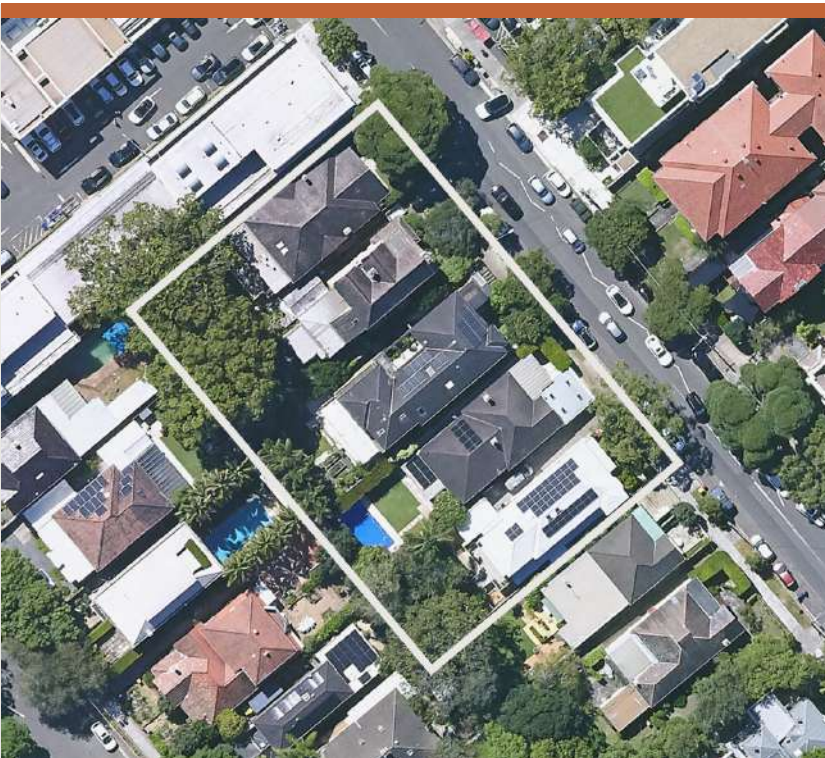


STATEMENT OF HERITAGE IMPACT & DEMOLITION REPORT



State Significant Development Application (SSDA)

No. 23-31 Dover Road, Rose Bay

September 2025 | J7405_01

**Weir
Phillips**
Heritage

Level 19, 100 William Street Woolloomooloo NSW 2011

Phone: (02) 8076 5317

Report Preparation	
Principal	James Phillips BSc(Arch), BArch, M.Herit.Cons.(Hons)
Director	Patricia Sims B. Arts, B.Appl.Sc. (Env.Des.), B. Arch., Grad.Dip.Herit.Cons.
Heritage consultant	Katherine Chalmers B.A (AWS), M. Herit. Cons. Ashlee Pasfield B.Anc.His., M. Herit. Cons. (cand.)
Report Details	

Demolition report for: Demolition of the existing dwellings on the properties, construction of residential apartment building.

Revisions			
Revision	Date	Prepared by	Reviewed by
Draft 1	17.06.2025	KC & AP	PS
Final Issue	09.07.2025	KC & AP	PS
Amendment 1	11.09.2025	KC & AP	PS

We acknowledge that the land on which we live, learn and work as the traditional country of the Gadigal people of the Eora Nation. We acknowledge these traditional owners of this land and acknowledge their living cultures and the unique roles they have played in maintaining life, language, and culture in this region. We pay respect to their Elders past, present and emerging and all aboriginal people.

Cover photo: 23-31 Dover Road, Rose Bay. Nearmap, accessed 2025.

© Astragal Heritage Pty Ltd ABN 40 600 197 859 All Rights Reserved. No material may be reproduced without prior permission. While we have tried to ensure the accuracy of the information in this publication, the Publisher accepts no responsibility or liability for any errors, omissions or resultant consequences including any loss or damage arising from reliance in information in this publication.

www.weirphillipsheritage.com.au

CONTENTS	PAGE
1 INTRODUCTION	1
1.1 PREAMBLE	1
1.2 STATUTORY HERITAGE LISTINGS FOR THE SITE	2
1.3 METHODOLOGY	3
1.4 LIMITATIONS	3
2 SITE DESCRIPTION	3
2.1 SITE LOCATION	3
2.2 THE PROPOSED WORKS AREA	4
2.3 GENERAL SETTING	5
2.3.1 DESIRED FUTURE CHARACTER	7
2.3.2 DOVER ROAD	7
2.4 THE SITE	8
2.5 No. 23 DOVER ROAD, ROSE BAY	9
2.5.1 SITE	9
2.5.2 EXTERIOR	10
2.5.3 INTERIOR	12
2.6 No. 25 DOVER ROAD, ROSE BAY	14
2.6.1 SITE	14
2.6.2 EXTERIOR	16
2.6.3 INTERIOR	18
2.7 No. 27 DOVER ROAD, ROSE BAY	21
2.7.1 SITE	21
2.7.2 EXTERIOR	22
2.7.3 INTERIOR	24
2.8 No. 29 DOVER ROAD, ROSE BAY	26
2.8.1 SITE	26
2.8.2 EXTERIOR	27
2.8.3 INTERIOR	29
2.9 No. 31 DOVER ROAD, ROSE BAY	31
2.9.1 SITE	31
2.9.2 EXTERIOR	32
2.9.3 INTERIOR	34
3 HISTORICAL ANALYSIS	37
3.1 ABORIGINAL HISTORY	37
3.2 EARLY EUROPEAN HISTORY	37
3.3 DEVELOPMENT OF ROSE BAY	37
3.4 HISTORY OF No. 23 DOVER ROAD, ROSE BAY, No. 23 DOVER ROAD, ROSE BAY	41
3.5 HISTORY OF No. 25 DOVER ROAD, ROSE BAY, No. 25 DOVER ROAD, ROSE BAY	43
3.6 HISTORY OF No. 27 DOVER ROAD, ROSE BAY, No. 27 DOVER ROAD, ROSE BAY	46
3.7 HISTORY OF No. 29 DOVER ROAD, ROSE BAY, No. 29 DOVER ROAD, ROSE BAY	47
3.8 HISTORY OF No. 31 DOVER ROAD, ROSE BAY, No. 31 DOVER ROAD, ROSE BAY	49

4	<u>ASSESSMENT OF SIGNIFICANCE</u>	<u>51</u>
4.1	SUMMARY OF STATUTORY HERITAGE LISTINGS	51
4.2	ADDITIONAL INFORMATION RELATING TO THE SITE'S SIGNIFICANCE	52
4.2.1	VIEWS	52
4.2.2	INTEGRITY	52
4.3	HERITAGE ITEMS IN THE VICINITY OF THE SITE	56
4.4	COMPARATIVE ANALYSIS	56
4.5	ASSESSMENT OF SIGNIFICANCE UNDER HERITAGE NSW CRITERIA	60
4.5.1	NOS. 23-31 DOVER ROAD, ROSE BAY	60
5	<u>HERITAGE IMPACT ASSESSMENT</u>	<u>73</u>
5.1	SCOPE OF WORKS	73
5.2	METHOD OF ASSESSMENT	74
6	<u>EFFECT OF WORK</u>	<u>75</u>
6.1	EFFECT OF WORK ON ITEMS IN THE VICINITY	75
6.1.1	<i>ROSE BAY HOTEL AND INTERIORS</i> , NO. 807 NEW SOUTH HEAD ROAD, ROSE BAY, ITEM NO	75
6.1.2	ST ANDREW'S SCOTS PRESBYTERIAN CHURCH COMPLEX AND SETTING, INCLUDING INTERIORS AND MOVEABLE RELICS, NO. 2 CARLISLE STREET, ROSE BAY, ITEM NO. 1729	76
6.2	ASSESSMENT OF THE PROPOSED WORKS AGAINST THE WOOLLAHRA DCP 2015 CONTROLS	77
7	<u>SUMMARY</u>	<u>82</u>
8	<u>REFERENCES AND DEFINITIONS</u>	<u>84</u>
8.1	DEFINITIONS	84
8.2	DOCUMENTARY EVIDENCE	85
8.2.1	GENERAL REFERENCES	85

1 INTRODUCTION

1.1 Preamble

This report has been prepared to support a State Significant Development Application (SSDA) SSD-86017721 for the site at 23-31 Dover Road, Rose Bay (the site).

The Minister for Planning, or their delegate, is the consent authority for the SSDA and this application is lodged with the NSW Department of Planning, Housing and Infrastructure (DPHI) for assessment.

This report has been prepared in response to the requirements contained within the Secretary's Environmental Assessment Requirements (SEARs) dated 13 June 2025 (SSD-86017721). Specifically, this report has been prepared to respond to the following SEARs:

Secretary's Environmental Assessment Requirements	Refer Report Section
22. Environmental Heritage <i>Where there is potential for direct or indirect impacts on environmental heritage, provide a Statement of Heritage Impact and Archaeological Assessment (where required), in accordance with the relevant guidelines.</i>	<i>Section 5.</i>

This Statement of Heritage Impact (SoHI) and Demolition Report (DR) has been prepared in conjunction with a State Significant Development Application (SSDA), for the demolition of all structures on the site and construction of a new residential apartment building at No. 23-31 Dover Road, Rose Bay.

The site is located within the Woollahra Council area. The principal environmental planning instrument for the site is the *Woollahra Local Environmental Plan 2014 (LEP 2014)*. No properties on the site are listed as a heritage item, nor is it located within a Heritage Conservation Area as defined by Schedule 5 Part 2 of the LEP 2014. The subject site is located within the vicinity of two heritage items listed under Schedule 5 Part 1 of the LEP 2014.

Under Part 5.10 of the *Woollahra LEP 2014*, a heritage management document is submitted with the Development Application. In this instance, the relevant heritage management document is a Statement of Heritage Impact and Demolition Report as per the Woollahra Development Control Plan (DCP) 2015:

A demolition report is required to provide information about the potential heritage significance of an existing building. This information is used to assist the Council with its assessment and determination of a development application. A building may be of potential heritage significance even though it is currently not listed in the schedule of heritage items or contained within a heritage conservation area.

Therefore, in addition to undertaking heritage studies, the Council assesses the potential heritage significance of a building proposed for demolition as part of its development application process.

Notwithstanding the above, it is noted that Development Control Plans do not strictly apply to State Significant Development Applications and are not applicable to this application.

In accordance with the Woollahra *DA Guide*, the information in this Demolition Report includes the following:

- Historical development of the site.
- Description of building and site.
- A comparative analysis with similar buildings within the vicinity of the site.

This report has been prepared at the request of the owner and accompanies architectural drawings prepared by MHN Design Union.

1.2 Statutory Heritage Listings for the Site

The following table identifies the statutory heritage listings for the site and identifies any heritage items/conservation areas that lie in its vicinity. For further information refer to Section 4.0.

<i>Listing Type</i>	<i>Item Name and Details</i>	<i>Listing Number</i>
Listed by the State Heritage Register under the <i>Heritage Act 1977</i> (NSW).	No	N/A
Listed as an item of local heritage significance by Schedule 5 Part 1 of the <i>Woollahra LEP 2014</i> .	No	N/A
Located within a heritage conservation area identified by Schedule 5 Part 2 of <i>Woollahra LEP 2014</i> .	No	N/A
<i>The Surrounding Area</i>		
Located in the vicinity of items or conservation areas listed by the State Heritage Register under the <i>Heritage Act 1977</i> (NSW).	No	N/A
Located within the vicinity of local heritage items by Schedule 5 Part 1 of <i>Woollahra LEP 2014</i> .	St Andrew's Scots Presbyterian Church complex and setting, including interiors and moveable relics 2 Carlisle Street, Rose Bay	LEP Item No. I729
	Rose Bay Hotel and Interiors 807 New South Head Road, Rose Bay	LEP Item No. I326
Located within the vicinity of a Conservation Area identified by Schedule 5 Part 2 of <i>Woollahra LEP 2014</i> .	No	N/A

Table 1: Statutory Heritage Listings.

1.3 Methodology

Site inspections were undertaken in April 2025 for the preparation of this DR by Weir Phillips Heritage. All photographs of the site were taken at this time unless otherwise noted.

This SoHI and DR has been prepared in accordance with the Woollahra *DA Guide*. The information in this Demolition Report includes the following:

- Historical development of the site.
- Description of building and site.
- A comparative analysis with similar buildings within the vicinity of the site.

The historical information and assessments of significance contained in this DR partly rely on existing studies (refer to Section 8 below). Acknowledgment of the authors of these studies is duly given.

1.4 Limitations

A detailed history of the site and a full assessment of significance to Heritage NSW standards were not provided with regards to the site. Section 3 of this DR provides the established history and significance of the site. This was compiled from readily available sources.

An assessment of archaeological potential and archaeological significance, Aboriginal or historical, is outside the scope of this report.

2 SITE DESCRIPTION

2.1 Site Location

The subject site consists of five lots on the southwestern side of Dover Road, Rose Bay.

The site is legally known as:

- 23 Dover Road: Lot 10 Section A DP4244
- 25 Dover Road: Lot 11 Section A DP4244
- 27 Dover Road: Lot 12 Section A DP4244
- 29 Dover Road: Lot 13 DP663078
- 31 Dover Road: Lot 1 DP105598

Figure 1 identifies the site.

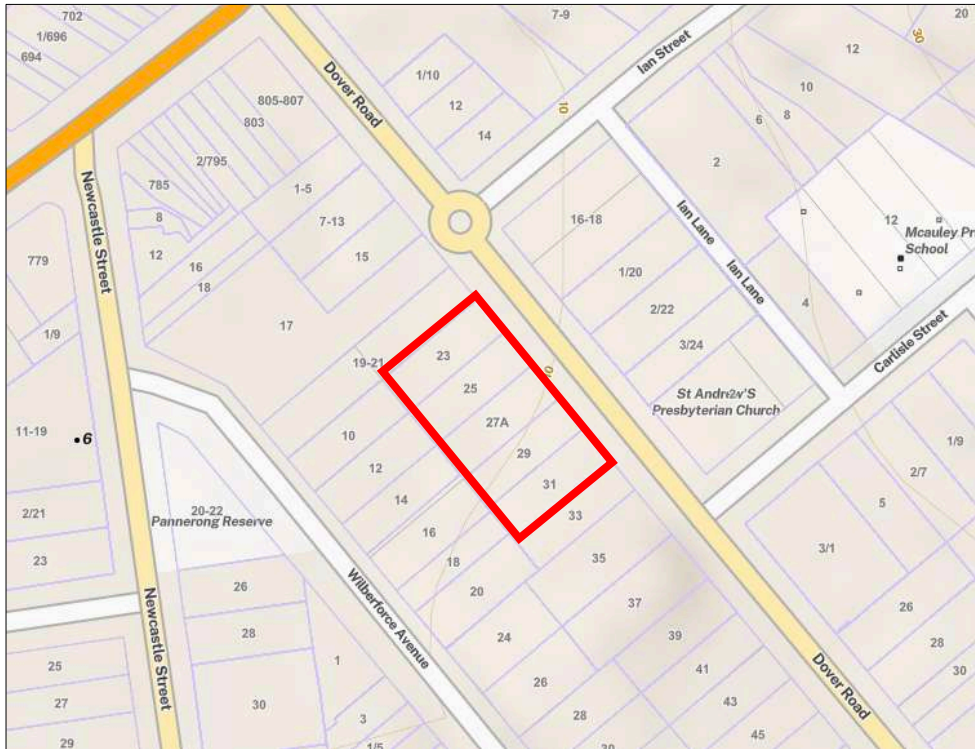


Figure 1: No. 23-31 Dover Road, Rose Bay. The site location is outlined in red. NSW Explorer, 2025.

2.2 The Proposed Works Area

For the following, refer to Figure 2, which reproduces an aerial photograph over the subject site. The proposed works involve the demolition of all five dwellings and the construction of an eight-storey residential apartment building with two levels of basement parking.



Figure 2: Aerial photograph of No. 23-31 Dover Road, Rose Bay. The site of the proposed works is outlined in red. NSW Explorer, 2025.

2.3 General Setting

For the following, refer to Figure 3, an aerial photograph of the site and its surrounds.

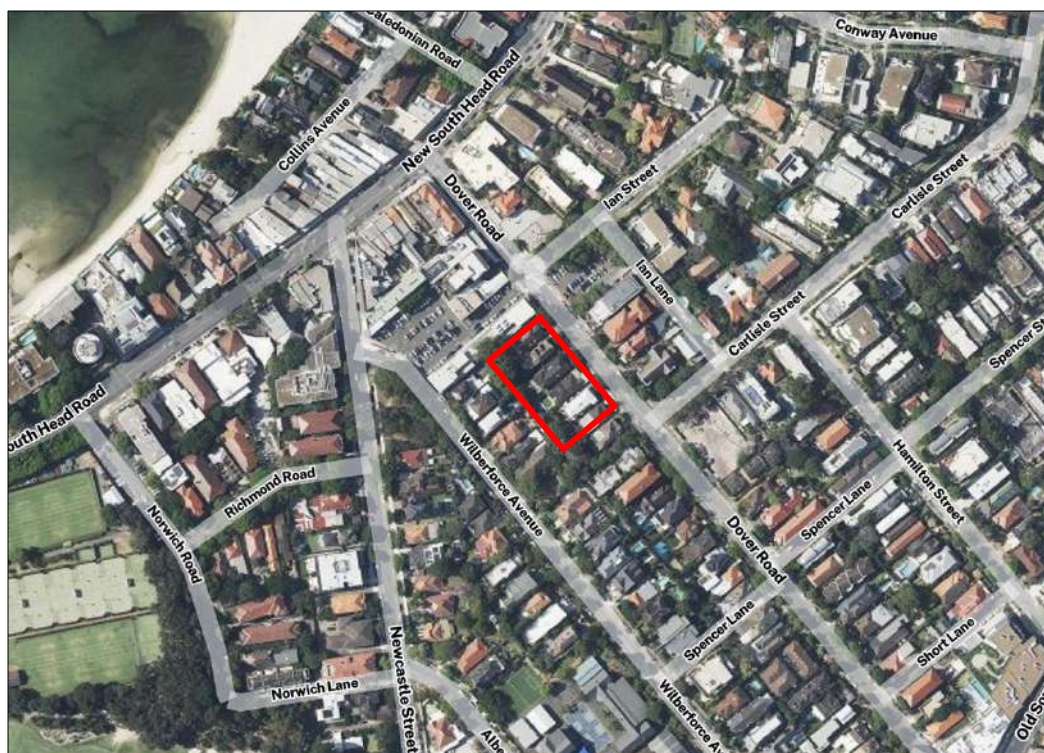


Figure 3: Aerial photograph of surrounding area. The site location is outlined in red. SIX Maps, 2024.

The surrounding area of the subject site is a mixture of residential and commercial buildings, with medium and low density residential to the east, west and south of the subject site and the commercial area concentrated towards the northern end of Dover Road and along New South Head Road.

