



# NatHERS and BASIX Report

**230867 601 PACIFIC  
HIGHWAY**

**Client:**  
Bates Smart Architects Pty Ltd

**Revision:**  
B

**Date:**  
24/03/2026

## REPORT INFORMATION

<b>Project</b>	601 Pacific Highway
<b>Title</b>	NatHERS and BASIX Report
<b>Client</b>	Bates Smart Architects Pty Ltd
<b>Revision</b>	B
<b>Revision Date</b>	24/03/2026
<b>Prepared By</b>	LCI Consultants Sydney Office Level 8, 73 Miller Street North Sydney, NSW 2060
<b>ABN / ACN</b>	92 124 107 973 / 124 107 973
<b>Author</b>	Craig Ferreira

## REVISION SCHEDULE

Revision	Date	Issue Name	Author	Authorised
A	17/03/2026	Draft Issue	CF	MM
B	24/03/2026	Final for SSDA	CF	MM

# CONTENTS

<b>1</b>	<b>Introduction .....</b>	<b>4</b>
<b>2</b>	<b>Site location and Context .....</b>	<b>4</b>
<b>3</b>	<b>NatHERS and BASIX Introduction .....</b>	<b>5</b>
<b>4</b>	<b>Analysis Overview .....</b>	<b>7</b>
4.1	<i>Water .....</i>	<i>7</i>
4.2	<i>Thermal Comfort .....</i>	<i>7</i>
4.3	<i>Energy .....</i>	<i>7</i>
4.4	<i>Materials .....</i>	<i>8</i>
<b>5</b>	<b>Inclusions Summary .....</b>	<b>8</b>
5.1	<i>Thermal Comfort Inclusions .....</i>	<i>8</i>
5.2	<i>BASIX Water Inclusions .....</i>	<i>10</i>
5.3	<i>BASIX Energy Inclusions .....</i>	<i>11</i>
<b>6</b>	<b>Conclusion .....</b>	<b>13</b>

# 1 Introduction

This NatHERS and BASIX report has been prepared by LCI Consultants and is submitted to the Department of Planning, Housing and Infrastructure (DPHI) in support of a State Significant Development Application (SSDA) (SSD-85848713) and concurrent rezoning proposal for a new mixed-use development at 601 Pacific Highway, St Leonards (the site).

The proposal seeks consent for the following:

- An amendment to the North Sydney Local Environmental Plan 2013 (NLEP 2013) to rezone the site from E2 Commercial Centre to MU1 Mixed Use and to amend the minimum non-residential floor space ratio development standard under Clause 4.4A from 20:1 to 1:1.
- Demolition of the existing 14 storey commercial office building that is currently on the site.
- Site excavation, remediation and other preparatory works.
- Construction and operation of a new 52 storey (RL264.50) mixed use shop top housing development, with a FSR of 20:1 (maximum GFA of 56,880m<sup>2</sup>), comprising:
  - 538 dwellings including 508 Build-to-Sell apartments and 30 Affordable Housing apartments across a mix of apartment typologies.
  - A contribution of 5% of the residential GFA toward Affordable Housing.
  - Retail and commercial land uses at the ground and podium levels.
  - Internal and external residential amenities provided throughout the building.
  - Six levels of basement carparking, comprising a total of 300 car spaces, bicycle parking, loading bays, waste areas, plant, and back of house.
- Vehicular access to the basement via Atchison Street.
- Landscaping and Public Domain works.
- Reticulation of site services and infrastructure (electricity, telecommunication, water, and sewer connections).

# 2 Site Location and Context

The site is located on Cammeraygal country at 601 Pacific Highway, St Leonards within North Sydney (LGA). The site is legally described as Lot 71 in DP749690 and has a total area of 2,844m<sup>2</sup>. The site is 4.5 km north of the Sydney CBD, 3 km from the North Sydney CBD, and within proximity to the centres of St Leonards, Chatswood, and Macquarie Park. The site is located 350 metres (walking distance) from St Leonards train station and approximately 400m (walking distance) from the Crows Nest Metro station.

A site aerial and location plan is provided at **Figure 1** below.

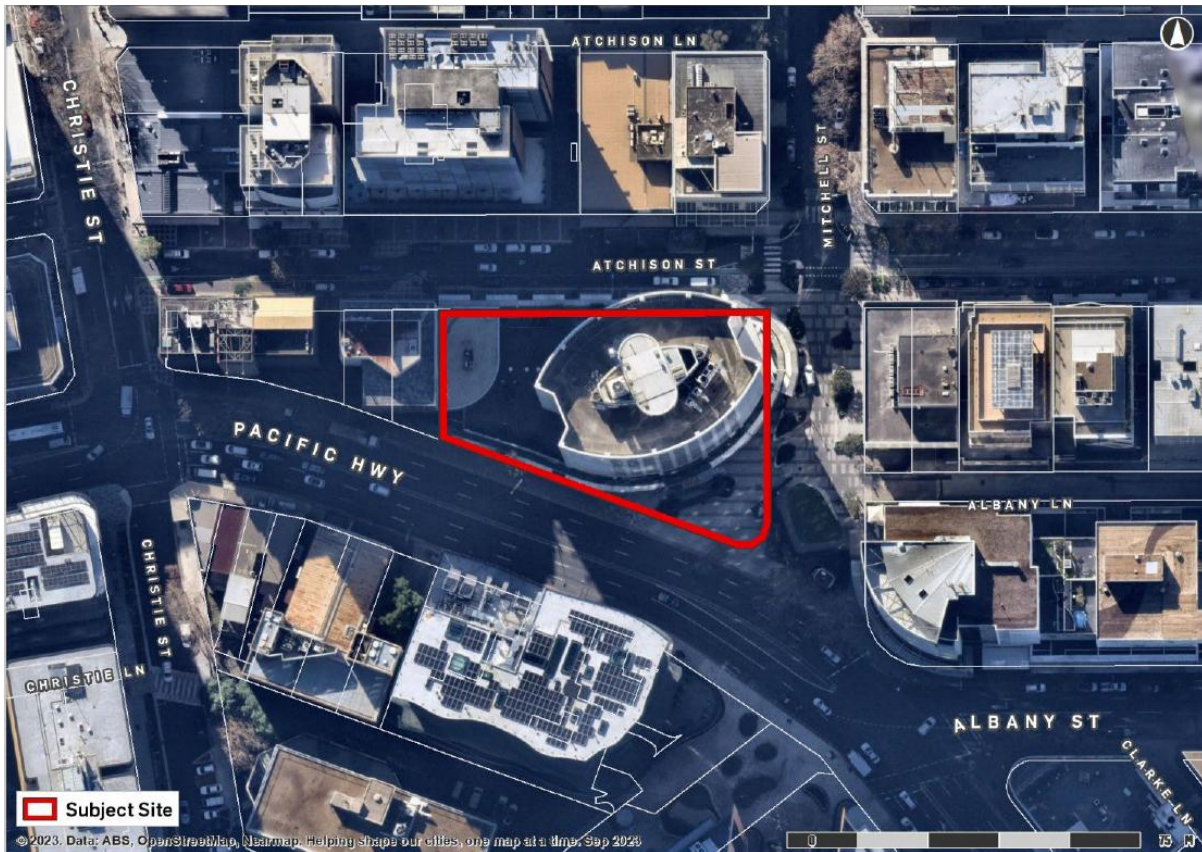


Figure 1 : Aerial image of site (Source:Urbis)

### 3 NatHERS and BASIX Introduction

This report provides an assessment of the projected thermal comfort, water efficiency, energy performance, and material reporting for the proposed development of 601 Pacific Highway . The assessment has been prepared to support the State Significant Development Application (SSDA) and demonstrates compliance with the sustainability requirements of both the Nationwide House Energy Rating Scheme (NatHERS) and the Building Sustainability Index (BASIX).

Thermal performance modelling was undertaken using Hero v4.1 software to estimate heating and cooling loads. The analysis considers architectural documentation prepared by Bates Smart Architects Pty Ltd.

Drawing No.	Title	Rev
10B6	DA03 - General Arrangements General Arrangement Plan Level B6	A
10B5	DA03 - General Arrangements General Arrangement Plan Level B5	A
10B4	DA03 - General Arrangements General Arrangement Plan Level B4	A
10B3	DA03 - General Arrangements	A

Drawing No.	Title	Rev
	General Arrangement Plan Level B3	
10B2	DA03 - General Arrangements General Arrangement Plan Level B2	A
10B1	DA03 - General Arrangements General Arrangement Plan Level B1	A
1001	DA03 - General Arrangements General Arrangement Plan Level 01	A
1002	DA03 - General Arrangements General Arrangement Plan Level 02	A
1003	DA03 - General Arrangements General Arrangement Plan Level 03	A
1004	DA03 - General Arrangements General Arrangement Plan Level 04	A
1005	DA03 - General Arrangements General Arrangement Plan Level 05	A
1006	DA03 - General Arrangements General Arrangement Plan Level 06	A
1007	DA03 - General Arrangements General Arrangement Plan Level 07-32	A
1033	DA03 - General Arrangements General Arrangement Plan Level 33	A
1034	DA03 - General Arrangements General Arrangement Plan Level 34-48	A
1049	DA03 - General Arrangements General Arrangement Plan Level 49	A
1050	DA03 - General Arrangements General Arrangement Plan Level 50	A
1051	DA03 - General Arrangements General Arrangement Plan Level 51	A
1052	DA03 - General Arrangements General Arrangement Plan Level 52	A
1053	DA03 - General Arrangements General Arrangement Plan Roof	A
1160	DA09 - External Elevations South Elevation	A
1161	DA09 - External Elevations East Elevation	A
1162	DA09 - External Elevations	A

Drawing No.	Title	Rev
	North Elevation	
1163	DA09 - External Elevations West Elevation	A
1180	DA10 -Building Sections Section A-A East/West	A
1181	DA10 -Building Sections Section B-B North/South	A

## 4 Analysis Overview

The BASIX assessment evaluates four key sustainability components:

- Water
- Thermal Comfort
- Energy
- Materials

Each category is assessed independently against minimum compliance benchmarks:

- Water: 40% minimum target
- Thermal Comfort: Pass/Fail based on heating and cooling caps
- Energy: 63% minimum target
- Materials: no embodied emission target, only reporting

### 4.1 Water

The proposed development meets the BASIX Water Target of 41%. Water consumption is calculated based on the efficiency of fixed fixtures and appliances, including taps, showerheads, toilets, dishwashers, and washing machines.

A rainwater tank (RWT) system is provided to supply non-potable water for landscape irrigation.

### 4.2 Thermal Comfort

Thermal comfort compliance is determined by heating and cooling energy caps set by the Department of Planning. Using Hero v4.1, the annual energy demand for heating and cooling was modelled for each dwelling, expressed in MJ/m<sup>2</sup>.

Each apartment is assessed against individual heating and cooling caps, while the overall development must also comply with stricter overall caps.

### 4.3 Energy

The development achieves the BASIX Energy Target of 63%.

Energy performance is based on the efficiency of fixed building services and appliances, including:

- Air-conditioning systems

- Hot water systems
- Lighting
- Exhaust fans
- Cooktops and ovens
- Clothes drying facilities

## 4.4 Materials

The BASIX Materials assessment does not include a minimum compliance target; rather, it requires reporting of the building materials used to calculate embodied emissions. The assessment considers the environmental impact of key building elements, including:

- Floors
- Walls
- Roofs
- Windows

The reporting focuses on the embodied greenhouse gas emissions associated with the selection of construction materials. While BASIX does not mandate a minimum performance standard for materials, the development has recorded and reported all required material selections as part of the assessment.

