2018) and the Environment Agency Head (dated 8 December 2017) have been obtained with respect to this SSDA, which determine that there is no need for the SSDA to submit a BDAR.

## 6.6 State Environmental Planning Policy (State and Regional Development) 2011

The aim of State Environmental Planning Policy (State and Regional Development) 2011 (SEPP SRD) is to identify development that is SSD. Pursuant to the SEPP SRD a project will be a SSD if it falls into one of the classes of development listed in Schedule 1 of the SEPP. “Hospitals, medical centres and health research facilities” with a CIV of \$30 million or more are identified as SSD and are considered to be development of State significance.

The works have a combined CIV of over \$30 million and as such the proposal is classified as SSD.

## 6.7 State Environmental Planning Policy (Infrastructure) 2007

State Environmental Planning Policy (Infrastructure) 2007 (ISEPP) aims to facilitate the effective delivery of infrastructure across NSW and identifies matters to be considered in the assessment of development adjacent to particular types of infrastructure development. Relevant Sections of the ISEPP are addressed below.

### 6.7.1 Health Services Facilities

The proposal does not alter the use of the site. The site is categorised under the ISEPP as a “hospital”, within the meaning of “health services facilities”.

The site is zoned SP2 Infrastructure under the GMLEP. The SP2 zone is defined as a “prescribed zone” pursuant to clause 56 of the ISEPP. The use of the proposed building as a “health services facilities” is permissible with consent under the ISEPP.

## 6.7.2 Traffic Generating Development

The ISEPP aims to ensure that the RMS is made aware of and is given an opportunity to make representations in respect of traffic generating development. The ISEPP sets out the types of development which must be referred to the RMS. For hospitals, a threshold of 200 beds is identified as the trigger for traffic generating development (unless the site has access to classified road or to road that connects to classified road within 90m of the site). Following the completion of the proposed works, GoBH will have a total of 125 beds. As the proposal does not provide for 200 or more beds it is not considered traffic generating development. Notwithstanding this, consultation has been carried out with the RMS prior to the lodgement of this SSDA and details of this consultation are provided at Section 5.1 of this EIS.

## 6.8 State Environmental Planning Policy No. 33 – Hazardous and Offensive Development

SEPP 33 provides clear definitions of hazardous and offensive industries and aims to facilitate development defined as such and to ensure that in determining developments of this nature, appropriate measures are employed to reduce the impact of the development.

SEPP 33 requires an assessment of hazardous materials, involving a screening method based on the quantities of dangerous goods on a site, to assist in determining if a development is likely to be a potentially hazardous industry.

Whilst the development primarily consists of consolidation of existing services and/or no new hazardous activities on the site, an assessment of the nature and quantity of dangerous goods that will potentially be stored/used at GoBH in accordance with the requirements of SEPP 33, should be undertaken, with a view to determining if the development is considered potentially hazardous or offensive using the nominated performance criteria.

A Hazardous Building Materials Assessment has been undertaken by Environmental Investigation Services to accompany this proposal, which provides a detailed assessment of the site and the proposed use. The report makes a series of recommendations with respect to:

- Asbestos Materials;
- Synthetic Mineral Fibre Materials;
- Lead Paint;
- Lead in Accumulated Dust; and
- Polychlorinated Biphenyls Containing Electrical Equipment.

These materials were found on site, however, are not anticipated to impact the proposal subject to construction being carried out in accordance with the recommendations provided by Environmental Investigation Services. A copy of the Hazardous Building Materials Assessment prepared by Environmental Investigation Services accompanies this EIS and the recommendations of this report are included as mitigation measures at Section 9 below. CPSD is satisfied that construction in accordance with the proposed mitigation measures will not result in development that is considered to be potentially hazardous or offensive.

## 6.9 State Environmental Planning Policy No. 55 - Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) establishes State-wide provisions to promote the remediation of contaminated land. The policy states that land must not be developed if contamination renders it unsuitable for a proposed use. If the land is unsuitable, remediation must take place before the land is developed.

The Preliminary Environmental Site Assessment prepared by Environmental Investigation Services notes that:

*Based on the scope of work undertaken for the assessment, EIS are of the opinion that the historical land uses and potential sources of contamination identified would not preclude the proposed development within the hospital grounds.*

*The preliminary investigation did not identify significant widespread contamination that would trigger further detailed investigation at this stage. On this basis, EIS are of the opinion that the site can be made suitable for the proposed development provided that any unexpected conditions or unexpected finds are inspected by a suitably qualified environmental consultant during the works. Any issues should be addressed in accordance with the consultant's recommendations.*

Remediation is proposed to be carried out on the site as part of demolition works proposed pursuant to a Part 5 approval at the site in late 2017. Based on the findings of the Preliminary Environmental Site Assessment, it is not anticipated that remediation will be required as part of this SSDA. Nevertheless, the Preliminary Environmental Site Assessment provides recommendations and mitigation measures with respect to potential areas of environmental concern to ensure that any unexpected conditions or unexpected finds are inspected and suitably managed on the site. CPSD is satisfied that the site is suitable for development in accordance with Clause 7 of SEPP 55, provided that construction is carried out in accordance with the findings and recommendations of the Preliminary Environmental Site Assessment prepared by Environmental Investigation Services.

Contamination is addressed further at Section 8.9 and mitigation measures are outlined in Section 9 of this EIS.

## 6.10 State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011

Given the nature of the proposed works, the specifications of the Structural/Civil Engineering Report and Plans and the specifications Hydraulic Services Report and Plans the proposed works are expected to be consistent with State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011.

## 6.11 State Environmental Planning Policy No 64 - Advertising and Signage

There is no signage proposed as part of this SSDA. As such the provisions of SEPP 64 are not applicable.

It is noted that a signage strategy is currently being developed. As part of this strategy it is anticipated that wayfinding and other information facilities will be assessed separately under Clauses 20, 20A, 58B and Schedule 1 of the ISEPP.

## 6.12 Goulburn Mulwaree Local Environmental Plan 2009

### 6.12.1 Zoning

The site is zoned SP2 Infrastructure under the GMLEP. Refer to Figure 41 below.

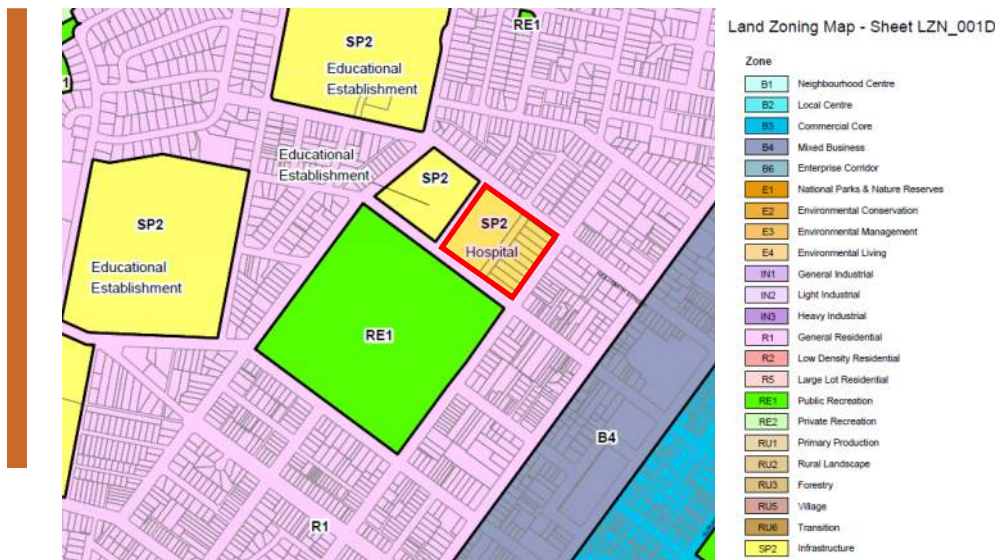


Figure 41: GMLEP Zoning Map Extract, sites outlined in red (Source: GLEP)

### 6.12.2 Permissibility

The proposed development is defined as a "health services facility" and specifically a "hospital". A hospital is defined under the GMLEP as:

*A building or place used for the purpose of providing professional health care services (such as preventative or convalescent care, diagnosis, medical or surgical treatment, psychiatric care or care for people with disabilities, or counselling services provided by health care professionals) to people admitted as in-patients (whether or not out-patients are also cared for or treated there), and includes ancillary facilities for (or that consist of) any of the following:*

- (a) day surgery, day procedures or health consulting rooms,
- (b) accommodation for nurses or other health care workers,
- (c) accommodation for persons receiving health care or for their visitors,
- (d) shops, kiosks, restaurants or cafes or take away food and drink premises,
- (e) patient transport facilities, including helipads, ambulance facilities and car parking,
- (f) educational purposes or any other health-related use,
- (g) research purposes (whether or not carried out by hospital staff or health care workers or for commercial purposes),
- (h) chapels,
- (i) hospices,
- (j) mortuaries.

Development for "[t]he purpose shown on the Land Zoning Map, including any development that is ordinarily incidental or ancillary to development for that purpose" is permissible with

consent in the SP2 zone. The purpose shown on the Land Zoning Map extracted above is that of a hospital. Accordingly, the proposal is permissible with consent.

### 6.12.3 Zone Objectives

The objectives of the SP2 zone are:

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

By enhancing and future-proofing the services offered at GoBH the proposal is consistent with these objectives.

### 6.12.4 Height

The proposed maximum height of the GoBH redevelopment is 21.96m, being the top of the proposed acute services building parapet. The maximum height as prescribed by the GMLEP is 8m (refer to Figure 42 below).



Figure 42: Height of Building Extract from the GMLEP, site outlined and shaded in red.

In accordance with Clause 5.12 of the GMLEP, addressed below, the provisions of the GMLEP do not restrict or prohibit, or enable the restriction or prohibition of works associated with this proposal. As a consequence, development standards such as the maximum building height standard do not strictly apply to the development. Notwithstanding this, Section 8.2 of this EIS undertakes a merit based consideration of the appropriateness of the proposed height, bulk and scale of the development and considers the GMLEP height standard in this context.

### 6.12.5 Floor Space Ratio

There is no maximum floor space ratio (FSR) for the site under the GMLEP, as shown at Figure 43 below.

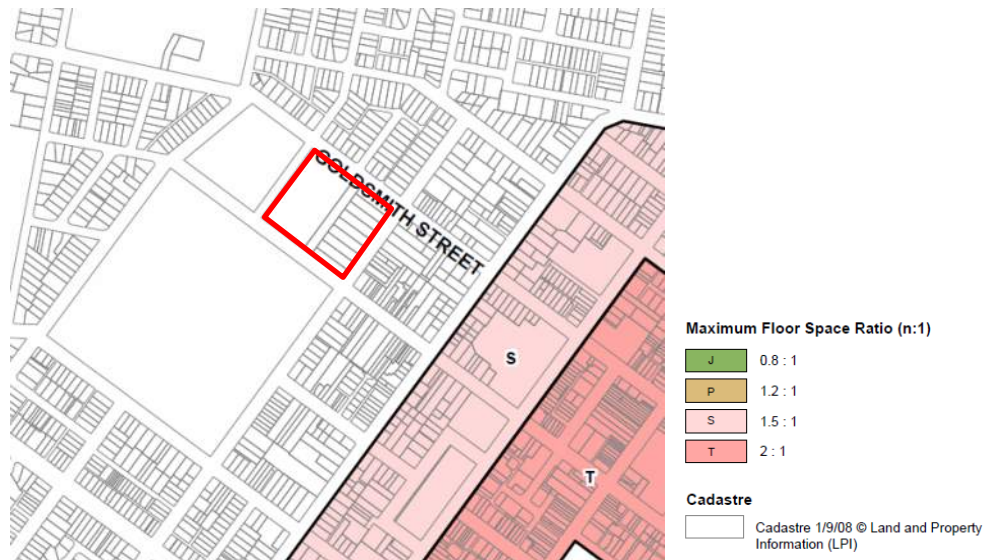


Figure 43: Max FSR Map extracted from the GMLEP, site outlined in red.

### 6.12.6 Heritage

The site is located in a heritage conservation area, and is partly identified as heritage item I181 "Goulburn Base Hospital, Central Building, Pavilions" (see figure below).

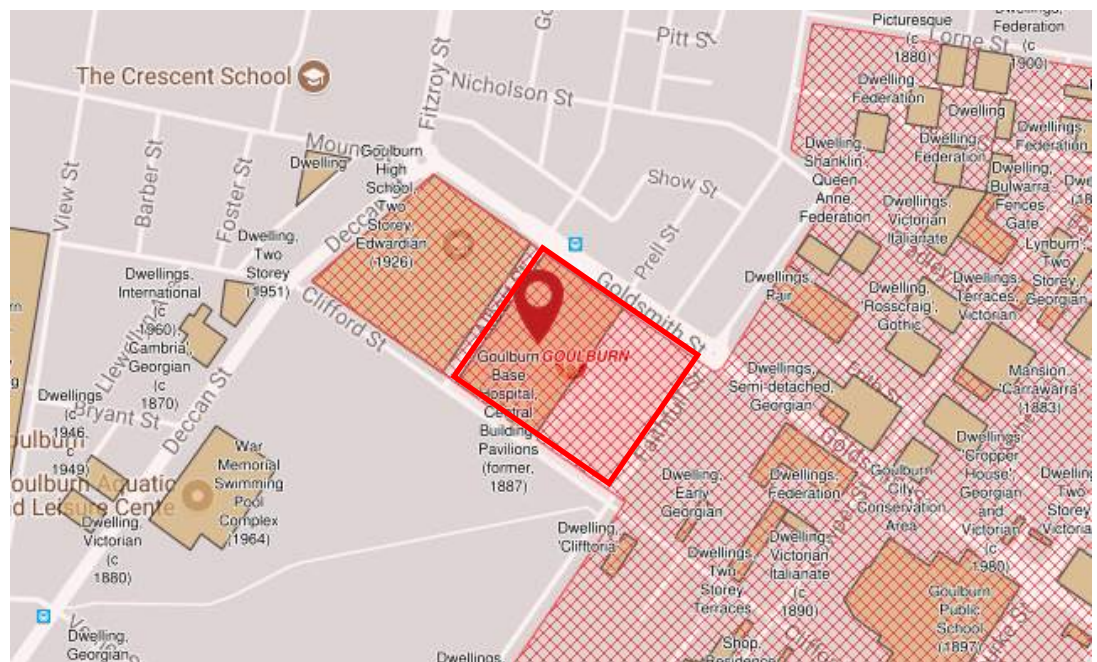


Figure 44: Extract of the heritage mapping from the Goulburn Mulwaree Local Environmental Plan 2009 (GMLEP) showing the site outlined in red.

The heritage significance of the site is discussed in Section 8 of this EIS and throughout SHI that accompanies this application. The proposal is consistent with Clause 5.10 of the GMLEP.

### 6.12.7 Infrastructure development and use of existing buildings of the Crown

Clause 5.12 of the GMLEP prescribes that:

*(1) This Plan does not restrict or prohibit, or enable the restriction or prohibition of, the carrying out of any development, by or on behalf of a public authority, that is permitted to be carried out with or without development consent, or that is exempt development, under State Environmental Planning Policy (Infrastructure) 2007.*

*(2) This Plan does not restrict or prohibit, or enable the restriction or prohibition of, the use of existing buildings of the Crown by the Crown*

In accordance with the clause extracted above, the provisions of the GMLEP do not restrict or prohibit, or enable the restriction or prohibition of works associated with this proposal. As a consequence, as noted in Section 6.12.4, development standards such as the maximum building height standard do not strictly apply to this development.

#### **6.12.8 Flood Planning**

The GMLEP does not identify the subject site as being located within a flood planning area. Flooding is addressed further with respect to SEAR 14 at Section 8.13 below.

## 7. Non-Statutory Planning Considerations

### 7.1 Overview

The SEARs require the following non-statutory policies be addressed in the subject EIS:

- NSW State Priorities;
- NSW Long Term Transport Master Plan 2012;
- Healthy Urban Development Checklist, NSW Health;
- South East Tablelands Regional Plan 2036; and
- Goulburn Mulwaree Employment Land Strategy.

These policies are addressed below, where relevant.

### 7.2 NSW State Priorities

The NSW government has identified a series of state priorities, targeting particular problems and objectives for the growth and development of the state. The NSW Government is currently actioning 18 priorities. These priorities are divided into the following five headings:

1. Strong budget and economy;
2. Building infrastructure;
3. Protecting the vulnerable;
4. Better services; and
5. Safer communities.

The NSW State priorities that are applicable to this proposal are considered in the Table below in reference to the five headings listed above.

Table 12: NSW State Priorities and their applicability to the proposal

Headings	Priorities	Comment
Strong budget and economy	<ul style="list-style-type: none"><li>▪ Making it easier to start a business</li><li>▪ Encouraging business investment</li><li>▪ Boosting apprenticeships</li><li>▪ Accelerating major project assessment</li><li>▪ Protecting our credit rating</li><li>▪ Delivering strong budgets</li></ul>	<p>The proposal will assist in strengthening the regional economy by providing essential support services for continued residential and tourism growth throughout the Goulburn Mulwaree LGA and the South East and Tablelands Region.</p> <p>Additionally, the proposal will provide valuable employment opportunities throughout both construction and operational phases of the proposed development.</p>
Building infrastructure	<ul style="list-style-type: none"><li>▪ Improving road travel reliability</li><li>▪ Increasing housing supply</li></ul>	<p>This application will provide essential health infrastructure by augmenting and enhancing existing services at GoBH.</p>
Protecting the vulnerable	<ul style="list-style-type: none"><li>▪ Transitioning to the National Disability Insurance Scheme</li><li>▪ Creating sustainable social housing</li></ul>	<p>The proposal will enhance the level of care offered to sick and vulnerable individuals throughout the region.</p>
Better services	<ul style="list-style-type: none"><li>▪ Improving Aboriginal education outcomes</li></ul>	<p>The proposal provides a substantial and well-equipped expansion to GoBH. In</p>

	<ul style="list-style-type: none"> <li>▪ Better government digital services</li> <li>▪ Cutting wait times for planned surgeries</li> <li>▪ Increasing cultural participation</li> <li>▪ Ensure on-time running for public transport</li> </ul>	doing this the proposal will relieve stress from surrounding medical uses (notably GHS) and improve public medical (including surgical) services.
Safer communities	<ul style="list-style-type: none"> <li>▪ Reducing violent crime</li> <li>▪ Reducing adult re-offending</li> <li>▪ Reducing road fatalities</li> </ul>	<p>The proposed design takes into account the established Crime Prevention through Environmental Design (CPTED) principles. These are addressed at Section 7.4 of this EIS.</p> <p>In relation to road fatalities, it is noted that improved emergency facilities at GoBH (resulting from this proposal) will assist in providing expert medical attention for those involved in road accidents throughout the region.</p>

### 7.3 NSW Long Term Transport Master Plan 2012

The NSW Long Term Transport Master Plan 2012 provides a framework for delivery of integrated and modern transport systems. The Plan provides a range of Statewide Actions at Chapter 8 that are of relevance to this application. It is noted that the "[t]he Long Term Transport Master Plan focuses on addressing six major statewide transport challenges that apply to the entire transport network, that is they are not specific to any one city or region". The "six major statewide transport challenges" identified by the NSW Long Term Transport Master Plan 2012 are extracted below:

- *Integrating land use and transport planning to shape development;*
- *Reducing transport inequality;*
- *Stepping up our efforts to provide safe travel options and networks;*
- *Taking up the opportunities provided by modern online information communication technologies;*
- *Promoting sustainability and protecting the environment in our transport planning, decision making and projects; and*
- *Maintaining our transport infrastructure.*

GoBH acts as a hub for the northern portion of the SNSW LHD and as a result provides services to a broad catchment area. The size of the site's catchment area means that patients and visitors to the site are likely to use private vehicle travel as a way of accessing the services at GoBH. Notwithstanding this the site is accessible by public transport and the proposal does not seek to alter existing arrangements described in Section 3.3.4 above.

