

5 Blue Street, North Sydney

SSD-86270706

Integrated Water Management Plan

29 May 2026



ARCADIS

Design & Consultancy
for natural and
built assets

Integrated Water Management Plan

5 Blue Street, North Sydney

29 May 2026

Our Ref:

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Contents

1	Introduction	5
1.1	Background	5
1.2	Housing Delivery Authority and National Accord	5
1.3	The Site	5
1.4	The Proposed Development	6
1.5	Industry Specific Secretary's Environmental Assessment Requirements (SEARs)	7
1.6	Purpose.....	7
1.7	Design Standards & Reference Documents	7
1.7.1	Design Standards	7
1.7.2	Reference Documents	8
1.8	Stakeholder Engagement.....	8
1.8.1	North Sydney Council	8
1.8.2	Sydney Water	8
2	Existing Water Utilities.....	9
2.1	Potable Water	9
2.2	Wastewater	9
2.3	Stormwater	10
3	Stormwater Strategy.....	11
3.1	Existing Site Stormwater Drainage.....	11
3.2	Proposed Stormwater Drainage.....	11
3.3	Stormwater Quantity	12
3.4	Stormwater Quality	12
3.4.1	Water Quality Assessment	12
3.5	Erosion and Sediment Control.....	14
4	Potable Water and Wastewater Strategy.....	15
4.1	Potable Water and Wastewater Demands	15
4.2	Proposed Sewer and Water Strategy.....	15

Tables

Table 1 - Secretary's Environmental Assessment Requirements addressed in this report.....	7
Table 2 - Design Standards.....	7
Table 3 - Reference Documents	8
Table 4 – Pollutant Reduction Targets	12
Table 5 - MUSIC Modelling water quality results.....	14
Table 6 - Summary of the services availability (subject to Authority confirmation)	15
Table 7 - Preliminary Utility Demands	15

Figures

Figure 1 - Site Aerial (Source: Nearmap edited by Colliers Urban Planning).....	6
Figure 2 - Sydney Water Assets – Potable Water & Sewer	9
Figure 3 – BYDA North Sydney Council Stormwater System	10
Figure 4 – Assumed stormwater discharge location on proposed ground floor plan	11
Figure 5 - Catchment Plan	13
Figure 6 - MUSIC Model Layout.....	13

Appendices

Appendix A. Site Survey
Appendix B. Before You Dig Australia
Appendix C. Email Enquiry to North Sydney Council
Appendix D. Sydney Water Feasibility Advice Letter

1 Introduction

1.1 Background

This Integrated Water Management Plan (IWMP) supports the detailed State Significant Development Application (SSDA) (SSD-86270706) and concurrent rezoning being lodged with the Department of Planning, Housing and Infrastructure (DPHI) for the adaptive reuse of a mixed-use development at 5 Blue Street, North Sydney (the site). The proponent for the SSDA is Zurich Australian Insurance Properties Pty Ltd.

The proposal aims to:

- Respond to the housing challenges facing Sydney through the delivery of diverse housing types in a highly accessible location.
- Deliver a diverse mix of residential apartments, including market housing and co-living dwellings that will enjoy excellent amenity, taking advantage of the site's strategic location, proximity to services and employment opportunities.
- A planning envelope with setbacks to respect the local context and capable of achieving acceptable levels of solar access, wind comfort and daylight in adjoining public places.
- Enhancement of the Blue Street Plaza, contributing to the improved pedestrian amenity, site permeability and access to and around North Sydney Station.
- Enable the development of high-performance buildings in terms of amenity and sustainability.

1.2 Housing Delivery Authority and National Accord

The NSW State Government has agreed to a National Housing Accord (Accord) with other states and territories, local government, institutional investors and the construction sector. The Accord includes an initial aspirational target agreed by all parties to build 1.2 million new well-located homes over 5 years from mid-2024. NSW has a target to deliver 377,000 new homes over five years by July 2029 under the Accord.

To accelerate the delivery of much needed homes and help meet NSW's target under the Accord, the NSW Government has established the HDA. The HDA offers a clear planning pathway for large residential and mixed-use developments to be assessed as SSD or SSD with a concurrent rezoning. This process aims to improve consistency in planning decisions and speed up assessment, without sacrificing housing quality.

The proposed development is well placed to deliver additional uplift to help achieve these housing goals, being a large, consolidated land holding under single ownership in an accessible location with exceptional public transport connections.

1.3 The Site

The site located at 5 Blue Street, North Sydney on a prominent corner of Blue Street and Miller Street and sitting directly above North Sydney Railway Station. The site is situated approximately 2km to the north of the Sydney Central Business District (CBD) within the North Sydney Local Government Area (LGA) and is legally identified as Lot 4 in DP1134234. An aerial map of the side is provided at Figure 1.



Figure 1 - Site Aerial (Source: Nearmap edited by Colliers Urban Planning)

1.4 The Proposed Development

The proposed above station adaptive reuse seeks to transform the landmark site into a vibrant mixed-use precinct that integrates residential, retail and public domain enhancements into the broader North Sydney precinct. Specifically, the proposal seeks approval for:

- Adaptive reuse of a mixed-use development, comprising residential and non-residential ground floor uses, including:
 - Two levels of basement car parking, comprising plant, bicycle storage areas and car parking spaces.
 - Ground floor retail and residential lobbies.
 - Co-living on Levels 1-3, to be operated as affordable housing by a Community Housing Provider in perpetuity.
 - Residential dwellings on Levels 4-14.
- Public domain and landscaping improvements, including the retention and enhancement of Blue Street Plaza at the eastern portion of the site.
- Extension and augmentation of services and infrastructure as required.
- Concurrent amendments to the *North Sydney Local Environmental Plan 2013* to facilitate the SSDA.

1.5 Industry Specific Secretary's Environmental Assessment Requirements (SEARs)

In accordance with Section 4.39 of the Environmental Planning & Assessment Act 1979 (EP&A Act), Secretary's Environmental Assessment Requirements (SEARs) (SSD-86270706) have been issued. This report has been prepared to respond to the issued SEARs, as set out in the Table 1 below.

Table 1 - Secretary's Environmental Assessment Requirements addressed in this report

Condition	Response
12. Water Management - Detail the proposed drainage design and servicing infrastructure to be incorporated as part of the development (stormwater and wastewater). - Demonstrate how the development complies with council's drainage requirements and identify proposed stormwater treatment and water quality management measures to minimise adverse environmental impacts.	Refer to Section 3 for stormwater drainage design details, including water quantity and water quality. Refer to Section 4 for details on water-related servicing infrastructure.

1.6 Purpose

This Integrated Water Management Plan (IWMP) details the proposed drainage design and servicing infrastructure—including stormwater and wastewater systems—for the adaptive reuse mixed-use development, as required by the SEARs.

This IWMP been prepared to address the stormwater management requirements in line with the design guidelines of North Sydney Council as shown in Table 2.

1.7 Design Standards & Reference Documents

1.7.1 Design Standards

Table 2 - Design Standards

Standard No.	Description
North Sydney Development Control Plan 2025	Section 4 – Water provides requirements for Water Quantity & Quality requirements
Performance Guide For Engineering Design and Construction	North Sydney Council - Performance Guide For Engineering Design and Construction – July 2005
Infrastructure Specification for Roadworks, Drainage and Miscellaneous Works	North Sydney Council - Infrastructure Specification for Roadworks, Drainage and Miscellaneous Works - 2022
Water Supply Code of Australia	WSA 03-2011 Version 3.1 (Sydney Water Edition 2014)
AS/NZS 3500.1 (May 2021)	Plumbing and Drainage Part 1: Water services

Standard No.	Description
AS/NZS 3500.2 (May 2021)	Plumbing and Drainage Part 2: Sanitary plumbing and drainage
AS/NZS 3500.3 (May 2021)	Plumbing and Drainage Part 3: Stormwater drainage
AR&R 2019	Australian Rainfall and Runoff (2019)
BMT WBM (August 2015)	NSW MUSIC Modelling Guidelines

1.7.2 Reference Documents

Table 3 - Reference Documents

Document/File Name	Type	Date Received	Prepared By	Description
260514_5 Blue Architectural Final Draft	Drawing Set	14/05/2026	FJCStudio	Blue Street Final Draft – Architectural pack for proposed adaptive reuse mixed-use development, final circulated set for SSDA.
200326 Pollack Dwgs from Structural Team	Drawing Set	1983	Henry Pollack & Associates Pty Ltd Architects	Existing Architectural drawings.