# 5 Inclusions Summary

## 5.1 Thermal Comfort Inclusions

### Glazing Doors/Windows

- Fixed panel windows - North / East / South (double-glazing, aluminium frames):
  - U-value 2.5 (equal or lower than)
  - SHGC 0.36 ( $\pm 5\%$ )
- Fixed panel windows - West (double-glazing, aluminium frames):
  - U-value 2.4 (equal or lower than)
  - SHGC 0.36 ( $\pm 5\%$ )
- Awning windows- all orientation (double-glazing, aluminium frames)
  - U-value 2.71 (equal or lower than)
  - SHGC 0.34 ( $\pm 5\%$ )
- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 3.70 (equal or lower than)
  - SHGC 0.34 ( $\pm 5\%$ )

### Slider Upgrade 1 – Refer to Appendix A – Thermal Comfort Results

- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 2.90 (equal or lower than)
  - SHGC 0.35 ( $\pm 5\%$ )

Slider Upgrade 2 – Refer to Appendix A – Thermal Comfort Results

- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 2.81 (equal or lower than)
  - SHGC 0.34 (±5%)

Slider Upgrade 3 – Refer to Appendix A – Thermal Comfort Results

- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 2.70 (equal or lower than)
  - SHGC 0.35 (±5%)

Slider Upgrade 4 – Refer to Appendix A – Thermal Comfort Results

- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 2.60 (equal or lower than)
  - SHGC 0.35 (±5%)

Slider Upgrade 5 – Refer to Appendix A – Thermal Comfort Results

- Sliding doors- all orientation (double-glazing, aluminium frames):
  - U-value 2.50 (equal or lower than)
  - SHGC 0.35 (±5%)

**Roof and ceiling**

- Minimum 200mm Concrete with plasterboard ceiling, no insulation where neighbouring units are above
- Minimum 200mm Concrete with plasterboard with R3.6 continuous insulation (insulation only value, no thermal bridging was allowed for) where roof or balcony is above.

Insulation Upgrade – Refer to Appendix A – Thermal Comfort Results

- Concrete with plasterboard with R5.4 or R6.0 continuous insulation (insulation only value, no thermal bridging was allowed for) where roof above

External Colour - Medium ( $0.475 < SA < 0.7$ )

**Ceiling Penetrations**

- Sealed downlights: 1 per 5 m<sup>2</sup>, ceiling penetration 100mm diameter with 50mm clearance
- Sealed exhaust fans: kitchen, bathroom, ensuite and laundry, ceiling penetration 250mm diameter with 50mm clearance

**Ceiling Fans.**

- Ceiling fans diam 900mm to all bedrooms and living areas in each dwelling

Upgrade to Dwelling 50.04 – Ceiling fans diam 1200mm to living and all bedrooms

## Floors

- Minimum 200mm Concrete with a minimum R3.0 insulation (insulation only value, no thermal bridging was allowed for) required where part open subfloor, plant room, and carpark is below
- Minimum 200mm Concrete between levels, no insulation required where conditioned space below

Floor coverings - Carpet to bedrooms, tiles to bathrooms and ensuites, timber elsewhere.

## External Walls

- Curtain wall (façade) glass/aluminium spandrel insulated panel with R2.5 insulation (insulation value only) and plasterboard internally
- Concrete wall with R2.5 insulation (insulation value only) and plasterboard internally

### Insulation Upgrade – Refer to Appendix A – Thermal Comfort Results

- R4 insulation (insulation value only) and plasterboard internally to concrete and curtain walls

External Colour - medium

## Inter-tenancy walls

- 75mm Hebel Power Panel to walls adjacent to neighbours (no insulation)
- 75mm Hebel Power Panel to walls adjacent to corridors with R1.5 insulation (insulation value only)
- Concrete with plasterboard lining as per plans to walls next to lifts and stairs (no insulation)

## Walls within dwellings

- Plasterboard on studs – no insulation

## External Shading

- Shading as per stamped documentation

## 5.2 BASIX Water Inclusions

### Fixtures within common areas

- Showerheads 3 stars (>7.5 but≤9 L/min)
- Toilets: 4 stars
- Taps: 5 stars

### Fixtures within units

- Showerheads 3 stars (>7.5 but≤9 L/min)
- Toilets: 4 stars
- Taps: 5 stars

### Appliances within units

- Washing machine: 3 stars
- Dishwasher: 3 stars

### Central Rainwater storage

- 50,000 (L) size
- 607 m<sup>2</sup> rooftop area diverted to tank used for landscape irrigation

### Fire sprinkler test water

- Open loop system

### Landscape

- 0 m<sup>2</sup> lawn
- 614 m<sup>2</sup> garden
- 550 m<sup>2</sup> low-water or indigenous species

### Common area swimming pool and spa

- Indoor pool 190kL
- Indoor spa 4kL without cover

## 5.3 BASIX Energy Inclusions

### Hot water system

- Central system: Electric heat pump – air sourced, COP 3.5-4 with R1.0 (~38mm) insulation to ring main and supply risers.

### Heating and cooling – Levels 2-4

Individual cooling system: System type : ducted split (day/night system)

- 1-phase airconditioning-ducted / 1 star (average zone)

Individual heating system : System type : ducted split (day/night system)

- 1-phase airconditioning-ducted / 3 star (average zone)

### Heating and cooling – Levels 6- 51

Central cooling system: System type : Variable Refrigerant Volume Unit

- Electric driven + water cooled compressor /COP 3.5 - 5.5

Central heating system : System type : Variable Refrigerant Volume Unit

- Electric driven compressor + water sourced evaporator /COP 3.5 - 5.5

### Lift motors

- All lifts have gearless traction with VVVF motor and regenerative drive
- 6 residential lifts within 2 lift banks

### Common area swimming pool and spa

- Indoor pool - electric heat pump controlled by timer
- Indoor spa - electric heat pump controlled by timer

### Sauna

Electric infrared -manual on / timer off

### Ventilation to common areas

Residential Service Room	supply + exhaust – thermostatically controlled
Shared service Room	supply + exhaust – thermostatically controlled
Residential Switch Room	supply + exhaust – thermostatically controlled
Shared Substation	no mechanical ventilation
Residential Waste Storage and Recycle	air conditioning system
Shared Carpark and Loading Zone	ventilation exhaust only – CO monitor + VSD fan
Residential Carpark	ventilation exhaust only – CO monitor + VSD fan
Residential lobby	air conditioning system – time clock or BMS controlled
Residential Amenities	air conditioning system – time clock or BMS controlled
Residential WC	ventilation exhaust only – time clock or BMS controlled
Residential Storage	supply only – time clock or BMS controlled
Fire egress corridor	supply only – time clock or BMS controlled
Residential corridor	supply only – time clock or BMS controlled
Pool and Spa room	air conditioning system – time clock or BMS controlled
Shared Rooftop/ Balcony Plant	natural ventilation
Residential Gym	air conditioning system – time clock or BMS controlled

### Artificial lighting to common areas

Residential Service Room	LED – motion sensors
Shared service Room	LED – motion sensors
Residential Switch Room	LED – motion sensors
Shared Substation	LED – motion sensors
Residential Waste Storage and Recycle	LED – motion sensors
Shared Carpark and Loading Zone	LED – motion sensors
Residential Carpark	LED – motion sensors
Residential lobby	LED – time clock and motion sensors
Residential Amenities	LED – time clock and motion sensors
Residential WC	LED – manual on/off

Residential Storage	LED – motion sensors
Fire egress corridor	LED – motion sensors
Residential corridor	LED - motion sensors
Pool and Spa room	LED - manual on/off
Shared Rooftop/ Balcony Plant	LED – motion sensors
Residential Gym	LED - time clock and motion sensors
Lifts	LED – connected to lift call button

#### **Appliances and other efficiency measures within units**

- Induction cooktop and electric oven
- Clothes dryers 4 stars
- Dishwashers 4 stars

#### **Artificial lighting within units**

- All light fittings within each room are to have sealed LED fixtures installed

#### **Ventilation within units**

- Bathroom exhaust : individual fan into central duct + VSD – manual on/off switch
- Kitchen exhaust : individual fan into central duct + VSD – manual on/off switch
- Laundry exhaust : individual fan into central duct + VSD – manual on/off switch

#### **Other**

- Building management system (BMS) to be installed
- Active power factor correction (PFC) to be installed

#### **Alternative Energy**

- Minimum 38 kW PV system

## **6 Conclusion**

The NatHERS and BASIX assessment confirms that the proposed development at 601 Pacific Highway, St Leonards, satisfies all relevant sustainability requirements. The project demonstrates compliance in the following areas:

- NatHERS Thermal Comfort: All apartments meet the prescribed heating and cooling caps under the NatHERS methodology, with performance validated through Hero v4.1 modelling. This ensures comfortable indoor environments with reduced reliance on mechanical heating and cooling.
- BASIX Water: Achieves a score of 41%, exceeding the minimum 40% target through efficient fixtures, appliances, and dual reticulation via the City recycled water network, supplying non-potable water for toilet flushing and irrigation.
- BASIX Energy: Achieves the minimum 63% target, supported by efficient central plant systems, high-performance appliances, LED lighting, and a 38 kW photovoltaic system.

- **BASIX Materials:** All required material selections have been reported, ensuring transparency of embodied emissions in line

In summary, the proposed development achieves compliance with both NatHERS and BASIX performance standards. The integration of efficient systems, high-performing fabric elements, and renewable energy infrastructure demonstrates a clear commitment to sustainable design, reduced operational impacts, and improved occupant comfort.

## Appendix A – Thermal Comfort Results

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
02.01	2	72	0	29.8	3.2	6.60	
02.02	2	78	0	26.6	4.1	6.90	
02.03	1	53	0	22	6.2	7.20	
02.04	1	54	0	24.5	6.2	6.90	
02.05	1	54	0	27.5	7.1	6.40	
02.06	1	54	0	19	5.7	7.50	
02.07	3	95	0	8.4	8.7	8.40	
02.08	1	52	0	26.8	7	6.50	
02.09	1	52	0	23.4	7.7	6.90	
02.10	1	61	0	19.4	5.7	7.40	
03.01	2	72	0	20.6	4.2	7.50	
03.02	2	78	0	24.6	4.5	7.10	
03.03	1	53	0	23.1	4.8	7.20	
03.04	1	54	0	26.6	5.1	6.80	
03.05	1	54	0	28.7	6.8	6.30	
03.06	1	54	0	19.9	5.2	7.40	
03.07	3	95	0	11.3	7.7	8.20	
03.08	1	51	0	26.1	7.4	6.60	
03.09	1	52	0	20.7	7.5	7.20	
03.10	1	61	0	18.4	5.4	7.60	
04.01	2	72	0	28.5	4	6.70	
04.02	2	78	0	29.6	4.9	6.40	
04.03	1	53	0	26.6	4.9	6.80	
04.04	1	54	0	29.2	4.6	6.50	
04.05	1	54	0	27.7	6.2	6.50	Slider upgrade 1 to Living
04.06	1	54	0	26.3	4.5	6.90	
04.07	1	54	0	26.9	4.6	6.80	
04.08	1	52	0	27	7.1	6.40	
04.09	1	52	0	22.9	7	7.00	
04.10	1	61	0	21.3	5.3	7.30	
06.01	2	91	0	27.2	2.4	7.00	
06.02	2	84	0	29.9	2.2	6.70	Slider upgrade 1 to Living
06.03	2	80	0	29	3.1	6.70	
06.04	1	53	0	25.7	4.8	6.90	
06.05	1	53	0	25.9	5.1	6.90	
06.06	2	75	0	28.2	3	6.80	
06.07	1	53	0	20.8	4.7	7.40	
06.08	2	77	0	17.7	5.8	7.70	
06.09	1	55	0	20.3	6.2	7.40	
06.10	1	56	0	18.5	6	7.60	Slider upgrade 1 to Living
06.11	1	56	0	21.3	5.6	7.30	Slider upgrade 1 to Living
06.12	3	111	0	26.4	6.1	6.70	Slider upgrade 1 to Living & Bedroom
06.13	2	70	0	21.7	5.3	7.30	
07.01	2	91	0	25.8	2.7	7.20	
07.02	2	84	0	27.4	2.2	7.00	Slider upgrade 1 to Living
07.03	2	80	0	28.1	2.9	6.90	
07.04	1	53	0	25.2	4.7	7.00	
07.05	1	53	0	25.5	4.6	6.90	
07.06	2	75	0	27.9	3	6.90	
07.07	1	53	0	20.4	4.9	7.40	
07.08	2	77	0	15.4	5.6	8.00	
07.09	1	55	0	22.5	5.7	7.20	
07.10	1	56	0	18.1	6.2	7.60	Slider upgrade 1 to Living
07.11	1	56	0	22.5	6	7.20	Slider upgrade 1 to Living
07.12	3	111	0	26.2	6	6.70	Slider upgrade 1 to Living & Bedroom
07.13	2	69	0	21.7	5.2	7.30	
08.01	2	91	0	26.8	2.5	7.10	
08.02	2	84	0	29.2	2	6.80	Slider upgrade 1 to Living