The subject site falls within the area identified by Woollahra DCP 2015 as the Rose Bay Residential Precinct. The Woollahra DCP 2015 provides the following character statement for Rose Bay Residential Precinct:

‘The Rose Bay residential precinct incorporates the hillside at the neck of the eastern suburbs peninsula and the lowest part of the Rose Bay basin (adjacent to the large park and recreational area). The street block system in the low lying areas is generally rectilinear, allowing for regular building lots. On the hillsides, irregular street and block patterns occur reflecting the topography.

Prominent building types within the precinct include Inter-War detached housing and Art Deco flat buildings. More recent development, particularly in Spencer and Carlisle Streets, has seen the subdivision pattern altered to create larger lots for residential flat buildings.

The Rose Bay residential precinct is sited between the two main urban connectors of Old South Head Road and New South Head Road. The Rose Bay Centre is located on New South Head Road in the western part of the precinct. The mixed use centres of Rose Bay North and Rose Bay South are located on Old South Head Road. These centres frame the precinct and serve the daily and weekly shopping needs of the local community.

This precinct also includes the Kambala School, Lyne Park and the Royal Sydney Golf Club.’

In the immediate vicinity of the subject site, the residential premises include contemporary and Interwar residential apartment buildings and detached single and double storey dwellings from a number of architectural eras including one storey Federation dwellings and two storey contemporary dwellings.

The commercial premises directly north of the subject site fall within the Rose Bay Business Centre. The Woollahra DCP 2015 provides the following description of the built character of the precinct:

'There are a surprising number of single storey and two storey buildings in the centre, given the statutory LEP maximum building height (14.1m). With few exceptions the four storey buildings are relatively new. There are two residential towers, developed in the 1960s and 1970s, of six and eight storeys between New South Head Road and the Harbour. The only other tall building element is the tower of St Mary Magdalene Church on New South Head Road.'

Refer to Figure 4 to illustrate the location of the subject site within the Rose Bay Residential precinct.

It should be noted that the Rose Bay Residential Precinct and Rose Bay Business Centre are administered in accordance with the Woollahra DCP 2015 controls, however Development Controls Plans do not strictly apply to SSDAs, and as such the controls associated with these precincts are not applicable to this SSDA.

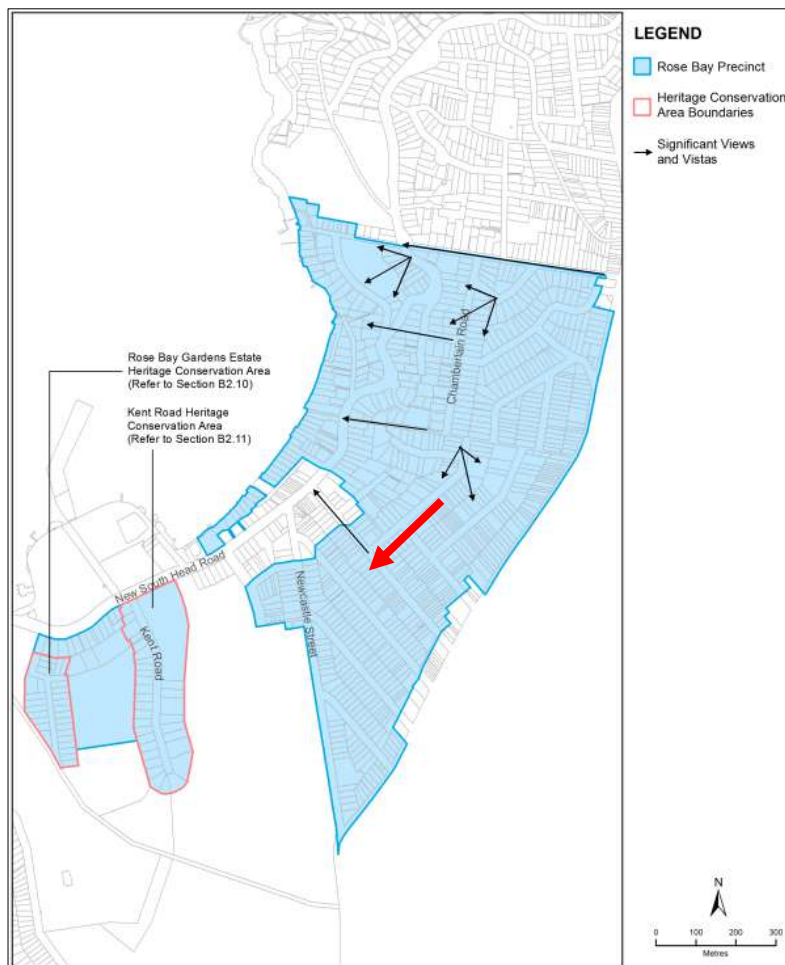


Figure 4: The Rose Bay Residential Precinct. The subject site is indicated by the red arrow. Woollahra DCP 2015. Overlay by Weir Phillips Heritage.

2.3.1 Desired Future Character

The Woollahra DCP provides the following statement on the *Desired Future Character* of the Rose Bay Precinct:

This precinct includes land zoned R2 Low Density Residential and R3 Medium Density Residential. Most of the R3 Medium Density Residential land is located near the business centres and the main connector roads. Although much of this R3 zoned land currently contains many dwelling houses, this area is identified for change and will be redeveloped for medium density residential uses such as residential flat buildings, manor houses, multi dwelling housing, multi dwelling housing (terraces) and attached dwellings. In particular, there is opportunity for redevelopment along Old South Head Road, with a view to providing a greater intensity of development adjacent to this classified road. The residential areas zoned R2 Low Density Residential will continue to experience an evolution of residential building styles through the introduction of well-designed contemporary dwelling houses, which reinforce the natural topography and provide opportunities for view sharing. On the hillsides and steeply sloping sites, the built form should step with the land to ensure development reflects the existing topography and minimises the need for excavation.

This statement has been adopted for the purposes of this report.

2.3.2 Dover Road

Dover Road stretches from New South Head Road in the northwest and terminates at Rodney's Reserve in the east. It is a wide street which carries traffic in both directions and has parallel parking on both sides of the street. The street is lined with concrete footpaths and kerbing.

The road has narrow nature strips on both sides of the until the street transitions from a residential to a commercial area at the northern end towards the intersection with New South Head Road. The road has irregular street plantings of mature and juvenile street trees.

The majority of premises along the road are one and two-storey dwellings or multistorey residential buildings of varying styles and ages, with the exception of modern commercial premises at the intersection of Dover Road and Old South Head Road and the intersection of Dover Road and New South Head Road where the road terminates in the Rose Bay Business precinct (Figure 5 and Figure 6).

The property directly southeast of the subject site in No. 33 Dover Road. No. 33 Dover Road is a single storey dwelling with fibro clad exterior walls set below a gable and hipped tile roof. The front elevation of the dwelling is partially obscured by a carport and tall masonry and timber paling fence. The front elevation is dominated by a verandah with large white posts to support the roof.

The property directly northwest of the subject site is No. 19-21 Dover Road. The property is a two-storey contemporary commercial building occupied by Parisi's Food Hall.



Figure 5: Looking southeast along Dover Road from the intersection with New South Head Road.



Figure 6: Looking north west along Dover Road from the intersection with Carlisle Street.

2.4 The Site

The site is located at 23-31 Dover Road, Rose Bay. The site occupies five lots legally described as Lots 10/A in DP4244, Lot 11/A in DP4244, Lot 12/A in DP4244, Lot 13 in DP663078 and Lot 1 in DP105598. The site area is 2657sqm. Refer to Figure 7 for an aerial view and legend of the subject site.

The site is located to the immediate east of the Rose Bay town centre in the Woollahra local government area (LGA). The Rose Bay town centre is identified as a Low-Mid Rise Centre under the Housing SEPP.

Existing development on the site includes:

- A single storey building with a large gable roof, housing the Rose Bay Family Medical Centre at 23 Dover Road. The zoning of this property is still residential.
- Two-storey rendered houses with pitched tiled roofs at 25 & 27 Dover Road
- A single storey rendered house with a pitched tiled roof at 29 Dover Road.
- A two-storey rendered dual occupancy with a pitched metal roof at 31 Dover Road.

All five lots have vehicular access from Dover Road, leading to garages. Pedestrian access is also available

from Dover Road through gates in the front fences.

Refer to Figure 7 for an aerial view of the subject site.



Figure 7: Nos. 23-31 Dover Road, Rose Bay. SDT Explorer, overlay by WPH, 2025.

Legend

	No. 23 Dover Road, Rose Bay (Lot 10/A in DP4244)
	No. 25 Dover Road, Rose Bay (Lot 11/A in DP4244)
	No. 27 Dover Road, Rose Bay (Lot 12/A in DP4244)
	No. 29 Dover Road, Rose Bay (Lot 13 in DP663078)
	No. 31 Dover Road, Rose Bay (Lot 1 in DP105598)

2.5 No. 23 Dover Road, Rose Bay

2.5.1 Site

No. 23 Dover Road contains a single storey late Federation bungalow style building. Between the house and the northern boundary of the property is an asphalt driveway leading to a gravel carpark which occupies the entirety of the rear yard (Figure 8 and Figure 9).

The dwelling has a front setback of approximately 4m and a very narrow southern setback. The front boundary is enclosed by a brick and timber paling fence, the northern boundary is delineated by the southern wall of No.21 Dover Road, and a timber paling fence surrounds the remainder of the property.

Landscaping is limited to a lawn area in the front setback, a hedge along the southern boundary and a large tree on the northwest corner of the site.



Figure 8: No. 23 Dover Road, Rose Bay showing the northern driveway and the timber and brick fence around the front yard.



Figure 9: The carpark in the rear yard.

2.5.2 Exterior

No. 23 Dover Road, Rose Bay is a single storey late Federation Bungalow. The building has face brick walls atop a sandstone base, set below a slate, gable roof. The front elevation is dominated by a substantial front verandah, with the gable end supported by coupled timber posts atop sandstone piers, with a low brick wall between. The gable end has shingles at the peak and the lower half has painted timber batten detailing. The front elevation also has two sets of multipaned floral lead light windows set below a set of smaller diamond patterned lead light windows. The windows are set on either side of a timber door with floral lead light details. The door has small sidelights in large timber panels on either side and is set below a top light with patterned glass.

The northern elevation has timber double hung sash windows with brick sills. The floral lead light windows carry around to the southern elevation of the building. At the rear of the building is a one storey fibro extension set below a corrugated metal skillion roof. The extension has timber framed awning windows, and two doors on to a rear balcony. The balcony has a lattice timber balustrade and is set above a modern brick garage. The building has two rough cast chimneys. Figure 10 to Figure 12 illustrate the exterior of No. 23 Dover Road, Rose Bay.



Figure 10: The front of elevation of No. 23 Dover Road, Rose Bay.



Figure 11: The northern elevation of No. 23 Dover Road, Rose Bay.



Figure 12: The fibro extension at the rear of No. 23 Dover Road, Rose Bay.

2.5.3 Interior

The building is best understood with reference to the floor plan provided below. Refer to Figure 13.

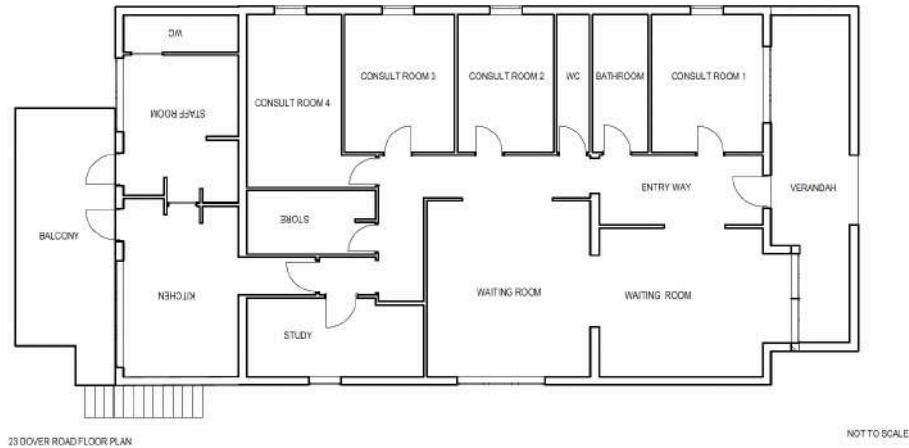


Figure 13: Approximate floorplan of No. 23 Dover Road, Rose Bay. Weir Phillips Heritage, 2025.

The interior of the building has been modified to allow for use as a medical practice. No. 25 Dover Road has a central corridor leading to large rooms at the front of the building and smaller rooms towards the rear. The floors throughout the original building have been replaced or covered in lino, in the case of the corridors, and modern carpeting throughout the waiting rooms and consultation rooms. All fireplaces have been removed.

Ceilings throughout the building appear to have been replaced to allow for modern lights and ventilation systems. All have quad cornices. The front three rooms in the building have timber panelling and the remainder of the rooms in the original structure have simpler timber detailing including tall painted skirting boards, timber architraves and timber picture rails. Internal doors throughout the original building are timber panel doors with top lights which have had the glass replaced. Many of the doors have been altered or replaced to make them compliant with requirements for medical practices

The rear addition has tiled and carpet flooring, a raked plasterboard ceiling with timber bead cornices and a modern kitchen and bathroom fit out. Figure 14 to Figure 20 illustrate the interior of No. 23 Dover Road, Rose Bay.



Figure 14: The waiting room of No. 23 Dover Road, Rose Bay showing the modern carpet flooring, timber wall panelling and modern plasterboard ceiling.



Figure 15: The secondary waiting room off the southern side of the corridor which has some of the floral leadlight windows.



Figure 16: The central corridor of No. 23 Dover Road, Rose Bay.



Figure 17: Consult room 1 with timber architraves, skirting boards and picture rail, with a timber panel door and modern carpet floor.



Figure 18: An example of one of the bathrooms which shows the modern fit out of the bathrooms in the building.



Figure 19: Consultation room 4, No. 23 Dover Road, Rose Bay. Note the picture rail, tall skirting boards and the modern carpet flooring.



Figure 20: The kitchen in the rear fibro addition.

2.6 No. 25 Dover Road, Rose Bay

2.6.1 Site

No. 25 Dover Road contains a two storey Arts and Crafts dwelling and a single storey detached garage. A concrete driveway runs along the northern boundary of the property to the garage in the northwestern corner of the site and a concrete path runs along the narrow southern setback to link the front and rear yard.

The dwelling has a front setback of approximately 5m and rear setback of 10m. A mature garden dominates the front yard, and the rear yard has a central lawn area which is lined by a mature garden around the northern, western and southern boundaries.

The front fence is a tall timber paling fence on a sandstone hob with metal palisade gates leading to the driveway and the remainder of the property is enclosed by a timber paling fence.

Figure 21 to Figure 23 illustrates the site.



Figure 21: No. 25 Dover Road, Rose Bay from Dover Road, showing the front timber fence and metal gate to the driveway.



Figure 22: The path in the southern setback linking the front yard, the rear yard and the front entrance to the dwelling on the southern elevation.



Figure 23: The rear yard and rear extension of No. 25 Dover Road, Rose Bay.

2.6.2 Exterior

No. 25 Dover Road, Rose Bay is a two storey Federation Arts and Craft dwelling. The external walls are masonry with a painted rough cast finish, atop a sandstone base and set below a steep slate gable roof. The front and northern elevations each have an arched timber window set below a slate covered awning. The remainder of the windows in the main form of the dwelling are timber framed double hung sash windows with metal security grilles.

The front entry is via a covered porch on the southern elevation. The porch roof is slate and is supported by narrow timber posts atop a sandstone wall. Glass panels are situated between each timber posts. The porch roof is supported by decorative timber brackets. The front door is a solid timber door with lead light details.

At the rear of the main structure of No. 25 Dover Road is a weatherboard clad extension. To account for the slope of the site the extension is elevated on tall painted brick piers. The extension sits below a corrugated metal skillion roof. Off the rear extension is a verandah which has stairs down to the garden. The roof of the verandah is supported by narrow timber posts, and a timber lattice balustrade wraps around the entire verandah. Figure 24 to Figure 29 illustrates the exterior of No. 25 Dover Road, Rose Bay.



Figure 24: The front elevation of No. 25 Dover Road, Rose Bay.



Figure 25: The northern elevation of No. 25 Dover Road, Rose Bay from No. 23 Dover Road, Rose Bay.



Figure 26: The porch over the front entrance to No. 25 Dover Road, Rose Bay on the southern elevation of No. 25 Dover Road, Rose Bay.



Figure 27: Detailed view of the weatherboard extension on tall brick piers at the rear of No. 25 Dover Road, Rose Bay



Figure 28: The verandah of the rear extension of No. 25 Dover Road, Rose Bay.



Figure 29: The timber and glass front door.

2.6.3 Interior

The building is best understood with reference to the floor plan provided below. Refer to Figure 30.

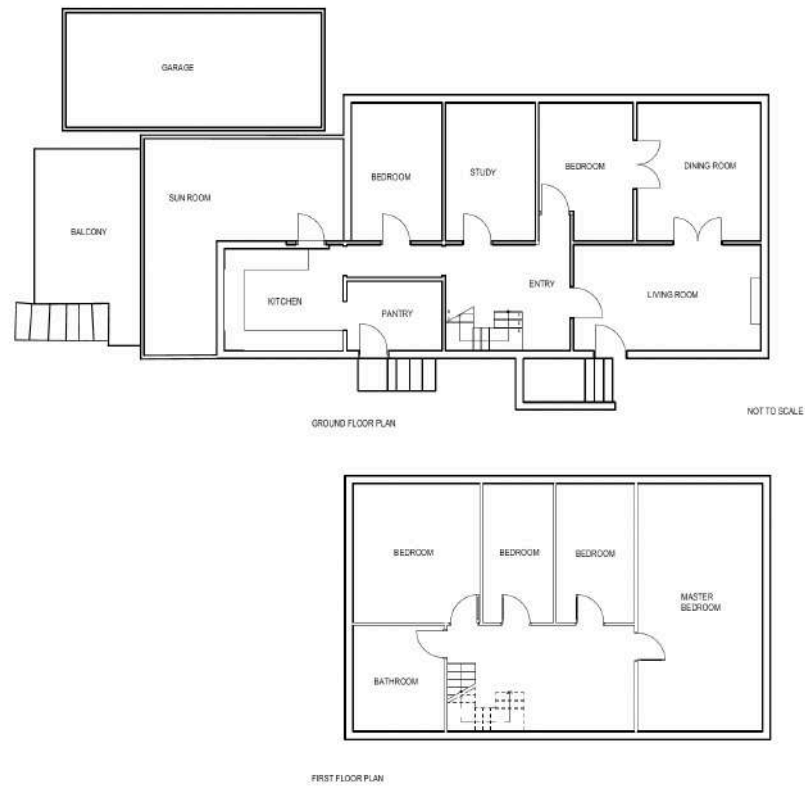


Figure 30: The approximate ground floor and first floor plans of No. 25 Dover Road. Weir Phillips Heritage, 2025.