1.8 Stakeholder Engagement

Arcadis has liaised with both North Sydney Council and Sydney Water to determine any additional controls needed for the SSDA submission.

1.8.1 North Sydney Council

Based on the email correspondence in Appendix C, Arcadis has established contact with North Sydney Council on the 1st of May 2026 regarding seeking stormwater requirements such as discharge rates for a proposed site redevelopment. Due to the development being in the SSDA phase, no further correspondence was pursued after Council's reply for additional information on the site to determine additional requirements. However, this will be pursued in future phases once the end precinct design is further understood.

1.8.2 Sydney Water

A feasibility application was submitted to Sydney Water on 1 May 2026. Please refer to Appendix D for Sydney Water's response.

2.3 Stormwater

A BYDA enquiry indicates that North Sydney Council own existing underground assets around the site. There is an existing DN375 and DN750 on the northern side of Blue Street and a DN225 pipe located at the southwest corner of the site.

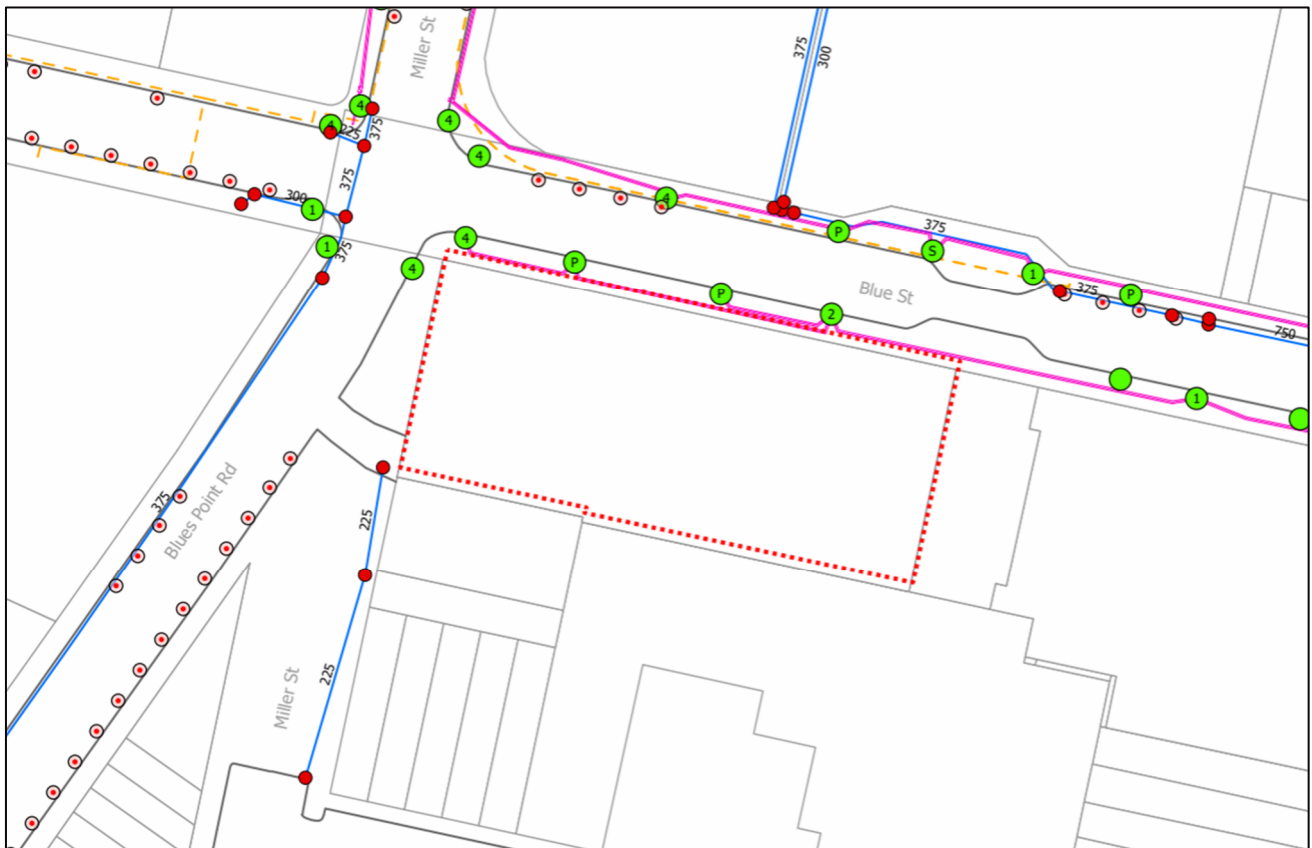


Figure 3 – BYDA North Sydney Council Stormwater System

3 Stormwater Strategy

The stormwater strategy is based on the design standards and references in Section 1.7 in particular to meet the objectives of Section 4.1.5 of the North Sydney Development Control Plan.

3.1 Existing Site Stormwater Drainage

The site is fully developed with an existing stormwater management system. Based on the available site survey and the BYDA information from North Sydney Council the existing site connection appears to be to a pit located at the southwest corner of the site. This pit is connected to a 225mm pipe which traverses Saint Peters Park before discharging to the kerb at the corner of MacKenzie Street. An excerpt of the BYDA plan from North Sydney Council is shown in Figure 4.

Sydney Water manage the stormwater for a number of catchments across North Sydney. A review of the available mapping indicates that the site is not located in one of Sydney Water's catchments.

3.2 Proposed Stormwater Drainage

The proposed adaptive re-use does not alter existing internal flow paths, and it is expected that internal drainage system will be re-used subject to review during the detailed design phase. Refer to Figure 4 for the stormwater discharge location in both the pre and post developed scenarios.

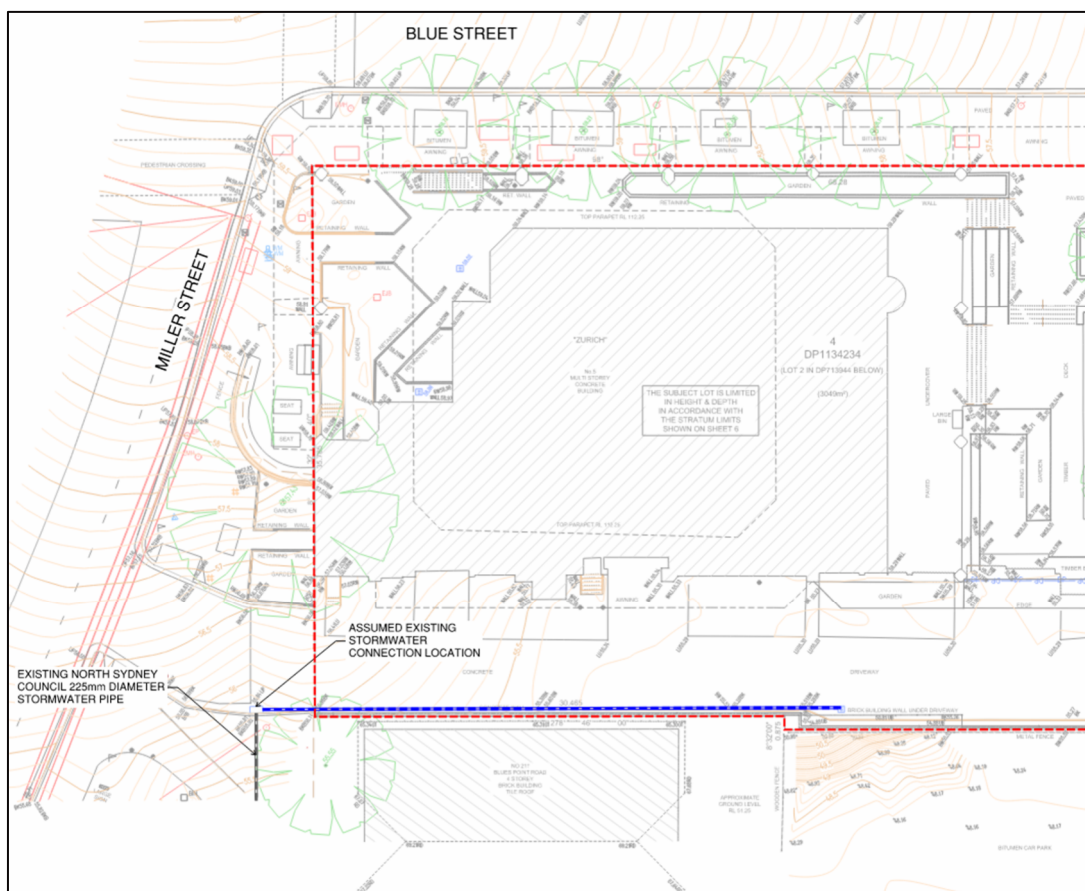


Figure 4 – Assumed stormwater discharge location on proposed ground floor plan

3.3 Stormwater Quantity

North Sydney Council requires that post-development stormwater discharge rates should be less than pre-development stormwater discharge rates (North Sydney Council Development Control Plan, Section 4.1 P20).