In relation to promoting sustainability, the proposal will (as far as practicable given the nature of the use and the location of the site) support the proposed actions contained within the Masterplan. In doing so, the proposal will encourage a modal shift away from private vehicle use. This modal shift will be achieved through the provision of bicycle parking facilities, implementation of a Green Travel Plan and the development of a Transport Access Guide. These actions have been included as proposed mitigation measures at Section 9 of this EIS.

The proposal is considered to be consistent with the NSW Long Term Transport Master Plan.

## 7.4 Crime Prevention Through Environmental Design (CPTED) Principles

Crime Prevention through Environmental Design (CPTED) is a recognised model which provides that if development is appropriately designed it can reduce the likelihood of crimes being committed. Introducing CPTED measures in the design of this development is anticipated to assist in minimising the incidence of crime and contribute to perceptions of increased public safety. The proposal has been designed to take into consideration these principles as follows:

- **Surveillance:** This principle provides that crime targets can be reduced by effective surveillance, both natural and technical. In this regard, the new acute services building is setback considerably from Goldsmith Street and Faithfull Street, limiting the potential for direct surveillance. Notwithstanding this, new car parking facilities and landscaping works are proposed at the site's Goldsmith Street and Faithfull Street frontages. These works will activate these frontages and allow for passive surveillance of the surrounding streetscape and locality.

The layout of the development also provides lines of sight between public and private spaces which will be maintained during the night by a suitable lighting scheme. The proposed development introduces 24-hour activity within the local footpath and road network and casual surveillance to ensure the safety of residents, staff, neighbouring properties and the public.

There is existing security and CCTV on the Hospital site which will be retained. It is also noted that lighting, way finding (signage) and CCTV will be addressed in detail through the design development phase to provide the level of security required by the Hospital and to ensure the safety of all concerned. The provision of these items has been included as a mitigation measure in Section 9 of this EIS.

- **Access Control:** This principle provides that barriers to attract/restrict the movement of people minimises opportunities for crime and increases the effort required to commit crime. This application does not alter the existing absence of barriers and fences at the site's boundary. The absence of any such barriers and fences has not resulted in adverse impacts with respect to safety and security in the past and is consistent with the existing and future character of the surrounding locality.
- **Territorial Reinforcement:** This principle provides that well-used places reduce opportunities for crime and increase risk to criminals. There is a clear delineation between the public streets and footpath verges and the extent of GoBH. Access routes to and from the hospital will be clearly signposted, delineated and will be in frequent use.
- **Space Management:** This principle provides that space which is appropriately utilised and well cared for reduces the risk of crime and antisocial behaviour. Strategies to implement this principle include, site cleanliness, rapid repair of vandalism and graffiti, the quick replacement of broken light fixtures/globes and the removal or refurbishment of decayed physical elements. GoBH has procedures and practices in place with respect to space management. The operation of such procedures and practices on the site will not be altered by this proposal and space management will remain a priority in the operation of GoBH.

Based on the discussion above the proposal is consistent with CPTED principles and the safety or security of patients and staff resulting from this proposal are appropriately managed.

## 7.5 Healthy Urban Development Checklist

The purpose of the Healthy Urban Development Checklist (HUDC) is to assist health professionals to provide advice on urban development policies, plans and proposals. It is intended to ensure that the advice provided is both comprehensive and consistent. The HUDC provides a useful mechanism for upfront guidance in the identification of key health issues, relevant supporting evidence and recommendations, also suggesting how positive effects can be maximised and negative health effects minimised.

The HUDC is structured into ten chapters, each one focused on a characteristic that is important for healthy urban development. Each characteristic has up to five key considerations, formulated as questions. Consideration of these questions, as relevant to this project, is undertaken in the table below.

Table 13: HUDC

Checklist code	Checklist question	Comment/Response
8.2 Physical activity checklist questions		
PA1: Encourage incidental physical activity		
PA1.1	Does the policy, plan or proposal include aims or objectives related to increasing or encouraging physical activity?	The Transport and Accessibility Assessment prepared by TTW provides a series of strategies to encourage sustainable transport. These strategies are extracted above at Section 7.3 and are proposed as mitigation measures at Section 9 of this EIS.
PA1.5	Are streets (including bicycle and pedestrian networks) highly connected, offering direct routes to destinations of choice?	Yes. Proposal does not seek to alter street network.
PA1.6	Are streetscapes designed to be attractive, interesting and welcoming to pedestrians and cyclists, including by providing enjoyable scenery, appropriate amenities and shelter from the weather? (refer to chapter 13 on public space)	Yes. The proposal will have an acceptable impact on the streetscape design and presentation of the site. The proposed façade treatments are sympathetic to the character of the site and locality. Refer to discussion in Section 8.2 in relation to the built form and urban design of the proposal. The proposal will clarify vehicular and pedestrian access to the site through clear links from the public domain to the site's primary entrances. Additionally, it is noted that a signage strategy is currently being developed. As part of this strategy it is anticipated that wayfinding and other information facilities will be assessed separately under Clauses 20, 20A, 58B and Schedule 1 of the ISEPP. The proposal will not alter the streetscape design in a manner that will impact upon shelter from weather and associated amenity.
PA1.7	Are retail and commercial areas designed to encourage physical activity and active transport? Are they linked to public transport, pedestrian and cycle networks? Is there a network of connecting footpaths within the area?	N/A
PA1.8	Are pedestrian areas (such as public plazas, squares, pathways, trails, shopping areas, etc.) universally accessible (designed to accommodate the widest range of potential users)?	Yes.

PA2: Promote opportunities for walking, cycling and other forms of active transport		
PA2.1-2. PA2.10	Safe movement of pedestrians etc.	Detailed consideration of the safe movement of pedestrians has been considered for the proposed development.
PA3: Promote access to usable and quality public open spaces and recreational facilities		
PA3.1 - PA3.13	Not directly relevant to this application as no new open space or recreational facilities are proposed.	N/A.
9.2 Housing checklist questions		
H1: Encourage housing that supports human and environmental health		Not applicable to this application as it does not involve housing.
10.2 Transport and connectivity checklist questions		
TC1: Improve public transport services		
TC1.4	Does the policy, plan or development proposal encourage alternative transport system development such as car share programs, electric taxis, walking/cycling "bus" programs and/or community bike hire schemes?	There is the potential to implement alternative transport systems through preparation of a Green Travel Plan for GoBH. A mitigation measures has been included to require preparation of a GTP.
TC1.5	Are public transport stops located in comfortable walking distance (approximately 400-500m for bus stops and 800m for train stations) of housing, employment and other local destinations?	Yes. A bus stop is located at the site's northwest corner as detailed at Section 3.3.4 of this EIS.
TC1.10	Is the policy, plan or proposal located near an existing transport node and, if so, does this require upgrading to ensure that it can meet the needs of the future population?	N/A.
TC2: Reduce car dependency and encourage active transport		
TC2.1	The proposal is generally consistent with these provisions in the checklist. An additional 54 on site car parking spaces will be provided to address additional demand generated by the proposed development and associated increases to patients, visitors and staff. A series of strategies to encourage sustainable transport have been proposed by TTW and included as mitigation measures at Section 9 of this EIS. However, as noted at Section 7.3 above, GoBH acts as a hub for the northern portion of the SNSW LHD and as a result, GoBH provides services to a broad catchment area. For this reason, a degree of car dependency is unavoidable. In response, the implementation of a Green Travel Plan and the development of a Transport Access Guide have been included as mitigation measures in Section 9 of this EIS.	
TC2.2		
TC2.3		
TC2.4		
TC2.5		
TC2.6		
TC2.8		
TC2.10		
TC2.11		
TC2.12		
TC2.13		
TC3: Encourage infill development and/or integration of new development with existing development		
TC3.1	Does the policy, plan or proposal encourage the integration of new development with existing development and key destinations?	Yes. Direct connections are provided from the new building to other existing buildings on the site. The proposal will improve connectivity and accessibility throughout the hospital.

TC4: Encourage telephone and internet connectivity		
TC4.1	Does the policy, plan or proposal encourage equitable access to telephone and internet connectivity?	Yes. The new building will be provided with equitable access to telephone and internet services throughout its operation.
11.2 Employment checklist questions		
EM1.2	Does the policy, plan or proposal encourage employment to be located in employment centres or clusters close to homes (to support more active forms of transport to work)?	Yes, the development will generate jobs in close proximity to homes.
EM1.3	Does the policy, plan or proposal encourage employees to utilise public transport and active transport for journeys to work?	Yes - the proposal will encourage a modal shift away from private vehicle use. This will be achieved through the provision of bicycle parking facilities, implementation of a Green Travel Plan and the development of a Transport Access Guide. These actions have been included as proposed mitigation measures at Section 9 of this EIS.
EM1.7	Do places of employment include amenities that encourage people to walk or cycle to work (such as showers and bicycle parking)?	Yes. The existing facilities on the site will be retained to encourage walking and cycling.
EM2.3	Do places of employment include the option of staircases to access multiple levels of the work place?	Yes.
12.2 Safety and security checklist questions		
CS1: Consider crime prevention and sense of security		
CS1.1	Does the policy, plan or proposal include community safety and crime prevention in its objectives?	Yes. Refer to the consideration of CPTED principles in Section 7.4 for further detail.
CS1.3	Does the policy, plan or proposal promote natural surveillance and clear sightlines?	Yes. Refer to the consideration of CPTED principles in Section 7.4 for further detail.
CS1.4	Does the policy, plan or proposal promote safe and easy movement?	Yes. Refer to the consideration of CPTED principles in Section 7.4 for further detail.
CS1.6	Do spaces appropriately identify their intended use? Will it be clear to future users who owns the space (is it public, private or communal), what the space is supposed to be for, and who is able to use it?	Yes. Future users and accessibility will be delivered in accordance with HI standards.
13.2 Public open space checklist questions		
PS1: Provide access to green space and natural areas		
PS1.1	Does the policy, plan or proposal include access to green space and natural areas in its objectives?	Yes. The proposal is accompanied by new landscape works that seek to upgrade the usability of existing green space and natural areas at the site.
PS3: Promote quality streetscapes that encourage activity		
PS3.2	Does the policy, plan or development proposal encourage high quality building facades and	Yes. The proposal includes high quality, well articulated facades to ensure that the development, when

	ground floor street frontages on important streets?	viewed from the public domain, has a positive streetscape outcome.
PS3.6	Are streets and other public spaces appropriately lit to encourage safe use after dark?	Appropriate lighting will be installed throughout the external areas of the development to ensure safety.
PS4: Engender a sense of cultural identity, sense of place and incorporate public art		
PS4.1	Does the policy, plan or development proposal include a public art strategy? Will public art be included in the planned public spaces?	There may be opportunities for public art to be incorporated. This will be further investigated in the detailed design of the proposal and will be provided in line with the objectives, operational guidelines and resources provided within the NSW Health and The Arts Framework.
14.2 Social Infrastructure checklist questions		
SI1: Provide access to a range of facilities to attract and support a diverse population		
SI1.2	Do planned facilities respond to the demographic profile and likely needs of the future population?	Yes. Works are proposed in response to the SNSW LHD's identified health services needs for existing and future populations.
SI1.3	Does the policy, plan or proposal support access to health services including hospitals, community health centres, General Practitioners, and allied health professionals?	Yes.
SI1.6	Does the policy, plan or proposal promote equitable access to services and facilities (including affordability, accessibility, responsive to the needs of a range of population groups etc.)?	Yes.
SI1.7	Are planned facilities universally accessible and designed to be inclusive?	Yes. Refer to Access Report that accompanies this EIS.
15.2 Social cohesion and social connectivity checklist questions		
SC1: Provide environments that will encourage social interaction and connection amongst people		Yes. Quality health services are important for community cohesion.
SC2: Promote a sense of community and attachment to place		
SC3: Encourage local involvement in planning and community life		
SC3.2	Have local communities been consulted about the policy, plan or proposal?	A detailed consultation process has been undertaken with relevant stakeholders, affected landowners and the wider community. This includes a number of staff and community forums carried out over the past 12 months. Details all consultation associated with the proposed works are detailed in Section 5.1 of this EIS.  The wider community will be consulted once more during notification of the proposed SSDA.
SC4: Minimise social disadvantage and promote equitable access to resources		

SC4.1	Does the policy, plan or proposal provide opportunities for improving levels of health equity within the area? Are existing health inequalities likely to be reduced? (refer to the 'understanding the community' section in chapter 6)	Yes, the proposal will directly improve the accessibility and quality of public health services.
SC4.2	Does the policy, plan or proposal exacerbate socio-economic divisions and is it likely to result in concentrations of socio-economically disadvantaged people?	No.
SC4.4	Do vulnerable and disadvantaged groups (such as low-income households, single parent families, unemployed people, recently arrived immigrants and refugees, Aboriginal and Torres Strait Islanders, people with a disability, older people) have fair and equitable access to services and facilities, employment opportunities and transport?	Yes.
SC5: Avoid community severance, division or dislocation		
SC5.1	Are vulnerable or disadvantaged groups likely to be displaced or disadvantaged by the plan or proposal? If so, what strategies are proposed to minimise impacts and support individuals and groups?	No.
SC5.2	Does the policy, plan or proposal promote physical integration with adjacent areas and existing development (through road connections, layout, open space network)?	Yes.
16.2 Environment and health checklist questions		
EH1: Contribute to enhancing air quality		
EH1.1	Is the policy, plan or proposal located in an area that allows for good access and integration with existing or proposed public transport networks, either bus or rail?	Bus services are located in close proximity to the site.
EH1.3	Does the policy, plan or proposal include any strategies for encouraging greater use of public transport? (see chapter 10 on transport and connectivity)	Yes, refer to the Traffic and Accessibility Assessment report prepared by TTW.
EH1.7	Are there green spaces to reduce exposure to dust? Is native vegetation being retained in green spaces and buffer zones?	Yes. Refer to the landscape documentation prepared by Arcadia for further detail.
EH2: Contribute to enhancing water quality, safety and supply		
EH2.2	Does the plan, policy or proposal protect the natural water cycle through the incorporation of water sensitive urban design (WSUD) principles?	Yes. Refer to the Hydraulic Services Report prepared by GHD and accompanying this EIS.
EH2.3	Has consideration been given in planning to ways to reduce potable water demand?	Yes. Refer to the Hydraulic Services Report prepared by GHD and accompanying this EIS.
EH3: Minimise disturbance and health effects associated with noise, odour and light pollution		
EH3.4	If industrial or other potentially noise, odour or light producing uses are being located adjacent to established residential areas have the	Yes, as addressed in Section 8 of this EIS.

	appropriate studies been undertaken and have the relevant mitigation measures been introduced to prevent harmful impacts?	
EH3.5	Does the policy, plan or proposal encourage barriers to control or reduce noise (such as insulation and double glazing)? Note that vegetation is not considered an effective noise barrier.	Yes, refer to the Acoustic Assessment Report prepared by WGE and accompanying this EIS.
EH3.6	Does the policy, plan or development proposal specify how noise will be managed during construction and operational phases of projects?	Yes, refer to the Acoustic Assessment Report prepared by WGE and accompanying this EIS.
EH3.7	Does the plan, policy or proposal indicate compliance with the allowable noise limits for residential locations (often around 45-55 dBA)?	Refer to the Acoustic Assessment Report prepared by WGE and accompanying this EIS.
EH4: Consider the potential for hazards (both natural and manmade) and address their mitigation		
EH4.1	Has the policy, plan or proposal addressed potential hazards such as flooding and bushfire? Have the relevant legislative requirements and regulations regarding flooding and bushfire prevention been addressed?	The site is not subject to these potential hazards.
EH4.2	Does the plan or policy identify and respond to all the natural and non-natural hazards that may impact on the local community?	Yes. Refer to Environmental Impact Assessment at Section 8.
EH4.4	Has site contamination been considered? What studies have been conducted to examine the potential for site contamination?	Yes. Refer to consideration of SEPP 55 in Section 6 and the contamination assessment prepared by Environmental Investigation Services.
EH4.6	Are there any features of the policy, plan or proposal that pose a potential threat to environmental sustainability? If so, is there an appropriate management or mitigation plan in place?	No, subject to implementing all the recommendations in Section 9 of this EIS.

The proposal will enable the redevelopment of the GoBH. The proposed development will provide improved functionality and capability whilst improving efficiency of the existing hospital. The proposal is consistent with the intent of the Healthy Urban Development Checklist by providing a new development that contributes to social infrastructure in the locality and region and facilitates cycling and pedestrian accessibility.

## 7.6 South East Tablelands Regional Plan 2036

The South East Tablelands Regional Plan 2036 (SETRP) provides a strategy to facilitate the delivery of *"[a] borderless region in Australia's most geographically diverse natural environment with the nation's capital at its heart"*.

Goulburn is identified as one of six strategic centres in the South East Tablelands Region. Refer to Figure 45 below.

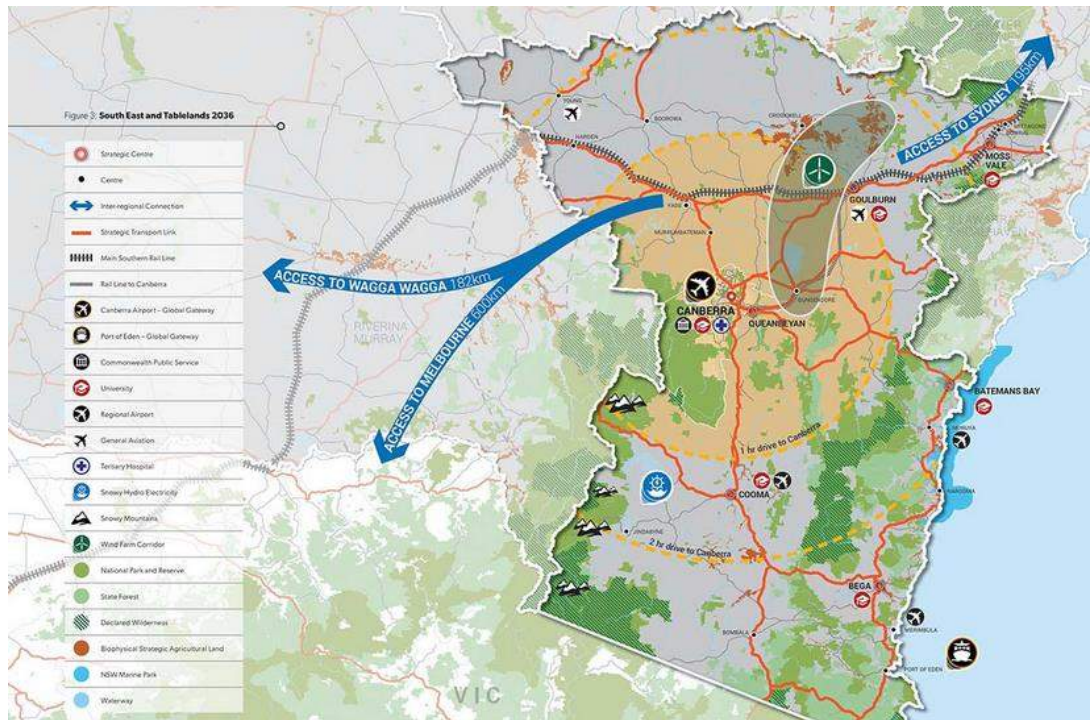


Figure 45: Extract of South East and Tablelands Regional Plan (Source: NSW DPE).