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
08.03	2	80	0	29.9	2.8	6.70	
08.04	1	53	0	25.9	4.7	6.90	
08.05	1	53	0	26.2	4.6	6.90	
08.06	2	75	0	28.6	2.9	6.80	
08.07	1	53	0	21.1	4.7	7.40	
08.08	2	77	0	13.2	5.6	8.20	
08.09	1	55	0	23.1	6.1	7.10	
08.10	1	56	0	18.2	7.2	7.40	Slider upgrade 1 to Living
08.11	1	56	0	22.6	6	7.10	Slider upgrade 1 to Living
08.12	3	111	0	27.2	5.4	6.70	Slider upgrade 1 to Living & Bedroom
08.13	2	69	0	22.3	6.9	7.10	
09.01	2	91	0	26.7	2.9	7.00	
09.02	2	84	0	28.4	2.1	6.90	Slider upgrade 1 to Living
09.03	2	80	0	29.3	3	6.70	
09.04	1	53	0	26.4	4.9	6.80	
09.05	1	53	0	26.7	4.9	6.80	
09.06	2	75	0	29.1	3.1	6.70	
09.07	1	53	0	21.6	5	7.30	
09.08	2	77	0	12.4	6.5	8.20	
09.09	1	55	0	23.3	7	6.90	
09.10	1	56	0	18.2	7.6	7.40	Slider upgrade 1 to Living
09.11	1	56	0	21.8	6.4	7.20	Slider upgrade 1 to Living
09.12	3	111	0	30.4	4.5	6.40	Slider upgrade 1 to Living & Bedroom
09.13	2	69	0	24.2	6.2	6.90	
10.01	2	91	0	27.1	2.8	7.00	
10.02	2	84	0	28.7	2.1	6.90	Slider upgrade 1 to Living
10.03	2	80	0	29.7	3	6.70	
10.04	1	53	0	26.9	4.9	6.80	
10.05	1	53	0	27.2	4.9	6.70	
10.06	2	75	0	29.6	3.1	6.70	
10.07	1	53	0	22	5	7.30	
10.08	2	77	0	12.2	6.7	8.20	
10.09	1	55	0	23.3	7.6	6.90	
10.10	1	56	0	27.5	8	6.30	Slider upgrade 1 to Living
10.11	1	56	0	19.9	6.8	7.30	Slider upgrade 1 to Living
10.12	3	111	0	25.4	6.3	6.80	Slider upgrade 1 to Living & Bedroom
10.13	2	69	0	23	7.3	6.90	
11.01	2	91	0	28.2	2.8	6.90	
11.02	2	84	0	27.5	2.9	6.90	Slider upgrade 1 to Living
11.03	2	80	0	29.5	4	6.60	
11.04	1	53	0	27.8	5.1	6.60	
11.05	1	53	0	28.1	5	6.60	
11.06	2	75	0	30.5	3	6.60	
11.07	1	53	0	22.9	5.1	7.20	
11.08	2	77	0	12.4	7	8.20	
11.09	1	55	0	18.2	6.8	7.40	
11.10	1	56	0	27	8.2	6.30	Slider upgrade 1 to Living
11.11	1	56	0	19.8	6.7	7.30	Slider upgrade 1 to Living
11.12	3	111	0	25.7	6.4	6.70	Slider upgrade 1 to Living & Bedroom
11.13	2	69	0	23.7	7.5	6.80	
12.01	2	91	0	28.7	3.4	6.70	
12.02	2	84	0	30.3	3.4	6.50	Slider upgrade 1 to Living
12.03	2	80	0	31.5	4.2	6.30	
12.04	1	53	0	28.1	6.6	6.40	
12.05	1	53	0	28.3	6.7	6.40	
12.06	2	75	0	30.9	5	6.30	
12.07	1	53	0	23.4	6.7	6.90	
12.08	2	77	0	12.9	10.8	7.70	
12.09	1	55	0	21	11.2	6.70	
12.10	1	56	0	15.8	12.7	7.20	Slider upgrade 1 to Living
12.11	1	56	0	16.5	9.8	7.40	Slider upgrade 1 to Living
12.12	3	111	0	25.9	6.9	6.60	Slider upgrade 1 to Living & Bedroom

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
12.13	2	69	0	24.9	10	6.40	
13.01	2	91	0	30.5	1.9	6.70	Slider upgrade 1 to Living
13.02	2	84	0	31.9	2.1	6.50	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
13.03	2	80	0	31.6	3.3	6.40	Slider upgrade 1 to Living
13.04	1	53	0	25.7	5.4	6.90	
13.05	1	53	0	26	5.8	6.80	
13.06	2	75	0	33	3	6.30	Slider upgrade 1 to Living
13.07	1	53	0	31	4.6	6.30	
13.08	2	77	0	19.4	7	7.40	
13.09	1	55	0	29.6	7.6	6.10	
13.10	1	56	0	19.1	8.8	7.20	Slider upgrade 1 to Living
13.11	1	56	0	23.3	6.9	6.90	Slider upgrade 1 to Living
13.12	3	111	0	32.6	4.2	6.20	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom
13.13	2	69	0	32.7	4.5	6.10	
14.01	2	91	0	30.6	1.9	6.70	Slider upgrade 1 to Living
14.02	2	84	0	32.8	2	6.40	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
14.03	2	80	0	32.6	3.2	6.30	Slider upgrade 1 to Living
14.04	1	53	0	25.8	5.7	6.80	
14.05	1	53	0	26.2	5.5	6.80	
14.06	2	75	0	33	3	6.20	Slider upgrade 1 to Living
14.07	1	53	0	31.1	4.6	6.30	
14.08	2	77	0	19.5	6.9	7.40	
14.09	1	55	0	29.6	7.9	6.10	
14.10	1	56	0	24.1	8.4	6.70	Slider upgrade 1 to Living
14.11	1	56	0	23.2	6.8	6.90	Slider upgrade 1 to Living
14.12	3	111	0	28.3	4.9	6.60	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom
14.13	2	69	0	31.3	5.6	6.10	
15.01	2	91	0	30.5	2	6.70	Slider upgrade 1 to Living
15.02	2	84	0	32.1	2.1	6.40	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
15.03	2	80	0	31.6	3.5	6.40	Slider upgrade 1 to Living
15.04	1	53	0	25.8	5.7	6.80	
15.05	1	53	0	26.3	5.8	6.70	
15.06	2	75	0	33.2	3	6.20	Slider upgrade 1 to Living
15.07	1	53	0	31.4	4.5	6.30	
15.08	2	77	0	19.8	6.8	7.30	
15.09	1	55	0	30	7.9	6.00	
15.10	1	56	0	21.5	8.6	6.90	Slider upgrade 1 to Living
15.11	1	56	0	23.5	6.7	6.90	Slider upgrade 1 to Living
15.12	3	111	0	28.6	4.9	6.60	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom
15.13	2	69	0	31.4	5.6	6.10	
16.01	2	91	0	30.7	1.9	6.70	Slider upgrade 1 to Living
16.02	2	84	0	32.2	2.1	6.40	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
16.03	2	80	0	32.8	3.6	6.20	Slider upgrade 1 to Living
16.04	1	53	0	26.9	5.8	6.70	
16.05	1	53	0	26.9	5.4	6.70	
16.06	2	75	0	33.3	3.1	6.20	Slider upgrade 1 to Living
16.07	1	53	0	31.4	4.6	6.20	
16.08	2	77	0	19.9	6.9	7.30	

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
16.09	1	55	0	30.1	7.5	6.10	
16.10	1	56	0	21.6	8.2	7.00	Slider upgrade 1 to Living
16.11	1	56	0	23.6	6.8	6.90	Slider upgrade 1 to Living
16.12	3	111	0	29.2	4.9	6.40	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom
16.13	2	69	0	31.6	5.7	6.10	
17.01	2	91	0	31.3	1.9	6.60	Slider upgrade 1 to Living
17.02	2	84	0	33.3	2	6.30	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
17.03	2	80	0	32.5	3.3	6.30	Slider upgrade 1 to Living
17.04	1	53	0	26.6	5.7	6.70	
17.05	1	53	0	26.7	5.8	6.70	
17.06	2	75	0	33.1	3.2	6.20	Slider upgrade 1 to Living
17.07	1	53	0	31.5	4.6	6.20	
17.08	2	77	0	20.1	7	7.30	
17.09	1	55	0	30.1	7.9	6.00	
17.10	1	56	0	21.8	8.4	6.90	Slider upgrade 1 to Living
17.11	1	56	0	23.7	6.7	6.90	Slider upgrade 1 to Living
17.12	3	111	0	32.9	4.2	6.10	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom
17.13	2	69	0	33.3	4.5	6.00	
18.01	2	91	0	31.6	1.9	6.60	Slider upgrade 1 to Living
18.02	2	84	0	32.9	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
18.03	2	80	0	34.2	3.5	6.00	Slider upgrade 1 to Living
18.04	1	53	0	30	5.2	6.40	
18.05	1	53	0	29.6	5.5	6.40	
18.06	2	75	0	30	3.7	6.50	Slider upgrade 1 to Living
18.07	1	53	0	27.1	5.6	6.70	
18.08	2	77	0	19.4	7.1	7.40	
18.09	1	55	0	23	7.6	6.90	Slider upgrade 1 to Living
18.10	1	56	0	25.4	6.9	6.70	Slider upgrade 1 to Living
18.11	1	56	0	23.1	6.8	7.00	Slider upgrade 1 to Living
18.12	3	111	0	28.5	4.9	6.60	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
18.13	2	69	0	28.6	4.4	6.60	Slider upgrade 1 to Living
19.01	2	91	0	31.6	1.9	6.60	Slider upgrade 1 to Living
19.02	2	84	0	31.9	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
19.03	2	80	0	30.5	3.4	6.50	Slider upgrade 1 to Living
19.04	1	53	0	32.5	5.2	6.00	
19.05	1	53	0	27.1	5.8	6.60	
19.06	2	75	0	32.2	3.1	6.30	Slider upgrade 1 to Living
19.07	1	53	0	30.7	4.6	6.30	
19.08	2	77	0	20.5	6.4	7.30	
19.09	1	55	0	24.9	6.9	6.80	Slider upgrade 1 to Living
19.10	1	56	0	20.9	7.8	7.10	Slider upgrade 1 to Living
19.11	1	56	0	25.3	6.4	6.80	Slider upgrade 1 to Living
19.12	3	111	0	29.7	4.7	6.40	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
19.13	2	69	0	27.5	5	6.70	Slider upgrade 1 to Living
20.01	2	91	0	32.3	1.9	6.40	Slider upgrade 1 to Living