An assessment of the existing site shows that it is 100% impervious. While there are some landscaped areas, these are located in podiums or under awnings and therefore do not function as pervious areas. As such the proposed adaptive re-use does not increase the existing impervious area of the site and therefore the post-development stormwater discharge rates will not exceed that of the current existing site.

On-site detention to limit the proposed discharge to pre-development rates has therefore not been provided as part of the proposed adaptive reuse mixed-use precinct.

3.4 Stormwater Quality

The stormwater quality, Water Sensitive Urban Design (WSUD) approach for the 5 Blue Street re-development focuses on sustainable stormwater management and environmental protection.

As per Council's requirements (DCP Section 4.1 P29), the reduction targets shown in Table 4 are required to be achieved for stormwater discharge from the site.

Table 4 – Pollutant Reduction Targets

Pollutant	Reduction Targets
Gross Pollutants	90%
Total Suspended Solids (TSS)	85%
Total Phosphorus (TP)	65%
Total Nitrogen (TN)	45%

3.4.1 Water Quality Assessment

Pollutant load estimates were derived using MUSIC in accordance with the City of Sydney rainfall and evapotranspiration data in the absence of input from North Sydney Council. The catchment area plan for the stormwater quality (MUSIC) model is shown in Figure 5 for the Site based on the existing drainage strategy where there is one outlet draining into Council's stormwater drainage system.

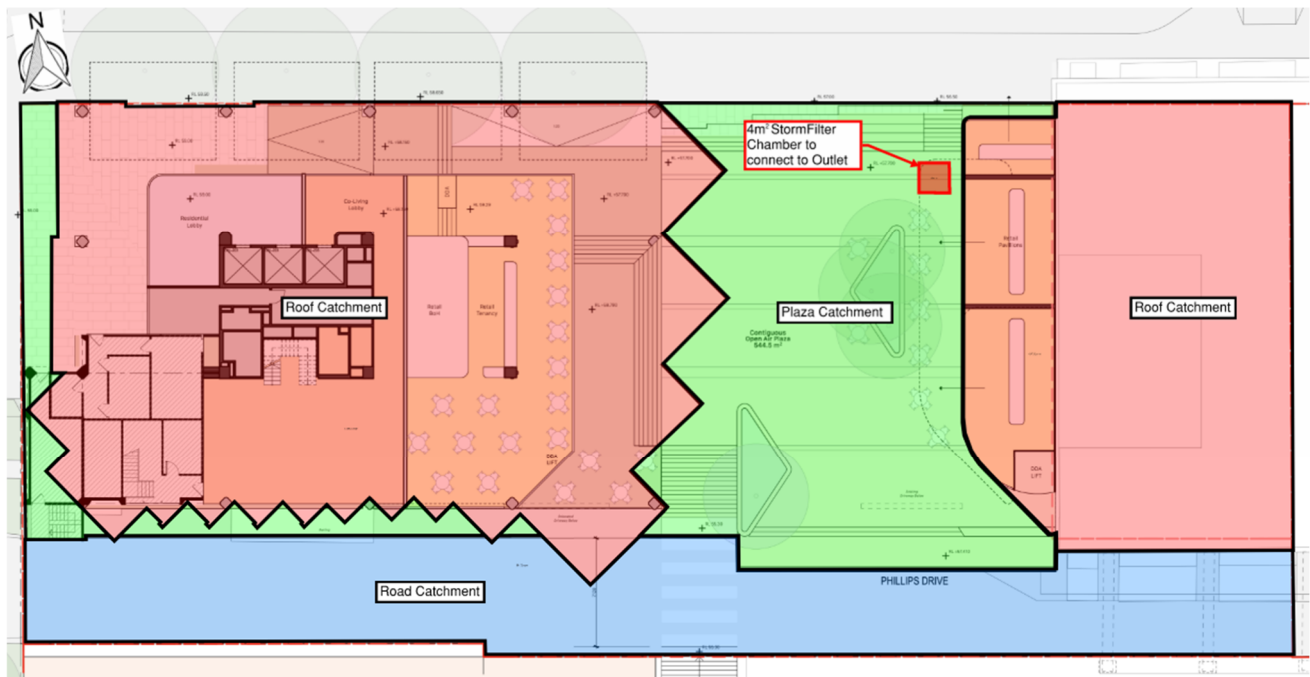


Figure 5 - Catchment Plan

The model utilised the following treatment measures:

- Gross Pollutant Trap: Pre-treatment pollutant and sediment trap
- Precast StormFilter Chamber: Filtration system to remove fine suspended solids. Indicative areas and locations are subject to future space proofing in the detailed design stage
- 8 x 690mm Psorb Filter Cartridges: Filtration system to remove fine suspended solids

The water quality treatment devices listed below represent a possible option to reduce pollutant loads in line with Council's stormwater quality targets as shown in Figure 6.

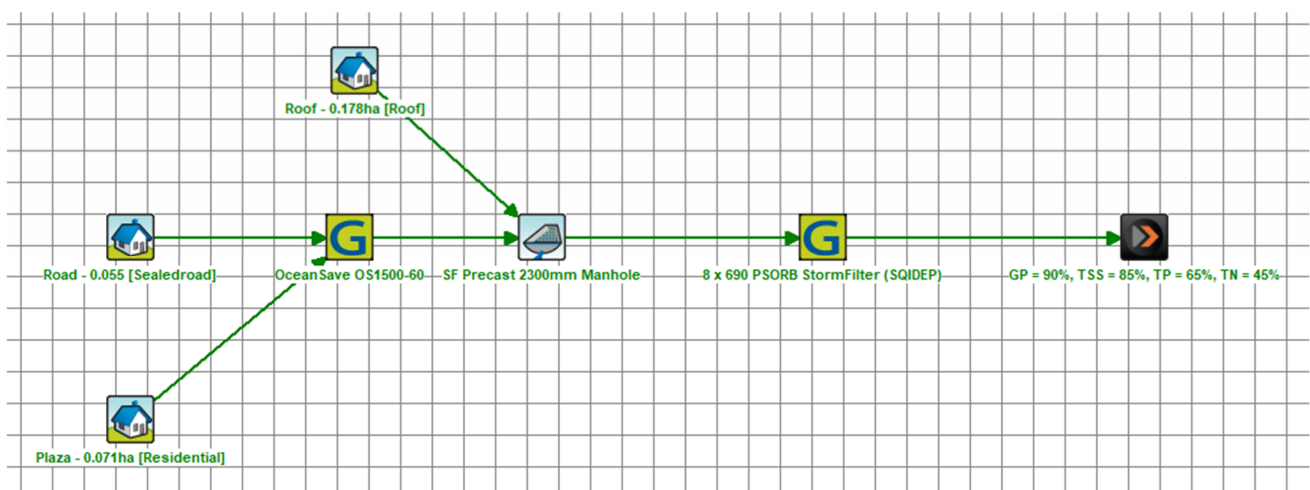


Figure 6 - MUSIC Model Layout

Table 5 presents the estimated average annual pollutant loads from the proposed development and the performance of the adopted treatment train against the target reductions required as referenced above. The results indicate that the proposed treatment measures are sufficient and that the Annual Load Reduction percentages will be achieved.

Table 5 - MUSIC Modelling water quality results

Pollutant	Source	Residual	% Reduction	% Reduction Targets
Gross Pollutants	104	0	100%	90%
Total Suspended Solids (TSS)	486	45.3	90.7%	85%
Total Phosphorus (TP)	1.07	0.257	76.1%	65%
Total Nitrogen (TN)	9.5	5.14	45.9%	45%

The success of WSUD relies on regular maintenance of the sediment traps and filters to ensure their long-term functionality. A maintenance plan will be implemented to manage these assets, supporting continued compliance with environmental and regulatory requirements.

3.5 Erosion and Sediment Control

As the proposed development consists of adaptive reuse of the existing building structure, it is not expected that significant erosion and sediment controls will be required, however this should be reviewed during the detailed design and construction phase to ensure compliance with the relevant standards and guidelines.