The internal layout of No. 25 Dover Road, Rose Bay is typical of a two storey Federation dwelling with living spaces on the ground floor, with larger, more formal spaces to the front of the building and the kitchen at the rear, and the bedrooms on the first floor. The building has retained many original decorative features including decorative plaster ceilings and cornices throughout the living spaces and ground floor corridor, timber door and windows architraves, timber panel doors set below top lights with obscured glass panels, timber picture rails and plaster ceiling roses in the bedrooms upstairs. A timber staircase with carpeted treads connects the two levels.

Whilst the building has retained many of its original details it is in a state of deterioration with paint peeling, deterioration of the decorative plaster ceilings, water and mould damage, and cracking.

The extension at the rear of the building has a timber and plasterboard panelled ceiling and walls. Figure 31 to Figure 37 illustrate the interior of No. 25 Dover Road, Rose Bay.



Figure 31: The living room on the ground floor, showing the deteriorating decorative ceiling.



Figure 32: A smaller room on the ground floor showing a simpler ceiling with a plaster ceiling rose, as well as the timber architrave and toplight of some of the internal doors.



Figure 33: The corridor on the ground floor showing the decorative ceiling.

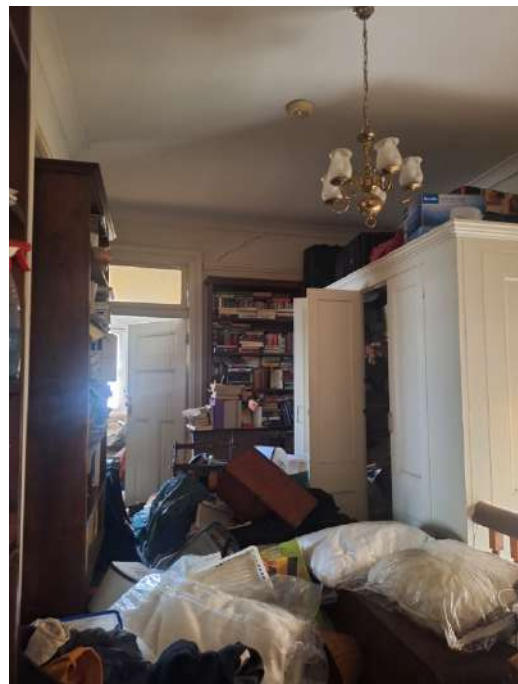


Figure 34: The stair landing of the first floor.



Figure 35: The bathroom on the first floor of No. 25 Dover Road, Rose Bay.



Figure 36: The interior of the rear extension.

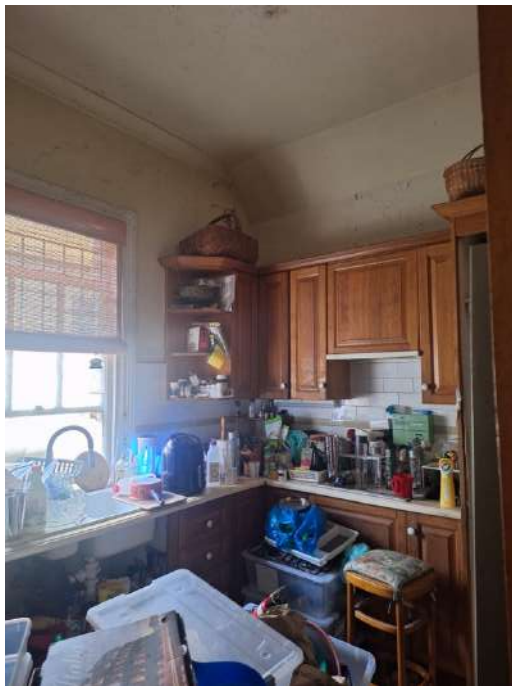


Figure 37: The kitchen on the ground floor

2.7 No. 27 Dover Road, Rose Bay

2.7.1 Site

No. 27 Dover Road contains a contemporary three storey duplex. The site has been excavated to accommodate the basement garage requiring the construction of two sets of external stairs in both of the narrow side setbacks to provide access to the terraced rear yard.

The dwellings have a front setback of approximately 5.5m, with the garage extending from the front elevation to the front boundary of the site. The southern wall of the garage separates the front setback to allow each of the dwellings to have a private front entrance. The rear yard has a lower tiled covered patio with stairs leading up to a raise lawn and garden space.

The front boundary is enclosed by a tall, rendered masonry and metal palisade fence, with decorative timber framing marking the entrance to the garage and to each gate to the separate dwellings. The remainder of the property is surrounded by a rendered masonry and timber paling fence. Figure 38 to Figure 41 illustrate the site.



Figure 38: No. 27 Dover Road, Rose Bay from Dover Road.



Figure 39: The front yard of the smaller unit at the front of No. 27 Dover Road, Rose Bay.

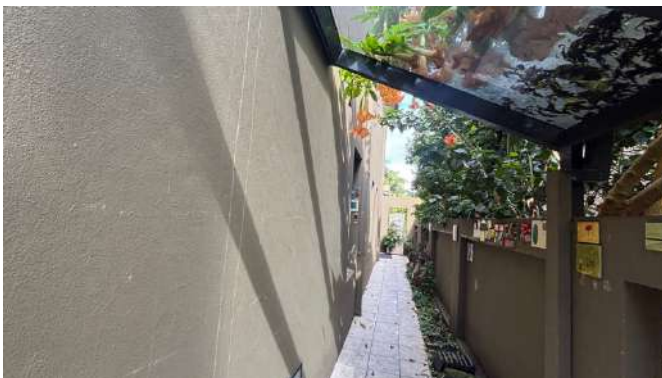


Figure 40: The tiled path along the northern setback, which leads to the courtyard in front of the large rear unit.



Figure 41: The rear yard of No. 27 Dover Road, Rose Bay.

2.7.2 Exterior

No. 27 Dover Road, Rose Bay is a contemporary three storey duplex. The building has rendered masonry walls and is set below a tiled hipped roof. The house has aluminium framed doors and windows, and some windows have metal security grilles. The front elevation is largely obscured from the street by the garage and has a large balcony covered by a Perspex roof supported on narrow metal posts. The balconies are surrounded by a metal palisade balustrade. Access to both units is via the north and south elevations, with the larger of the two units accessed via a tiled courtyard. The rear of the property has a tiled verandah extending from the ground floor and supported by large concrete columns. The verandah has tiled stairs down to the lower ground floor and garden. It is covered by a Perspex skillion roof supported by narrow coupled posts and is surrounded by a metal palisade balustrade. Figure 42 to Figure 47 illustrates the exterior of No. 27 Dover Road, Rose Bay.



Figure 42: The garage and the first-floor verandah on the front elevation of No. 27 Dover Road, Rose Bay.



Figure 43: The ground floor elevation No. 27 Dover Road, Rose Bay.



Figure 44: The southern elevation of No. 27 Dover Road, Rose Bay.



Figure 45: The rear elevation of No. 27 Dover Road, Rose Bay.



Figure 46: The rear elevation of the lower ground floor.



Figure 47: The courtyard on the northern elevation which provides access to the rear unit.

2.7.3 Interior

The building is best understood with reference to the floor plan provided below. Refer to Figure 48.

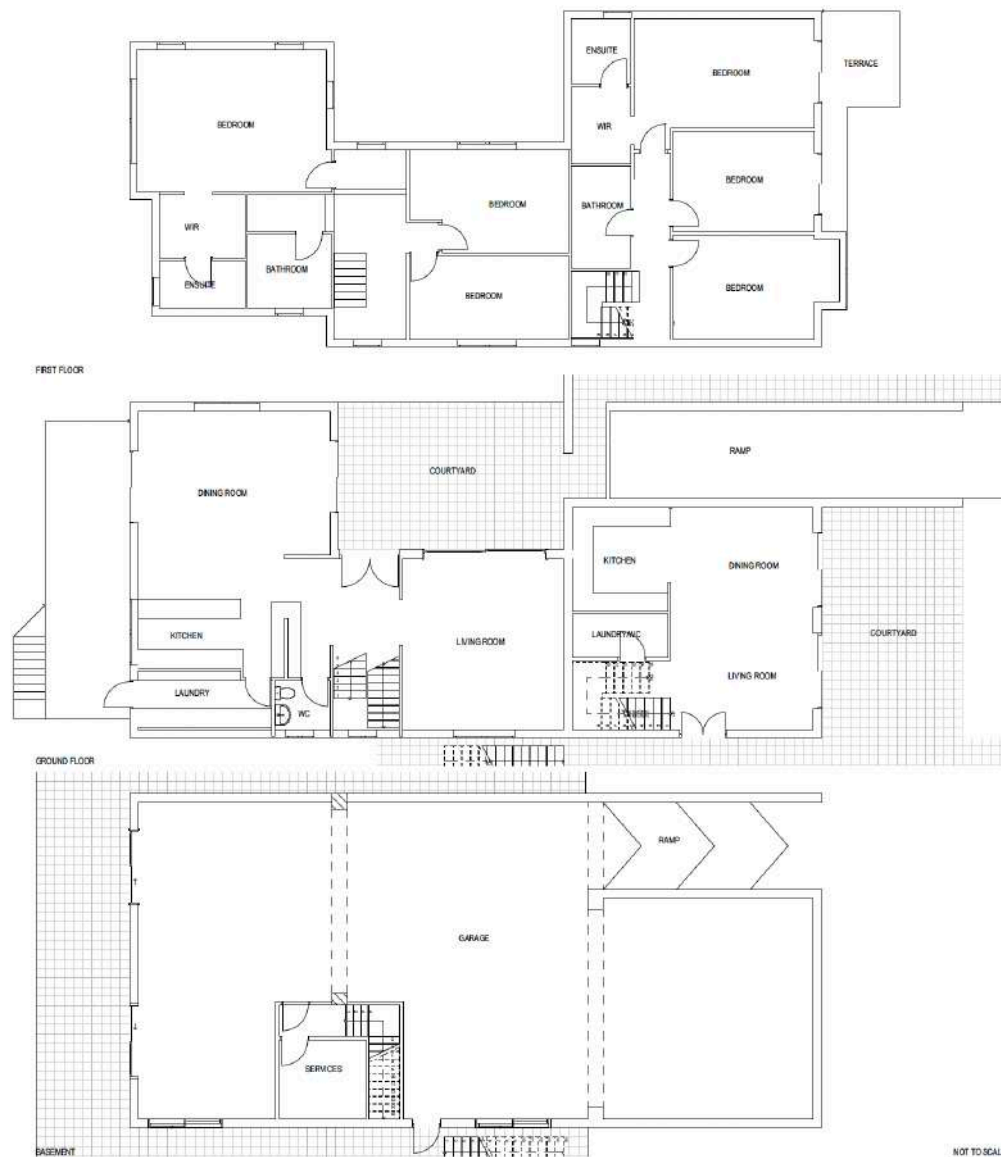


Figure 48: The approximate floor plans of the basement, ground floor and first floor of No.27 Dover Road. Weir Phillips Heritage, 2025.

No. 27 Dover Road, Rose Bay is divided into two units, the smaller unit is located at the front of the building and the larger unit at the rear. The smaller unit is two storeys with the modern open planned living space and kitchen on the ground floor and bedrooms and bathrooms on the first floor. The smaller unit has tiled flooring on the ground floor, carpet on the first floor and has modern ceilings and quad cornices throughout.

The larger of the units has three storeys. The lower ground floor has low plasterboard ceilings and a concrete floor. It is currently used as a studio not a garage. The ground floor level has open planned living spaces with tiled floors in the kitchen and carpet in the living room. The ground floor has plasterboard ceiling with profiled cornices throughout and a recessed ceiling in the dining and living room.

The first floor is a split level with smaller staircases off the corridor leading to the bedrooms. The first floor has carpet throughout and the same plasterboard ceiling and profiled cornices as the ground floor. Figure 49 to Figure 54 illustrate the interior of No. 27 Dover Road, Rose Bay.



Figure 49: The open planned kitchen on the ground floor of the rear unit.



Figure 50: The living room of the rear unit of No. 27 Dover Road, Rose Bay.



Figure 51: The lower ground floor basement being used as an artist's studio.



Figure 52: Example of the bedrooms in the rear unit of No. 27 Dover Road, Rose Bay, on the first floor.



Figure 53: The ground floor open planned kitchen, living and dining room of the smaller unit at the front of No. 27 Dover Road, Rose Bay.



Figure 54: Example of one of the first-floor bedrooms of the smaller unit in No. 27 Dover Road, Rose Bay.

2.8 No. 29 Dover Road, Rose Bay

2.8.1 Site

The subject site contains a two-storey dwelling. The dwelling has very narrow side setbacks with the northern setback paved and lined with a garden bed to provide a link between the rear yard and the front yard.

The front yard is dominated by a carport with a corrugated metal roof supported by large timber posts and the main dwelling form has a setback of approximately 3 metres. The entire front yard including the carport is tiled.

The dwelling has a rear set back of approximately 15m and consists of pool surrounded by pavers, a lawn area and a paved patio and verandah at the rear of the dwelling.

The rear yard is bound by well-established garden beds on the northern, western and southern sides. The front setback has limited vegetation except for a hedge in the northeastern corner.

The front boundary is enclosed by a tall, rendered masonry fence with the hedge above and a timber paling gate. The remainder of the property is enclosed by a timber paling fence. Figure 55 to Figure 57 illustrates the site.



Figure 55: No. 29 Dover Road, Rose Bay from Dover Road.



Figure 56: The path in the northern setback linking the front and rear yard.



Figure 57: The pool in the rear yard of No. 29 Dover Road, Rose Bay.

2.8.2 Exterior

No. 29 Dover Road, Rose Bay is a one and two storey dwelling with rendered masonry walls, set atop sandstone foundations, and below a tiled hipped and gable roof.

The front elevation is dominated by a carport and a front extension which is set below a corrugated metal skillion roof. The extension has a set of double timber and glass doors, and the front entrance is set between the carport and the extension. It has a modern door with the security flyscreen and the toplight that has been filled in.

The windows on the northern elevation are a mixture of modern aluminium framed windows and timber casement windows. Windows on the southern elevation are a combination of aluminium framed windows and original timber sash windows, which have retained the flat arch lintel.

At the rear of the dwelling is a fibro clad rear wing set below tiled hipped roof. Off the rear wing is a timber framed verandah supported by narrow timber posts. The verandah has timber decking boards, timber stairs to the rear yard and a timber palisade balustrade. Figure 58 to Figure 61 illustrates the exterior of No. 29 Dover Road, Rose Bay.



Figure 58: The front elevation of No. 29 Dover Road, Rose Bay.



Figure 59: The front elevation of No. 29 Dover Road, Rose Bay underneath the carport.



Figure 60: The northern elevation of No. 29 Dover Road, Rose Bay.



Figure 61: The verandah at the rear of No. 29 Dover Road, Rose Bay.

2.8.3 Interior

The interior of the building is best understood with reference to the floor plan provided below. Refer to Figure 62.

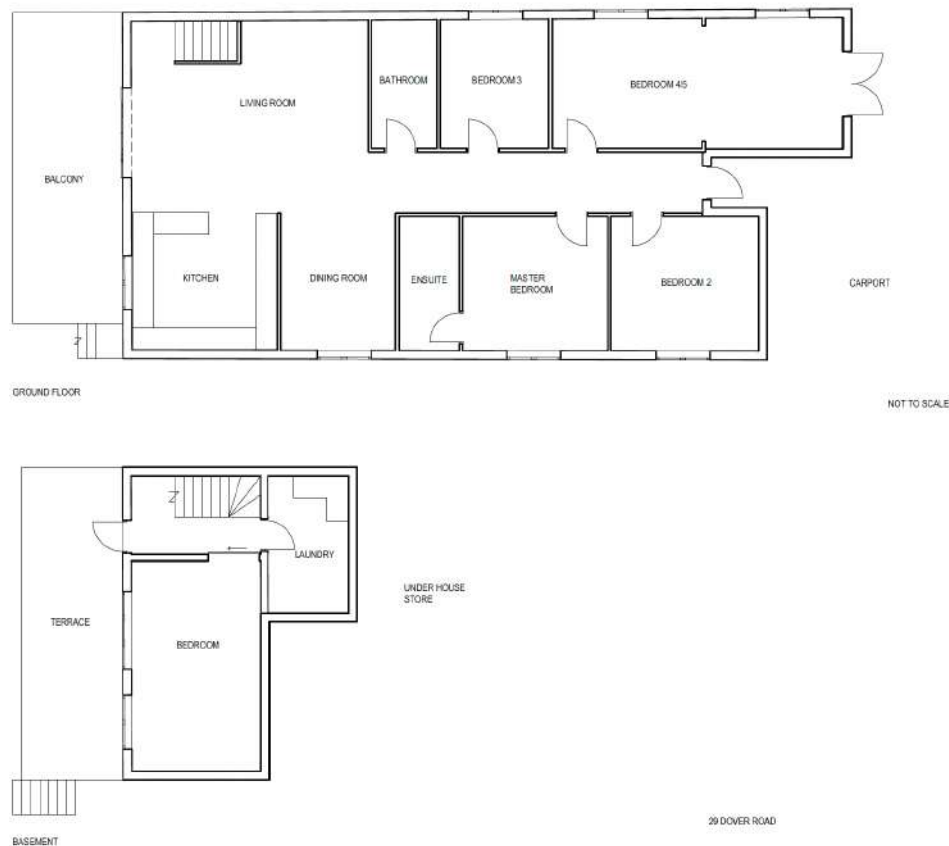


Figure 62: Approximate floor plan of No. 29 Dover Road. Weir Phillips Heritage, 2025.

No. 29 Dover Road, Rose Bay has been significantly modified internally. The dwelling has a layout which is consistent with early twentieth century cottages with a central corridor with bedrooms to the front of the building and the open planned kitchen and dining spaces at the rear of the dwelling. The original flooring has been replaced with modern floorboards in the corridor and kitchen/dining space and carpet in the bedrooms and study.

The bedrooms at the front of the dwelling have profiled timber skirting and profiled cornices and the two arch ways have been retained in the corridor with one having decorative plaster detailing. The archways are showing signs of deterioration with a crack running from the ceiling to the centre of the archway. The kitchen has modern plasterboard ceilings and quad cornices but has the same profiled timber skirting as the front of the building.

A staircase from the living room leads down to the basement. The sandstone walls of the basement have been painted. A large timber barn door leads to a bedroom which has painted sandstone walls and the ceilings above are the exposed timber framing of the floor above. The basement also has a laundry and bathroom both with modern fitouts. Figure 63 to Figure 68 illustrates the interior of No. 29 Dover Road, Rose Bay.



Figure 63: The central corridor of No. 29 Dover Road, Rose Bay.



Figure 64: The master bedroom of No. 29 Dover Road, Rose Bay showing the location of a fireplace, which has been filled in, and the profiled cornices.