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
20.02	2	84	0	32.8	2.1	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
20.03	2	80	0	28.5	3.5	6.70	Slider upgrade 1 to Living
20.04	1	53	0	29.5	5.2	6.40	
20.05	1	53	0	29.6	5.7	6.30	
20.06	2	75	0	29.9	3.2	6.60	Slider upgrade 1 to Living
20.07	1	53	0	29.1	4.7	6.50	
20.08	2	77	0	20.1	6.5	7.30	
20.09	1	55	0	25.1	6.7	6.80	Slider upgrade 1 to Living
20.10	1	56	0	21.1	7.9	7.10	Slider upgrade 1 to Living
20.11	1	56	0	24.7	6.7	6.80	Slider upgrade 1 to Living
20.12	3	111	0	28.9	4.9	6.50	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
20.13	2	69	0	27.6	4.7	6.70	Slider upgrade 1 to Living
21.01	2	91	0	31.9	2	6.50	Slider upgrade 1 to Living
21.02	2	84	0	32.2	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
21.03	2	80	0	33.3	3.5	6.10	
21.04	1	53	0	28.5	4.6	6.60	
21.05	1	53	0	28.6	4.6	6.60	
21.06	2	75	0	29	3.4	6.70	
21.07	1	53	0	25.2	4.6	7.00	
21.08	2	77	0	17.6	6.9	7.60	
21.09	1	55	0	25.2	6.9	6.70	Slider upgrade 1 to Living
21.10	1	56	0	21.2	7.9	7.10	Slider upgrade 1 to Living
21.11	1	56	0	24.8	6.6	6.80	Slider upgrade 1 to Living
21.12	3	111	0	29	4.9	6.50	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
21.13	2	69	0	29.1	4	6.60	Slider upgrade 1 to Living
22.01	2	91	0	32	2	6.50	Slider upgrade 1 to Living
22.02	2	84	0	32.3	2.2	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
22.03	2	80	0	24.5	3.7	7.20	
22.04	1	53	0	17.7	4.6	7.80	
22.05	1	53	0	17	4.9	7.90	
22.06	2	75	0	19.9	3.4	7.70	
22.07	1	53	0	16.4	4.6	8.00	
22.08	2	77	0	15.6	6.7	7.80	
22.09	1	55	0	25.4	7	6.70	Slider upgrade 1 to Living
22.10	1	56	0	23.1	7.6	6.90	Slider upgrade 1 to Living
22.11	1	56	0	24.9	6.8	6.80	Slider upgrade 1 to Living
22.12	3	111	0	28.4	4.8	6.60	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
22.13	2	69	0	27.9	4.8	6.70	Slider upgrade 1 to Living
23.01	2	91	0	32.6	3.4	6.30	Slider upgrade 1 to Living
23.02	2	84	0	33	4.2	6.10	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
23.03	2	80	0	26.4	6.5	6.60	
23.04	1	53	0	21.8	8.8	6.90	

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
23.05	1	53	0	20.3	8.9	7.10	
23.06	2	75	0	22.9	6.9	7.00	
23.07	1	53	0	20.8	8.7	7.00	
23.08	2	77	0	17.1	11.1	7.20	
23.09	1	55	0	26.4	11.2	6.10	Slider upgrade 1 to Living
23.10	1	56	0	22.6	12.6	6.30	Slider upgrade 1 to Living
23.11	1	56	0	25.8	10.7	6.20	Slider upgrade 1 to Living
23.12	3	111	0	29.2	7.3	6.20	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
23.13	2	69	0	28.3	8.6	6.10	Slider upgrade 1 to Living
24.01	2	91	0	32.7	2	6.40	Slider upgrade 1 to Living
24.02	2	84	0	33	2.3	6.30	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
24.03	2	80	0	23.1	3.4	7.40	
24.04	1	53	0	15.1	4.9	8.10	
24.05	1	53	0	14.1	5.1	8.20	
24.06	2	75	0	17	3.9	8.00	
24.07	1	53	0	14.6	5.3	8.10	
24.08	2	77	0	14.5	7.1	7.90	
24.09	1	55	0	24.6	7.8	6.70	Slider upgrade 1 to Living
24.10	1	56	0	26.9	6.3	6.60	Slider upgrade 1 to Living
24.11	1	56	0	24.6	6.9	6.80	Slider upgrade 1 to Living
24.12	3	111	0	33.1	4.2	6.10	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
24.13	2	69	0	30.1	3.8	6.50	Slider upgrade 1 to Living
25.01	2	91	0	32.7	1.9	6.40	Slider upgrade 1 to Living
25.02	2	84	0	32.9	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
25.03	2	80	0	21.5	3.4	7.50	
25.04	1	53	0	13.9	4.5	8.30	
25.05	1	53	0	13.4	4.9	8.30	
25.06	2	75	0	16	3.8	8.10	
25.07	1	53	0	13.6	5.1	8.20	
25.08	2	77	0	14.7	7	7.90	
25.09	1	55	0	26.2	6.4	6.70	Slider upgrade 1 to Living
25.10	1	56	0	26.7	6.5	6.60	Slider upgrade 1 to Living
25.11	1	56	0	25.8	6.9	6.70	Slider upgrade 1 to Living
25.12	3	111	0	28.8	4.9	6.50	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
25.13	2	69	0	28.6	3.7	6.70	Slider upgrade 1 to Living
26.01	2	91	0	33	1.9	6.40	Slider upgrade 1 to Living
26.02	2	84	0	33.8	2.2	6.30	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
26.03	2	80	0	21.3	3.4	7.50	
26.04	1	53	0	13.7	4.5	8.30	
26.05	1	53	0	13.2	5.1	8.30	
26.06	2	75	0	15.9	3.8	8.10	
26.07	1	53	0	13.5	5.1	8.20	
26.08	2	77	0	14.7	6.9	7.90	
26.09	1	55	0	26.4	6.7	6.60	Slider upgrade 1 to Living
26.10	1	56	0	26.9	6.3	6.60	Slider upgrade 1 to Living

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
26.11	1	56	0	25.9	6.7	6.70	Slider upgrade 1 to Living
26.12	3	111	0	29.6	4.8	6.40	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
26.13	2	69	0	28.7	3.9	6.70	Slider upgrade 1 to Living
27.01	2	91	0	32.9	2	6.40	Slider upgrade 1 to Living
27.02	2	84	0	33.1	2.3	6.30	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
27.03	2	80	0	19.9	3.4	7.70	
27.04	1	53	0	13.4	4.8	8.30	
27.05	1	53	0	12.9	5	8.30	
27.06	2	75	0	15.8	3.9	8.10	
27.07	1	53	0	11.4	7.3	8.20	
27.08	2	77	0	14.8	6.9	7.90	
27.09	1	55	0	26.6	6.6	6.60	Slider upgrade 1 to Living
27.10	1	56	0	27	6.4	6.60	Slider upgrade 1 to Living
27.11	1	56	0	26.1	6.5	6.70	Slider upgrade 1 to Living
27.12	3	111	0	33.2	4.1	6.10	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
27.13	2	69	0	30.1	3.4	6.60	Slider upgrade 1 to Living
28.01	2	91	0	33	2.1	6.40	Slider upgrade 1 to Living
28.02	2	84	0	33.2	2.3	6.30	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
28.03	2	80	0	19.7	3.5	7.70	
28.04	1	53	0	13.3	4.8	8.30	
28.05	1	53	0	13	4.9	8.30	
28.06	2	75	0	15.9	3.9	8.10	
28.07	1	53	0	13.5	5	8.20	
28.08	2	77	0	15	6.9	7.90	
28.09	1	55	0	26.8	6.4	6.60	Slider upgrade 1 to Living
28.10	1	56	0	27.2	6.5	6.50	Slider upgrade 1 to Living
28.11	1	56	0	26.4	6.5	6.60	Slider upgrade 1 to Living
28.12	3	111	0	29	4.9	6.50	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
28.13	2	69	0	29	3.9	6.60	Slider upgrade 1 to Living
29.01	2	91	0	33.4	3.2	6.20	Slider upgrade 1 to Living
29.02	2	84	0	33.9	4	6.00	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
29.03	2	80	0	23.6	6	7.00	
29.04	1	53	0	19.1	8.4	7.30	
29.05	1	53	0	18.4	8.7	7.30	
29.06	2	75	0	21	7.1	7.20	
29.07	1	53	0	19	9	7.20	
29.08	2	77	0	14.9	12.5	7.30	
29.09	1	55	0	25.5	10.5	6.20	Slider upgrade 1 to Living
29.10	1	56	0	25.7	10.2	6.30	Slider upgrade 1 to Living
29.11	1	56	0	23.8	11.8	6.30	Slider upgrade 1 to Living
29.12	3	111	0	30.1	7.5	6.10	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
29.13	2	69	0	29.3	7.1	6.20	Slider upgrade 1 to Living

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
30.01	2	91	0	32.8	2	6.40	Slider upgrade 1 to Living
30.02	2	84	0	32.9	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
30.03	2	80	0	18.4	3.8	7.90	
30.04	1	53	0	13.7	5	8.20	
30.05	1	53	0	13.8	5.1	8.20	
30.06	2	75	0	17.1	3.9	8.00	
30.07	1	53	0	13.9	5.3	8.20	
30.08	2	77	0	12.1	7.3	8.20	
30.09	1	55	0	24.9	7.1	6.80	Slider upgrade 1 to Living
30.10	1	56	0	25.5	6.9	6.70	Slider upgrade 1 to Living
30.11	1	56	0	24.9	6.9	6.80	Slider upgrade 1 to Living
30.12	3	111	0	32	4.4	6.20	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
30.13	2	69	0	29.5	3.8	6.60	Slider upgrade 1 to Living
31.01	2	91	0	32.7	2	6.40	Slider upgrade 1 to Living
31.02	2	84	0	32.8	2.3	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
31.03	2	80	0	18.5	4	7.80	
31.04	1	53	0	13.9	5.1	8.20	
31.05	1	53	0	13.9	5.1	8.20	
31.06	2	75	0	17.2	3.9	7.90	
31.07	1	53	0	14.1	5.3	8.20	
31.08	2	77	0	12.9	6.8	8.10	
31.09	1	55	0	26.9	6.9	6.50	Slider upgrade 1 to Living
31.10	1	56	0	25.7	6.6	6.70	Slider upgrade 1 to Living
31.11	1	56	0	26.4	6.5	6.60	Slider upgrade 1 to Living
31.12	3	111	0	32	4.6	6.20	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
31.13	2	69	0	28.1	4.3	6.70	Slider upgrade 1 to Living
32.01	2	91	0	33.2	2	6.30	Slider upgrade 1 to Living
32.02	2	84	0	31.4	2.4	6.50	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
32.03	2	80	0	19.2	3.8	7.70	
32.04	1	53	0	13.8	5	8.20	
32.05	1	53	0	13.8	5.2	8.20	
32.06	2	75	0	17.1	4	7.90	
32.07	1	53	0	14.1	5.3	8.20	
32.08	2	77	0	12.9	6.8	8.10	
32.09	1	55	0	26.9	6.7	6.60	Slider upgrade 1 to Living
32.10	1	56	0	26.8	7.1	6.50	Slider upgrade 1 to Living
32.11	1	56	0	26.3	6.6	6.60	Slider upgrade 1 to Living
32.12	3	111	0	31.9	4.6	6.20	Slider upgrade 5 to Living Slider upgrade 3 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded)
32.13	2	69	0	28	4.5	6.70	Slider upgrade 1 to Living
33.01	2	97	0	32.2	1.8	6.40	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom
33.02	2	84	0	31.5	2.5	6.40	Slider upgrade 4 to Living Slider upgrade 2 to Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
33.03	2	80	0	20.2	3.9	7.60	