4 Potable Water and Wastewater Strategy

The summary of the services available for the site connection (subject to Authority approvals) and service requirements is provided in the Table 6.

Existing utility connections to existing lot are proposed to be reused for the proposed development subject to their size and location and any boundary adjustment or proposed boundary location coordinating with existing service connections.

Table 6 - Summary of the services availability (subject to Authority confirmation)

Service	Authority	Location of proposed connection and strategy
Wastewater	Sydney Water	225mm wastewater service is currently providing connection to the property. The existing invert level should be confirmed via detailed survey.
Potable Water	Sydney Water	100mm potable water service is currently providing connection to the property

4.1 Potable Water and Wastewater Demands

Arcadis have conducted an initial assessment of the likely demand values for each primary utility, and the key values are summarised in Table 7.

Table 7 - Preliminary Utility Demands

Service	Estimated Load Requirement	Utility Size Assumed
Potable water	61.1 kL/day	DN100 Watermain Supply (existing)
Sewer	48.88 kL/Day	DN225 Sewer Pipe (existing)

A feasibility application was lodged with Sydney Water on 1 May 2026 under case number CN233750. In response, a feasibility letter was received from Sydney Water on 27 May 2026, refer to Appendix D.

4.2 Proposed Sewer and Water Strategy

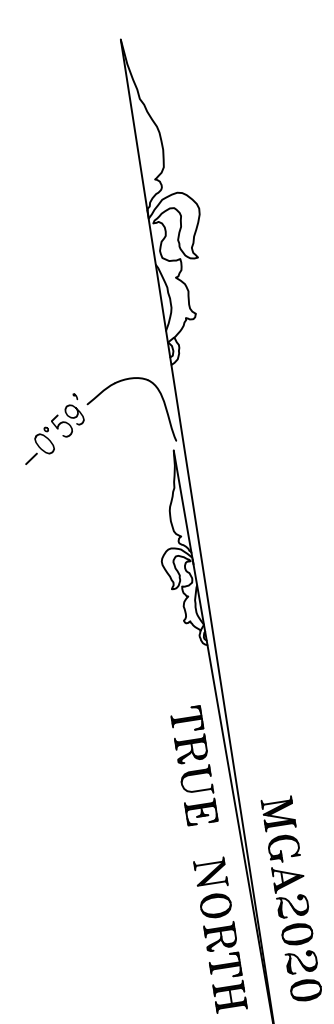
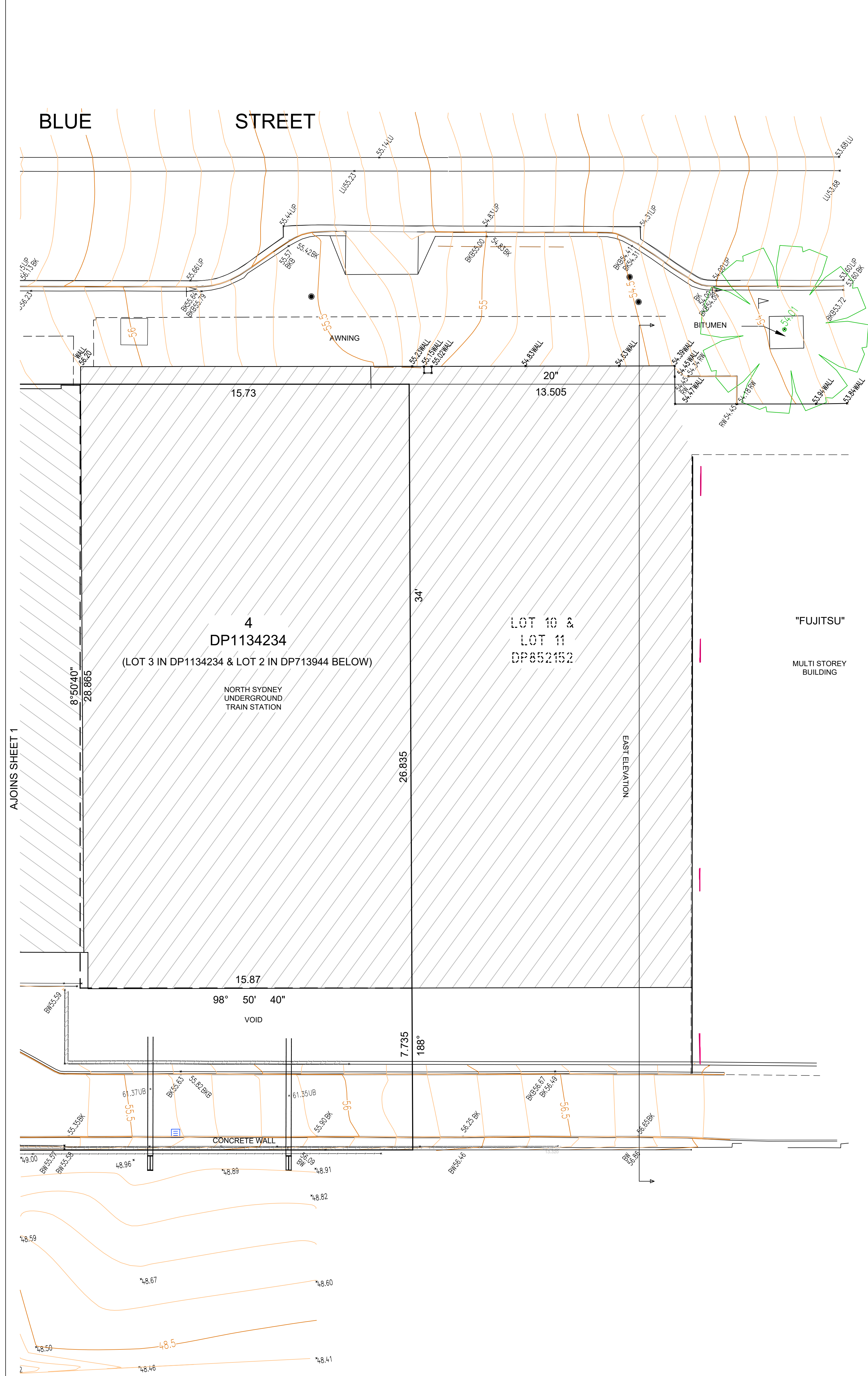
The feasibility advice confirms the existing servicing noted above and confirms that pressure, headloss and velocities are within acceptable limits to service the proposed development and confirmed the networks has sufficient capacity for the proposal.

Sydney Water have confirmed that the connection for the proposed development would be the 225mm sewer main within the site and confirmed that it is adequately sized to service the proposed development. Additionally, they confirmed that the wastewater network has sufficient capacity to service the proposed development.

Both potable water and sewer servicing will need to be confirmed via a Section 73 application.

Appendix A

Site Survey



MG2020

Notes:

A full boundary survey has been undertaken.

Bearings relate to MGA taken from DP1134234.

Services shown are indicative only. Field confirmation of the exact position should be made prior to any excavation work. Other services may exist which are not shown.

Levels are based on Australian Height Datum (AHD)

Origin of levels PM 35738 RL 60.920

Ridge, Eave & Gutter heights have been obtained by an indirect method and are accurate for planning purposes only.

Contours are an indication of landform and should not be taken in preference to spot levels shown.