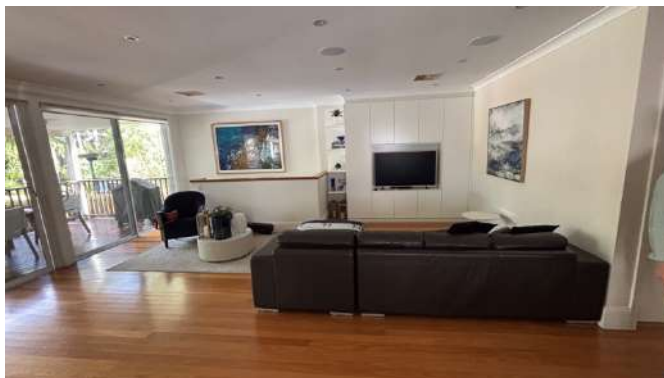


Figure 65: The open planned living room at the rear of No. 29 Dover Road, Rose Bay.



Figure 66: The modern kitchen at the rear of No. 29 Dover Road, Rose Bay.



Figure 67: The bedroom in the converted underfloor space of No. 29 Dover Road, Rose Bay.



Figure 68: The large barn door and painted sandstone of the basement area.

2.9 No. 31 Dover Road, Rose Bay

2.9.1 Site

No. 31 Dover Road contains a two and three storey duplex. A concrete driveway runs along the northern boundary of the site leading to a garage in the northwestern corner of the property.

The dwelling has a front setback of approximately 4.5m and a rear setback of 11m, and a very narrow southern side setback. Access to the smaller unit is via the front setback and access to the large unit is via the driveway along the northern setback.

The front boundary is enclosed by a render masonry and metal fence with a pedestrian metal gate and gate to the driveway. The remainder of the property is enclosed by a timber paling fence.

The front yard has a narrow lawn area, surrounded by pebble covered garden beds with small streets and a hedge along the eastern boundary. The rear yard has a large lawn area with mature garden beds around the northern and western boundary and a shed in the southeast corner. Figure 69 to Figure 71 illustrates No. 31 Dover Road.



Figure 69: No. 31 Dover Road, Rose Bay from Dover Road.



Figure 70: The driveway in the northern setback providing access to the garage in the northwest corner of the property.



Figure 71: The rear yard of No. 31 Dover Road, Rose Bay.

2.9.2 Exterior

No. 31 Dover Road, Rose Bay is a two and three storey dwelling with rendered masonry walls set below a corrugated metal hipped roof. The building is divided into a smaller unit at the front and a larger unit at the rear. The front elevation has a bay window on the ground floor and first floor. A balcony extends from the first floor of the front elevation and is covered by a Perspex roof which is supported by narrow timber posts. The balustrade has narrow metal posts and opaque panels. The windows on the bay are largely concealed by modern metal flyscreens, but appear to be sash windows. The front door to the small front unit is set within a deep porch. It is a timber panel door set below a top light and has a modern security door.

The northern elevation, which provides access to the large rear unit, has a variety of window shapes and types, with a distinct large window feature above the modern front door, that stretches from the lower ground floor to the first floor.

The rear elevation has a ground floor verandah and a cantilevered first floor balcony. The verandah has a metal balustrade and a set of stairs to the rear yard. It is accessed by two sets of sliding doors. The first-floor verandah has metal and opaque panel balustrade and is accessed via a set of sliding doors. The lower ground floor is accessed via a set of sliding doors.

The garage at the northwestern corner of the building has painted brick walls and a corrugated metal roof. Figure 72 to Figure 75 illustrates the exterior of No. 31 Dover Road.



Figure 72: The front elevation of No. 31 Dover Road, Rose Bay.



Figure 73: The northern elevation of No. 31 Dover Road, Rose Bay.



Figure 74: The large glazing feature above the front entrance to the rear unit of No. 31 Dover Road, Rose Bay.



Figure 75: The rear elevation of No. 31 Dover Road, Rose Bay.

2.9.3 Interior

The interior of the building is best understood with reference to the floorplan below.

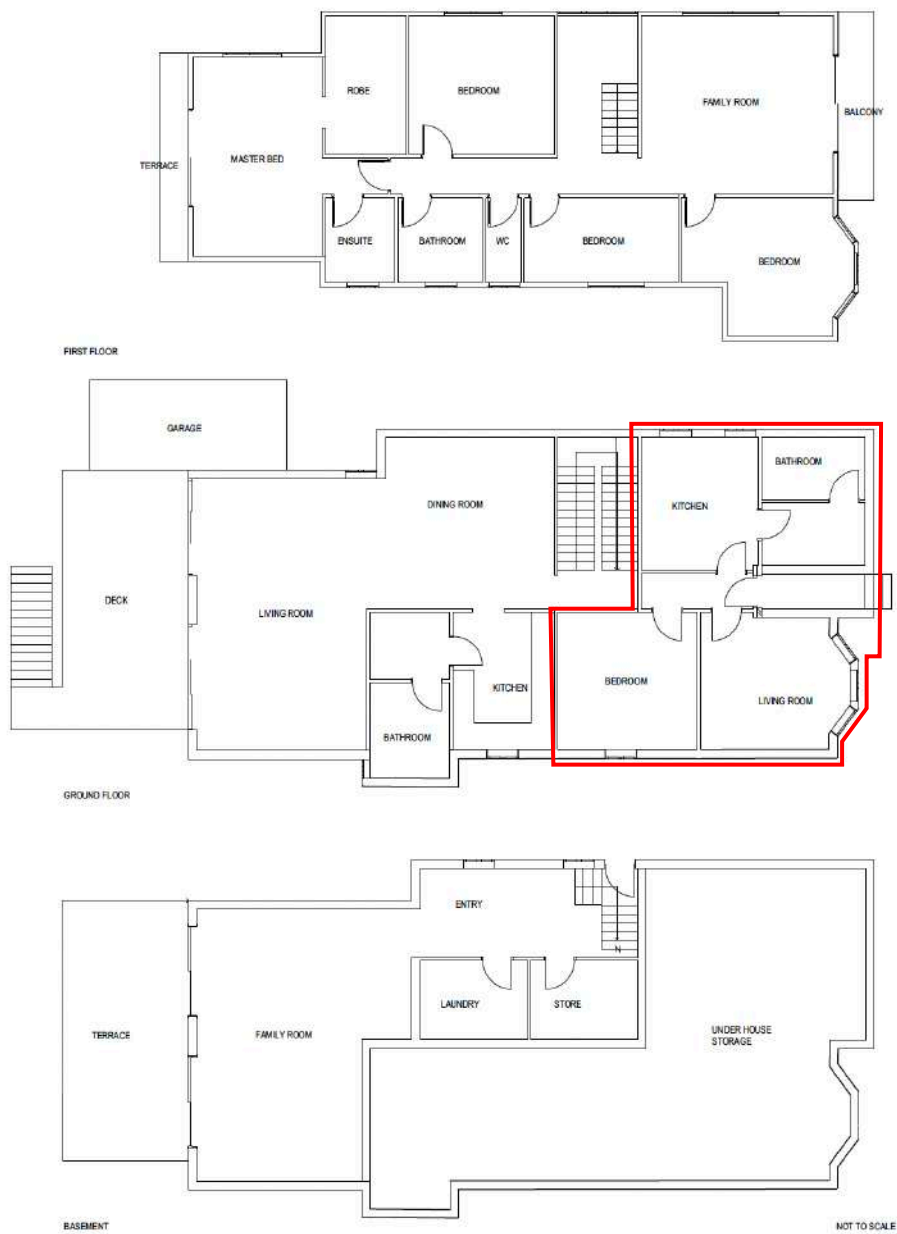


Figure 76: Approximate basement, ground floor and first floor plans of No. 31 Dover Road. The front unit is outlined in red. Weir Phillips Heritage, 2025.

The rear unit of No. 31 Dover Road, Rose Bay has three levels. The basement level is used for living and storages spaces. The storage space and large living spaces have concrete floors. In the foyer area the floor transitions to floorboards to match the timber staircase. The ground floor has a large, open planned living and dining space with modern timber floorboards. The kitchen is accessed via a large archway and has a modern fit out. The first floor has all of the bedrooms and has carpet floors and plasterboard ceilings with quad cornices.

The front unit of No. 31 Dover Road, Rose Bay is only one storey. There are timber floors, tall profile skirting boards and profiled cornices throughout. The unit has a modern kitchen and bathroom fit out. Figure 77 to Figure 83 illustrates the interior of No. 31 Dover Road, Rose Bay.



Figure 77: The large living space in the lower ground floor.

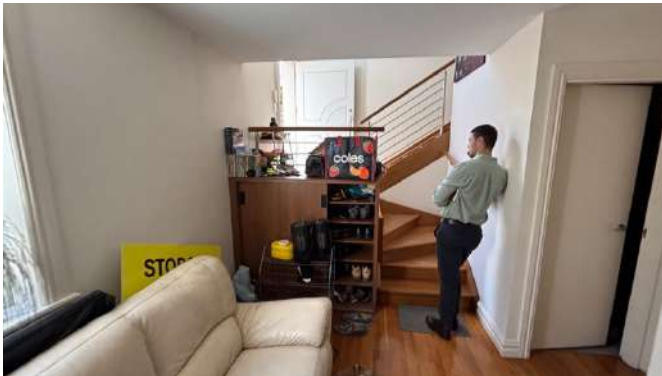


Figure 78: The foyer of the lower ground floor leading to the stairs up to the ground floor.



Figure 79: The open planned living room and dining room of the large rear unit of No. 31 Dover Road, Rose Bay.



Figure 80: The kitchen of the rear unit of No. 31 Dover Road, Rose Bay.



Figure 81: The front room of the front unit of No. 31 Dover Road, Rose Bay.



Figure 82: The kitchen of the small unit at the front of No. 31 Dover Road, Rose Bay.



Figure 83: The bedroom of the small unit at the front of No. 31 Dover Road, Rose Bay.

3 HISTORICAL ANALYSIS

3.1 Aboriginal History

While an Aboriginal history is not provided for, it is acknowledged that the original inhabitants of the Woollahra area were the Cadigal people of the Dharug language group.

3.2 Early European History

The settlement of Sydney was officially established on 26 January 1788. Present-day European association with present-day Municipality of Woollahra began with the arrival of the First Fleet in Sydney Harbour. The first survey party to enter the heads of Sydney Harbour on 21st January 1788 is thought to have landed at Camp Cove in the northern most reaches of the municipality. A signal station was established on South Head in 1790. As attested to by surviving letters and accounts this signal station was of vital importance to a Colony starved of both food and 'intelligence of our friends and connections.'¹ The word 'Woo-la-ra' first appears in a 'List of Local Names, or of Places' compiled by David Southwell, the young lieutenant later placed in charge of the small military detachment stationed on South Head.²

In December 1792, Governor Phillip established the boundaries of the Township of Sydney. The eastern boundary stretched from the present-day junction of Elizabeth and Albion Streets to the south-eastern corner of Hyde Park and thence to Woolloomooloo Bay. The land within the Municipality of Woollahra was thus located well outside these boundaries.

From January 1793, successive governors granted land outside the township boundaries to military and government officials, civilians and emancipated convicts in order to open up the country and augment the Colony's food supplies. The track to South Head served the additional purpose of providing boundaries for a number of the first land grants made within the present-day Council area. While land was allocated to the east of Sydney, the area remained sparsely settled until the middle decades of the 19th century.

The land around Woollahra was considered unsuitable for agricultural as it was too sandy or swampy. The natural resources, nevertheless, were exploited by settlers from an early date. Rush cutters gathered reeds for thatch; foreshore timber was felled for building and firewood.

3.3 Development of Rose Bay

The subject sites are found within the original land grant to Solomon Levey and Daniel Cooper of 1830. Refer to Figure 84 for an illustration of the original Point Piper Estate grant.

¹ Eric Russell, *Woollahra: A History in Pictures* (Sydney: Woollahra Municipal Council, 1980), p.9.

² Letter dated 12 July 1788, cited in Russell, *A History in Pictures*, pp. 9-10.



Figure 84: Point Piper Estate, granted to Solomon Levey and Daniel Cooper in 1830. State Library NSW, 2025.

Sydney's population expanded sevenfold between 1850 and 1890. By the early 1880s, the areas closer to the City had been built out and the demand for land was pushing further eastwards. The steady improvement to the tramway system from the 1880s, together with the introduction of subsidised transport, did much to open up the Woollahra Municipality to small lot development.

Freehold subdivisions of land on the Cooper Estate began in the early 1880s and continued until the 1920s. Many of those who held earlier 99-year leaseholds purchased their leases and later, particularly after 1900, also subdivided and sold their land. The other major early nineteenth century estates within Woollahra, the Wentworth Estates (the Wentworth family and their successors) and the Tivoli Estate (the Dumaresq family and their successors), followed a similar pattern of subdivision. Land was sold not only to individuals, but also to companies, who bought large tracts to make their own speculative subdivisions. Land upon the Cooper Estate, on the opposite side of Cooper Park to the subject site, was offered for freehold sale under various names from the mid 1880s onwards.

A primary application for the site was lodged in 1903, for title of the area comprising of the subject sites by Daniel Cooper. By 1904, the land was purchased by the Intercolonial Investment Land and Building Company Limited and subdivided into residential lots for individual sale within the "Rose Bay Estate". Refer to Figure 85 to Figure 87 to illustrate the subdivision and sale of the subject sites.

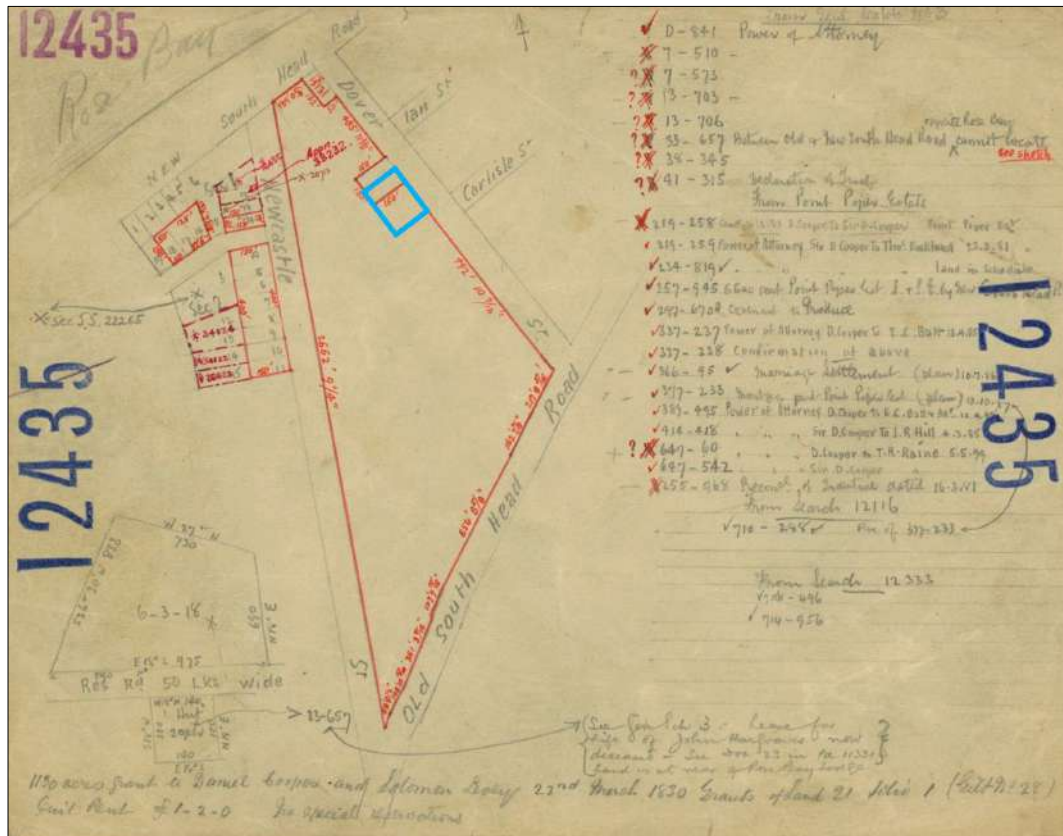


Figure 85: Primary Application 12435, 1903. The subject site is outlined in blue.



Figure 86: Sketch map contained within title deed of sale of the land encompassing the subject sites (outlined in blue) in January 1904. Vol. 1508 No.227.

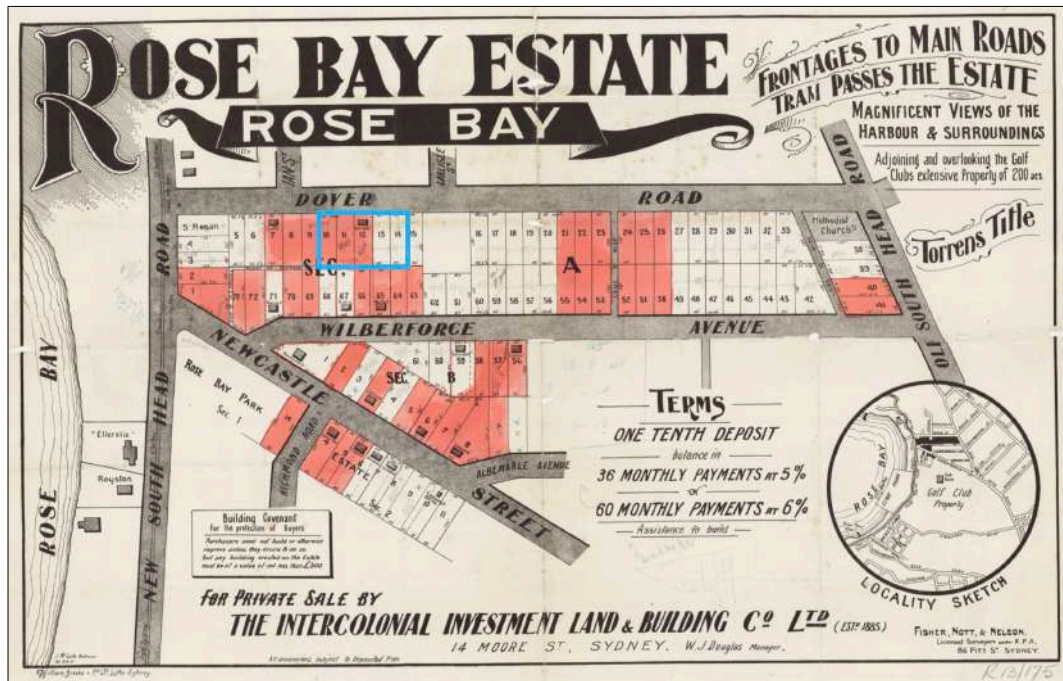


Figure 87: Advertisement for the sale of Rose Bay Estate after 1907. The subject site is outlined in blue. State Library NSW, 2025.

The subject sites were initially sold between 1905 and 1912, to the following individuals off the Rose Bay Estate subdivision:

No. 23	Martha Adelaide Tunks	1905
No. 25	Kathleen Du Fourg	1912
No. 27	John Blythe	1912
No. 29	Joan Young	1909
No. 31	Charles Price	1909

Refer to Figure 88 for an aerial view of the subject sites in 1943, the earliest aerial imagery identified for the sites.