The SETRP is structured around the following four (4) goals:

1. Goal 1: A connected and prosperous economy;
2. Goal 2: A diverse environment interconnected by biodiversity corridors;
3. Goal 3: Healthy and connected communities; and
4. Goal 4: Environmentally sustainable housing choices.

The proposal is consistent with these goals, and in particular Goal 3. The SETRP makes specific reference to the NSW Government's commitment to the redevelopment of Goulburn Hospital. The proposal is a positive contribution toward the realisation of the NSW Government's strategic vision for the region and the site.

## 7.7 Goulburn Mulwaree Employment Land Strategy

The purpose of the Goulburn Mulwaree Employment Land Strategy (ELS) is summarised in the following extract:

*The Employment Land Strategy (Strategy) provides a strategic planning approach for employment lands in the LGA. The Strategy will guide future decision-making by Council and other stakeholders by:*

- Assessing the availability and demand for employment lands;
- Considering the drivers for economic growth and emerging industries;
- Establishing recommendations upon which to consider future amendments to the Goulburn Mulwaree Local Environmental Plan 2009; and

*- Integrating the planning analysis and recommendations to support the economic development/marketing activities of Council, in particular to future industries and employers*

The ELS identifies "Health Care & Social Assistance" as one of the LGA's top three sectors, accounting for 14.6% of the total employment population. This 14.6% employment share is above the state total of 13%, showing the significant role and contribution of "Health Care & Social Assistance" throughout the LGA. This contribution is on the rise with employment in "Health Care and Social Assistance" experiencing the largest increase throughout the LGA between 2006 and 2011. This growth is acknowledged in the following extract from the "Key Trends Affecting Demand for Employment Lands":

*There is likely to be an opportunity to grow the number of retail, tourism, health and social assistance businesses in the area, supporting the continued growth of those core sectors and delivering a balanced and sustainable economy.*

In response to this growth potential, the ELS makes reference to the State Government's commitment to the redevelopment of GoBH, specifically the provision of "a new emergency department, intensive care unit and theatres, inpatient services and a comprehensive ambulatory care service". This proposal is a direct response to the State Government's commitment to GoBH and to the continued growth of employment in "Health Care & Social Assistance" throughout the Goulburn Mulwaree LGA.

## 7.8 Goulburn Mulwaree Development Control Plan 2009

The Goulburn Mulwaree Development Control Plan 2009 (GMDCP) provides more detailed provisions, supplementing the provisions of the GMLEP.

Pursuant to Clause 11 of SEPP SRD, Development Control Plans do not apply to State Significant Development. Therefore, the GMDCP does not apply to this SSDA. However, cues have been taken from the controls that would ordinarily apply to GoBH to ensure that the proposal generally consistent with the desired future character for the site.

## 8. Environmental Impact Assessment

### 8.1 Overview

In addition to the statutory and strategic controls addressed in Section 6 and 7 of this EIS, the SEARs state that the environmental impacts of the proposal must be assessed, and specify key issues be considered throughout the assessment of any such impacts. This section contains the assessment of environmental impacts, other relevant considerations and includes recommended mitigation measures where necessary. Each matter raised within the SEARs is addressed separately below.

### 8.2 Built Form and Urban Design (SEAR 3)

#### 8.2.1 SEAR

SEAR 3 requires that the application:

- (a) *Address the height, density, bulk and scale, setbacks of the proposal in relation to the surrounding development, topography, streetscape and any public open spaces.*
- (b) *Address design quality, with specific consideration of the overall site layout, streetscape, open spaces, façade, rooftop, massing, setbacks, building articulation, materials, colours and Crime Prevention Through Environmental Design Principles.*
- (c) *Detail how services, including but not limited to waste management, loading zones, and mechanical plant are integrated into the design of the development.*

#### 8.2.2 Assessment

##### **Height, density, bulk and scale**

The proposed building is four storeys in height with a roof level plant room. The proposal will have:

- A maximum height of 21.96m
- A total footprint of approximately 3,075m<sup>2</sup>; and
- A total GFA of 11,666m<sup>2</sup>.

The building footprint of the proposed acute services building, and new site linkages are illustrated at Figure 46 on the page over.

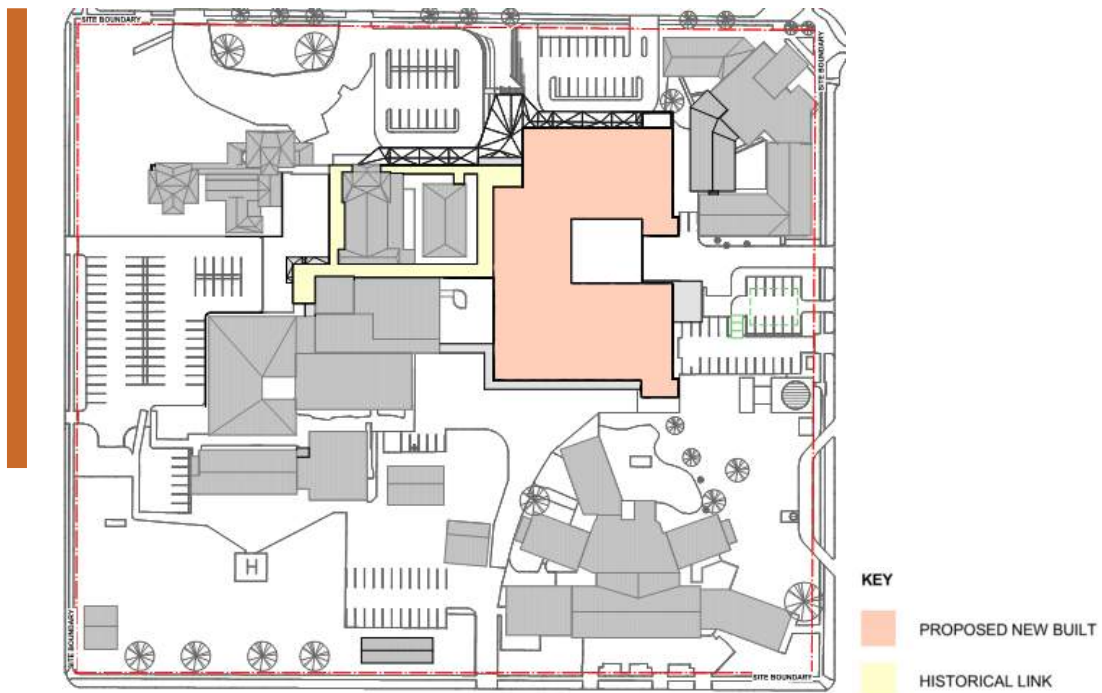


Figure 46: Extract of Drawing No. AA02-0202 (Source: BLP)

Clause 4.3 of the GMLEP provides a maximum building height of 8m for the site. In accordance with Clause 5.12 of the GMLEP, this maximum building height does not apply to the proposal. Notwithstanding this, the Architectural Design Summary prepared by BLP advises that the proposed building height of 21.96m is lower than the existing maximum building height on the site (22.65m at the tower adjacent to the theatre block).

Furthermore, the height, density, bulk and scale of the proposal provides an appropriate built form within the context of the existing site and the surrounding social infrastructure network. In this regard it is noted that:

- The site's western and southern boundaries are adjoined by social infrastructure, including Goulburn High School and Victoria Park (within which is Goulburn Aquatic and Leisure Centre)
- The hospital site and the adjoining high school contain a number of existing three storey buildings (many of which have pitched rooves);
- The proposed acute services building will be constructed in a location currently containing two three storey buildings.

It is acknowledged that the site adjoins low density residential properties at its northern and eastern boundaries. However, the scale of the proposed development reflects the need to accommodate the various functions of a District C1 Level hospital.

The design methodology with respect to the proposed building height aims to:

- Provide a design that relates to the existing buildings on the site in line with the clinical planning requirements driving the proposed building massing;
- Respond to the site's topography to ensure that the built form is compatible with vehicular and pedestrian movement throughout the site; and
- Use materials and finishes coupled with detailed articulation to break down the perceived bulk of the proposed development.

The application of the design methodology described above means that, whilst the proposed building is generally larger than the existing improvements throughout the locality, it is consistent with the varied nature of the current built form on the site and at the adjoining high

school. The proposed massing has been arranged in a manner that reduces the proposed bulk of the new acute services building when observed from surrounding vantage points. This has been achieved by splitting the new building into two distinct wings and focussing on detailed and skilful façade articulation. Moreover, these elements are coupled with significant setbacks from the site's existing boundaries, which are only further lengthened by the large road reserves observed at Faithful Street and Goldsmith Street.

Our assessment that the proposed building is consistent with the varied nature of the current built form of the hospital is supported by the following extract from the SHI prepared by PMA:

*The proposed new Clinical Services Building has been designed to sit into the site and is setback from the highly significant buildings and elements and street frontages. Whilst four storey the building is articulated and incorporates flat roof sections and streamlined details that reduce the apparent bulk and scale of the structure. Low scale, one and two storey links with flat roofs are proposed to connect with the existing Hospital buildings and ensure that the highly significant Hospital pavilions, the face brick facades and main pitched roof forms remain highly evident and are able to be interpreted.*

It should also be noted that the density of the proposed building is a reflection of the overall consolidation of the site. The proposed works include the demolition of the front entry, reception, admin, HIM wound and pre admission clinics, imaging, medical records, blood collection, west wing, maternity, CT and eye, bed tower, education and antenatal clinic buildings. The location of these buildings is illustrated in the Figure below.

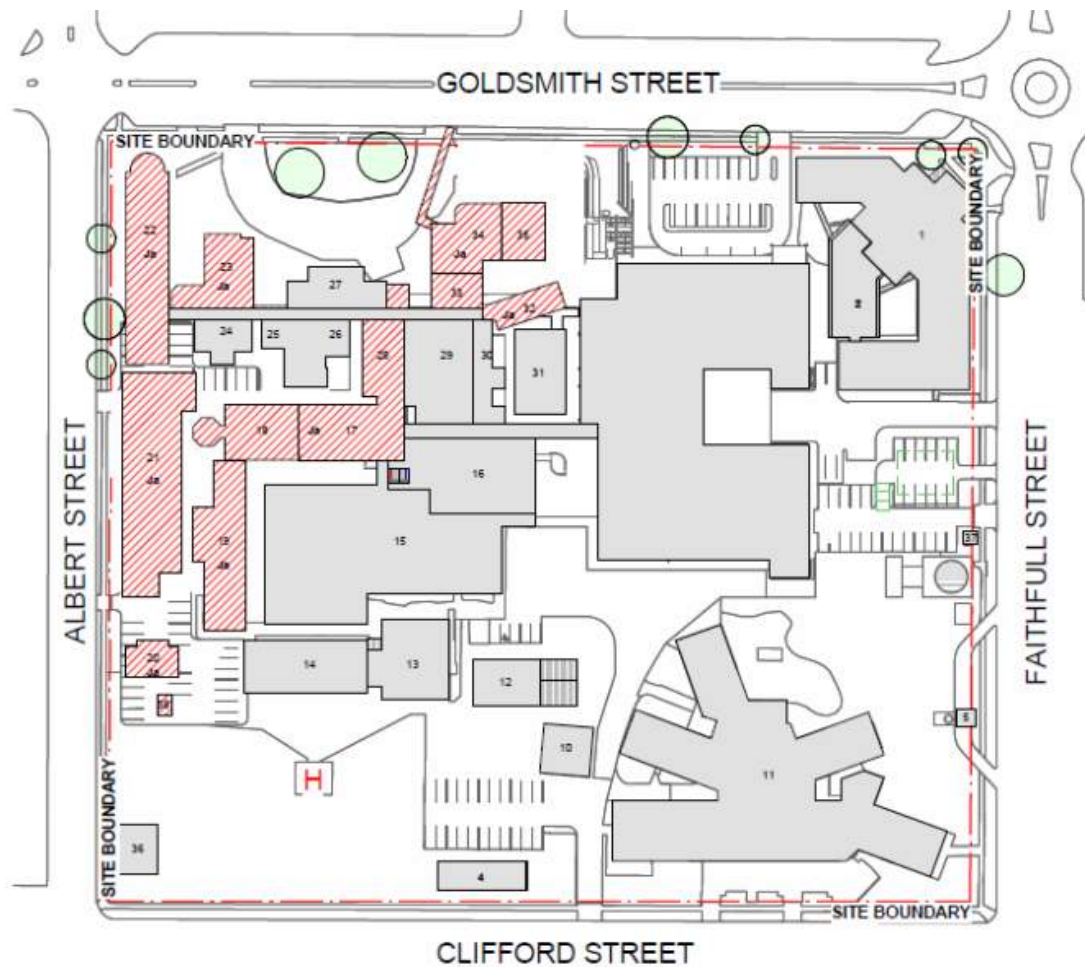


Figure 47: Demolition plan extracted from the Architectural Design Summary (Source: BLP).

Demolition throughout the north western portion of the site will enable increased landscaping at the site's Goldsmith and Albert Street frontages. The proposed landscape design at these frontages, illustrated at Figure 48 below, facilitates a visually appealing design outcome that is consistent with the landscape character of the locality. The design will also provide a significant improvement to the curtilage of the existing heritage buildings located on the north western portion of the site.



Figure 48: Extract of landscape masterplan (Source: Arcadia)

The proposed demolition and associated consolidation of hospital services within the new acute services building, provides additional open space, more generous setback areas, greater versatility in the proposed landscape design and minimises the overall visual impact of the proposed works.

In summary, the proposed height, density, bulk and scale is appropriate on the site for the following reasons:

- The proposed building is consistent with the varied nature of existing built form on the site and throughout the immediate locality;
- The façade of the proposed building is designed and articulated in a manner that creates visual interest and reduces perceived bulk from the public domain;
- The scale of the site can support a larger built form located away from significant heritage building;
- The demolition of buildings around existing heritage items and consolidation of these services within the new acute building provides improved heritage curtilage, with opportunity for greater landscaped public open space adjacent to heritage buildings;
- The proposed acute services building is setback generously from surrounding residential uses;
- The proposed building is designed to respond to the topography of the site and improve pedestrian and vehicular accessibility; and
- The proposed building will not adversely overshadow any public areas or surrounding residential development.

The above design considerations minimise the impact of the proposal's height, density, bulk and scale. The scale of the proposed works are generally greater than that of the existing surrounding development. The provision of adequate setbacks from the site boundary, articulated built form, together with improved landscaped areas, will serve to reduce the bulk and scale impact of the proposed hospital building on the surrounding environment. As such,

the built form of the proposal is appropriate in the context of the existing site and locality, satisfying the growing operational needs of GoBH whilst minimising adverse impacts on surrounding sites.

## Setbacks

The proposal provides generous setbacks to minimise visual impact. The proposed setbacks are summarised in the Table and illustrated in the Figures below.

Table 14: Proposed street setback distances.

Street Frontage	Proposed Alteration
Faithfull Street frontage	<p>The setback of the proposed acute services building to Faithfull Street ranges from approximately 40.1m to 31.9m. This means that the proposed acute service building is located approximately 60m from the nearest dwelling on the eastern side of Faithfull Street. This generous setback distance minimises potential adverse impacts on the visual, acoustic and solar amenity of surrounding properties.</p> <p>It is also noted that there is a proposed engineering compound located on the Faithfull Street boundary adjacent to the new car park. The compound has a frontage of approximately 10m and applies a similar setback to the existing Community Health building to the north. This compound is a minor addition to the site's boundary and is required to be co-located with the existing gas loading bay at the site's Faithfull Street frontage. It is also noted that the Child and Family Services building is currently located in this approximate location (however this building is approved for demolition pursuant to the REF described at Section 3.3.8 of this EIS).</p>
Goldsmith Street frontage	<p>The setback of the proposed acute services to Goldsmith Street ranges from approximately 28.4m to 23.7m. This means that the proposed acute service building is located approximately 55m from the nearest dwelling on Goldsmith Street. As such the proposed setback distance minimises potential adverse impacts on the visual and acoustic amenity of surrounding properties.</p> <p>As noted above, demolition proposed in the western portion of the Goldsmith Street setback increases the existing minimum setback from approximately 2.8m to a proposed minimum setback of approximately 30m. The increased setback in this location improves the heritage curtilage of the Facility &amp; Nursing Management building and adjoining pavilions, whilst also providing the opportunity for a landscape design capable of reinvigorating the setback zone.</p>
Albert Street frontage	<p>The existing Maternity Building, Antenatal Clinical Building and West Wing Office/Clinical Library at the site's Albert Street frontage are setback approximately 3.5m from the Albert Street boundary. The 3.5m setback extends approximately 125m along Albert Street.</p> <p>The proposal includes the demolition of the existing Maternity Building, Antenatal Clinical Building and West Wing Office/Clinical Library at the site's Albert Street frontage. This will provide a setback which ranges from approximately 20m to 32m. Although the proposal features at grade car parking along sections of this boundary, it is anticipated that the increased setback will improve the visual presentation of the site's western boundary by facilitating a detailed landscape design and removing built form from the site's immediate boundary.</p>
Clifford Street frontage	<p>There are no alterations proposed to the site's Clifford Street frontage, as a result of this SSDA. We note that some minor alterations to this frontage have been approved under a separate application (the REF as previously referred) by way of the relocation of an existing demountable.</p>

The existing and proposed setbacks described above are illustrated at Figures 49 and 50 below.

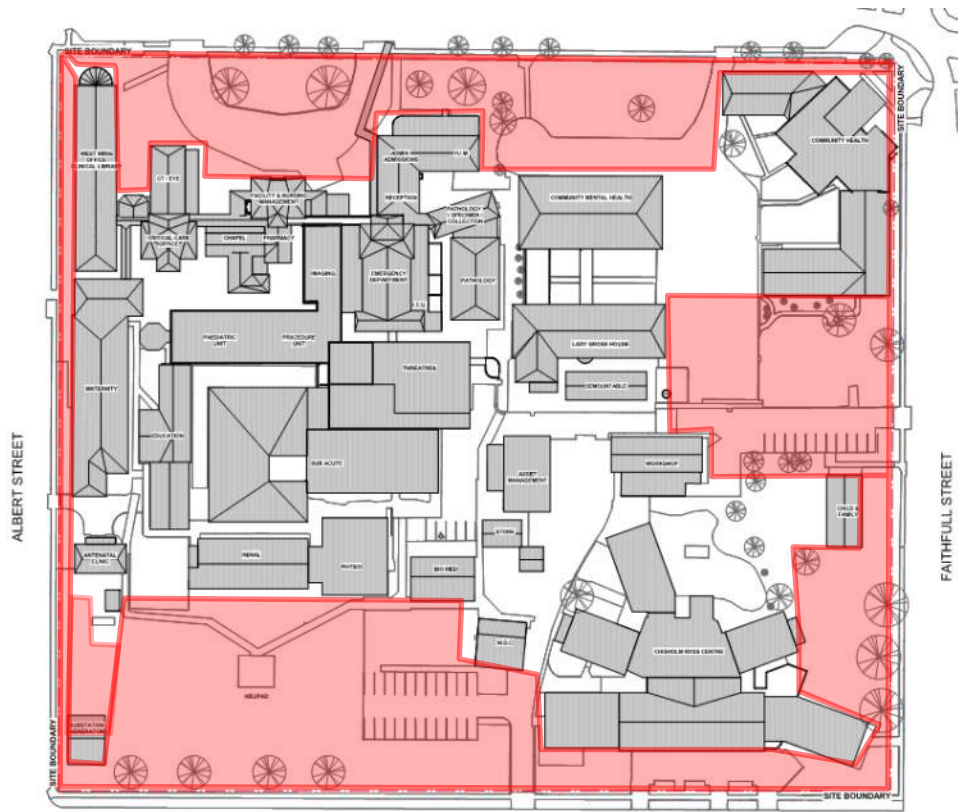


Figure 49: Extract of site plan with approximate setback zones marked in red.