Contour interval 0.1 m

- LEGEND**

- | | |
|---|-----------------------------|
|  | ELEC. CABLE JUNCTION BOX |
|  | ELEC. CABLE MANHOLE |
|  | POWER POLE |
|  | POWER POLE WITH LIGHT |
|  | TRAFFIC CONTROL |
|  | TRAFFIC SIGNAL JUNCTION BOX |
|  | GAS VALVE BOX |

- | | |
|---|----------------------|
|  | WATER MAIN MARKER |
|  | WATER STOP VALVE |
|  | SEWER MANHOLE |
|  | SIGN |
|  | BOLLARD |
|  | RUBBISH BIN |
|  | DRAINAGE GULLY PIT |
|  | UNIDENTIFIED SERVICE |

- | | |
|-----|-----------------------|
| BK | BOTTOM OF KERB |
| BW | BOTTOM OF WALL |
| BKB | BACK OF KERB |
| RW | RETAINING WALL |
| LU | LINE MARKING UNBROKEN |
| RD | ROOF RIDGE |
| GT | GUTTER |
| UB | UNDERSIDE OF BEAM |

 Head Office (NSW) Suite 604, Level 6, 45 Jones Street, Ultimo, NSW, 2007. PO Box 1107, Strawberry Hills, NSW, 2012. T: (02) 9052 4000 E: enquiries@veris.com.au W: www.veris.com.au ABN 53 615 739 727	ISSUE	AMENDMENT	DATE	LEGEND	CLIENT ZURICH	PROJECT 5 BLUE STREET, NORTH SYDNEY BEING LOT 4 IN DP 1134234	DRAWING TITLE DETAIL SURVEY AND LEVELS	DRAWING NUMBER / ISSUE DTL/001B	QUALITY ASSURANCE THE DOCUMENT IS AN ELECTRONIC FILE - NO PRINTOUT OF THIS DRAWING HAS BEEN MADE. THE SIGNATURE OF THE DESIGNER HAS BEEN VERIFIED BY THE REGISTERED PROFESSIONAL ENGINEER. THE SIGNATURE OF THE DESIGNER HAS BEEN VERIFIED BY THE REGISTERED PROFESSIONAL ENGINEER. THE SIGNATURE OF THE DESIGNER HAS BEEN VERIFIED BY THE REGISTERED PROFESSIONAL ENGINEER. COPIRIGHT © 203550 DET-REV B 250916	Date of Survey: 25/01/2023 Datum: AHD Scale: 1:100 Sheet 2 of 8	Date of Plan: 16/09/2025 Co-ords: MGA
	B	ADDITIONAL SURVEY ADDED. SHEETS 3 - 8 ADDED	16/09/25								
	A	INITIAL ISSUE	07/03/23								

Appendix B

Before You Dig Australia



UNDERGROUND ASSETS LOCATION INFORMATION



The Essential First Step.

ATTENTION

The accompanying plan(s) in relation to North Sydney Council's Underground assets are forwarded in response to your recent 'Dial Before You Dig' inquiry. Please note the following important information and basis upon which the plan(s) are issued:

1. Plans indicate the general position of North Sydney Council's lighting, underground electricity, parking sensors and stormwater drainage assets **at the time of their construction**. North Sydney Council does NOT guarantee that all its existing Assets are shown on the plans. Plans have NOT necessarily been adjusted to reflect any subsequent changes to surface levels, road alignments, fences, buildings and the like. Asset locations are approximate and, accordingly, the plans are NOT suitable for scaling purposes.
2. Plans and information provided is **Valid for 30 days** from the date of issue.
3. Plans do NOT show locations of Private internal drainage systems belonging to and/or serving individual customers, or drainage systems which may be connected to North Sydney Council's Drainage network.
4. The plans have been prepared and are only intended for North Sydney Council's own use. North Sydney Council does not supply the plans on a commercial basis because it cannot and will not warrant their accuracy or completeness. It supplies them free of charge only with a view to reducing the very real risk of inadvertent damage being caused to its underground assets. Accordingly, North Sydney Council accepts no liability for any inaccuracies in the information or lack of information on the plans.
5. North Sydney Council plans or other details are provided only for the use of the applicant, its servants, or agents. **The applicant may not give the plans or details to other parties, and may not generate profit from commercialising the plans or details.**
6. To determine their precise location, North Sydney Council's underground assets **MUST** first be exposed by pot-holing using hand-held tools or vacuum non-destructive techniques i.e. **before** any mechanical means of excavation are employed.
7. Please contact North Sydney Council Engineering Department (02 9936 8100) immediately should you locate North Sydney Council drainage or electricity conduits not indicated on these plans.
8. Asbestos cement pipelines may form part of North Sydney Council's storm water systems and, if damaged, can pose a risk to health.
9. Persons excavating in the vicinity of North Sydney Council's underground assets **MUST** exercise care and suitably protect North Sydney Council's Assets. Protection may include timbering, shoring, sheet piling, support and/or bracing to prevent movement.
10. "DUTY OF CARE"
When working in the vicinity of North Sydney Council Assets you have a legal "Duty of Care" that must be observed. The subsequent points must be considered:
 - It is the responsibility of the owner and any consultant engaged by the owner, including (but not limited to) an architect, consulting engineer, developer, and head contractor to design for minimal impact and protection of North Sydney Council Assets. North Sydney Council will provide free plans and sketches showing the presence of its network to assist at this design stage.
 - It is the owner's (or constructor's) responsibility to:
 - Request plans of North Sydney Council Assets for a particular location at a reasonable time before construction begins.
 - Contact North Sydney Council if Assets are wholly or partly located near planned construction activities.
11. "DAMAGE"
ANY DAMAGE TO NORTH SYDNEY COUNCIL ASSETS MUST BE REPORTED TO (02) 9936 8100
IMMEDIATELY

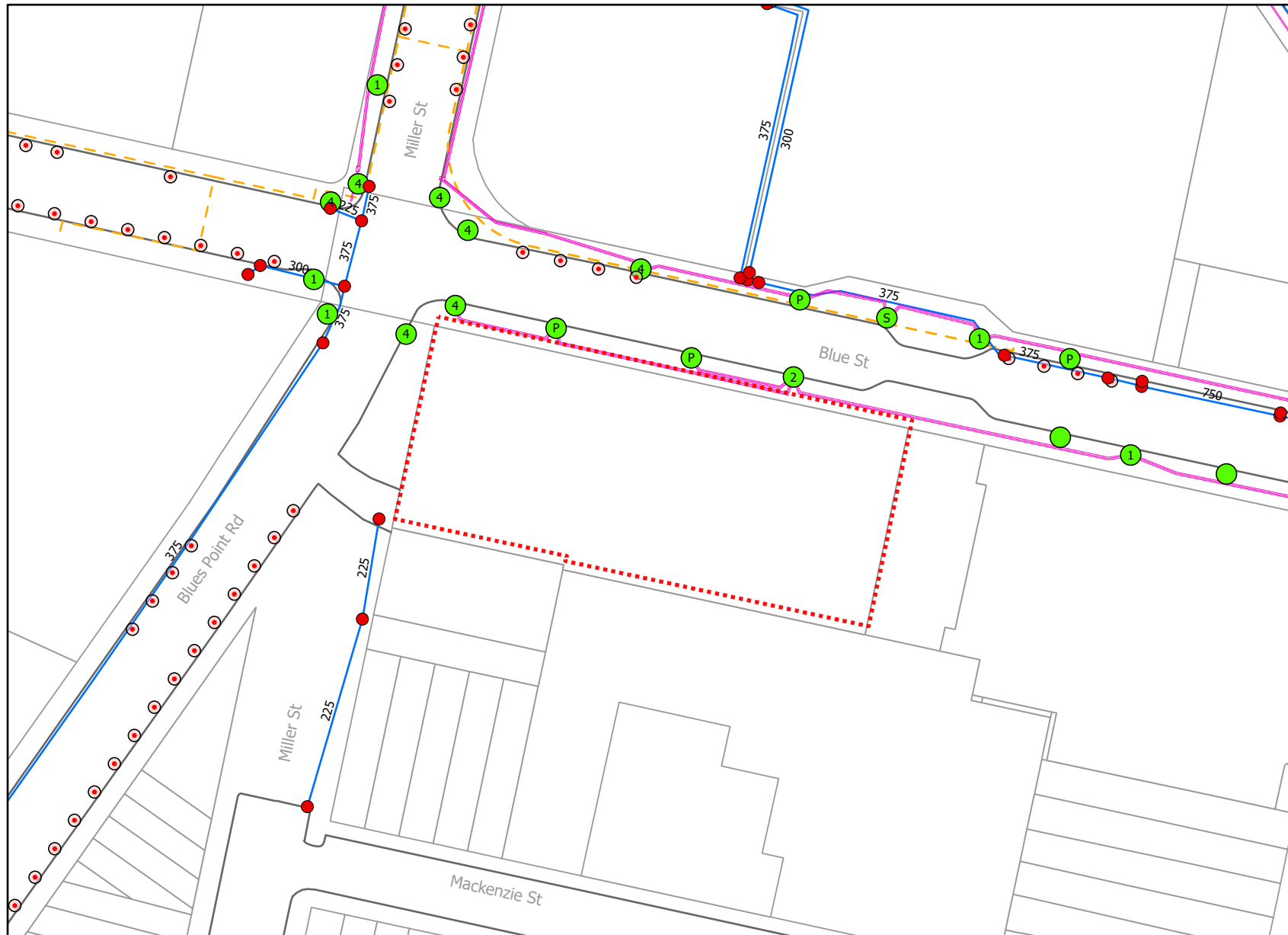
- The owner (or constructor) is responsible for all damage done to North Sydney Council Assets as a result of works prior to and after obtaining North Sydney Council Assets plans, or failure to follow agreed instructions.
 - North Sydney Council reserves all rights to recover compensation for loss or damage to its assets including consequential losses.
12. A road opening permit is required for all works undertaken within the North Sydney Council area. An application for a road opening permit can be found online at;
http://www.northsydney.nsw.gov.au/Building_Development/Building_DA_Forms/Road_Closures_Openings
 13. Constructors are legally responsible for any damage and financial loss resulting from their interfering with North Sydney Council's underground assets. **In an emergency, call 9936 8100**
 14. Minimum clearances MUST be maintained between North Sydney Council's underground assets and underground services belonging to other parties.
 15. Plans MUST be approved by North Sydney Council prior to landscaping and/or building over or adjacent to any North Sydney Council asset.
 16. Backfilling of excavation work in the immediate vicinity of North Sydney Council's Assets MUST comply with Infrastructure Specification Manual for Road works, Drainage and Miscellaneous Works. Further information and guidance is available on North Sydney Council's website at;
http://www.northsydney.nsw.gov.au/Projects_Infrastructure/Specifications_Styles/Infrastructure_Specifications_and_Styles