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
33.04	1	53	0	15.6	5.6	7.90	
33.05	1	53	0	15.4	5.3	8.00	
33.06	2	75	0	18.2	4.4	7.80	
33.07	1	53	0	15.4	5.4	8.00	
33.08	2	77	0	15.7	7	7.80	
33.09	1	55	0	28.6	6.8	6.30	Slider upgrade 1 to Living
33.10	1	56	0	26.8	6.7	6.60	Slider upgrade 1 to Living
33.11	1	56	0	27	6.5	6.60	Slider upgrade 1 to Living
33.12	3	112	0	32.9	5	6.00	Slider upgrade 5 to Living Slider upgrade 4 to Bedroom R4 wall insulation upgrade to all façades (balcony excluded) R5.4 ceiling/roof insulation
34.01	2	97	0	30.2	2	6.70	Slider upgrade 1 to Living
34.02	2	84	0	33.6	2.5	6.20	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
34.03	2	80	0	16.9	4.4	7.90	
34.04	3	115	0	11.9	3.2	8.60	
34.05	3	105	0	10.2	3.7	8.80	
34.06	3	107	0	13.5	6.3	8.10	
34.07	3	121	0	24	5.6	7.00	
34.08	3	128	0	25.9	8.3	6.40	Slider upgrade 1 to Living
34.09	3	125	0	33	2.7	6.30	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
35.01	2	97	0	33.9	1.8	6.30	Slider upgrade 1 to Living
35.02	2	84	0	32.3	2.4	6.40	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
35.03	2	80	0	18.1	4.2	7.80	
35.04	3	115	0	12.4	2.9	8.60	
35.05	3	105	0	10.5	3.6	8.70	
35.06	3	107	0	14.4	6.5	8.00	
35.07	3	121	0	24.3	5.4	7.00	
35.08	2	128	0	22.5	7.8	6.90	Slider upgrade 1 to Living
35.09	3	125	0	32.2	2.8	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
36.01	2	97	0	34.2	1.8	6.30	Slider upgrade 1 to Living
36.02	2	84	0	34.3	2.3	6.20	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
36.03	2	80	0	17.9	4.2	7.90	
36.04	3	115	0	12.5	2.9	8.60	
36.05	3	105	0	10.4	3.6	8.70	
36.06	3	107	0	14.6	6.4	7.90	
36.07	3	121	0	24.4	5.4	7.00	
36.08	3	128	0	22.6	7.9	6.90	Slider upgrade 1 to Living
36.09	3	125	0	32.4	2.7	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
37.01	2	97	0	34.1	1.8	6.30	Slider upgrade 1 to Living
37.02	2	84	0	34.1	2.3	6.20	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
37.03	2	80	0	18	4.2	7.80	
37.04	3	115	0	12.6	2.8	8.60	
37.05	3	105	0	10.7	3.7	8.70	
37.06	3	107	0	14.7	6.4	7.90	

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
37.07	3	121	0	24.5	5.5	6.90	
37.08	3	128	0	22.5	7.9	6.90	Slider upgrade 1 to Living
37.09	3	125	0	31.9	2.7	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
38.01	2	97	0	34.2	1.8	6.30	Slider upgrade 1 to Living
38.02	2	84	0	34.3	2.3	6.20	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
38.03	2	80	0	18.4	4.2	7.80	
38.04	3	115	0	12.6	2.8	8.60	
38.05	3	105	0	10.6	3.6	8.70	
38.06	3	107	0	14.7	6.4	7.90	
38.07	3	121	0	24.5	5.4	7.00	
38.08	3	128	0	22.4	8	6.90	Slider upgrade 1 to Living
38.09	3	125	0	29.6	3.3	6.60	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
39.01	2	97	0	32.4	1.9	6.40	Slider upgrade 1 to Living
39.02	2	84	0	33.3	2.3	6.30	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
39.03	2	80	0	18.1	4.3	7.80	
39.04	3	115	0	12.7	2.8	8.60	
39.05	3	105	0	10.7	3.7	8.70	
39.06	3	107	0	14.9	6.4	7.90	
39.07	3	121	0	24.7	5.4	6.90	
39.08	3	128	0	22.4	8.1	6.90	Slider upgrade 1 to Living
39.09	3	125	0	31.5	3	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
40.01	2	97	0	32.2	3.2	6.30	Slider upgrade 1 to Living
40.02	2	84	0	32.6	4.7	6.10	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
40.03	2	80	0	22.9	7	7.00	
40.04	3	115	0	15.3	5.4	8.00	
40.05	3	105	0	16	6.5	7.80	
40.06	3	107	0	16.8	9.2	7.40	
40.07	3	121	0	24.8	9	6.50	
40.08	3	128	0	21.9	12	6.50	Slider upgrade 1 to Living
40.09	3	125	0	29.9	5	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
41.01	2	97	0	27.6	2.7	6.90	Slider upgrade 1 to Living
41.02	2	84	0	31.4	3.3	6.40	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
41.03	2	80	0	14.8	5.8	8.00	
41.04	3	115	0	8.3	4.3	8.90	
41.05	3	105	0	11.6	4.4	8.40	
41.06	3	107	0	14.2	7.1	7.90	
41.07	3	121	0	23.7	6.3	6.90	
41.08	3	128	0	20.6	9.6	6.90	Slider upgrade 1 to Living
41.09	3	125	0	28.3	4	6.70	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
42.01	2	97	0	30	2.3	6.70	Slider upgrade 1 to Living

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
42.02	2	84	0	30.3	3.6	6.50	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
42.03	2	80	0	18.3	5.2	7.70	
42.04	3	115	0	12.3	3.7	8.50	
42.05	3	105	0	11.7	4.4	8.40	
42.06	3	107	0	14.2	7.1	7.90	
42.07	3	121	0	23.7	6.2	7.00	
42.08	2	128	0	20.7	9.4	6.90	Slider upgrade 1 to Living
42.09	3	125	0	29.2	3.9	6.60	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
43.01	2	97	0	30.1	2.3	6.70	Slider upgrade 1 to Living
43.02	2	84	0	30.3	3.6	6.50	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
43.03	2	80	0	17	6.1	7.70	
43.04	3	115	0	10.9	4.3	8.60	
43.05	3	105	0	11.6	4.3	8.50	
43.06	3	107	0	14.3	7.1	7.90	
43.07	3	121	0	23.9	6.2	6.90	
43.08	3	128	0	20.6	9.5	6.90	Slider upgrade 1 to Living
43.09	3	125	0	28.2	4.1	6.70	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
44.01	2	97	0	31.4	2.2	6.60	Slider upgrade 1 to Living
44.02	2	84	0	31.2	3.4	6.40	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
43.03	2	80	0	17	5.9	7.80	
44.04	3	115	0	11	4.2	8.60	
44.05	3	105	0	11.7	4.4	8.40	
44.06	3	107	0	14.3	7.1	7.90	
44.07	3	121	0	23.9	6.1	7.00	
44.08	3	128	0	20.6	9.5	6.90	Slider upgrade 1 to Living
44.09	3	125	0	28.2	4.1	6.70	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
45.01	2	97	0	30.3	2.4	6.70	Slider upgrade 1 to Living
45.02	2	84	0	30.2	3.6	6.50	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
45.03	2	80	0	18.4	5.3	7.70	
45.04	3	115	0	12.5	3.5	8.40	
45.05	3	105	0	11.7	4.4	8.40	
45.06	3	107	0	14.5	7.1	7.90	
45.07	3	121	0	24	6.1	6.90	
45.08	3	128	0	20.9	9.3	6.90	Slider upgrade 1 to Living
45.09	3	125	0	29.5	3.9	6.60	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
46.01	2	97	0	30.2	2.3	6.70	Slider upgrade 1 to Living
46.02	2	84	0	30.1	3.8	6.50	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
46.03	2	80	0	16.9	6	7.80	
46.04	3	115	0	11	4.2	8.60	
46.05	3	105	0	11.7	4.5	8.40	
46.06	3	107	0	14.5	7.1	7.90	

#DMN/25/2269

Thermal performance specifications

Unit number	Number of Bedrooms	Floor area (m <sup>2</sup> )		Predict. loads		Star Rating	Thermal Comfort Upgrades
		Con.	Uncon.	Heating	Cooling		
46.07	3	121	0	24	6.1	6.90	
46.08	3	128	0	20.8	9.4	6.90	Slider upgrade 1 to Living
46.09	3	125	0	28.3	4.3	6.70	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
47.01	2	97	0	31.3	2.5	6.50	Slider upgrade 1 to Living
47.02	2	84	0	31.1	3.6	6.40	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded)
47.03	2	80	0	17.1	6.1	7.70	
47.04	3	115	0	11.3	4.4	8.50	
47.05	3	105	0	12.1	4.5	8.40	
47.06	3	107	0	14.7	7	7.90	
47.07	3	121	0	24.2	6.1	6.90	
47.08	3	128	0	20.9	9.4	6.90	Slider upgrade 1 to Living
47.09	3	125	0	28.5	4.3	6.60	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
48.01	2	97	0	32.8	2.3	6.40	Slider upgrade 1 to Living Slider upgrade 2 to Bedroom
48.02	2	84	0	33.7	3.1	6.10	Slider upgrade 2 to Bedroom Slider upgrade 4 to Living R4 wall insulation upgrade to the West and South façade (balcony excluded) R6 ceiling/roof insulation
48.03	2	80	0	21.6	4.9	7.40	
48.04	3	115	0	14.6	3.5	8.30	
48.05	3	105	0	11	4.5	8.60	
48.06	3	107	0	17.3	9.9	7.30	
48.07	3	121	0	25.8	7.1	6.60	
48.08	3	128	0	20.4	12.3	6.70	Slider upgrade 4 to Living R5.4 ceiling/roof insulation
48.09	3	125	0	30.4	4.2	6.40	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to the West and South façade (balcony excluded)
49.01	4+	182	0	28.8	8.5	6.10	Slider upgrade 1 to Living and Master bedroom Slider upgrade 4 to Hallway
49.02	3	125	0	8.2	4.7	8.90	
49.03	4+	130	0	15.5	12.9	7.20	
49.04	4+	171	0	23.5	8.3	6.80	Slider upgrade 1 to Living and Bedrooms
49.05	4+	126	0	31.7	5.3	6.10	Slider upgrade 4 to Living and Bedroom
50.01	4+	205	0	24.2	11.4	6.30	R5.4 ceiling/roof insulation
50.02	4+	223	0	13.7	8.1	7.90	R5.4 ceiling/roof insulation
50.03	4+	192	0	25	10.3	6.30	Slider upgrade 1 to Living and Bedroom R5.4 ceiling/roof insulation
50.04	4+	220	0	26.1	10.8	6.10	Slider upgrade 4 to Living and Bedroom R4 wall insulation upgrade to all façades (west wall excluded) Ceiling fans 1200 diam R5.4 ceiling/roof insulation
50.05	4+	231	0	30.4	7.5	6.00	Slider upgrade 4 to Living R4 wall insulation upgrade to the west external wall R5.4 ceiling/roof insulation

## Appendix B – BASIX Assessment

# BASIX™ Certificate

Building Sustainability Index

[www.planningportal.nsw.gov.au/development-and-assessment/basix](http://www.planningportal.nsw.gov.au/development-and-assessment/basix)

## Multi Dwelling

Certificate number: 1838999M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.planningportal.nsw.gov.au/definitions](http://www.planningportal.nsw.gov.au/definitions)

Secretary

Date of issue: Tuesday, 24 March 2026

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate HR-JRVL2V-01.