Figure 88: Aerial view illustrating Nos. 23-31 Dover Road, Rose Bay (outlined in red) in 1943.
SDT Explorer, 2025.

A history of each site and building is outlined below.

3.4 History of No. 23 Dover Road, Rose Bay, No. 23 Dover Road, Rose Bay

<i>Certificate of Title Volume and Folio Number</i>	<i>Proprietor of No. 23 Dover Road, Rose Bay</i>	<i>Year of purchase</i>	<i>Tenant, as listed by the Sands Directories</i>	<i>Year the tenant occupied the site</i>
Vol. 1508 Fol. 227	Martha Adelaide Tunks of North Sydney, spinster	1905	Sidney Hall (Hull?)	1918
Vol. 1600 Fol. 7	Samuel Henry Cohen of Darlinghurst, commercial traveller	1912	A.C Gartner	1920
Vol. 3152 Fol. 170	Dinah Elizabeth Diamond, wife of Solly Diamond of Sydney hotel proprietor	1935	Mrs. L. Cunningham	1926
	John Joseph McDonald Larkin of Rose Bay, Air Force Officer	1943	A. C. K. Yates, medical practitioner	1930

Joan Lillian Larkin and Perpetual Trustee Company Limited as joint tenants

1987

Dr. W.E. Ryan, medical practitioner

1932/33

Allan Shell and Roma Shell as joint tenants

1987

Lease to Ryledon Pty Limited of premises known as 23 Dover Road, Rose Bay

1988

Expires July 1998

No. 23 Dover Road was constructed in c.1916 by Hugh Alfred Tregenza, a local builder. Refer to Figure 89 for the building application. The dwelling has not been identified to have any association with a known architect. The dwelling was first occupied by Sidney Hall and listed under the name 'Roslyn'. Later occupants included A.C.K. Yates, a medical practitioner (1929) and W.E. Ryan (1930s), a dermatologist. The dwelling most recently was used as a local medical practice.

MUNICIPALITY REGISTER OF										OF WOOLLAHRA. BUILDING APPLICATIONS.			
No.	Date Received	Name and Address of Owner	Name and Address of Applicant	Whether New Building or Addition	Description	Dist.	No. of the Building	Cost of the Building in	Per Paid.	Range No.	Date when completed for Council	Council's Decision	Remarks
181	1916 Apr. 15	S. E. Sanjar	No. 63 Barr + Co	Alter to	'Elaine' R. E. H.	CB	-	10	26	1021	Apr. 23	Approved	
182	- 19	S. H. Cohen	na.	House	Lot 10 Dover Rd	CB	1	1022	110	209		Referred to approval of Council. If approved by Council, subject to condition of registration of bylaws.	
183	2	H. E. Beer	H. Becker	garage	Lot 10 Dover Rd	CB	-	60	10	209		Approved	
184		A. L. Tarrow	L. White	garage	Lot 1 to 2 Dover Rd	CB	-	35	10	209		Referred to approval of Council. If approved by Council, subject to condition of registration of bylaws.	
185		J. Kerr	Clary & Chandler	House	Lot 1 to 2 Dover Rd	CB	1	905	110	209		Approved	
186		R. T. Sealey	R. T. Sealey	house	Lot 1 to 2 Dover Rd	CB	1	510	115	209		Referred to approval of Council. If approved by Council, subject to condition of registration of bylaws.	
187	2	A. J. Cameron	Beck & Son	Sheds	Lot 1 to 2 Dover Rd	CB	1	2500	20	209		Referred to approval of Council. If approved by Council, subject to condition of registration of bylaws.	Approved by Council on 27.10.16
188		H. Cohen	H. Cohen	house	Lot 1 to 2 Dover Rd	CB	1	1022	15	209		Approved	
189	10-11	S. Russo	S. Russo	Garage	Lot 1 to 2 Dover Rd	CB	-	150	10	209	10-11	Approved	
190		J. Ashcroft	J. Ashcroft	additions	Lot 1 to 2 Dover Rd	CB	-	50	15	209		Referred to approval of Council. If approved by Council, subject to condition of registration of bylaws.	

Figure 89: Detail Municipality of Woollahra Register of Building Application, Application Nos. 181-190. The Building Application for No. 23 Dover Road, Rose Bay in No. 182. It is outlined in red. Woollahra Municipal Council, 2025.

3.5 History of No. 25 Dover Road, Rose Bay, No. 25 Dover Road, Rose Bay

<i>Certificate of Title Volume and Folio Number</i>	<i>Proprietor of No. 25 Dover Road, Rose Bay</i>	<i>Year of purchase</i>	<i>Tenant, as listed by the Sands Directories</i>	<i>Year the tenant occupied the site</i>
Vol. 1793 Fol. 57	Kathleen Du Fourg of Sydney, spinster	1912	Price	1914
Vol. 2286 Fol. 139	Adelaide Catherine Potter wife of Phillip Edward Potter, gentleman and Adele Dybella Louise Schmitz (Smith/Schmidt), spinster both of Randwick Application by transmission	1919	Kathleen Louise Price (nee Du Fourg)	1919
	Frederick Glover Neason Stephens of Rose Bay, medical practitioner	1919	Fred. G. N. Stephens, medical practitioner	1920
	Dominic Augustine Cahalan of Sydney, medical practitioner	1937	Fred. G. N. Stephens, medical practitioner	1925
	Agnes Bridget Cahalan of Watson's Bay, widow Application by transmission	1940	Architects Roll of NSW lists Philip Ernest Ranclaud at Bonheur, Dover Road, Rose Bay	1931
Vol. 5161 Fol. 164	Ian Webster MacNaught of Rose Bay, medical practitioner	1940	Mrs. P. E. Ranclaud	1932/33

Maxine MacNaught of Rose Bay, widow and the Perpetual Trustee Company Limited are the registered proprietors	1968
---	------

No. 25 Dover Road is a modified Federation Arts and Crafts dwelling, approved for construction in 1912 by T. George and Son, named 'Bonheur'.³ In that same year, Burcham Clamp accepted a tender for the construction of a dwelling in Rose Bay, however this report could not identify the address for this dwelling, nor any additional evidence that would suggest No. 25 Dover Road, Rose Bay was designed by Clamp.⁴

No. 25 Dover Road, Rose Bay was first purchased by Kathleen Du Fourg in 1912. Du Fourg passed away in 1919 at her residence, and the site was then transferred to her Aunt and Uncle, Adelaide and Phillip Potter.⁵ The property was sold that same year to Frederick Glover, a medical practitioner. No. 25 Dover Road, Rose Bay was bought by Dominic Calahan, another medical practitioner in 1937, and then by Ian McNaught in 1940, a medical practitioner also. Refer to Figure 90 for an illustration of the building footprint in 1925, adjoining plans for a garage.

No original plans for the dwelling are held by Woollahra Council, however Figure 91 is a photograph from the early 20th century of Dover Road, illustrating No. 25 Dover Road, Rose Bay.

³ Building Register August/September 1912.

<https://lhc.woollahra.nsw.gov.au/imu/request.php?request=Multimedia&method=fetch&key=52342&filter=width:bf:800;height:bf:400>

⁴ 1912 'OTHER NEW WORKS.', The Daily Telegraph (Sydney, NSW : 1883 - 1930), 3 September, p. 9., viewed 30 May 2025, <http://nla.gov.au/nla.news-article239167632>

⁵ 1919 'Family Notices', The Sydney Morning Herald (NSW : 1842 - 1954), 10 May, p. 16.

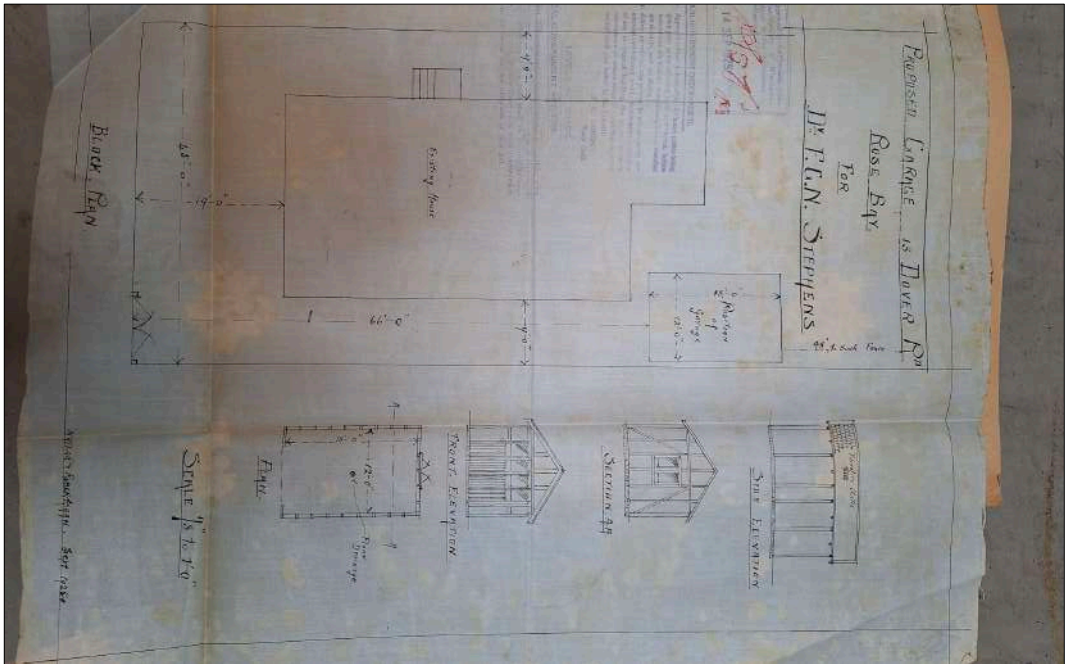


Figure 90: The building footprint of No. 25 Dover Road, Rose Bay, with plans for the proposed garage. DA1925/354.



Figure 91: Postcard of Dover Road, Rose Bay, early 20th century. No. 25 Dover Road, Rose Bay is indicated by the red arrow. Woollahra Local History Digital Archive, 2025.

3.6 History of No. 27 Dover Road, Rose Bay, No. 27 Dover Road, Rose Bay

<i>Certificate of Title Volume and Folio Number</i>	<i>Proprietor of No. 27 Dover Road, Rose Bay</i>	<i>Year of purchase</i>	<i>Tenant, as listed by the Sands Directories</i>	<i>Year the tenant occupied the site</i>
Vol. 2281 Fol. 161	John Blythe Salesman	1912	John Blyth	1906
			John Blythe	1910
	Edward Nock Freeholder	1914	Edward Nock	1915
	James Augustus Elliot Clerk	1915	James Elliot	1920
	Richard Llewellyn Fieldhouse Dentist	18 August 1925	James Elliot	1925
Vol. 3792 Fol. 23/24	Alfred Edward Cooper, Herbalist, and Florence Louise Lord, Widow	19 October 1925	T. J. Donovan	1930
Vol. 3873 Fol. 23	Ann Martha Donovan Wife of Timothy John Donovan, manager	1926	T. J. Donovan	1932/3
Vol. 6093 Fol. 242/243	Raymond Alexander Woodhill, Mechanic, and Nancy Ruth Dudley Woodhill	1949		
Vol. 10630 Fol. 209	Nancy Ruth Dudley Woodhill	1967		

No. 27 Dover Road, Rose Bay originally contained the Federation bungalow dwelling called 'Overdale', pictured in Figure 92. It was presumably constructed in 1906, when it is first recorded in the Sand's Directories. This dwelling was demolished in 1994. The current dwelling in the was constructed c. 1999 and subdivided into two apartments in 2000.



Figure 92: Woman and girl on front verandah of the original dwelling Overdale, 27 Dover Road, Rose Bay [picture], ca. 1905-1915. Woollahra Local History Digital Archive, 2025.

3.7 History of No. 29 Dover Road, Rose Bay, No. 29 Dover Road, Rose Bay

<i>Certificate of Title Volume and Folio Number</i>	<i>Proprietor of No. 29 Dover Road, Rose Bay</i>	<i>Year of purchase</i>	<i>Tenant, as listed by the Sands Directories</i>	<i>Year the tenant occupied the site</i>
Vol. 1944 Fol. 118	Joan Young Wife of John Maxwell Young, Commercial Traveller	1909	J.M. Young	1910
	Michael Fallon Balladoon Grazier	1911	Michael Fallon	1915
			Michael Fallon	1920
	Sarah Buckingham Chard Widow	1924	Mrs Sarah B Chard	1925
			Mrs Sarah B Chard	1930

	John Newtown Swinson, Orchardist	1934	Mrs Sarah B Chard	1933
Vol. 6719 Fol. 194	Margaret Rowena Hamilton Married woman	1953		
Vol. 6719 Fol. 195	Kathleen Mary Moller Married woman	1953		
Vol. 6719 Fol. 196	Lucy Jane Brodie Married woman	1953		
Vol. 6767 Fol. 39	Harry Joseph Shagrin Investor	1954		
	...			
	Marius Joseph Bourke and Zara Marie Bourke	1989		

No. 29 Dover Road, Rose Bay was constructed c. 1910 and called 'Claverton'. It was briefly owned by Harry Shagrin in the 1950s, a well-known character with the Rose Bay Jewish community, however, there is no evidence that he lived in the dwelling as the title records list him as an 'investor'. The dwelling has not been identified to have any association with a significant architect. It has undergone extensive alterations, in particular the addition of a room to the front of the house c. 1981, and construction of a carport within the front setback c.2011.

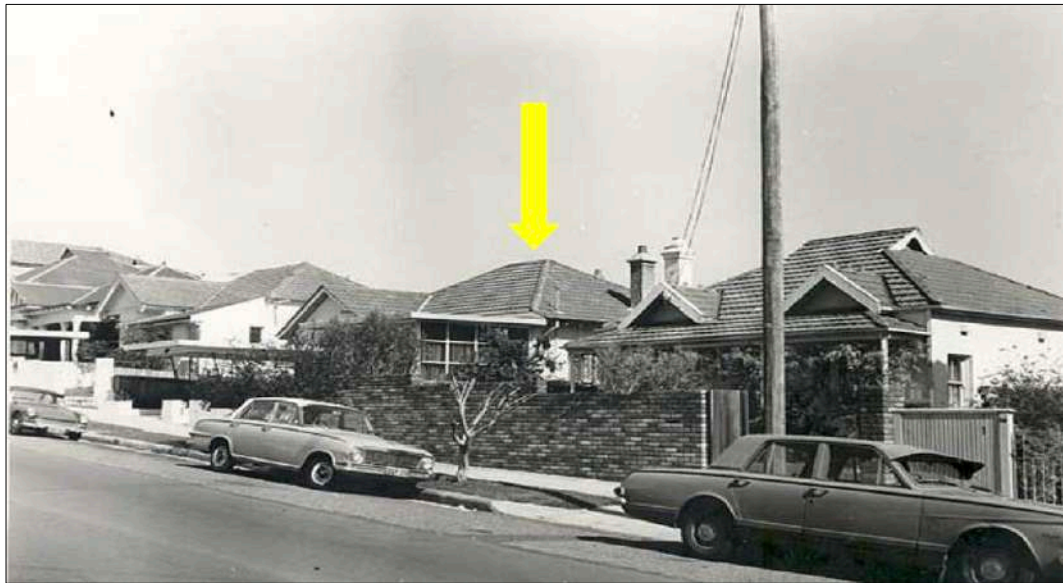


Figure 93: Houses on Dover Road, Rose Bay c. 1970. The yellow arrow indicates No. 29 Dover Road, Rose Bay. Woollahra Local History Digital Archive, 2025.

3.8 History of No. 31 Dover Road, Rose Bay, No. 31 Dover Road, Rose Bay

<i>Certificate of Title Volume and Folio Number</i>	<i>Proprietor of No. 31 Dover Road, Rose Bay</i>	<i>Year of purchase</i>	<i>Tenant, as listed by the Sands Directories</i>	<i>Year the tenant occupied the site</i>
Vol. 1949 Fol. 185	Charles Price Clerk	1909	Charles Price	1908
	Fanny Alexander Wife of Eustace Charles Alexander, Commercial traveller	1911		
	Mary Elizabeth Jones Spinster	1911	W.M. Jones, solicitor and Miss Mary Jones	1920
	Ada Evaline Johnston Wife of William Roderick Johnston, Grazier	1924	William R Johnston	1925

	Mary Ethel McNeil	1926	James McNeil	1932/3
	Wife of James McNeil, Engineer			
	Herbert Dodwell Brown	1950		
Vol. 10485 Fol. 82	Lorna Doone Brown	1966		

No. 31 Dover Road, Rose Bay was called 'Alwen' and was constructed c. 1908. The dwelling has not been identified to have any association with a known architect. The dwelling was first occupied by Charles Price in 1908, who purchased the property in the following year. In 2005, significant alterations, including a lower ground floor and first floor addition to the dwelling were approved. Refer to Figure 94 and Figure 95 for an understanding of the building before the larger additions.

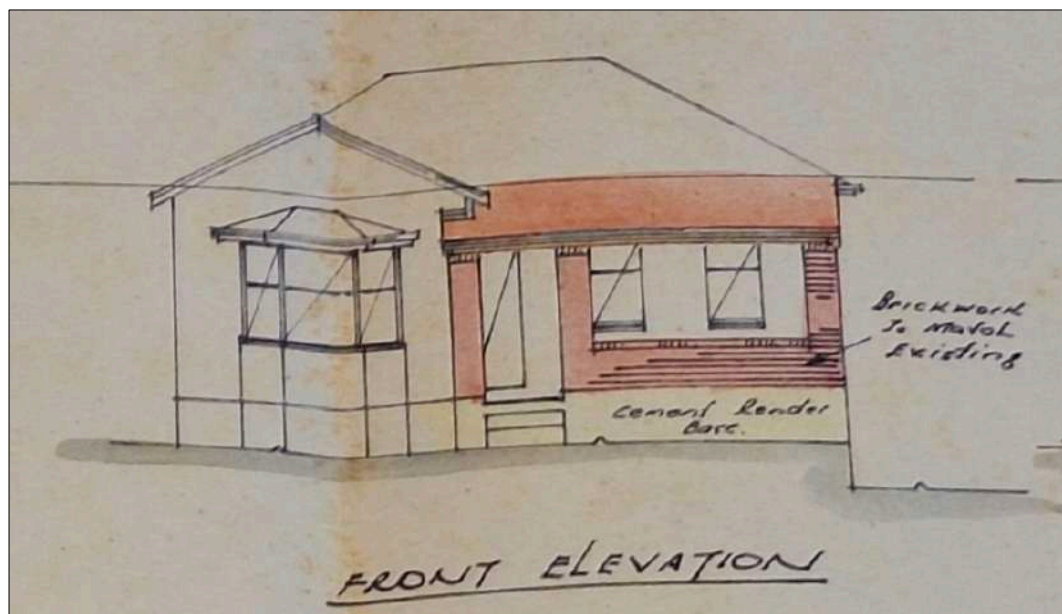


Figure 94: The proposed works from DA1953/252. The single storey scale of the dwelling can be understood in this elevation. DA1953/252.

