

NOTES

- 1. DIMENSIONS AND AREAS HAVE BEEN CHECKED FROM PLANS AND AVAILABLE AT THE TIME AND ARE SUBJECT TO FIELD SURVEY.
- 2. CONTIGUOUS EASEMENTS ARE AN INDICATION OF THE YOUNG/OLD/NEW AND SHOULD ONLY BE USED FOR PLANNING PURPOSES. A DETAILED DESIGN IS TO BE UNDERTAKEN.
- 3. THE SCALE OF THE PLAN, RELATIONSHIP OF IMPROVEMENTS AND THE LOCATION OF EASEMENTS IS SUBJECT TO FIELD SURVEY AND SHOULD BE CONFIRMED BY A MURDER SURVEY.
- 4. THE SERVICE SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON SURFACE INDICATORS EXISTENT AT THE DATE OF SURVEY. DURING FIELD SURVEY, A CHECK IS TO BE MADE TO THE POSITION & NATURE OF THE SERVICE.
- 5. THE POSITIONS OF ANY UNDERGROUND SERVICES, INCLUDING THREE OFFICE CABLES, HAVE NOT BEEN DETERMINED.
- 6. ONLY STORY YOU DO NOT SEARCH HAS BEEN UNDERTAKEN. CONTACT WAS MADE WITH YOU DO NOT IN THE AREA PRIOR TO UNDERTAKING WORK ON SITE.
- 7. SEARCH INDICATES NO UNDERGROUND SERVICES ADJACENT TO PROPERTY.
- 8. DETAIL SURVEY PREPARED BY LAND PARTNERS DATED 01/02/06.
- 9. DETAIL SURVEY VALIDATED BY PROUST & GARDNER CONSULTING PTY LTD.



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 8506**

granted on the **16/8/18** DP 262886

Signed **[Signature]**

Sheet No. **1** of **61**

PM 54819
RL 48.677 AHD

LOT 47
DP 262886

LOT 25
DP 262886

LOT 24
10.79 ha
DP 262886

LOT 23
10.69 ha
DP 262886

LOT 21
DP 262886

LOT 22
DP 262886

LOT 48
DP 262886

TRENCH WITH POSSIBLE
WATER MAIN
(NO EASEMENT)

WATER METER
ADJACENT TO BOUNDARY
& LOCATED ON LOT 47

PROUST & GARDNER
CONSULTING PTY LIMITED
SURVEYORS & PLANNERS

406 Pacific Highway
PO Box 132
Lindfield NSW 2070
Tel: 9416 1335
Fax: 9416 3845
Email: png@png.com.au

Filename: Y:\Nasir\projects\2326 Lot 23 Hollingsworth Marsden Park\Drawings\Final Detail Survey.dwg

DETAIL SURVEY PLAN

LOT 23-24 IN DP 262886
HOLLINGSWORTH ROAD
MARSDEN PARK

Scale: 1:1250 @ A1 Date: 08/08/2014 Plan No.: 23326-DETAIL Issue: A

Client: EJC



NSW GOVERNMENT
Planning

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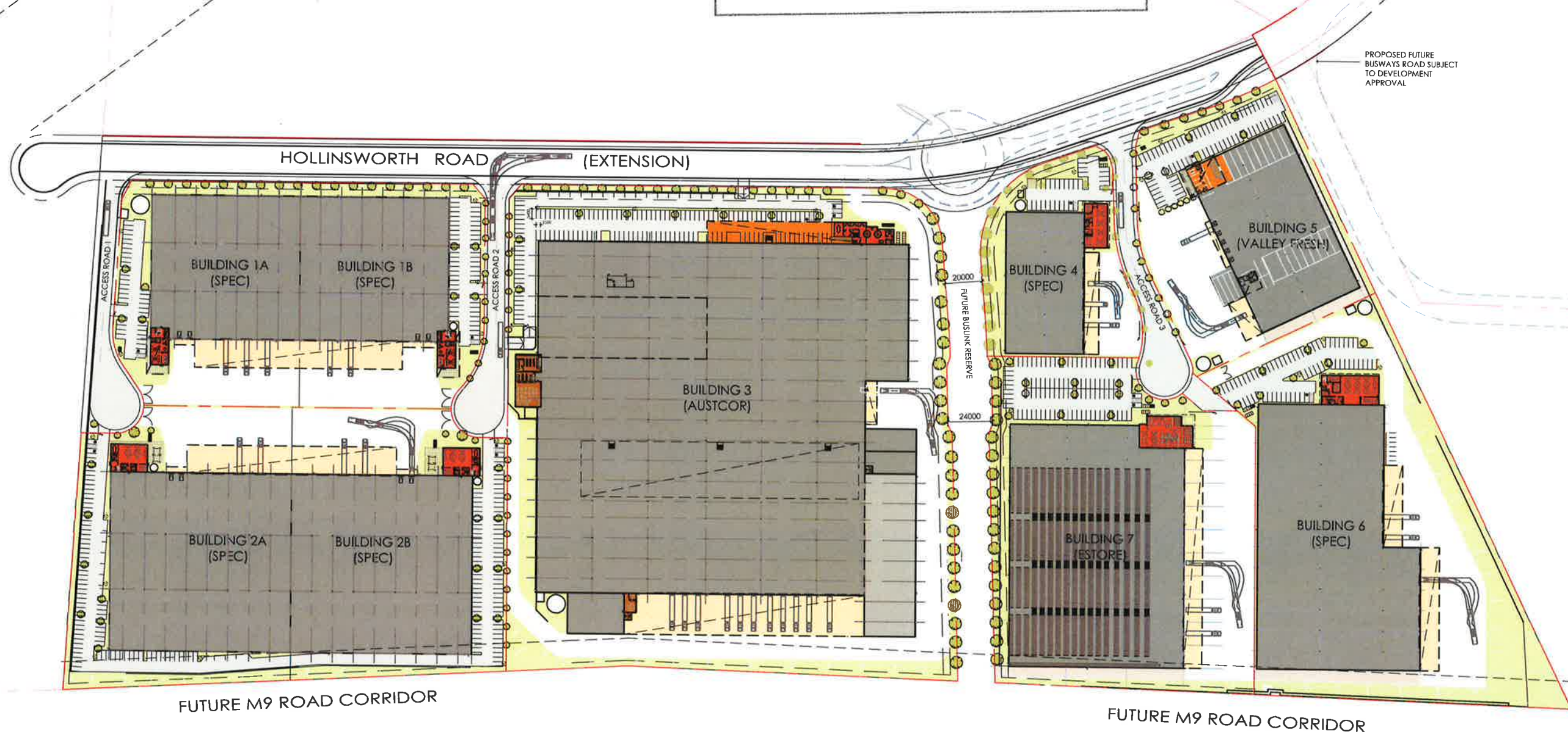
Approved Application No. SSD 8606

granted on the 16/8/18

Signed [Signature]

Sheet No. 2 of 61

STONE CREEK - INGENIA PARK



PROPOSED FUTURE
BUSWAYS ROAD SUBJECT
TO DEVELOPMENT
APPROVAL

ESTATE MASTERPLAN AREA SCHEDULE

Total Site Area	214,805 sqm
Less:	
Hollinsworth Road Widening	1,120 sqm
Hollinsworth Road Extension	10,641 sqm
Common Access Road 1	2,403 sqm
Common Access Road 2	2,351 sqm
Common Access Road 3	2,617 sqm
Bus Link Reserve Lot	5,734 sqm
Total Developable Area	189,939 sqm
BUILDING 1A (SPEC)	
Site Area	11,761 sqm
Warehouse Area	6,225 sqm
Office (2 Levels) Area	500 sqm
Total Building Area	6,725 sqm
Carparking Provided	34
BUILDING 1B (SPEC)	
Site Area	11,761 sqm
Warehouse Area	6,245 sqm
Office (2 Levels) Area	500 sqm
Total Building Area	6,745 sqm
Carparking Provided	50
BUILDING 2A (SPEC)	
Site Area	17,277 sqm
Warehouse Area	9,440 sqm
Office (2 Levels) Area	625 sqm
Total Building Area	10,065 sqm
Carparking Provided	92
BUILDING 2B (SPEC)	
Site Area	16,363 sqm
Warehouse Area	9,440 sqm
Office (2 Levels) Area	625 sqm
Total Building Area	10,065 sqm
Carparking Provided	72
BUILDING 3 (AUSTCOR)	
Site Area	62,453 sqm
Warehouse Area	39,530 sqm
Office Area	2,333 sqm
Total Building Area	41,863 sqm
Carparking Provided	165
BUILDING 4 (SPEC)	
Site Area	7,815 sqm
Warehouse Area	3,263 sqm
Office (1 Level) Area	300 sqm
Total Building Area	3,563 sqm
Carparking Provided	28
BUILDING 5 (VALLEY FRESH)	
Site Area	13,076 sqm
Warehouse Area	5,924 sqm
Office (2 Levels) Area	300 sqm
Total Building Area	6,224 sqm
Carparking Provided	66
BUILDING 6 (SPEC)	
Site Area	25,560 sqm
Warehouse Area	11,140 sqm
Office (2 Levels) Area	1,000 sqm
Total Building Area	12,140 sqm
Carparking Provided	59
BUILDING 7 (ESTORE)	
Site Area	23,873 sqm
Warehouse Area	12,065 sqm
Office (1 Level) Area	450 sqm
Total Building Area	12,515 sqm
Carparking Provided	97
Total Warehouse Area	103,272 sqm
Total Office Area	6,633 sqm
Total Building Area	109,905 sqm
Site Efficiency	58%

CARPARKING REQUIREMENTS

DCP Council Requirements:	
Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm
Total Carparking Required	1163 spaces

Cars Required:	
Based off RMS Rates & Marketing Parking Proposal (Refer Traffic Report)	
Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm
Total Carparking Required	527 spaces
Total Carparking Provided	663 spaces

Drawing Title	ESTATE MASTERPLAN PLAN
Project Number	1706
Drawing Number	LG MAR DA01
Rev	D
Status	DEVELOPMENT APPLICATION

1 ESTATE MASTERPLAN PLAN
1:2500

Architect

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www.watchthisspacedesign.com

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Amendments

A	Amended Building 4-7 Lots and Access Rd 3	08.11.17
B	Added future Busways road	10.11.17
C	Amended access to Buildings 4 & 5	14.11.17
D	Amended buslink reserve, bike parking & lighting	06.03.18



Client	LOGOS
Project	Lot 23 & 24 Hollinsworth Road Marsden Park NSW 2765
Drawn	TT
Scale	1:2500 @ A3
Checked	PM
Date	OCT 2017
Approved	PM



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **550 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **3** of **61**

STONE CREEK - INGENIA PARK

STAGE 1	BUILDING 5 & BUILDING 7: CONSTRUCTION COMMENCE APR. 2018, LEASE COMMENCE OCT. 2018
STAGE 2	BUILDING 4 & BUILDING 6: CONSTRUCTION COMMENCE OCT. 2018, LEASE COMMENCE MAY. 2019
STAGE 3	BUILDING 3: CONSTRUCTION COMMENCE APR. 2019, LEASE COMMENCE JAN. 2020
STAGE 4	BUILDING 1 & BUILDING 2: CONSTRUCTION COMMENCE OCT. 2019, LEASE COMMENCE JUN. 2020

ESTATE MASTERPLAN AREA SCHEDULE

Total Site Area	214,805 sqm
Less:	
Hollinsworth Road Widening	1,120 sqm
Hollinsworth Road Extension	10,641 sqm
Common Access Road 1	2,403 sqm
Common Access Road 2	2,351 sqm
Common Access Road 3	2,617 sqm
Bus Link Reserve Lot	5,734 sqm

Total Developable Area 189,939 sqm

BUILDING 1A (SPEC)	
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Total Building Area	6,745 sqm
Carparking Provided	50
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Carparking Provided	92
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Warehouse Area	9,440 sqm
Office (2 Levels) Area	625 sqm
Total Building Area	10,065 sqm
Carparking Provided	72
BUILDING 3 (AUSTCOR)	
Site Area	62,453 sqm
Warehouse Area	39,530 sqm
Office Area	2,333 sqm
Total Building Area	41,863 sqm
Carparking Provided	165
BUILDING 4 (SPEC)	
Site Area	7,815 sqm
Warehouse Area	3,263 sqm
Office (1 Level) Area	300 sqm
Total Building Area	3,563 sqm
Carparking Provided	28
BUILDING 5 (VALLEY FRESH)	
Site Area	13,076 sqm
Warehouse Area	5,924 sqm
Office (2 Levels) Area	300 sqm
Total Building Area	6,224 sqm
Carparking Provided	66
BUILDING 6 (SPEC)	
Site Area	25,560 sqm
Warehouse Area	11,140 sqm
Office (2 Levels) Area	1,000 sqm
Total Building Area	12,140 sqm
Carparking Provided	59
BUILDING 7 (ESTORE)	
Site Area	23,873 sqm
Warehouse Area	12,065 sqm
Office (1 Level) Area	450 sqm
Total Building Area	12,515 sqm
Carparking Provided	97

Total Warehouse Area 103,272 sqm
Total Office Area 6,633 sqm

Total Building Area 109,905 sqm
Site Efficiency 58%

CARPARKING REQUIREMENTS

DCP Council Requirements:

Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm

Total Carparking Required 1163 spaces

Cars Required:

Based off RMS Rates & Marketing
Parking Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm

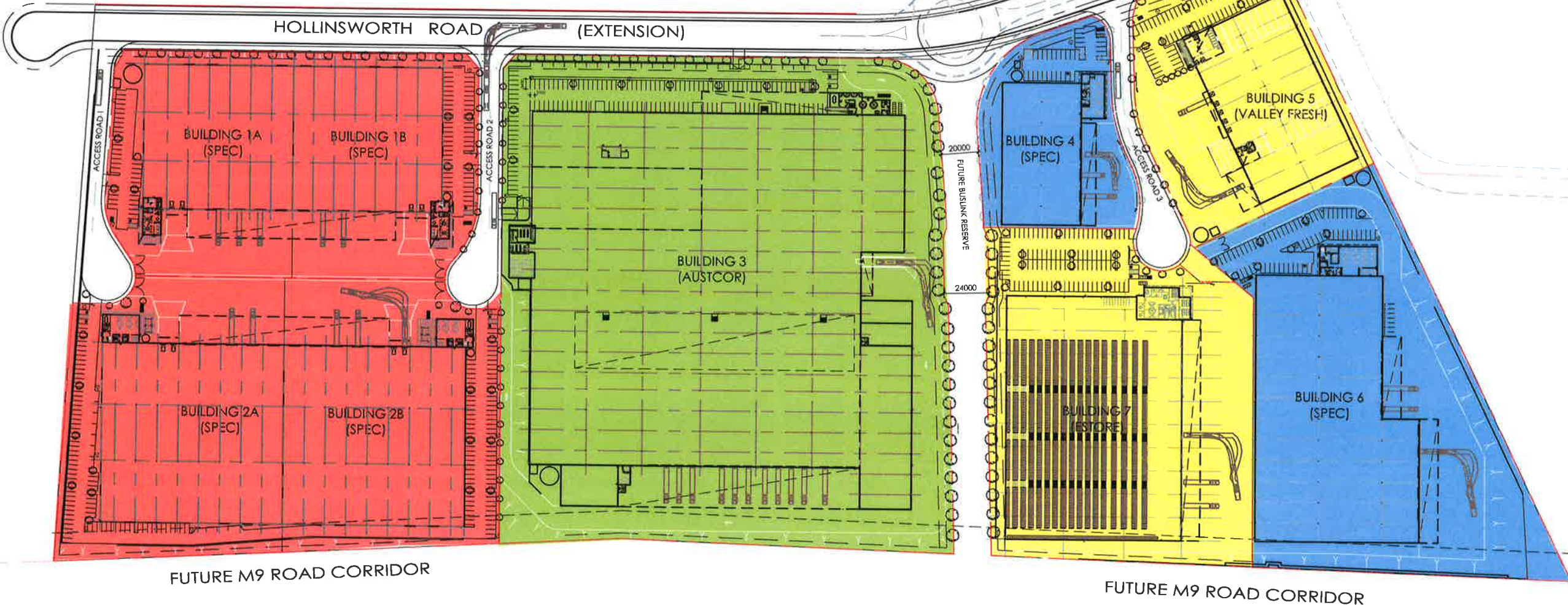
Total Carparking Required 527 spaces

Total Carparking Provided 663 spaces

Drawing Title STAGING MASTERPLAN

Project Number 1706
Drawing Number LG MAR DA02
Rev B

Status
DEVELOPMENT APPLICATION



1 ESTATE MASTERPLAN PLAN
1:2500

Architect

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Amendments

A	Preliminary Issue	08.11.17
B	Amended buslink reserve, bike parking & lighting	06.03.18



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:2500 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title STAGING MASTERPLAN

Project Number 1706
Drawing Number LG MAR DA02
Rev B

Status
DEVELOPMENT APPLICATION

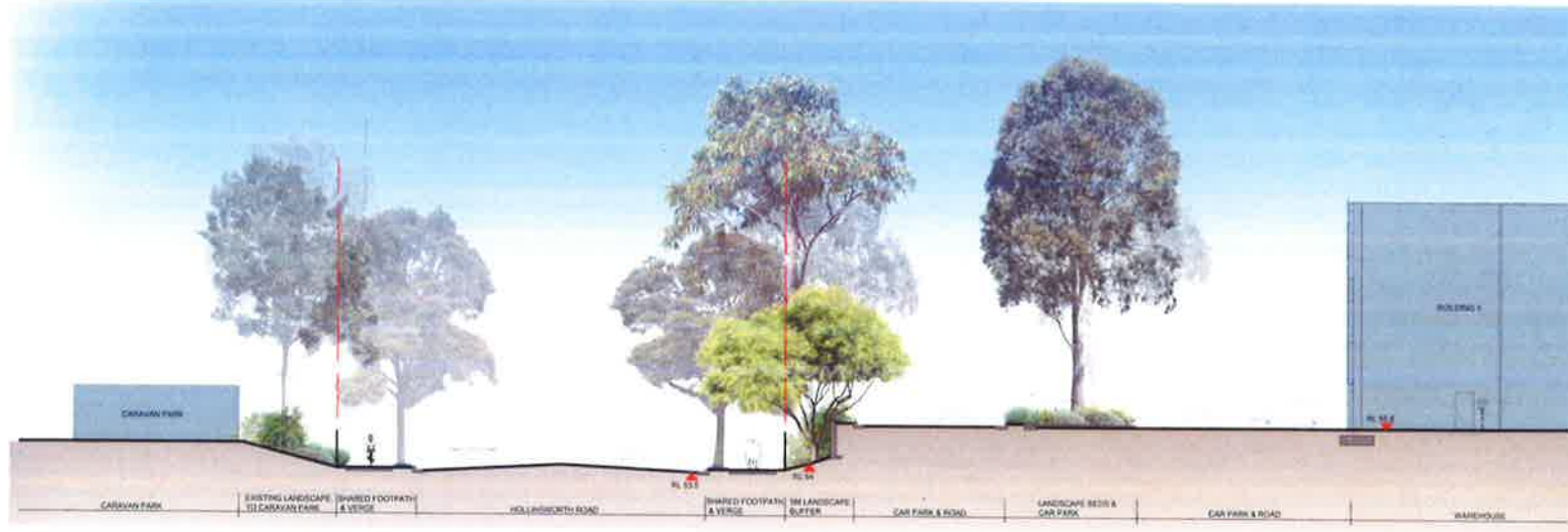


IMAGE 1 - SECTION THROUGH THE NORTHERN HOLLINSWORTH ROAD BUFFER (BUILDING 3)



IMAGE 2 - SECTION THROUGH THE NORTHERN HOLLINSWORTH ROAD BUFFER (BUILDING 5)



IMAGE 3 - SECTION THROUGH EAST BOUNDARY (BUILDING 6)

NOTE: STREET SECTIONS PREPARED BY LANDSCAPE ARCHITECT - REFER LANDSCAPE DESIGN REPORT NOV. 2017 (GEOSCAPES)

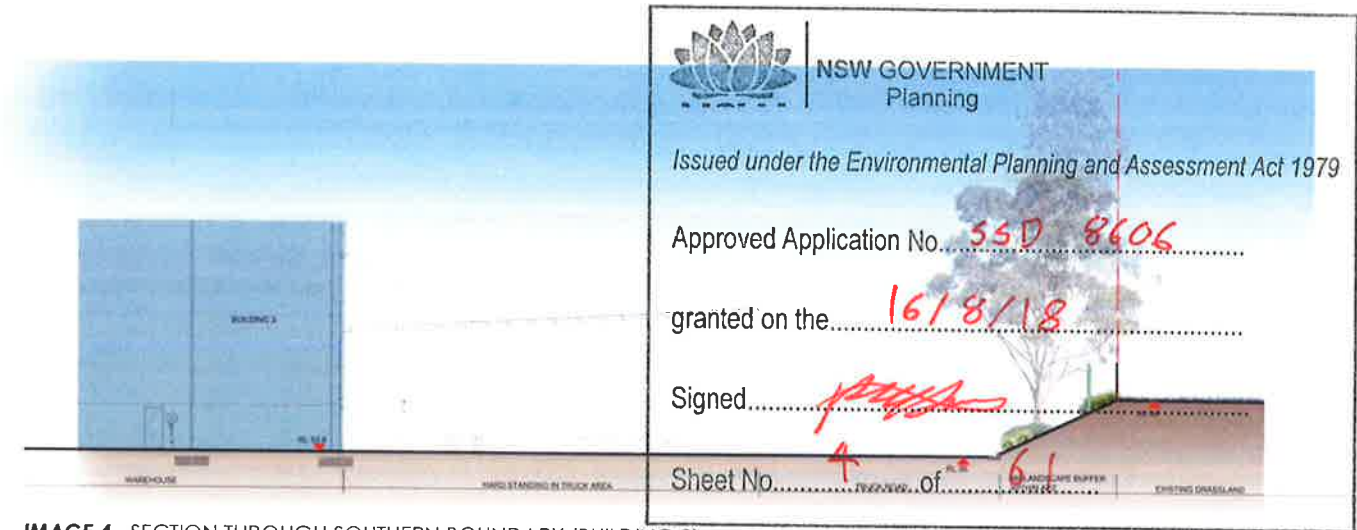


IMAGE 4 - SECTION THROUGH SOUTHERN BOUNDARY (BUILDING 3)

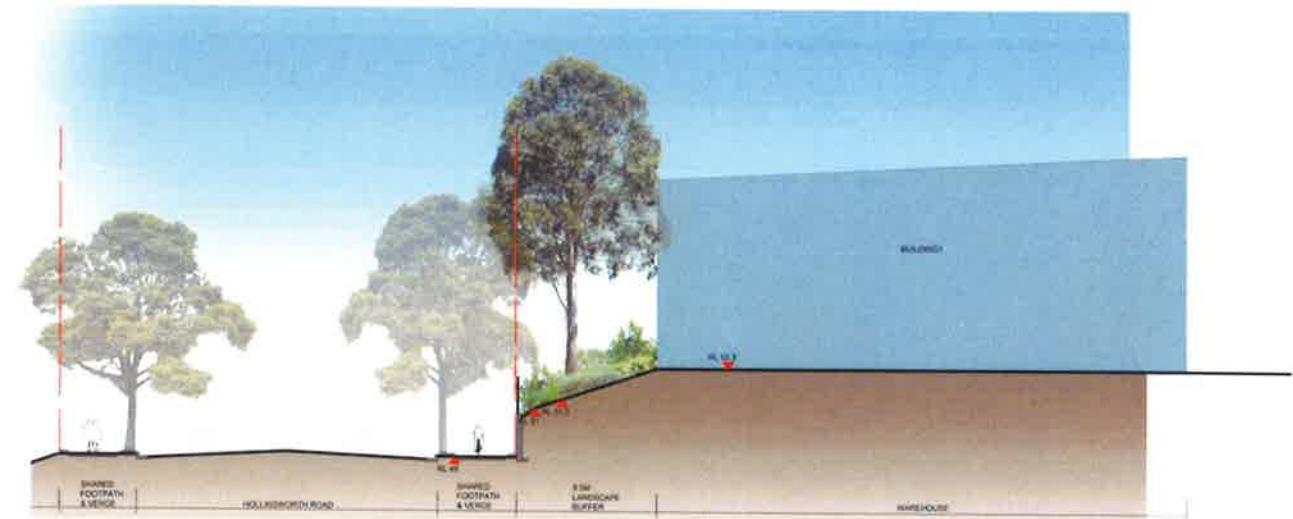


IMAGE 5 - SECTION THROUGH THE HOLLINSWORTH ROAD BUFFER (BUILDING 1)



IMAGE 6 - SECTION THROUGH WESTERN BOUNDARY (BUILDING 2A)



NSW GOVERNMENT
Planning

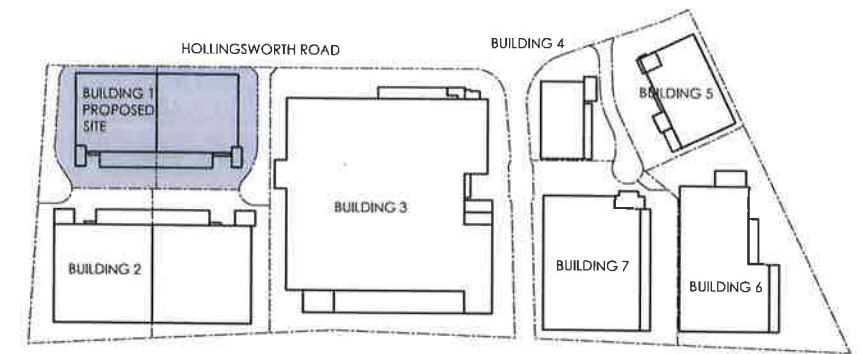
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Approved Application No. **SSD 8606**

granted on the **16/8/18**

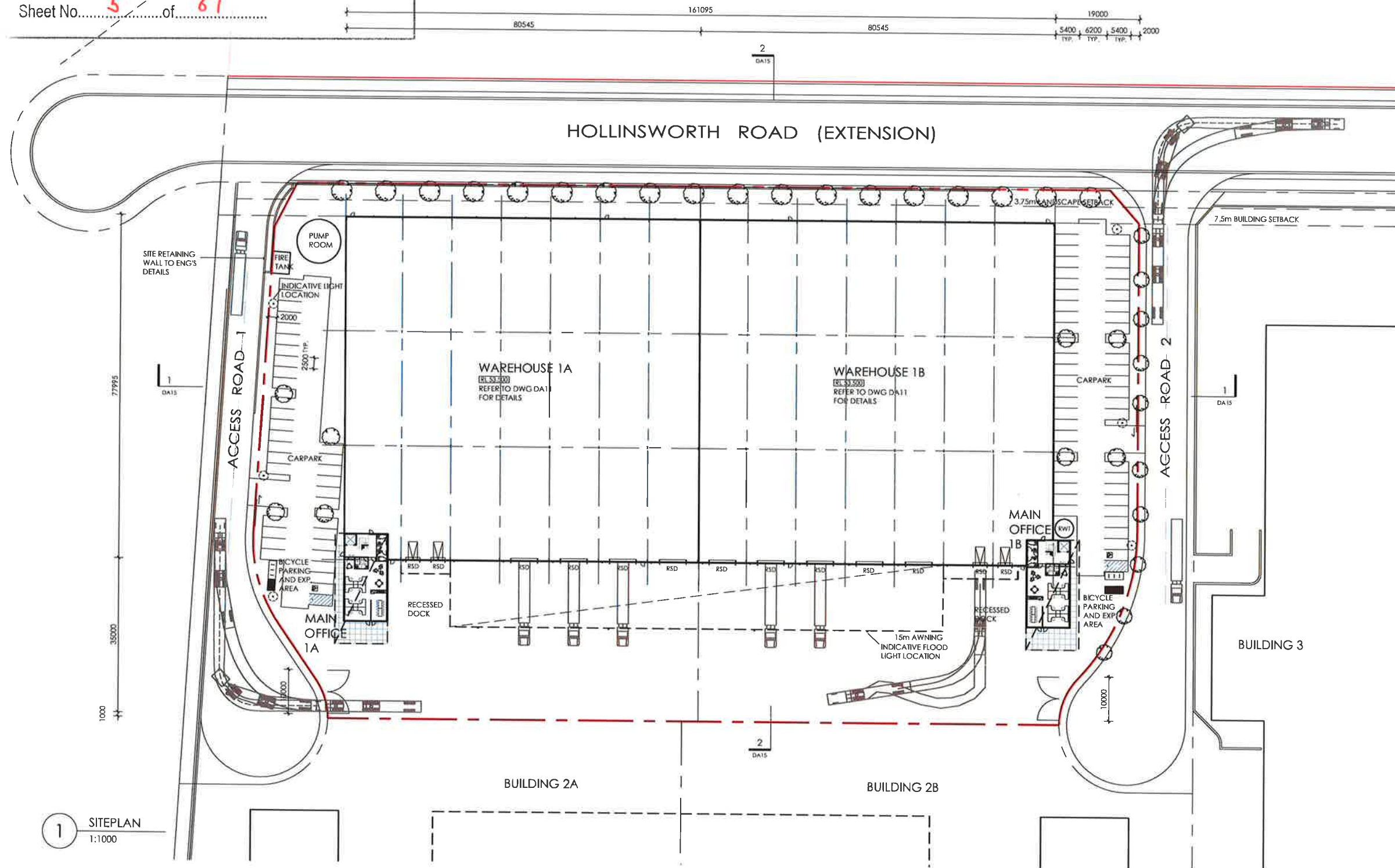
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Sheet No. **5** of **61**



ESTATE MASTERPLAN PLAN
NTS

HOLLINSWORTH ROAD (EXTENSION)



BUILDING 1A AREA SCHEDULE

Site Area	11,761 sqm
Warehouse Area	6,225 sqm
Office (2 Levels) Area	500 sqm
Total Building Area	6,725 sqm
Total Awning Area	879 sqm
Heavy Duty Pavement Area	2,591 sqm
Light Duty Pavement Area	997 sqm
Carparking Provided	34

BUILDING 1B AREA SCHEDULE

Site Area	11,761 sqm
Warehouse Area	6,245 sqm
Office (2 Levels) Area	500 sqm
Total Building Area	6,745 sqm
Total Awning Area	884 sqm
Heavy Duty Pavement Area	2,688 sqm
Light Duty Pavement Area	1,247 sqm
Carparking Provided	50

CARPARKING REQUIREMENTS

DCP Council Requirements:	
Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm

Total Carparking Required 193 spaces

Cars Required:

Based off RMS Rates & Marking
Parking Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm

Total Carparking Required 72 spaces

Total Carparking Provided 84 spaces

1 SITEPLAN
1:1000

Architect

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Amendments

A	Preliminary Issue	14.11.17
B	Bike parking and indicative light amendments	06.03.18

LOGOS

Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:1000 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 1A & 1B: SITEPLAN

Project Number	Drawing Number	Rev
1706	LG MAR DA10	B

Status
DEVELOPMENT APPLICATION



NSW GOVERNMENT
Planning

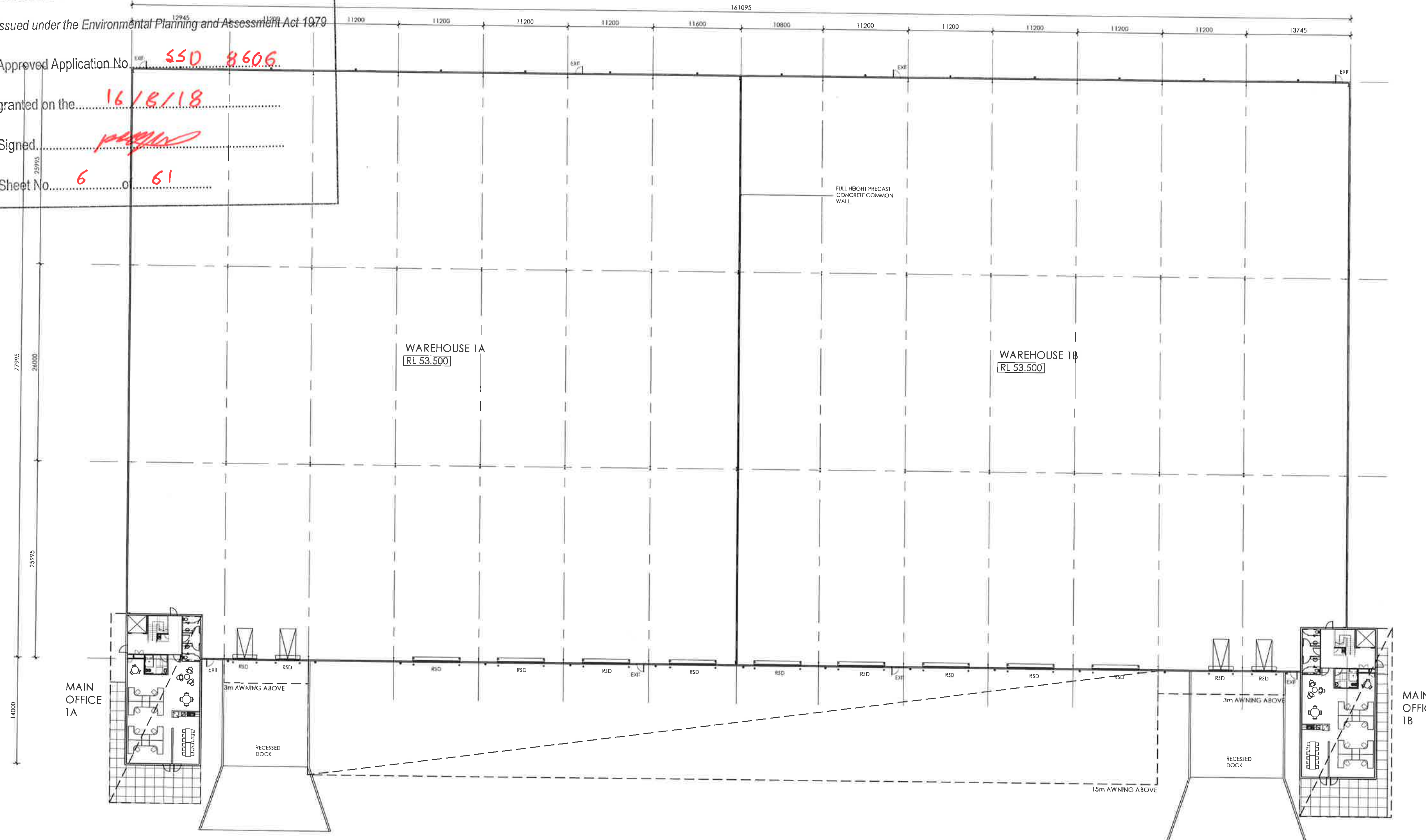
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Approved Application No. **550 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **6** of **61**



1 WAREHOUSE PLAN
1:500

Architect

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Amendments

A Preliminary Issue

14.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 1A & 1B: WAREHOUSE PLAN

Project Number
1706
Drawing Number
LG MAR DA11
Rev
A

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

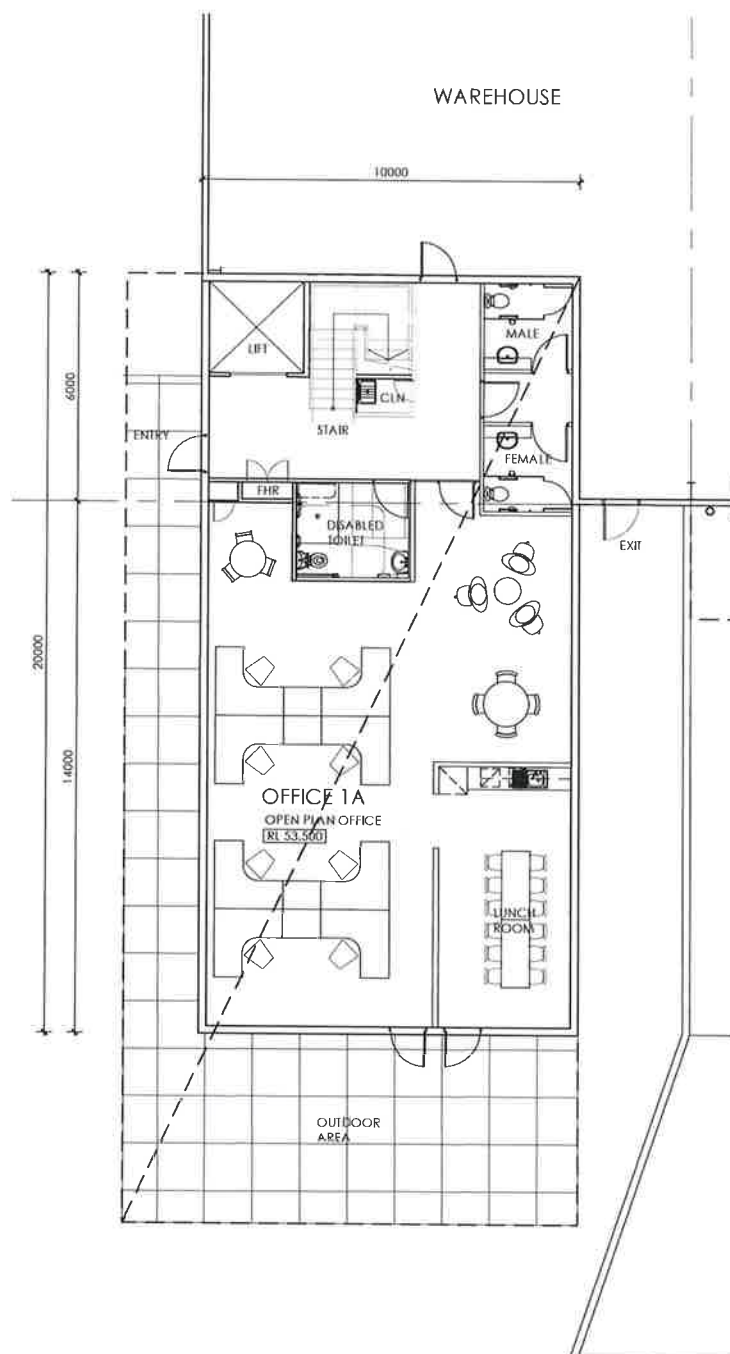
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Approved Application No. **55D 8606**