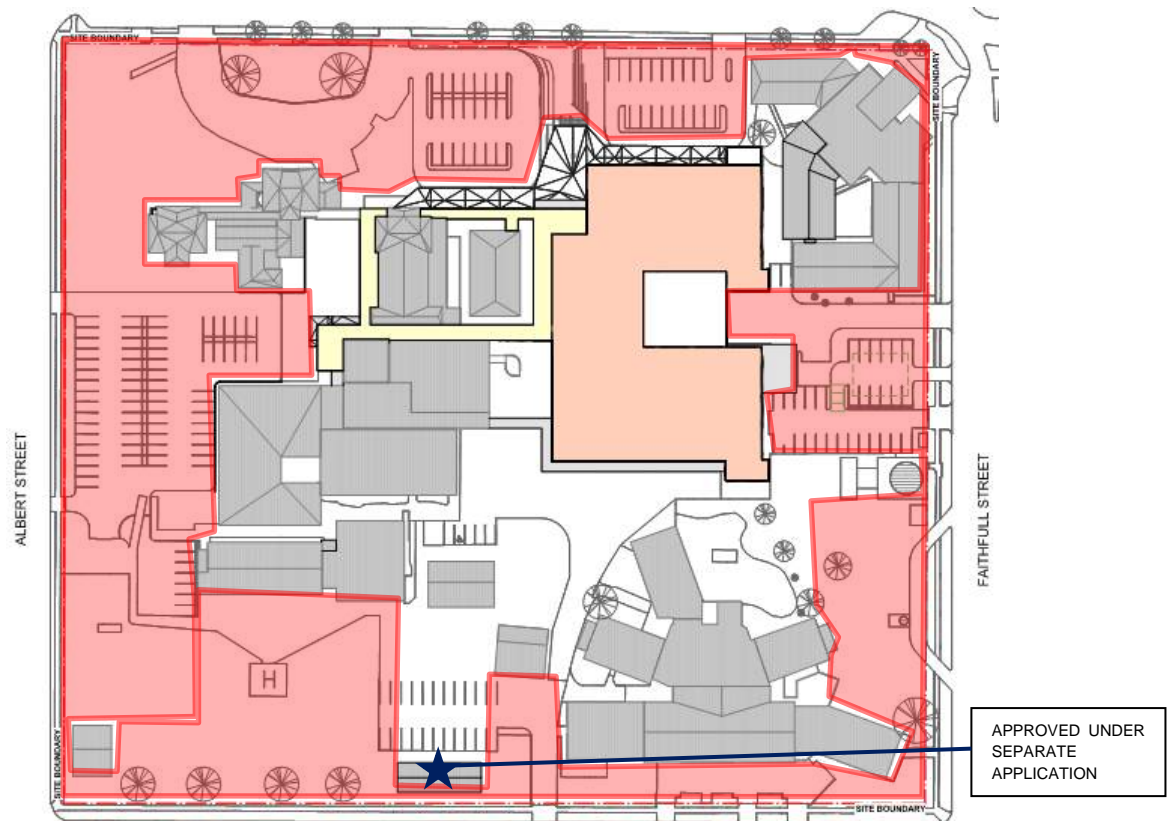


Figure 50: Extract of proposed site plan with approximate setback zones marked in red.

In relation to the proposed internal setback distances the new acute services building will adjoin existing buildings to the west to enhance connectivity and allow for efficient circulation in response to the clinical needs of GoBH. The new acute services building will be setback approximately 5m from the Community Health building. The portion of the Community Health building that is located adjacent to the new acute services building is 13m wide with an 8m separation distance to the east. The 5m setback between the new building and this portion of the Community Health building will not substantially diminish the amenity of either space. On this basis it is not expected that the setback of the proposed acute services building to existing buildings on the site will have any unacceptable impacts on the amenity of existing facilities at GoBH.

### **Design quality**

Design quality of a development in a hospital context is a function of a number of interrelated principles, including:

- Context
- Built form and scale
- Aesthetics
- Sustainability
- Internal and external amenity
- Safety by design

These principles have been addressed throughout this EIS and specifically in relation to the particulars of the SEAR in this section. In overview however, the design is both bold and contemporary in its architectural appearance and aesthetic qualities, but respectful in its relationship with both the heritage qualities of the site and its context.

Its scale is large in the context of development surrounding the GoBH site, but is reasonable and acceptable given the significant size of the site and other existing buildings within the site, its setbacks from boundaries and associated landscape setting. For these same reasons, its built form impacts on the external environment, such as shadowing and privacy, are negligible.

Significant design attention has been given to internal operational considerations, ESD principles and safety by design, as discussed elsewhere in this EIS.

Overall, we consider the design to be appropriate to its important role and function as a key health facility to the community and that it will be an enhancement to the overall design qualities of the site.

Specifically, in response to SEAR 3(b), the discussion earlier in Section 8.2.2 has provided consideration to the design quality with detailed consideration given to:

- The overall site layout;
- The way the proposal is interpreted from surrounding streetscapes;
- Open space on the site;
- Massing; and
- Setbacks.

This section will address design quality as it relates to the following features:

- Façade design, materials and colours;
- Operational efficiency;
- Open Space;
- Roof design;

- Crime prevention through environmental design; and
- Minimisation of amenity impacts.

Each feature identified above is contemplated in the Table below.

Table 15: Discussion of architectural features that inform the architectural merit of the proposal.

Architectural Design Feature	Discussion of Design Merit																																								
Façade design, materials and colours	<p>The façade of the proposed acute services building provides a highly articulated structure to achieve a visually engaging street presentation at primary frontages to Goldsmith Street and Faithfull Street.</p> <p>The building's façade will comprise a combination of the materials identified in the below extract from the Architectural design summary.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4" style="text-align: center;">FINISH SCHEDULE</th> </tr> <tr> <th style="width: 10%;">CODE</th> <th style="width: 30%;">ITEM</th> <th style="width: 30%;">COLOUR &amp; FINISH</th> <th style="width: 30%;">LOCATION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>OLD COLONIAL FACE BRICK</td> <td>AMBER GLOW</td> <td>AT LOWER GROUND FLOOR AND LINK FACADES. LIMITED AMOUNT AT NORTH FACADE ON GROUND FLOOR</td> </tr> <tr> <td>02</td> <td>CURTAIN WALL SYSTEM</td> <td>TEA COLOUR CURTAIN WALL SYSTEM</td> <td>WEST FACADE AND EAST FACADE ABOVE THE COURTYARD</td> </tr> <tr> <td>03</td> <td>ALUMINIUM SHEET WITH SPARKING COLOUR FINISH</td> <td>SPARKING WHITE SILVER</td> <td>FACADE FACETED CLADDING</td> </tr> <tr> <td>04</td> <td>ALUMINIUM SHEET WITH SPECTRA COLOUR FINISH</td> <td>SPECTRA GALAXY BLUE</td> <td>FACADE FACETED CLADDING</td> </tr> <tr> <td>05</td> <td>ALUMINIUM SHEET WITH GALACTIC SPARKLING COLOUR FINISH</td> <td>ANTHRACITE SILVER</td> <td>FACADE FACETED CLADDING</td> </tr> <tr> <td>06</td> <td>PERFORATED ALUMINIUM PANEL</td> <td>POWDER COATED WITH CHARCOAL METALLIC COLOUR FINISH</td> <td>ENTRANCE CANOPIES</td> </tr> <tr> <td>07</td> <td>CORRUGATED SHEET</td> <td>WHITE CORRUGATED SHEET</td> <td>PLANT EXTERNAL FINISH</td> </tr> <tr> <td>PF21</td> <td>Powdercoat Window Mullions &amp; Selected Door's</td> <td></td> <td></td> </tr> </tbody> </table> <p>The combination of these materials will provide a highly resolved façade design that is visually appealing and sympathetic to the existing buildings on the site.</p>	FINISH SCHEDULE				CODE	ITEM	COLOUR & FINISH	LOCATION	01	OLD COLONIAL FACE BRICK	AMBER GLOW	AT LOWER GROUND FLOOR AND LINK FACADES. LIMITED AMOUNT AT NORTH FACADE ON GROUND FLOOR	02	CURTAIN WALL SYSTEM	TEA COLOUR CURTAIN WALL SYSTEM	WEST FACADE AND EAST FACADE ABOVE THE COURTYARD	03	ALUMINIUM SHEET WITH SPARKING COLOUR FINISH	SPARKING WHITE SILVER	FACADE FACETED CLADDING	04	ALUMINIUM SHEET WITH SPECTRA COLOUR FINISH	SPECTRA GALAXY BLUE	FACADE FACETED CLADDING	05	ALUMINIUM SHEET WITH GALACTIC SPARKLING COLOUR FINISH	ANTHRACITE SILVER	FACADE FACETED CLADDING	06	PERFORATED ALUMINIUM PANEL	POWDER COATED WITH CHARCOAL METALLIC COLOUR FINISH	ENTRANCE CANOPIES	07	CORRUGATED SHEET	WHITE CORRUGATED SHEET	PLANT EXTERNAL FINISH	PF21	Powdercoat Window Mullions & Selected Door's		
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PF21	Powdercoat Window Mullions & Selected Door's																																								
Operational efficiency	<p>The proposed architectural design will enhance the operational efficiency of the site by consolidating and modernising existing hospital facilities. The floor plans of the proposed acute services building have been carefully designed in consultation with GoBH staff to provide a service level that is consistent with the GoBH's status as the primary acute hospital and health care facility within the northern portion of the SNSW LHD.</p>																																								
Open Space	<p>The proposed site layout will increase the amount of open space available at GoBH. The demolition of buildings around existing heritage items and consolidation of these services within the new acute building provides improved heritage curtilage, with opportunity for greater landscaped open space adjacent to heritage buildings.</p> <p>The proposed landscape design is addressed in detail at Section 4.6 and on the Landscape Plans that accompany this application.</p> <p>GoBH site is also located adjacent to a large Victoria Park and Seiffert Oval on the southern side of Clifford Street. These community facilities offer large amounts of open space for use and enjoyment by staff and visitors of the hospital.</p>																																								

Roof Design	The proposed flat roof design of the new acute building contributes to the contemporary architectural appearance and aesthetic qualities of the design when observed from the public domain.
Crime Prevention Through Environmental Design	A detailed response to CPTED Principles can be found in Section 7.4 of this EIS. The analysis carried out in Section 7.4 concluded that the proposal is consistent with CPTED principles and the safety or security of patients and staff resulting from this proposal are appropriately managed.
Minimisation of amenity impacts	The siting of the new acute services building, with generous setbacks to the site boundary and surrounding residential dwellings minimises potential amenity impacts in terms of acoustic, solar and residential amenity throughout the locality. Amenity impacts of the proposed design are discussed in detail throughout Section 8.3 below.

Many of the items highlighted in the Table above are evident in the photomontages that accompany this SSDA. These photomontages are extracted at Figures 51 and 52 below.



Figure 51: Photomontage showing an elevated view of the site from Goldsmith St. (Source: HI)



Figure 52: Photomontage showing the site's main pedestrian entrance from Goldsmith St. (Source: HI)

## Integration of services into design

Integration of services into the design of the development is briefly addressed by BLP in their Architectural Design Summary. The relevant section is extracted below.

*All Hospital deliveries and waste collections, with the exception of bulk oxygen, are off Clifford Street to the dedicated on-site logistics area. Public and staff access to this area is restricted.*

*Bulk oxygen deliveries will be via a new "layby" off Faithfull Street co-located with a "services compound" accommodating new water storage tanks and circulating pumps, sprinkler booster valves, electrical substation and generator set.*

This EIS is also accompanied by Electric, Civil and Hydraulic Services Reports/Drawings that detail the way infrastructure is integrated into the proposed design. The integration of services into the design of the site will minimise amenity impacts by enhancing the site's operation. Improving the operational capacity of GoBH will provide a net positive impact in the delivery of quality health care services throughout the northern portion of the NNSW LHD.

### 8.2.3 Recommended Mitigation Measures

No mitigation measures required.

## 8.3 Environmental Amenity (SEAR 4)

### 8.3.1 SEAR

SEAR 4 requires that the application:

*Detail amenity impacts including solar access, acoustic impacts, visual privacy, view loss, overshadowing and wind impacts. A high level of environmental amenity for any surrounding residential land uses or public open space must be demonstrated.*

### 8.3.2 Assessment

The factors influencing the proposed environmental amenity at the site are illustrated in the site analysis plan extracted below.

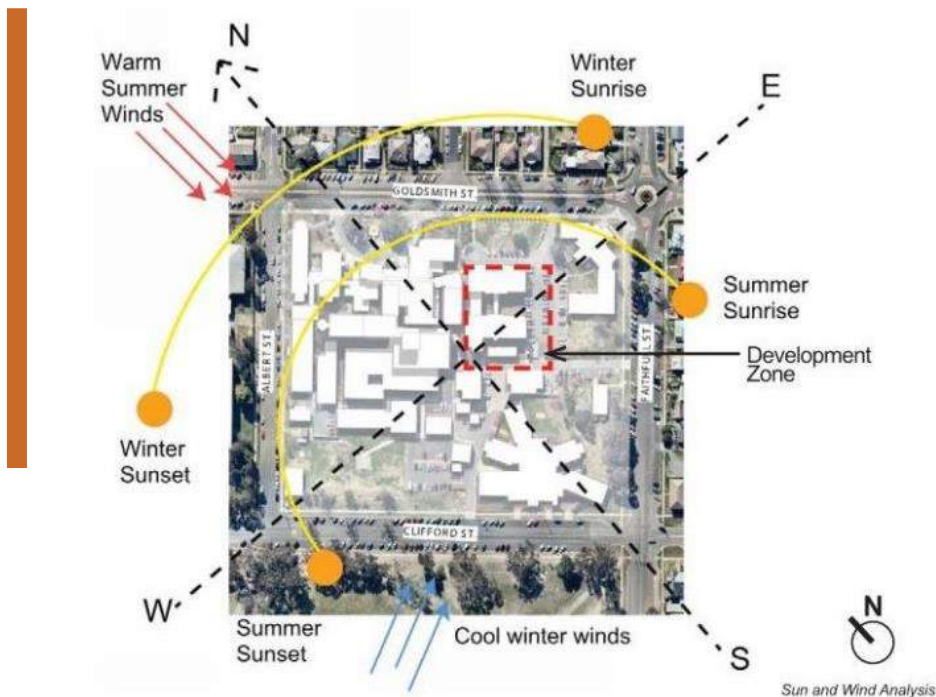


Figure 53: Extract of Site Analysis Plan (Drawing No. AA02-2301) (Source: BLP)

### Solar Access and Overshadowing

The proposed works will not adversely impact solar access on the site or throughout the surrounding locality. The shadow diagrams at Section 2.5 of the Architectural Design Summary (extracted over page) illustrate the following:

- Due to the location of the proposed building and setbacks from the site's eastern boundary the maximum extent of overshadowing will be minor affectation to a small portion of Faithfull Street at 3pm on the winter solstice.
- There will be no impact on solar access to properties on the eastern side of Faithfull Street.
- Shadows cast internally throughout the site will primarily fall upon car parking areas.
- There will be minor mid-winter overshadowing of the Community Health Building in the north eastern corner of the site and the Chisholm Ross Centre in the south eastern corner of the site. However, this will not have an unacceptable impact on the amenity of these spaces as they are primarily used for administrative purposes.
- Shadows will be reduced throughout the western portion of the site toward Albert Street as a result of proposed demolition.

WINTER SOLSTICE - 9am



WINTER SOLSTICE - 12pm



WINTER SOLSTICE - 3pm



Figure 54: Winter solstice solar access diagrams extracted from Architectural Design Summary (Source: BLP).

It is concluded that there will be no overshadowing of surrounding properties as a result of this proposal and overshadowing within the site will be primarily limited to car parking facilities. The proposed building has been skilfully designed to provide a high level of environmental amenity within the site and throughout the surrounding locality.

### Acoustic Impacts

The Acoustic Report prepared by WGE provides details with respect to the acoustic impacts of the proposal. Acoustic impacts are also addressed in response to SEAR 8 below. It is noted that, "[N]o significant noise impacts will occur as a result of the proposed development should the proposed noise mitigation measures be implemented during the construction stage. Further acoustic treatments may be required once the mechanical units have been confirmed."

In accordance with the recommendations of the Acoustic Report prepared by WGE, CPSD is satisfied that there will not be any unacceptable impacts with respect to the acoustic amenity of surrounding residential sites. Notwithstanding this, it is acknowledged that future testing and additional noise mitigation measures may be required following detailed plant design, a mitigation measure has been included in Section 9 to this effect.

### View Loss & Visual Privacy

The proposed four storey building in the north eastern portion of the site is substantially setback from the site's boundaries and is located approximately 55m from the closest residential dwelling. The site's context is illustrated at Figure 55 over the page.



Figure 55: Aerial photograph showing the subject site and approximate location of the proposed building within the context of the site (Source: SixMaps)

It is not anticipated that there will be any adverse view loss or visual privacy impacts arising from the proposed works due to the following considerations:

- The topography of the site (and surrounding locality) slopes down to the south east;
- The proposed works are setback substantially from the site's boundary and separated from surrounding residential properties by large road reserves at Faithfull Street and Goldsmith Street;
- The proposed building envelope and internal layout of the new building are designed to minimise overlooking to surrounding residential properties; and
- A review of the locality (refer to Section 3 of this EIS) demonstrates that there are no existing views surrounding the site that would be adversely impacted by the proposed building.

For the reasons identified above, the proposed acute services building is considered to provide a high level of environmental amenity for surrounding residential land uses and public open space with respect to view loss and visual privacy.

The proposed demolition in the western portion of the site will increase the site's setbacks to Albert Street and Goldsmith Street. This will be accompanied by increased landscaping throughout these setbacks, improving views from the locality toward the site.

### Wind Impacts

It is not anticipated that the proposal will have any adverse environmental impacts with respect to wind. This is confirmed by the Architectural Design Summary, which notes that *"[t]he building's location, separated from the adjoining residential development should ameliorate any impact on the neighbourhood."*

Based on the findings of BLP and the proposed setbacks detailed at Section 8.2 above, it is not anticipated that the proposal will impact on wind throughout the site and locality.

### 8.3.3 Recommended Mitigation Measures

Environmental amenity has been a primary consideration throughout the preliminary design phases of this proposal. Therefore, potential issues have been mitigated through the design development stages. To this end, no further mitigation measures are considered necessary.

## 8.4 Transport and Accessibility (SEAR 5)

### 8.4.1 SEAR

SEAR 5 requires the SSDA to include a transport and accessibility impact assessment, which details a range of matters relevant to traffic, parking and accessibility. Given the length of these requirements they are not reproduced below. Refer to Appendix 23 for the full list of requirements for SEAR 5.