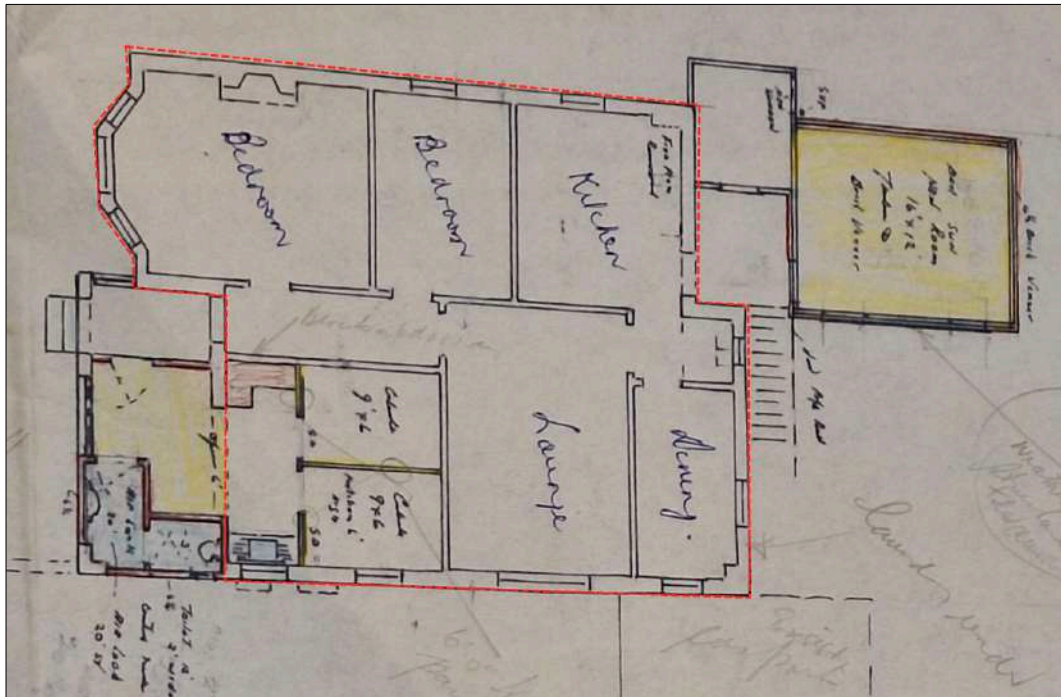


Figure 95: The proposed works from DA1967/207. Part of the original, single storey floorplan (outlined in red) can be understood in these plans, contrasting with the three-storey dwelling that exists at No. 31 Dover Road, Rose Bay today. DA1967/207.

4 ASSESSMENT OF SIGNIFICANCE

4.1 Summary of Statutory Heritage Listings

For the following, refer to Table 2, a summary of the statutory heritage listings for the site.

None of the properties are listed as local items under *LEP 2014*, nor are they located within an HCA. They are located in the vicinity of two heritage items listed under Schedule 5 Parts 1 of the *Woollahra LEP 2014*. The subject site had no statutory listings under the *Heritage Act 1977* (NSW).

Table 2: Summary of statutory heritage listings.

Listing Type	Item Name and Details	Listing Number
State Heritage Register under the <i>Heritage Act 1977</i> (NSW).	No	N/A
In the vicinity of items on the State Heritage Register under the <i>Heritage Act 1977</i> (NSW).	No	N/A
Listed as an item of local heritage significance by Schedule 5 of the <i>Woollahra LEP 2014</i> .	No	N/A

Located within the vicinity of local heritage items by Schedule 5 of the <i>Woollahra LEP 2014</i> .	St Andrew's Scots Presbyterian Church complex and setting, including interiors and moveable relics No. 2 Carlisle Street, Rose Bay	LEP Item No. I729
	Rose Bay Hotel and Interiors, No. 807 New South Head Road	LEP Item No. I326
Located within a heritage conservation area by Schedule 5 of the <i>Woollahra LEP 2014</i> .	No	N/A
Located within the vicinity of a heritage conservation area by Schedule 5 of the <i>Woollahra LEP 2014</i> .	No	N/A

4.2 Additional Information Relating to the Site's Significance

4.2.1 Views

Principal view corridors to the subject site are obtained from directly in front of the site on Dover Road. Buildings 1 to 5 are not prominent buildings within the streetscape. Mature street trees and dense vegetation forward of the building lines of Buildings 2 to 5 obscure view corridors to these buildings from north and south along Dover Road, while high masonry fences to Buildings 3 to 5 further obscure these views to these buildings. Views from the north and south of No. 23 Dover Road, Rose Bay are limited by interfering building setbacks from Nos. 19-21 Dover Road, Rose Bay from the north, and by the mature vegetation within Buildings 2 to 5 from the south. Long range views to the subject site are limited by distance, interfering buildings setbacks, and mature vegetation along Dover Road.

View corridors from Ian Street, north of the subject site, are obscured by mature street trees along Dover Road. Further, view corridors from Carlisle Street are limited by distance and by St Andrew's Scots Presbyterian Church on the corner of Dover Road and Carlisle Street.

4.2.2 Integrity

Non-invasive visual inspections of the interior and exterior of the dwellings were conducted in April 2025 which, along with historical research, informs this section of the Demolition Report.

4.2.2.1 No. 23 Dover Road, Rose Bay

The GIPA submitted for this property indicated that Woollahra Council held eight Building and Development applications for the site, however the documents could not be located by Council. The Building Application Register held by the Woollahra Library recorded basic details for BA1926/391. This building application was submitted by a G.G. Guillon in 1926 for additional rooms to be added to the existing dwelling.

Other alterations to the property include:

- The change of use from a residential dwelling to a medical practice.
- Creation of the carpark in the rear yard and the concrete driveway in the northern setback, which resulted in the loss of the original landscaping.
- Construction of the modern extension at the rear of the building.
- Construction of the one storey garage at the rear of the building off the extension.
- Original floors throughout the original building form have been replaced or covered by lino, carpet or tiles in the case of the bathrooms.
- The removal and replacement of ceilings throughout the building with modern plasterboard ceilings to facilitate modern lighting and ventilation.
- All fireplaces have been removed.
- The timber panelling in the front rooms is not consistent with this style of building, as such the panelling is likely a later addition.
- Modern bathroom fit outs.
- Replacement of the original glass in all internal top lights.
- Installation of modern cabinetry in three rooms in the original built form to make them suitable for use as medical consultation rooms.

These alterations have resulted in the loss of original internal fabric and diminished the original character of the dwelling. Similarly, the alterations to the gardens have resulted in the loss of the original garden setting of the item.

4.2.2.2 No. 25 Dover Road, Rose Bay

The GIPA submitted for this development application yielded three files for No. 25 Dover Road, Rose Bay. Two of the files were located. It is determined that the proposed changes within these applications were undertaken at No. 25 Dover Road, Rose Bay. The changes are summarised below:

1925/354

Construction of a single car garage in the northwestern corner of the property designed by Naylor & Robertshaw.

The garage was clad in fibrolite wall sheets and fibrolite slates.

1925/425

Enclosure of the verandah at the rear of the property.

The verandah to be supported on brick piers, with fibro cement cladding

Removal of the flight of stairs and landing from the existing position at the rear to the southern elevation to provide access to the kitchen.

Other modifications include:

- Modern bathroom fit outs.
- Modern kitchen joinery.

The dwelling is highly dilapidated and in poor condition with the following issues identified during the site inspection:

- Significant cracks on internal and external walls throughout the ground floor and first floor particularly above the doors between the front living and dining room, which may be indicative of structural issues.
- Peeling paint on the ceilings and walls throughout the building.
- Significant rainwater/ stormwater issues causing water ingress into the dwelling creating internal mould and ceiling deterioration.
- Significant roofing issues causing water ingress into the dwelling.

4.2.2.3 No. 27 Dover Road, Rose Bay

The existing No. 27 Dover Road, Rose Bay is contemporary. A single storey dwelling located at No. 27 Dover Road, Rose Bay was approved for demolition in 1994. The existing building was constructed c. 1999 and approved for subdivision in 2000.

4.2.2.4 No. 29 Dover Road, Rose Bay

The GIPA submitted for this development application yielded seven files for No. 29 Dover Road, Rose Bay, six of which were approved and constructed. These illustrate the changes and a loss of integrity that has occurred to the building since its construction c.1910. The changes are summarised below:

1956/64

9' brick fence to the front building line

Removal of the existing verandah and a new room to the front of the building

Render of the front of the building

Removal of the chimney and fireplace in the front room

Infill to existing openings to the rear of the dwelling

New window to the front of the dwelling

New concrete steps to the building entry

1956/244

Carport forward of the building line

1981/613

Subfloor addition to the rear of the building.

1984/417

Addition of a verandah to the rear elevation, overlooking the rear yard.

1988/81

Removal of the existing, 1950s front room and construction of a new front room.

2011/349

A new carport and gate to the front of the site.

Interior finishes and fittings are also contemporary. Successive alterations and additions to No. 29 Dover Road, Rose Bay, particularly to the front of the site and the front of the building, significantly reduce the integrity of the building.

4.2.2.5 No. 31 Dover Road, Rose Bay

The GIPA submitted for this development application yielded thirteen files for No. 31 Dover Road, Rose Bay. These illustrate the changes and a loss of integrity that has occurred to the building since its construction c.1908. The changes are summarised below:

1924/68

Garage addition.

1953/252

Extension to the rear verandah.

1961/790

Carport forward of the front building line.

1967/207

Internal alterations to a front room and rear addition.

1971/1315

Internal alterations and additions.

1974/499

New garage.

1981/707

New ducting within the roof.

1994/38

Addition of a rear deck and a new carport which has since been removed.

1994/828

New fencing.

1995/144

The front wall was repaired, internal walls were demolished, and some windows replaced.

1995/1044

Alterations and additions to the gate and deck.

2001/326

Demolition of the building was refused based on insufficient heritage research.

2005/808

First floor addition.

Interior fittings and finishes are also contemporary. The successive changes to the building, culminating in the addition of the first floor, removes an understanding of the original floorplan and elevations of the building. Contemporary additions and alterations to the dwelling have significantly reduced its integrity.

4.3 Heritage Items in the Vicinity of the Site


For the following, refer to Figure 96, from the *NSW Planning Portal Spatial Viewer*, showing heritage items and Conservation Areas in the vicinity of the site.



Figure 96: Map showing Heritage Items in relation to the site. The site is outlined in red. NSW Planning Portal, 2025. Overlay by Weir Phillips Heritage.



4.4 Comparative Analysis


Table 3: List of dwellings.

Location	Description	Photograph
No. 23 Salisbury Road, Rose Bay	<p>This site is in comparison to No. 23 Dover Road, Rose Bay.</p> <p>No. 23 Salisbury Street, Rose Bay is a two storey Federation Bungalow. The dwelling has face brick walls set below a slate gable and jerkin roof. The gable ends are half timbered with rough cast render.</p> <p>The principal elevation is dominated by a front verandah with double classical columns on sandstone piers supporting the roof.</p>	

	<p>The building has leadlight timber framed casement windows. There have been modern alterations including a rear addition and a modern brick and metal palisade fence, both of which have been designed to be sympathetic to the Federation character of the dwelling.</p> <p>The dwelling is listed as a local item (Item No. 335) under Schedule 5 Part 1 of the Woollahra LEP 2014 for the aesthetic, historical and representative value for both the dwelling and the surrounding grounds.⁶</p>	
<p>No. 31 Beresford Road, Rose Bay</p>	<p>This site is in comparison to No. 25 Dover Road, Rose Bay.</p> <p>No. 31 Beresford Road, Rose Bay is a two storey Federation Arts and Craft dwelling which demonstrates key elements of the style including a steeply pitched hipped and gable slate roof and rough cast masonry walls set atop a sandstone plinth.</p> <p>The principal elevation is symmetrical with a distinct central arched entranceway and the half-timbered and rough cast finish of the first-floor gable end. Two tall, rough cast chimneys are located on either side of the front elevation, and all of the windows are timber double hung sash windows.</p>	

⁶ 'Simcha' – House, interiors and ground, 23 Salisbury Road. State Heritage Inventory, Heritage Item ID: 1335

	<p>The property has a shallow setback from the street, and the front boundary is defined by a low stone wall. The minimal landscaping in the front setback and the bold architectural elements of the building ensure that it is a prominent feature of the Beresford Street streetscape.</p>	
<p>No. 105-107 Dover Road, Rose Bay</p>	<p>This site is in comparison to No. 27 Dover Road, Rose Bay.</p> <p>This duplex is constructed from painted and rendered masonry, with a hipped roof clad in concrete tiles. The principal elevation is defined by balconies constructed of painted and rendered masonry piers with glass fencing, with a masonry dividing wall between the two dwellings.</p> <p>The building is set back from the street by painted and rendered masonry walls and roller garage doors, and tiled hardstands. Despite this, the two-storey scale and lack of vegetation forward of the building line allows for the duplex to be highly visible from Dover Road.</p>	
<p>No. 41 Dover Road, Rose Bay</p>	<p>This site is in comparison to No. 29 Dover Road, Rose Bay.</p> <p>No. 41 Dover Road, Rose Bay is a Federation-style bungalow with a two-storey rear addition. The dwelling has a tiled, hipped and gabled roof to the front and a transverse ridge rear addition with matching tiles.</p>	

	<p>The dwelling is setback from the street by a brick wall, a narrow front garden, and a front verandah.</p> <p>The windows and front gable feature of the dwelling remain visible from the street, illustrating the Federation period characteristic of the building to Dover Road.</p>	
<p>No. 119 Dover Road, Rose Bay</p>	<p>This site is in comparison to No. 31 Dover Road, Rose Bay.</p> <p>No. 119 Dover Road, Rose Bay is a painted and rendered, single-storey Federation bungalow with a hipped and gabled roof clad in terracotta tiles, set on a sandstone base. The front elevation comprises of a bay window and recessed front door. The dwelling is set back from the street by a low brick fence and hedge, and narrow front garden.</p> <p>While the vegetation forward of the dwelling mitigates views from Dover Road, the dwelling is still visible from the street.</p>	

This comparative analysis has demonstrated that the subject buildings located at Nos. 23-31 Dover Road, Rose Bay are not outstanding examples of their type, style and class within the local area.

No. 23 Dover Road, Rose Bay is a modified, late Federation bungalow which has been converted to a medical centre. No. 23 Salisbury Road, Rose Bay is an example of a Federation Bungalow which has undergone sympathetic alterations and has retained its use as a residential dwelling. No. 23 Salisbury Road, Rose Bay provides a better understanding of Federation Bungalows, as No.23 Dover Road has undergone significant internal alterations to make it suitable for use as medical practice. The grounds of No. 23 Dover Road have also been substantially modified to accommodate a car park, where as No. 23 Salisbury Road has largely maintained its mature garden in both the front and the rear yards.

No. 25 Dover Road, Rose Bay is an example of a Federation Arts and Crafts dwelling. **In 2025**, Extent Heritage were engaged by Woollahra Council, to prepare the *Woollahra Arts and Crafts Heritage Study*, to identify Arts and Crafts dwellings in the LGA that may be suitable for listing as local heritage items.⁷The extensive Heritage Study did not consider or identify No. 25 Dover Road, Rose Bay for inclusion.

No. 31 Beresford Road, Rose Bay has been included in the study as it is a largely intact Arts and Craft dwelling associated with notable architect, Reginald Provost. The dwelling has architectural elements characteristic of the style, including steep slate roofs, rough cast external walls atop a sandstone plinth, and simple chimneys. No. 31 Beresford Road, Rose Bay occupies a more prominent position in the streetscape, where as No. 25 Dover Road, Rose Bay does not have as significant a position on Dover Road and is largely concealed by the front fence and front yard.

No. 31 Beresford Road, Rose Bay appears to be in better condition than No.25 Dover Road, Rose Bay which is showing signs of deterioration including water damage and cracking.

No. 27 Dover Road, Rose Bay is a contemporary residential dwelling. Nos. 105-107 Dover Road, Rose Bay provides an example of a contemporaneous infill development along the same street. This building is more visible to the street and demonstrates the evolution of the Dover Road streetscape more clearly than No. 27 Dover Road, Rose Bay. Nos. 29 and 31 Dover Road, Rose Bay are significantly altered early 20th century bungalows. Nos. 41 and 119 Dover Road, Rose Bay provide more intact examples of early 20th century bungalows, with a higher visibility within the Dover Road streetscape, and thus provide a better understanding of 20th century residential development within the local area.

4.5 Assessment of Significance under Heritage NSW Criteria

4.5.1 Nos. 23-31 Dover Road, Rose Bay

4.5.1.1 Criterion (a) Historic Significance

An item is important in the course, pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area).

<i>Significance Indicator</i>	<i>Local significance Threshold</i>	<i>Nos. 23-31 Dover Road, Rose Bay</i>
<i>Association with an event, or series of events, of historical, cultural or natural significance</i>	<i>Demonstrates the occurrence of an event(s) at the place that was significant to the local area.</i> <i>Demonstrates the influence of an event(s) that occurred elsewhere and was significant to the local area</i>	These buildings do not demonstrate the occurrence of an event within the local area or influence of an event that occurred elsewhere that were significant.

⁷ Extent Heritage, *Woollahra Arts and Crafts Heritage Study*, prepared for Woollahra Municipal Council, 2025-Final.

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Demonstration of important periods or phases in history.</i>	<i>Demonstrates an important period or phase in the history of the local area</i>	The subject buildings do not demonstrate an important period or phase in history within the local area.
	<i>Demonstrates the influence on the local area of a prominent period of economic prosperity or decline</i>	The subject buildings do not demonstrate the influence of a prominent economic period within the local area.
	<i>Demonstrates a notable period in the governance and administration of the local area</i>	The subject buildings do not demonstrate a notable period in governance or administration within the local area.
<i>Association with important cultural phases or movements</i>	<i>Notable association with changing demographic factors in the local area</i>	The history of the subject buildings does not demonstrate changing demographic factors within the local area.
	<i>Notable association with an important phase of social development in the local area</i>	The subject buildings are not associated with an important phase of social development within the local area.
	<i>Association with the development of an ideology derived from ethnic, religious, aesthetic, political, educational or other social beliefs, which had a notable influence on the local area</i>	The subject buildings are not associated with any ideology which had a notable influence on the local area.
<i>Demonstration of important historical, natural or cultural processes or activities</i>	<i>Notable example of the harvesting and trade of natural and cultural resources associated with the key local historical themes of the area</i>	The subject buildings are not associated with any harvesting or trade which impacted the local area.