Job # 52706204

Seq # 270225602

Provided by North Sydney Council



Legend

- BYDA Enquiry
- Drainage Pit
- Parking Meter Sensor
- NSC Multi-Purpose Pole
- Drainage Pipe
- Redundant Parking Meter Cable
- Conduit / Cable
- Kerbs

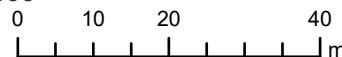
Esri Community Maps Contributors, DCCEEW, Spatial Services, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, METI/ NASA, USGS

Disclaimer: The Plan is provided in response to a Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of North Sydney Council infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

In an emergency contact North Sydney Council on 02 9936 8100

24/03/26 (valid for 30 days)

Plans generated by SmarterWX™ Automate



Scale 1:1,000

Important information about Before You Dig

The material provided or made available to you by Sydney Water (including on the Sydney Water website) in relation to your Before You Dig enquiry (Information) is provided on each of the following conditions, which you are taken to have accepted by using the Information:

- 1 The Information has been generated by an automated system based on the area highlighted in the “Locality Indication Only” window on your Confirmation Email. It is your responsibility to ensure that the dig site is properly defined when submitting your Before You Dig enquiry and, if the Information does not match the dig site, to resubmit your enquiry for the correct dig site.
- 2 Neither Sydney Water nor Before You Dig make any representation or give any guarantee, warranty or undertaking (express or implied) as to the currency, accuracy, completeness, effectiveness or reliability of the Information. The Information, including Sydney Water plans and work-as-executed diagrams, amongst other things:
 - (a) may not show all existing structures, including Sydney Water’s pipelines, particularly in relation to newer developments and in relation to structures owned by parties who do not participate in the Before You Dig service;
 - (b) may be out of date and not show changes to surface levels, road alignments, fences, buildings and the like;
 - (c) is approximate only and is therefore not suitable for scaling purposes; and
 - (d) does not show locations of property services (often called house service lines) belonging to or servicing individual customers, which are usually connected to Sydney Water’s structures.
- 3 You are responsible for, amongst other things:
 - (a) exposing underground structures, including Sydney Water’s pipelines, by pot-holing using hand-held tools or vacuum techniques so as to determine the precise location and extent of structures before any mechanical means of excavation are used;
 - (b) the safe and proper excavation of and for underground works and structures, including having regard to the fact that asbestos cement pipelines, which can pose a risk to health, may form part of Sydney Water’s water and sewerage reticulation systems;
 - (c) protecting underground structures, including Sydney Water’s pipelines, from damage and interference;
 - (d) maintaining minimum clearances between Sydney Water’s structures and structures belonging to others;
 - (e) ensuring that backfilling of excavation work in the vicinity of Sydney Water’s structures complies with Sydney Water’s standards contained on its website or otherwise communicated to you;
 - (f) notifying Sydney Water immediately of any damage caused or threat of damage to Sydney Water’s structures;
 - (g) ensuring that plans are approved by Sydney Water (usually signified by stamping) prior to landscaping or building over or in the vicinity of any Sydney Water structure;
 - (h) ensuring that the Information is used only for the purposes for which Sydney Water and Before You Dig intended.

- 4 You acknowledge that you use the Information at your own risk. In consideration for the provision of the Before You Dig service and the Information by Sydney Water and Before You Dig, to the fullest extent permitted by law
 - (a) all conditions and guarantees concerning the Information (whether as to quality, outcome, fitness, care, skill or otherwise) expressed or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded and to the extent that those statutory guarantees cannot be excluded, the liability of Sydney Water and Before You Dig to you is limited to either of the following as nominated by Sydney Water in its discretion, which you agree is your only remedy:
 - (i) the supplying of the Information again; or
 - (ii) payment of the cost of having the Information supplied again;
 - (b) in no event will Sydney Water or Before You Dig be liable for, and you release Sydney Water and Before You Dig from, any Loss arising from or in connection with the Information, including the use of or inability to use the Information and delay in the provision of the Information:
 - (i) whether arising under statute or in contract, tort or any other legal doctrine, including any negligent act, omission or default (including willful default) by Sydney Water or Before You Dig; and
 - (ii) regardless of whether Sydney Water or Before You Dig are or ought to have been aware of, or advised of, the possibility of such loss, costs or damages;
 - (c) you will indemnify Sydney Water and Before You Dig against any Loss arising from or in connection with Sydney Water providing incorrect or incomplete information to you in connection with the Before You Dig service; and
 - (d) you assume all risks associated with the use of the Before You Dig and Sydney Water websites, including risk to your computer, software or data being damaged by any virus, and you release and discharge Sydney Water and Before You Dig from all Loss which might arise in respect of your use of the websites.
- 5 **“Sydney Water”** means Sydney Water Corporation and its employees, agents, representatives and contractors. **“Before You Dig”** means Before You Dig Australia and its employees, agents, representatives and contractors. References to **“you”** include references to your employees, agents, representatives, contractors and anyone else using the Information. References to **“Loss”** include any loss, cost, expense, claim, liability or damage (including arising in connection with personal injury, death or any damage to or loss of property and economic or consequential loss, lost profits, loss of revenue, loss of management time, opportunity costs or special damages). To the extent of any inconsistency, the conditions in this document will prevail over any other information provided to you by Sydney Water and Before You Dig.

In an emergency, or to notify Sydney Water of damage or threats to its structures, call 13 20 90 (24 hours, 7 days)

Further information and guidance is available in the 'Plumbing, building and developing' section of Sydney Water's website at www.sydneywater.com.au, where you will find the following under 'Before You Dig':

- Essential references
 - Guide to Reading Sydney Water BYDA Plans
 - Avoid Damaging Water and Sewer Pipelines
 - Technical guidelines: Building over and adjacent to pipe assets
- See Also
 - Building over or next to assets, section of Sydney Water's website at www.sydneywater.com.au

Or call **13 20 92** for Customer Enquiries.

Note: The lodging of enquiries via www.byda.com.au will enable you to receive, via email, colour plans in PDF format 24 hours a day, 7 days a week.

This communication is confidential. If you are not the intended recipient, please destroy all copies immediately. Sydney Water Corporation prohibits unauthorised copying or distribution of this communication.

Guide to reading Sydney Water Before You Dig Plans

This guide will help you understand our plans and what our services are.