### 8.4.2 Assessment

A holistic traffic and parking assessment of the GoBH Redevelopment has been undertaken by TTW. The Transport and Accessibility Statement prepared by TTW addresses the requirements of SEAR 5 as outlined below.

#### **Trip generation and impact of local infrastructure**

Section 5.7 of the Transport and Accessibility Statement provides an assessment of Active Transport Access. A total of 2 daily cyclist trips and 10 pedestrian trips are anticipated as a result of the increase in staff. These trips are expected to be accommodated within existing transport networks. It is recommended that bicycle racks be included as part of the detailed design phase. Showers and changerooms are provided within the Hospital.

A travel mode survey of hospital staff indicated that no respondents use public transport to reach the site. It is anticipated that the proposed development will generate a negligible number of public transport trips. It is anticipated there will be minimal impact on the existing public transport infrastructure. Refer to Section 5.8 of the Transport and Accessibility Statement for further details.

Section 6 of the Transport and Accessibility Statement outlines the anticipated traffic impact assessment as a result of the GoBH Redevelopment. The assessment includes a SIDRA analysis of the four intersections surrounding the hospital. The analysis indicates that the proposed development will result in an additional 28 staff trips, 7 visitor trips and 18 outpatient trips. TTW anticipate that these additional trips can be accommodated within the local road network and the intersections analysed will continue to operate at a high level of service. As such the proposed works will have minimal impact on the local road network and no road improvements works are proposed.

The results of the traffic modelling are provided in Section 6 of the Transport and Accessibility Statement and meeting minutes with RMS and Council are provided at Appendix D of the Transport and Accessibility Statement.

#### **Vehicle and Pedestrian Access**

The existing arrangements are outlined in Section 3.3.4 of this EIS and the proposed access arrangements are outlined in Section 4.7 of this EIS. The proposed vehicular and pedestrian access arrangements will have positive impact by rationalising and increasing the efficiency of the existing improvements. This will be achieved by:

- Consolidating on site parking into clearly demarcated locations with direct access to relevant hospital facilities;
- Providing access to visitor parking from each street frontage to encourage the use of on site parking;

- Separating vehicle access for visitors, staff/service and ambulance vehicles; and
- Improving sight lines from the surrounding street network to available parking options.

Similarly, the proposed design will improve pedestrian access to and from the site by providing pedestrian refuge islands are located near the site and throughout new on site parking facilities. Drop off and pick up points are also provided adjacent to the hospital entries to increase pedestrian safety throughout the site.

More broadly, the existing pedestrian, public transport, road and bicycle networks surrounding the site are considered to be sufficient for the proposed redevelopment.

### **Loading and Ambulance Access**

The proposed design relocates emergency vehicle access to Faithfull Street. The Transport and Accessibility Statement prepared by TTW notes that the proposed "works will improve the efficiency of ambulance vehicle movements as there will be a dedicated access driveway for these vehicles, separating these movements from private vehicles utilising on site carparking".

The existing loading facility on the site will remain in its current location (refer to Section 3.3 of this EIS). However, TTW advise that "[a]ccess to this facility is proposed to be adjusted to suit the new works. All loading vehicles will be required to enter and exit from Clifford Street". By limiting loading vehicles to accessing the site from Clifford Street potential conflict between loading vehicles and ambulances has been minimised. As such, the proposed loading arrangements will enhance the operational efficiency and safety of ambulance services to and from GoBH.

No major changes are expected to service vehicle movements as a result of the development. Loading arrangements are discussed in Section 5.10 of the Transport and Accessibility Statement.

### **Parking**

The proposal has been designed to provide "sufficient and convenient parking" in accordance with the aims of the GMDCP. The proposal includes an increase of 54 car spaces as part of the development. The sufficiency and convenience of carparking on and around the site is discussed in Section 5.3 of the Transport and Accessibility Statement. In summary the following is noted:

- The existing parking arrangement for GoBH, discussed in Section 3.3.6 above, utilises a mix of on-site car parking spaces as well as on-street car parking spaces in close proximity. This includes on-street parking spaces along Clifford Street and Albert Street, which are not adjacent to residential uses (although the western side of Albert Street is subject to time restricted parking in the morning and afternoon associated with Goulburn High School).
- The proposal will result in an increase of 45 FTE staff, 23 beds and 20 peak outpatients, resulting in a total increase in demand for 53 spaces.
- The proposed works will result in 196 car spaces on the site. This represents an additional 54 car spaces on the site. The additional parking spaces offsets the additional demand.
- The existing car parking provided on site was observed to be highly utilised and either at or approaching capacity in most locations during peak periods.
- The proposed works will not increase the site's reliance on on-street parking. In fact, the site's existing on site parking operates at an average occupancy rate of 80%. The proposed works rationalise vehicular (private vehicle, loading and ambulance) access to the site to ensure that on site parking is more readily utilised, further alleviating any adverse impacts on the surrounding street network.

- Following the completion of works carried out under a separate application, there will be approximately 226 car parking spaces in the immediate vicinity of the site. As such, the total available parking (on site and off site) post completion will be approximately 422 spaces. This has been assessed by TTW as being "sufficient and convenient parking", consistent with demand requirements.
- A meeting was held with Goulburn Mulwaree Council 10 January 2018 in relation to on site and off site parking. A mitigation measure is imposed below to ensure that Health Infrastructure continue to work together with Goulburn Mulwaree Council to mitigate the impacts of off site parking.

Based on the findings of TTW's Transport and Accessibility Statement, summarised above, the additional parking proposed is sufficient to offset the additional demand generated by the proposed works. As such, the proposed works are not expected to have any additional or unacceptable impacts on the surrounding road network.

### **Sustainable Travel Modes**

To further offset any potential adverse impacts derived from the site's existing car parking shortfall, the Transport and Accessibility Statement recommends the implementation of a Sustainable Traffic Plan. Section 7 of the Transport and Accessibility Statement details sustainable transport measures for the site.

Active transport and public transport are discussed in Sections 5.7 and 5.8 of the Transport and Accessibility Statement respectively. No changes are proposed to the public or active transport networks as a result of the development.

### **Other Relevant Matters**

In addition to the matters discussed above, the Transport and Accessibility Statement also responds to a range of other relevant matters identified within the SEARs:

- All relevant policies and guidelines were reviewed during the preparation of TTW's report.
- A Preliminary Construction Traffic Management Plan has been prepared by TTW. Refer to this report for further details on the Construction Management of the site.
- Safety design measures in line with CPTED (such as lighting and surveillance) will be further developed in the detailed design stage of the project. However, parking and pedestrian facilities are located near main entries to increase passive surveillance of these areas. Further consideration of CPTED principles has been provided at Section 7.4 of this EIS.

For further detail with respect to how SEAR 5 has been addressed refer to Section 2 of the Transport and Accessibility Statement.

In conclusion, CPSD is satisfied, based on the findings of the Transport and Accessibility Statement and subject to mitigation measures identified below, that there will be no unacceptable transport and accessibility impacts resulting from the proposed works.

#### **8.4.3 Recommended Mitigation Measures**

The recommendations of the Transport and Accessibility Assessment prepared by TTW include the implementation of the sustainable transport initiatives provided in the report, involving the development of a Transport Access Guide. As well as the finalisation of the Construction Management Plan once a contractor has been appointed and the staging of works is finalised.

HI should continue to investigate options with GMC to improve on street parking conditions throughout the locality surrounding GoBH.

## 8.5 Ecologically Sustainable Development (SEAR 6)

### 8.5.1 SEAR

SEAR 6 requires that the application:

- (a) *Detail how ESD principles (as defined in clause 7(4) of Schedule 2 of the Environmental Planning and Assessment Regulation 2000) will be incorporated in the design and ongoing operation phases of the development.*
- (b) *Demonstrate that the development has been assessed against a suitably accredited rating scheme to meet industry best practice.*
- (c) *Include a description of the measures that would be implemented to minimise consumption of resources, water (including water sensitive urban design) and energy.*

### 8.5.2 Assessment

This EIS is accompanied by a comprehensive ESD Statement prepared by WGE. The ESD Statement directly responds to SEAR 6, making detailed reference to:

- (a) *NSW Health Infrastructure Engineering Service Guidelines, August 2016;*
- (b) *Green Star - Holistic Environmental Certification scheme, Green Building Council of Australia; and*
- (c) *Recognised best practice principles of Ecological Sustainable Design including relevant legislation, standards & industry tools.*

Based on the findings of WGE's ESD Statement, the following design measures will be incorporated in the design and ongoing operation phases of the development to minimise consumption of resources, water and energy in accordance with ESD principles (as defined in clause 7(4) of Schedule 2 of the EP&A Regs):

- The proposal will "target a Green Star Health Care 4 Star equivalency rating – noting Green Star 4 Star is considered 'Australian Best Practice'".
- The proposed acute services building will be required to deliver a 10% improvement on national construction code (NCC) Section J.
- A range of measures with respect to water quality and quantity have been incorporated into the current proposal where possible and will be incorporated into the final detailed design of the proposal, including:
  - "Water recycling options for suitable non-potable uses;
  - Initiatives which seek to minimise potable water consumption – flow restrictors, WELS ratings etc.
  - Metering on monitoring systems for operational efficiency;
  - Rainwater harvesting;
  - Fire system test water reuse; and
  - Efficient irrigation systems – such as sub-surface drip irrigation."
- Where possible, BLP have sought to incorporate materials that may be described as:
  - Low embodied energy products;

- Locally sources materials;
- Reused or highly recycled content; and
- Having been manufactured using renewable energy sources.

The design measures outlined above (and discussed in detail throughout the ESD Statement) demonstrate the way in which ESD is entrenched into the design proposal. Through the incorporation of these ESD measures, CSPD is satisfied that the proposal has been designed in accordance with recognised best practice principles, which are capable of being applied throughout the design and ongoing operation phases of the development.

### 8.5.3 Recommended Mitigation Measures

ESD has been a primary consideration throughout the preliminary design phases of this proposal. However, the following mitigation measures are to be included to ensure that ESD is applied throughout the detailed design and ongoing operation phases of the development:

- The proposal is to demonstrate compliance/consistency with the targets identified in NSWHI Engineering Services Guidelines, specifically those relating to:
  - Sustainability and Energy (Principle 2.5.8);
  - Potable Water (Principle 2.5.9); and
  - Materials (Principle 2.5.10).

## 8.6 Heritage (SEAR 7)

### 8.6.1 SEAR

SEAR 7 requires that the application:

- Include a Heritage Impact Statement that addresses the significance of, and provides an assessment of the impact on the heritage significance of any heritage items on the site and in the vicinity, and/or conservation areas and/or potentially archaeologically significant areas, in accordance with the guidelines in the NSW Heritage Manual.*
- A historical archaeologist assessment is to be prepared by a qualified consultant in accordance with the Heritage Division, Office of Environment and Heritage Guidelines 'Assessing Significance for Historical Archaeological Sites and Relics' 2009. This assessment is to identify what relics, if any, are likely to be present, assess their significance and consider the impacts from the proposal on this potential resource. Where harm is likely to occur, the significance of the relics is to be considered in determining an appropriate mitigation strategy. In the event that harm cannot be avoided in whole or part, an appropriate Research Design and Excavation Methodology is also to be prepared to guide any proposed excavations.*

### 8.6.2 Assessment

#### Heritage Impact Assessment

The SHI prepared by PMA provides a detailed heritage assessment of the proposed works, which responds directly to SEAR. The SHI assesses the heritage significance of GoBH and surrounding conservation area against the current evaluation criteria established by the NSW Heritage Branch. Based on this evaluation the following observations can be made:

- The site is of local historic significance as part of a government reserve and early subdivision of the town of Goulburn;

- The site is of high social significance as a hospital that has served the local community and wider region since its opening in 1889 (this was reinforced through the site's classification as a "base" Hospital in the 1950s);
- The original pavilion remains as a good example of EC Manfred's work and only remaining early Hospital in the area (but overall the site does not possess any uncommon or endangered aspects);
- Although the hospital buildings retain fabric, details and spaces that have the potential to indicate various design and health care philosophies of their respective periods, each have also undergone some change, additions and modifications which may obscure some information;
- The later buildings on the site generally incorporate standard construction materials and techniques and do not have the potential to yield any new information that is not available elsewhere;

Based on these observations, and the detailed assessment of heritage significance in the SHI, PMA grade the significance of the existing buildings, elements and spaces on the site. The grading of significance diagram is extracted below. For detail with respect to grading of significant buildings, elements and spaces on the site, reference should be made to Section 5.1 of the SHI.

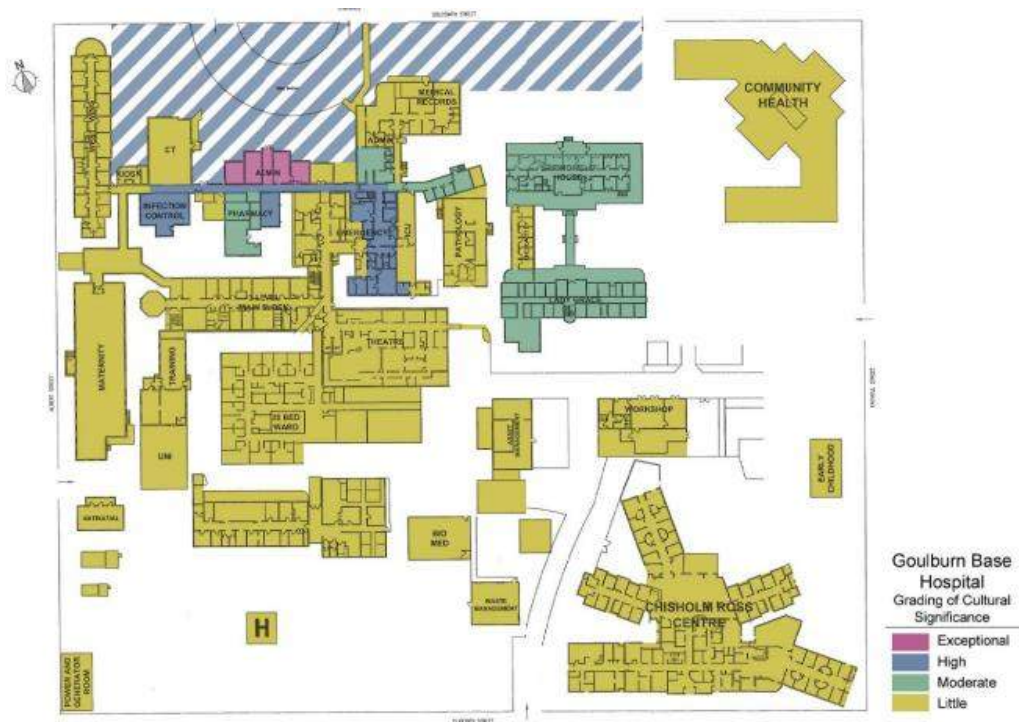


Figure 56: Extract of grading of significance diagram (Source: PMA).

The existing site is of clear local historic, aesthetic and social significance as a purpose built hospital. The site has retained strong evidence of the original building fabric and subsequent stages of development. These reflect the growth and development of Goulburn and surrounding areas. The various changes made to the site since it was first built, including extensive upgrades and later additions, show the importance of adaptability in the design of hospitals, allowing the site to provide contemporary models of care for the locality and the broader catchment.

Having established the heritage significance of the site, it is possible to assess the impact of the proposed works. PMA provides a detailed impact assessment in Section 7 of the SHI. The key findings of PMA's assessment are summarised below:

- The proposed demolition features only buildings that are of little or moderate significance. The buildings of moderate significance have been extensively modified from their original form.
- Potential adverse impacts are reduced by the retention of exceptional and highly significant buildings and elements and proposed improvements and landscaping along the street frontages in the north western portion of the site.
- The heritage significance of the site is closely linked to its operation as a hospital. By enhancing the ability of the site to provide for contemporary models of care in the short and long term, the proposed works are complementary to the site's local, historical and social significance.
- The proposed acute services building will be substantially setback from surrounding residential dwellings and open space on the site will be retained and enhanced in some locations. These features minimise potential impacts on the heritage significance of the conservation area.
- The proposed acute services building is well articulated and applies contemporary architectural design that does not mimic but rather highlights the historic buildings located on the site.

The key findings, summarised above, inform PMA's conclusion that the proposed works will have an acceptable heritage impact on the site and surrounding locality. Based on the assessment carried out within the SHI, CPSD is satisfied that the minor impact of the proposed works on the heritage significance of heritage items on the site will be acceptable.

### **Archaeologist Assessment**

In relation to the Archaeologist Assessment identified in SEAR 7, the SHI provides an assessment of whether the development is sited on any known or potentially significant archaeological deposits. The relevant findings of the SHI are summarised below:

- The site is identified in the Goulburn Archaeological Management Plan;
- The proposed acute services building is located on a site that was previously developed (during the 20th century);
- The site's archaeological potential is considered to be low; and
- Early below ground resources in the subject area are likely to have been disturbed by construction of the existing buildings and car parks, roadways and addition of ancillary buildings and services.

Based on the commentary provided in the SHI, summarised above, the preparation of a standalone Archaeologist Assessment is not considered to be necessary in relation to the proposed works at the subject site.

### **8.6.3 Recommended Mitigation Measures**

The SHI prepared by PMA makes two recommendations, extracted below, with respect to the reduction of potential heritage impacts.

*The following is also recommended to reduce potential heritage impacts;*

- (a) *preparation of a Photographic Archival Recording of the buildings proposed to be demolished and their context; and*
- (b) *incorporation of interpretive elements that will recall the history and development of this section of the site in the new building and public areas.*

These recommendations have been adopted as mitigation measures at Section 9 of this EIS.

## 8.7 Noise and Vibration (SEAR 8)

### 8.7.1 SEAR

SEAR 8 requires that the application:

*Identify and provide a quantitative assessment of the main noise and vibration generating sources during construction and operation and outline measures to minimise and mitigate the potential noise impacts on surrounding occupiers of land.*

*Relevant Policies and Guidelines:*

- (a) NSW Industrial Noise Policy (EPA)*
- (b) Interim Construction Noise Guideline (DECC)*
- (c) Assessing Vibration: A Technical Guideline 2006*
- (d) Development Near Rail Corridors and Busy Roads – Interim Guideline (Department of Planning 2008)*

### 8.7.2 Assessment

This EIS is accompanied by an Acoustic Report prepared WGE. The Acoustic Report provides a quantitative assessment of the main noise and vibration generating sources during construction and operation. The quantitative assessment provided by WGE is based on:

- "Attended noise measurements of 15-minute duration [...] conducted on site to characterise the acoustic environment for noise intrusion into the development and to determine any noise impact on the surrounding receivers"; and
- Long term measurements "to measure the ambient and background noise that is representative of the site and surrounding residential receivers".

With respect to the long term measurements, WGE were not able to gain access to nearby properties. As such, data was collected from loggers located on the hospital campus within (what WGE determined to be) a similar acoustic environment as the adjacent properties. CPSD is satisfied that this approach is consistent with the NSW INP, specifically Fact Sheet B, Section B1.1, which instructs consultants to "Site the data logger(s) at the most- (or potentially most-) affected residence(s). If this is impractical, site the logger(s) at locations with a similar acoustical environment".

The Acoustic Report prepared by WGE assesses the quantitative data collected from short and long-term measurements against their "Noise and Vibration Criteria". By assessing measurements against this criteria, the Acoustic Report outlines measures to mitigate the potential noise impacts on surrounding sites.