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
	<i>Notable example of industrialisation associated with the key local historic themes of the area</i>	The subject buildings are not associated with any industrialisation development which impacted the local area.
	<i>Notable example of civil infrastructure, transport and communications associated with the key local historical themes of the area</i>	The subject buildings are not associated with any civil infrastructure, transport or communications development which impacted the local area.
	<i>Notable example of the development and application of technology in the local area</i>	The subject buildings are not associated with any development or application of technology which impacted the local area.
	<i>Notable example of the development of centres for trade and governance, and the provision of community services in the local area</i>	The subject buildings are not notable examples of the development of centres of trade, governance, or of the provision of community services within the local area.
	<i>Notable example of patterns of domestic life in the local area</i>	While the subject buildings may demonstrate patterns of domestic life within the Rose Bay area as residential dwellings, No. 27 Dover Road, Rose Bay is contemporary, Nos. 29-31 Dover Road, Rose Bay are significantly altered and retain little understanding of the original building layouts, and Nos. 23-25 Dover Road, Rose Bay are not notable examples of domestic life within the local area.

<i>Symbolism and influence of place for its association with an important historical, natural or cultural event, period, phase or movement</i>	<i>The place possesses symbolic meaning to the local community, irrespective of whether the related activity is demonstrated at the place.</i>	There is no symbolic meaning associated with any of the subject buildings.
	<i>The place or activity had a notable influence on physical or social outcomes in the local area</i>	The subject buildings did not have any notable influence on physical or social outcomes within the local area.

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.2 Criterion (b) Historical association

An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural historical the local area).

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>A key phase(s) in the establishment or subsequent development at the place or object was undertaken by, or directly influenced by, the important person(s) or organisation</i>	<i>The person(s) or organisation has made an important contribution to the history of the local area.</i>	The subject buildings are not associated with any person(s), organisations, or events that are significant to the local area.
<i>An event or series of events of historical importance occurring at the place or object were undertaken by, or directly influenced by, the important person(s) or organisation</i>	<i>The person(s) or organisation has made an important contribution to the history of the local community and has a direct association with the place over an extended period</i>	

<p><i>One or more achievements for which the person(s) or organisation are considered important are directly linked to the place or object</i></p>		
--	--	--

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.3 Criterion (c) Aesthetic/creative/technical achievement

An item is important in demonstrating aesthetic characteristics and/or a high degree of creative and technical achievement in NSW (or the local area).

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Recognition as a landmark or distinctive aesthetic natural environment</i>	<i>Distinctive in its formation, qualities, nature, size, or application within a local context or otherwise of particular interest in a local comparison of similar places.</i>	The subject buildings are not distinctive nor are they of particular interest within the local area.
<i>Recognition of artistic or design excellence</i>	<i>Critical acclaim of a place as a notable local example by prominent members of a discipline</i>	The subject buildings have not been recognised as notable examples of their type and style by any local studies, or by any members of a discipline.
	<i>Acknowledgement of merit in local media</i>	No such acknowledgement in local media has been identified.
	<i>Prominent use of imagery in media promoting the artistic or built environment of the local area</i>	No such use of imagery of the subject buildings been identified.

<p><i>Represents a breakthrough or innovation in design, fabrication or construction technique, including design/technological responses to changing social conditions</i></p>	<p><i>Example of creative and technical achievements that influenced techniques used within the discipline/industry or influenced outcomes at other places or changing social, economic or political conditions in the local area</i></p>	<p>The subject buildings are not examples of creative or technical achievements, have not influenced outcomes at other places, nor have they changed social, economic or political conditions within the local area.</p>
<p><i>Distinctiveness as a design solution, treatment or use of technology</i></p>	<p><i>Unusual in its nature, size, or application within such a local context or otherwise of particular interest in a local comparison of similar places</i></p>	<p>The subject buildings are not unusual or of particular interest within a local context. Section 4.4 outlines similar dwellings to the subject buildings within the local area.</p>
	<p><i>Notable or distinctive construction response to local constraints due to the availability of certain building materials at the time (known as 'vernacular' construction)</i></p>	<p>The subject buildings are not a notable example of vernacular construction within the local area.</p>
	<p><i>Example of an adaptation or extension to the characteristics of a class of place, or blending of the characteristics of different classes in the local area</i></p>	<p>The subject buildings do not demonstrate adaptations or extensions to the characteristics of the class of the local area.</p>

<i>Adapts technology in a creative manner or extends the limits of available technology</i>	<i>Notable example of an unorthodox use or adaptation of the technology of the period in a local area</i>	The subject buildings are not a notable example of an unorthodox use or adaptation of the technology pertaining to a particular period within the local area.
---	---	---

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.4 Criterion (d) Social, cultural and spiritual

An item has a strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural, or spiritual reasons.

<i>Significance Indicator</i>	<i>Local significance Threshold</i>	<i>Nos. 23-31 Dover Road, Rose Bay</i>
<i>Highly regarded by a community as a key landmark (built feature, landscape or streetscape) within the physical environment</i>	<i>A landmark that is visually prominent and possesses picturesque attributes or aesthetic qualities acknowledged by the local community</i>	None of the subject buildings are considered landmarks within the local area.
	<i>Use of imagery in media promoting the artistic or built environment of the local area</i>	No such imagery has been found in relation to the subject buildings.
<i>Important to the community as a landmark within social and political history</i>	<i>The site of an event(s) that had a profound effect on a particular community or group from the local area</i>	The subject buildings are not the site of any events that had a notable impact on the local area.

<i>Important as a place of symbolic meaning and community identity</i>	<i>A place that symbolically represents some aspect of the past that a local community or cultural group feels contributes to the local identity</i>	The subject buildings do not symbolically represent any aspect of the past that contributes to the identity of the local area.
	<i>A place in which a local community or cultural group gathers for rituals or ceremonies</i>	The subject buildings are not identified as places in which the local community or cultural groups gather for rituals or ceremonies.
<i>Important as a place of public socialisation</i>	<i>A place in which a local community or cultural group regularly gathers for social or recreational interaction</i>	The subject buildings are not identified as places in which the local community or cultural groups gather for social or recreational interaction.
<i>Important as a place of community service (including health, education, worship, pastoral care, communications, emergency services, museums)</i>	<i>Public places that form the hub of local community services and cultural institutions</i>	The subject buildings are private, residential dwellings, save for No. 23 Dover Road, Rose Bay which most recently served as a medical centre. They are not identified as hubs for local community services, nor as cultural institutions.
<i>Important in linking the past affectionately to the present</i>	<i>A place that is known, used and valued as a link between the past and present by the local community</i>	The subject buildings are not known to the community as a link between the past and present and are therefore not used and valued as such.

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.5 Criterion (e) Research potential

An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural historical of the local area).

Note: an archeological assessment has not been provided for. The site is not a known archeological site.

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Comparative analysis</i>	<i>A comparative analysis suggests that further research of the place or of an object could improve our understanding of local history or archaeology</i>	Section 4.4 provides a comparative analysis which suggests that the subject buildings are not intact or distinctive examples of their type or style. Further research of the buildings is unlikely to improve an understanding of the history of the local area. The architectural evidence of the subject buildings does not indicate that further analysis and interpretation would yield important information about the local community or local area that could not be derived from other sources.
<i>Potential to improve knowledge of a little-recorded aspect of an area's past or to fill gaps in our existing knowledge of the past</i>	<i>Has potential archaeological/ environmental or architectural evidence, through analysis and interpretation, to provide information about a place, practice or people that could not be derived from any other source and that contributes to the understanding of that place and its environment, fabric and relics, and is important to understanding the past of the local area</i>	Archaeological and environmental assessment is outside the scope of this report. An Archaeological Assessment is being prepared by Virtus Heritage and an Environmental PSI is being prepared by EI.
<i>Potential to inform/confirm unproven historical concepts or research questions relevant to our past</i>	<i>The place or object has high research merit in that the relevant historical concepts or research questions relevant to the local area's past have not been explored</i>	Further research of the subject buildings is unlikely to improve an understanding of the history of the local area.

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Potential to provide information about single or multiple periods of occupation or use</i>	<i>The place, collection or object contains relics and remains that may illustrate a significant pattern in local history. A benchmark or reference site or object with potential to represent a period, occupation, practice or tradition important to the local area or its people</i>	The subject sites have not been found to contain relics or remains that are indicative of the local history.
<i>Potential to yield site-specific information that would contribute to an understanding of significance against other criteria</i>	<p><i>Archaeological, environmental or fabric remains may have particular associations with individuals, groups and events that may transform mundane places or objects into significant items through the association with historical occurrences important to the local area.</i></p> <p><i>The place, collection or objects is likely to embody an architectural or engineering style or pattern/layout that is distinctive in the local area</i></p>	Archaeological and environmental assessment is outside the scope of this report. The subject buildings have not been found to contain any fabric, nor embody an architectural or technical style, pattern or layout that would associate them with any individuals, groups or events that are important to the local area.

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.6 Criterion (f) Rare

An item possesses uncommon, rare, or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Rare surviving evidence of an event, phase, period, process, function, movement, custom or way of life in an area's history that continues to be practised or is no longer practised</i>	<i>One of few comparable places in the local area that demonstrates any evidence of this event, etc., a place that is unusually extensive, intact or undisturbed that demonstrates evidence of this event, etc., or the movement, custom or way of life is of particular interest to a community group</i>	Section 4.4 provides a comparative analysis which suggests that the subject buildings are not rare. They do not demonstrate any evidence of an event, phase, period, process, function, movement, custom or way of life within the local area's past or present.
<i>Evidence of a rare historical activity that was considered distinctive, uncommon or unusual at the time it occurred</i>	<i>One of few comparable places in the local area that is associated with or demonstrates an activity that was distinctive for what it achieved, or was so unusual in its nature it is now of particular interest to a group or community in the local area</i>	The subject buildings do not contain any evidence of a rare historical activity that was considered distinctive, uncommon or unusual.
<i>Distinctiveness in demonstrating an unusual historical, natural, architectural, archaeological, scientific, social or technical attribute(s) that is of special interest</i>	<i>Demonstrates a distinctive attribute that is rare within the local area</i>	The subject buildings do not demonstrate an unusual historical, natural, architectural, archaeological, scientific, social or technical attributes that are of special interest.

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>Demonstrates an unusual composition of historical, natural, architectural, archaeological, scientific, social or technical attributes that are of greater importance or interest as a composition/collection</i>	<i>Demonstrates a composition of attributes that is unique within the local area</i>	The subject buildings were not built together. They do not demonstrate an unusual composition of historical, natural, architectural, archaeological, scientific, social or technical attributes that are of greater importance or interest as a collection.

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.7 Criterion (g) Representative

An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments).

Significance Indicator	Local significance Threshold	Nos. 23-31 Dover Road, Rose Bay
<i>A class of places or objects that demonstrate an aesthetic composition, design, architectural style, applied finish or decoration of historical importance</i>	<i>A particularly fine example of the class in the local area, demonstrating a range of characteristics that are typical of the class.</i>	Section 4.4 provides a comparative analysis which demonstrates that the subject buildings are not fine examples of their class within the local area.
	<i>A particularly intact example of the class in the local area, demonstrating a range of physical characteristics that typify the class and which remain mostly unchanged since built/created</i>	No. 27 Dover Road, Rose Bay is contemporary, and Nos. 29 and 31 Dover Road, Rose Bay have been significantly altered since their construction. Nos. 23 and 25 Dover Road, Rose Bay are not particularly intact or fine examples of their class, as indicated by the comparative analysis in Section 4.4.

	<i>A clear/pivotal example of the class in a local context, being a place that notably influenced subsequent examples of the class, or encapsulates a key evolutionary stage in the development of the class, or incorporates notable variations to the characteristics of the class that are of special interest</i>	The subject dwellings are not pivotal examples of their class within the local context. They have not had a notable influence on subsequent examples of the same class.
<i>Representative of a class of places that demonstrate a construction method, engineering design, technology, or use of materials, of historical importance.</i>	<i>A fine, intact or pivotal example (as per above) in the local area</i>	Section 4.4 demonstrates that the subject buildings are not particularly fine, intact, nor pivotal examples of a construction method, engineering design, technology, or use of materials within the local area.
<i>Representative of a class of places that demonstrate an historical land use, environment, function, or process, of historical importance.</i>	<i>A fine, intact or pivotal example (as per above) in the local area</i>	Section 4.4 demonstrates that the subject buildings are not particularly fine, intact, nor pivotal examples of an historical land use, environment, function, or process, of historical importance within the local area.
<i>Representative of a class of places that demonstrates an ideology, custom or way of life of historical importance.</i>	<i>A fine, intact or pivotal example (as per above) in the local area</i>	The subject buildings are not representative of a class of places that demonstrate an ideology, custom or way of life of historical importance within the local area. They are examples of domestic life within the local area, however Section 4.4 demonstrates that the subject buildings are not the best representations of their class.

The site does not fulfil the guidelines for listing under this criterion.

4.5.1.8 Discussion

The dwellings comprising the subject site do not fulfil the Heritage NSW criteria for listing. Nos. 23 and 25 Dover Road, Rose Bay demonstrate early 20th century development within the local area, however they are not outstanding, rare or representative examples of their class. No. 29 and 31 Dover Road, Rose Bay are highly altered examples of Federation bungalows. These alterations have greatly reduced and confused any reading of these buildings as Federation bungalows and eroded any contribution they may have once made to the Dover Road streetscape. Further, No. 27 Dover Road, Rose Bay is contemporary and does not contribute to an understanding of any historical reading of Dover Road or of the Rose Bay local area. There are better detailed and more intact examples of the architectural styles presented within the subject buildings within the local area.

5 HERITAGE IMPACT ASSESSMENT

5.1 Scope of works

The application seeks development consent for an SSDA which will facilitate the redevelopment of the site for a residential flat building using the in-fill affordable housing and mid-rise housing controls in accordance with the recently introduced provisions under the State Environmental Planning Policy (Housing) 2021 (**Housing SEPP**).

The project seeks consent for:

- Demolition of existing buildings on site and tree removal.
- Construction of a residential flat building comprising two levels of basement car parking, eight storeys of residential dwellings, communal open space and associated landscaping. The building will include:
 - 15% affordable housing operated and used by a CHP for a period of 15 years.
 - 49 residential dwellings including 1-, 2-, 4- and 3-bedroom typology.
 - Vehicular access from Dover Road and provision for parking of 66 car parking spaces, including 6 visitor, 5 accessible, 7 motorbike spaces, and 54 bicycle spaces.
- Storage areas, utilities and service provision.

Refer to Figure 97 to Figure 99, Architectural Plans prepared by MNDU appended to the Environmental Impact Statement.



Figure 97: The proposed principal elevation to Dover Road. MHN Design Union, 2025.



Figure 98: The ground floor plan of the proposed works. MHN Design Union, 2025.



Figure 99: The northwest elevation of the proposed works, illustrating the setback of the proposed development from Dover Road. MHN Design Union, 2025.

5.2 Method of Assessment

The following is a merit-based assessment. It does not consider compliance or otherwise with numerical controls unless non-compliance will result in an adverse heritage impact. Refer to the planning documents that accompany this application.

The proposal is assessed by consideration of:

- The relevant controls of the *Woollahra LEP 2014*;
- with an understanding of the requirements for Heritage Impact Statements provided by the Heritage NSW publication *Statements of Heritage Impact (2023 update)*.

6 EFFECT OF WORK

6.1 Effect of work on Items in the Vicinity

6.1.1 *Rose Bay Hotel and interiors, No. 807 New South Head Road, Rose Bay, Item No*

The proposed works will have a minimal and acceptable impact on this Heritage Item for the following reasons:

- The proposed works will have no physical impact on this Heritage Item, nor will they impact the function of this Item as a Hotel, or the character of the surrounding area that contributes to the setting of the Item.
- There are three contemporary buildings between the Rose Bay Hotel and the subject site, as such the contemporary building will not be out of character for the Dover Road streetscape.
- The Wilberforce Avenue carpark was approved in 2023 under DA598/2022/1, for the development of a multi-storey carparking space and lift overrun reaching over 20 metres in overall height. This development would be highly visible from Dover Road, in particular, from in front of Nos. 13-21 Dover Road, Rose Bay, closer to this Heritage Item than the proposed works. The scale of this development is in keeping with the scale of the proposed works, illustrating the evolution of the surrounding area in order to accommodate greater density within Rose Bay. The proposed works will have a similar impact to the streetscape as the approved development and similarly, will not detract from an understanding of the Rose Bay Hotel.
- The proposed addition will be visible in the background of oblique view corridors towards the Rose Bay Hotel from New South Head Road, however view corridors to the proposed works from the Item itself will be mitigated by the buildings at Nos. 7-13 Dover Road, Rose Bay.
- Further, long range view corridors along New South Head Road towards the Item will not be impacted by the proposed works and the Rose Bay Hotel will retain its prominent setting on the corner of Dover Road and New South Head Road.
- The impact of the proposed building will be minimized by the setback of the dwelling and the stepping back of the top four levels.
- The materials and finishes scheme for the proposed building is neutral and will be recessive to the Item and to the surrounding environment.
- The proposed works will be removed from the Item by distance and by the buildings at Nos. 1-21 Dover Road, Rose Bay so that they will not detract from Rose Bay Hotel's contribution to the New South Head Road and Dover Road streetscapes.
- The proposed works include landscaping to Dover Road which will minimise the visual impact of the proposed development and integrate the building into the existing, landscaped character of the streetscape.
- The desired future character of the Rose Bay Business Centre and the Rose Bay Residential Precinct both recognise the need for increasing density, as such the proposal is in line with desired future character of the area.
- Rose Bay Business Precinct is characterized by a variety of architectural styles which reflect changing needs and the design sensibility of society. The contemporary character and well-articulated façade of the proposed building reflects the evolving character of the area.

6.1.2 St Andrew's Scots Presbyterian Church complex and setting, including interiors and moveable relics, No. 2 Carlisle Street, Rose Bay, Item No. I729

The proposed works will have a minimal and acceptable impact on this Heritage Item for the following reasons:

- The proposed works will have no physical impact on this Heritage Item, nor will they impact the function of this Item as a Hotel, or the character of the surrounding area that contributes to the setting of the Item.
- The existing street trees along Dover Road, in front of the subject site and this Heritage Item, will mitigate the visual impact of the proposed development in view corridors to and from the Item.
- The setting of this Heritage Item includes multistorey apartment buildings of a variety of styles including contemporary buildings at Nos. 37 Dover Road and 1 Carlisle Street, Rose Bay, which are closer to this Heritage Item.
- The view corridors towards the proposed works to and from the Heritage Item will be mitigated by the physical distance and intervening street trees along Dover Road between the site and the heritage item.
- The principal view corridors to this item are from directly in front of it and in the opposite direction of the site on Dover Road and Carlisle Street. The proposed works are well outside these view corridors and will not be visible nor impact on these views
- The works won't overshadow the Item, nor will they block existing view corridors from Dover Road. The St Andrew's Scots Presbyterian Church will still be a key feature on the corner of Dover Road and Carlisle Street and the proposed works will not detract from its prominence within the streetscape.
- The Wilberforce Avenue carpark, approved in 2023 under DA598/2022/1, would reach over 20 metres in overall height: a similar scale and height to the proposed works, with a similar visual impact on this Heritage Item. This development would be visible within the same view corridors from the Heritage Item as the proposed works, and thus the proposed works will have a similar and acceptable visual impact on this Heritage Item as the previously approved development.
- Further, the proposed works will be stepped back from Dover Road so that in view corridors from the south of the Item the development will be of a comparable scale to the existing streetscape.
- Dover Road and Carlisle Street are of a mixed architectural character and comprise the surrounding setting of this Heritage Item. The proposed works will not be out of character for the existing setting of this Item.
- Long range view corridors of this Item are mitigated by the existing trees surrounding the church.
- The setback and the stepping back of the top four floors reduce the impact of the proposed dwelling on view corridors from the south to the Item on Dover Road, and along New South Head Road.
- The proposed works are of a contemporary character and in shared view corridors to the subject site and the Item, the new development will not detract or compete with the architectural style of the church.