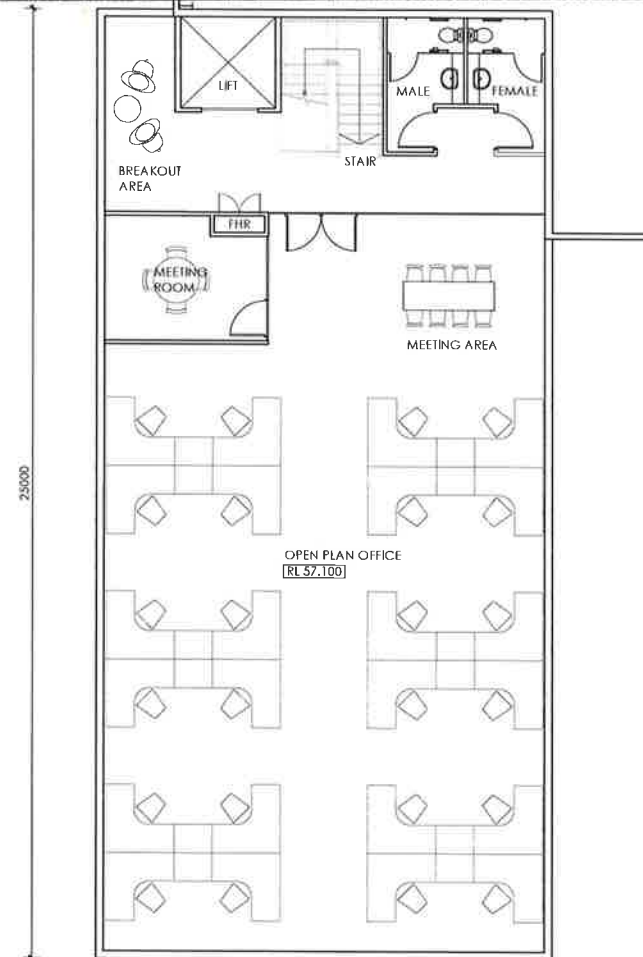
granted on the **16/8/18**

Signed **[Signature]** WAREHOUSE BELOW

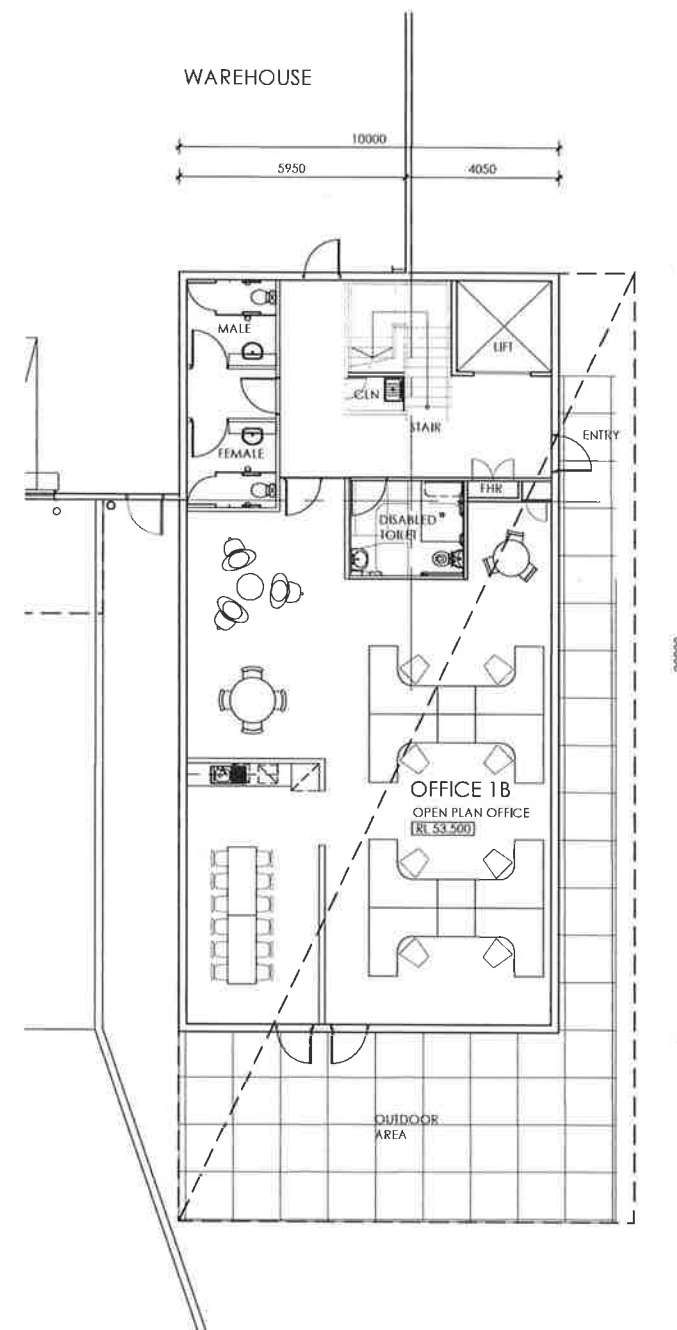
Sheet No. **7** of **61**



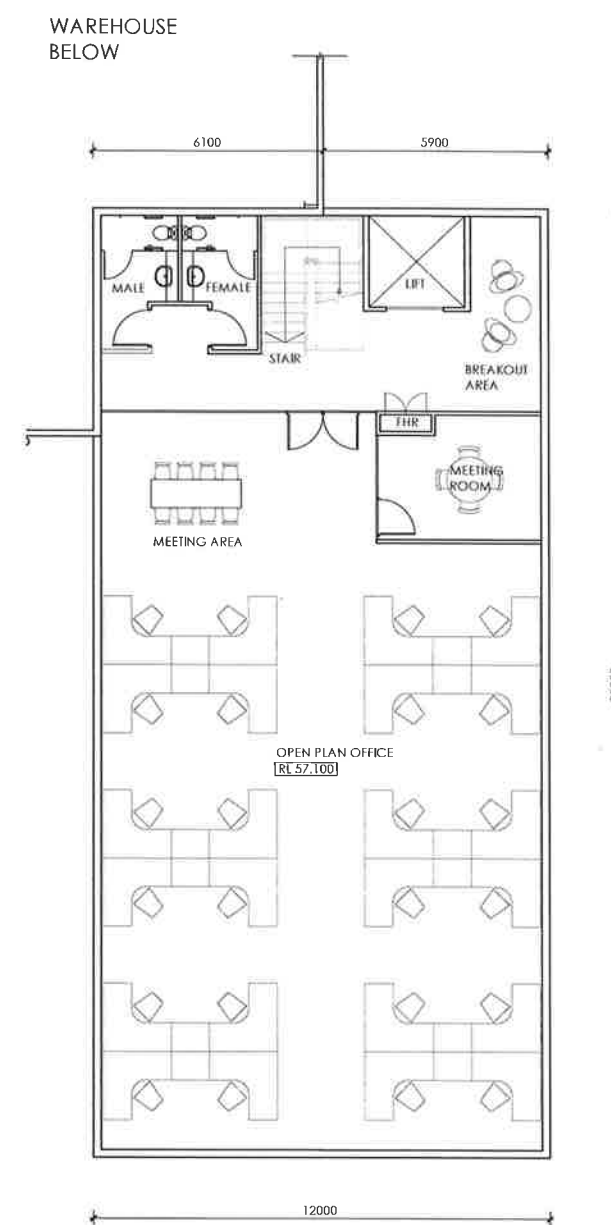
1 MAIN OFFICE 1A - GROUND FLOOR PLAN
1:200



2 MAIN OFFICE 1A - LEVEL 2 PLAN
1:200



3 MAIN OFFICE 1B - GROUND FLOOR PLAN
1:200



4 MAIN OFFICE 1B - LEVEL 2 PLAN
1:200

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Amendments

A Preliminary Issue

14.11.17

LOGOS

Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

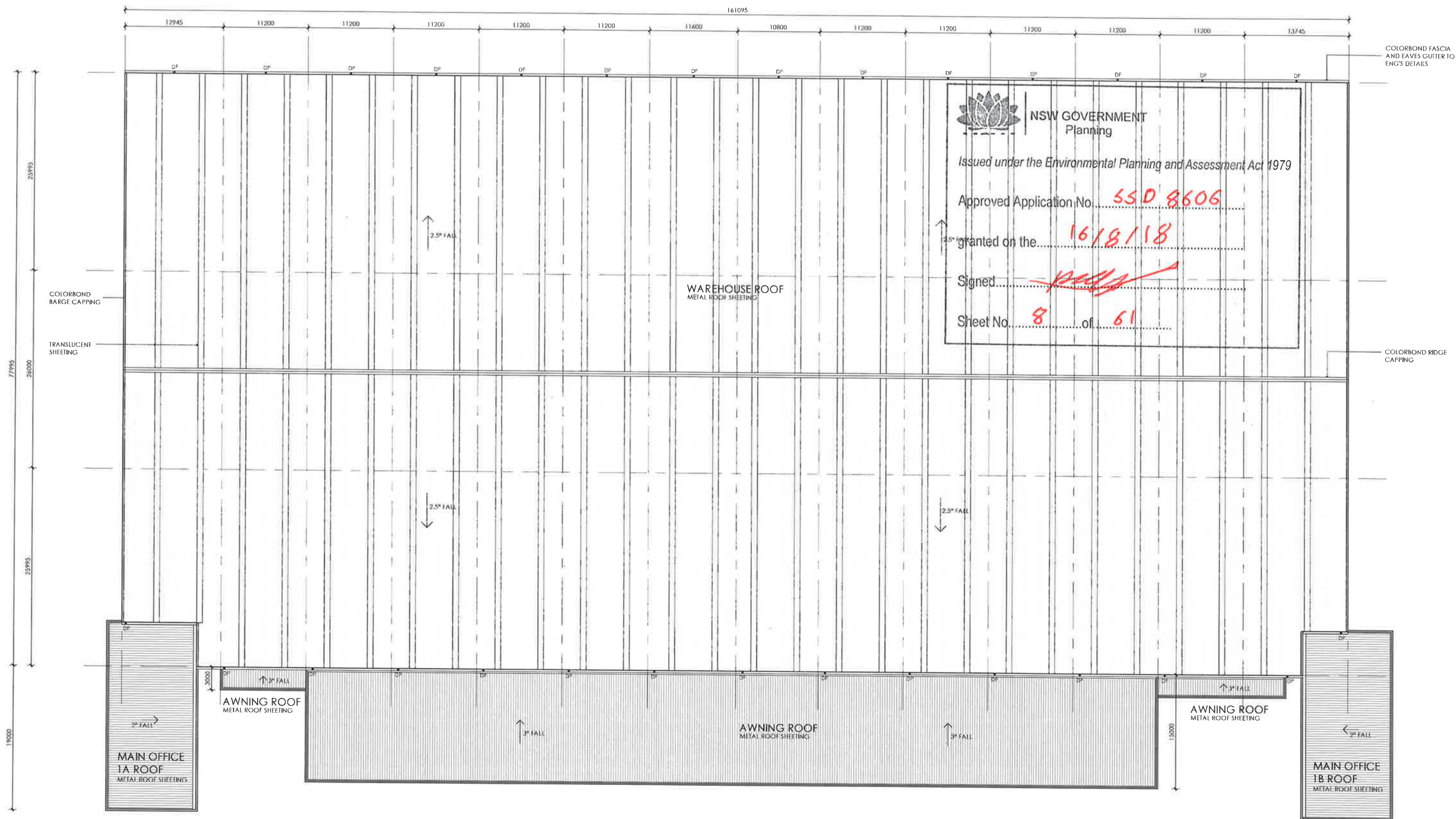
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Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 1A & 1B: OFFICE PLANS

Project Number
1706
Drawing Number
LG MAR DA12
Rev
A

Status
SUBMITTAL APPLICATION





1 ROOF PLAN
1:500

Architect

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Amendments

A Preliminary Issue

14.11.12



Client
 LOGOS
 Project
 Lot 23 & 24 Hollinsworth Road
 Marsden Park NSW 2765

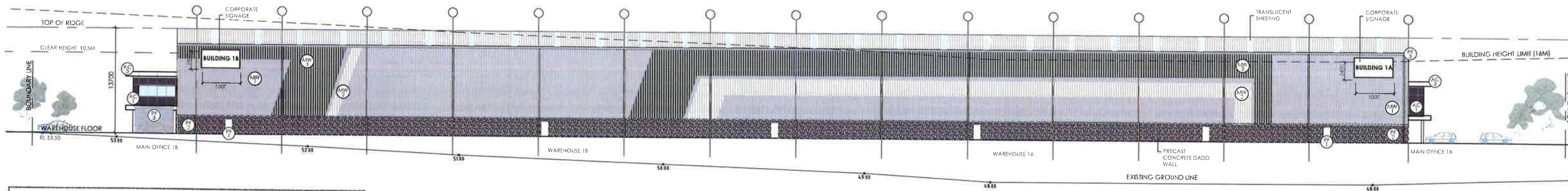
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 TT
 Scale
 Checked
 PM
 Date
 Approved
 PM

Drawing Title
 BUILDING 1A & 1B: ROOF PLAN

Project Number
 1706
 Drawing Number
 LG MAR DA13
 Rev
 A

Status
 PRELIMINARY





NORTH ELEVATION
1:500
NSW GOVERNMENT
Planning

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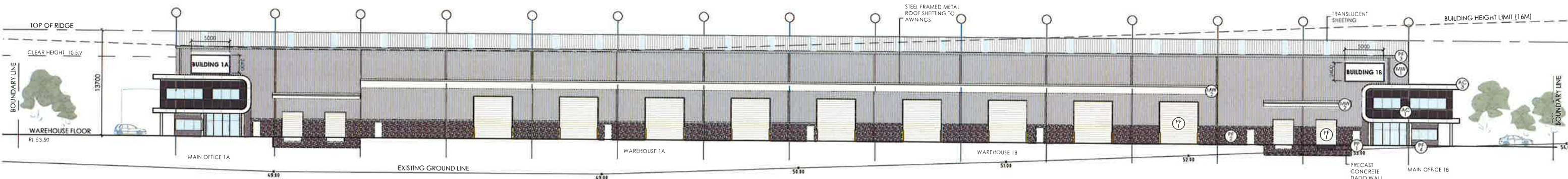
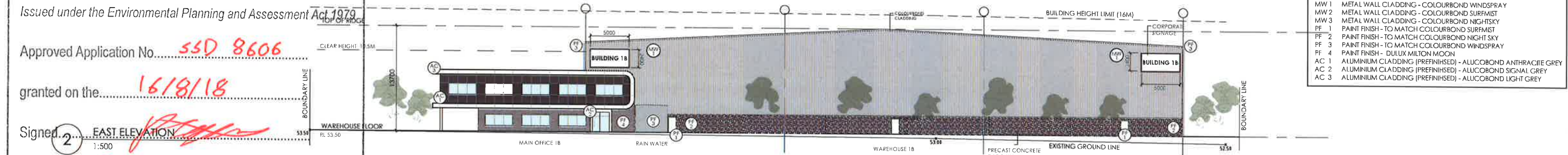
Approved Application No. **SSD 8606**

granted on the **16/8/18**

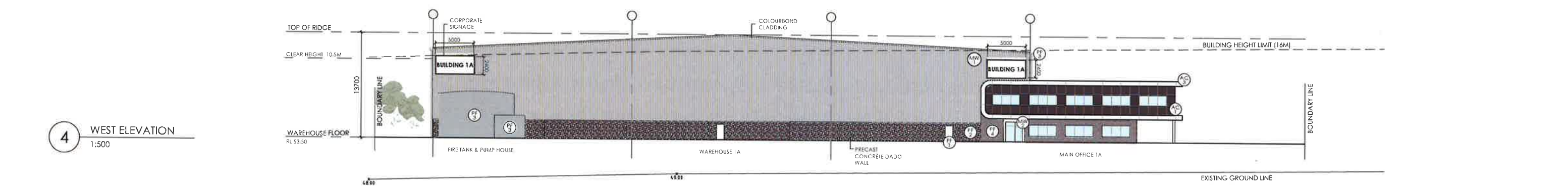
Signed **2** EAST ELEVATION

Sheet No. **9** of **61**

MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
MW 3	METAL WALL CLADDING - COLOURBOND NIGHTSKY
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHTSKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND LIGHT GREY



3 SOUTH ELEVATION
1:500



4 WEST ELEVATION
1:500

Architect

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Amendments

A Preliminary Issue
B Amended Northern Elevation

14.11.17
06.03.18

LOGOS

Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:500 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 1A & 1B: ELEVATIONS

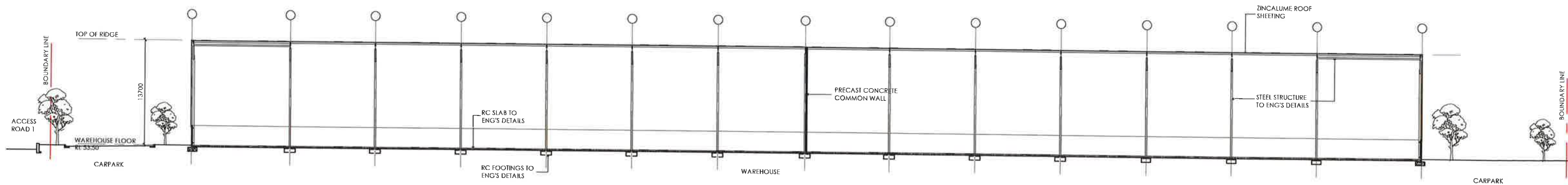
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Drawing Number
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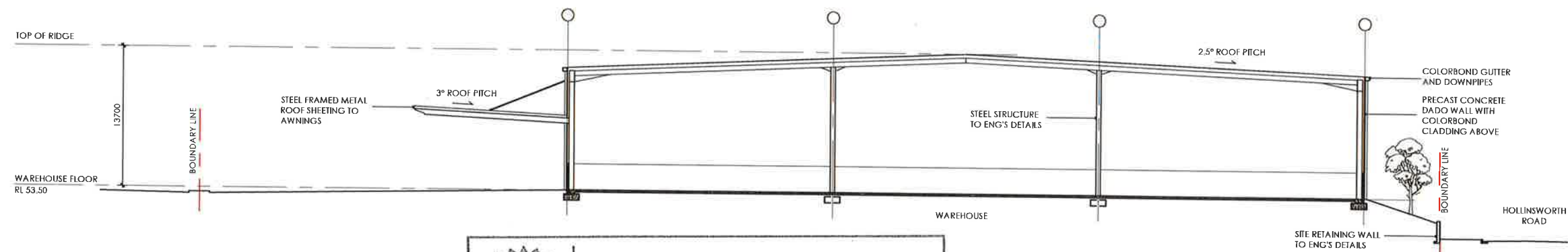
Rev
B

Status
DEVELOPMENT APPLICATION

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1 SECTION
1:500



2 SECTION
1:500



NSW GOVERNMENT
Planning

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Approved Application No. SSD 8606

granted on the 16/8/18

Signed [Signature]

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Architect

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Amendments

A Preliminary Issue

15.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 1A & 1B: SECTIONS

Project Number
1706
Drawing Number
LG MAR DA15
Rev
A

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

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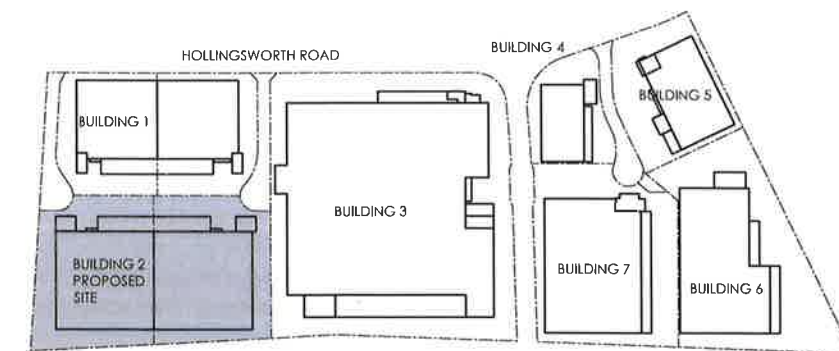
Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **11** of **61**
BUILDING 1A

2
DA25



ESTATE MASTERPLAN PLAN
NTS

BUILDING 2A AREA SCHEDULE

Site Area	17,277 sqm
Warehouse Area	9,440 sqm
Office (2 Levels) Area	625 sqm
Total Building Area	10,065 sqm
Total Awning Area	880 sqm
Heavy Duty Pavement Area	2,537 sqm
Light Duty Pavement Area	2,657 sqm
Carparking Provided	87

BUILDING 2B AREA SCHEDULE

Site Area	16,363 sqm
Warehouse Area	9,440 sqm
Office (2 Levels) Area	625 sqm
Total Building Area	10,065 sqm
Total Awning Area	880 sqm
Heavy Duty Pavement Area	2,592 sqm
Light Duty Pavement Area	2,432 sqm
Carparking Provided	77

CARPARKING REQUIREMENTS

DCP Council Requirements:

Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm

Total Carparking Required 252 spaces

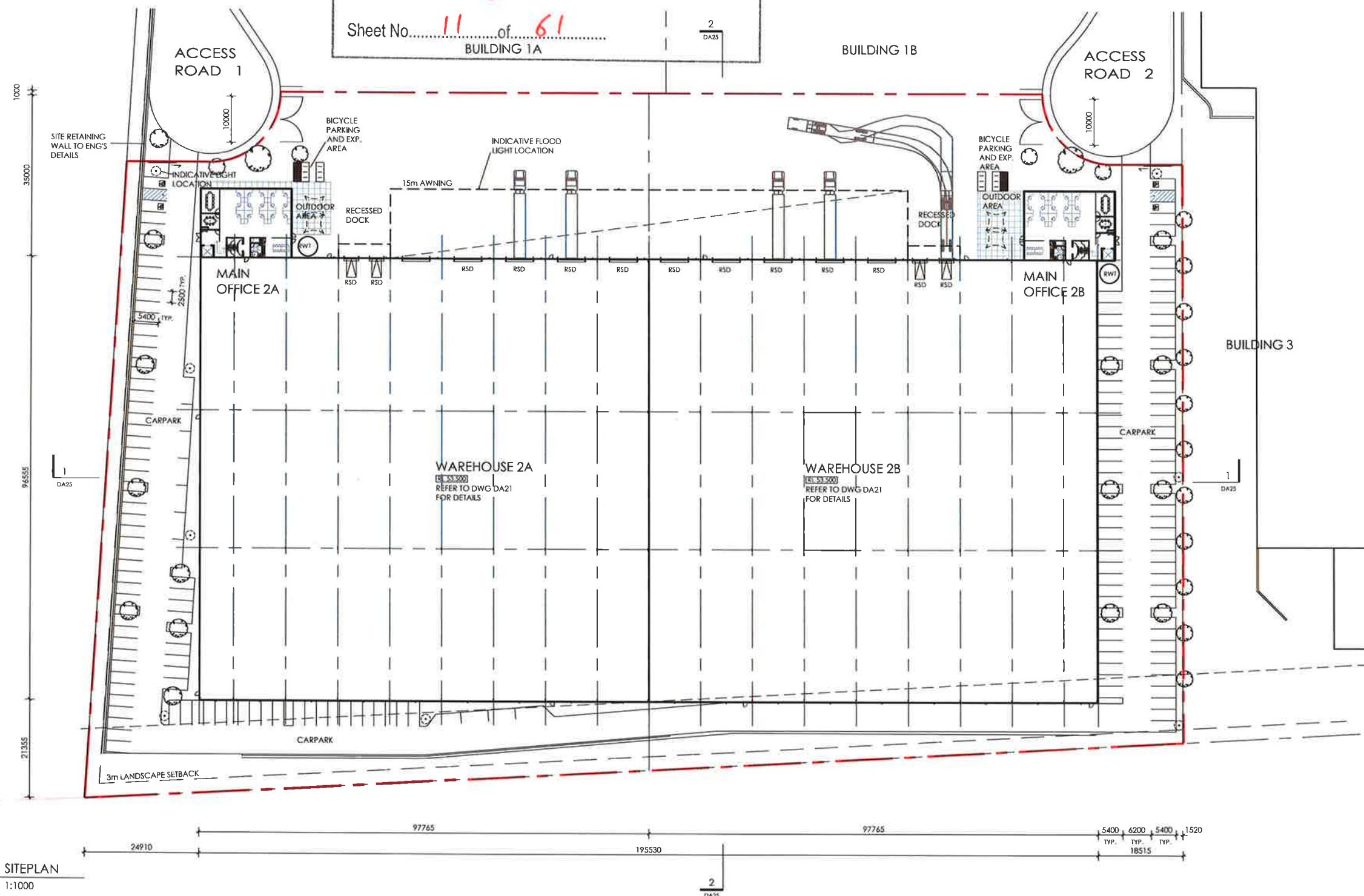
Cars Required:

Based off RMS Rates & Marketing
Paving Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm

Total Carparking Required 100 spaces

Total Carparking Provided 164 spaces



1 SITEPLAN
1:1000

2
DA25

Architect

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Amendments

A	Preliminary Issue	14.11.17
B	Bike parking and indicative light amendments	06.03.18



Client
LOGOS

Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:1000 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 2A & 2B: SITEPLAN

Project Number Drawing Number Rev
1706 LG MAR DA20 B

Status
DEVELOPMENT APPLICATION



1 WAREHOUSE PLAN
1:600

Architect

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Amendments

A Preliminary Issue

14.11.17



Client
LOGOS

Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

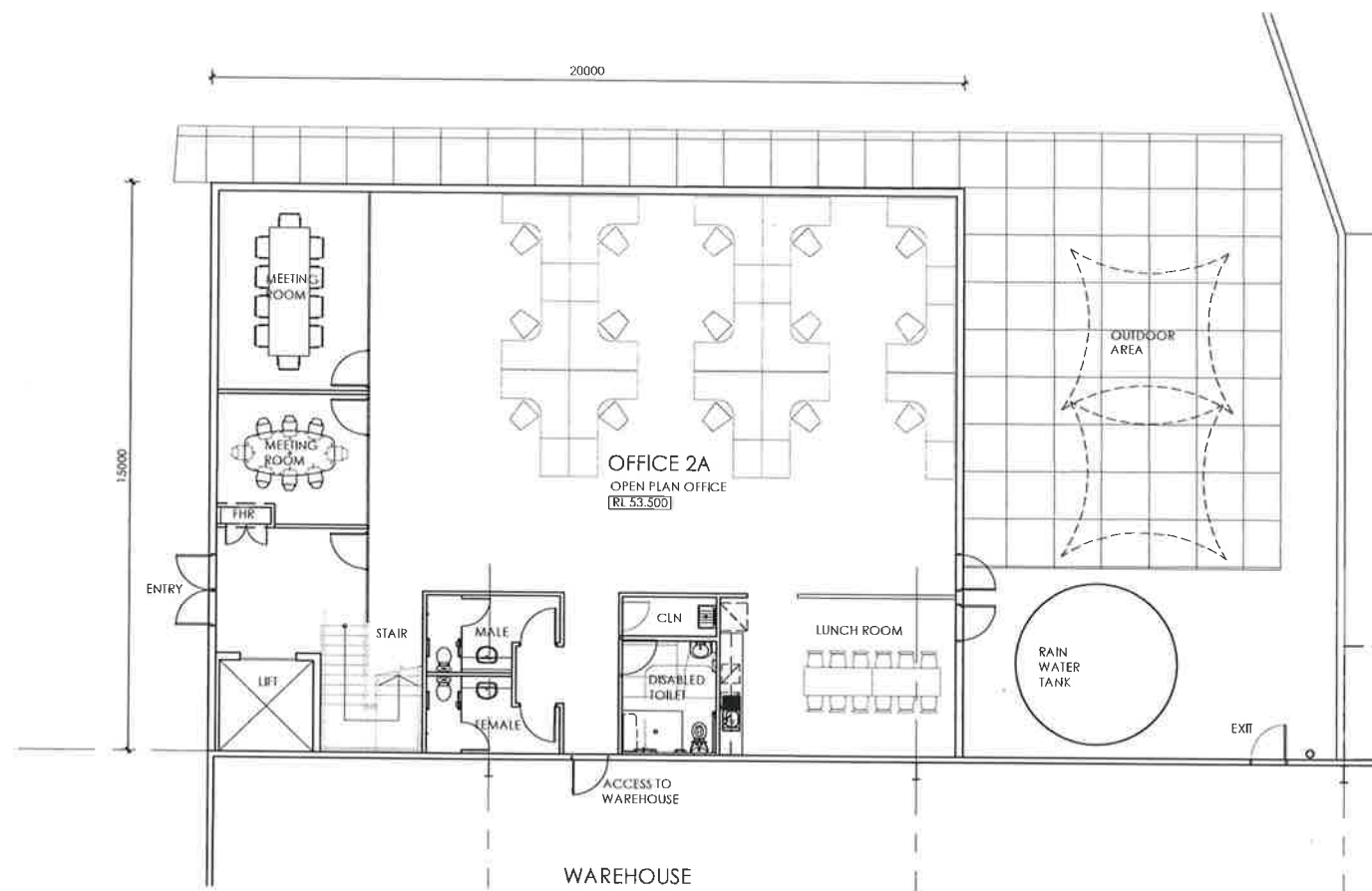
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BUILDING 2A & 2B: WAREHOUSE PLAN

Project Number
1706

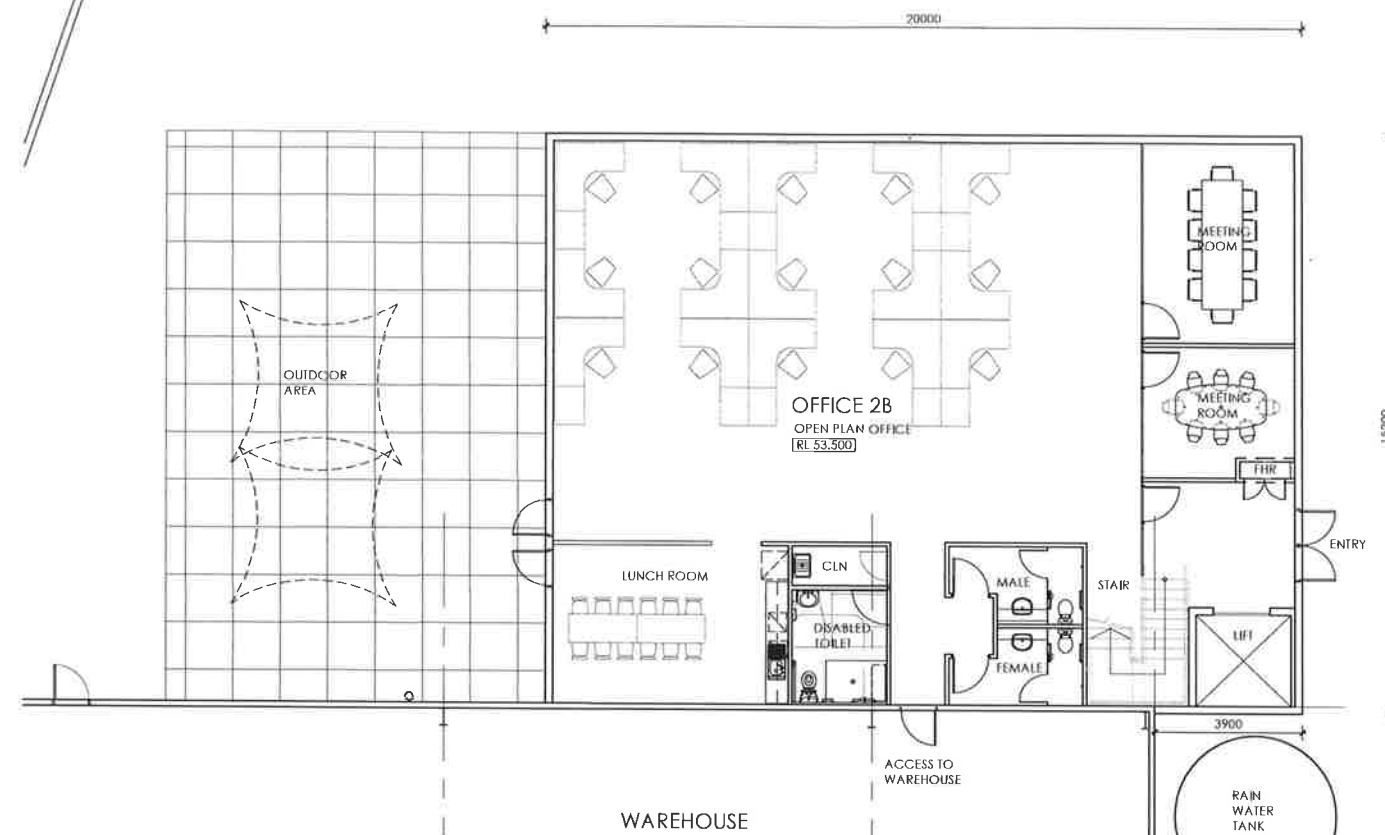
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LG MAR DA21

Rev
A

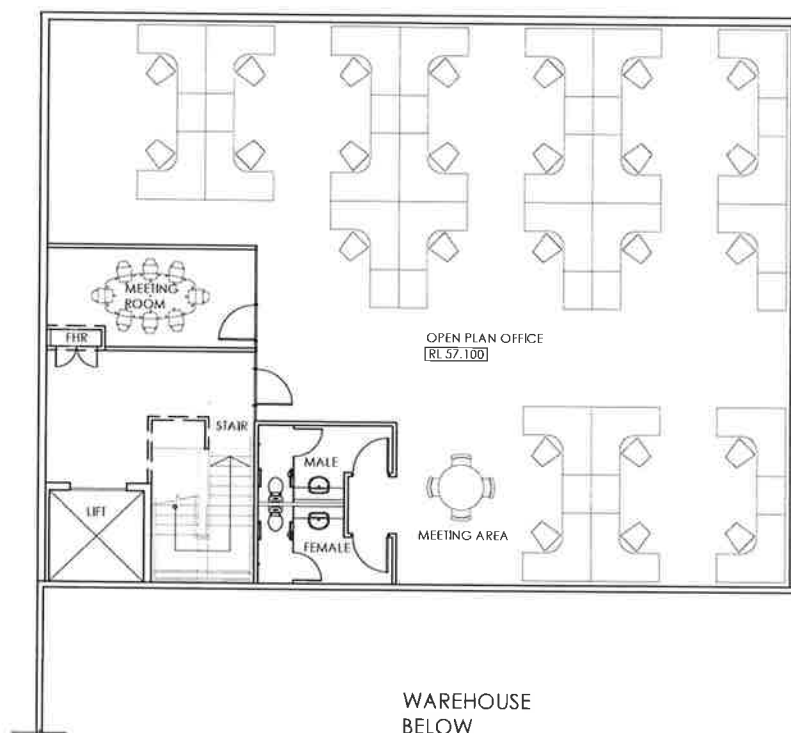
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SUBMITTAL APPLICATION