### Project summary

Project name	601 Pacific Hwy_02
Street address	L 9L 601 PACIFIC HIGHWAY ST LEONARDS 2065
Local Government Area	NORTH SYDNEY
Plan type and plan number	Strata Plan 749690
Lot No.	71
Section no.	-
No. of residential flat buildings	1
Residential flat buildings: no. of dwellings	538
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	0

### Project score

Water	✓ 41	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 63	Target 63
Materials	✓ -100	Target n/a

### Certificate Prepared by

Name / Company Name: LEHR CONSULTANTS INTERNATIONAL (AUSTRALIA) PTY LTD

ABN (if applicable): 92124107973

# Description of project

Project address	
Project name	601 Pacific Hwy_02
Street address	L 9L 601 PACIFIC HIGHWAY ST LEONARDS 2065
Local Government Area	NORTH SYDNEY
Plan type and plan number	Strata Plan 749690
Lot No.	71
Section no.	-
Project type	
No. of residential flat buildings	1
Residential flat buildings: no. of dwellings	538
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	0
Site details	
Site area (m <sup>2</sup> )	2844
Roof area (m <sup>2</sup> )	607
Non-residential floor area (m <sup>2</sup> )	3765
Residential car spaces	294
Non-residential car spaces	6

Common area landscape		
Common area lawn (m <sup>2</sup> )	0	
Common area garden (m <sup>2</sup> )	614	
Area of indigenous or low water use species (m <sup>2</sup> )	550	
Assessor details and thermal loads		
Assessor number	DMN/25/2269	
Certificate number	HR-JRVL2V-01	
Climate zone	56	
Project score		
Water	✔ 41	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 63	Target 63
Materials	✔ -100	Target n/a

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 538 dwellings, 52 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
02.01	2	72	0	0	0
02.05	1	54	0	0	0
02.09	1	52	0	0	0
03.03	1	53	0	0	0
03.07	3	95	0	0	0
04.01	2	72	0	0	0
04.05	1	54	0	0	0
04.09	1	52	0	0	0
06.03	2	80	0	0	0
06.07	1	53	0	0	0
06.11	1	56	0	0	0
07.02	2	84	0	0	0
07.06	2	75	0	0	0
07.10	1	56	0	0	0
08.01	2	91	0	0	0
08.05	1	53	0	0	0
08.09	1	55	0	0	0
08.13	1	69	0	0	0
09.04	1	53	0	0	0
09.08	2	77	0	0	0
09.12	3	111	0	0	0
Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
02.02	2	78	0	0	0
02.06	1	54	0	0	0
02.10	1	61	0	0	0
03.04	1	54	0	0	0
03.08	1	51	0	0	0
04.02	2	78	0	0	0
04.06	1	54	0	0	0
04.10	1	61	0	0	0
06.04	1	53	0	0	0
06.08	2	77	0	0	0
06.12	3	111	0	0	0
07.03	2	80	0	0	0
07.07	1	53	0	0	0
07.11	1	56	0	0	0
08.02	2	84	0	0	0
08.06	2	75	0	0	0
08.10	1	56	0	0	0
09.01	2	91	0	0	0
09.05	1	53	0	0	0
09.09	1	55	0	0	0
09.13	1	69	0	0	0
Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
02.03	1	53	0	0	0
02.07	3	95	0	0	0
03.01	2	72	0	0	0
03.05	1	54	0	0	0
03.09	1	52	0	0	0
04.03	1	53	0	0	0
04.07	1	54	0	0	0
06.01	2	91	0	0	0
06.05	1	53	0	0	0
06.09	1	55	0	0	0
06.13	1	70	0	0	0
07.04	1	53	0	0	0
07.08	2	77	0	0	0
07.12	3	111	0	0	0
08.03	2	80	0	0	0
08.07	1	53	0	0	0
08.11	1	56	0	0	0
09.02	2	84	0	0	0
09.06	2	75	0	0	0
09.10	1	56	0	0	0
10.01	2	91	0	0	0
Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
02.04	1	54	0	0	0
02.08	1	52	0	0	0
03.02	2	78	0	0	0
03.06	1	54	0	0	0
03.10	1	61	0	0	0
04.04	1	54	0	0	0
04.08	1	52	0	0	0
06.02	2	84	0	0	0
06.06	2	75	0	0	0
06.10	1	56	0	0	0
07.01	2	91	0	0	0
07.05	1	53	0	0	0
07.09	1	55	0	0	0
07.13	1	69	0	0	0
08.04	1	53	0	0	0
08.08	2	77	0	0	0
08.12	3	111	0	0	0
09.03	2	80	0	0	0
09.07	1	53	0	0	0
09.11	1	56	0	0	0
10.02	2	84	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
10.03	2	80	0	0	0
10.07	1	53	0	0	0
10.11	1	56	0	0	0
11.02	2	84	0	0	0
11.06	2	75	0	0	0
11.10	1	56	0	0	0
12.01	2	91	0	0	0
12.05	1	53	0	0	0
12.09	1	55	0	0	0
12.13	1	69	0	0	0
13.04	1	53	0	0	0
13.08	2	77	0	0	0
13.12	3	111	0	0	0
14.03	2	80	0	0	0
14.07	1	53	0	0	0
14.11	1	56	0	0	0
15.02	2	84	0	0	0
15.06	2	75	0	0	0
15.10	1	56	0	0	0
16.01	2	91	0	0	0
16.05	1	53	0	0	0
16.09	1	55	0	0	0
16.13	1	69	0	0	0
17.04	1	53	0	0	0
17.08	2	77	0	0	0
17.12	3	111	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
10.04	1	53	0	0	0
10.08	2	77	0	0	0
10.12	3	111	0	0	0
11.03	2	80	0	0	0
11.07	1	53	0	0	0
11.11	1	56	0	0	0
12.02	2	84	0	0	0
12.06	2	75	0	0	0
12.10	1	56	0	0	0
13.01	2	91	0	0	0
13.05	1	53	0	0	0
13.09	1	55	0	0	0
13.13	1	69	0	0	0
14.04	1	53	0	0	0
14.08	2	77	0	0	0
14.12	3	111	0	0	0
15.03	2	80	0	0	0
15.07	1	53	0	0	0
15.11	1	56	0	0	0
16.02	2	84	0	0	0
16.06	2	75	0	0	0
16.10	1	56	0	0	0
17.01	2	91	0	0	0
17.05	1	53	0	0	0
17.09	1	55	0	0	0
17.13	1	69	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
10.05	1	53	0	0	0
10.09	1	55	0	0	0
10.13	1	69	0	0	0
11.04	1	53	0	0	0
11.08	2	77	0	0	0
11.12	3	111	0	0	0
12.03	2	80	0	0	0
12.07	1	53	0	0	0
12.11	1	56	0	0	0
13.02	2	84	0	0	0
13.06	2	75	0	0	0
13.10	1	56	0	0	0
14.01	2	91	0	0	0
14.05	1	53	0	0	0
14.09	1	55	0	0	0
14.13	1	69	0	0	0
15.04	1	53	0	0	0
15.08	2	77	0	0	0
15.12	3	111	0	0	0
16.03	2	80	0	0	0
16.07	1	53	0	0	0
16.11	1	56	0	0	0
17.02	2	84	0	0	0
17.06	2	75	0	0	0
17.10	1	56	0	0	0
18.01	2	91	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
10.06	2	75	0	0	0
10.10	1	56	0	0	0
11.01	2	91	0	0	0
11.05	1	53	0	0	0
11.09	1	55	0	0	0
11.13	1	69	0	0	0
12.04	1	53	0	0	0
12.08	2	77	0	0	0
12.12	3	111	0	0	0
13.03	2	80	0	0	0
13.07	1	53	0	0	0
13.11	1	56	0	0	0
14.02	2	84	0	0	0
14.06	2	75	0	0	0
14.10	1	56	0	0	0
15.01	2	91	0	0	0
15.05	1	53	0	0	0
15.09	1	55	0	0	0
15.13	1	69	0	0	0
16.04	1	53	0	0	0
16.08	2	77	0	0	0
16.12	3	111	0	0	0
17.03	2	80	0	0	0
17.07	1	53	0	0	0
17.11	1	56	0	0	0
18.02	2	84	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
18.03	2	80	0	0	0
18.07	1	53	0	0	0
18.11	1	56	0	0	0
19.02	2	84	0	0	0
19.06	2	75	0	0	0
19.10	1	56	0	0	0
20.01	2	91	0	0	0
20.05	1	53	0	0	0
20.09	1	55	0	0	0
20.13	1	69	0	0	0
21.04	1	53	0	0	0
21.08	2	77	0	0	0
21.12	3	111	0	0	0
22.03	2	80	0	0	0
22.07	1	53	0	0	0
22.11	1	56	0	0	0
23.02	2	84	0	0	0
23.06	2	75	0	0	0
23.10	1	56	0	0	0
24.01	2	91	0	0	0
24.05	1	53	0	0	0
24.09	1	55	0	0	0
24.13	1	69	0	0	0
25.04	1	53	0	0	0
25.08	2	77	0	0	0
25.12	3	111	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
18.04	1	53	0	0	0
18.08	2	77	0	0	0
18.12	3	111	0	0	0
19.03	2	80	0	0	0
19.07	1	53	0	0	0
19.11	1	56	0	0	0
20.02	2	84	0	0	0
20.06	2	75	0	0	0
20.10	1	56	0	0	0
21.01	2	91	0	0	0
21.05	1	53	0	0	0
21.09	1	55	0	0	0
21.13	1	69	0	0	0
22.04	1	53	0	0	0
22.08	2	77	0	0	0
22.12	3	111	0	0	0
23.03	2	80	0	0	0
23.07	1	53	0	0	0
23.11	1	56	0	0	0
24.02	2	84	0	0	0
24.06	2	75	0	0	0
24.10	1	56	0	0	0
25.01	2	91	0	0	0
25.05	1	53	0	0	0
25.09	1	55	0	0	0
25.13	1	69	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
18.05	1	53	0	0	0
18.09	1	55	0	0	0
18.13	1	69	0	0	0
19.04	1	53	0	0	0
19.08	2	77	0	0	0
19.12	3	111	0	0	0
20.03	2	80	0	0	0
20.07	1	53	0	0	0
20.11	1	56	0	0	0
21.02	2	84	0	0	0
21.06	2	75	0	0	0
21.10	1	56	0	0	0
22.01	2	91	0	0	0
22.05	1	53	0	0	0
22.09	1	55	0	0	0
22.13	1	69	0	0	0
23.04	1	53	0	0	0
23.08	2	77	0	0	0
23.12	3	111	0	0	0
24.03	2	80	0	0	0
24.07	1	53	0	0	0
24.11	1	56	0	0	0
25.02	2	84	0	0	0
25.06	2	75	0	0	0
25.10	1	56	0	0	0
26.01	2	91	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
18.06	2	75	0	0	0
18.10	1	56	0	0	0
19.01	2	91	0	0	0
19.05	1	53	0	0	0
19.09	1	55	0	0	0
19.13	1	69	0	0	0
20.04	1	53	0	0	0
20.08	2	77	0	0	0
20.12	3	111	0	0	0
21.03	2	80	0	0	0
21.07	1	53	0	0	0
21.11	1	56	0	0	0
22.02	2	84	0	0	0
22.06	2	75	0	0	0
22.10	1	56	0	0	0
23.01	2	91	0	0	0
23.05	1	53	0	0	0
23.09	1	55	0	0	0
23.13	1	69	0	0	0
24.04	1	53	0	0	0
24.08	2	77	0	0	0
24.12	3	111	0	0	0
25.03	2	80	0	0	0
25.07	1	53	0	0	0
25.11	1	56	0	0	0
26.02	2	84	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
26.03	2	80	0	0	0
26.07	1	53	0	0	0
26.11	1	56	0	0	0
27.02	2	84	0	0	0
27.06	2	75	0	0	0
27.10	1	56	0	0	0
28.01	2	91	0	0	0
28.05	1	53	0	0	0
28.09	1	55	0	0	0
28.13	1	69	0	0	0
29.04	1	53	0	0	0
29.08	2	77	0	0	0
29.12	3	111	0	0	0
30.03	2	80	0	0	0
30.07	1	53	0	0	0
30.11	1	56	0	0	0
31.02	2	84	0	0	0
31.06	2	75	0	0	0
31.10	1	56	0	0	0
32.01	2	91	0	0	0
32.05	1	53	0	0	0
32.09	1	55	0	0	0
32.13	1	69	0	0	0
33.04	1	53	0	0	0
33.08	2	77	0	0	0
33.12	3	112	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
26.04	1	53	0	0	0
26.08	2	77	0	0	0
26.12	3	111	0	0	0
27.03	2	80	0	0	0
27.07	1	53	0	0	0
27.11	1	56	0	0	0
28.02	2	84	0	0	0
28.06	2	75	0	0	0
28.10	1	56	0	0	0
29.01	2	91	0	0	0
29.05	2	74	0	0	0
29.09	1	55	0	0	0
29.13	1	69	0	0	0
30.04	1	53	0	0	0
30.08	2	77	0	0	0
30.12	3	111	0	0	0
31.03	2	80	0	0	0
31.07	1	53	0	0	0
31.11	1	56	0	0	0
32.02	2	84	0	0	0
32.06	2	75	0	0	0
32.10	1	56	0	0	0
33.01	2	97	0	0	0
33.05	1	53	0	0	0
33.09	1	55	0	0	0
34.01	2	97	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
26.05	1	53	0	0	0
26.09	1	55	0	0	0
26.13	1	69	0	0	0
27.04	1	53	0	0	0
27.08	2	77	0	0	0
27.12	3	111	0	0	0
28.03	2	80	0	0	0
28.07	1	53	0	0	0
28.11	1	56	0	0	0
29.02	2	84	0	0	0
29.06	2	75	0	0	0
29.10	1	56	0	0	0
30.01	2	91	0	0	0
30.05	1	53	0	0	0
30.09	1	55	0	0	0
30.13	1	69	0	0	0
31.04	1	53	0	0	0
31.08	2	77	0	0	0
31.12	3	111	0	0	0
32.03	2	80	0	0	0
32.07	1	53	0	0	0
32.11	1	56	0	0	0
33.02	2	84	0	0	0
33.06	2	75	0	0	0
33.10	1	56	0	0	0
34.02	2	84	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
26.06	2	75	0	0	0
26.10	1	56	0	0	0
27.01	2	91	0	0	0
27.05	1	53	0	0	0
27.09	1	55	0	0	0
27.13	1	69	0	0	0
28.04	1	53	0	0	0
28.08	2	77	0	0	0
28.12	3	111	0	0	0
29.03	2	80	0	0	0
29.07	1	53	0	0	0
29.11	1	56	0	0	0
30.02	2	84	0	0	0
30.06	2	75	0	0	0
30.10	1	56	0	0	0
31.01	2	91	0	0	0
31.05	1	53	0	0	0
31.09	1	55	0	0	0
31.13	1	69	0	0	0
32.04	1	53	0	0	0
32.08	2	77	0	0	0
32.12	3	112	0	0	0
33.03	2	80	0	0	0
33.07	1	53	0	0	0
33.11	1	56	0	0	0
34.03	2	80	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
34.04	3	115	0	0	0
34.08	3	128	0	0	0
35.03	2	80	0	0	0
35.07	3	121	0	0	0
36.02	2	84	0	0	0
36.06	1	107	0	0	0
37.01	2	97	0	0	0
37.05	3	104	0	0	0
37.09	3	125	0	0	0
38.04	3	115	0	0	0
38.08	3	128	0	0	0
39.03	2	80	0	0	0
39.07	3	121	0	0	0
40.02	2	84	0	0	0
40.06	1	107	0	0	0
41.01	2	97	0	0	0
41.05	3	104	0	0	0
41.09	3	125	0	0	0
42.04	3	115	0	0	0
42.08	3	128	0	0	0
43.03	2	80	0	0	0
43.07	3	121	0	0	0
44.02	2	84	0	0	0
44.06	1	107	0	0	0
45.01	2	97	0	0	0
45.05	3	104	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
34.05	3	105	0	0	0
34.09	3	125	0	0	0
35.04	3	115	0	0	0
35.08	3	128	0	0	0
36.03	2	80	0	0	0
36.07	3	121	0	0	0
37.02	2	84	0	0	0
37.06	1	107	0	0	0
38.01	2	97	0	0	0
38.05	3	104	0	0	0
38.09	3	125	0	0	0
39.04	3	115	0	0	0
39.08	3	128	0	0	0
40.03	2	80	0	0	0
40.07	3	121	0	0	0
41.02	2	84	0	0	0
41.06	1	107	0	0	0
42.01	2	97	0	0	0
42.05	3	104	0	0	0
42.09	3	125	0	0	0
43.04	3	115	0	0	0
43.08	3	128	0	0	0
44.03	2	80	0	0	0
44.07	3	121	0	0	0
45.02	2	84	0	0	0
45.06	1	107	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
34.06	3	107	0	0	0
35.01	2	97	0	0	0
35.05	3	104	0	0	0
35.09	3	125	0	0	0
36.04	3	115	0	0	0
36.08	3	128	0	0	0
37.03	2	80	0	0	0
37.07	3	121	0	0	0
38.02	2	84	0	0	0
38.06	1	107	0	0	0
39.01	2	97	0	0	0
39.05	3	104	0	0	0
39.09	3	125	0	0	0
40.04	3	115	0	0	0
40.08	3	128	0	0	0
41.03	2	80	0	0	0
41.07	3	121	0	0	0
42.02	2	84	0	0	0
42.06	1	107	0	0	0
43.01	2	97	0	0	0
43.05	3	104	0	0	0
43.09	3	125	0	0	0
44.04	3	115	0	0	0
44.08	3	128	0	0	0
45.03	2	80	0	0	0
45.07	3	121	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
34.07	3	121	0	0	0
35.02	2	84	0	0	0
35.06	1	107	0	0	0
36.01	2	97	0	0	0
36.05	3	104	0	0	0
36.09	3	125	0	0	0
37.04	3	115	0	0	0
37.08	3	128	0	0	0
38.03	2	80	0	0	0
38.07	3	121	0	0	0
39.02	2	84	0	0	0
39.06	1	107	0	0	0
40.01	2	97	0	0	0
40.05	3	104	0	0	0
40.09	3	125	0	0	0
41.04	3	115	0	0	0
41.08	3	128	0	0	0
42.03	2	80	0	0	0
42.07	3	121	0	0	0
43.02	2	84	0	0	0
43.06	1	107	0	0	0
44.01	2	97	0	0	0
44.05	3	104	0	0	0
44.09	3	125	0	0	0
45.04	3	115	0	0	0
45.08	3	128	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
45.09	3	125	0	0	0
46.04	3	115	0	0	0
46.08	3	128	0	0	0
47.03	2	80	0	0	0
47.07	3	121	0	0	0
48.02	2	84	0	0	0
48.06	1	107	0	0	0
49.01	4+	182	0	0	0
49.05	3	126	0	0	0
50.04	4+	220	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
46.01	2	97	0	0	0
46.05	3	104	0	0	0
46.09	3	125	0	0	0
47.04	3	115	0	0	0
47.08	3	128	0	0	0
48.03	2	80	0	0	0
48.07	3	121	0	0	0
49.02	3	125	0	0	0
50.01	4+	205	0	0	0
50.05	4+	231	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
46.02	2	84	0	0	0
46.06	1	107	0	0	0
47.01	2	97	0	0	0
47.05	3	104	0	0	0
47.09	3	125	0	0	0
48.04	3	115	0	0	0
48.08	3	128	0	0	0
49.03	4+	130	0	0	0
50.02	4+	223	0	0	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
46.03	2	80	0	0	0
46.07	3	121	0	0	0
47.02	2	84	0	0	0
47.06	1	107	0	0	0
48.01	2	97	0	0	0
48.05	3	104	0	0	0
48.09	3	125	0	0	0
49.04	4+	171	0	0	0
50.03	4+	192	0	0	0