In relation to operational noise, the Acoustic Report identifies a number of activities as being likely to generate noise with the potential to impact the surrounding environment. These noise sources are extracted below:

- (a) Continuous noise from mechanical plant such as cooling towers, air handler units (AHU), chillers, condenser units and fans.*
- (b) Noise associated with back-up electrical system such as emergency diesel generators*

- (c) *Intermittent noise from typical site operation, such as maintenance activities and patron noise*
- (d) *Intermittent traffic noise from light weight trucks entering the loading dock delivering various type of goods*
- (e) *Intermittent traffic noise from car movement entering and exiting the carparks located on site*
- (f) *Intermittent noise from ambulances accessing the emergency department unit*
- (g) *Intermittent noise from operational filling of the bulk oxygen tank and associated enclosure*
- (h) *Intermittent noise from Helicopter movement landing on and taking off the on-site helipad*

The Acoustic Report provides a detailed assessment of each potential noise source and suggests potential mitigation measures to reduce the impact of any potential noise generation. Mitigation measures with respect to operational noise are outlined at Section 8.7.3 and Section 9 below.

In relation to construction noise and vibration the Acoustic Report recommends that a Construction Noise and Vibration Management Plan (CNVMP) be prepared prior to the commencement of construction. The Acoustic Report states that the CNVMP "*should assess the likely noise and vibration emissions from construction activities occurring on site and recommend reasonable and feasible mitigation measures in order to comply with construction noise and vibration criteria and in doing so, minimizing the impact of construction activities on nearby residents but also on the hospital itself*". The preparation and implementation of the a CNVMP is included as a mitigation measure at Section 8.7.3 and Section 9 below.

The conclusions of the Acoustic Report are extracted below:

*The predicted noise levels presented in this report show that the most stringent noise criterion (night time criterion) will be met with the implementation of the proposed mitigation measures for external mechanical plant. The report also discussed potential noise impact associated with additional traffic generated by the new development and construction noise.*

*Following our investigation, except where explicitly noted, it was found that no significant noise impacts will occur as a result of the proposed development should the proposed noise mitigation measures be implemented during the construction stage. Further acoustic treatments may be required once the mechanical units have been confirmed.*

*Even though no assessment can be considered as being thorough enough to preclude all potential environmental impacts, having given regard to the above listed conclusions, it is the finding of this assessment that the proposed development should not be refused on the grounds of excessive noise generation.*

Based the methodology, conclusion and proposed mitigation measures contained within the Acoustic Report, CPSD is satisfied that the proposal will not have any unacceptable environmental impacts throughout the construction or operation of GoBH.

### 8.7.3 Recommended Mitigation Measures

It is recommended that the mitigation measures contained in the Acoustic Report prepared by WGE are adopted to ensure that construction activities and the operation of the site does not result in any adverse noise and/or vibration impacts.

The proposed mitigation measures contained within the acoustic report are outlined below.

- An acoustic barrier is to be provided for cooling towers in accordance with the specifications nominated by WGE at Section 5.3.2 of the Acoustic Report.
- The emergency generator is to be provided with:
  - Acoustic shielding (either from the plantroom structure or via an acoustic barrier) blocking line of sight between intake / discharge plantroom louvres and the Faithfull Street residential receivers;
  - Internal absorptive lining to the generator plantroom soffit (e.g. weatherproof faced polyester / glasswool insulation); and
  - Residential grade acoustic silencer to the generator exhaust. Building structure or barrier shielding direct line of sight to exhaust discharge to Faithfull Street residences.
- Ambulance operating procedures are to remain as per the recommendations of the Ambulance Service of NSW, outlined at Section 5.3.5 of the Acoustic Report.
- A detailed CNVMP is to be prepared prior to demolition or construction works commencing and is to be implemented throughout demolition and construction phases of the project. The CNVMP should assess the likely noise and vibration emissions from construction activities occurring on site and recommend reasonable and feasible mitigation measures in order to comply with construction noise and vibration criteria and in doing so, minimising the impact of construction activities on nearby residents but also on the hospital itself. The CNVMP will include strategy to manage noise and vibration impact depending on the programmed construction activities such as noise and vibration monitoring and programming of activities generating high noise levels during particular non-sensitive period of the day.

## 8.8 Sediment, Erosion and Dust Controls (SEAR 9)

### 8.8.1 SEAR

SEAR 9 requires that the application:

*"Detail measures and procedures to minimise and manage the generation and off-site transmission of sediment, dust and fine particles.*

*Relevant Policies and Guidelines:*

- (a) *Managing Urban Stormwater – Soils & Construction Volume 1 2004 (Landcom)*
- (b) *Approved Methods for the Modelling and Assessment of Air Pollutants in NSW (EPA)*
- (c) *Guidelines for development adjoining land and water managed by DECCW (OEH, 2013)*

## 8.8.2 Assessment

Erosion and sediment control plans have been prepared by Bonacci. The erosion and sediment control plans provide detailed soil and water management notes to minimise and manage off-site transmission of sediment, dust and fine particles in accordance with this SEAR. These notes include:

- The use of sediment fences;
- Relocation of sediment from trapping devices;
- Location of stockpiles more than 5m away from hazard areas;
- Preventing water from directly entering the permanent drainage system with inlet filters unless it is sediment free;
- Use of temporary sediment traps to be retained until after the lands they are protecting are completely rehabilitated; and
- Use of a temporary sediment basin.

In addition to the measures briefly listed above and addressed in detail on the sediment control plans prepared by Bonacci, the site manager will be required to:

- Carry out weekly inspections by site manager to ensure that erosion and sediment control measures are operating effectively and efficiently; and
- Keep a logbook in accordance with the statutory 'diligence of care' responsibilities, making entries at least weekly, immediately before forecast rain and after rainfall.

For detail, reference should be made to the erosion and sediment control plans that have been prepared by Bonacci at Appendix 12.

The Civil & Structural Design Report prepared by Bonacci also includes a number of measures that will be employed to ensure stormwater quality is maintained and to manage off-site transmission of sediment, dust and fine particles. These measures include:

- Bio-retention to treat runoff from new carpark areas; and
- Directing runoff from hard surfaces to landscaping/bio-retention where possible.

These measures in conjunction with those identified by the erosion and sediment control plans, summarised above, are considered to be sufficient to minimise and manage the generation and off-site transmission of sediment, dust and fine particles.

## 8.8.3 Recommended Mitigation Measures

It is recommended that the erosion and sediment control measures prepared by Bonacci for the proposal be implemented throughout construction.

## 8.9 Contamination (SEAR 10)

### 8.9.1 SEAR

SEAR 10 requires that the application:

*Assess and quantify any soil and groundwater contamination and demonstrate that the site is suitable for the proposed use in accordance with SEPP 55.*

*Relevant Policies and Guidelines:*

- (a) *Managing Land Contamination: Planning Guidelines - SEPP 55 Remediation of Land (DUAP)*

## 8.9.2 Assessment

The Preliminary Environmental Site Assessment prepared by Environmental Investigation Services provides a detailed assessment of soil and groundwater contamination and demonstrate that the site is suitable for the proposed use. In conducting their assessment, Environmental Investigation Services prepared a conceptual site model (CSM), which identified a number of potential contamination sources, summarised below:

- It is possible that the site may have been filled to achieve the existing levels. The fill may have been imported from various sources and could be contaminated;
- An isolated portion of the site (to the east of Lady Grouse Home) may have been used for agricultural purposes (orchard) up until approximately 1975. This use may have resulted in contamination across the site via the application of pesticides and building/demolition of various structures.
- Old asbestos cement irrigation pipes may also be present due to the possible agricultural use.
- Hazardous building materials may be present on the site and in the existing buildings/structures as a result of former building and demolition activities.

Following the identification of potential sources of contamination Environmental Investigation Services obtained and tested samples from a total of nine sampling points. All soil results that were sampled were below the health based criteria adopted for the testing. Based on this assessment the preliminary investigation did not identify significant widespread contamination that would trigger further detailed investigation at this stage.

Additionally, SEPP 55 has been addressed at Section 6.9 of this EIS. Section 6.9 notes that "CPSD is satisfied that the site is suitable for development in accordance with Clause 7 of SEPP 55, provided that construction is carried out in accordance with the findings and recommendations of the Preliminary Environmental Site Assessment prepared by Environmental Investigation Services".

## 8.9.3 Recommended Mitigation Measures

The recommendations of the Preliminary Environmental Site Assessment prepared by Environmental Investigation Services should be adopted. Notably, if "*any unexpected conditions or unexpected finds*" must be "*inspected by a suitably qualified environmental consultant during the works*" and "*[a]ny issues should be addressed in accordance with the consultant's recommendations*".

## 8.10 Utilities (SEAR 11)

### 8.10.1 SEAR

SEAR 11 requires that the applicant:

*Prepare an Infrastructure Management Plan in consultation with relevant agencies, detailing information on the existing capacity and any augmentation requirements of the development for the provision of utilities including staging of infrastructure.*

*Prepare an Integrated Water Management Plan detailing any proposed alternative water supplies, proposed end uses of potable and nonpotable water, and water sensitive urban design.*

### 8.10.2 Assessment

This EIS is accompanied by a Hydraulic Services Report, an Electrical Services Infrastructure Report and a Civil & Structural Design Report. Together these reports detail information regarding the existing capacity and any augmentation requirements of the development for the provision of utilities including staging of infrastructure.

With respect to "proposed alternative water supplies", GHD have advised that "rainwater reuse was considered during the planning phases of the project, however based on the HI engineering guidelines minimum payback periods for ESD initiatives, this option did not qualify and therefore was not documented [in the Hydraulic Services Report]." Similarly, GHD have advised that "In regard to end uses of potable and non potable water supplies, The hydraulic services report does not specifically list the water uses for the building as these are considered to be general/typical uses". GHD are of the belief that "the requirement to list specific end uses is more applicable when alternative water supplies are being proposed, which for the Goulburn hospital redevelopment there are no alternative water supplies proposed".

The Hydraulic Services Report prepared by GHD details existing services to the site including water supply, sewer, fire hydrant and sprinkler systems, gas supply and fire detection and alarm systems. The Hydraulic Services Report then provides consideration to the relevant statutory heads of consideration in detailing the proposed design with respect to:

- Domestic water supply;
- Filtration;
- Gas supply;
- Hot water;
- Warm water;
- Sewer systems;
- Fire hydrant and fire hose reel service;
- Fire sprinklers;
- Fire detection and alarm systems; and
- Allowances for potential future expansion.

The proposed design of the abovementioned items is also illustrated on the Hydraulic Services Plans that accompany this application.

Similarly, the Electrical Services Infrastructure Report prepared by WGE provides details with respect to existing electrical infrastructure and carrier services in proximity to the proposed site. This subsequently informs conclusions and recommendations in relation to the proposed work and necessary augmentation:

*The estimated electrical maximum demand for the proposed development is 1145kVA (1652A). An Application for Connection has been lodged with the Supply Authority. It is anticipated that a 1500kVA padmount substation will be required to support the new development. At this stage, it is recommended that the proposed substation be located along the Faithful Street frontage, adjacent to the proposed new ambulance entry roadway. The substation shall comply to the Essential Energy network standards.*

*[...]*

*A site main Switchroom is to be established. A series of distribution boards throughout the development shall provide power. Reticulation shall be via new electrical riser cupboards. The development shall be provided with small power,*

*voice and data provisions, assistance call system, duress alarm system, electronic security, access control and CCTV monitoring.*

*[...]*

*An allowance for one new Carrier lead-in is being allowed for the proposed development. An NBN compliant pit and pipe system shall be installed from property boundary off Faithful St to the new Site Primary Entrance Facility/Campus Distributor room.*

Proposed stormwater and drainage infrastructure is addressed in relation to SEAR 13. However, it is noted that water sensitive urban design is addressed in the Civil & Structural Design Report in reference to water quality measures. The following extracts from the Civil & Structural Design Report provide a summary of how matters pertaining to water sensitive urban design are addressed by the proposal:

*Strategies have been incorporated into the design to address the quality of stormwater discharge. These strategies include:*

- (a) Use of bio-retention systems where landscaping allows; and*
- (b) Directing runoff from hard surfaces to landscaping/bio-retention where possible.*

*[...]*

*Stormwater quality has been addressed through the provision of bio-retention to treat runoff from new carpark areas. The proposed building is located over existing impervious areas, including existing roadways. The site stormwater quality will be improved as a result of the proposed measures, as new carpark/road areas will be treated through the use of bio-retention (previously roads were untreated) and existing roads will be replaced with building roof areas (which will reduce pollutant generation).*

Based on the input of specialised Hydraulic, Civil and Electrical Engineers, CPSD is satisfied that the delivery of infrastructure and servicing to the site will allow the efficient operation of GoBH whilst minimising potential amenity impacts with respect to the surrounding locality. It is also noted that the proposed approach to infrastructure management will aim to minimise potential disruption to public infrastructure assets.

Details of consultation with Goulburn Mulwaree Council and other relevant authorities in relation to the above matters are detailed at Section 5.1 of this EIS. The proposed infrastructure management and augmentation has been carefully considered in consultation with relevant parties.

### **8.10.3 Recommended Mitigation Measures**

Implementation of the measures set out in the Hydraulic Services Report/Drawings, Electrical Services Infrastructure Report and the water quality measures specified in the Civil & Structural Design Report and Drawings.

## 8.11 Contributions (SEAR 12)

### 8.11.1 SEAR

SEAR 12 requires that the application:

*Address Council's Section 94A Contribution Plan and/or details of any Voluntary Planning Agreement, which may be required to be amended because of the proposed development.*

### 8.11.2 Assessment

#### Section 7.12 Contributions

The Goulburn Mulwaree Shire Council Section 94A (now Section 7.12) Levy Plan 2009 ("94A Plan") does not provide express exemptions for Crown development. Instead the 94A Plan notes that *"Council may consider exempting other development, or components of developments from the section 94A [now Section 7.12] levy on a case by case basis"*. In the circumstances of this case, we submit that payment of a Section 7.12 levy would be punitive and unreasonable, for the following reasons:

- Imposition of a development contribution is not a statutory requirement but rather a discretionary matter by the consent authority. The Minister may therefore exempt the proposed development from paying the 1% Section 7.12 levy nominated for development in excess of \$200,000.
- The project provides a clear and distinctive community benefit through the improved accessibility to contemporary health services for the community. In this particular case, given the significant capital investment in the public hospital, the development is considered to result in a material public benefit.
- 'Circular No D6 - Crown Development Applications and Conditions of Consent' issued by the former Department of Urban Affairs and Planning allows for development by the Crown under Part 4 of the EP&A Act to be exempt from Section 7.11 contributions. This exemption to Section 7.11 conditions for Crown activities is provided with an underlying philosophy of essential community service. For the provision of health service facilities, such as the proposed development, Council may only seek payment of contributions for off-site works as a condition of consent. These off-site works must specifically relate to drainage upgrades and upgrades of local roads and local traffic management off-site. As confirmed by Bonacci in the Civil Engineering Report accompanying this EIS, *"peak flows from the site as a result of the redevelopment are not increased from the current site peak flows"*. Therefore, adverse impacts to downstream properties will be avoided. In terms of local traffic management, it is not anticipated that upgrade works will be required to directly cater for the impact of the proposed development (refer to the Transport and Accessibility Assessment prepared by TTW accompanying this EIS). Therefore, there is a limitation on payment of contributions under this planning circular issued by the Department for Crown Development under part 4 of the Act.
- Circular No D6 notes that crown development is *"not likely to require the provision of public services and amenities in the same way as developments undertaken with a commercial objective"*. Accordingly, the public nature of the development is in direct contrast to a strictly commercial development where a full levy might be considered reasonable.
- In simple dollar terms, 1% of the CIV of this project is extensive. The levying of a development contribution would realistically translate to diverting of a large sum of public funds specifically allocated to the improvement of GoBH to other unrelated services and facilities within the LGA. This reduction in investment in GoBH would significantly impact on the provision of health and related infrastructure to meet current

and future demands for such services. There would also be other flow-on impacts to the social and economic outcomes for GoBH and, at a strategic level, the wider community. This would include the inability to realise a number of the social and economic outcomes of the development set out in Section 8.17 of this EIS.

In accordance with the above, and due to the nature of the public amenities and services provided by the proposed development, it is considered that no development contribution should be imposed for the development.

### **Voluntary Planning Agreement**

A VPA is not considered to be necessary or appropriate in this instance given the material public benefit that will flow to the community through the provision of high quality public health services.

#### **8.11.3 Recommendation**

We recommend that no Section 7.12 levy be imposed for the development as it will contribute to providing a significant social and health benefit to the Goulburn Mulwaree LGA and the SNSW LHD.

## **8.12 Drainage (SEAR 13)**

### **8.12.1 SEAR**

SEAR 13 requires that the application:

*Detail drainage associated with the proposal, including stormwater and drainage infrastructure.*

*Relevant Policies and Guidelines:*

- (a) *Guidelines for development adjoining land and water managed by DECCW (OEH, 2013).*

### **8.12.2 Assessment**

The Civil & Structural Design Report and Drawings prepared by Bonacci detail the existing stormwater arrangements and connections at the site, as well as the proposed stormwater design. Based on the information provided by Bonacci, stormwater infrastructure may be said to comprise:

- The adjustment of overland flow paths and stormwater diversion due to the location of the proposed acute services building;
- Onsite detention to limit flows from the site (to ensure there is no adverse impact on downstream properties as a result of the development); and
- The implementation of bioretention to treat runoff from new carpark areas.

In relation to onsite detention the Civil & Structural Design Report and Drawings prepared by Bonacci notes:

*Goulburn Mulwaree Council stormwater guidelines specify prescriptive amounts of detention based on site area, pervious area percentages and percentage of site draining to the detention system. This method of sizing the detention system would result in a volume that is not readily achievable (economically or spatially). An alternative discussed with Goulburn Mulwaree Council is to provide sufficient*

*detention to limit post development peak flows from the site to the current site peak flows. This will ensure that there is no adverse impact on downstream properties as a result of the hospital redevelopment. Detailed sizing of the detention volume will be undertaken during design development, with initial estimates indicating that a volume of approximately 95m<sup>3</sup> will be required.*

Bonacci conclude that "[t]he site stormwater quality will be improved as a result of the proposed measures, as new carpark/road areas will be treated through the use of bio-retention (previously roads were untreated) and existing roads will be replaced with building roof areas (which will reduce pollutant generation)". On this basis, CPSD is satisfied that the proposed stormwater infrastructure design will not have any unacceptable impacts with respect to the operation of GoBH or the amenity of the surrounding locality.

### **8.12.3 Recommended Mitigation Measures**

Implementation of the measures and specifications of the Civil & Structural Design Report and Drawings.

## **8.13 Flooding (SEAR 14)**

### **8.13.1 SEAR**

SEAR 14 requires that the application:

*Assess any flood risk on site (detailing the most recent flood studies for the project area) and consideration of any relevant provisions of the NSW Floodplain Development Manual (2005), including the potential effects of climate change, sea level rise and an increase in rainfall intensity.*

### **8.13.2 Assessment**

The Civil & Structural Design Report prepared by Bonacci notes that according to the Wollondilly and Mulwaree Rivers Flood Study (WMA September 2016), the site is not affected by flooding in any event (including the PMF). Refer to Figure below.