6.2 Assessment of the Proposed Works against the Woollahra DCP 2015 Controls

Controls	Response
B1.9 Rose Bay Precinct	
<i>B1.9.2 Desired future character - objectives</i>	
O1 To respect and enhance the streetscape character and key elements of the precinct.	The proposed works retain the existing street trees and are setback from the street to reduce the visual impact of the building. The proposed works are also in keeping with the desired future character of the Rose bay Precinct, encouraging medium density residential uses.
O2 To encourage development at a scale which relates to the function and role of the streets they address, i.e. larger scale development on the major streets (Old South Head Road and New South Head Road adjacent to the commercial centre) and a range of housing types on the minor streets.	The subject site is located off the major street, New South Head Road. The scale of the proposed development is in keeping with the mid-rise scale that relates to the function and role of Dover Road, as a mixed residential and commercial streetscape.
O3 To provide for an evolution of building stock from dwelling houses to medium density development in the R3 zoned areas.	The proposed works provide for the evolution of building stock along Dover Road by providing medium density development within an R3 zoned area.
O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings incorporating modulation and a varied palette of materials.	The proposed works comprises of a well-designed contemporary building which incorporates modulation and a varied palette of materials that will be sympathetic to the existing streetscape. Refer to the materials and finishes included with the plans by MHN Design Union.
O5 To reinforce a consistent building scale within streets.	The proposed works will introduce a medium density development to Dover Road, in keeping with the R3 zone of the subject site and the desired future character of the Rose Bay Precinct.

<p>O6 To design and site buildings to respond to the topography and minimise cut and fill.</p>	<p>The subject site contains a minimal slope to the north, such that stepping any proposed development within the site would overcompensate for an otherwise relatively flat area.</p>
<p>O7 To protect important iconic and harbour views from the public spaces of the precinct.</p>	<p>The subject site is not within any harbour views within public spaces of the precinct.</p>
<p>O8 To reinforce the landscape setting and maintain the existing tree canopy.</p>	<p>The proposed works will not remove any street trees and will introduce landscaping to the rear and sides of the proposed building to reinforce the existing landscape setting of Dover Road.</p>
<p>O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</p>	<p>There are no Inter War flat buildings within the subject site.</p>
<p><i>B3.5 Built form and context</i></p>	
<p><i>B3.5.1 Streetscape and local character</i></p>	
<p>C1 The building is consistent with the desired future character of the area set out in the precinct controls in Parts B1 and B2 of this DCP.</p> <p>Note: Chapters B1 and B2 in this part of the DCP define the desired future character for each precinct or HCA, and identify special streetscape character, heritage and key elements within each precinct.</p>	<p>Please see above, which responds to the objectives of development within the Rose Bay Precinct.</p>
<p>C2 For seniors housing development, the building/s are modulated to reference the scale and rhythm of existing buildings in the streetscape.</p>	<p>The proposed works do not include seniors housing development.</p>

<p>C3 Development retains vegetation of landscape value.</p>	<p>The proposed works will not remove any street trees and will introduce landscaping to the rear and sides of the proposed building to reinforce the existing landscape setting of Dover Road.</p>
<p>C4 Development steps down sloping sites and follows the topography of the land.</p>	<p>The subject site contains a minimal slope to the north, such that stepping any proposed development within the site would overcompensate for an otherwise relatively flat area.</p>
<p>C5 Development minimises disturbance and adverse impacts on existing canopy trees which are to be retained.</p>	<p>The proposed development will be retaining the majority of large trees along the rear boundary of the subject site and will not impact the street trees along the Dover Road boundary in order to minimise disturbance to the existing canopy.</p>
<p>C6 External building materials and colours do not detract from the streetscape. Bright or obtrusive colour schemes are avoided.</p>	<p>The proposed development will have a neutral colour palette to ensure that it does not have undue prominence in the street scape. The rendered walls are consistent with the contemporary and historical buildings in the area, and the timber features on the elevations help to soften the building into the green landscape and the streetscape generally.</p>
<p>C7 Roof forms and roof structures (including roof terraces, lifts, lift overruns, stairwells, access hatches, and other like structures) are well-designed, contribute positively to the streetscape, and are well-integrated with the architecture of the building.</p>	<p>The flat roof is consistent with the contemporary character of the proposed development as is consistent with roof forms of both modern and historical residential and commercial buildings in the area. The impact of the height of the development is minimised by the stepping back of the upper levels of the building as well as the dark colour of the roof form which will ensure that the tallest parts of the structure are recessive.</p>
<p>C8 The use of reflective materials is minimal (including windows, access hatches, skylights and balustrades).</p>	<p>The impacts of the windows as a reflective surface will be minimised by the deep setback of the windows relative to the front balconies. By having the balconies extend further forward than the eastern elevation ensures that the majority of windows are shaded and reduces the impacts of any reflection off of these surfaces on the surrounding area.</p>
<p>C9 In heritage conservation areas or where the existing immediate streetscape is predominantly characterised by pitched roof forms, new development incorporates pitched roof forms.</p>	<p>The proposed development is not in a HCA and the streetscape is combination of historical and contemporary, residential and commercial buildings which has a variety of roof forms. The majority of contemporary buildings in the area have flat roofs, as such the proposed flat roof of the development will be consistent with the contemporary architectural form of the area.</p>

<p>C10 Roof materials are non-reflective and do not cause excessive glare to adjacent properties.</p>	<p>As the roof of the proposed development will be flat, the roof materials will not be visible from the public domain or neighbouring properties thus mitigating the impact of glare to adjacent properties.</p>
<p>C11 The building addresses the street and provides opportunities for casual surveillance. At least one habitable room window overlooks the street.</p>	<p>The proposed development addresses Dover Road, and the units located on the eastern side of the development will all have windows into at least one habitable room which will allow for casual surveillance.</p>
<p><i>D3.6 Heritage and contributory buildings in business centres</i></p>	
<p>The subject site is not within a Business Centre. The following controls are responded to on the basis that the subject site in the vicinity of the Rose Bay South Business Centre.</p>	
<p>C1 The significance of the heritage item or contributory building is not compromised by the proposed development, particularly in regards to building bulk, scale, design, setbacks, external colours and finishes.</p>	<p>The subject site contains no heritage items or contributory items within a Heritage Conservation Area. The proposed development has been designed to mitigate any impacts on the nearby heritage items by maintaining a deep front setback and having the upper storey stepping back to reduce the visual bulk and scale of the development. The neutral colour and material palette will ensure the development does not have undue prominence in the streetscape and the proposed landscaping to be incorporated into the building will help the building integrate into the leafy green character of the setting of these items.</p>
<p>C2 The upgrade or re-use of the heritage item or contributory building retains and enhances the architectural and streetscape value of the building.</p>	<p>The subject site does not contain a heritage item nor any contributory items within a HCA. The proposed development has been designed to sit comfortably in the streetscape by having a deep front setback, stepped back upper levels, a neutral colours and materials palette to reduce the visual bulk and scale of the building, and having landscaping incorporated into the building which will soften the development and help to integrate it into the existing streetscape.</p>
<p>C3 Development involving the re-use of a contributory building reinstates missing façade elements and decorative details.</p>	<p>The proposed development does not involve the re-use of a contributory building.</p>

<p>C4 Demolition of a contributory building is avoided.</p> <p>Note: Council discourages the demolition of contributory buildings. An application to demolish a contributory building must clearly demonstrate that development would provide a replacement building of higher quality (than the contributory building) with respect to streetscape character, architectural design, internal and external amenity, flexibility of uses, material quality and construction. Also refer to Woollahra LEP 2014 for development involving a heritage item.</p>	<p>The subject site does not contain any contributory buildings as the site is not located in a HCA, as such the proposed development will not constitute the demolition of a contributory dwelling.</p>
<p>C5 Development adjacent to a heritage item or contributory building is sympathetic in scale, alignment, detailing and materials.</p> <p>Note: Also refer to Woollahra LEP 2014 for development in the vicinity of a heritage item.</p>	<p>The subject site is not immediately adjacent to any heritage items or contributory buildings. The proposed development is in the vicinity of two items and has been designed to respect the setting of both of these items and not detract from the heritage significance of either. Dover Road demonstrates the evolution of Rose Bay with its variety of residential and commercial buildings of different styles and scales, and the proposed development is another element of this evolution. The proposed development has been designed to sit comfortably in the streetscape by having a deep front setback, stepped back upper floors and a neutral colour and material palette to reduce the visual bulk and scale of the building. The proposed landscaping in the front setback on the building itself will help integrate the building into the leafy green character of the wider Dover Road streetscape.</p>

7 SUMMARY

This Statement of Heritage Impact (SOHI) and Demolition Report (DR) has been prepared to support a State Significant Development Application (SSDA 86017721) for the demolition of all existing dwellings and the construction of a multistorey residential apartment building at No. 23-31 Dover Road, Rose Bay.

This report has been prepared in response to the requirements contained within the Secretary's Environmental Assessment Requirements (**SEARs**) dated 13 June 2025 (SSD-86017721). Specifically, this report has been prepared to respond to the following SEARs:

Secretary's Environmental Assessment Requirements	Refer Report Section
22. Environmental Heritage <i>Where there is potential for direct or indirect impacts on environmental heritage, provide a Statement of Heritage Impact and Archaeological Assessment (where required), in accordance with the relevant guidelines.</i>	Section 5.

The site is located within the Woollahra Council area. The principal environmental planning instrument for the site is the *Woollahra Local Environmental Plan 2014 (LEP 2014)*. No properties on the site are listed as heritage items, nor is the subject site located within a Heritage Conservation Area as defined by Schedule 5 of the LEP 2014. The subject site is located within the vicinity of two heritage items listed under Schedule 5 Part 1 of the LEP 2014.

The subject site is located within 400 metres of the Rose Bay Town Centre, within the area eligible for Low to Mid-Rise Housing under the 2021 State Environmental Planning Policy (Housing) (Housing SEPP). The Housing SEPP will dramatically change the landscape of the surrounding area, and the proposed works are in keeping with the height and density of the planning controls specific to this SEPP, allowing for increased residential density.

No. 23 Dover Road was constructed in c.1916 and has undergone significant alterations including the change of use to a medical practice which has resulted in significant alterations to the building. Research for this report has indicated that the dwelling is not associated with any significant architects and there are more intact examples of this type of house in the wider Woollahra area. The dwelling has failed to meet the threshold for listing provided by Heritage NSW.

No. 25 Dover Road was constructed in 1912 and was originally called Bonheur. Between 1912 and 1940 the house passed through several hands. The house is not associated with any significant architect, the building is in a poor and highly dilapidated condition. In 2025, Extent Heritage prepared the *Woollahra Arts and Crafts Heritage Study* on behalf of Woollahra Council. No.25 Dover Road was not identified as a significant example of an Arts and Crafts dwelling in the LGA. Further the dwelling was not even considered for inclusion in the study.

The study confirms that there are numerous and fair better examples of Arts and Crafts dwellings in the wider Woollahra area. The dwelling has failed to meet the threshold for listing provided by Heritage NSW.

No. 27 Dover Road is a contemporary building constructed in c. 1999 which was subdivided into two units in 2000. The building is not associated with any significant architects or occupants and is not of architectural importance. The dwelling has failed to meet the threshold for listing provided by Heritage NSW.

No. 29 Dover Road was constructed c.1910 and was original called 'Claverton'. The building is not associated with any known architect and the building has been altered significantly to the point where very few original details are evident. The dwelling has failed to meet the threshold for listing provided by Heritage NSW.

No. 31 Dover Road was constructed in c. 1908 and was original called 'Alwen'. The building is not associated with any known architect and has undergone significant alterations particularly in the early 2000s, including the addition of the basement and the first floor. As a result of the alterations, the dwelling can no longer be understood as an early twentieth century cottage. The dwelling has failed to meet the threshold for listing provided by Heritage NSW.

The proposed multistorey residential apartment building will have an acceptable impact on heritage items in the vicinity for the following reasons:

- The proposed works will have no physical impact on these Heritage Items, nor will they impact the function of this Item as a hotel or a church, or the character of the surrounding area that contributes to the setting of the Items.
- The existing street trees along Dover Road, in front of the subject site will mitigate the visual impact of the proposed development in view corridors to and from the Items.
- The setting of the heritage items include multistorey apartment and commercial buildings of a variety of styles including contemporary buildings at Nos. 37 Dover Road and 1 Carlisle Street, as such the proposed building will not be out of character in the area.
- The visual bulk and scale of the proposed building will be minimized by the setback of the building and the stepping back of the top four levels.
- The proposed works include landscaping to Dover Road which will minimise the visual impact of the proposed development and integrate the building into the existing, landscaped character of the streetscape.
- The proposed apartment building will have a neutral colour palette and a material palette that is consistent with the materials in the area. This will ensure that the building sits comfortably in the setting of the items.
- The desired future character of the Rose Bay Business Centre and the Rose Bay Residential Precinct both recognise the need for increasing density, as such the proposal is in line with desired future character of the area.
- Rose Bay Business Precinct is characterized by a variety of architectural styles which reflect changing needs and the design sensibility of society. The contemporary character and well-articulated façade of the proposed building reflects the evolving character of the area.

The proposed works are in keeping with the current legislation and proposed future character of Dover Road, as set out by the Housing SEPP, to accommodate for increased density within the vicinity of the Rose Bay Town Centre. The proposed works are sympathetic in scale, alignment and detailing to existing and approved works on Dover Road, and fulfil the aims and objectives of the *Woollahra LEP 2014*. The proposed works ensure the Dover Road streetscape and setting of Heritage Items within the vicinity is respected and maintained, by designing a mid-rise apartment building that reflects the changing needs of the Rose Bay community.

8 REFERENCES AND DEFINITIONS

8.1 Definitions

Term	Meaning
Consent authority	The person or body with whose approval that act, matter or thing may be done or without whose approval that act, matter or thing may not be done.
Conservation	Conservation means all the processes of looking after a place so as to retain its cultural significance (as defined in <i>The Burra Charter</i>).
Development	The erection of a building, carrying out work, use of or subdivision of land.
Heritage significance	Term used in the assessment and understanding of heritage items that have significance in relation to their historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value.
Setting	The area around an item, which may include the visual catchment.
State Heritage Inventory	An online database containing heritage items and conservation areas on statutory lists in NSW. This includes the State Heritage Register and local government items.
State Heritage Register	The NSW State Heritage Register. A list of places and items of importance to the people of NSW. Only places of state heritage significance are listed on the State Heritage Register. The State Heritage Register protects these items and their significance.
State Heritage Register item	A term to describe a heritage item that is of state heritage significance and is listed on the State Heritage Register.

8.2 Documentary Evidence

8.2.1 General References

8.2.1.1 Guidelines

Australia ICOMOS Inc (2013a) 'The Burra Charter: the Australia ICOMOS charter for places of cultural significance', Australian ICOMOS (International Council on Monuments and Sites) Inc, Burwood.

Australia ICOMOS Inc (2013b) 'Burra Charter article 22 — new work', practice note, Australian ICOMOS (International Council on Monuments and Sites) Inc, Burwood.

DPE (Department of Planning and Environment) (2023) *Assessing heritage significance*, DPE, NSW Government.

Heritage NSW (2023 update), *Guidelines for preparing a Statement of Heritage Significance*.

8.2.1.2 General References

Extent Heritage, *Woollahra Arts and Crafts Heritage Study*, prepared for Woollahra Municipal Council, 2025-Final.

Russell, Eric. *Woollahra: A History in Pictures*, Sydney: Woollahra Municipal Council, 1980.

'Simcha' – House, interiors and ground, 23 Salisbury Road. State Heritage Inventory, Heritage Item ID: I335

8.2.1.3 Historic Maps, Plans and Photographs

Point Piper Estate, granted to Solomon Levey and Daniel Cooper in 1830. State Library NSW, 2025.

193 - Z/SP/R13/175 - Rose Bay Estate - Rose Bay - New South Head Rd, Dover Rd, Old South Head Rd, Wilberforce Ave, Newcastle St, Richmond Ave

Municipality of Woollahra Register of Building Application, Application Nos. 181-190. Woollahra Municipal Council, 2025.

Postcard of Dover Road, Rose Bay, early 20th century. Woollahra Local History Digital Archive, 2025.

Woman and girl on front verandah of the original dwelling Overdale, 27 Dover Road, Rose Bay [picture], ca. 1905-1915. Woollahra Local History Digital Archive, 2025.

Houses on Dover Road, Rose Bay c. 1970. The yellow arrow indicates No. 29 Dover Road, Rose Bay. Woollahra Local History Digital Archive, 2025.

8.2.1.4 NSW LPI

Primary Application 12435

8.2.1.4.1 No. 23 Dover Road, Rose Bay

Vol. 1508 Fol. 227

Vol. 1600 Fol. 7

Vol. 3152 Fol. 170

8.2.1.4.2 No. 25 Dover Road, Rose Bay

Vol. 1793 Fol. 57

Vol. 2286 Fol. 139

Vol. 5161 Fol. 164

8.2.1.4.3 No. 27 Dover Road, Rose Bay

Vol. 2281 Fol. 161

Vol. 3792 Fol. 23/24

Vol. 3873 Fol. 23

Vol. 6093 Fol. 242/243

Vol. 10630 Fol. 209

8.2.1.4.4 No. 29 Dover Road, Rose Bay

Vol. 1944 Fol. 118

Vol. 6719 Fol. 194

Vol. 6719 Fol. 195

Vol. 6719 Fol. 196

Vol. 6767 Fol. 39

8.2.1.4.5 No. 31 Dover Road, Rose Bay

Vol. 1949 Fol. 185

Vol. 10485 Fol. 82

8.2.1.5 Woollahra Council Archives

23 Dover Road

- BA1926/391

25 Dover Road

- BA1925/354
- BA1925/425

29 Dover Road

- BA1956/64
- BA1956/244
- BA1981/613
- BA1984/417
- BA1988/81
- DA2011/349

31 Dover Road

- BA1924/68
- BA1953/252
- BA1961/790
- BA1967/207
- BA1971/1315
- BA1974/499

-
- BA1981/707
 - BA1994/38
 - BA1994/828
 - BA1995/144
 - BA1995/1044
 - BA2001/326
 - BA2005/808

8.2.1.6 Planning Documents

NSW Heritage Act 1977.

Woollahra Development Control Plan 2015.

Woollahra Local Environmental Plan 2014.