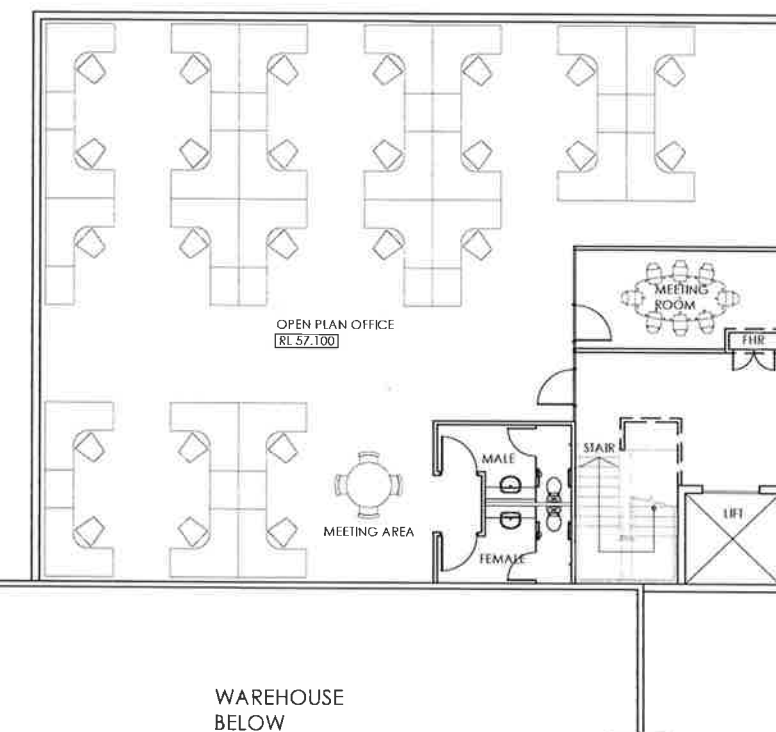
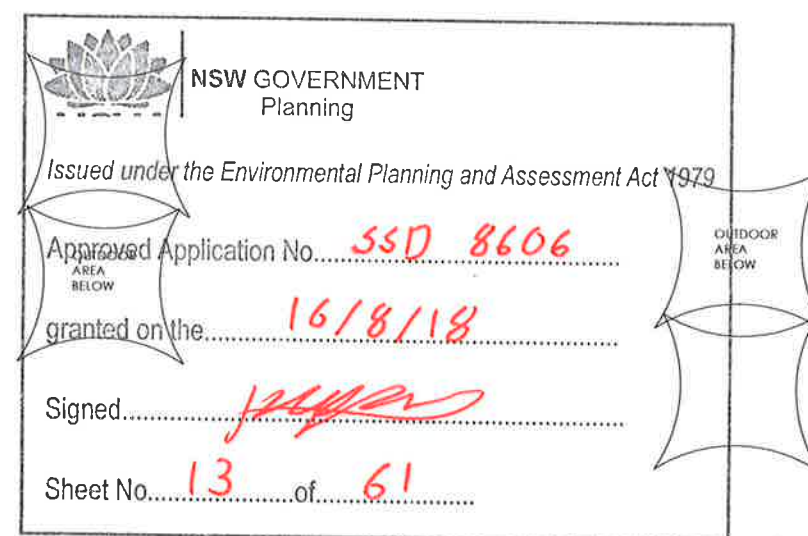
1 MAIN OFFICE 2A - GROUND FLOOR PLAN
1:200



3 MAIN OFFICE 1B - GROUND FLOOR PLAN
1:200



2 MAIN OFFICE 2A - LEVEL 2 PLAN
1:200



4 MAIN OFFICE 1B - LEVEL 2 PLAN
1:200

Architect

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Amendments

A Preliminary Issue

14.11.17



Client
LOGOS

Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 2A & 2B: OFFICE PLANS

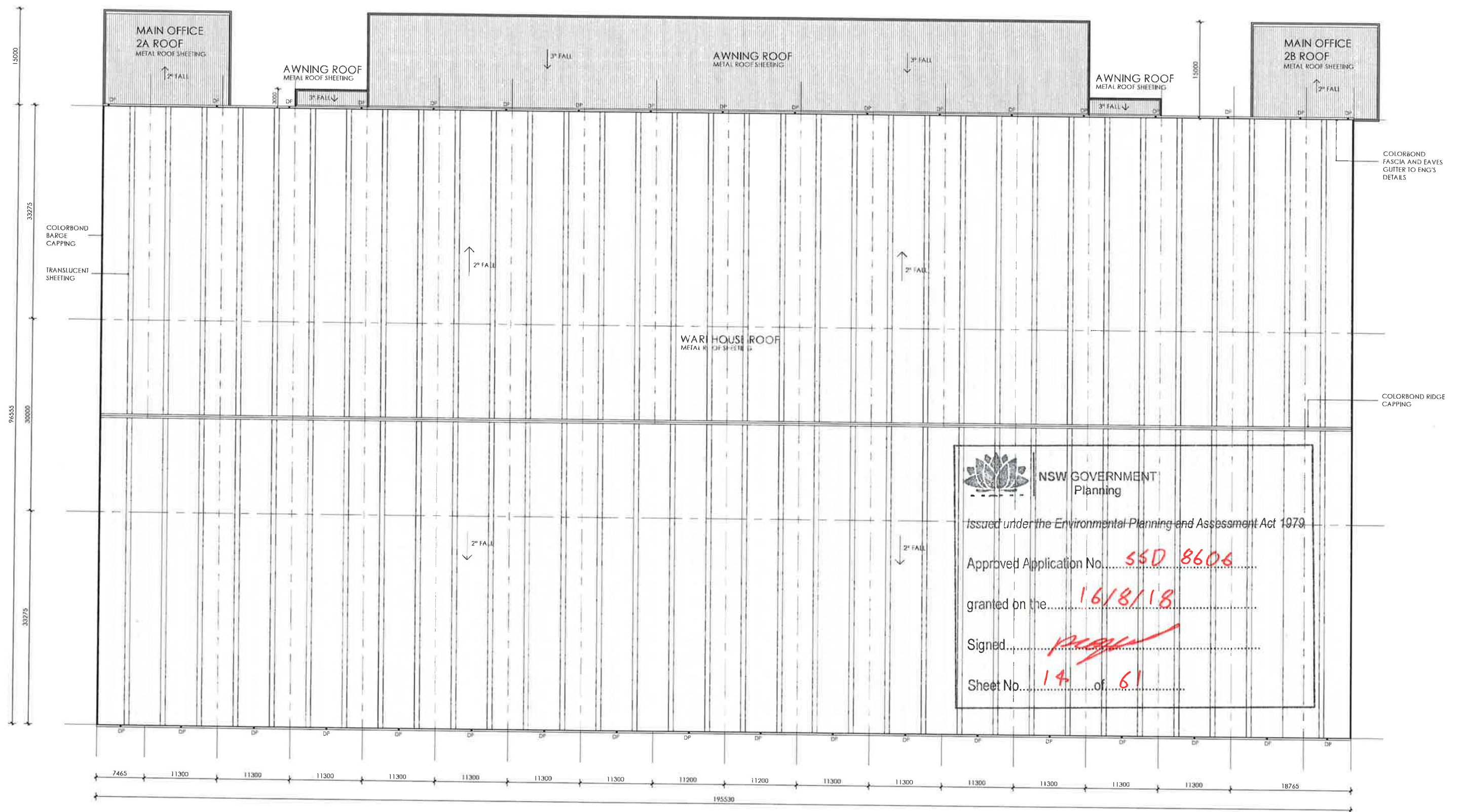
Project Number
1706

Drawing Number
LG MAR DA22

Rev
A

Status
DEVELOPMENT APPLICATION





1 ROOF PLAN
1:600

Architect

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Amendments

A Preliminary Issue

14.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

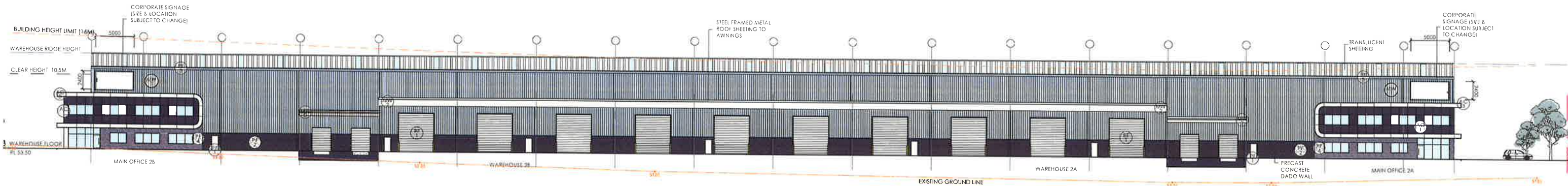
Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 2A & 2B: ROOF PLAN

Project Number
1706
Drawing Number
LG MAR DA23
Rev
A

Status
DEVELOPMENT APPLICATION





NORTH ELEVATION
1:500

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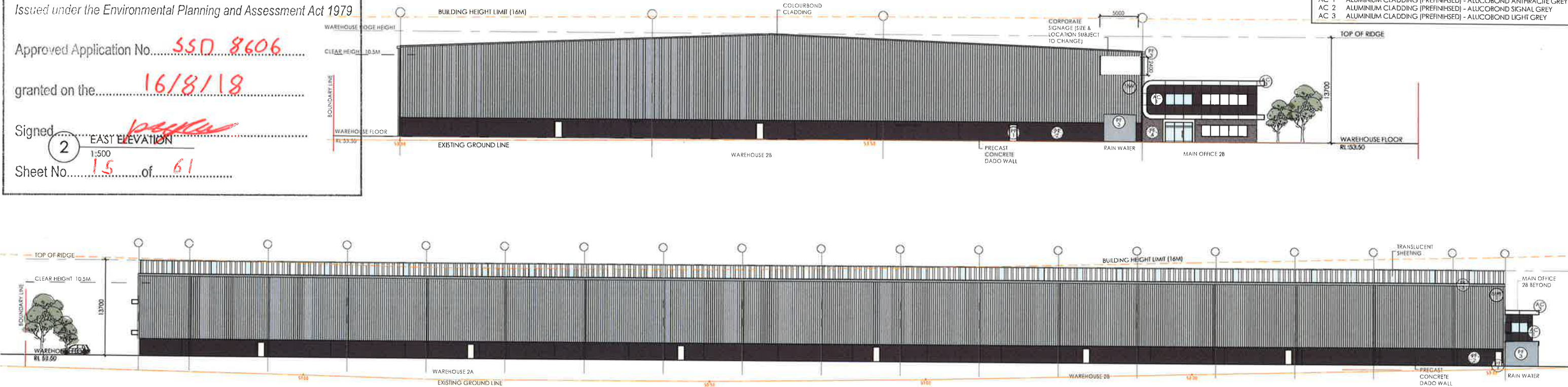
Approved Application No. **550 8606**

granted on the **16/8/18**

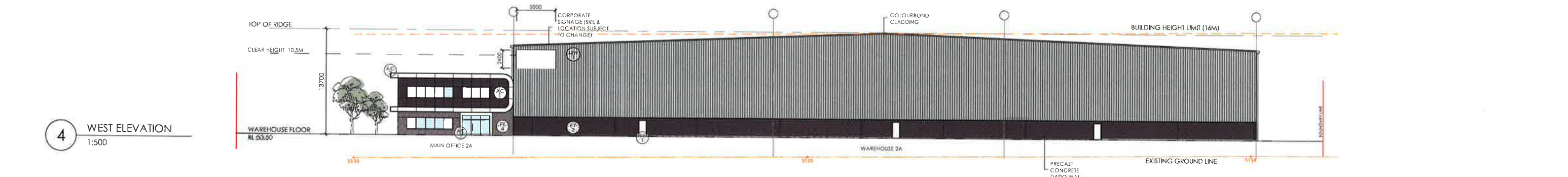
Signed **2** EAST ELEVATION
1:500

Sheet No. **15** of **61**

MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHT SKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALLUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALLUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALLUCOBOND LIGHT GREY



3 SOUTH ELEVATION
1:500



4 WEST ELEVATION
1:500

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Amendments

A Preliminary Issue

14.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

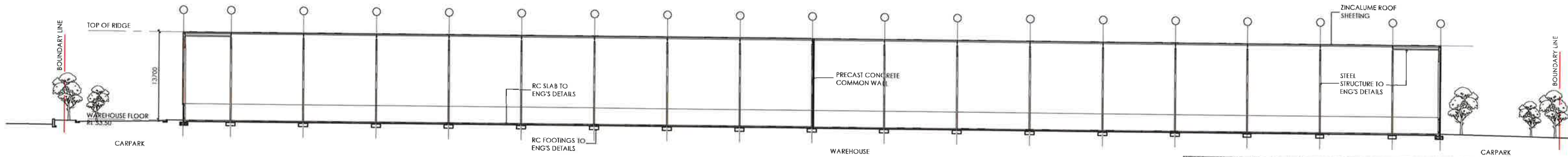
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BUILDING 2A & 2B: ELEVATIONS

Project Number
1706

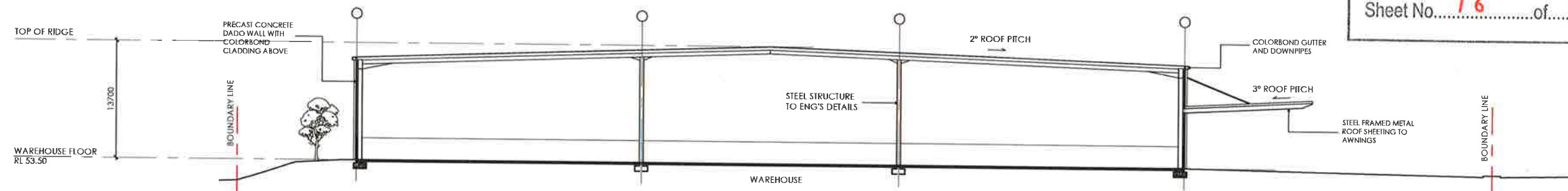
Drawing Number
LG MAR DA24

Rev
A

Status
DEVELOPMENT APPLICATION



1 SECTION
1:600



2 SECTION
1:600



NSW GOVERNMENT
Planning

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granted on the **16/8/18**

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Amendments

A Preliminary Issue

15/11/17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 2A & 2B: SECTIONS

Project Number
1706
Drawing Number
LG MAR DA25
Rev
A

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

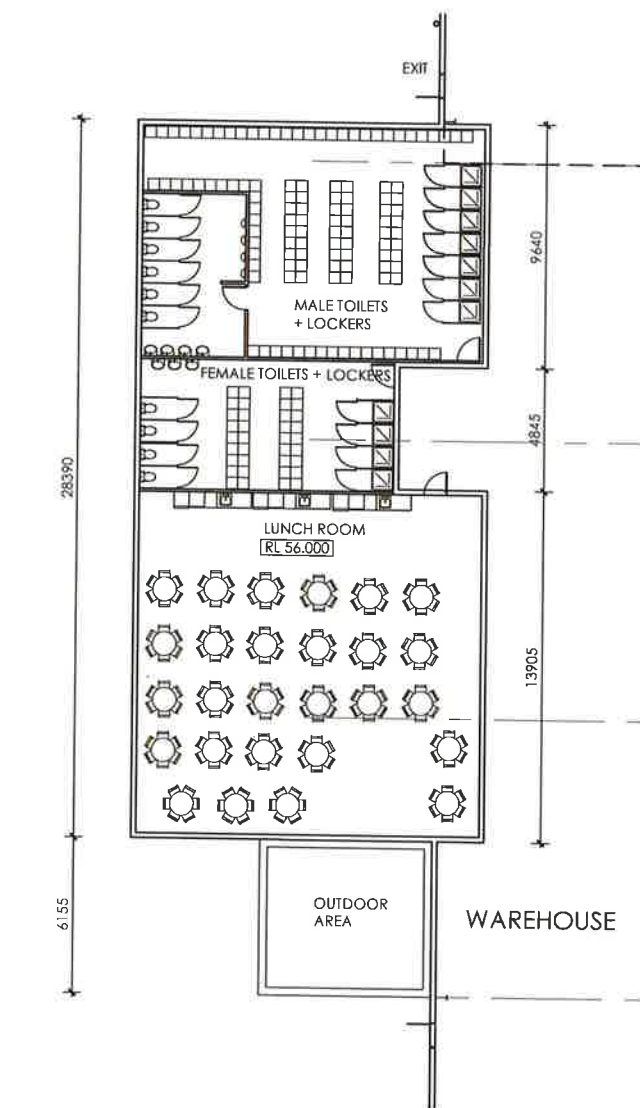
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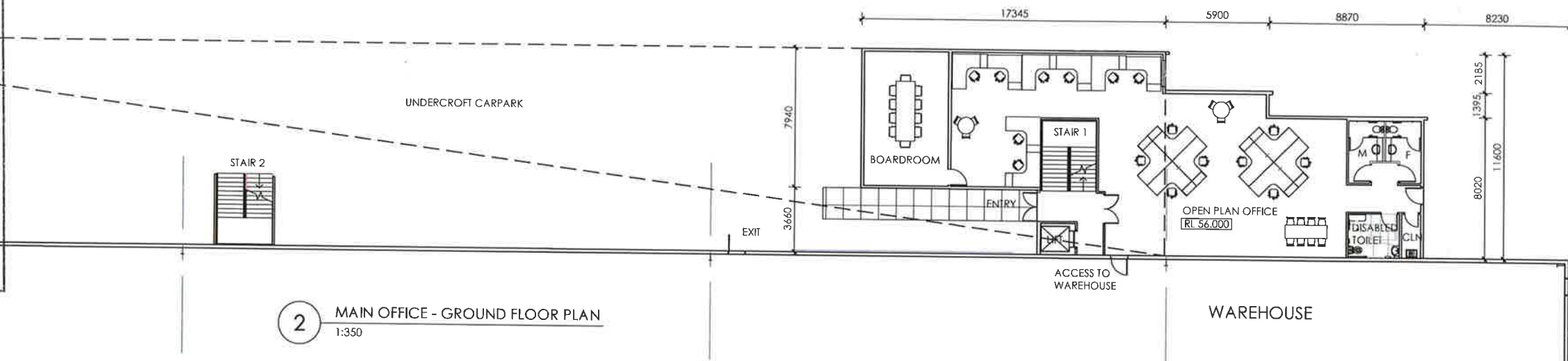
granted on the **16/8/18**

Signed **[Signature]**

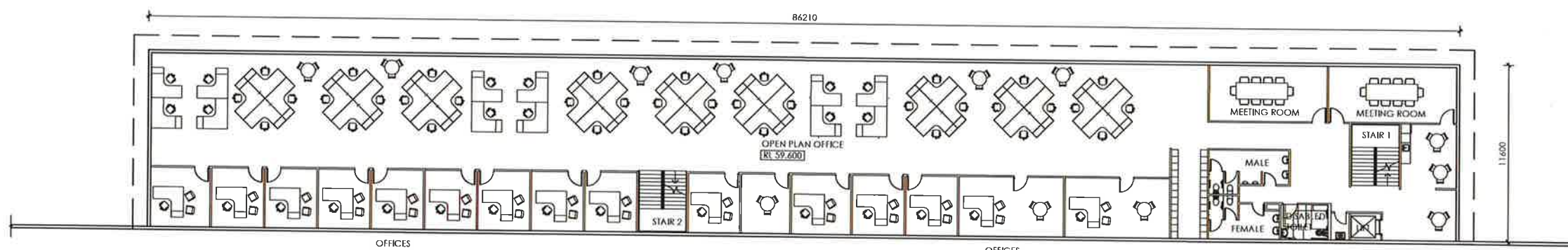
Sheet No. **1.8** of **61**



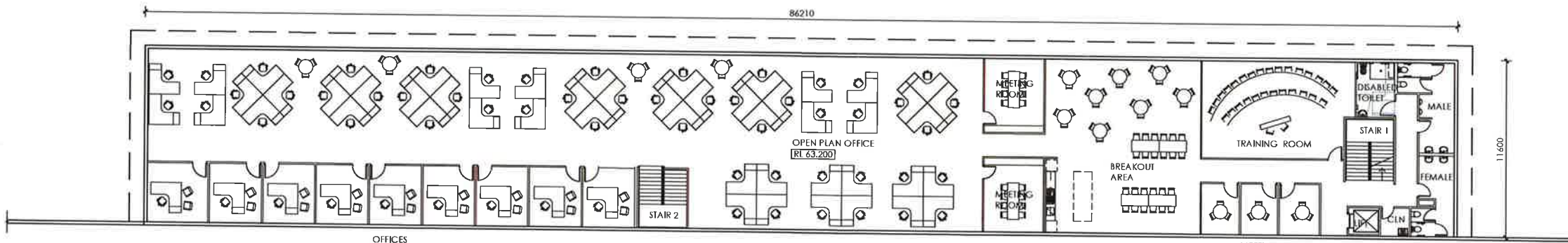
1 WAREHOUSE OFFICE PLAN
1:350



2 MAIN OFFICE - GROUND FLOOR PLAN
1:350



3 MAIN OFFICE - LEVEL 2 PLAN
1:350



4 MAIN OFFICE - LEVEL 3 PLAN
1:350

Architect

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Amendments

A Preliminary Issue

14.11.17

LOGOS



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 3: OFFICE PLANS

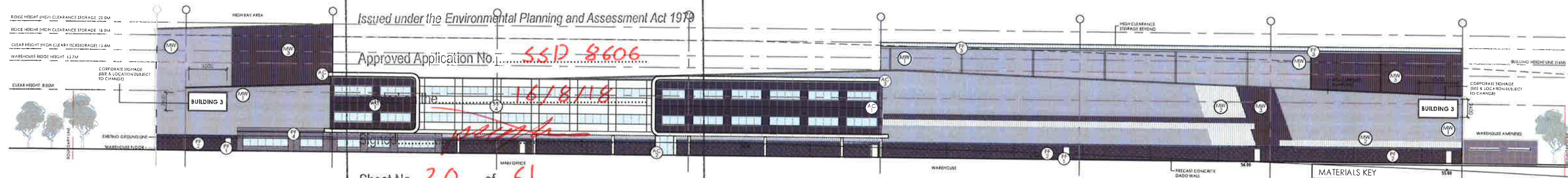
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1706
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LG MAR DA32
Rev
A

Status
SUBMITTAL APPLICATION

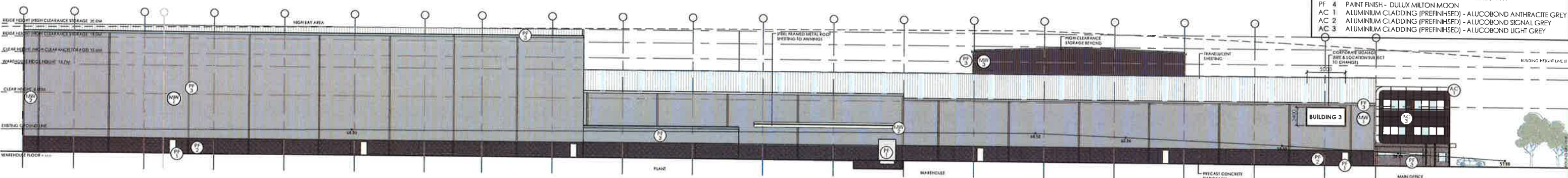
Approved Application No. SSD 8606

Sheet No. 20 of 61

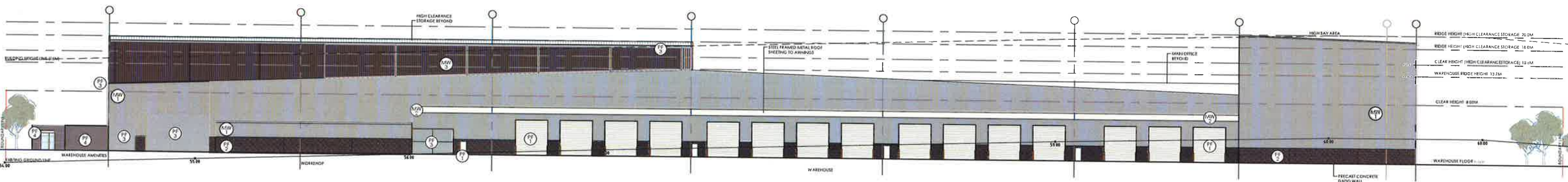
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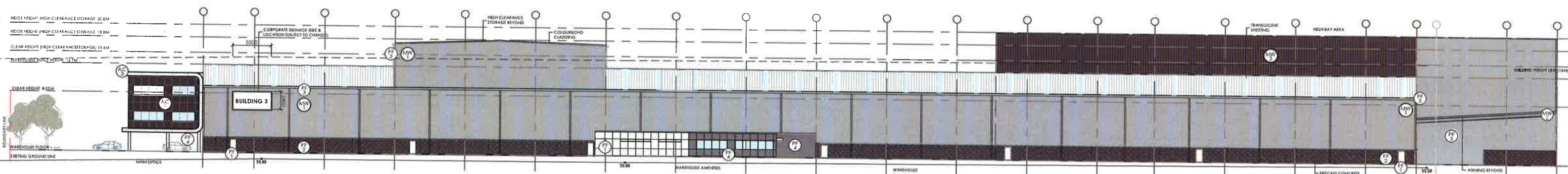
2 EAST ELEVATION
1:600



3 SOUTH ELEVATION
1:600



4 WEST ELEVATION
1:600



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Amendments

A Preliminary Issue
B Amended Northern Elevation

14.11.17
06.03.18

LOGOS

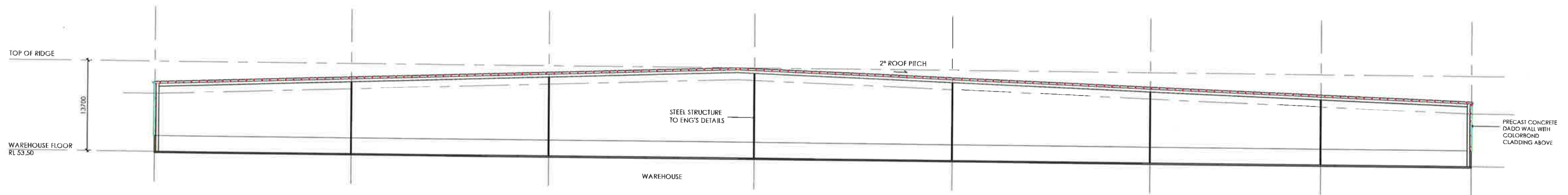
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**Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765**

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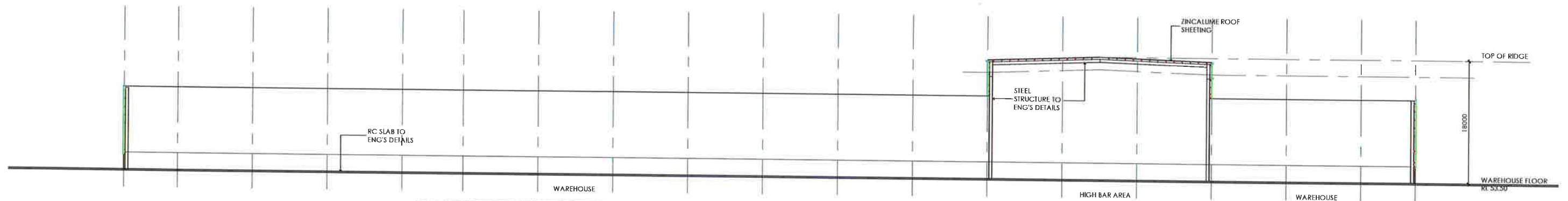
Drawing Title
BUILDING 3: ELEVATIONS

Project Number	Drawing Number	Rev
1706	LG MAR DA34	B

Status
DEVELOPMENT APPLICATION



1 SECTION
1:600



2 SECTION
1:600

 **NSW GOVERNMENT**
Planning

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Approved Application No.....**SSD 8606**.....

granted on the.....**16/8/18**.....

Signed.....**[Signature]**.....

Sheet No.....**21**.....of.....**61**.....

Architect

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Amendments

A Preliminary Issue

15.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

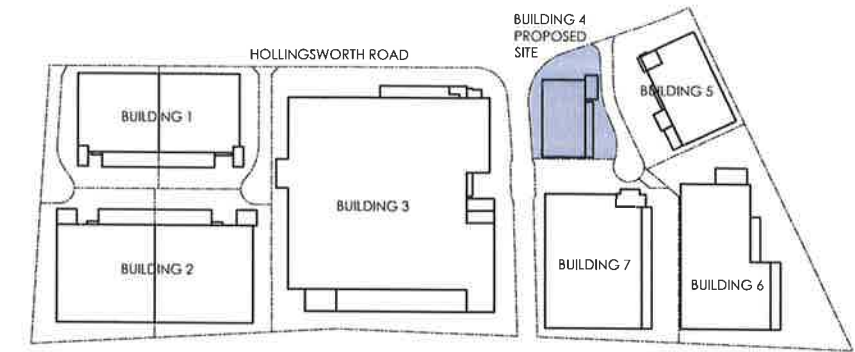
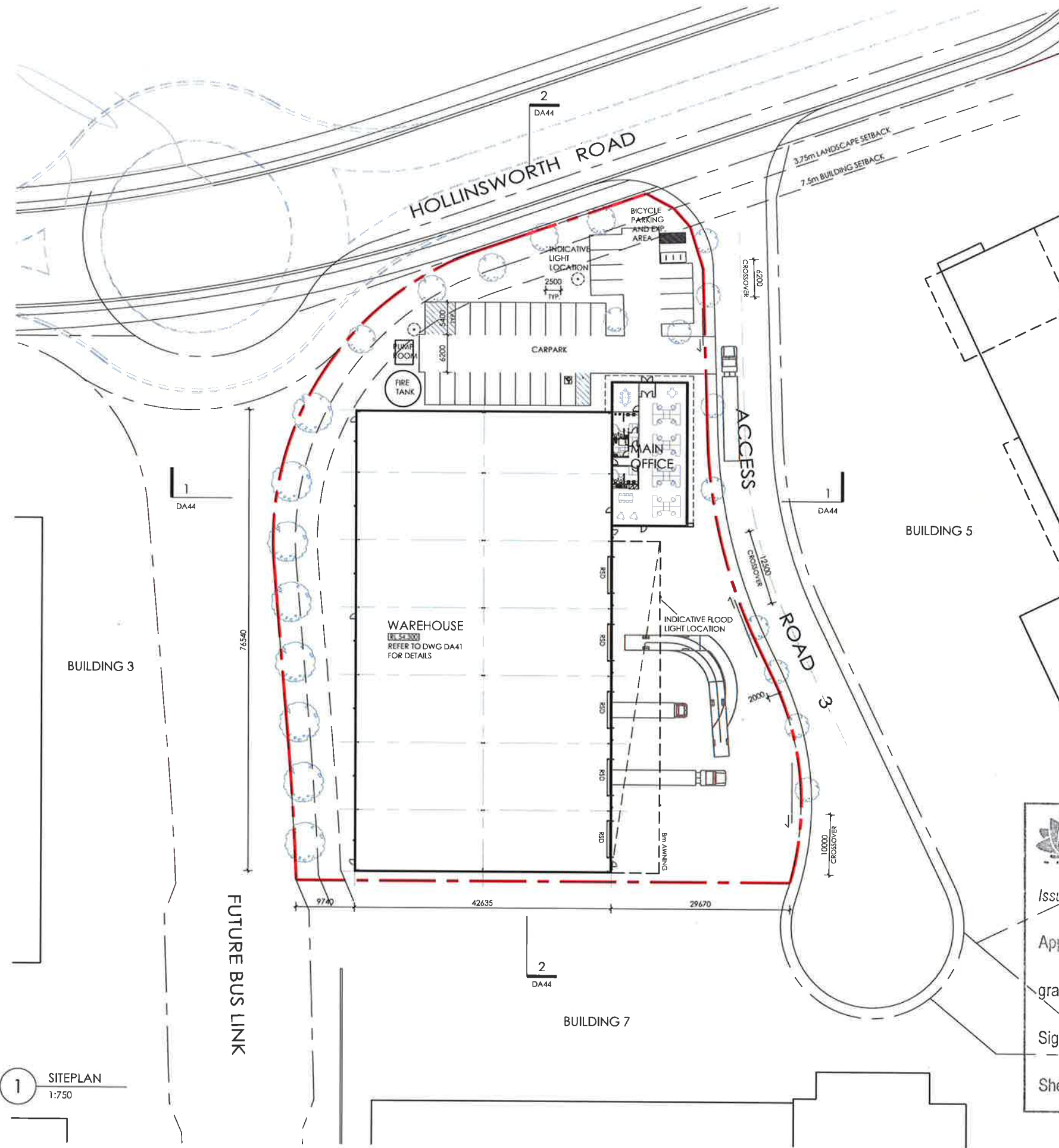
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Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 3: SECTIONS

Project Number
1706
Drawing Number
LG MAR DA35
Rev
A

Status
DEVELOPMENT APPLICATION





BUILDING 4 AREA SCHEDULE

Site Area	7,815 sqm
Warehouse Area	3,263 sqm
Office (1 Level) Area	300 sqm
Total Building Area	3,563 sqm
Total Awning Area	440 sqm
Heavy Duty Pavement Area	1,408 sqm
Light Duty Pavement Area	770 sqm

CARPARKING REQUIREMENTS

DCP Council Requirements:

Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm

Total Carparking Required 52 spaces

Cars Required:

Based off RMS Rates & Marketing
Parking Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm

Total Carparking Required 20 spaces

Total Carparking Provided 26 spaces

NSW GOVERNMENT
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PERMISSION OF THE NOMINATED ARCHITECT.