Sewer		Property Details	
Sewer Main (with flow arrow & size type text)		Boundary Line	
Disused Main		Easement Line	
Rising Main		House Number	
Maintenance Hole (with upstream depth to invert)		Lot Number	
Sub-surface chamber		Proposed Land	
Maintenance Hole with Overflow chamber		Sydney Water Heritage Site (please call 132 092 and ask for the Heritage Unit)	
Ventshaft EDUCT			
Ventshaft INDUCT			
Property Connection Point (with chainage to downstream MH)			
Concrete Encased Section			
Terminal Maintenance Shaft			
Maintenance Shaft			
Rodding Point			
Lamphole			
Vertical			
Pumping Station			
Sewer Rehabilitation			
Pressure Sewer		Water	
Pressure Sewer Main		WaterMain - Potable (with size type text)	
Pump Unit (Alarm, Electrical Cable, Pump Unit)		Disconnected Main - Potable	
Property Valve Boundary Assembly		Proposed Main - Potable	
Stop Valve		Water Main - Recycled	
Reducer / Taper		Special Supply Conditions - Potable	
Flushing Point		Special Supply Conditions - Recycled	
Vacuum Sewer		Restrained Joints - Potable	
Pressure Sewer Main		Restrained Joints - Recycled	
Division Valve		Hydrant	
Vacuum Chamber		Maintenance Hole	
Clean Out Point		Stop Valve	
Stormwater		Stop Valve with By-pass	
Stormwater Pipe		Stop Valve with Tapers	
Stormwater Channel		Closed Stop Valve	
Stormwater Gully		Air Valve	
Stormwater Maintenance Hole		Valve	
		Scour	
		Reducer / Taper	
		Vertical Bends	
		Reservoir	
		Recycled Water is shown as per Potable above. Colour as indicated	
Private Mains		Potable Water Main	
		Recycled Water Main	
		Sewer Main	
		Symbols for Private Mains shown grey	

Pipe types

ABS	Acrylonitrile Butadiene Styrene	AC	Asbestos Cement
BRICK	Brick	CI	Cast Iron
CICL	Cast Iron Cement Lined	CONC	Concrete
COPPER	Copper	DI	Ductile Iron
DICL	Ductile Iron Cement (mortar) Lined	DIPL	Ductile Iron Polymeric Lined
EW	Earthenware	FIBG	Fibreglass
FL BAR	Forged Locking Bar	GI	Galvanised Iron
GRP	Glass Reinforced Plastics	HDPE	High Density Polyethylene
MS	Mild Steel	MSCL	Mild Steel Cement Lined
PE	Polyethylene	PC	Polymer Concrete
PP	Polypropylene	PVC	Polyvinylchloride
PVC - M	Polyvinylchloride, Modified	PVC - O	Polyvinylchloride, Oriented
PVC - U	Polyvinylchloride, Unplasticised	RC	Reinforced Concrete
RC-PL	Reinforced Concrete Plastics Lined	S	Steel
SCL	Steel Cement (mortar) Lined	SCL IBL	Steel Cement Lined Internal Bitumen
SGW	Salt Glazed Ware	SPL	Steel Polymeric Lined
SS	Stainless Steel	STONE	Stone
VC	Vitrified Clay	WI	Wrought Iron
WS	Woodstave		

In an emergency, or to notify Sydney Water of damage or threats to its structures, call 13 20 90 (24 hours, 7 days)

Further information and guidance is available in the 'Plumbing, building and developing' section of Sydney Water's website at www.sydneywater.com.au, where you will find the following under 'Before You Dig':

- Essential references
 - Avoid Damaging Water and Sewer Pipelines
 - Important Information about Before You Dig
 - Technical guidelines: Building over and adjacent to pipe assets
- See Also
 - Building over or next to assets, section of Sydney Water's website at www.sydneywater.com.au

Or call **13 20 92** for Customer Enquiries.

Note: The lodging of enquiries via www.byda.com.au will enable you to receive, via email, colour plans in PDF format 24 hours a day, 7 days a week.

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Appendix C

Email Enquiry to North Sydney Council

Gong, Stella

From: Zarko Cvetkovic <Zarko.Cvetkovic@northsydney.nsw.gov.au>
Sent: Monday, 4 May 2026 6:33 PM
To: Gong, Stella
Subject: RE: Stormwater Inquiry for a Site Redevelopment

Flag Status: Flagged

You don't often get email from zarko.cvetkovic@northsydney.nsw.gov.au. [Learn why this is important](#)

Arcadis Warning: Exercise caution with email messages from external sources such as this message. Always verify the sender and avoid clicking on links or scanning QR codes unless certain of their authenticity.

Hi Stella,

The requirement for OSD and PSD at NSC areas depends on several factors. We are not able to provide you with the requirements, unless we know exactly which property in particular is in question (in which council's area it is located), type and size of development, no matter you are reusing existing building or not. Quite often, we may require an OSD even though the site is currently fully developed (paved).

Therefore, if you would like to get precise information from us, please, let us know the address of the property and type of the subject development/re-development.

Kind Regards,

Zarko Cvetkovic
Senior Development Engineer - N.S.C

 [Book time to meet with me](#)



Zarko Cvetkovic
Senior Development Engineer

P +61 2 9936 8364
Zarko.Cvetkovic@northsydney.nsw.gov.au



From: Gong, Stella <Xin.Gong@arcadis.com>
Sent: Friday, 1 May 2026 11:00 AM
To: council <council@northsydney.nsw.gov.au>
Cc: Fletcher, Michelle <Michelle.Fletcher@arcadis.com>; Wijenaik, Sarah <Sarah.Wijenaik@arcadis.com>
Subject: Stormwater Inquiry for a Site Redevelopment

You don't often get email from xin.gong@arcadis.com. [Learn why this is important](#)

CAUTION: Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Development Services Team,

I am writing to seek clarification regarding stormwater requirements for a proposed site redevelopment within North Sydney Council. Following instructions from North Sydney Council's customer service team earlier this morning, I am submitting this technical inquiry by email.

The redevelopment involves reusing the existing building, with no increase in the percentage of impervious area on the site. Please also note that the site is not located within a Sydney Water stormwater catchment.

Could you please confirm whether North Sydney Council typically imposes restrictions on stormwater discharge rates for particular storm events when connecting to the Council Stormwater Network in such cases? I would also appreciate advice on any relevant sections of the Development Control Plan or other Council guidelines, and whether stormwater detention or flow limitation measures would apply to this type of redevelopment.

Thank you for your time and assistance. We look forward to your response.

Kind regards

Stella Gong (she/her)

Graduate Engineer | Urban Development & Regeneration NSW

Arcadis Australia Pacific

Level 15, 580 George Street, Sydney NSW | 2000 | Australia

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www.arcadis.com



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Appendix D

Sydney Water Feasibility Advice Letter

Case number 233750

May 25, 2026

Zurich Australian Insurance Properties
c/ - ARCADIS AUSTRALIA PACIFIC PTY LTD.

Feasibility Letter

Developer: Zurich Australian Insurance Properties
Your WSC's reference: 5 Blue Street
Development: Lot 5 Blue, Lavender Bay

Development description: The existing site consists of 3 levels of below ground carpark, ground podium level (with level for substation), 11 levels of office space, a plantroom level and lift motor room/roof level with a typical floor to floor height of 3300mm.

The proposed mixed-use adaptive reuse the building consists of an additional 2 levels, with extensions to the existing levels on the eastern and southern sides. There will be approx. 130 dwellings (70 residential and 60 co-living spaces), and retail on the ground floor. The existing basement carparks will be re-used.

Your application date: May 18, 2026

Dear Applicant

Thank you for your enquiry about the water-related servicing requirements for your proposed development.

This feasibility letter (letter) is a guide only. It provides general information about how your proposed development may be serviced. We have not allocated any system capacity, and where

there is system capacity as at today, it may have been fully utilised by the time you obtain development consent. The requirements applied to any approved development proposal may differ in the future since the issuing of this letter. **The information is accurate at today's date only.**

Sydney Water has assessed your application and provides the following advice.

Servicing requirements for your development

Water

Each lot in your subdivision must have a frontage to a drinking water main that is the right size and can be used for connection.

The site has multiple frontages fronting the site which are primarily supplied from a 300mm trunk main located 220m upstream (north) of the site in Pacific Highway (in the Chatswood Remainder Pressure Zone).

Pressure, headloss and velocities are within acceptable limits to service the proposed development from the water mains. The network has sufficient capacity to service the development proposal.

The Case will be managed at S73 stage for further investigation.

Sewer

Each lot in your subdivision must have a sewer main that is the right size and can be used for connection. That sewer must also have a connection point within each lot's boundaries.

Connection for the proposed development would be to the 225mm sewer main within the site. This main discharges to a 300mm trunk sewer located 185 metres downstream of the site in Lavender Street (in the North Sydney Sewer Catchment Area Management Plan).

The immediate receiving 225mm sewer main is adequately sized to service the proposed development. The flattest downstream 225mm sewer main prior to the 300mm trunk main is adequately sized to service the proposed development.

The wastewater network has sufficient capacity to service the development proposal. The case will be managed at the S73 stage for further investigation.

Infrastructure contributions

You will need to pay an infrastructure contribution towards the cost of each Sydney Water system that will serve your development.