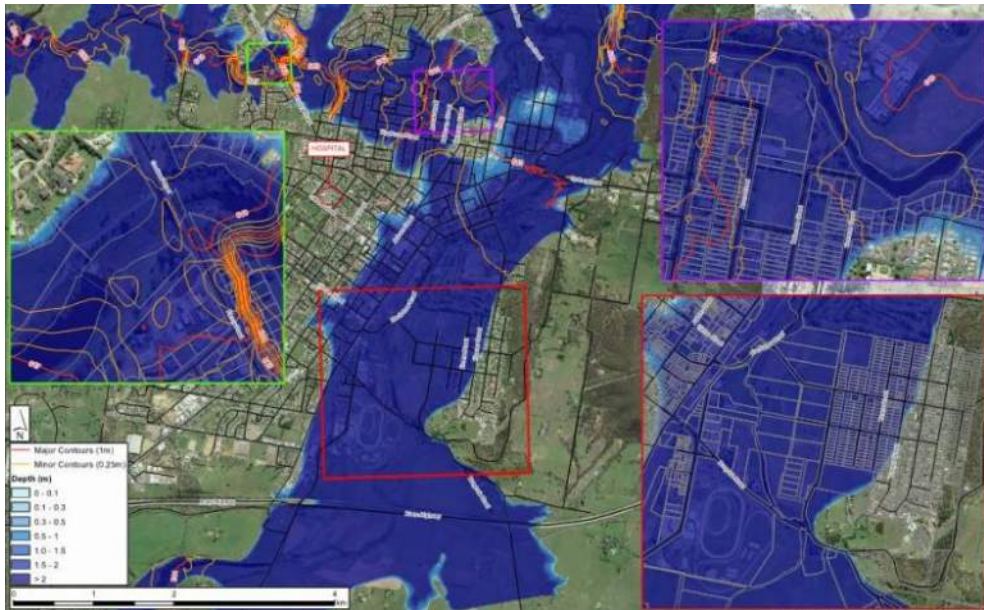


Figure 57: PMF Flood Map: Extract from Wollondilly and Mulwaree Rivers Flood Study (WMA September 2016) (Source: Bonacci)

It is also noted that the site is not located within a "Flood Planning Area" pursuant to the GMLEP 2009. Refer to Figure below.

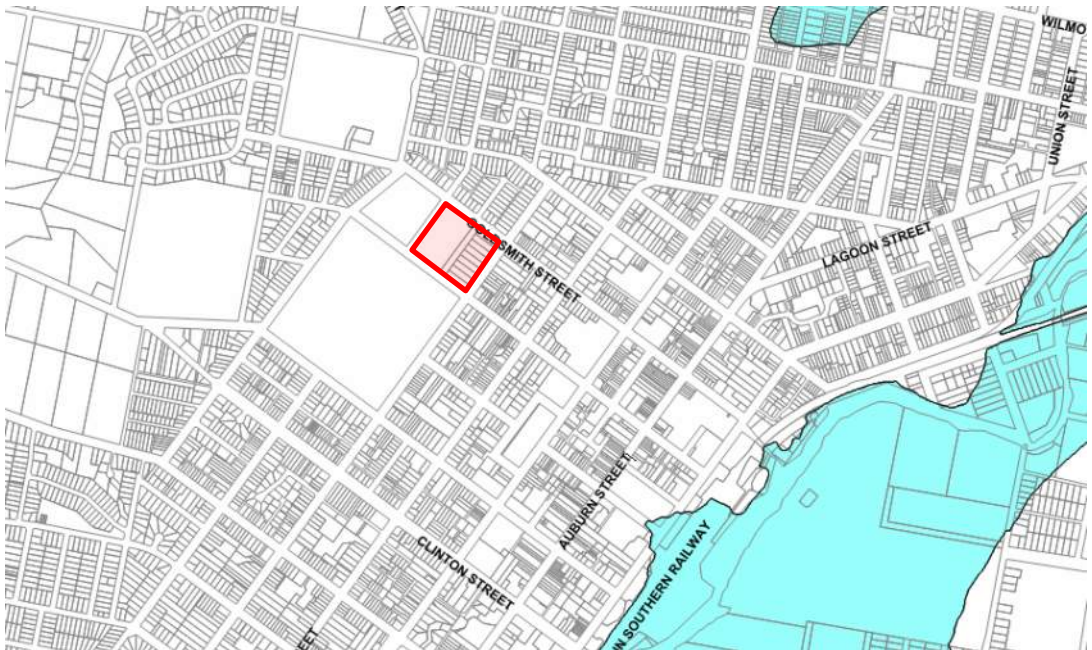


Figure 58: Extract from GMLEP Flood Planning Map Sheet FLD\_001D, showing the site outlined in red (Source GMLEP 2009)

As the site is not identified as a "Flood Planning Area" the following conclusions may be drawn from Section 3.7 of the GMDCP:

- The site is not land at or below a one percent annual exceedance probability flood level plus 0.5 metres; and
- The site is not subject to flood related controls.

### 8.13.3 Recommended Mitigation Measures

No mitigation measures required.

## 8.14 Waste (SEAR 15)

### 8.14.1 SEAR

SEAR 15 requires that the application:

*Identify, quantify and classify the likely waste streams to be generated during construction and operation and describe the measures to be implemented to manage, reuse, recycle and safely dispose of this waste. Identify appropriate servicing arrangements (including but not limited to, waste management, loading zones, mechanical plant) for the site.*

### 8.14.2 Assessment

This EIS is accompanied by a Preliminary Waste Management Plan (PWMP) prepared by TSA. The information extracted in the Table below shows the existing and proposed estimated projected waste quantities.

Table 16: Extract from PWMP showing estimated projected waste quantities

Waste Type	Total Waste Per Month		
	Current	Increased Bed/Treatment Space 12%	Estimated total
Clinical	3262(kg)	391(kg)	3654(kg)
General	1026(bins)	123(bins)	1149(bins)

Key features of the proposed operational waste treatment are summarised below:

- General waste will be collected by Council on a daily basis;
- Confidential paper bins for document shredding will be collected by the confidential paper shredding service contractor and shredding occurs off-site;
- Recyclable waste will be collected by Yardsman daily and collected once a week by Endeavour Industries;
- Clinical waste (including hazardous waste) is stored in a secure area compliant with Australian Standards and is to be collected by a Yardman daily and the bins are locked by support services staff for collection and total system management by the contractor;
- Sharps Containers provided by the hospital have been designed to ensure safe system of work and are collected by Daniels Health once a week every Monday; and
- Green waste will be stored in the gardener's area and removed by the gardener when required.

The waste management procedures outlined above are considered appropriate in the operational management of waste at GoBH.

The existing site operates under strict compliance with NSW Health Guidelines that are audited on an annual basis. Additionally, the PWMP noted that, "Waste Management is a standing agenda item on the Work Health and Safety Meeting at Goulburn Hospital. Regular auditing of waste management procedures is carried out in order to confirm that approved waste handling methods are used and that waste is being correctly classified and segregated". CPSD is satisfied that, subject to ongoing monitoring and auditing of operational efficiency through the GoBH Work Health and Safety Meeting, the proposed waste

management procedures are sufficient to cater for additional waste volumes generated by the proposal.

In relation to construction waste, Table 4 of the PWMP considers the potential impacts of poor construction waste management practices. Whilst it is acknowledged that a detailed construction waste management plan will be developed by the appointed contractor as part of the Construction Management Plan, it is anticipated that the following principles will be guide construction waste management to mitigate potentially adverse impacts on the operation of GoBH throughout construction and on the surrounding locality:

1. Waste avoidance and reduction through:
  - a) Careful planning to minimise the amount of waste brought to site;
  - b) Good housekeeping practices including material acquisition and inventory control to avoid waste resulting from out-of-date, off specification or excess to project needs;
  - c) Appropriate Storage and Management of materials onsite.
2. Waste reuse/recycling achieved by:
  - a) Identifying and recycling products that can be reintroduced into the construction and operation processes;
  - b) Investigating and auditing external markets for recycling by other operations located in the neighbourhood or region of the site; and
  - c) Segregating waste on site.
3. Careful planning of waste handling and storage.
4. Waste tracking and disposal.

The implementation of the above waste management principles throughout construction and the preparation of a final Construction Management Plan will assist in the mitigation of potentially adverse environmental impacts associated with construction waste. CPSD is satisfied that, if the recommended mitigation measures of this EIS are implemented throughout construction, waste management is capable of being effectively managed with minimal impact on surrounding sites and the ongoing operation of the hospital site.

### **8.14.3 Recommended Mitigation Measures**

Preparation of a final Construction Management Plan for the development incorporating construction waste management measures by the appointed principal contractor(s) to ensure that construction waste can be appropriately managed with minimal impacts to the environment. The adopted measures should be consistent with those identified in TSA's PWMP.

Continued implementation of existing operational waste management policies at GoBH for the proposed development in accordance with the specification of TSA's PWMP. Operational waste management should continue to be monitored and audited through GoBH Work Health and Safety Meetings.

## **8.15 Construction Hours (SEAR 16)**

### **8.15.1 SEAR**

SEAR 15 requires that the application:

*Identify proposed construction hours and provide details of the instances where it is expected that works will be required to be carried out outside the standard construction hours.*

### 8.15.2 Assessment

Construction work would be undertaken in accordance with development consent conditions.

The proposed working hours are as follows:

- Monday to Friday: 7am to 6pm
- Saturday: 8am to 1pm
- Sundays and public holidays: No work.

### 8.15.3 Recommended Mitigation Measure

No work will be carried out outside of standard construction hours, due to the nature of the Hospital services and the surrounding residential properties, unless works are required in accordance with the Interim Construction Noise Guidelines.

## 8.16 Plans and Documents

The "Plans and Documents" section of the SEARs provides a list of "Plans and Documents" to be submitted as part of the SSDA. All of the plans and documents identified in this section of the SEARs have been provided where necessary. Refer to Table below.

Table 17: "Plans and Documents"

Plan and Documents	Prepared by	Found at Appendix
Architectural drawings (dimensioned and including RLs)	Billard Leece Partnership	2
Site Survey Plan, showing existing levels, location and height of existing and adjacent structures / buildings and boundaries	Cardno	1
Site Analysis Plan	Billard Leece Partnership	2
Stormwater Concept Plan	Bonacci	12
Sediment and Erosion Control Plan	Bonacci	12
Shadow Diagrams	Billard Leece Partnership	3
View Analysis / Photomontages	Billard Leece Partnership	2
Landscape Plan (identifying any trees to be removed and trees to be retained or transplanted)	Landscape Plan - Arcadia	15
	There are no trees to be removed as part of this application. However, tree protection mechanisms are detailed within the Arborist Report - Naturally Trees	19
Preliminary Construction Management Plan, inclusive of a Preliminary Construction Traffic Management Plan detailing vehicle routes, number of trucks,	Preliminary Construction Management Plan - TSA Management	17
		8

hours of operation, access arrangements and traffic control measures	Preliminary Construction Traffic Management Plan - TTW	
Geotechnical and Structural Report	Geotechnical - JK Geotechnics	18
	Structural - Bonacci	12
Accessibility Report	iAccess	21
Arborist Report	Naturally Trees	19
Salinity Investigation Report (if required)	Environmental Investigation Services	20
Acid Sulphate Soils Management Plan (if required)	Environmental Investigation Services	20
Schedule of materials and finishes	Billard Leece Partnership	3

Further detailed commentary is provided below with respect to construction management, geotechnical matters, structural matters, salinity and acid sulphate soils.

### 8.16.1 Construction Management

The SEARs require the preparation of a preliminary CMP. The objectives of a CMP are typically to:

- Minimise inconvenience to the public and adjoining properties during the constructions stages;
- Maintain effective communication with the developer and the community;
- Maintain a safe working environment; and
- Ensure the requirements of relevant approvals, licenses codes or standards are met.

To implement such objectives, a CMP will usually address the following matters:

- An overall construction management framework;
- Construction traffic management and parking arrangements,
- Construction zones;
- Pedestrian management;
- Hoardings;
- Dust management;
- Hours of work;
- Materials handling;
- Waste Management and recycling;
- Construction program; and
- Specific matters nominated within the consent notice.

The objectives and specific items identified above are addressed in the preliminary CMP that has been prepared by TSA for the proposed development. A copy of the preliminary CMP accompanies this EIS. Final CMPs will be prepared by the principal contractor(s) once known and prior to the commencement of construction.

It is recommended that comprehensive CMPs be prepared for the proposed development, incorporating a construction traffic management plan and the other matters set out in the mitigation measures in Section 9 of this EIS.

### 8.16.2 Geotechnical Matters

The SEAR's require the submission of geotechnical and structural studies, to accompany this EIS. An initial geotechnical investigation was undertaken by JK Geotechnics for the site as identified in Figure 59 over the page. Following the receipt of this investigation TSA expanded the scope of the geotechnical investigation to more accurately and comprehensively consider the site. The scope of the additional geotechnical investigation is shown in Figure 60 over the page.

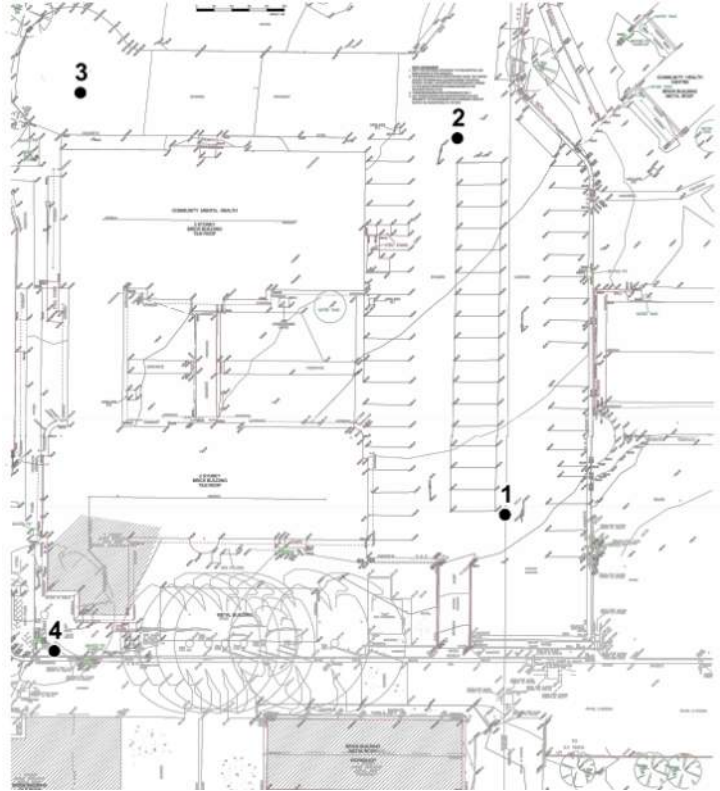


Figure 59: Extract of BOREHOLE LOCATION PLAN (Source: JK Geotechnics Initial Geotechnical Investigation Ref: 30116V1rpt Goulburn, Dated 26 April 2017)

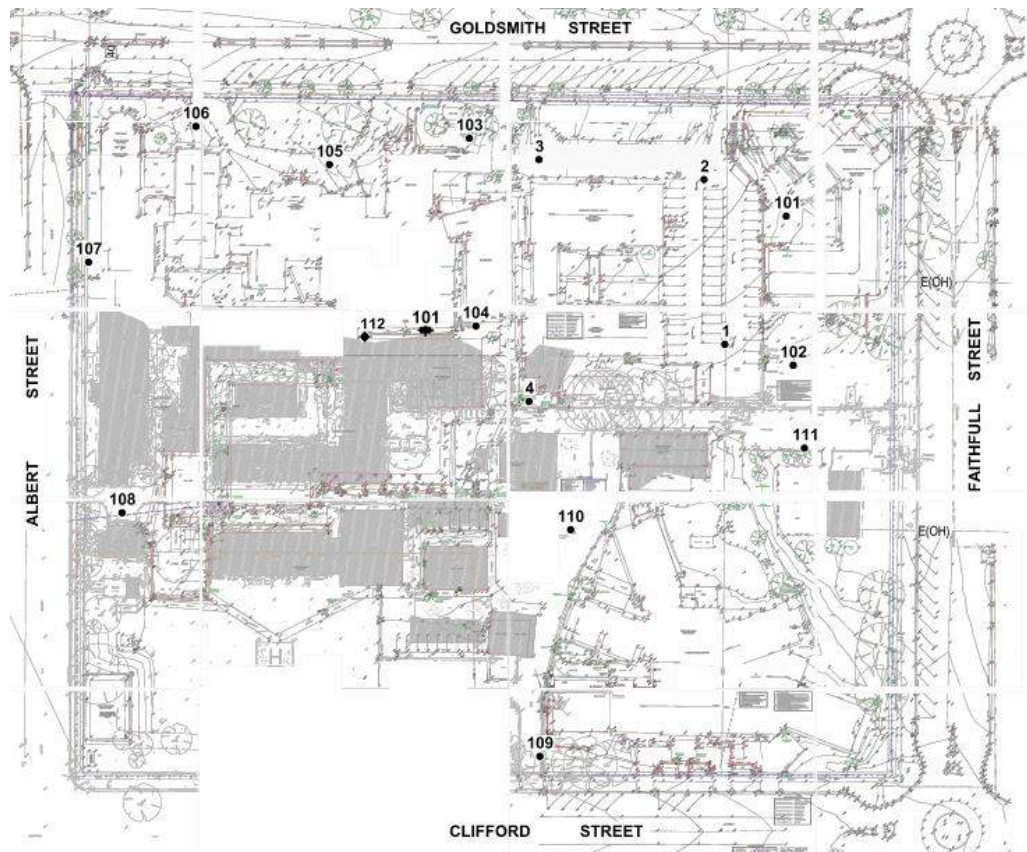


Figure 60: Extract of BOREHOLE LOCATION PLAN (Source: JK Geotechnics Additional Geotechnical Investigation Ref: 30116V2rpt Goulburn, Dated 27 September 2017)

As seen in the Figures extracted above, the Additional Geotechnical Investigation includes the scope of the initial investigation. For this reason, only the Additional Geotechnical Investigation accompanies this EIS.

The purpose of the Geotechnical Investigation is described in the following extract:

*Based on the test results, this report essentially provides the following geotechnical information, comments and recommendations on the following main items:*

- (a) Detailed logs of the boreholes with penetration test results and groundwater observations;*
- (b) Interpretation of Subsurface Profile;*
- (c) AS2870-2011 Site Classification;*
- (d) Suitable Footings Systems and Options;*
- (e) Foundation strata and depth;*
- (f) Allowable Bearing Pressures;*
- (g) Allowable Shaft Adhesions;*
- (h) Batter Slopes;*
- (i) Excavation Conditions;*

- (j) *Retaining Wall Parameters;*
- (k) *Subgrade Preparation;*
- (l) *Engineered Fill Specification;*
- (m) *CBR and modulus of subgrade reaction values for Pavement Thickness Design;*
- (n) *Earthquake Design Factors;*
- (o) *Inspections during Construction.*

The geotechnical information, comments and recommendations made with respect to the items extracted above informs the following summary of findings and geotechnical issues:

*Based on the known borehole and test results, our observations and the proposed development concept (refer to Section 1), we consider the following to be the principal geotechnical issues to be considered in the planning, design and construction of the development:*

*1. The presence of fill of variable compaction and depth across the site makes it a Class P in accordance with AS2870-2011. The fill is deemed unsuitable as a bearing stratum for footings. The fill is subject to proof rolling and further assessment to decide if it is suitable to act as a supporting subgrade under ground floor slabs and pavements.*

*2. The residual clays of high plasticity have a high potential for shrink/swell with changes in moisture content, i.e. Class H2 in terms of AS2870-2011.*

*3. The most competent foundation stratum at the site is the bedrock. In view of the shallow to moderate depths to bedrock and the high reactivity of the residual clays of high plasticity, we recommend that new structures are supported on a combination of deep pad footings and/or bored pier footings founded into the bedrock.*

*4. All cut and/or fill faces that might be incorporated in the proposed development must be rendered stable by appropriate batters and/or retention systems. All fill placed on site to replace existing or unstable areas must be engineered, controlled fill.*

*5. In regards to waste and contamination classification issues are likely to be required in order to classify the material to be excavated for waste disposal purposes in accordance with the NSW DEC (formerly EPA) guidelines as inert, solid, industrial or hazardous waste, reference should be made to the separate [Environmental Investigation Services] reports (refer to Section 1).*

For details regarding the proposed recommendations and mitigation measures with respect to the potential issues identified above, reference should be made to the Geotechnical Investigation that accompanies this application. It is recommended that the measures set out in the Geotechnical Investigation are implemented throughout construction associated with the proposed works. Based on the findings of the Geotechnical Investigation CPSD is satisfied that, subject to proposed mitigation measures, there will not be any unacceptable geotechnical impacts throughout the construction and operation of the proposed development.