Amendments

- A Preliminary Issue
- B Amended kerbs
- C Amended bike parking and Indicative lighting

13.11.17
14.11.17
06.03.18

LOGOS

Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
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Scale
1:750 @ A3

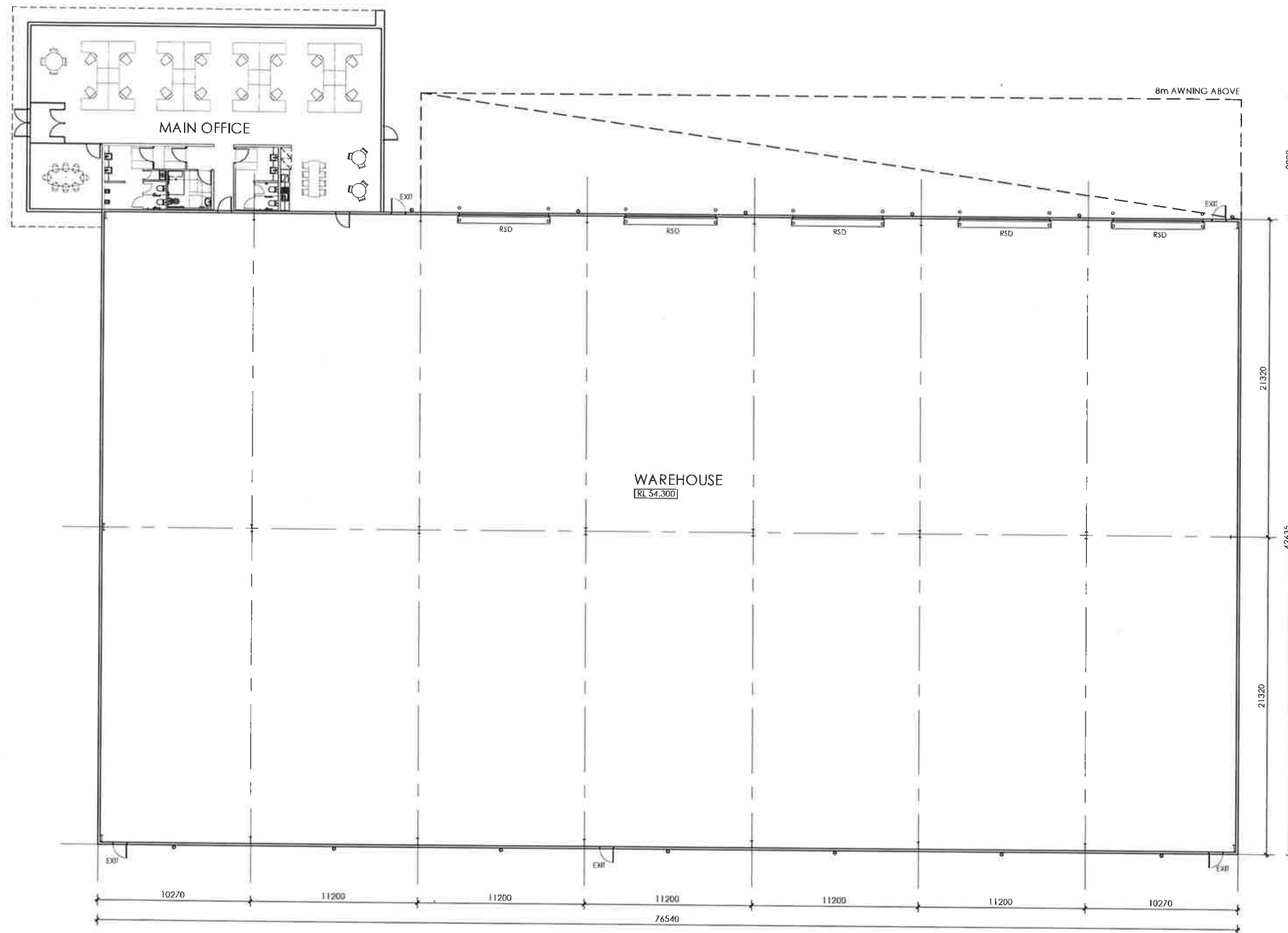
Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 4: SITEPLAN

Project Number 1706
Drawing Number LG MAR DA40
Rev C

Status
DEVELOPMENT APPLICATION



1 SITEPLAN
1:350



NSW GOVERNMENT
Planning

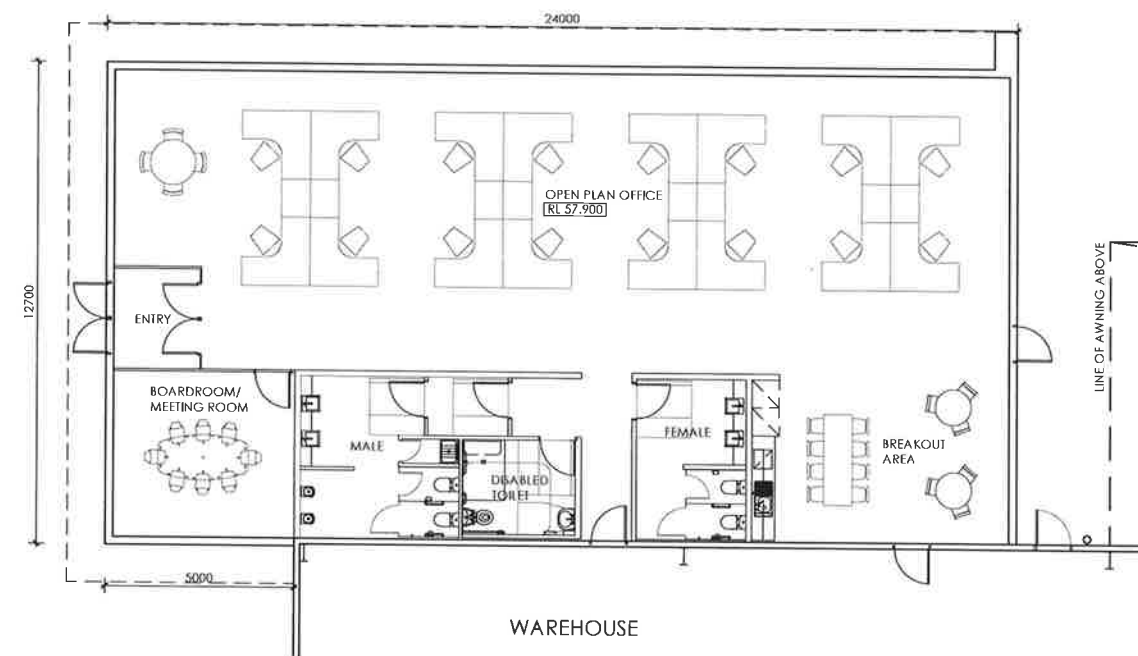
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Sheet No. **23** of **61**



2 OFFICE FLOOR PLAN
1:200

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Amendments

A Preliminary Issue

15.11.17

LOGOS



Client
LOGOS

Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 4: WAREHOUSE & OFFICE PLANS

Project Number
1706

Drawing Number
LG MAR DA41

Rev
A

Status
DEVELOPMENT APPLICATION



NSW GOVERNMENT
Planning

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Approved Application No. SSD 8606

granted on the 16/8/18

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Sheet No. 24 of 61



1 ROOF PLAN
1:350

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Amendments

A Preliminary Issue

15.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 4: ROOF PLAN

Project Number
1706
Drawing Number
LG MAR DA42
Rev
A

Status
DEVELOPMENT APPLICATION



MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
MW 3	METAL WALL CLADDING - COLOURBOND NIGHTSKY
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHTSKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND LIGHT GREY

1 NORTH ELEVATION (HOLLINSWORTH ROAD)
1:350

2 WEST ELEVATION
1:350

3 SOUTH ELEVATION
1:350

2 EAST ELEVATION
1:350

NSW GOVERNMENT
Planning

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granted on the **16/8/18**

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Amendments
A Preliminary Issue 02.11.17
B Amended northern elevation 06.03.18



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:400 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 4: ELEVATIONS

Project Number
1706

Drawing Number
LG MAR DA43

Rev
B

Status
DEVELOPMENT APPLICATION



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1 SECTION
1:350

 **NSW GOVERNMENT**
Planning

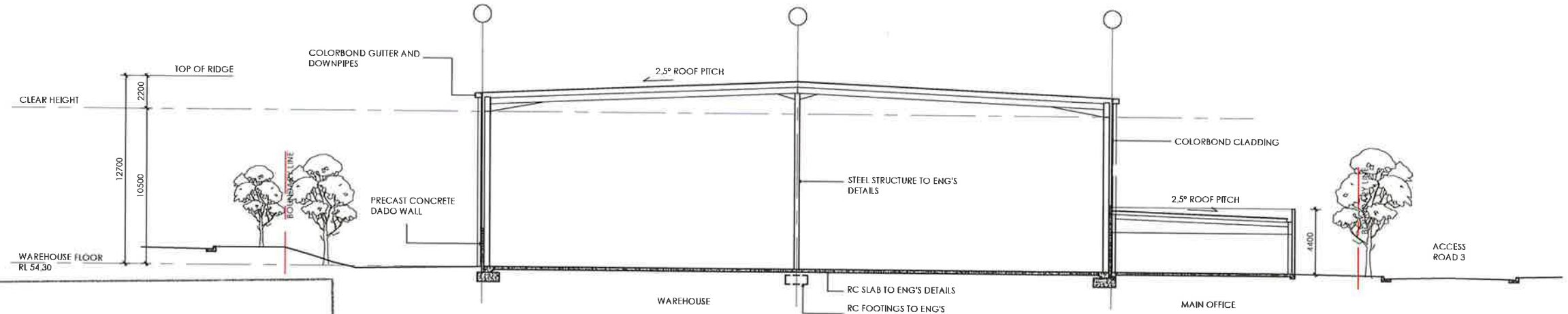
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Approved Application No. **SSD 8606**

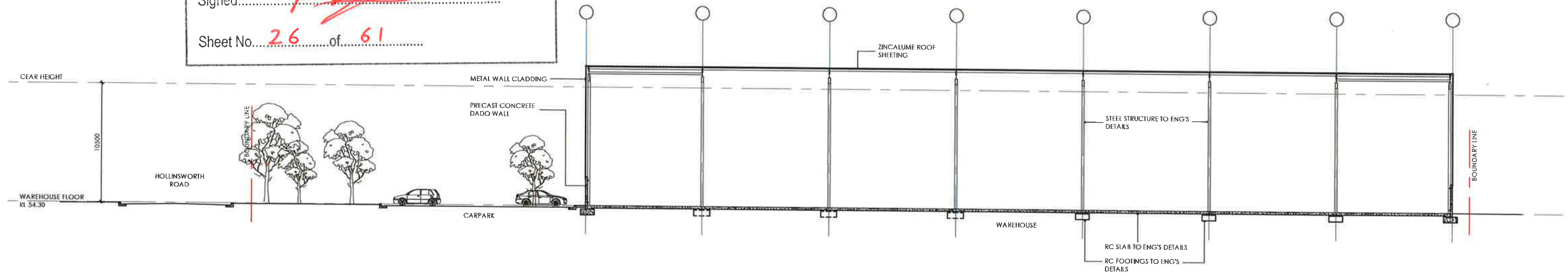
granted on the **16/8/18**

Signed 

Sheet No. **26** of **61**



2 SECTION
1:350



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Amendments
A Preliminary Issue 15.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 4: SECTIONS

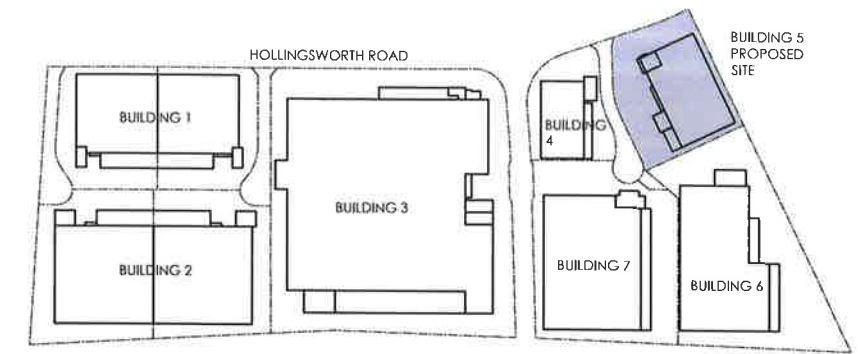
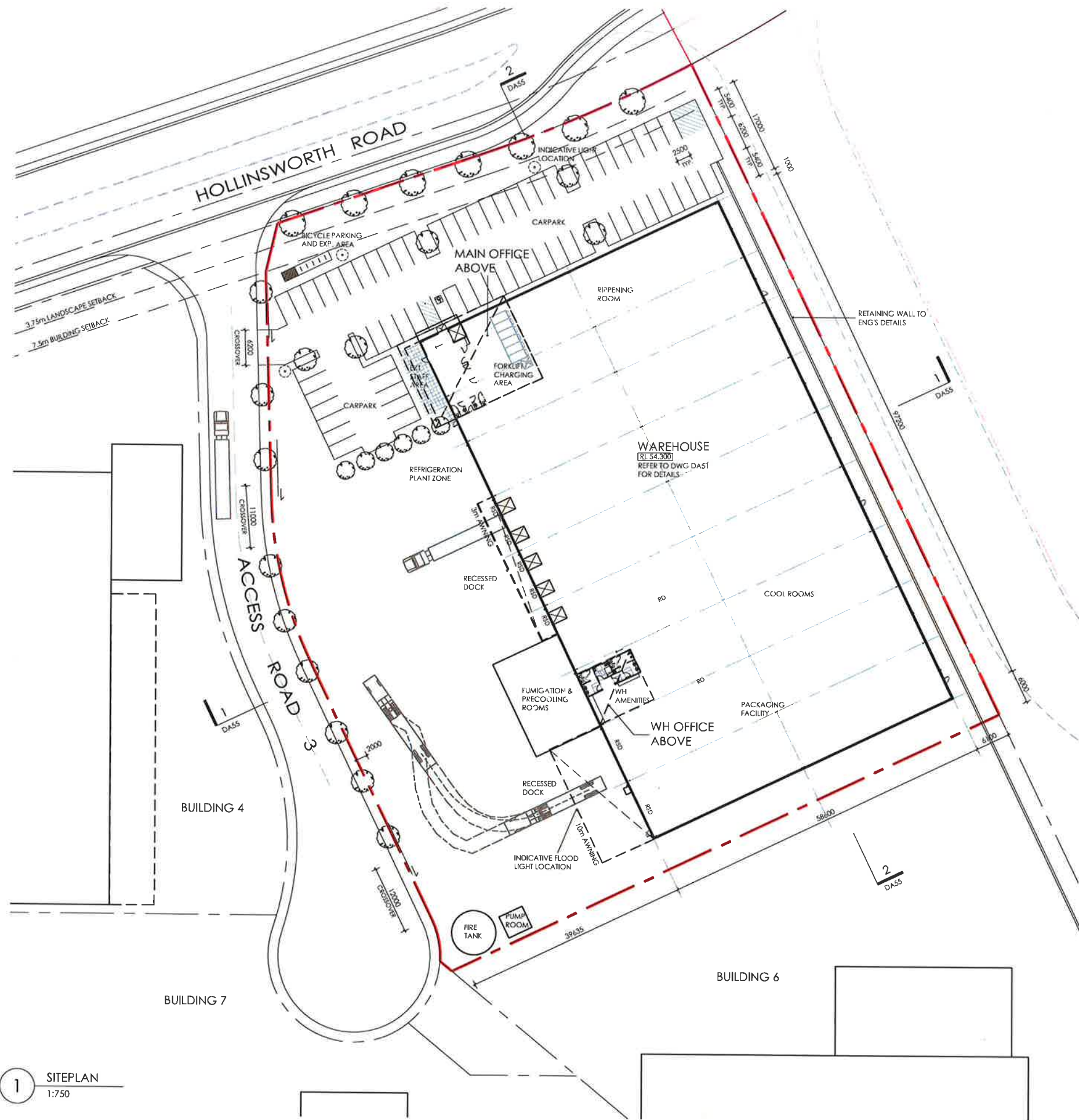
Project Number
1706

Drawing Number
LG MAR DA44

Rev
A

Status
DEVELOPMENT APPLICATION





ESTATE MASTERPLAN PLAN
NTS

BUILDING 5 AREA SCHEDULE

Site Area	13,076 sqm
Warehouse Area	5,696 sqm
Office (2 Levels) Area	300 sqm
WH Office (2 Levels) Area	100 sqm
Total Building Area	6,224 sqm
Total Awning Area	310 sqm
Heavy Duty Pavement Area	3254 sqm
Light Duty Pavement Area	1,612 sqm

CARPARKING REQUIREMENTS

DCP Council Requirements:

Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm

Total Carparking Required 86 spaces

Cars Required:

Based off RMS Rates & Marketing
Parking Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm

Total Carparking Required 31 spaces

Total Carparking Provided 66 spaces



NSW GOVERNMENT
Planning

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Approved Application No.....**SSD 8606**

granted on the.....**16/8/18**

Signed.....**[Signature]**

Sheet No.....**27**.....of.....**61**

1 SITEPLAN
1:750

Architect

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Amendments

A	Preliminary Issue	02.11.17
B	General amendments	08.11.17
C	Amended crossover and handstand	14.11.17
D	Amended bike parking and indicative lighting	06.03.18



Client
LOGOS

Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:750 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 5: SITEPLAN

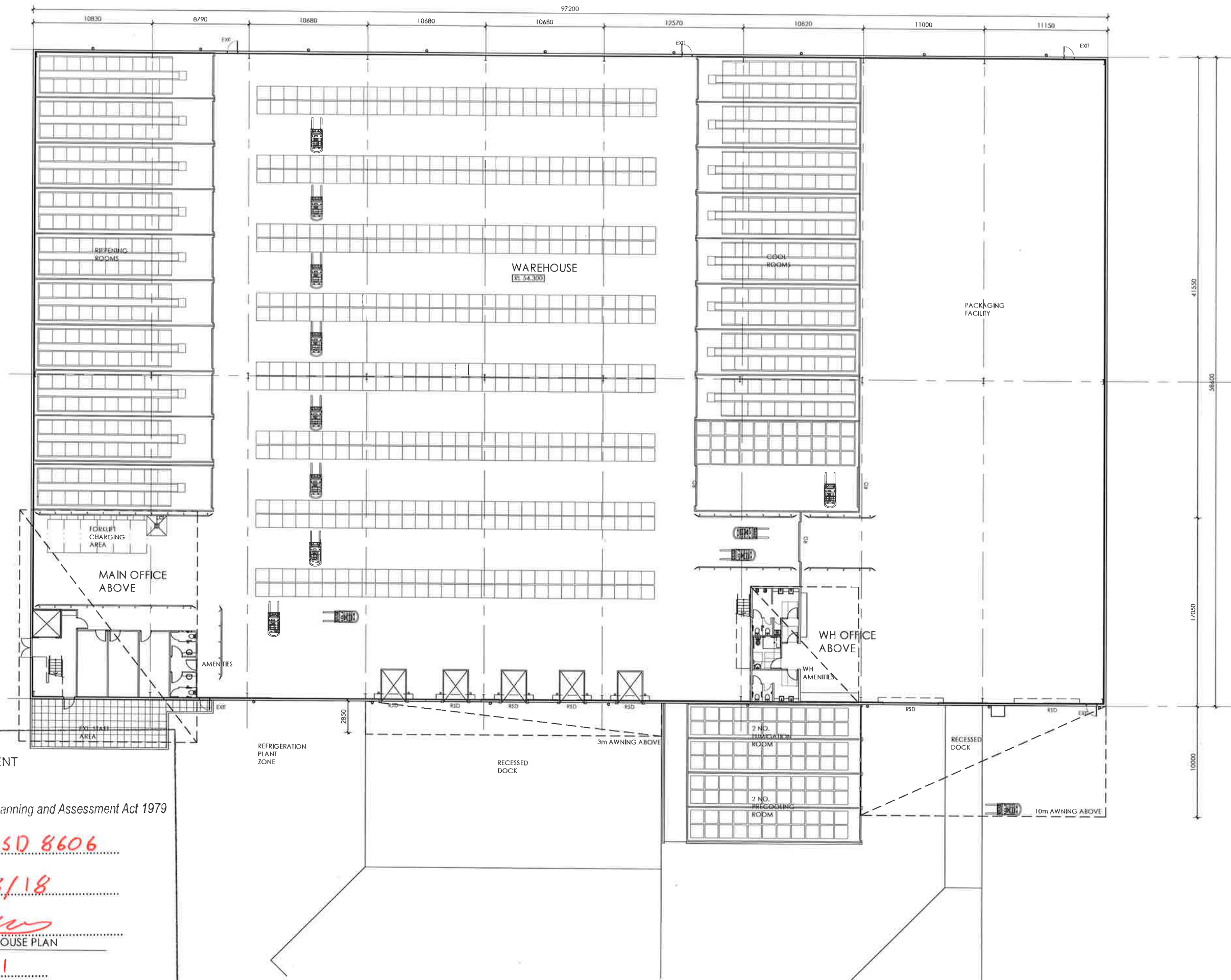
Project Number
1706

Drawing Number
LG MAR DA50

Rev
D

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

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Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **28** of **61**
1:350
WAREHOUSE PLAN

Architect

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Amendments

A Preliminary Issue
B General amendments

02.11.17
08.11.17

LOGOS



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 5: WAREHOUSE PLAN

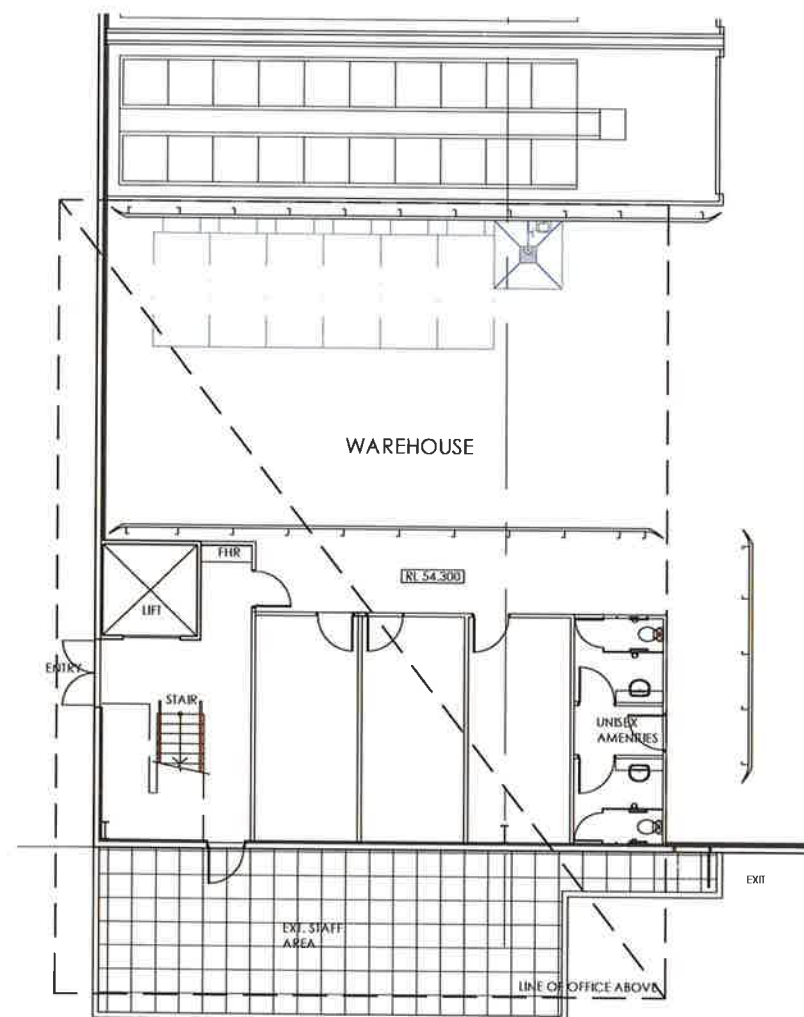
Project Number
1706

Drawing Number
LG MAR DA51

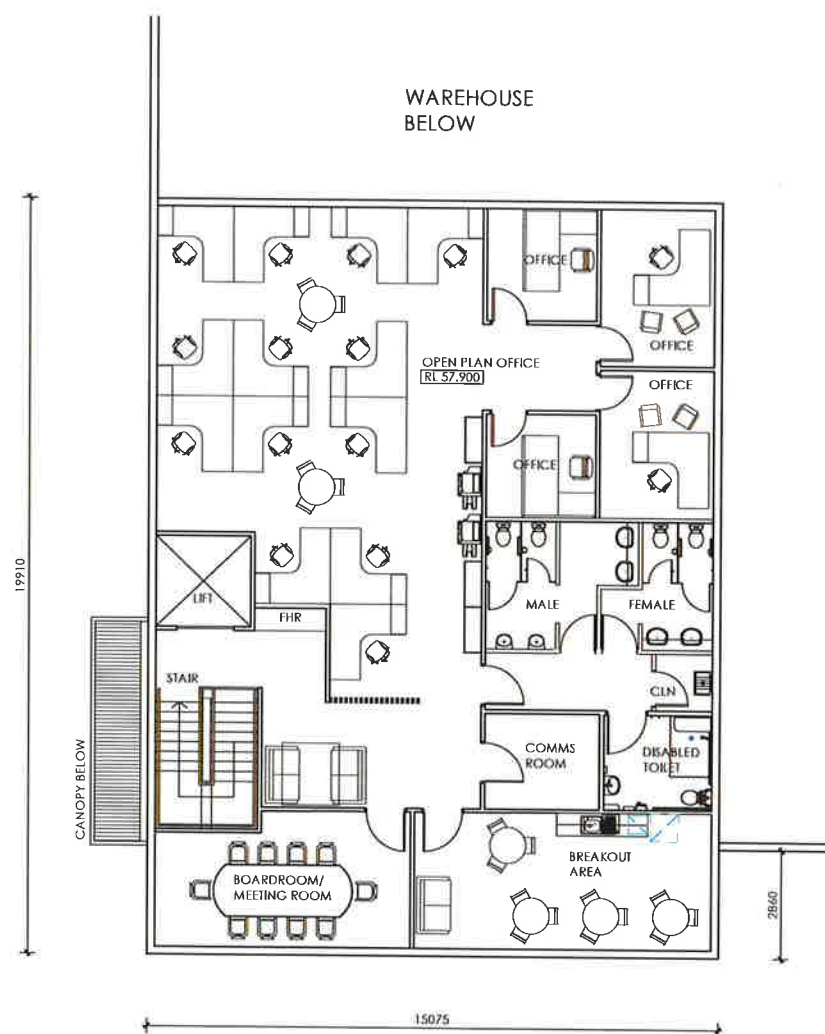
Rev
B

Status
DEVELOPMENT APPLICATION





1 MAIN OFFICE - GROUND FLOOR PLAN
1:200



2 MAIN OFFICE - LEVEL 2 PLAN
1:200

NSW GOVERNMENT
Planning

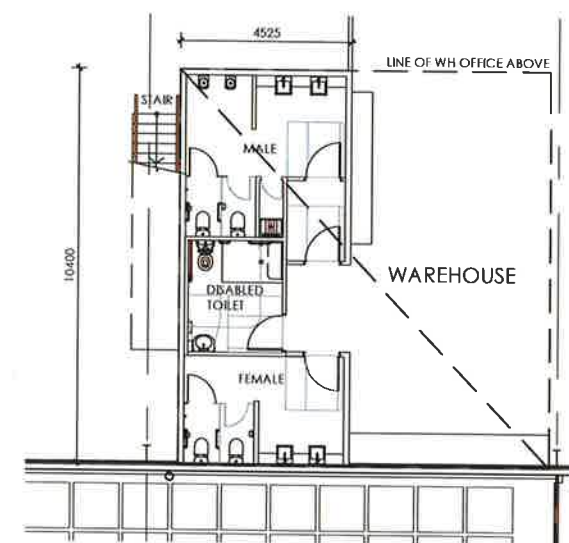
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8606

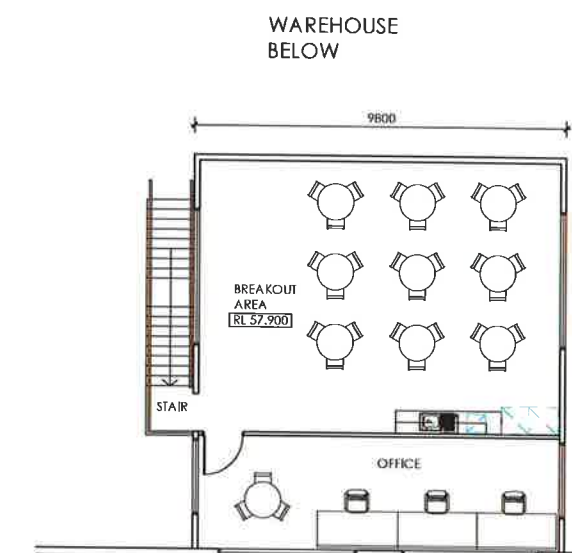
granted on the 16/8/18

Signed [Signature]

Sheet No. 29 of 61



3 WH OFFICE - GROUND FLOOR PLAN
1:200



4 WH OFFICE - LEVEL 2 PLAN
1:200

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Amendments

A Preliminary Issue
B General amendments

02.11.17
08.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

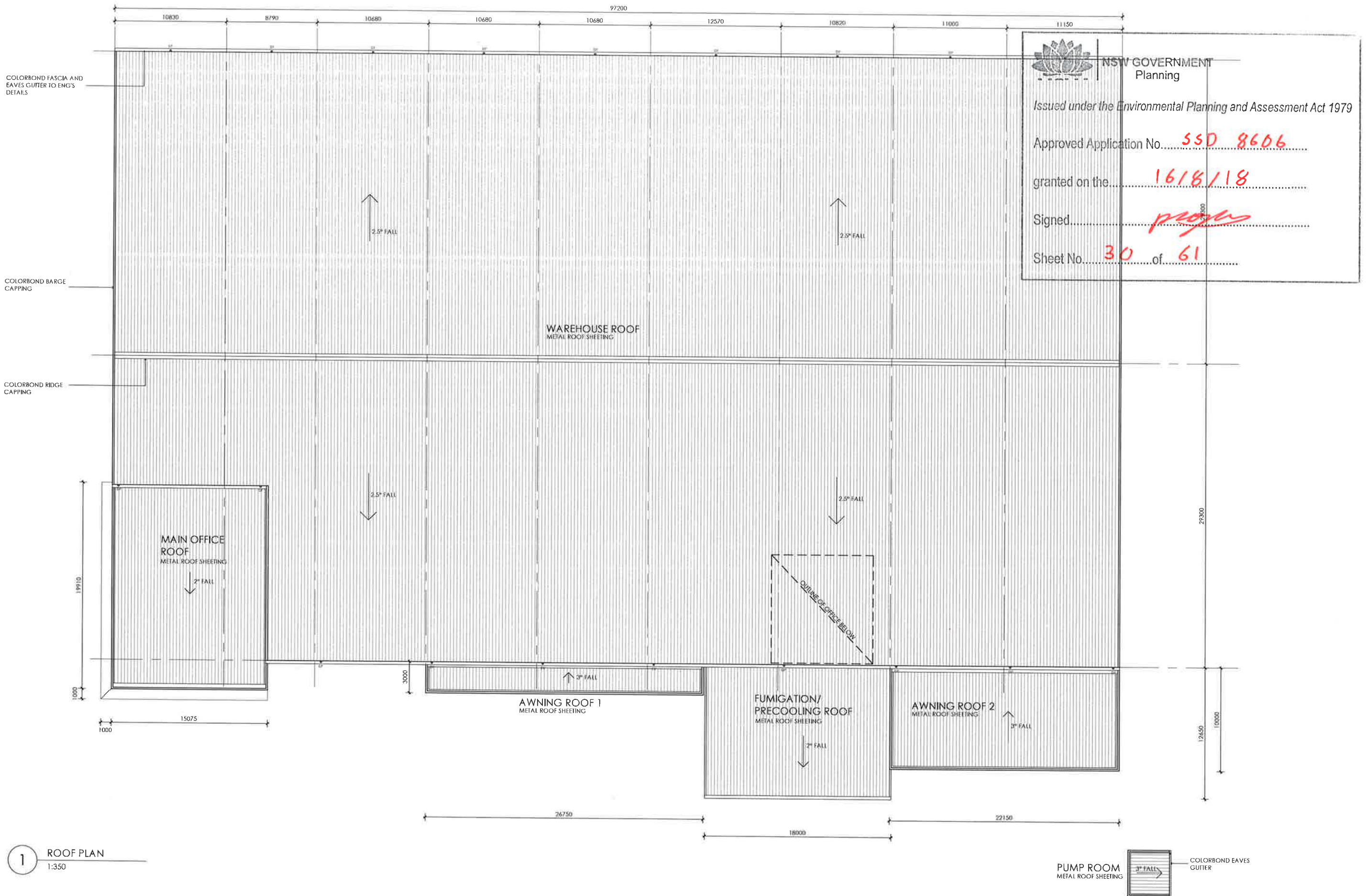
Drawing Title
BUILDING 5: OFFICE & WH OFFICE PLANS

Project Number
1706

Drawing Number
LG MAR DA52

Rev
B

Status
DEVELOPMENT APPLICATION



Architect

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Amendments

A Preliminary Issue
 B General amendments
 C Added Fumigation/ Precooling roof

02.11.17
 08.11.17
 13.11.17

LOGOS

Client
 Project
 Lot 23 & 24 Hollinsworth Road
 Marsden Park NSW 2765

Client
 Project

Lot 23 & 24 Hollinsworth Road
 Marsden Park NSW 2765

Drawn
 TT
 Scale
 Checked
 PM
 Date
 Approved
 PM

Drawing Title
BUILDING 5: ROOF PLAN

Project Number
 1706
 Drawing Number
 LG MAR DA53
 Rev
 C

Status
 DEVELOPMENT APPLICATION



NSW GOVERNMENT
Planning

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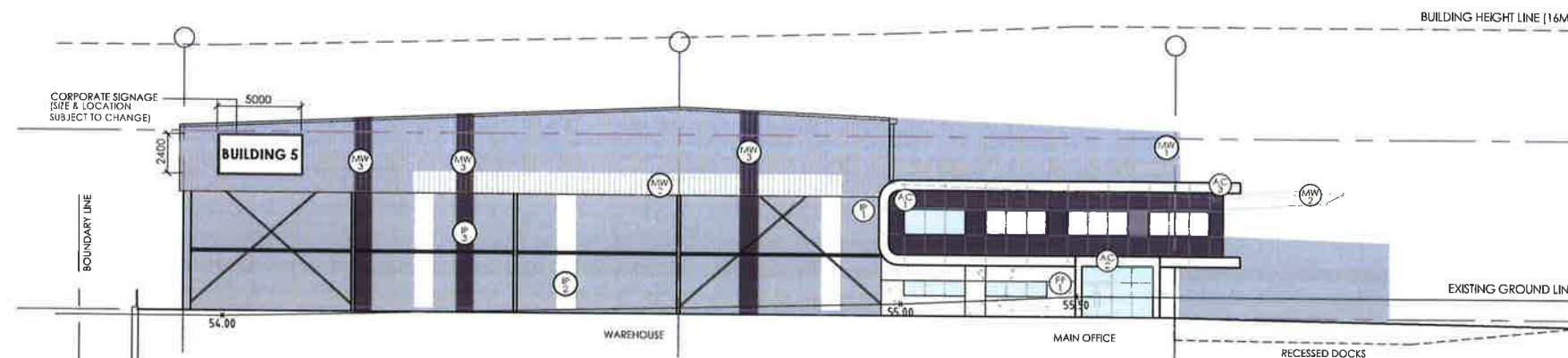
Approved Application No. **530 8606**

granted on the **16/8/18**

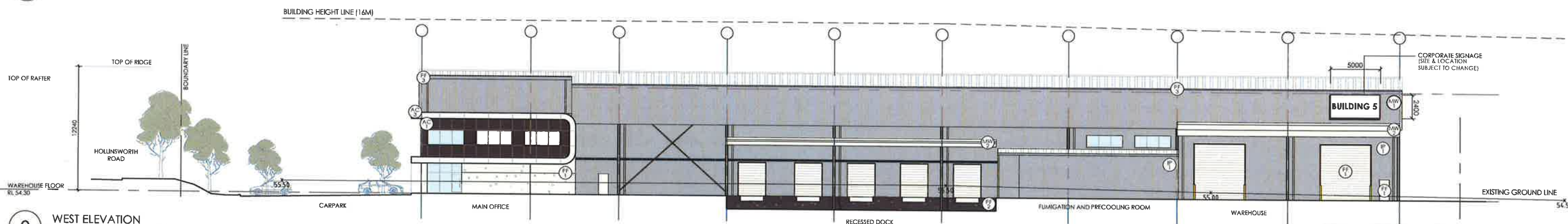
Signed **[Signature]**

Sheet No. **31** of **61**

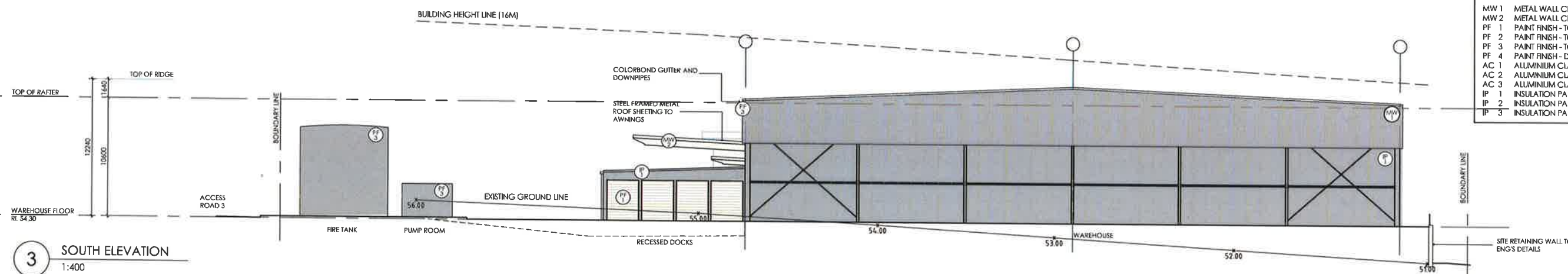
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1:400



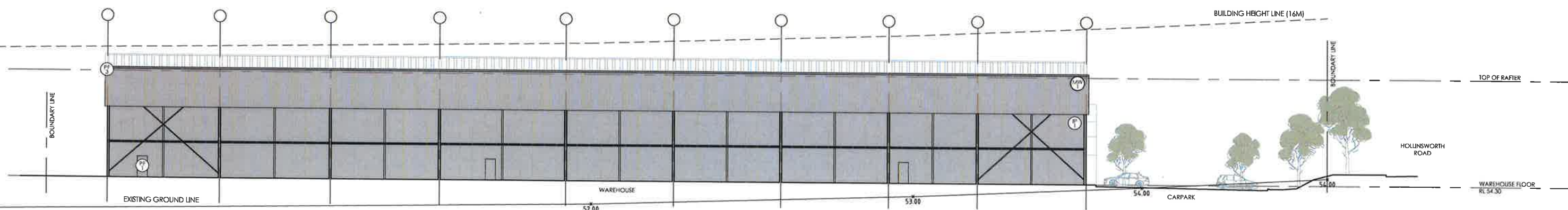
2 WEST ELEVATION
1:400



3 SOUTH ELEVATION
1:400



2 EAST ELEVATION
1:400



MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHT SKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND LIGHT GREY
IP 1	INSULATION PANELS (PREFINISHED) - TO MATCH COLOURBOND WINDSPRAY
IP 2	INSULATION PANELS (PREFINISHED) - TO MATCH COLOURBOND SURFMIST
IP 3	INSULATION PANELS (PREFINISHED) - TO MATCH COLOURBOND NIGHT SKY