The infrastructure contributions are calculated in accordance with the Development Servicing Plans registered with the Independent Pricing and Regulatory Tribunal (IPART) under the *Independent Pricing and Regulatory Tribunal Act*.

An estimate of your infrastructure contributions is shown in the table below. These amounts have the NSW Government-directed cap applied for the current financial year. **These amounts are**

subject to the NSW Government transition pathway and other factors and will change – see Section 'Price Changes' for full details.

No payments can be accepted for these estimates. Should you obtain Development Approval for this proposal and apply for a Section 73 Certificate in the future, then we'll advise you of the applicable charges to your Development.

Development Servicing Plan (DSP)	Basis of Calculation	Charge (\$) for Applicable Period (5/25/26-6/30/26)
Greater Sydney Drinking Water	Other Flow 55.814 @ \$1741.02 per ET = \$97173.21 based on Flow rates in paragraph below less Credit of \$0.0 for previous payment/use	\$97,173.21
North Head Wastewater	Residential Development Density > 141 lots/dwellings per ha band 130 lots/dwellings @ \$174.62 = \$22700.6 less Credit of \$0.0 for previous use	\$22,700.60
Greater Sydney Drinking Water	Residential Development Density > 141 lots/dwellings per ha band 130 lots/dwellings @ \$974.97 = \$126746.1 less Credit of \$0.0 for previous use	\$126,746.10
North Head Wastewater	Other Flow 60.000 @ \$311.82 per ET = \$18709.2 based on Flow rates in paragraph below less Credit of \$0.0 for previous payment/use	\$18,709.20
DEVELOPER CHARGES TOTAL:		\$265,329.11

- The 'other flow' charges in the table are based on your development's non-residential component, needing an average day water demand of *24 KL used in IC calculation* kl and an average day sewer discharge of *22.8 KL*.

- If the development generates a greater demand, you may have to pay more in charges. If you are going to sell the development, you have to explain the situation to prospective buyers as part of the requirements of Vendor Disclosure.

Price changes

The infrastructure contribution you must pay may also change due to:

1. Changes to the Consumer Price Index (CPI). Our prices increase by CPI each financial year. CPI is the weighted average of the capital cities CPI for the 12 months to the end of the previous March.
2. The NSW Government-directed transition pathway for infrastructure contributions for drinking water and wastewater infrastructure:

Financial Year payment is made	Percentage of infrastructure contribution payable
1 July 2023 to 30 June 2024	Infrastructure contribution capped at 0% of the full price
1 July 2024 to 30 June 2025	Infrastructure contribution capped at 25% of the full price
1 July 2025 to 30 June 2026	Infrastructure contribution capped at 50% of the full price
1 July 2026 onwards	Full price payable

3. Any updates to our Development Servicing Plans (including prices). Our Development Servicing Plans must be updated every five years. The next updates will be introduced by 31 December 2028.

Your infrastructure contributions become payable once your WSC has submitted all Project Completion Packages under each Developer Works Deed to us confirming that the works required under the Notice are complete.

Multi-level individual metering requirements

Your development must either allow for or provide individual metering. This means that you must:

1. comply at all times and in all respects with the requirements of our “*Multi-level Individual Metering Guide*”. You can find this in the [Meters & metered standpipes](#) page on our website.

2. provide and install plumbing and space for individual metering in accordance with our *"Multi-level Individual Metering Guide"*.
3. if and when you implement a strata/ stratum plan (or strata/ stratum subdivide) you must:
 - a. engage an Accredited Metering Supplier ("**AMS**") to provide individual metering in accordance with the *"Multi-level Individual Metering Guide"* and meet the cost of the meters and metering system.
 - b. transfer the meters and metering system to us once the Testing Certificate has been issued by us to the AMS and the AMS has confirmed that payment for the meters and metering system has been paid in full.

Before the Section 73 Certificate can be issued, you will be required to sign an undertaking to show that you understand and accept these metering requirements and associated costs.

Visit [Meters & metered standpipes](#) to see the *Multi-level individual metering guide* and find out more.

Requirements for Business Customers for Commercial and Industrial Property Developments

If this property is to be developed for Industrial or Commercial operations, it may need to meet the following requirements:

Trade Wastewater Requirements

If this development is going to generate trade wastewater, the property owner must submit an application requesting permission to discharge trade wastewater to Sydney Water's sewerage system. You must wait for approval of this permit before any business activities can commence.

The permit application should be emailed to Sydney Water's Business Customer Services at businesscustomers@sydneywater.com.au

It is illegal to discharge Trade Wastewater into the Sydney Water sewerage system without permission.

A **Boundary Trap** is required for all developments that discharge trade wastewater where arrestors and special units are installed for trade wastewater pre-treatment.

If the property development is for Industrial operations, the wastewater may discharge into a sewerage area that is subject to wastewater reuse. Find out from Business Customer Services if this is applicable to your development.

Backflow Prevention Requirements

Backflow is when there is unintentional flow of water in the wrong direction from a potentially polluted source into the drinking water supply.

All properties connected to Sydney Water's supply must install a testable **Backflow Prevention Containment Device** appropriate to the property's hazard rating. Property with a high or medium hazard rating must have the backflow prevention containment device tested annually. Properties identified as having a low hazard rating must install a non-testable device, as a minimum.

Separate hydrant and sprinkler fire services on non-residential properties, require the installation of a testable double check detector assembly. The device is to be located at the boundary of the property.

Before you install a backflow prevention device:

1. Get your hydraulic consultant or plumber to check the available water pressure versus the property's required pressure and flow requirements.
2. Conduct a site assessment to confirm the hazard rating of the property and its services. Contact PIAS at NSW Fair Trading on **1300 889 099**.

For installation you will need to engage a licensed plumber with backflow accreditation. Visit www.sydneywater.com.au > [Plumbing, building & developing](#) > Plumbing > Backflow prevention to find a plumber.

Water Efficiency Recommendations

Water is our most precious resource and every customer can play a role in its conservation. By working together with Sydney Water, business customers are able to reduce their water consumption. This will help your business save money, improve productivity and protect the environment.

Some water efficiency measures that can be easily implemented in your business are:

- Install water efficiency fixtures to help increase your water efficiency. Visit www.waterrating.gov.au/ to take you to the WELS (Water Efficiency Labelling and Standards (WELS) Scheme
- Consider installing rainwater tanks to capture rainwater runoff, and reusing it, where cost effective. Visit www.sydneywater.com.au > [Plumbing, building & developing](#) > Plumbing > Rainwater tanks
- Install water-monitoring devices on your meter to identify water usage patterns and leaks.
- Develop a water efficiency plan for your business.

It is cheaper to install water efficiency appliances while you are developing than retrofitting them later.

What You Must Do To Get A Section 73 Certificate In The Future

If you obtain development consent for a subdivision from your consent authority (this is usually your local council), they will require you to apply to us for a Section 73 (s73) Certificate. You will need to submit a new application (and pay another application fee) to us for that Certificate by using your current or another Water Servicing Coordinator (WSC).

You will find a list of WSCs on our website. The WSC will be your point of contact with us. They can answer most questions that you might have about the s73 process and developer charges and can give you a quote or information about costs for services and works (including our costs).

You can also find out about this process by visiting the [Plumbing, building & developing](#) page on Sydney Water's website.

Developments where Sydney Water does not have capacity or future servicing plans

For areas not listed on the NSW Government's program, Council strategic plans or on Sydney Water's **Growth Servicing Plan** (available on our website), there may not be capacity or plans to extend or amplify our systems. This may be the case where the area has not been rezoned for urban development or subject to assessment through a planning proposal or State Significant Development Application.

In these circumstances, to progress servicing of your site, the developer would need to carry out an investigation to assess the servicing options to connect to Sydney Water's network. Completion of this work would ultimately deliver a preferred servicing report for the entire development area.

If you choose to proceed with Sydney Water as the water related service provider for your development, we may work with you and your service providers under an appropriate agreement to complete the following steps to our requirements:

- Planning including hydraulic modelling
- Concept design
- Delivery (detailed design and construction)
- Handover of assets to Sydney Water including compliance testing

No warranties or assurances can be given about the suitability of this feasibility letter or any of its provisions for any specific transaction. This feasibility letter does not constitute an approval from us and to the extent that it is able, we limit its liability to the reissue of this letter or the return of your application fee. You should rely on your own independent professional advice.

END OF LETTER



Arcadis Australia Pacific Pty Ltd

On the Lands of the Gadigal
Level 15, 580 George Street
Sydney NSW 2000

www.arcadis.com