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )
Lift bank (No. 1)	-	Pool and SPA room	343	Residential Gym	186
Shared Carpark and Loading Zone	1257	Residential Carpark	11392	Residential Switch Room	61
Shared Substation	136	Residential Waste Storage and Recycle	448	Shared service room	460
Residential service room	865	Shared Rooftop/Balcony Plant	824	Residential Ammenities	348
Residential WC	96	Residential Storage	752	Fire egress corridor	172
Residential corridor	5755	Residential lobby	295	Lift bank (No. 2)	-

# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Buildings

(i) Materials

### (b) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Performance

### (c) Common areas and central systems/facilities

(i) Water

(ii) Energy

## 2. Commitments for multi-dwelling housing

### (a) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Performance and Materials

## 3. Commitments for single dwelling houses

### (a) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Performance and Materials

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

### (b) Common areas and central systems/facilities

(i) Water

(ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Buildings

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

#### Floor types

Floor type	Area (m2)	Insulation	Low emissions option
suspended floor above enclosed subfloor, frame: suspended concrete slab	701.5	fibreglass batts or roll	-
suspended floor above enclosed subfloor, frame: suspended concrete slab	66467.7	-	-

#### External wall types

External wall type	Construction type	Area (m2)	Low emissions option	Insulation
External wall type 1	off form concrete, frame: no frame	1422.8	none	fibreglass batts or roll
External wall type 2	framed (metal clad), frame: light steel frame	7380.4	-	fibreglass batts or roll

### Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame:light steel frame	18715	-
Internal wall type 2	75 mm AAC panel, frame:light steel frame	9679	-
Internal wall type 3	75 mm AAC panel, frame:light steel frame	11528	fibreglass batts or roll

### Reinforcement concrete frames/columns

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
yes	9686	-

### Ceiling and roof types

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
concrete - plasterboard internal, frame: no frame	58418.3	-	-
concrete - plasterboard internal, frame: no frame	2482.1	-	fibreglass batts or roll

### Glazing types

### Frame types

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
5028.1	10530.1	-	15558.2	-	-	-	-

**(b) Dwellings**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install:  (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and  (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔  ✔	✔  ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	5 star	5 star	-	3 star	3 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 1)	individual fan into central duct + VSD	manual switch on/off	individual fan into central duct + VSD	manual switch on/off	individual fan into central duct + VSD	manual switch on/off