Architect

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Amendments

A	Preliminary Issue	02.11.17
B	General amendments	08.11.17
C	General amendments	10.11.17
D	Amended northern elevation	06.03.18



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

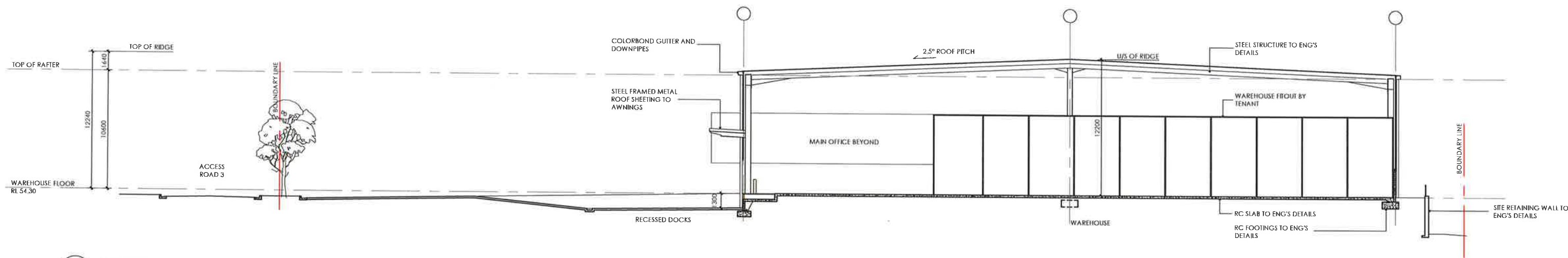
Drawing Title
BUILDING 5: ELEVATIONS

Project Number
1706

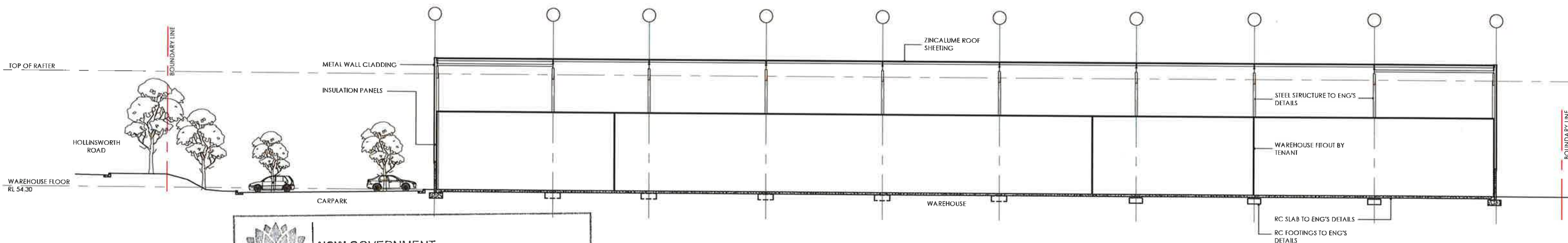
Drawing Number
LG MAR DA54

Rev
D

Status



1 SECTION
1:350



2 SECTION
1:350

 **NSW GOVERNMENT
Planning**

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Approved Application No..... **SSD 8606**

granted on the..... **16/8/18**

Signed..... **[Signature]**

Sheet No..... **32** of **61**

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Amendments

A Preliminary Issue
B General amendments
C General amendments

02.11.17
08.11.17
13.11.17



Client
LOGOS
Project

Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 5: SECTIONS

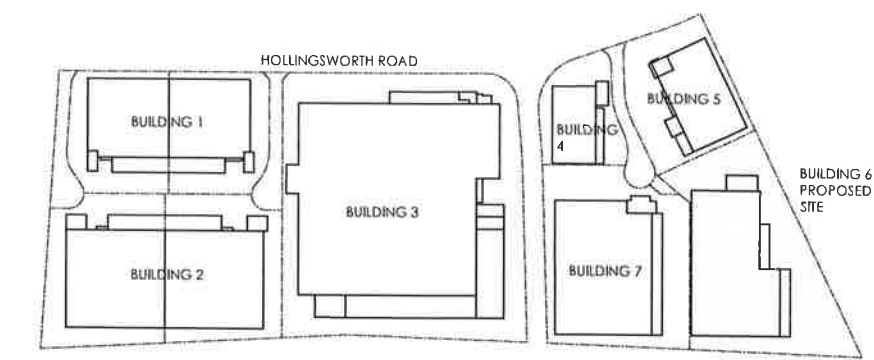
Project Number
1706

Drawing Number
LG MAR DA55

Rev
C

Status
REPLACEMENT APPLICATION





ESTATE MASTERPLAN PLAN
NTS

BUILDING 6 AREA SCHEDULE	
Site Area	25,560 sqm
Warehouse Area	11,140 sqm
Office (2 Levels) Area	1,000 sqm
Total Building Area	12,140 sqm
Total Awning Area	1,108 sqm
Heavy Duty Pavement Area	5,800 sqm
Light Duty Pavement Area	1,518 sqm

CARPARKING REQUIREMENTS	
DCP Council Requirements:	
Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm
Total Carparking Required	144 spaces
Cars Required:	
Based off RMS Rates & Marketing Parking Proposal (Refer Traffic Report)	
Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm
Total Carparking Required	67 spaces
Total Carparking Provided	60 spaces
Provisional Carparking	7 spaces

NSW GOVERNMENT
Planning

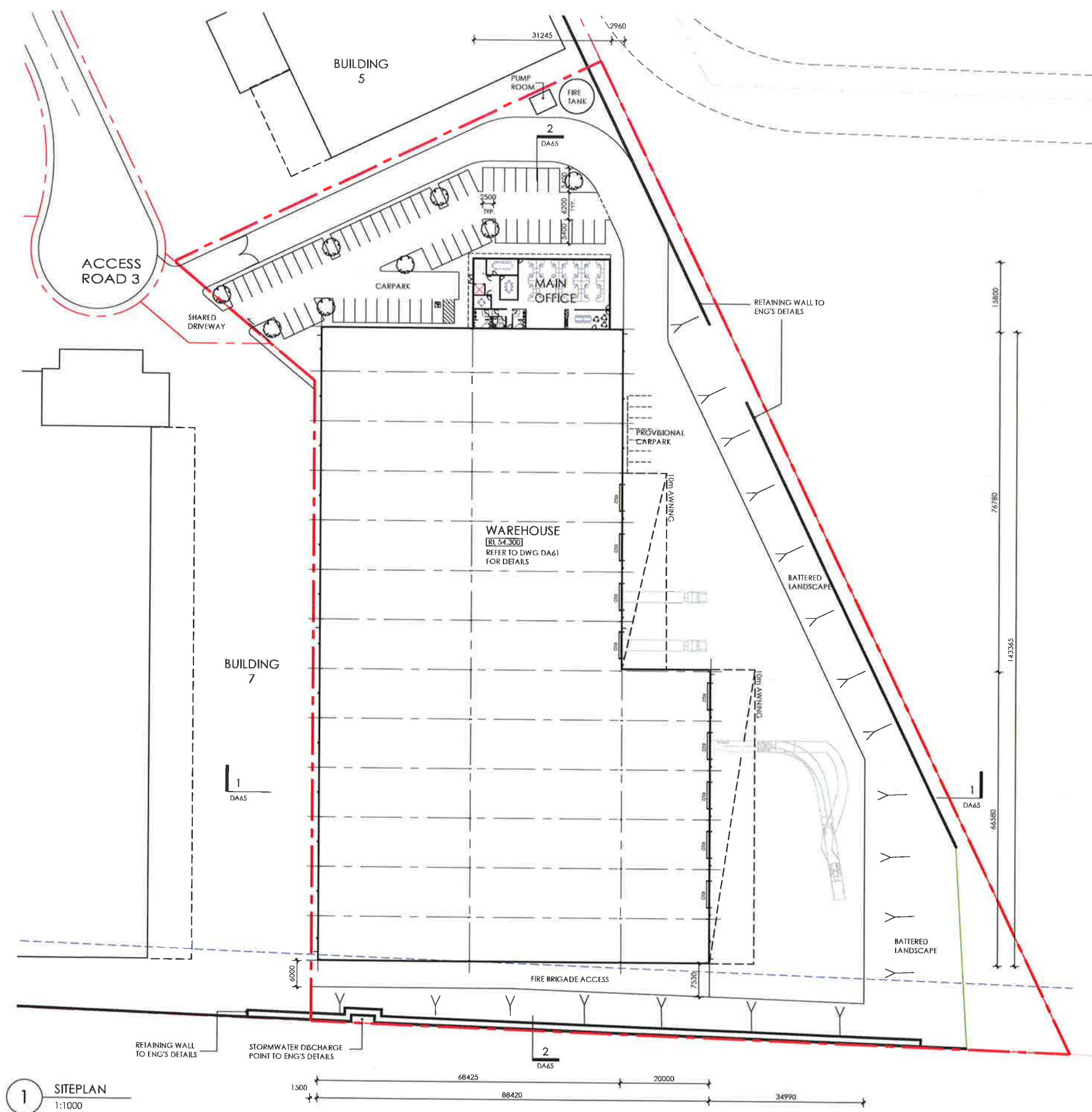
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granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **33** of **61**



1 SITEPLAN
1:1000

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Amendments
A Preliminary Issue
13.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2785

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 6: SITEPLAN

Project Number
1706

Drawing Number
LG MAR DA60

Rev
A

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

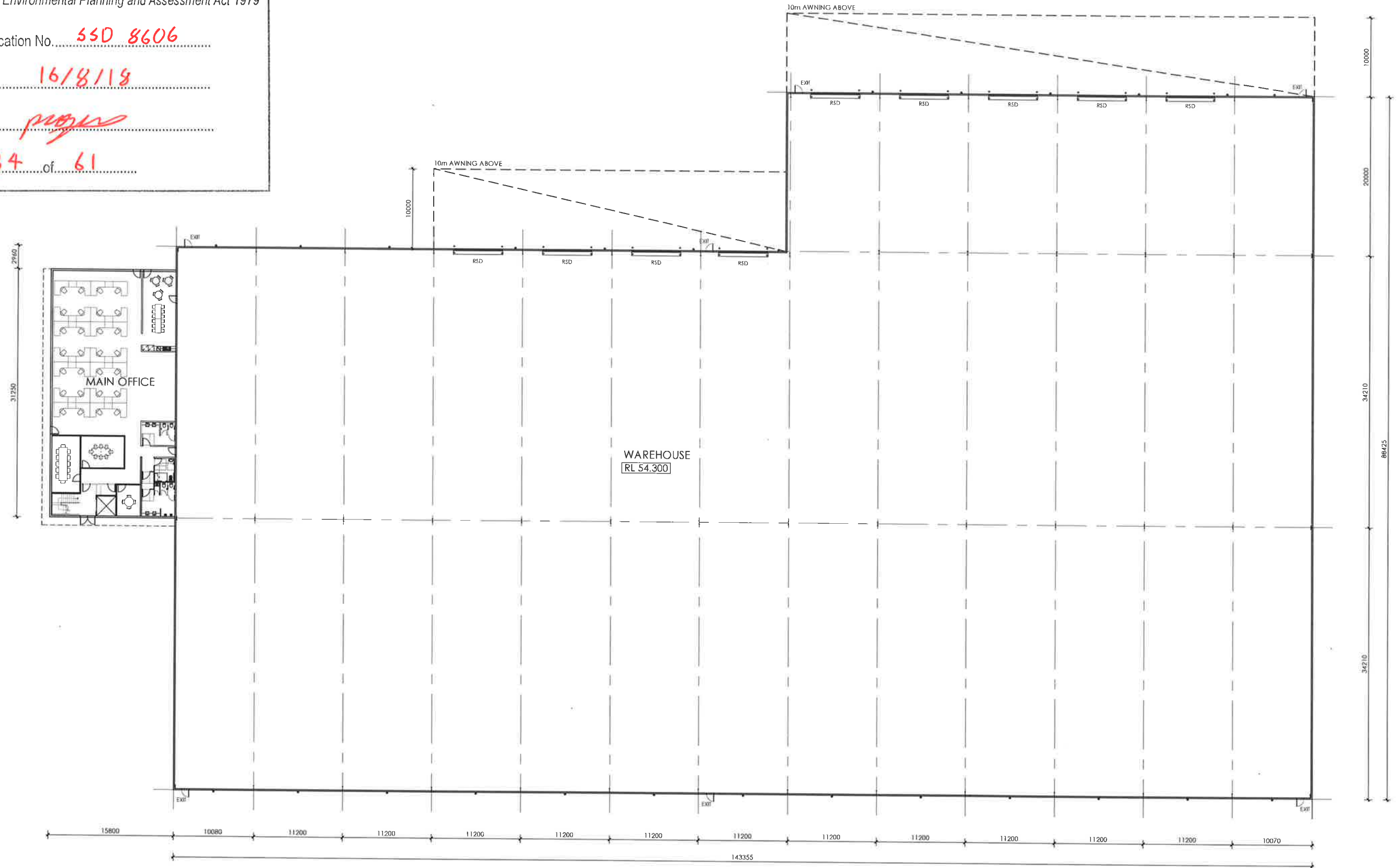
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granted on the **16/8/18**

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Sheet No. **34** of **61**



1 WAREHOUSE PLAN
1:500

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Amendments

A Preliminary Issue

02.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

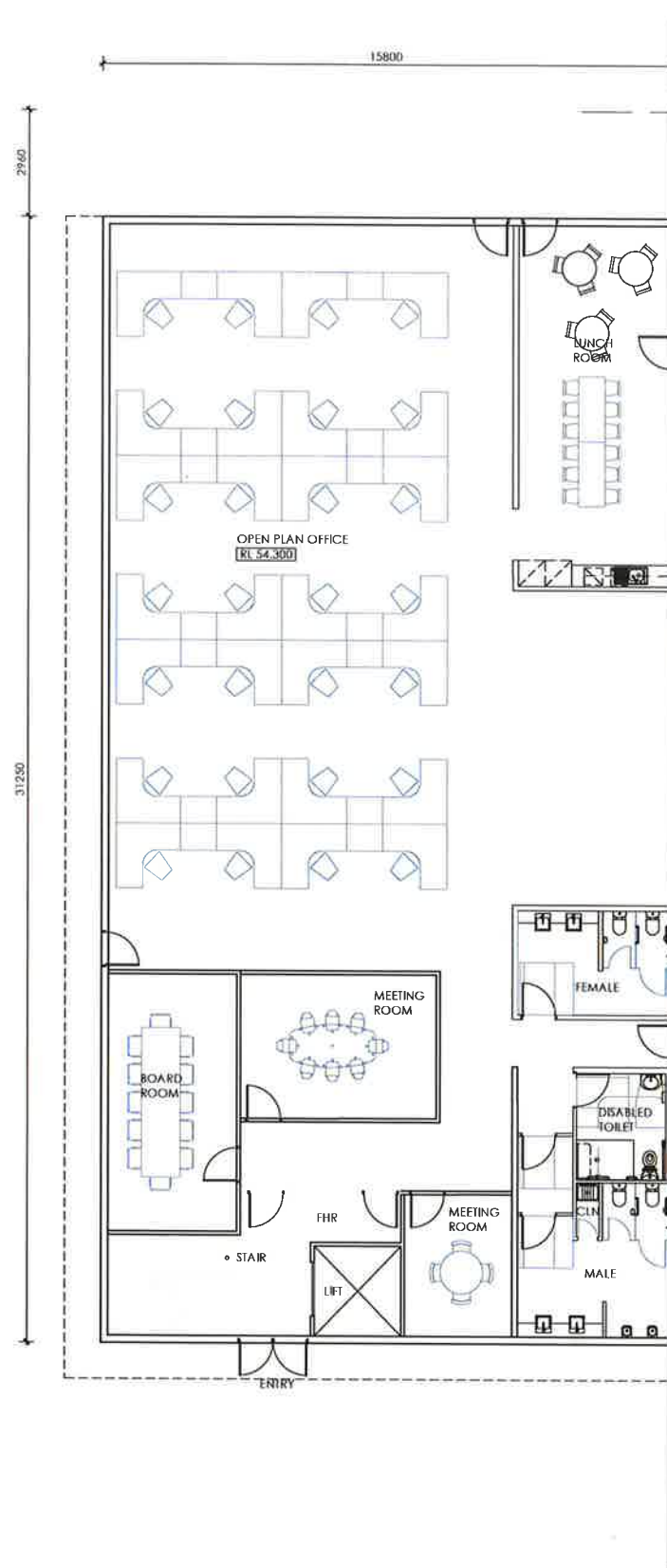
Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 6: WAREHOUSE PLAN

Project Number
1706
Drawing Number
LG MAR DA61
Rev
A

Status
DEVELOPMENT APPLICATION





1 MAIN OFFICE - GROUND FLOOR PLAN
1:200



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Planning

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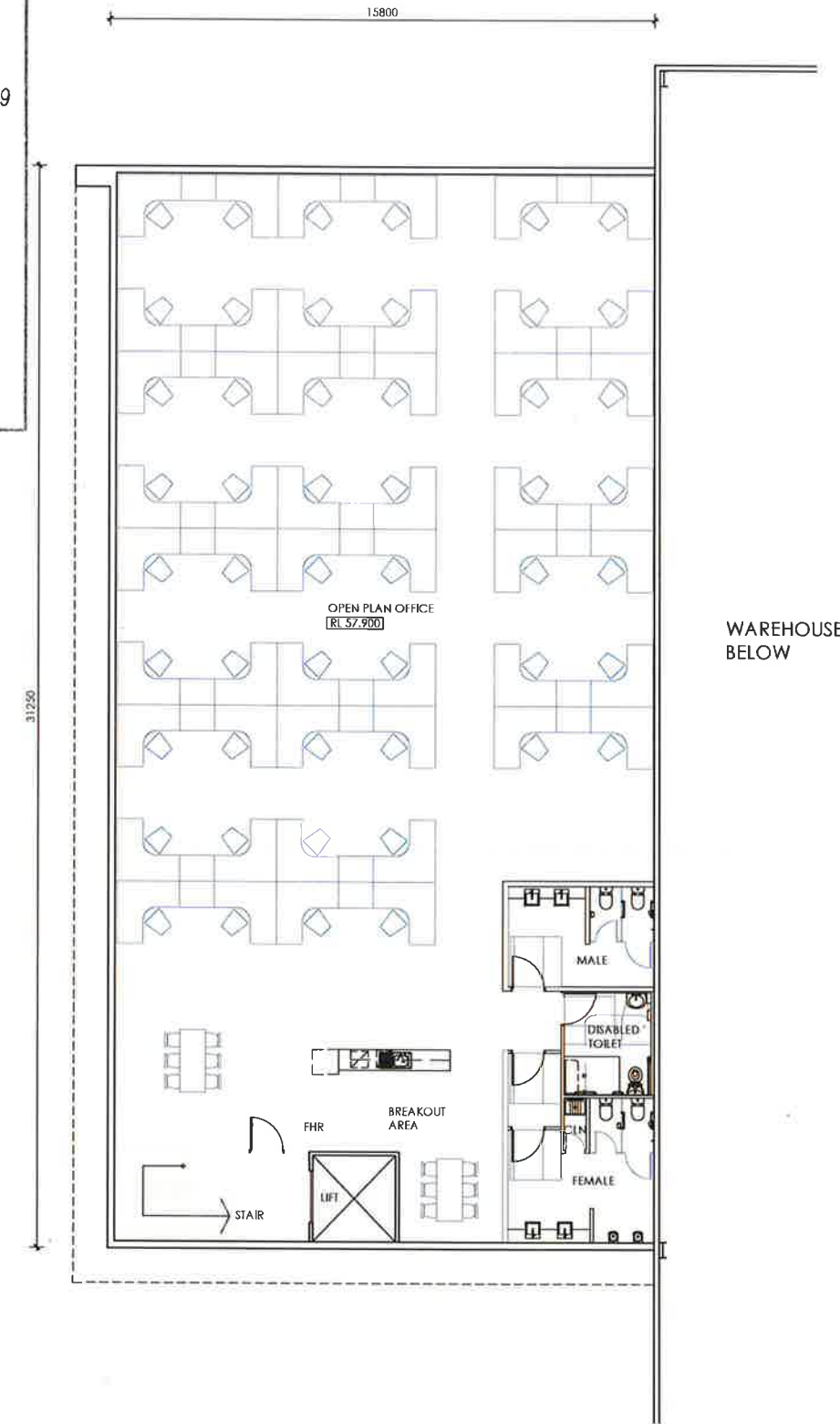
Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed *[Signature]*

Sheet No. **35** of **61**

WAREHOUSE



WAREHOUSE
BELOW

2 MAIN OFFICE - LEVEL 2 PLAN
1:200

Architect

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Amendments

A Preliminary Issue

02.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 6: OFFICE PLANS

Project Number
1706

Drawing Number
LG MAR DA62

Rev
A

Status
DEVELOPMENT APPLICATION





NSW GOVERNMENT
Planning

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Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **36** of **61**

PUMP ROOM
METAL ROOF SHEETING
COLORBOND EAVES
GUTTER

COLORBOND FASCIA
AND EAVES GUTTER TO
ENG'S DETAILS

MAIN OFFICE
ROOF
METAL ROOF SHEETING

2° FALL

AWNING ROOF 1
METAL ROOF SHEETING

3° FALL

AWNING ROOF 2
METAL ROOF SHEETING

3° FALL

WAREHOUSE ROOF
METAL ROOF SHEETING

2° FALL

2° FALL

2° FALL

2° FALL

COLORBOND RIDGE
CAPPING

COLORBOND BARGE
CAPPING

TRANSLUCENT SHEETING

10080 11200 11200 11200 11200 11200 11200 11200 11200 11200 11200 11200 10070
143355

10000
20000
34210
88425
34210

1 ROOF PLAN
1:500

Architect

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Amendments

A Preliminary Issue

02.11.17



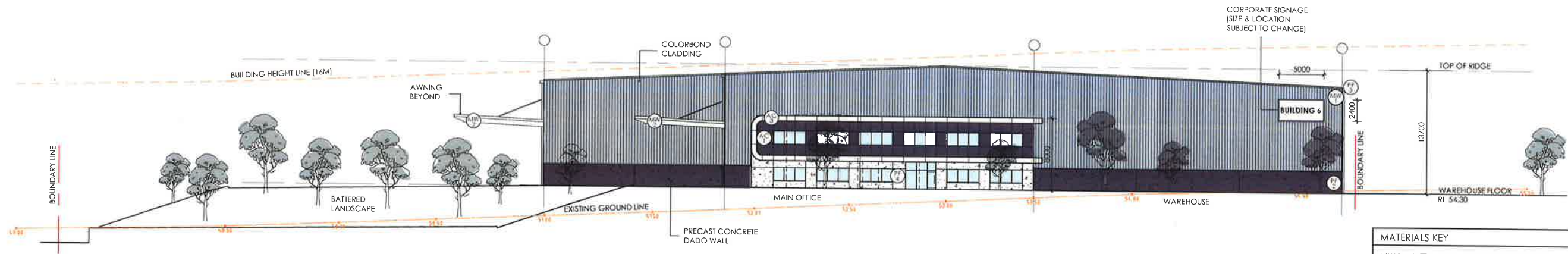
Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765
Drawn
TT
Scale
Checked
PM
Date
Approved
PM

Drawing Title
BUILDING 6: ROOF PLAN

Project Number
1706
Drawing Number
LG MAR DA63
Rev
A

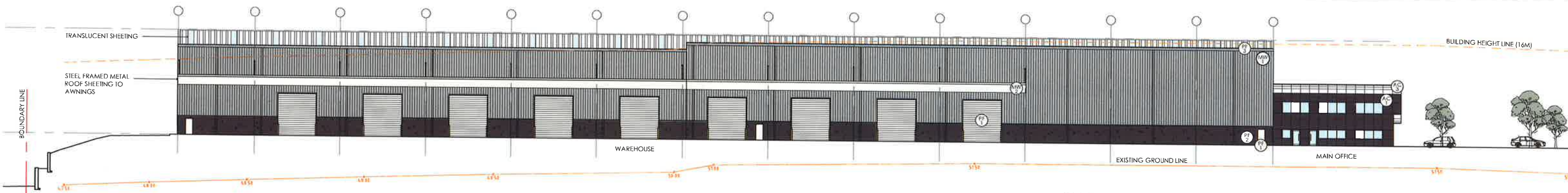
Status
Preliminary Issue



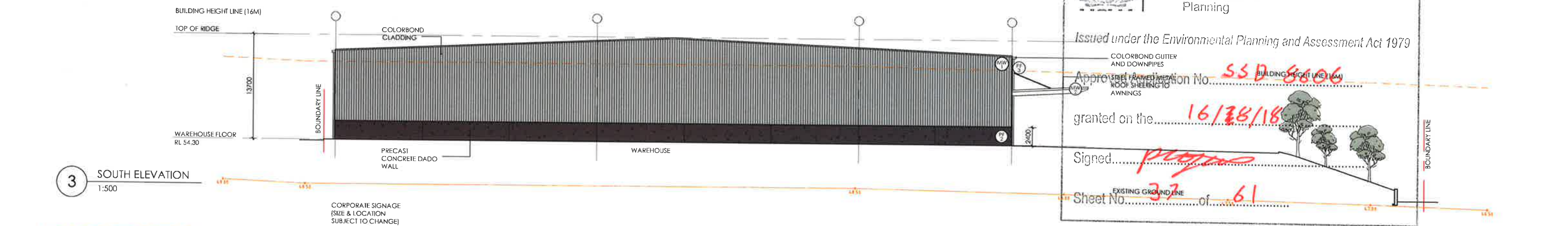


1 NORTH ELEVATION
1:500

MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHT SKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND LIGHT GREY



2 EAST ELEVATION
1:500



3 SOUTH ELEVATION
1:500

NSW GOVERNMENT
Planning

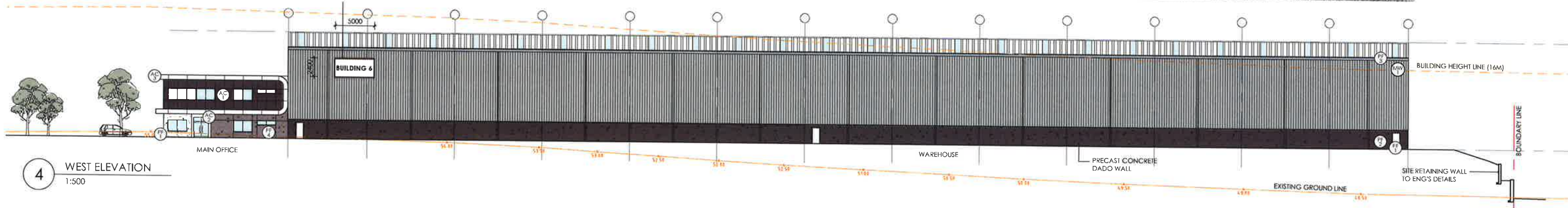
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Approval No. **SSP 8806**

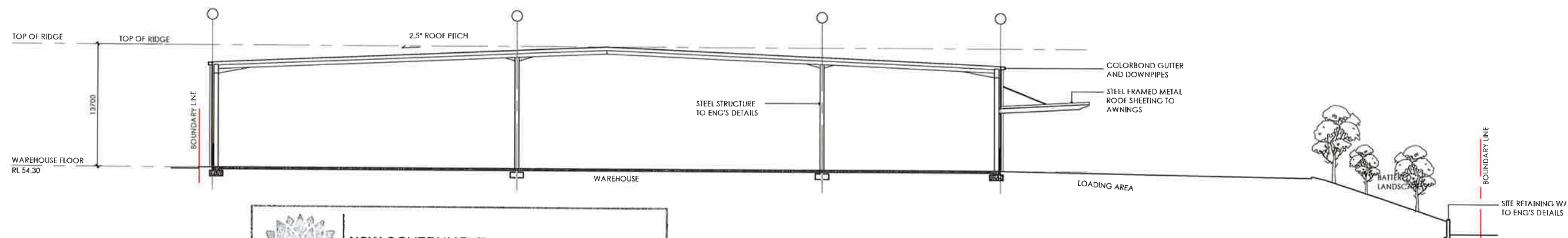
granted on the **16/18/18**

Signed **[Signature]**

Sheet No. **32** of **61**



4 WEST ELEVATION
1:500



1 SECTION
1:500

NSW GOVERNMENT
Planning

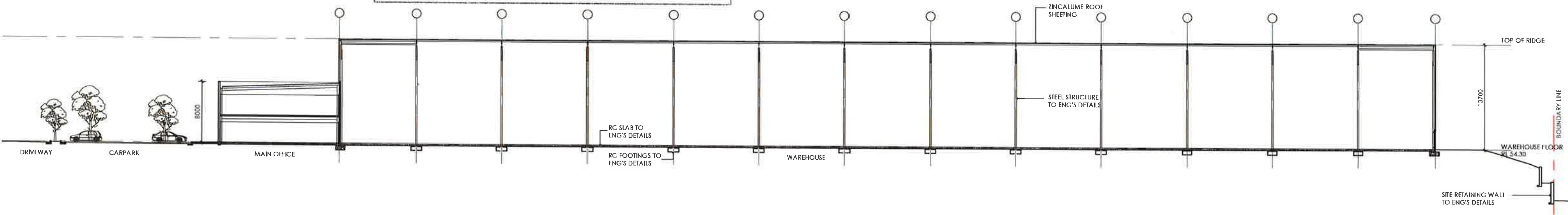
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8606

granted on the 16/8/18

Signed [Signature]

Sheet No. 38 of 61



2 SECTION
1:500

Architect
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www.watchthisspacedesign.com

Amendments

A	Preliminary Issue	02.11.17
B	Amended roof	17.11.17



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale

Checked
PM
Date

Approved
PM

Drawing Title
BUILDING 6: SECTIONS

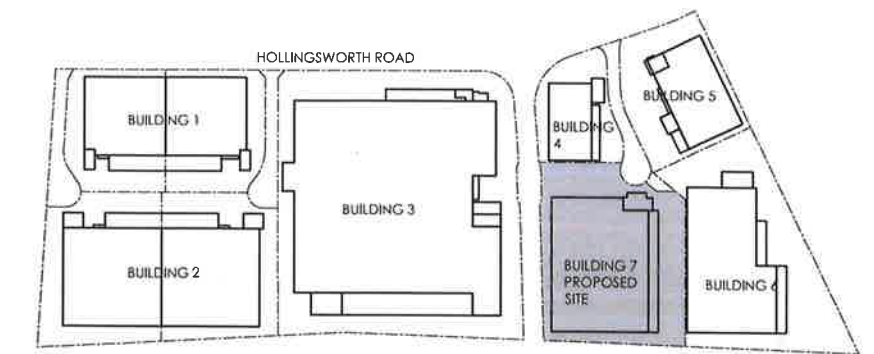
Project Number
1706

Drawing Number
LG MAR DA65

Rev
B

Status
SUBMITTED APPLICATION





ESTATE MASTERPLAN PLAN
NTS

NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **55D 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **39** of **61**

BUILDING 7 AREA SCHEDULE

Site Area	23,873 sqm
Warehouse Area	12,065 sqm
Office (1 Level) Area	450 sqm
Total Building Area	12,515 sqm
Total Awning Area	1,202 sqm
Heavy Duty Pavement Area	5,165 sqm
Light Duty Pavement Area	2,309 sqm

CARPARKING REQUIREMENTS

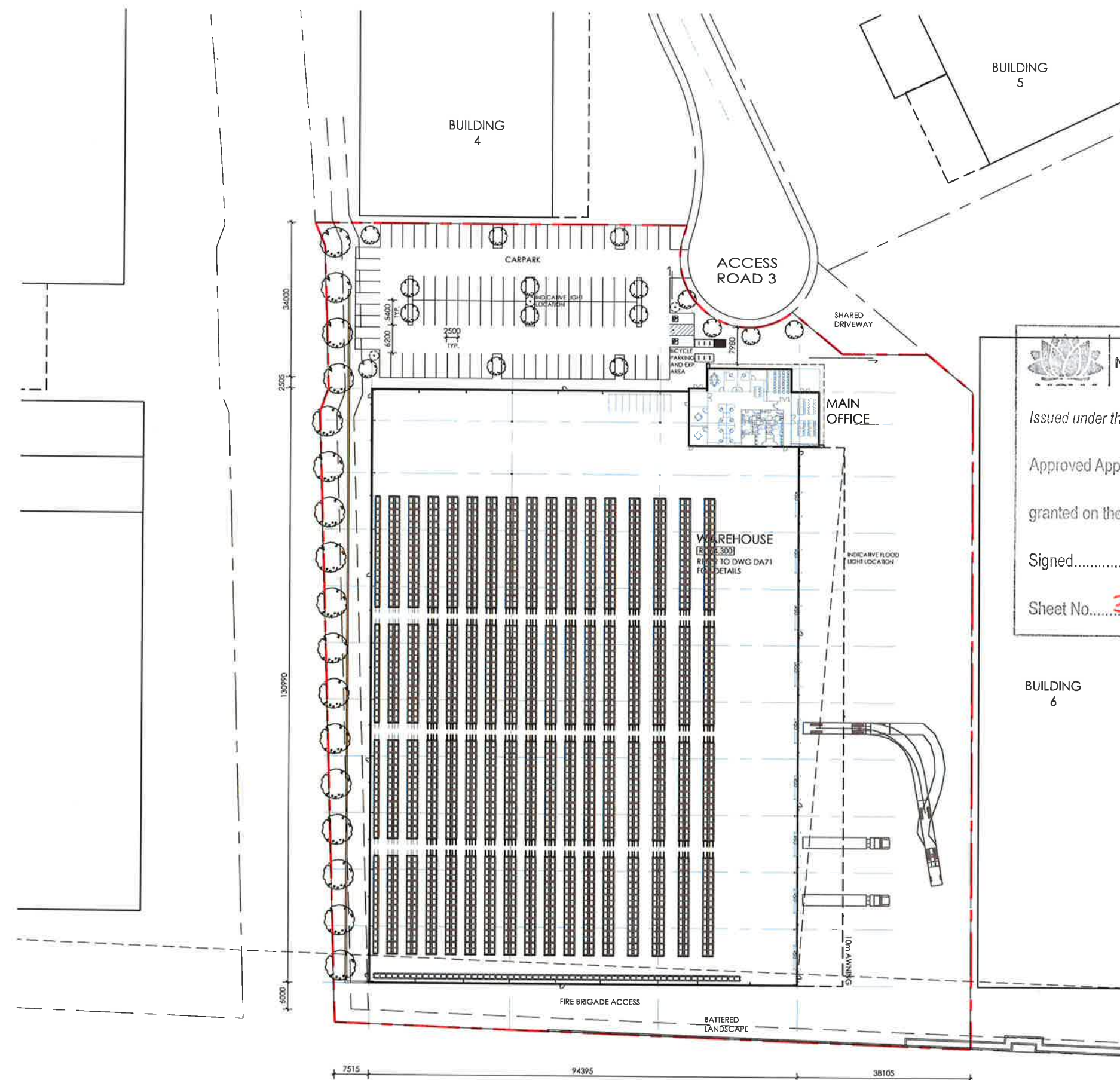
DCP Council Requirements:

Office (GFA)	1 space/ 40 sqm
Warehouse <7,500sqm (GFA)	1 space/ 75 sqm
Warehouse >7,500sqm (GFA)	1 space/ 200 sqm
Total Carparking Required	135 spaces

Cars Required:

Based off RMS Rates & Marketing
Parking Proposal (Refer Traffic
Report)

Office (GFA)	1 space/ 35 sqm
Warehouse (GFA)	1 space/ 300 sqm
Total Carparking Required	54 spaces
Total Carparking Provided	97 spaces



1 SITEPLAN
1:1000

Architect
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Amendments

A	Preliminary Issue	13.11.17
B	General amendment	15.12.17
C	General amendment	06.03.18



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:1000 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing title
BUILDING 7: SITEPLAN