Further detailed geotechnical investigations will be undertaken to assist in the detailed design development of the GoBH redevelopment.

### 8.16.3 Structural Matters

The SEAR's require the submission of geotechnical and structural studies, to accompany this EIS. The Civil & Structural Design Report and Drawings, prepared by Bonacci, detail the proposed structural works and design. The Report provides the following summary:

*The structure proposed for the new Acute services building is to be concrete framed. The column grid is generally in accordance with the Health Infrastructure (HI) guidelines, spaced at 8.4 metres in each direction. The floor slabs are proposed to be post-tensioned banded slabs with the bands orientated to suit the reticulation of major ductwork where possible. The floors have been designed to accommodate all the design requirements in the HI guidelines with respect to vibration performance, future flexibility with respect to set downs and creation of additional risers. No vertical expansion has been allowed for in the design, however shell spaces and zones for future lateral expansion have been identified.*

*The columns are supported via piles embedded into rock or by pad footings bearing directly onto rock. The lower ground slab is to be supported on piers extending to rock level with void formers around the perimeter edge beams to minimise movement arising from shrinkage/swelling of the reactive clays.*

*Lateral loads are to be resisted by in situ concrete shear walls. The structure is considered to be Importance Level 4 for the determination of design return periods.*

*Significant excavation is required for the new building. It is proposed that the use of retaining walls adjacent buildings is to be avoided where possible.*

*A steel framed two level structure is proposed to create a link between the new Acute services building and the existing Theatre and Emergency Department buildings. These link corridors are located on ground and first floor levels. To avoid the difficulties with constructing foundations between existing buildings, this structure has been designed to span significant distances over areas where access would be difficult. Other single storey corridor structures are to be constructed to the north and west of the existing Emergency Department.*

*Significant refurbishment of the existing Emergency Department and the existing Physiotherapy Unit requires structural walls to be removed and new supporting structure to be installed. Some new foundations may also be required. The requirements to enhance the seismic capacity of the Emergency Department building needs to be further developed.*

*The existing Theatre block is to be retained and the adjoining buildings are to be demolished beyond the existing movement/expansion joint. To avoid the need to upgrade the structure, significant alterations have been avoided. For this reason, any new structures abutting the building have been designed to be self-supporting.*

For further detail reference should be made to the Civil & Structural Design Report and Drawings that accompany this EIS. It is recommended that the measures set out in the Civil & Structural Design Report and Drawings are implemented throughout construction associated with the proposed works. Subject to the proposed mitigation measures, CPSD is satisfied that there will not be any unacceptable impacts derived from the structural design of the proposed development throughout both construction and operation.

Further detailed structural investigations will be undertaken to assist in the detailed design development of the GoBH redevelopment.

#### 8.16.4 Salinity Investigation Report

The "plans and documents" section of the SEARs note that a Salinity Investigation Report is to be prepared "if required".

Environmental Investigation Services has provided advice in relation to the potential for salinity at the site. Environmental Investigation Services advice accompanies this EIS and confirms that "[t]he Lotsearch Report (obtained for site information purposes and attached in the appendices of the EIS report E30116Krpt, dated 3 March 2017), does not identify any dryland salinity data onsite or within 1,000m radius (buffer) of the site". CPSD are satisfied, based on the input from Environmental Investigation Services, that a Salinity Investigation Report is not required for the proposed development.

#### 8.16.5 Acid Sulphate Soils

The "plans and documents" section of the SEARs note that an acid sulphate soils management plan is to be prepared "if required".

Environmental Investigation Services has provided advice in relation to the potential for acid sulphate soils at the sites. Environmental Investigation Services advice accompanies this EIS and confirms that "[t]he site is not situated in an acid sulfate soils (ASS) risk area according to the Department of Land and Water Conservation, and therefore does not require an ASS Management Plan". CPSD is satisfied, based on the input from Environmental Investigation Services, that an acid sulphate soils management plan is not required for the proposed development.

### 8.17 Social and Economic Benefits

A range of social and economic benefits that will result from the proposed development are addressed generally throughout this EIS. This section of the EIS consolidates those "benefits" as follows.

The **social impacts** that will result from the proposal are set out below:

- Upgrade and expansion of out-dated hospital infrastructure and enhanced capacity to provide a wide range of medical services;
- The project will provide contemporary healthcare facilities addressing clinical services suited to the current and future needs of the SNSW LHD's catchment population;
- Achieve critical mass of allied health staffing enabling more specialised allied health services to be provided to inpatient and ambulatory patients;
- More effective and efficient use of available clinical staff, improved staff satisfaction and greater capacity to attract and retain staff;
- Improved integration of hospital and community health services including greater capacity to provide more integrated models of care;
- Greater capacity to meet the health care requirements of the growing aged population now and into the future;
- Integrated care and new models of care, including clinical redesign and service innovation;
- Improved patient safety through reduced clinical errors and infection;
- Improved amenity for patients, their families and staff; and
- Identify benefits to the SNSW LHD health network including support GHS.

The **economic impacts** that will result from the proposal are set out below:

- Direct and indirect increase in employment opportunities during construction and operational phases of the development (refer Section 4.12 of this EIS). This will result in a positive contribution to the local economy.
- A range of economic benefits for GoBH including:
  - Increased outcome efficiency;
  - Increased output or cost efficiency. The development results in a value for money outcome which addresses the specific objectives for the redevelopment and incorporates efficient future flexibility and planning provision to facilitate the future objectives of the GHS CSP;
  - Maximisation of capital investment provides the opportunity to further reduce service fragmentation and continue to improve continuity of care, to ensure safe and effective service delivery;
  - Better staff attraction and retention; and
  - Higher workforce productivity.
- The redevelopment will provide a catalyst for change in the GHS, support the development and enhancement of integrated services that maintain and improve the reliability and quality of patient care, as well as improve patient outcomes.

Further to the above, the proposed development will result in more than \$96M investment in public health and related services for Goulburn and the SNSW LHD. This is a significant level investment in public health in the region and will directly benefit the local and regional community.

## 8.18 Cumulative Impacts

This EIS has assessed the cumulative impacts of the proposed development and the matters for consideration nominated within the SEARs. Subject to the mitigation measures outlined below the proposal is considered to have a net positive impact on the environmental and operational amenity of the GoBH site and the surrounding locality.

## 9. Mitigation Measures

The following measures have been compiled following review and consideration of the issues raised in consultation with government agencies and input from various subconsultants in response to the SEARs.

Schedule 2 of the Environmental Planning and Assessment Regulation 2000 requires a full description of the measures proposed to mitigate any adverse effects of the development on the environment. The mitigation measures in the Table below provide a commitment by HI and indicate the responsibilities required to prevent potential environmental impacts arising from the proposed works. This will ensure that the project is environmentally, socially and economically sustainable.

Table 18: Mitigation Measures

Issues	Action
General	<p>The development will be undertaken in accordance with the Environmental Impact Statement prepared by City Plan Strategy &amp; Development (including relevant accompanying Appendices) and drawings.</p> <p>All construction documentation and building work will be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.</p>
Reflectivity	<p>The building materials used on the facades of all buildings will be designed so as not to result in glare that causes discomfort or threatens the safety of pedestrians or drivers. A report/statement demonstrating consistency with this requirement will be submitted to the satisfaction of the Certifying Authority prior to the commencement of above ground works.</p>
Road Closures and maintenance of vehicular access	<p>Construction vehicle access to the site will be provided from Faithfull Street. It is not anticipated that any road closures will be required during construction to facilitate the works, however this would be subject to the approved Contractor. At all stages of construction vehicular access to the Hospital will be available from Clifford Street (for loading purposes) and Goldsmith Street/Albert Street/Clifford Street (for on site parking).</p>
Hours of Work	<p>The proposed working hours are as follows:</p> <ul style="list-style-type: none"> <li>▪ Monday to Friday: 7am to 6pm</li> <li>▪ Saturday: 8am to 1pm</li> <li>▪ Sundays and public holidays: No work.</li> </ul> <p>No work will be carried out outside of standard construction hours, due to the nature of the Hospital services and the surrounding residential properties, unless works are required in accordance with the Interim Construction Noise Guidelines.</p>
Building Code of Australia	<p>The development is to comply with the statutory energy efficiency requirements of Section J of the BCA. The development will also generally comply with the "deemed to satisfy" (DTS) provisions of the BCA and where required, 'alternative solutions' complying with the performance objectives and requirements of the BCA will be employed to address any deviations from DTS provisions.</p>
Approvals	<p>The Proponent will obtain all necessary approvals required by State and Commonwealth legislation in undertaking the development.</p> <p>The Proponent will continue to liaise with Goulburn Mulwaree Council during the development process, particularly with regard to any proposed road closure or impact on Council infrastructure.</p>
Erosion and Sediment Control	<p>A detailed soil and sedimentation plan is to be prepared in accordance with The Blue Book prior to construction and will be included in the</p>

	Construction Management Plan. The plan is to be prepared in accordance with the preliminary erosion and sediment control plan prepared by Bonacci and accompanying this EIS.
Geotechnical	The recommendations of the Geotechnical Investigation prepared by JK Geotechnics will be satisfied.
Structural	The detailed structural design of the development is to comply with the recommendations of the Civil and Structural Design Report and Drawings prepared by Bonacci.
Contamination	The recommendations of the preliminary environmental site assessment prepared by Environmental Investigation Services (dated March 2017) will be implemented. In accordance with the environmental site assessment if "any unexpected conditions or unexpected finds" must be "inspected by a suitably qualified environmental consultant during the works" and "[a]ny issues should be addressed in accordance with the consultant's recommendations".
Hazardous Materials	The recommendations of the Hazardous Building Materials Assessment prepared by Environmental Investigation Services (dated September 2017) will be implemented.
Hazardous Waste	The Proponent commits to the continued implementation of the existing GoBH management processes for hazardous waste.
Operational Waste Management	Continued implementation of existing operational waste management policies at GoBH for the proposed development in accordance with the specification of TSA's PWMP. Operational waste management should continue to be monitored and audited through GoBH Work Health and Safety Meetings.
Services	The Proponent will comply with the requirements of the relevant public authorities in regard to the connection to, relocation and/or adjustment of services affected by the construction of the proposed development.
Accessibility	The design of the facilities will permit effective, appropriate, safe and dignified use by all people, including those with disabilities and will be in accordance with the relevant NSW Health Facility Guidelines for access and mobility and relevant accessibility standards.
Drainage	All of the recommendations of the Civil and Structural Design Report and Drawings prepared by Bonacci accompanying this EIS are to be satisfied and all final civil documentation will be prepared generally in accordance with the plans prepared by Bonacci.
Tree protection	The protective measures contained in the Arboricultural Impact Appraisal and Method Statement prepared by Naturally Trees will be adopted and implemented.
Transport and parking Management	The recommendations of the Traffic and Accessibility Assessment prepared by TTW in relation to transport management will be implemented.  Health Infrastructure will continue to investigate options with Goulburn Mulwaree Council to improve on street parking conditions throughout the locality surrounding GoBH.
Sustainable Transport Strategies	The following sustainable transport strategies should be considered and implemented where possible throughout the site's operation: <ul style="list-style-type: none"> <li>▪ Development of a Transport Access Guide (TAG) to notify staff, visitors and outpatients about the sustainable travel modes available to them. This TAG should include a map showing public transport routes and safe walking/cycling routes. This information could be provided to new staff members and made available for visitors and outpatients at the Hospital.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Provision of further end of trip facilities for cyclists to be included in future developments at the Hospital.</li> <li>▪ The implementation of a Green Travel Plan detailing measures to promote the use of public transport, walking and cycling. This travel plan should include continual review and monitoring to adjust proposed actions.</li> </ul>
Construction Traffic Management Plan	Prior to the commencement of construction, a Final Construction Traffic Management Plan will be prepared.
Noise and Vibration	<p>The recommendations of the Acoustic Report prepared by WGE will be implemented to ensure that any potential adverse construction and operational noise and vibration impacts are adequately managed and mitigated. Specifically:</p> <ul style="list-style-type: none"> <li>▪ An acoustic barrier is to be provided for cooling towers in accordance with the specifications nominated by WGE at Section 5.3.2 of the Acoustic Report.</li> <li>▪ The emergency generator is to be provided with: <ul style="list-style-type: none"> <li>▪ Acoustic shielding (either from the plantroom structure or via an acoustic barrier) blocking line of sight between intake / discharge plantroom louvres and the Faithfull Street residential receivers;</li> <li>▪ Internal absorptive lining to the generator plantroom soffit (e.g. weatherproof faced polyester / glasswool insulation); and</li> <li>▪ Residential grade acoustic silencer to the generator exhaust. Building structure or barrier shielding direct line of sight to exhaust discharge to Faithfull Street residences.</li> </ul> </li> <li>▪ Ambulance operating procedures are to remain as per the recommendations of the Ambulance Service of NSW, outlined at Section 5.3.5 of the Acoustic Report.</li> <li>▪ A detailed CNVMP is to be prepared prior to demolition or construction works commencing and is to be implemented throughout demolition and construction phases of the project. The CNVMP should assess the likely noise and vibration emissions from construction activities occurring on site and recommend reasonable and feasible mitigation measures in order to comply with construction noise and vibration criteria and in doing so, minimizing the impact of construction activities on nearby residents but also on the hospital itself. The CNVMP will include strategy to manage noise and vibration impact depending on the programmed construction activities such as noise and vibration monitoring and programming of activities generating high noise levels during particular non-sensitive period of the day.</li> </ul>
Heritage	<p>The following is also recommended to reduce potential heritage impacts;</p> <ul style="list-style-type: none"> <li>▪ preparation of a Photographic Archival Recording of the buildings proposed to be demolished and their context; and</li> <li>▪ incorporation of interpretive elements that will recall the history and development of this section of the site in the new building and public areas.</li> </ul>
Aboriginal Heritage	If unforeseen Aboriginal objects are uncovered during development, work should cease and a heritage consultant and OEH should be informed. If human remains are found, work should cease, the site should be secured and the NSW Police and the OEH should be notified.
Ecologically Sustainable Development	<p>The detailed design of the development is to incorporate all of the ESD principles and measures set out in the ESD Statement prepared by WGE. The proposal is to demonstrate compliance/consistency with the targets identified in NSWHI Engineering Services Guidelines, specifically those relating to:</p> <ul style="list-style-type: none"> <li>▪ Sustainability and Energy (Principle 2.5.8);</li> <li>▪ Potable Water (Principle 2.5.9); and</li> <li>▪ Materials (Principle 2.5.10).</li> </ul> <p>The development is to comply with the energy efficiency requirements of Section J of the National Construction Code (NCC 2012, previously known as the Building Code of Australia).</p>

Landscaping in car parks	To ensure an appropriate level of visual and solar amenity, intermittent landscaping is to be provided throughout the at grade car park adjoining Albert Street. This should be provided throughout the car park in a similar manner to the car parking areas adjoining Goldsmith Street.
External Lighting	External lighting is to be installed to meet the minimum Australian and New Zealand Lighting Standards that will not only provide wide and even spread of illumination but will also be adequate to meet operational requirements. In addition, appropriate signage is to be installed to reinforce the building's main entrance and other secondary entrances. External lighting will be installed so as to not result in any light spill or other lighting-related impacts on the surrounding locality.
CPTED	Lighting, way finding (signage) and CCTV should be provided to ensure safety and security for the patients and visitors to the site once operation.
Construction Management	<p>Prior to commencement of construction, a detailed Construction Management Plan (CMP) will be prepared which addresses (but is not limited to) the following:</p> <ul style="list-style-type: none"> <li>▪ Construction noise and vibration</li> <li>▪ Construction traffic management</li> <li>▪ Dust management and air pollution monitoring</li> <li>▪ Odour control</li> <li>▪ Removal and management of hazardous materials</li> <li>▪ Soil and erosion control</li> <li>▪ Tree protection (where relevant)</li> <li>▪ Site management in accordance with legislative requirements</li> <li>▪ House of construction work</li> <li>▪ Waste management</li> <li>▪ Implementation of Groundwater Policy Framework and Groundwater Quality Protection Policies;</li> <li>▪ Community safety plan</li> <li>▪ Arrangements for temporary pedestrian and vehicular access</li> <li>▪ Contact and complaints handling procedures</li> </ul> <p>The detailed CMP is to be generally in accordance with the preliminary CMP prepared by TSA and accompanying this EIS.</p>

## 10. Conclusion

This Environmental Impact Statement (EIS) is submitted to the Minister for Planning and Environment to accompany a SSDA for the major redevelopment of Goulburn Base Hospital (GoBH).

In accordance with the requirements of Schedule 2 of the EP&A Regulation, this EIS considers the relevant statutory instruments and strategic documents, built form and social and environmental impacts. Further, this EIS provides an assessment of the environmental risks of the proposed development in accordance with the SEARs issued by the Department of Planning and Environment on 25 August 2017 and sets out the undertakings made by HI to manage and minimise potential impacts arising from the development.

Subject to the mitigation measures outlined in Section 9 of this EIS, we recommend approval of this application for the following reasons:

- The redevelopment will be critical in supporting and improving the medical services provision to the Goulburn Mulwaree LGA and the wider South East Tablelands Region.
- It act as the catalyst in providing modern healthcare facilities as part of the GHS and throughout the SNSW LHD.
- The new acute services building and other proposed refurbishments will generate additional jobs from the site and for the wider LGA.
- The area and shape of the site allows for the provision of new health facilities that meet the special design requirements for the future proposed uses, whilst not resulting in any significant adverse impacts on surrounding uses.
- The proposal will itself generate no adverse traffic or parking impacts, with new parking allocations being provided as part of the scope of works.
- The potential environmental impacts of the proposal as outlined in this EIS are able to be satisfactorily mitigated subject to implementing the recommendations of the technical supporting documentation accompanying this EIS.

The proposal will result in significant social benefits for the local community as outlined in this EIS and in the absence of any unacceptable environmental (and other) impacts, the proposed development is in the public interest.

The EIS fulfils the requirements of the EP&A Act and EP&A Regulation and addresses all relevant matters for consideration prescribed by the SEARs, demonstrating that the potential impacts of the proposal can be satisfactorily managed or mitigated. In light of the above, and the significant public benefits of the proposal, we strongly recommend that the proposal be approved.