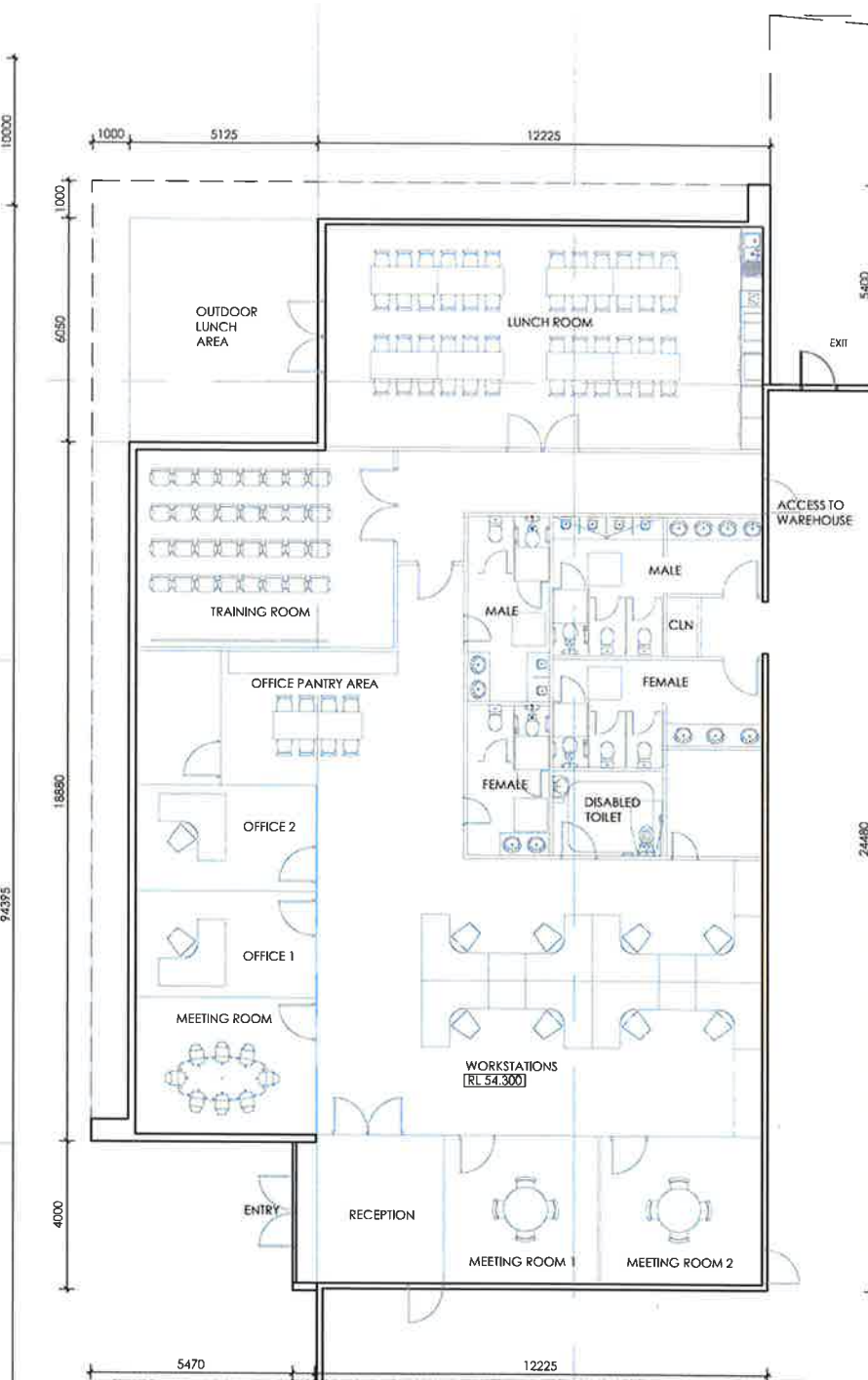
Project Number
1706

Drawing Number
LG MAR DA70

Rev
C

Status
DEVELOPMENT APPLICATION

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205

 NSW GOVERNMENT
Planning

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2 OFFICE FLOOR PLAN

1:200

Approved Application No. SSD 8606

granted on the 16/8/18

Signed 

Sheet No. 40 of 61





NSW GOVERNMENT
Planning

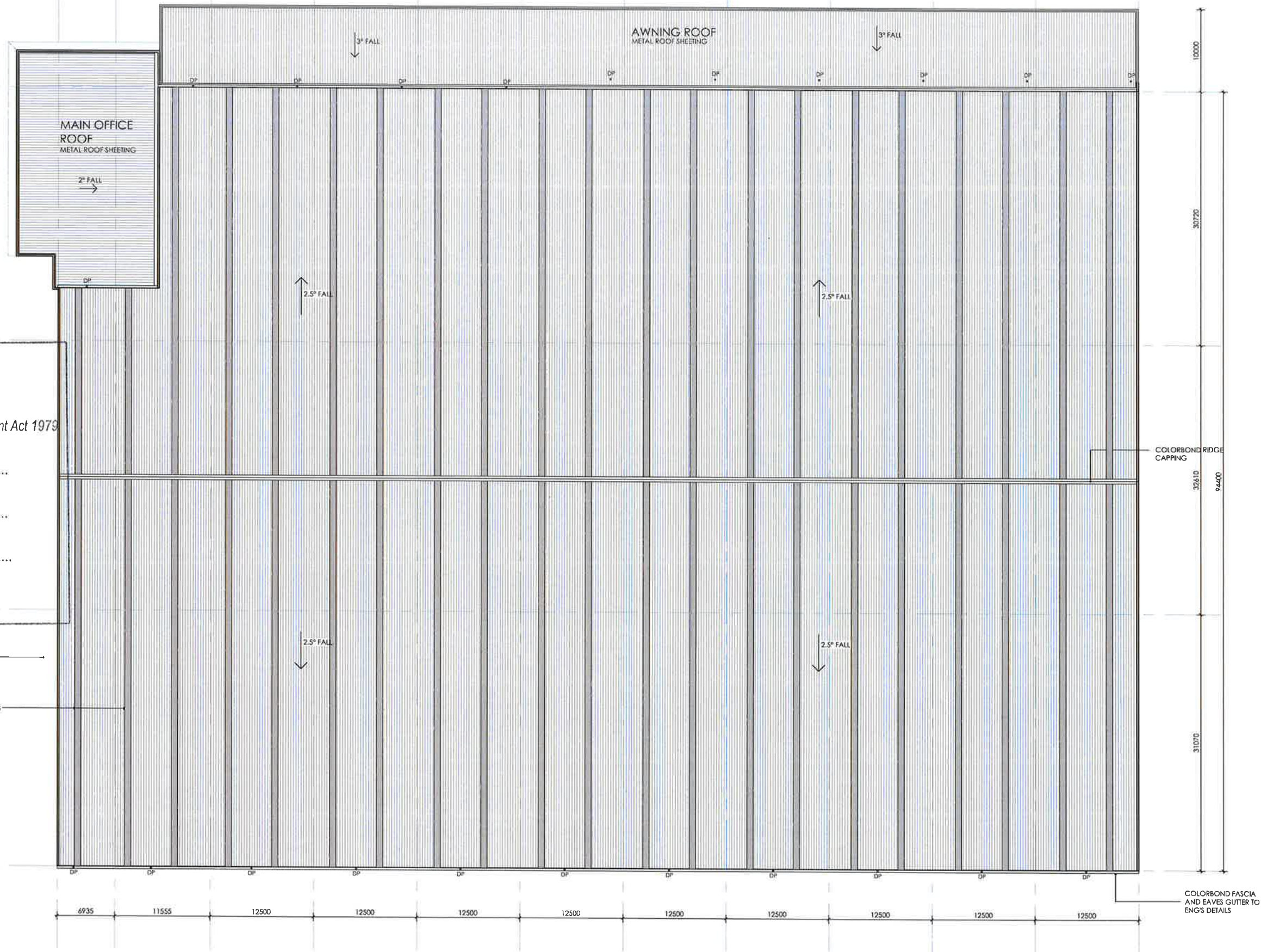
Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSD 8606

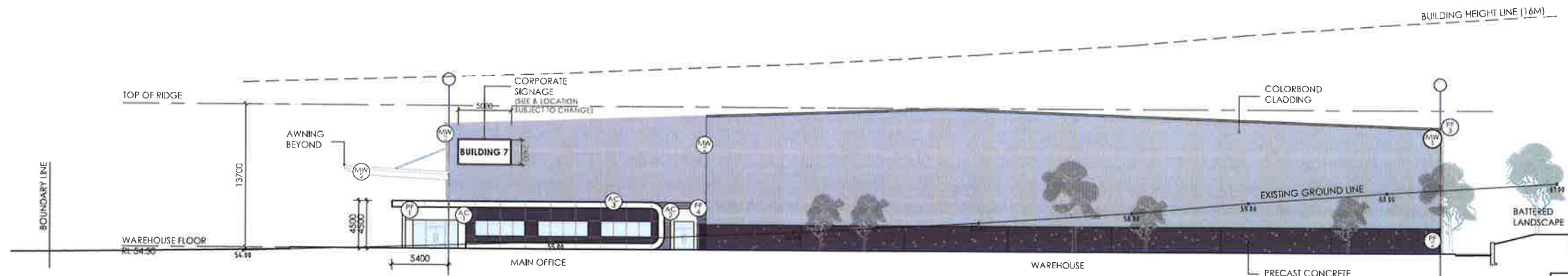
granted on the 16/8/18

Signed [Signature]

Sheet No. 41 of 61

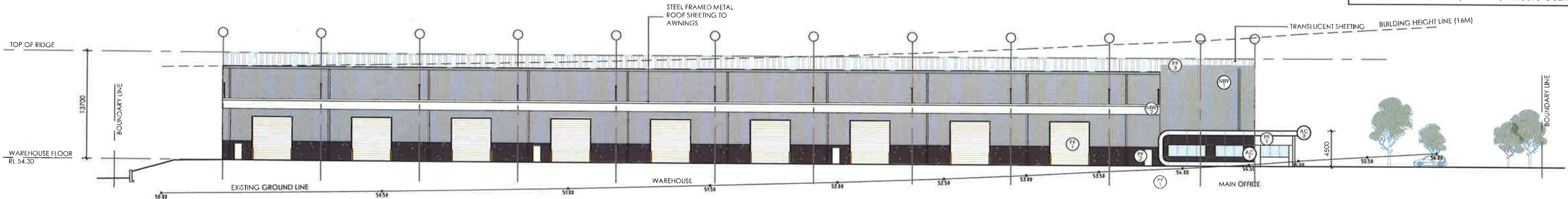


1 ROOF PLAN
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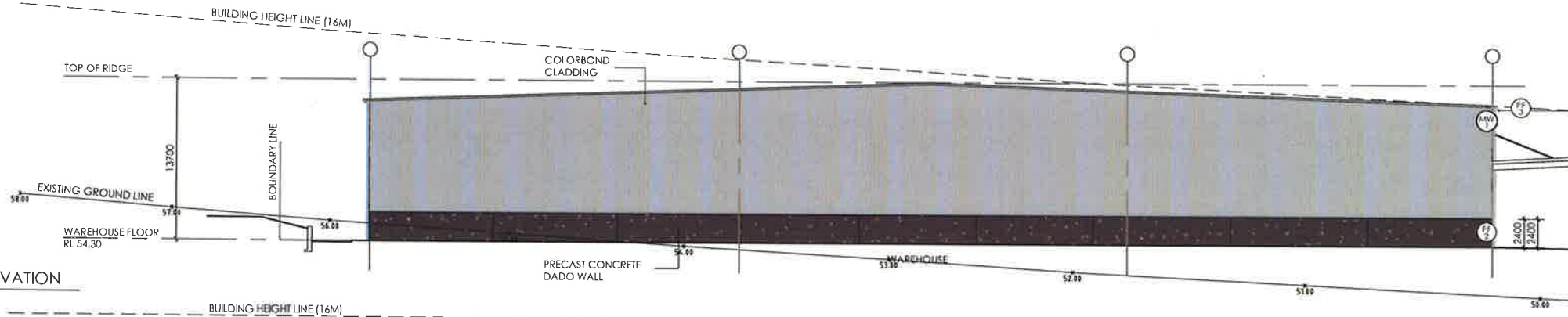


1 NORTH ELEVATION
1:500

MATERIALS KEY	
MW 1	METAL WALL CLADDING - COLOURBOND WINDSPRAY
MW 2	METAL WALL CLADDING - COLOURBOND SURFMIST
PF 1	PAINT FINISH - TO MATCH COLOURBOND SURFMIST
PF 2	PAINT FINISH - TO MATCH COLOURBOND NIGHT SKY
PF 3	PAINT FINISH - TO MATCH COLOURBOND WINDSPRAY
PF 4	PAINT FINISH - DULUX MILTON MOON
AC 1	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND ANTHRACITE GREY
AC 2	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND SIGNAL GREY
AC 3	ALUMINIUM CLADDING (PREFINISHED) - ALUCOBOND LIGHT GREY



2 EAST ELEVATION
1:500



3 SOUTH ELEVATION
1:500

NSW GOVERNMENT
Planning

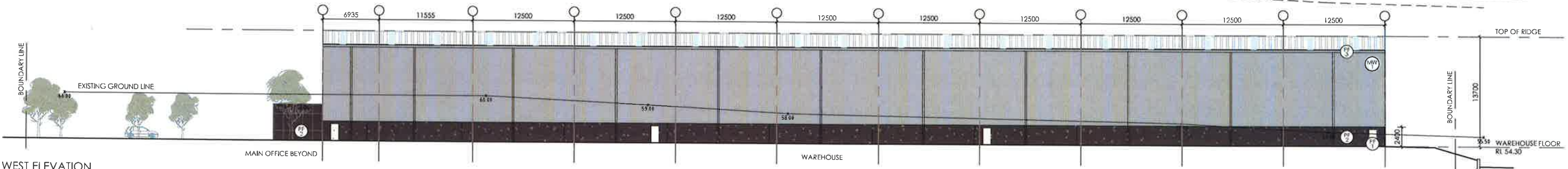
Issued under the Environmental Planning and Assessment Act 1979

Application No. **SSD 8606**

granted on the **16/8/18**

Signed **PEOPLE**

Sheet No. **42** of **61**



4 WEST ELEVATION
1:500

Architect
WATCH THIS SPACE DESIGN PTY LTD
LEVEL 6, SUITE 66 - 61 MARLBOROUGH STREET, SURRY HILLS, NSW 2010
Email: info@watchthisspacedesign.com
www.watchthisspacedesign.com

Amendments	
A	Preliminary Issue 14.11.17
B	Amended roof 17.11.17
C	General amendment 06.03.18



Client
LOGOS
Project
Lot 23 & 24 Hollinsworth Road
Marsden Park NSW 2765

Drawn
TT
Scale
1:500 @ A3

Checked
PM
Date
OCT 2017

Approved
PM

Drawing Title
BUILDING 7: ELEVATIONS

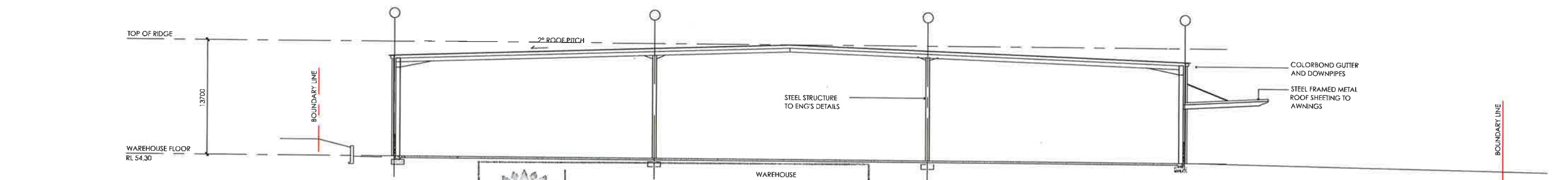
Project Number
1706

Drawing Number
LG MAR DA73

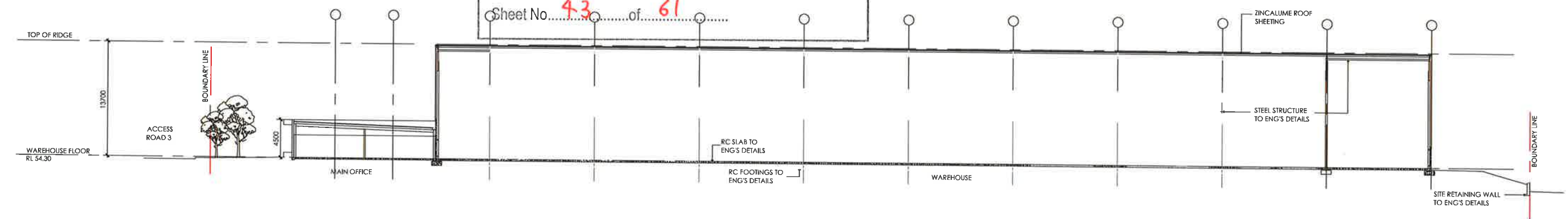
Rev
C

Status
DEVELOPMENT APPLICATION

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1 SECTION
1:500



2 SECTION
1:500


NSW GOVERNMENT
 Planning
Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No. **56D 8606**
 granted on the **16/8/18**
 Signed **[Signature]**
 Sheet No. **43** of **61**

Architect
WATCH THIS SPACE DESIGN PTY LTD
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Amendments		
A	Preliminary Issue	14.11.17
B	Amended roof	17.11.17
C	General amendment	06.03.18



Client
LOGOS
 Project
 Lot 23 & 24 Hollinsworth Road
 Marsden Park NSW 2765
 Drawn
 TT
 Scale
 1:500 @ A3
 Checked
 PM
 Date
 OCT 2017
 Approved
 PM

Drawing Title
BUILDING 7: SECTIONS
 Project Number
1706
 Drawing Number
LG MAR DA74
 Rev
C
 Status
DEVELOPMENT APPLICATION



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DISCHARGE POINT 1
ATTENUATED FLOWS FROM LOT 1
TO DISCHARGE TO HOLLINSWORTH
ROAD DRAINAGE. REFER TO COSTIN
ROE SECTION 96 CIVIL PACKAGE
Co12829-06-DA FOR DETAILS.

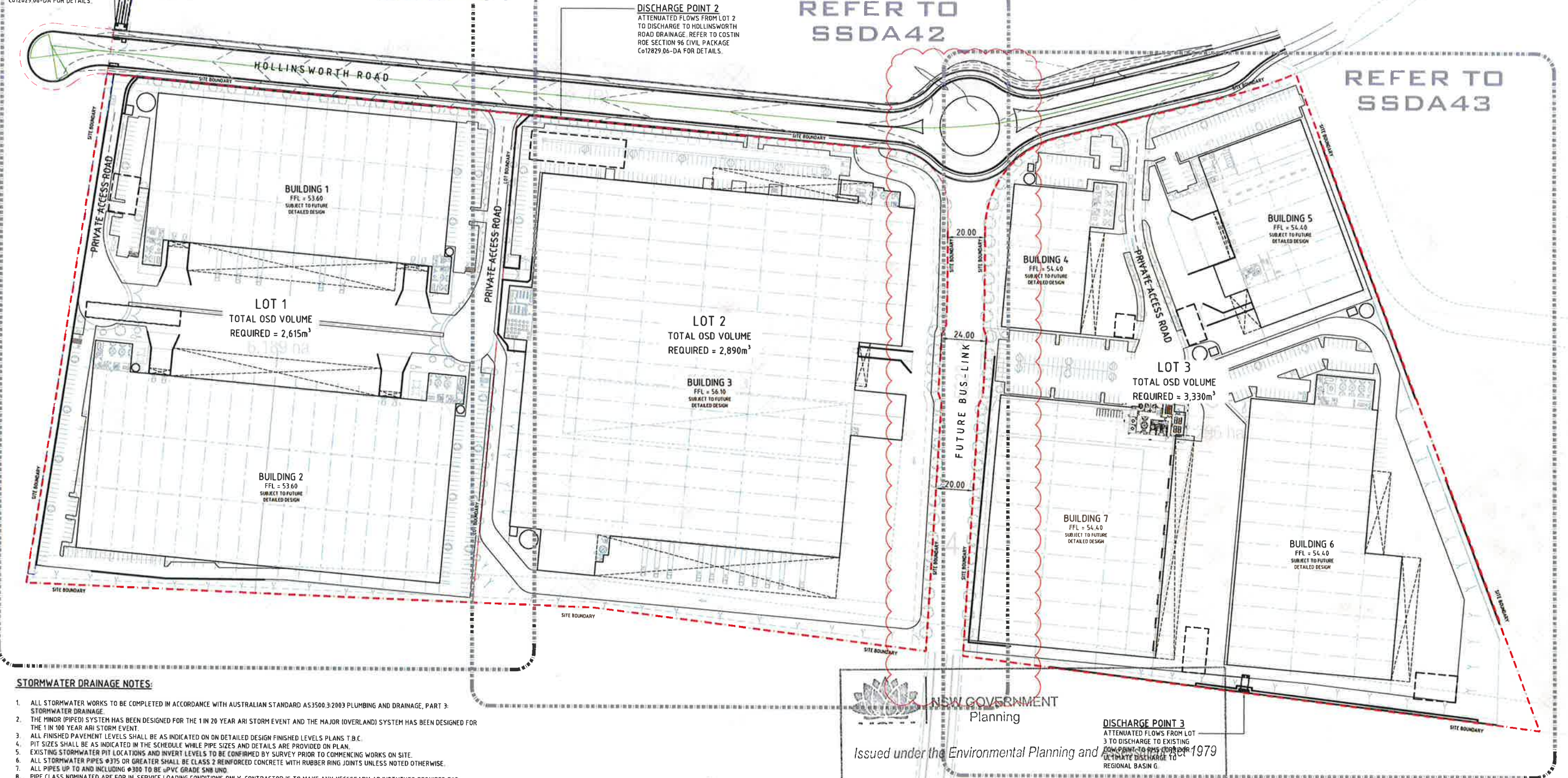
DRAINAGE CULVERT
TO REGIONAL BASIN E
PER INFRASTRUCTURE
DA DRAWINGS
Co12829-06-DA

REFER TO
SSDA41

DISCHARGE POINT 2
ATTENUATED FLOWS FROM LOT 2
TO DISCHARGE TO HOLLINSWORTH
ROAD DRAINAGE. REFER TO COSTIN
ROE SECTION 96 CIVIL PACKAGE
Co12829-06-DA FOR DETAILS.

REFER TO
SSDA42

REFER TO
SSDA43



STORMWATER DRAINAGE NOTES:

- ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
- THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
- ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON ON DETAILED DESIGN FINISHED LEVELS PLANS T.B.C.
- PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
- EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
- ALL STORMWATER PIPES Ø375 OR GREATER SHALL BE CLASS 2 REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- ALL PIPES UP TO AND INCLUDING Ø300 TO BE uPVC GRADE SMO UNO.
- PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
- ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE Fc 25 MPa. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
- IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
- PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED. RAIN AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EGED RAMMERS OR OTHER SUITABLE TAMPING DETAILS.
- WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED Ø100 uPVC TO EACH SIDE OF PIPE.
- ALL SUBSOIL DRAINAGE LINES SHALL BE Ø100 SLOTTED uPVC WITH APPROVED FILTER WRAP LAD IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT/ LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
- ALL PIPE GRADES 1 IN 100 MINIMUM UNO.
- PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
- MIN. 600 COVER TO PIPE OBVERT BENEATH ROADS & MIN. 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
- PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY', THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS B 'MEDIUM DUTY' UNO.
- PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
- DOWN PIPES (DP) TO BE AS PER HYDRAULIC ENGINEERS DETAILS WITH CONNECTOR TO MATCH DP SIZE UNO. ON PLAN. PROVIDE CLEANING EYE AT GROUND LEVEL.
- PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.



SITE MASTERPLAN
SCALE 1:750

DRAWING LIST

DRAWING NO.	DRAWING TITLE
CO12829-06-SSDA40	SITE MASTERPLAN
CO12829-06-SSDA41	LOT 1 CONCEPT STORMWATER DRAINAGE PLAN
CO12829-06-SSDA42	LOT 2 CONCEPT STORMWATER DRAINAGE PLAN
CO12829-06-SSDA43	LOT 3 CONCEPT STORMWATER DRAINAGE PLAN
CO12829-06-SSDA44	CONCEPT STORMWATER MANAGEMENT STRATEGY
CO12829-06-SSDA45	CONCEPT STORMWATER MANAGEMENT DETAILS

NSW GOVERNMENT
Planning

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Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed **[Signature]**

Sheet No. **44** of **61**

DISCHARGE POINT 3
ATTENUATED FLOWS FROM LOT
3 TO DISCHARGE TO EXISTING
DRAINAGE TO REGIONAL BASIN G
REFER TO COSTIN ROE SECTION 96 CIVIL PACKAGE
Co12829-06-DA FOR DETAILS.

NOTE:
SSDA40 DRAWINGS TO BE READ IN
CONJUNCTION WITH ENGINEERING
REPORT/STORMWATER MANAGEMENT PLAN
REF: Co12829-06-rpt

LEVELS NOTE:
LEVELS SHOWN TO BE ± 500mm FROM THOSE SHOWN.
FINAL LEVELS SUBJECT TO FINAL GEOTECHNICAL INVESTIGATIONS,
ARCHITECTURAL LAYOUT AND ACHIEVING A CUT TO FILL
EARTHWORKS BALANCE OVER THE PROPERTY.

6m 0 15 30 45 60 75m
SCALE 1:750 AT A0 SIZE SHEET

FOR DEVELOPMENT APPLICATION



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **SSD 8606**

granted on the **16/8/18**

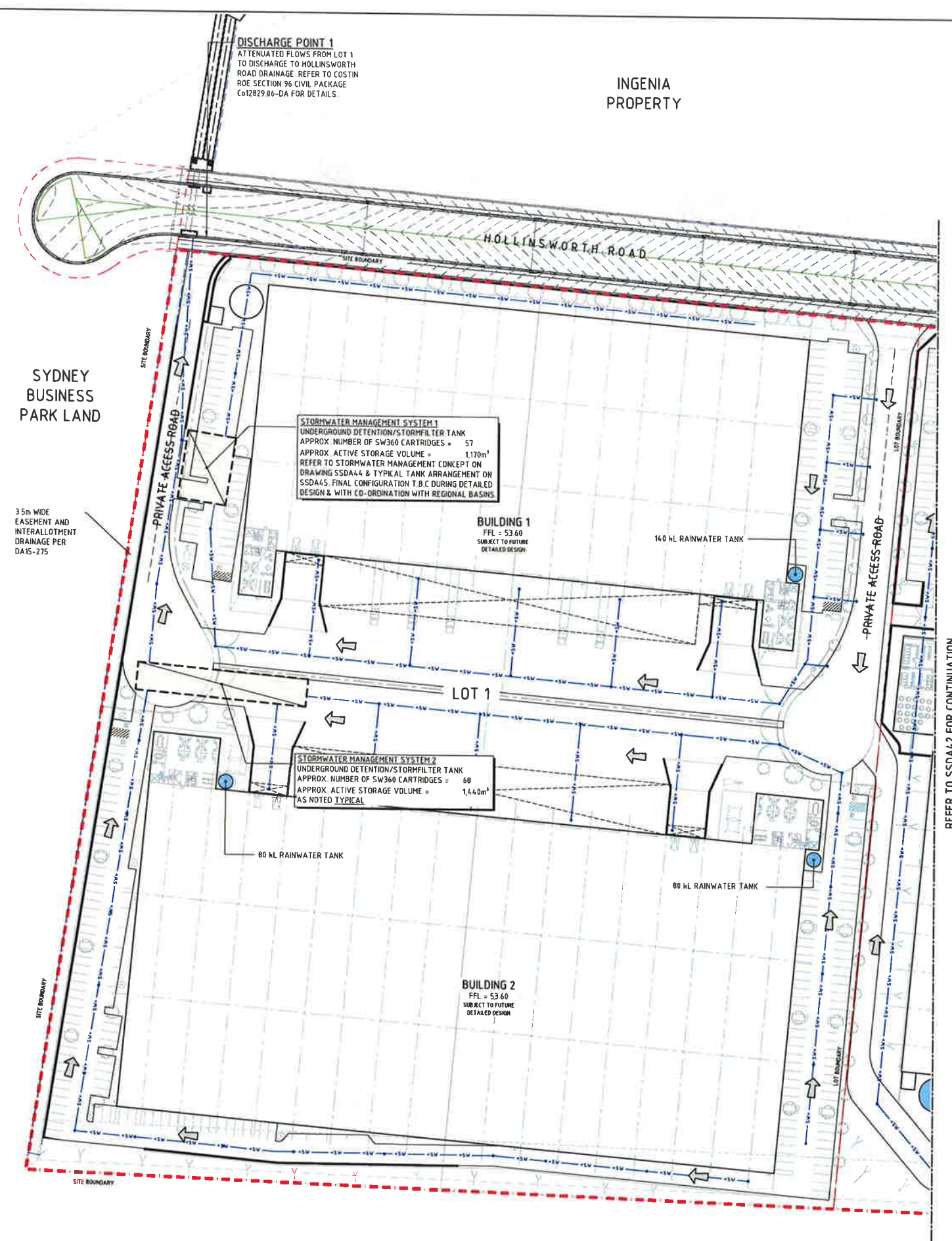
Signed **[Signature]**

Sheet No. **45** of **61**

SYDNEY
BUSINESS
PARK LAND

3.5m WIDE
EASEMENT AND
INTERALLOTMENT
DRAINAGE PER
DA15-275

INGENIA
PROPERTY



REFER TO SSDA42 FOR CONTINUATION

LEVELS NOTE:
LEVELS SHOWN TO BE ± 500 mm FROM THOSE SHOWN
FINAL LEVELS SUBJECT TO FINAL GEOTECHNICAL INVESTIGATIONS,
ARCHITECTURAL LAYOUT AND ACHIEVING A CUT TO FILL
EARTHWORKS BALANCE OVER THE PROPERTY.

NOTE:
REFER TO DRAWING C012829-06-SSDA40 FOR STORMWATER
DRAINAGE NOTES.

LEGEND:
LEVELS DATUM IS AHD.
EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY
INFORMATION PROVIDED BY LAND PARTNERS
REF: SY074063.000.11 DATED OCT '2016

- OVERFLOW PATH
- DRAINAGE LINE
- STORMWATER DRAINAGE EASEMENT

5m 0 10 20 30 40 50m
SCALE 1:500 AT A0 SIZE SHEET

RMS
CORRIDOR



LOT 1 CONCEPT STORMWATER DRAINAGE
SCALE 1:500

FOR DEVELOPMENT APPLICATION

REVISED FOR UPDATED ARCHITECTURAL LAYOUT REVISED FOR UPDATED ARCHITECTURAL LAYOUT REVISED FOR UPDATED ARCHITECTURAL LAYOUT				ARCHITECT				CLIENT				PROJECT				Coslin Roe Consulting Pty Ltd. Consulting Engineers			
AMENDMENTS				[watch this SPACE design]				LOGOS				STATE SIGNIFICANT DEVELOPMENT APPLICATION HOLLINSWORTH ROAD MARSDEN PARK NSW				Level 1, 8 Woodside Street, Wahroonga, Sydney NSW 2050 Tel: (02) 9551-7000 Fax: (02) 9551-7000 email: info@coslinroe.com.au			
DATE	ISSUE	AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE	DATE	ISSUE	DATE	ISSUE	DATE	ISSUE	DATE	ISSUE	DATE	ISSUE	DATE	ISSUE
27.03.18	C																		
22.11.17	B																		
10.11.17	A																		

Coslin Roe Consulting

PRECISION | COMMUNICATION | ACCOUNTABILITY

DRAWING TITLE
LOT 1 CONCEPT STORMWATER
DRAINAGE PLAN

Co12829-06-SSDA41

- DISCHARGE POINT 2
ATTENUATED FLOWS FROM LOT 2
TO DISCHARGE TO HOLLINSWORTH
ROAD DRAINAGE REFER TO COSTIN
ROE SECTION 96 CIVIL PACKAGE
Co12029.06-DA FOR DETAILS

RMS
CORRIDORNSW GOVERNMENT
Planning

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Approved Application No. SSD 8606

granted on the 16/8/18

Signed.....

Sheet No. 46 of 61

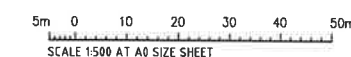
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FINAL LEVELS SUBJECT TO FINAL GEOTECHNICAL INVESTIGATIONS,
ARCHITECTURAL LAYOUT AND ACHIEVING A CUT TO FILL
EARTHWORKS BALANCE OVER THE PROPERTY.

NOTE:
REFER TO DRAWING C012829-06-SSDA40 FOR STORMWATER DRAINAGE NOTES.

LEGEND:
LEVELS DATUM IS AHD.

EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY
INFORMATION PROVIDED BY LAND PARTNERS
REF: SY074063.000.1.1 DATED OCT' 2016

-  - OVERFLOW PATH
- - DRAINAGE LINE
- - STORMWATER DRAINAGE EASEMENT



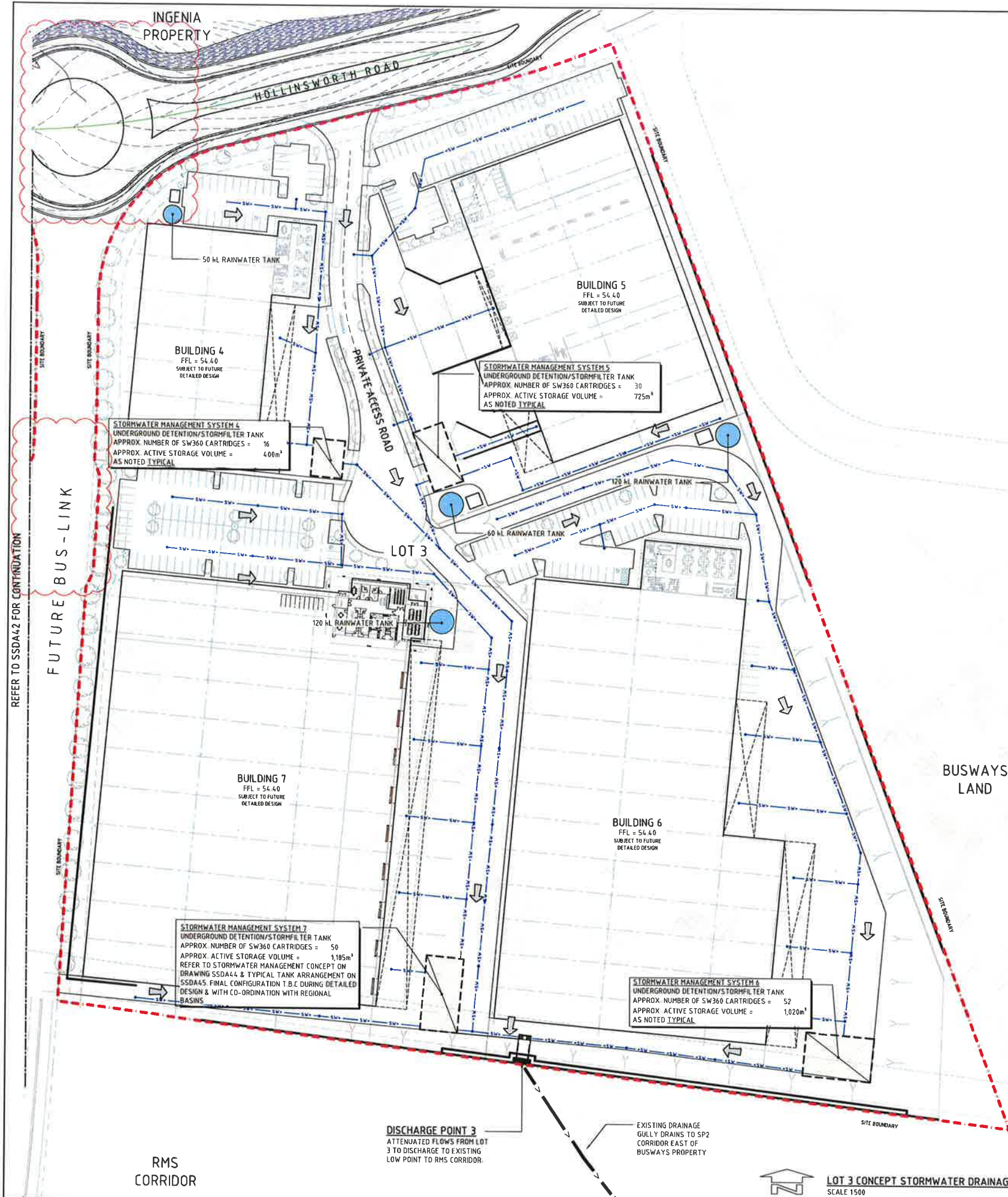
FOR DEVELOPMENT APPLICATION

Costin Roe Consulting

DRAWING TITLE
LOT 2 CONCEPT STORMWATER
DRAINAGE PLAN

PRECISION | COMMUNICATION | ACCOUNTABILITY

Document No: C012829.06-SSDA62



NSW GOVERNMENT
Planning

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Approved Application No. **SSD 8606**

granted on the **16/8/18**

Signed **[Signature]**

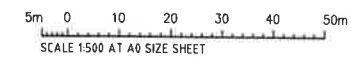
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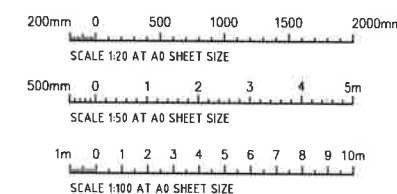
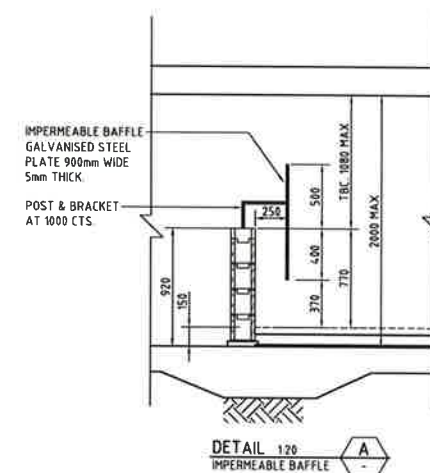
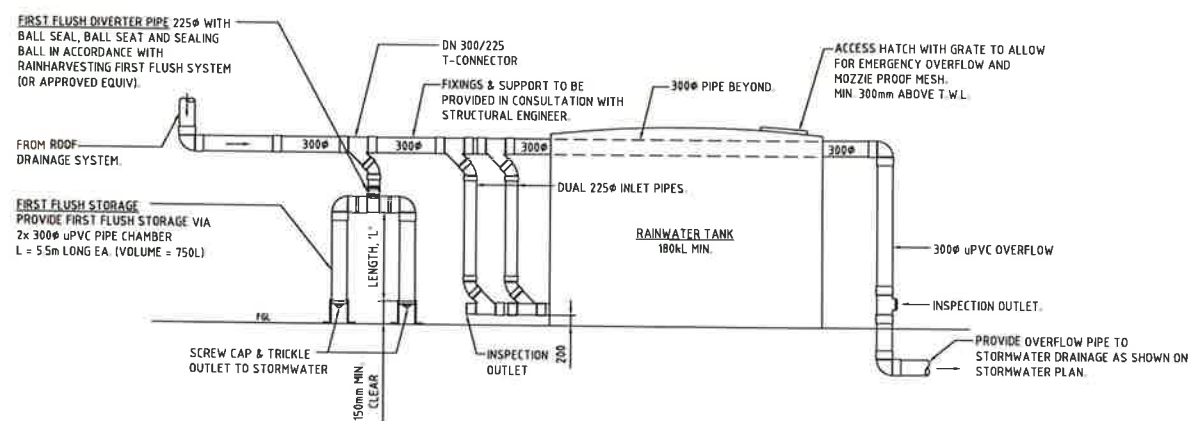
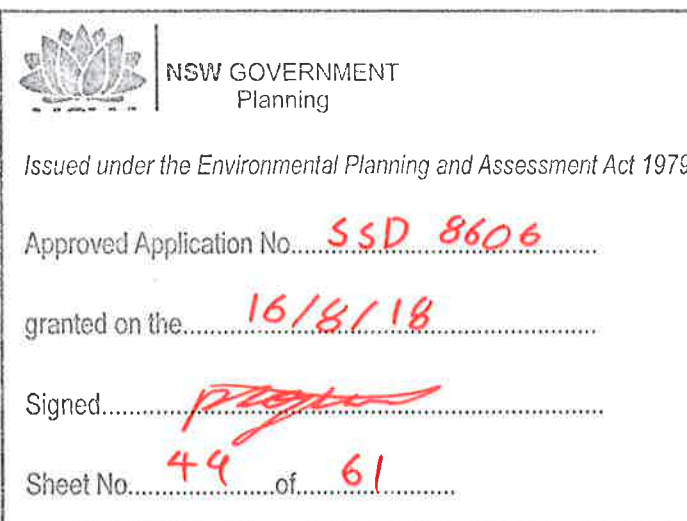
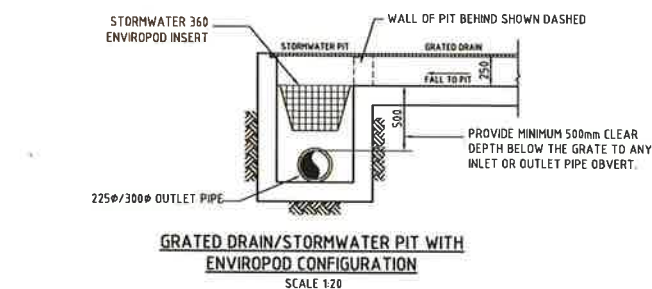
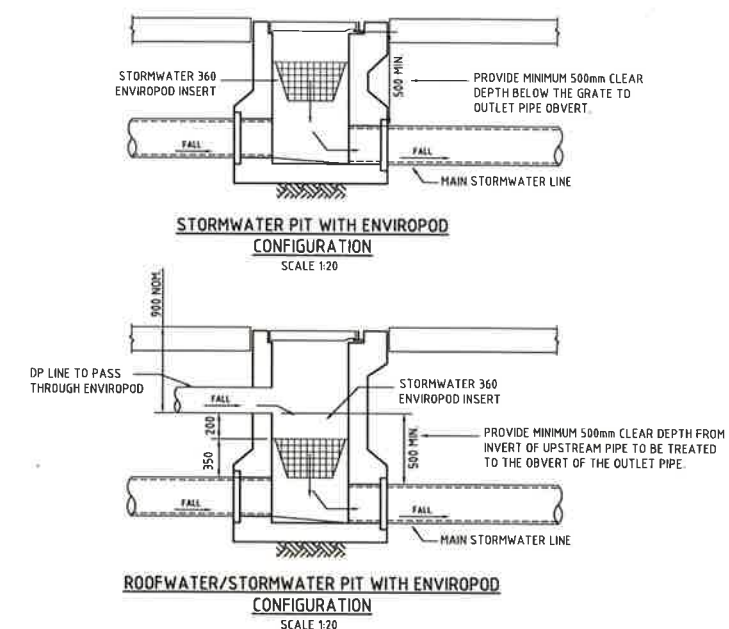
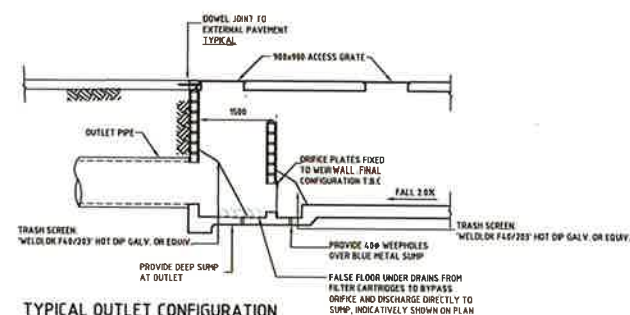
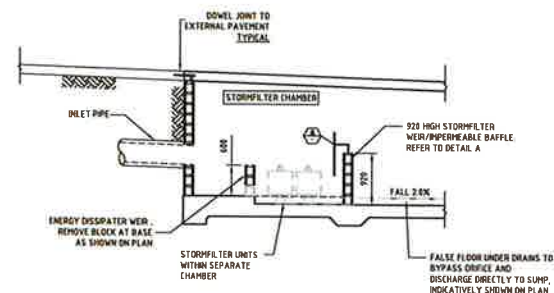
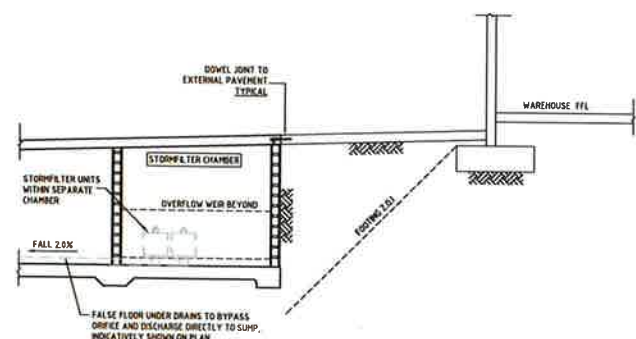
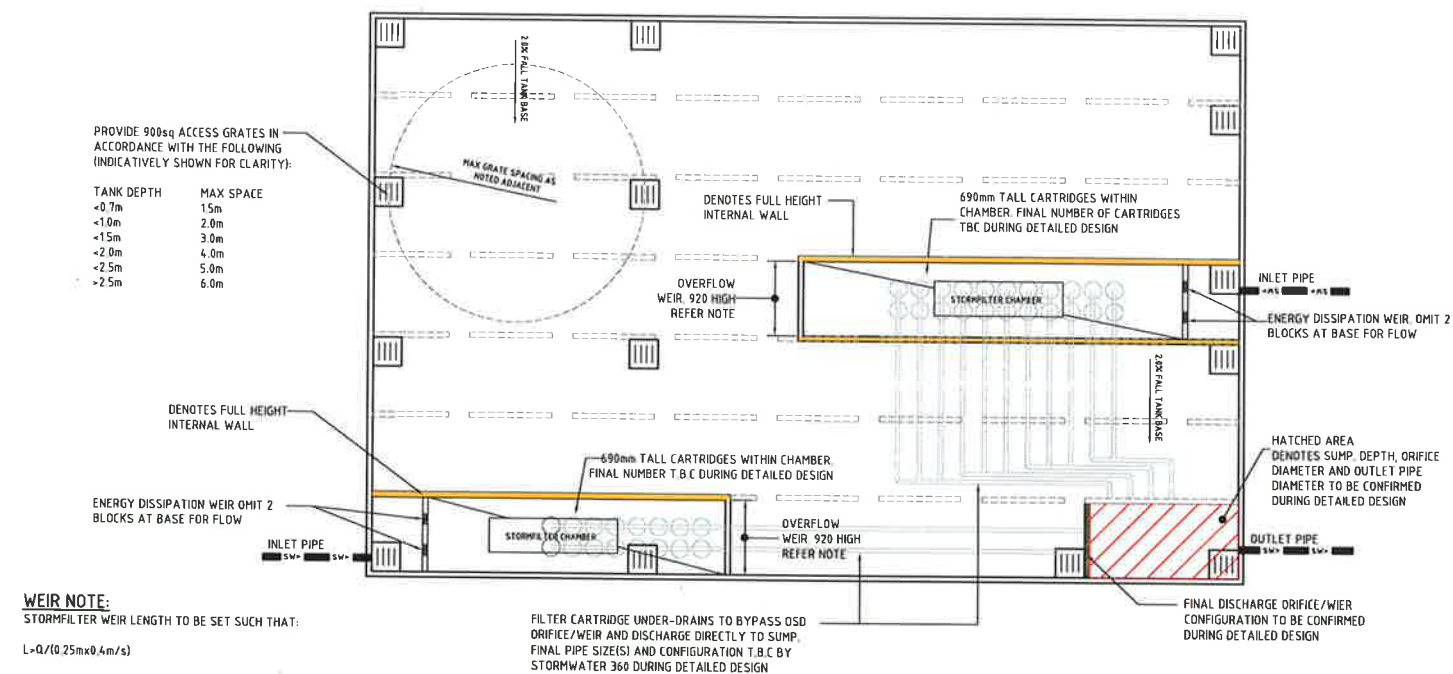
LEVELS NOTE:
LEVELS SHOWN TO BE + 500mm FROM THOSE SHOWN.
FINAL LEVELS SUBJECT TO FINAL GEOTECHNICAL INVESTIGATIONS,
ARCHITECTURAL LAYOUT AND ACHIEVING A CUT TO FILL
EARTHWORKS BALANCE OVER THE PROPERTY.

NOTE:
REFER TO DRAWING C012829.06-SSDA40 FOR STORMWATER
DRAINAGE NOTES.

LEGEND:
LEVELS DATUM IS AHD.
EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY
INFORMATION PROVIDED BY LAND PARTNERS
REF: SY074063.000.1.1 DATED OCT 2016.

- OVERFLOW PATH
- DRAINAGE LINE
- STORMWATER DRAINAGE EASEMENT







Dwg No.	Drawing Name
SSD-07	Typical Communal Area
SSD-08	Landscape Sections: AA & BB
SSD-09	Landscape Sections: CC & DD
SSD-10	Landscape Sections: EE & FF
SSD-11	Fencing Plan
SSD-12	Typical Specification & Details
SSD-13	Planting Lists & Images

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. SSID 8606

Landscape Design Statement

granted on the 1678/18/18
THE PROJECT, LOCATED ON STATE ROAD 1678/18/18 INVOLVES THE DEVELOPMENT
OF APPROXIMATELY 21.5 HA OF LAND FOR A NEW WAREHOUSE AND INDUSTRIAL ESTATE.
THE SITE IS BOUND BY THE PROPOSED HOLLINSWORTH ROAD EXTENSION, WOODLAND
TO THE EAST, WESTLAND CREEK TO THE SOUTH, SETBACKS ALLOW
SIGNED FOR SIGNIFICANT LANDSCAPE BUFFER PLANTING TO SCREEN THE DEVELOPMENT AND
INTEGRATE THE SITE WITHIN ITS BROADER ENVIRONMENT.

Sheet No. 50 of 61

- USE NATIVE SPECIES THAT ARE LOCAL TO THE AREA.
- USE TREES THROUGHOUT THE SITE, WHERE FEASIBLE, TO PROVIDE SHADE AMENITY AND CANOPY COVER WITHIN VEGETATED AREAS.
- USE LOCAL SPECIES AS UNDERSTOREY PLANTING TO ENHANCE LOCAL HABITAT VALUES.
- PROVIDE INTEREST WITHIN THE LANDSCAPE AT FOCAL POINTS AROUND OFFICE BUILDINGS AND STAFF OUTDOOR AREAS.
- RE-VEGETATE BUFFER ZONES WITH NATIVE SPECIES FROM THE CUMBERLAND PLAIN WOODLAND COMMUNITY.

FOR DETAILED SITE LEVELS, PROPOSED GRADING AND RETAINING WALLS REFER TO CIVIL ENGINEER.

DWG No: **SSD-00**



[watch this **SPACE** design]

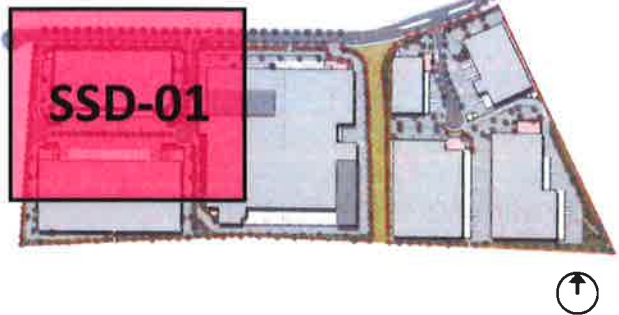
LOGOS

North:


FOR STATE SIGNIFICANT DEVELOPMENT				
Revision				
Rev	Date	Description	Drawn	Checked
A	28.09.2017	FOR SSD - DRAFT	CL	BG
B	12.10.2017	FOR SSD	JT	BG
C	14.11.2017	FOR SSD	JT	BG
D	05.03.2018	FOR SSD	CL	BG



KEY PLAN



LEGEND

--- SITE BOUNDARY

NSW GOVERNMENT
Planning

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Application No. **SSD 8606**
CANOPY TREE PLANTING WITHIN LANDSCAPE
BUFFER ZONES AND TO INTERNAL ESTATE

granted on the **16/8/18**
SCREEN AND SHRUB PLANTING

Sign **[Signature]**
FLOWERING DECIDUOUS TREE PLANTING
AROUND OFFICE BUILDINGS

Sheet No. **51**
MASS PLANTED AREAS OF GROUNDCOVERS
AND LOW SHRUBS

- MAJOR DESIGN CONTOURS (TO CIVIL DETAILS)
- SECTION LOCATIONS (REFER TO SSD08 - SSD10)
- TURF
- RETAINING WALL
- INDICATIVE LIGHTING LOCATION
- BICYCLE PARKING
- WATER TANK

NOTE:
DUE TO THE EXTENT OF THE DEVELOPMENT, TREE RETENTION MAY PROVE DIFFICULT. HOWEVER, EXISTING TREES SHOULD BE RETAINED WHEREVER POSSIBLE. THIS WILL BE SUBJECT TO AN ARBORIST ASSESSMENT.

Drawing Title
Landscape Plan - Area 1
DWG No: **SSD-01**

GEOSCAPES
Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph: (02) 9411 1485
www.geoscapes.com.au
ABN 84 620 205 781 ACN 620 205 781

Architect:
Studio 66, Level 6, 61
Marlborough Street
Surry Hills NSW 2010
+61 402 120 455



Client:
admin@logosgroup.com.au
Ph: 02 9546 3264

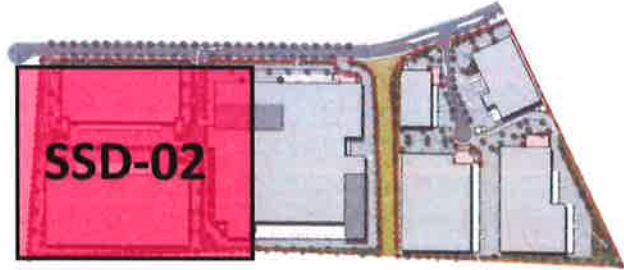


Scale: 1:500 @ A1
1:1000 @ A3
Date: 14.11.2017
Job Number: 170906
North:
Project: **Hollinsworth Road**
Marsden Park, NSW 2765

Revision		FOR STATE SIGNIFICANT DEVELOPMENT			
Rev	Date	Description	Drawn	Checked	
A	28.09.2017	FOR SSD - DRAFT	CL	BG	
B	12.10.2017	FOR SSD	JT	BG	
C	14.11.2017	FOR SSD	JT	BG	
D	06.03.2018	FOR SSD	CL	BG	



KEY PLAN



LEGEND

- SITE BOUNDARY
- EXISTING TREE TO BE REMOVED
- COPSE OF TREES TO BE REMOVED
- CANOPY TREE PLANTING WITHIN LANDSCAPE BUFFER ZONES AND TO INTERNAL ESTATE
- SCREEN AND SHRUB PLANTING
- FLOWERING DECIDUOUS TREE PLANTING AROUND OFFICE BUILDINGS
- MASS PLANTED AREAS OF GROUNDCOVERS AND LOW SHRUBS
- MAJOR DESIGN CONTOURS (TO CIVIL DETAILS)
- SECTION LOCATIONS (REFER TO SSD08 - SSD10)
- TURF
- RETAINING WALL
- INDICATIVE LIGHTING LOCATION
- BICYCLE PARKING
- WATER TANK

NOTE:
DUE TO THE EXTENT OF THE DEVELOPMENT, TREE RETENTION MAY PROVE DIFFICULT. HOWEVER, EXISTING TREES SHOULD BE RETAINED WHEREVER POSSIBLE. THIS WILL BE SUBJECT TO AN ARBORIST ASSESSMENT.

Drawing Title
Landscape Plan - Area 2

DWG No:
SSD-02

GEO SCAPES
Suite 215, 284 Victoria Av, Chatswood NSW 2067 Ph. (02) 9411 1485
www.geoscapes.com.au
ABN 84 620 205 781 ACN 620 205 781

Architect:
Studio 66, Level 6, 61
Marlborough Street
Surry Hills NSW 2010
+61 402 120 455



Client:
admin@logosgroup.com.au
Ph: 02 9546 3264



Scale:
1:500 @ A1
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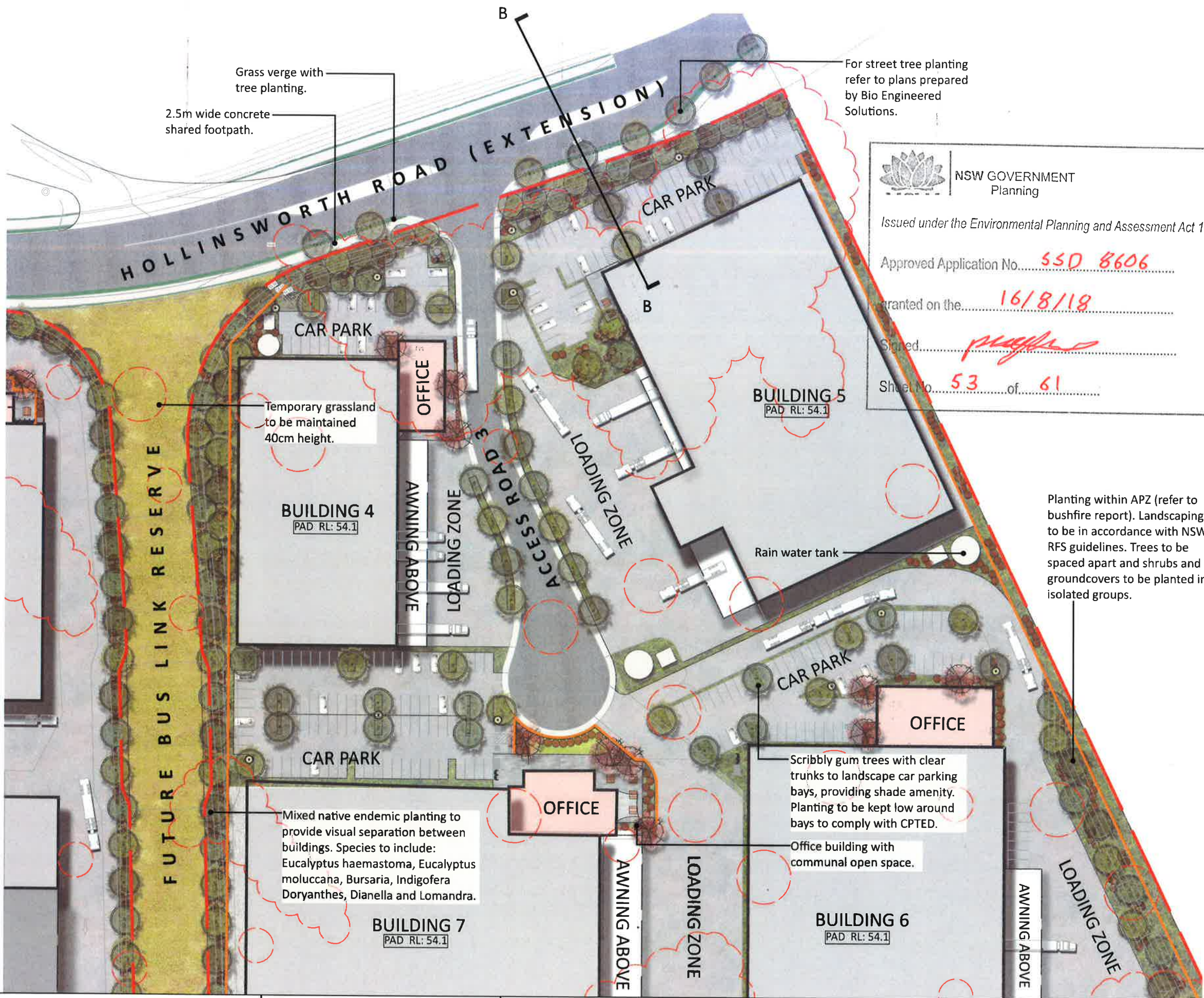
Date:
14.11.2017

Job Number:
170906

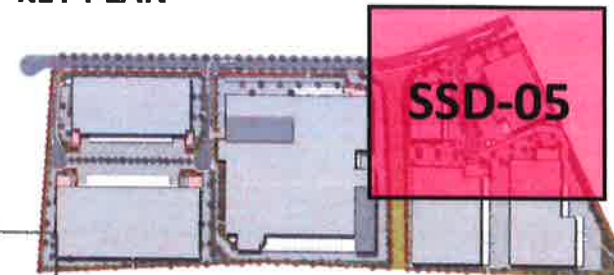
North:
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Project:
Hollinsworth Road
Marsden Park, NSW 2765

Revision		FOR STATE SIGNIFICANT DEVELOPMENT			
Rev	Date	Description	Drawn	Checked	
A	28.09.2017	FOR SSD - DRAFT	CL	BG	
B	12.10.2017	FOR SSD	JT	BG	
C	14.11.2017	FOR SSD	JT	BG	
D	06.03.2018	FOR SSD	CL	BG	



KEY PLAN



LEGEND

- SITE BOUNDARY
- EXISTING TREE TO BE REMOVED
- COPE OF TREES TO BE REMOVED
- CANOPY TREE PLANTING WITHIN LANDSCAPE BUFFER ZONES AND TO INTERNAL ESTATE
- SCREEN AND SHRUB PLANTING
- FLOWERING DECIDUOUS TREE PLANTING AROUND OFFICE BUILDINGS
- MASS PLANTED AREAS OF GROUNDCOVERS AND LOW SHRUBS
- MAJOR DESIGN CONTOURS (TO CIVIL DETAILS)
- SECTION LOCATIONS (REFER TO SSD08 - SSD10)
- TURF
- RETAINING WALL
- INDICATIVE LIGHTING LOCATION
- BICYCLE PARKING
- WATER TANK

NOTE:
 DUE TO THE EXTENT OF THE DEVELOPMENT, TREE RETENTION MAY PROVE DIFFICULT. HOWEVER, EXISTING TREES SHOULD BE RETAINED WHEREVER POSSIBLE. THIS WILL BE SUBJECT TO AN ARBORIST ASSESSMENT.

NSW GOVERNMENT Planning
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 Sheet No. **53** of **61**

Planting within APZ (refer to bushfire report). Landscaping to be in accordance with NSW RFS guidelines. Trees to be spaced apart and shrubs and groundcovers to be planted in isolated groups.

Drawing Title
Landscape Plan - Area 5
 DWG No: **SSD-05**

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Scale: 1:500 @ A1
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 Date: 14.11.2017
 Job Number: 170906
 Project: **Hollinsworth Road**
 Marsden Park, NSW 2765

FOR STATE SIGNIFICANT DEVELOPMENT				
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D	06.03.2018	FOR SSD	CL	BG





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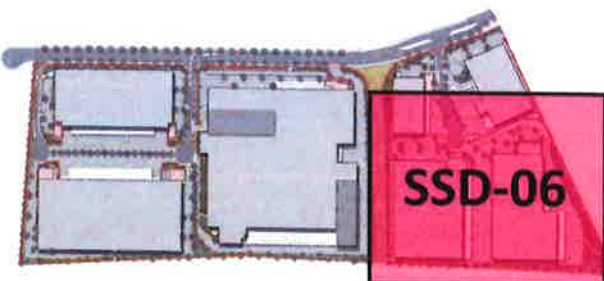
Approved Application No.....SSD 8606

Granted on the.....16/8/18

Signed.....

Sheet No. 54 of 61

KEY PLAN



SSD-06



- LEGEND
-  SITE BOUNDARY
 -  EXISTING TREE TO BE REMOVED
 -  COPSE OF TREES TO BE REMOVED
 -  CANOPY TREE PLANTING WITHIN LANDSCAPE BUFFER ZONES AND TO INTERNAL ESTATE
 -  SCREEN AND SHRUB PLANTING
 -  FLOWERING DECIDUOUS TREE PLANTING AROUND OFFICE BUILDINGS
 -  MASS PLANTED AREAS OF GROUNDCOVERS AND LOW SHRUBS
 -  MAJOR DESIGN CONTOURS (TO CIVIL DETAILS)
 -  SECTION LOCATIONS (REFER TO SSD08 - SSD10)
 -  TURF
 -  RETAINING WALL
 -  INDICATIVE LIGHTING LOCATION
 -  BICYCLE PARKING
 -  WATER TANK
 -  POTENTIAL ARTIFACT REBURIAL LOCATION. (REFER TO ABORIGINAL CULTURAL HERITAGE REPORT).

NOTE:
DUE TO THE EXTENT OF THE DEVELOPMENT, TREE RETENTION MAY PROVE DIFFICULT. HOWEVER EXISTING TREES SHOULD BE RETAINED WHEREVER POSSIBLE. THIS WILL BE SUPPORTED TO AN ANBORIST ASSESSMENT.

Drawing Title
Landscape Plan - Area 6
DWG No: **SSD-06**

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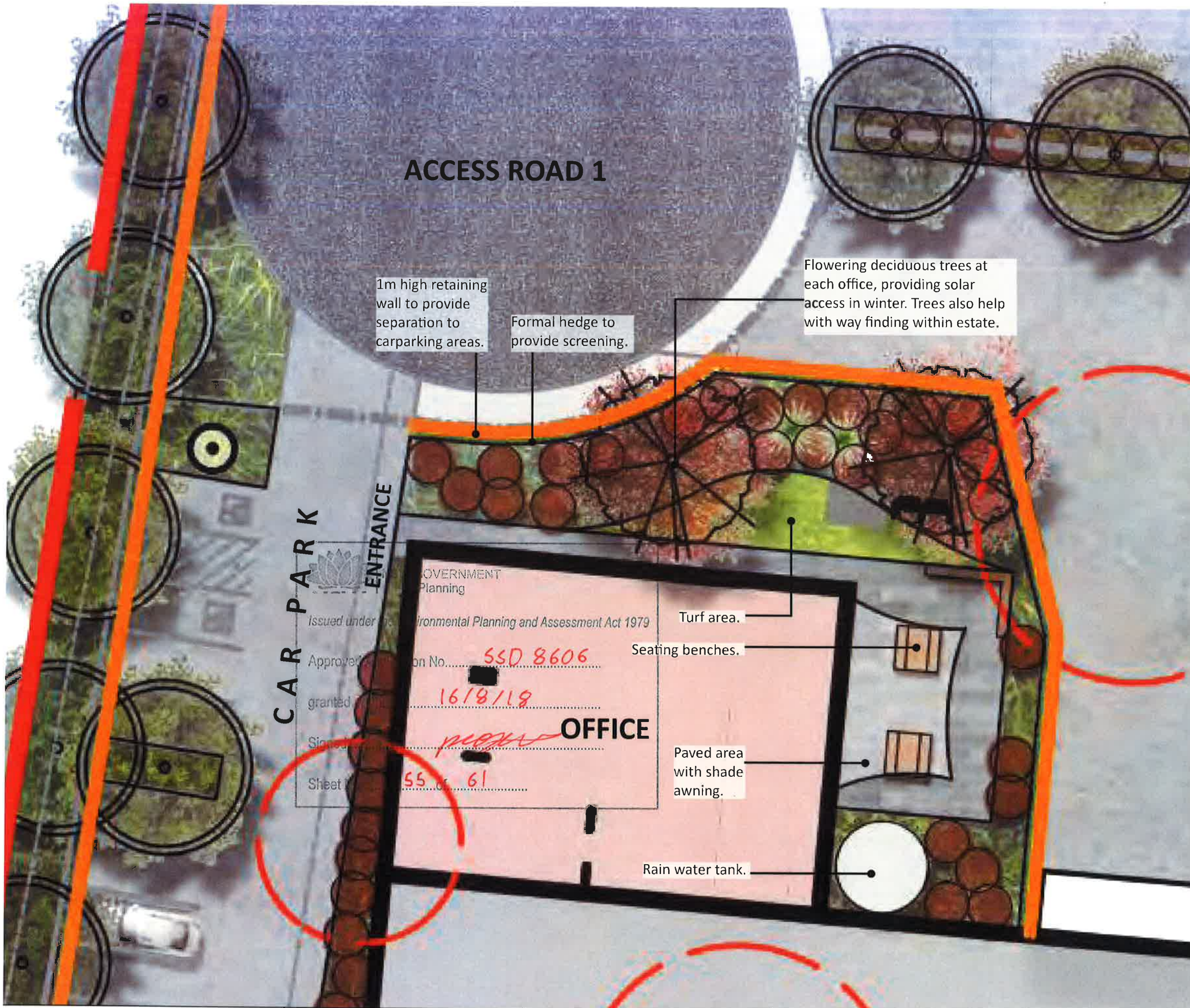
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Date:
14.11.2017

Job Number:
170906

Project:
Hollinsworth Road
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Revision		FOR STATE SIGNIFICANT DEVELOPMENT			
Rev	Date	Description	Drawn	Checked	
A	28.09.2017	FOR SSD - DRAFT	CL	BG	
B	12.10.2017	FOR SSD	JT	BG	
C	14.11.2017	FOR SSD	JT	BG	
D	06.03.2018	FOR SSD	CL	BG	



KEY PLAN



LEGEND

- SITE BOUNDARY
- EXISTING TREE TO BE REMOVED
- COPSE OF TREES TO BE REMOVED
- CANOPY TREE PLANTING WITHIN LANDSCAPE BUFFER ZONES AND TO INTERNAL SITE
- SCREEN SHRUB PLANTING
- DECIDUOUS TREE PLANTING AROUND OFFICE BUILDINGS
- MASS PLANTED AREAS OF GROUNDCOVERS AND LOW SHRUBS
- SEATING BENCHES
- TABLE SETTINGS
- HEDGE PLANTING
- TURF
- RETAINING WALL (TO MAX HEIGHT OF 1M)
- MODULAR UNIT PAVING
- FEATURE PLANTING

Drawing Title
Typical Communal Area

DWG No: SSD-07

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Scale:
1:100 @ A1
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Date:
14.11.2017

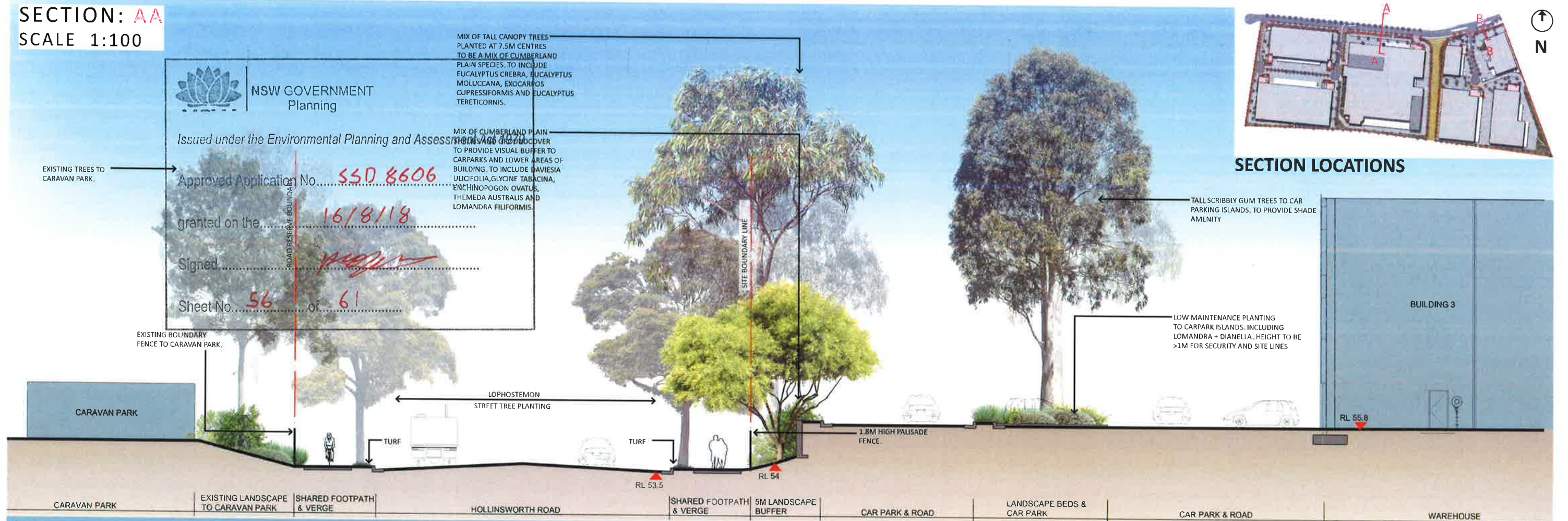
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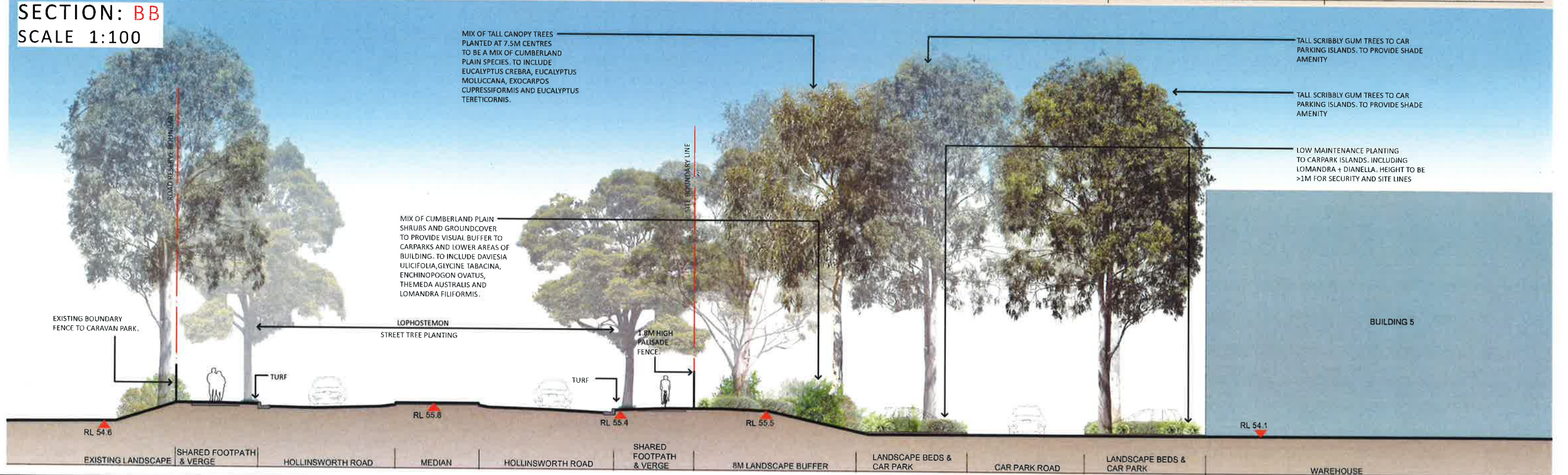
Project: Hollinsworth Road
Marsden Park, NSW 2765

Revision		FOR STATE SIGNIFICANT DEVELOPMENT			
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A	28.09.2017	FOR SSD - DRAFT	CL	BG	
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C	14.11.2017	FOR SSD	JT	BG	
D	06.03.2018	FOR SSD	CL	BG	

SECTION: AA
SCALE 1:100



SECTION: BB
SCALE 1:100



Drawing Title
Landscape Sections: AA & BB

DWG No: **SSD-08**

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Scale: **As Shown @ A1**

Date: **07.03.2018**

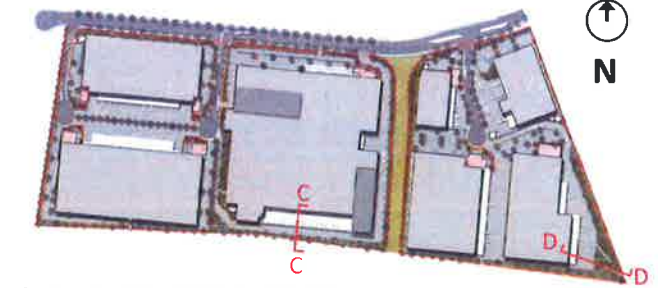
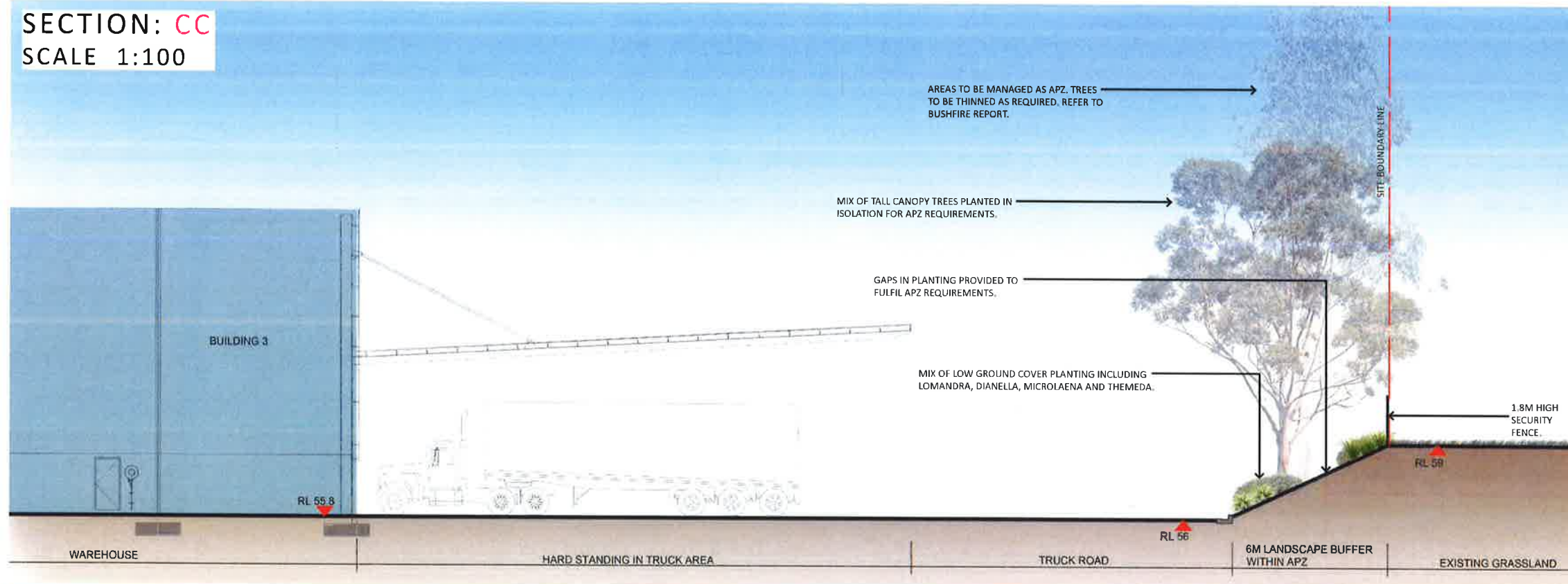
Job Number: **170906**

North:

Project: **Hollinsworth Road**
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FOR STATE SIGNIFICANT DEVELOPMENT				
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A	28.09.2017	FOR SSD - DRAFT	CL	BG
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C	14.11.2017	FOR SSD	JT	BG
D	06.03.2018	FOR SSD	CL	BG

SECTION: CC
SCALE 1:100



SECTION LOCATIONS



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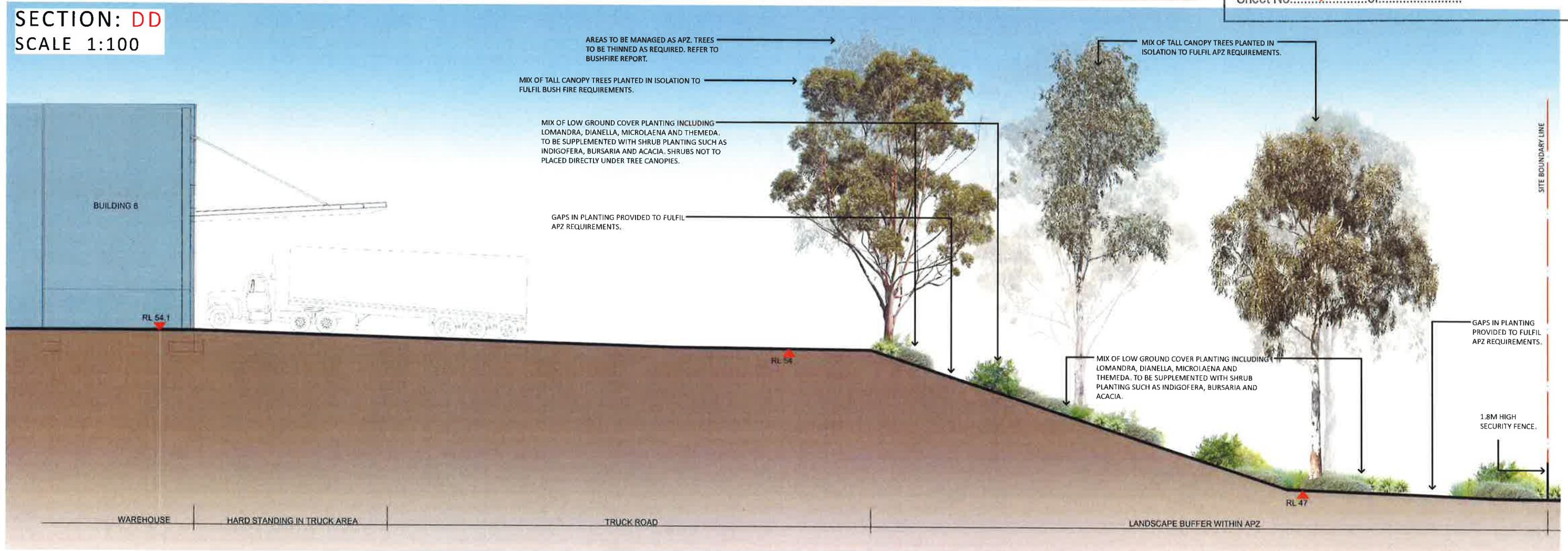
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Sheet No. **57** of **61**

SECTION: DD
SCALE 1:100



Drawing Title
Landscape Sections: CC & DD

DWG No: **SSD-09**

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LOGOS

Scale:
As Shown
@ A1

Date:
07.03.2018

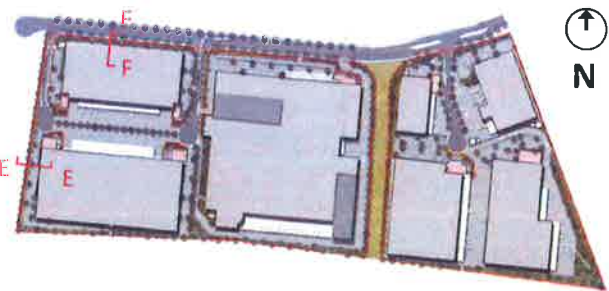
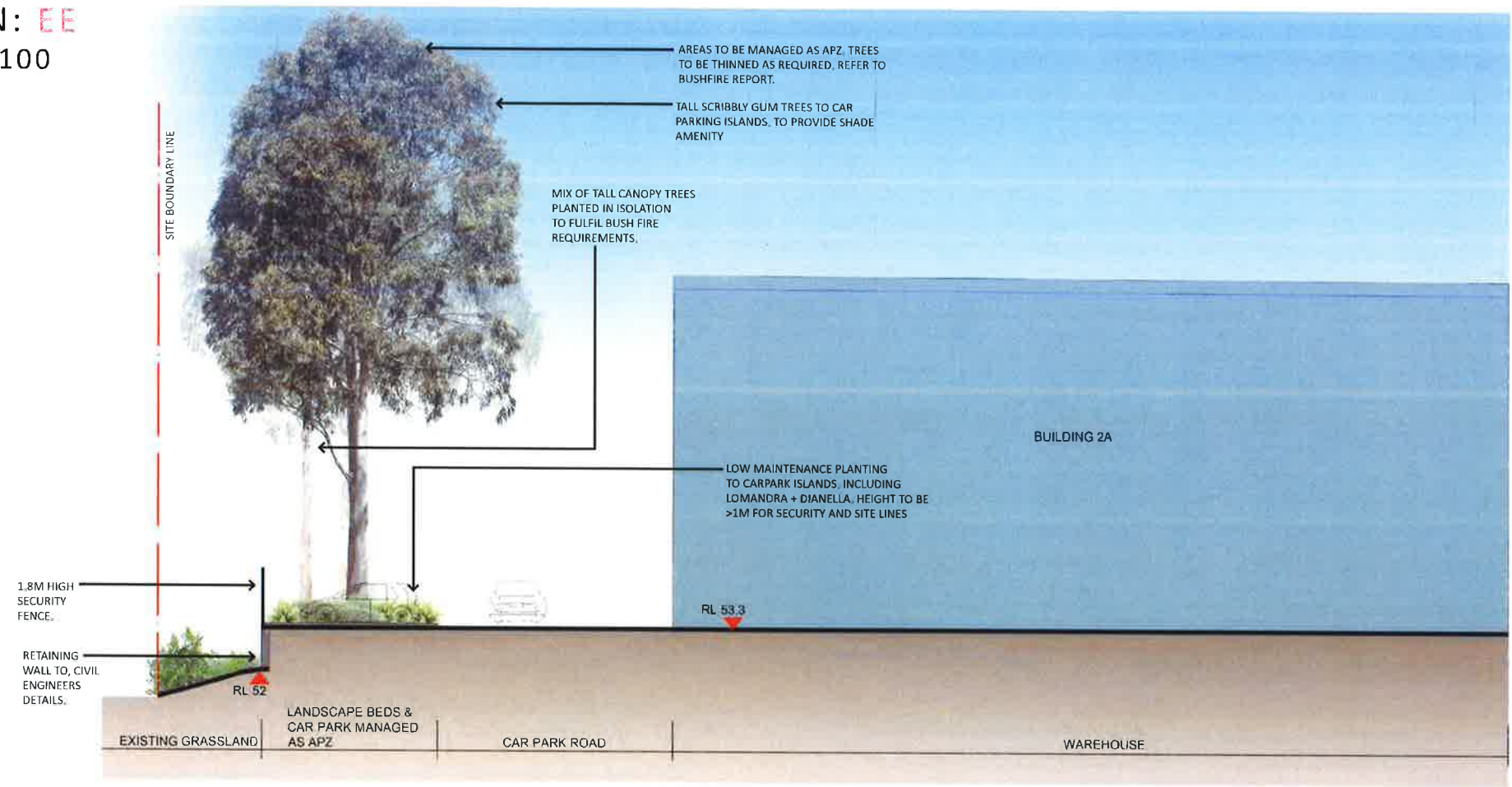
Job Number:
170906

North:
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Project: **Hollinsworth Road**
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FOR STATE SIGNIFICANT DEVELOPMENT				
Rev	Date	Description	Drawn	Checked
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D	06.03.2018	FOR SSD	CL	BG

SECTION: EE
SCALE 1:100



SECTION LOCATIONS



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Planning

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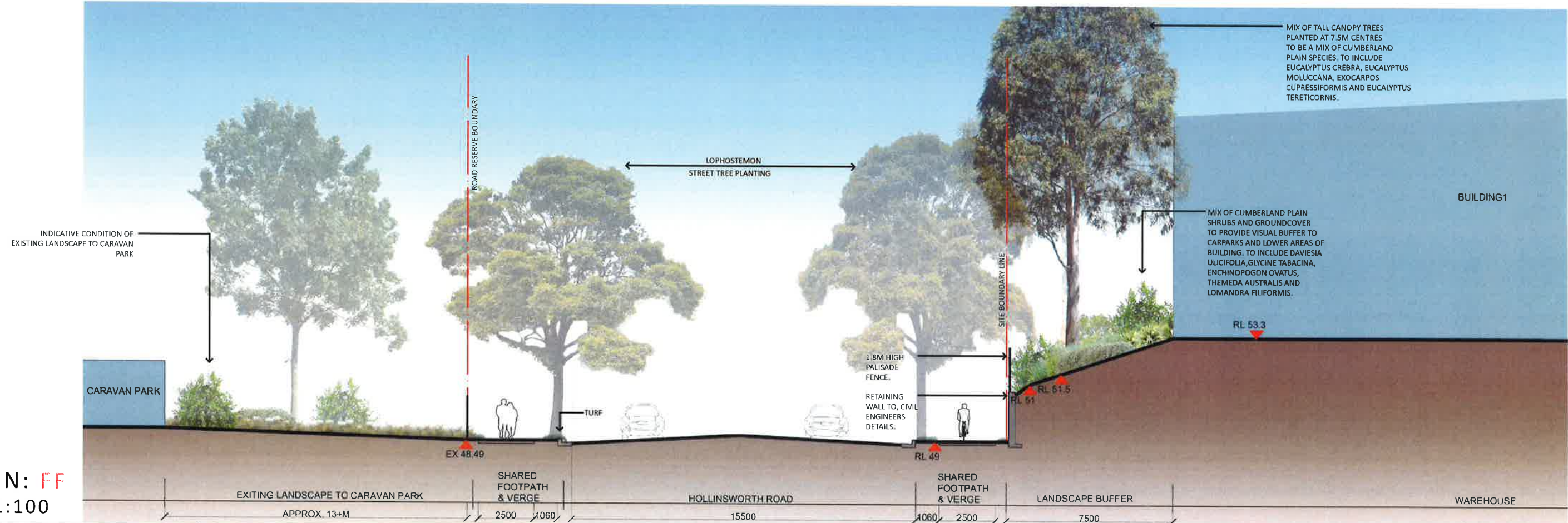
Approved Application No. SSD 8606

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Sheet No. 58 of 61

SECTION: FF
SCALE 1:100



Drawing Title
Landscape Sections: EE & FF

DWG No: **SSD-10**

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Scale:
As Shown
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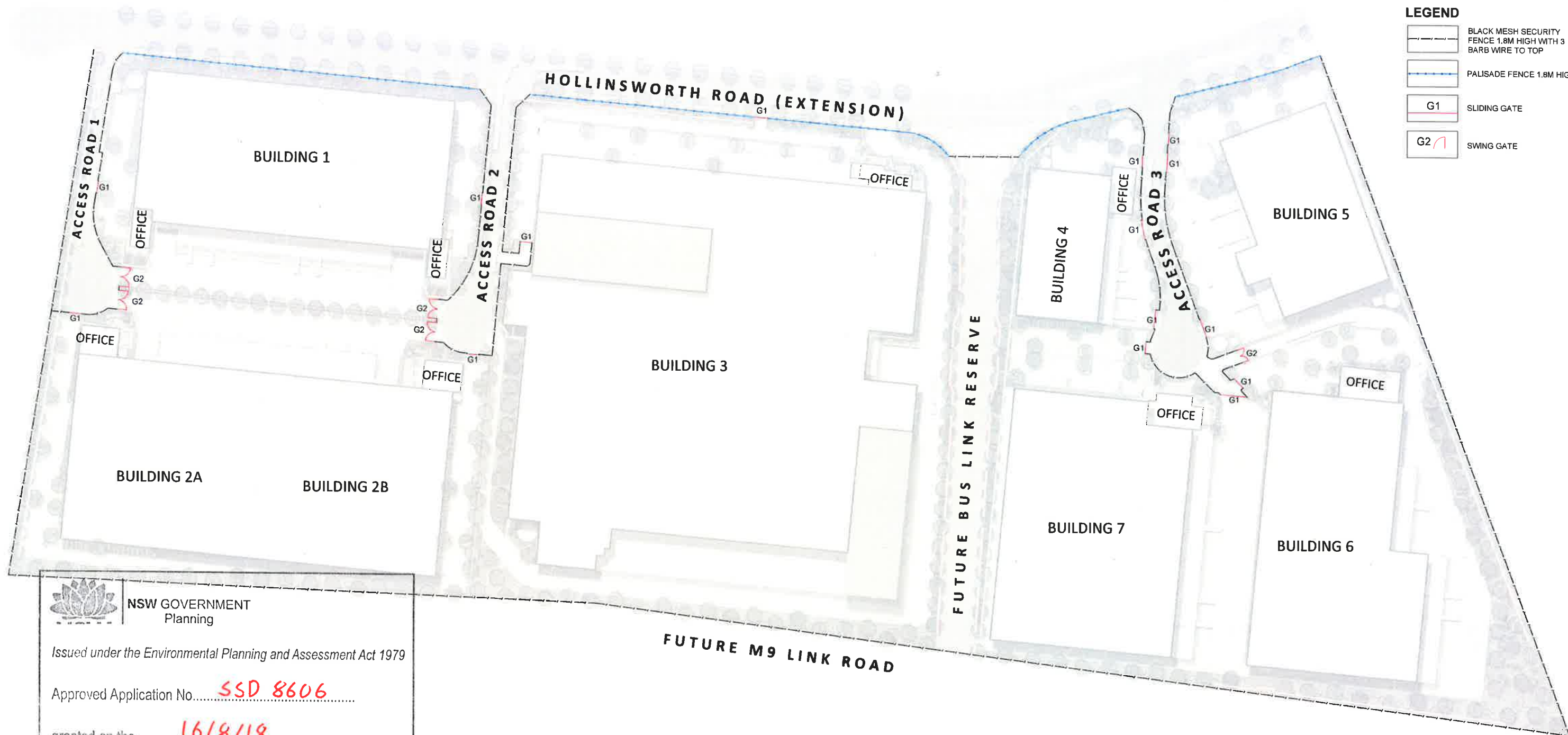
Date:
07.03.2018

Job Number:
170906

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Project: **Hollinsworth Road**
Marsden Park, NSW 2765

Revision		FOR STATE SIGNIFICANT DEVELOPMENT			
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LEGEND

- BLACK MESH SECURITY FENCE 1.8M HIGH WITH 3 BARB WIRE TO TOP
- PALISADE FENCE 1.8M HIGH
- G1 SLIDING GATE
- G2 SWING GATE

NSW GOVERNMENT Planning

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granted on the.....16/8/18.....

Signed.....*[Signature]*.....

Sheet No.....59.....of.....61.....

General

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a **weekly basis** to maintain the landscape works for the term of the maintenance period commencing from practical completion.

Rubbish Removal

During the term of the maintenance period the Landscape Contractor shall undertake rubbish removal from the site on a **weekly basis** to ensure the site remains in tidy condition.

Weed Eradication

Weed growth that may occur in grassed, planted or mulched areas is to be removed using environmentally acceptable methods i.e. non-residual glyphosate herbicide (e.g. 'Roundup', applied in accordance with the manufacturer's directions).

Tree Replacement

Trees shall show signs of healthy vigorous growth and be free from disease and not exhibit signs of stress prior to handover to the client. Any trees or plant that die or fail to thrive, or are damaged or stolen will be replaced. Replacement material shall have the maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified and approved material delivered to site. Should the condition decline from the approved sample the Superintendent reserves the right to reject the tree / plants. Frequency: as required.

Stakes

Adjust and/or replace stakes and ties where required. Remove staking and guying when instructed by the Superintendent

Pruning

Selective pruning may be required during the establishment period to promote a balanced canopy structure. These activities shall be carried out to the best horticultural and industry practice. All pruned material is to be removed from site.

Mulched Surfaces

All planter beds and garden areas shall have a minimum depth of 75mm Forest Fines mulch. All mulch is to be free of deleterious matter such as soil, weeds and sticks. Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstate depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Top up mulch levels prior to handover to client.

Watering

Implement an appropriate hand watering regime in areas not irrigated in association with current watering programme to maintain plant health and vigour. The program shall reflect seasonal conditions and plant species. Frequency: Weekly or as required.

Soil

Non-Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Organic Garden Mix' as supplied by Australian Native Landscapes. Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. All garden bed areas to have minimum 300mm depth topsoil, 100mm depth to turf areas.

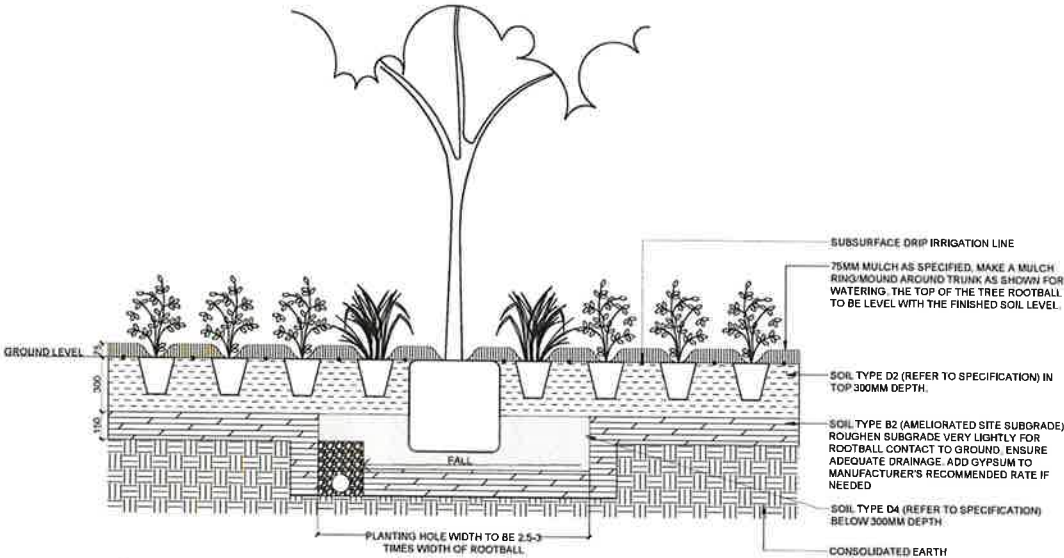
Pest and Disease Control

The Landscape Contractor shall spray for pests and disease infestations when the pest and fungal attack has been positively identified and when their populations have increased to a point that will become detrimental to plant growth. Apply all pesticides to manufacturer's directions. Frequency: weekly inspection

Fertilising

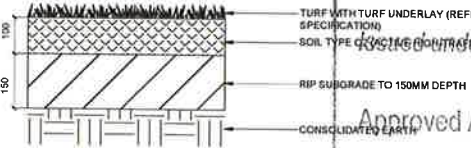
Generally check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertiliser regime to suit. Fertiliser should be applied at the beginning and the end of the (summer) growing season.

TREE/SHRUB SIZE AND QUALITY TO BE TO WATSPEC STANDARD. SPECIES IS TO BE AS PER PLAN AND PLANT SCHEDULE. ENSURE ONLY HEALTHY AND VIGOROUS, DISEASE FREE, WELL MAINTAINED PLANTS ARE USED. TAKE CARE TO ENSURE FOLIAGE, BRANCHES, TRUNKS AND ROOT GROWS ARE NOT DAMAGED BEFORE, DURING AND AFTER PLANTING. ENSURE OPTIMUM MAINTENANCE AND ESTABLISHMENT OF TREES/SHRUBS OCCURS AS SOON AS THEY ARE AT SITE.



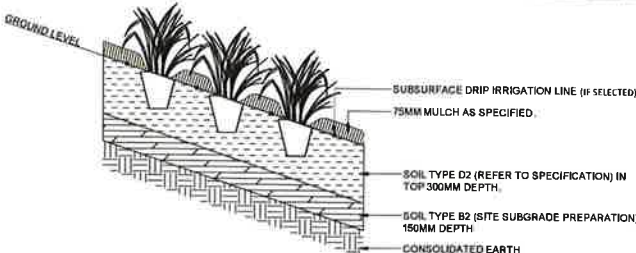
THOROUGHLY SOAK THE ROOTBALL OF TREE WITH FRESH WATER BEFORE TAKING OFF POT OR BAG. WHEN PLANTING HOLE IS COMPLETE USE A SHARP SPADE TO SHAVE OFF 20-30MM OF THE SIDES AND BASE OF ROOTBALL TO ROOT PRUNE IT) BEFORE CAREFULLY PLACING INTO PLANTING HOLE. IF NORTH IS MARKED ON THE TREE, ENSURE ORIENTATION IS CORRECT WITH NORTH MARKING TO THE NORTH. REMOVE ANY STAKES, TIES AND LABELS. WATER ROOTBALL THOROUGHLY. TOP OF ROOTBALL TO FINISH FLUSH WITH TOP OF SOIL.

01 MASS PLANTING TYPICAL DETAIL SCALE 1:20



02 TURF DETAIL SCALE 1:10

NATSPEC QUALITY PLANTS TO BE INSTALLED. FOR PLANT SPECIES, QUANTITIES AND SIZE. REFER TO LANDSCAPE PLAN AND PLANTING SCHEDULE



03 SLOPE PLANTING 1 IN 3 OR FLATTER TYPICAL DETAIL SCALE 1:20



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Sheet No. **60** of **61**

Drawing Title

Typical Specification & Details

DWG No:

SSD-12

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LOGOS

Scale:

Date:

07.03.2018

Job Number:

170906

North:

↑

Project:

Hollinsworth Road

Marsden Park, NSW 2765

Revision FOR STATE SIGNIFICANT DEVELOPMENT

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Landscape Buffer Zone Planting - Cumberland Plain Species

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	NATIVE
<i>Acacia implexa</i>	Hickory Wattle	5-12m	✓
<i>Eucalyptus crebra</i>	Narrow-leaved Ironbark	12-18m	✓
<i>Eucalyptus eugenioides</i>	Thin-leaved Stringybark	20-30m	✓
<i>Exocarpos cupressiformis</i>	Native Cherry	8m	✓
<i>Eucalyptus moluccana</i>	Grey Box	18-20m	✓
<i>Eucalyptus tereticornis</i>	Forest Red Gum	20-30m	✓
Shrubs			
<i>Acacia parramattensis</i>	Parramatta wattle	2-15m	✓
<i>Bursaria spinosa</i>	Boxthorn	4m	✓
<i>Daviesia ulicifolia</i>	Gorse Bitter-pea	2m	✓
<i>Dillwynia sieberi</i>	Prickly parrot pea	0.5 - 2.5m	✓
<i>Dodonaea viscosa subsp. cuneata</i>	Hop Bush	3m	✓
<i>Indigofera australis</i>	Australian Indigo	2.5m	✓
<i>Lissanthe strigosa</i>	Peach Heath	0.7m	✓
<i>Melaleuca decora</i>	White Feather Honey Myrtle	7m	✓
<i>Phyllanthus filiculis</i>	Phyllanthus	0.5m	✓
<i>Solanum pungetium</i>	Eastern Nightshade	1.5m	✓
Grasses, Groundcovers and Herbs			
<i>Aristida ramosa</i>	Wiregrass	1.2m	✓
<i>Aristida vagans</i>	Three-awned spear grass	0.8m	✓
<i>Arthropodium milleflorum</i>	Pale vanilla lily	0.5m	✓
<i>Asperula conferta</i>	Common Woodruff	0.5m	✓
<i>Brunoniella australis</i>	Blue Trumpet	0.2m	✓
<i>Cheilanthes sieberi</i>	Mulga Fern	0.3m	✓
<i>Chloris truncata</i>	Windmill grass	0.5m	✓
<i>Chloris ventricosa</i>	Blue Star Grass	1m	✓
<i>Commelina cyanea</i>	Scurvy weed	0.2m	✓
<i>Cyperus gracilis</i>	Slender flat sedge	0.3m	✓
<i>Dianella longifolia</i>	Smooth flax lily	1m	✓
<i>Dichelachne micrantha</i>	Short-haired Plume Grass	1.2m	✓
<i>Dianella revoluta</i>	Blue Flax-lily, Spreading Flax-lily	1m	✓
<i>Dichondra repens</i>	Kidney-weed, Mercury Bay Weed	0.2m	✓
<i>Echinopogon caespitosus</i>	Tufted Hedgehog Grass	1.5m	✓
<i>Echinopogon ovatus</i>	Forest Hedgehog Grass	1.2m	✓
<i>Entolasia marginata</i>	Bordered Panic Grass	0.8m	✓
<i>Eragrostis leptostachya</i>	Paddock lovegrass	1m	✓
<i>Eremophila debilis</i>	Winter Apple	0.5m	✓
<i>Glycine clandestina</i>	Twining Glycine	1m	✓
<i>Glycine tabacina</i>	Native soybean	1m	✓
<i>Goodenia hederacea</i>	Ivy Goodenia	0.8m	✓
<i>Hardenbergia violacea</i>	Hardenbergia	6m	✓
<i>Hibbertia diffusa</i>	Wedge Guinea Flower	0.1m	✓
<i>Hypericum gramineum</i>	Grassy St. Johnswort	0.4m	✓
<i>Hypoxis hygrometrica</i>	Golden Star	0.2m	✓
<i>Lepidosperma laterale</i>	Variable Sword-sedge	1m	✓
<i>Lomandra filiformis</i>	Wattle Mat Rush	0.5m	✓
<i>Lomandra multiflora</i>	Many-flowered Mat-rush	0.9m	✓
<i>Microlaena stipoides</i>	Weeping Grass, Meadow Rice-grass	1m	✓
<i>Oplismenus aemulus</i>	Australian Basket Grass	0.3m	✓
<i>Oxalis exilis</i>	Creeping oxalis	0.3m	✓
<i>Panicum simile</i>	Two-colour Panic	0.7m	✓
<i>Poa labillardieri var. labillardieri</i>	Tussock Poa	1.2m	✓
<i>Pratia purpurascens</i>	Whiteroot	0.2m	✓
<i>Themeda australis</i>	Kangaroo Grass	1m	✓
<i>Tricoryne elatior</i>	Yellow Autumn-lily	0.4m	✓
<i>Vernonia cinerea</i>	Bitterleaf	0.7m	✓
<i>Wahlenbergia gracilis</i>	Australian Bell	0.5m	✓

Carpark and Internal Estate

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	NATIVE
Trees			
<i>Eucalyptus haemastoma</i>	Scribbly Gum	12-18m	✓
<i>Eucalyptus fibrosa</i>	Red Ironbark	12-18m	✓
<i>Eucalyptus maculata</i>	Spotted Gum	20m	✓
<i>Eucalyptus moluccana</i>	Grey Box	12-18m	✓
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	8m	✓
<i>Fraxinus oxycarpa Raywoodii</i>	Claret Ash	8m	✓
<i>Lagerstroemia indica</i>	Crepe Myrtle	8m	✓
<i>Tristaniopsis laurina</i>	Water Gum	6-8m	✓
Shrubs			
<i>Acacia decurrens</i>	Sydney Green Wattle	3-10m	✓
<i>Acacia falcata</i>	Sickle Wattle	5m	✓
<i>Acmena smithii</i>	Lilly-pilly	1.8m (Hedging)	✓
<i>Callistemon citrinus</i>	Scarlet Bottlebrush	4m	✓
<i>Callistemon citrinus 'White Anzac'</i>	White Anzac Bottlebrush	1m	✓
<i>Doryanthes excelsa</i>	Gymea Lily	3m	✓
<i>Banksia ericifolia</i>	Heath Banksia	3m	✓
<i>Grevillea 'Robyn Gordon'</i>	Grevillea 'Robyn Gordon'	1.5m	✓
<i>Grevillea rosmarinifolia</i>	Rosemary Grevillea	2m	✓
<i>Kunzea ambigua</i>	Tick-bush	4m	✓
<i>Leptospermum sp.</i>		3m	✓
<i>Pittosporum undulatum</i>	Pittosporum	3m	✓
<i>Westringia fruticosa</i>	Coastal Rosemary	1.5m	✓
Groundcovers			
<i>Dianella caerulea</i>	Blue Flax-lily	1m	✓
<i>Dianella revoluta</i>	Blue Flax-lily, Spreading Flax-lily	1m	✓
<i>Dichondra repens</i>	Kidney-weed, Mercury Bay Weed	0.2m	✓
<i>Hardenbergia violacea</i>	False Sarsaparilla	0.5m	✓
<i>Lomandra longifolia</i>	Spiny-headed Mat-rush	1m	✓
<i>Myoporum parvifolium</i>	Creeping Boobialla	0.5m	✓
<i>Viola hederacea</i>	Native Violet	0.2m	✓



Elaeocarpus reticulatus



Fraxinus oxycarpa Raywoodii



Lagerstroemia indica



Tristaniopsis laurina



Callistemon citrinus



Callistemon citrinus 'White Anzac'



Doryanthes excelsa



Dianella caerulea



Hardenbergia violacea



Acacia implexa



Eucalyptus crebra



Eucalyptus eugenioides



Eucalyptus fibrosa



Eucalyptus maculata



Eucalyptus haemastoma



Eucalyptus moluccana



Eucalyptus tereticornis



Bursaria spinosa



Acacia falcata



Acacia parramattensis



Daviesia ulicifolia



Dillwynia sieberi



Exocarpos cupressiformis



Indigofera australis



Lissanthe strigosa



Aristida ramosa



Arthropodium milleflorum



Asperula conferta



Brunoniella australis



Cheilanthes sieberi



Chloris truncata



Commelina cyanea



Dichelachne micrantha



Dichondra repens



Lomandra filiformis



Microlaena stipoides



Themeda australis

Drawing Title
Planting Lists & Images

DWG No:

SSD-13

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Revision FOR STATE SIGNIFICANT DEVELOPMENT

Rev	Date	Description	Drawn	Checked
A	28.09.2017	FOR SSD - DRAFT	CL	BG
B	12.10.2017	FOR SSD	JT	BG
C	14.11.2017	FOR SSD	JT	BG
D	06.03.2018	FOR SSD	CL	BG