Dwelling no.	Cooling		Heating		Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
04.08	1-phase airconditioning - ducted / 1 star (average zone)	1-phase airconditioning - ducted / 1 star (average zone)	Central heating system (No. 1)	Central heating system (No. 1)	0	no
34.09	Central cooling system (No. 1)	Central cooling system (No. 1)	-	-	0	-
02.01, 02.02, 02.03, 02.04, 02.05, 02.06, 02.07, 02.08, 02.09, 02.10, 03.01, 03.02, 03.03, 03.04, 03.05, 03.06, 03.07, 03.08, 03.09, 03.10, 04.01, 04.02, 04.03, 04.04, 04.05, 04.06,	1-phase airconditioning - ducted / 1 star (average zone)	1-phase airconditioning - ducted / 1 star (average zone)	1-phase airconditioning - ducted / 3 star (average zone)	1-phase airconditioning - ducted / 3 star (average zone)	0	no

Dwelling no.	Cooling		Heating		Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
04.07, 04.09, 04.10						
All other dwellings	Central cooling system (No. 1)	Central cooling system (No. 1)	Central heating system (No. 1)	Central heating system (No. 1)	0	no

Dwelling no.	Individual pool			Individual spa		Appliances other efficiency measures				
	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
04.07, 04.08, 04.09, 04.10, 26.06, 26.07, 26.08, 26.09, 26.10, 26.11, 26.12, 26.13, 34.09	-	-	-	-	-	induction cooktop & electric oven	4 star	4 star	-	-
All other dwellings	-	-	-	-	-	induction cooktop & electric oven	4 star	4 star	no	no

(iii) Thermal Performance	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

<b>(iii) Thermal Performance</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or  (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

<b>Thermal loads</b>			
<b>Dwelling no.</b>	<b>Area adjusted heating load (in MJ/m<sup>2</sup>/yr)</b>	<b>Area adjusted cooling load (in MJ/m<sup>2</sup>/yr)</b>	<b>Area adjusted total load (in MJ/m<sup>2</sup>/yr)</b>
02.01	29.8	3.2	33.000
02.02	26.6	4.1	30.700
02.03	22	6.2	28.200
02.04	24.5	6.2	30.700
02.05	27.5	7.1	34.600
02.06	19	5.7	24.700
02.07	8.4	8.7	17.100
02.08	26.8	7	33.800

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
02.09	23.4	7.7	31.100
02.10	19.4	5.7	25.100
03.01	20.6	4.2	24.800
03.02	24.6	4.5	29.100
03.03	23.1	4.8	27.900
03.04	26.6	5.1	31.700
03.05	28.7	6.8	35.500
03.06	19.9	5.2	25.100
03.07	11.3	7.7	19.000
03.08	26.1	7.4	33.500
03.09	20.7	7.5	28.200
03.10	18.4	5.4	23.800
04.01	28.5	4	32.500
04.02	29.6	4.9	34.500
04.03	26.6	4.9	31.500
04.04	29.2	4.6	33.800
04.05	27.7	6.2	33.900
04.06	26.3	4.5	30.800
04.07	26.9	4.6	31.500
04.08	27	7.1	34.100
04.10	21.3	5.3	26.600
06.01	27.2	2.4	29.600
06.02	29.9	2.3	32.200
06.04	25.7	4.8	30.500
06.05	26	5.1	31.100
06.06	28.2	3	31.200
06.07	20.8	4.7	25.500
06.08	17.7	5.8	23.500
06.09	20.3	6.2	26.500
06.10	18.5	6	24.500
06.11	21.3	5.6	26.900

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
06.12	26.4	6.1	32.500
06.13	21.7	5.3	27.000
07.01	25.8	2.7	28.500
07.02	27.4	2.2	29.600
07.03	28.1	2.9	31.000
07.04	25.2	4.7	29.900
07.05	25.5	4.6	30.100
07.06	27.9	3	30.900
07.07	20.4	4.9	25.300
07.08	15.4	5.6	21.000
07.09	22.5	5.7	28.200
07.10	18.1	6.2	24.300
07.11	22.5	6	28.500
07.12	26.2	6	32.200
07.13	21.7	5.2	26.900
08.01	26.8	2.5	29.300
08.02	29.2	2	31.200
08.03	29.9	2.8	32.700
08.04	25.9	4.7	30.600
08.05	26.2	4.6	30.800
08.06	28.6	2.9	31.500
08.07	21.1	4.7	25.800
08.08	13.2	5.6	18.800
08.09	23.1	6.10	29.200
08.10	18.2	7.2	25.400
08.11	22.6	6	28.600
08.12	27.2	5.4	32.600
08.13	22.3	6.9	29.200
09.01	26.7	2.90	29.600
09.02	28.4	2.1	30.500
09.03	29.3	3	32.300

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
09.04	26.4	4.9	31.300
09.05	26.7	4.9	31.600
09.07	21.6	5	26.600
09.08	12.4	6.5	18.900
09.09	23.3	7	30.300
09.10	18.2	7.6	25.800
09.11	21.8	6.4	28.200
09.12	30.4	4.5	34.900
09.13	24.2	6.2	30.400
10.01	27.1	2.8	29.900
10.02	28.7	2.1	30.800
10.03	29.7	3	32.700
10.04	26.9	4.9	31.800
10.05	27.2	4.9	32.100
10.06	29.6	3.1	32.700
10.07	22	5	27.000
10.08	12.2	6.7	18.900
10.09	23.3	7.6	30.900
10.10	27.5	8	35.500
10.11	19.9	6.8	26.700
10.12	25.4	6.3	31.700
10.13	23	7.2	30.200
11.01	28.2	2.8	31.000
11.02	27.5	2.9	30.400
11.03	29.5	4	33.500
11.04	27.8	5.1	32.900
11.05	28.1	5	33.100
11.06	30.5	3	33.500
11.07	22.9	5.1	28.000
11.08	12.4	7	19.400
11.09	18.2	6.8	25.000

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
11.10	27	8.2	35.200
11.11	19.8	6.7	26.500
11.12	25.7	6.4	32.100
11.13	23.7	7.5	31.200
12.01	28.7	3.4	32.100
12.03	31.5	4.2	35.700
12.04	28.1	6.6	34.700
12.05	28.3	6.7	35.000
12.06	30.9	5	35.900
12.07	23.4	6.7	30.100
12.08	12.9	10.8	23.700
12.09	21	11.2	32.200
12.10	15.8	12.7	28.500
12.11	16.5	9.8	26.300
12.12	25.9	6.9	32.800
12.13	24.9	10	34.900
13.01	30.5	1.9	32.400
13.02	31.9	2.1	34.000
13.03	31.6	3.3	34.900
13.04	25.7	5.4	31.100
13.05	26	5.8	31.800
13.08	19.4	7	26.400
13.09	29.6	7.6	37.200
13.10	19.1	8.8	27.900
13.11	23.3	6.9	30.200
13.12	32.6	4.2	36.800
13.13	32.7	4.5	37.200
14.01	30.6	1.9	32.500
14.02	32.8	2	34.800
14.03	32.6	3.2	35.800
14.05	26.5	5.5	32.000

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
14.07	31.1	4.6	35.700
14.08	19.5	6.9	26.400
14.09	29.6	7.9	37.500
14.10	24.1	8.4	32.500
14.11	23.2	6.8	30.000
14.12	28.3	4.9	33.200
14.13	31.3	5.6	36.900
15.01	30.5	2	32.500
15.02	32.1	2.1	34.200
15.03	31.6	3.5	35.100
15.05	26.3	5.8	32.100
15.06	33.3	3	36.300
15.07	31.4	4.5	35.900
15.08	19.8	6.8	26.600
15.09	30	7.9	37.900
15.10	21.5	8.6	30.100
15.11	23.5	6.7	30.200
15.12	28.6	4.9	33.500
15.13	31.4	5.6	37.000
16.01	30.7	1.9	32.600
16.02	32.2	2.1	34.300
16.03	32.8	3.6	36.400
16.04	26.9	5.8	32.700
16.05	26.9	5.4	32.300
16.06	33.3	3.1	36.400
16.07	31.4	4.6	36.000
16.08	19.9	6.9	26.800
16.10	21.6	8.2	29.800
16.11	23.6	6.8	30.400
16.12	29.2	4.9	34.100
16.13	31.6	5.7	37.300

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
17.01	31.3	1.9	33.200
17.02	33.3	2	35.300
17.03	32.5	3.3	35.800
17.04	26.6	5.7	32.300
17.05	26.7	5.8	32.500
17.06	33.1	3.2	36.300
17.07	31.5	4.6	36.100
17.08	20.1	7	27.100
17.09	30.1	7.9	38.000
17.10	21.8	8.4	30.200
17.11	23.7	6.7	30.400
17.12	32.9	4.2	37.100
17.13	33.3	4.5	37.800
18.03	34.1	3.7	37.800
18.04	30	5.1	35.100
18.05	29.6	5.5	35.100
18.06	30	3.7	33.700
18.07	27.1	5.7	32.800
18.08	19.4	7.1	26.500
18.09	23	7.6	30.600
18.10	25.4	6.9	32.300
18.11	23.1	6.8	29.900
18.12	28.5	4.9	33.400
18.13	28.6	4.4	33.000
19.02	31.3	2.3	33.600
19.03	33.1	3.3	36.400
19.04	32.5	5.2	37.700
19.05	29.9	4.7	34.600
19.06	32.2	3.1	35.300
19.07	30.7	4.6	35.300
19.08	20.5	6.4	26.900

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
19.10	20.9	7.8	28.700
19.11	25.3	6.4	31.700
19.12	29.7	4.7	34.400
19.13	27.5	5	32.500
20.01	32.3	1.9	34.200
20.03	32.3	3.2	35.500
20.04	29.5	5.2	34.700
20.05	29.6	5.7	35.300
20.06	30.1	3.2	33.300
20.07	29.1	4.6	33.700
20.08	20.1	6.5	26.600
20.09	25.1	6.7	31.800
20.10	21.1	7.9	29.000
20.12	28.9	4.9	33.800
20.13	27.6	4.7	32.300
21.01	31.9	2	33.900
21.02	32.2	2.3	34.500
21.03	33.3	3.5	36.800
21.04	28.5	4.6	33.100
21.05	28.6	4.6	33.200
21.06	24.1	3.2	27.300
21.07	25.2	4.6	29.800
21.08	17.6	6.9	24.500
21.09	25.2	6.9	32.100
21.10	21.2	7.9	29.100
21.12	29	4.9	33.900
21.13	29.1	4	33.100
22.01	32	2	34.000
22.02	32.3	2.2	34.500
22.03	24.5	3.7	28.200
22.04	17.7	4.6	22.300

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
22.05	17	4.9	21.900
22.06	15.7	3.2	18.900
22.07	16.4	4.6	21.000
22.08	15.6	6.7	22.300
22.09	25.4	7	32.400
22.10	23.1	7.6	30.700
22.11	24.9	6.8	31.700
22.12	28.4	4.8	33.200
22.13	27.9	4.8	32.700
23.01	32.6	3.4	36.000
23.02	33	4.2	37.200
23.04	21.8	8.8	30.600
23.05	20.3	8.9	29.200
23.06	19.1	6.5	25.600
23.07	20.8	8.7	29.500
23.08	17.1	11.1	28.200
23.09	26.4	11.2	37.600
23.10	22.6	12.6	35.200
23.11	25.8	10.7	36.500
23.12	29.2	7.3	36.500
23.13	28.3	8.6	36.900
24.02	32.6	2.2	34.800
24.03	23.1	3.4	26.500
24.05	14.1	5.1	19.200
24.06	17	3.9	20.900
24.07	14.6	5.3	19.900
24.09	24.6	7.8	32.400
24.11	24.6	6.9	31.500
24.12	33.1	4.2	37.300
25.01	32.7	1.9	34.600
25.02	32.5	2.2	34.700

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
25.03	21.5	3.4	24.900
25.05	13.4	4.9	18.300
25.06	16	3.8	19.800
25.07	13.6	5.1	18.700
25.10	26.7	6.5	33.200
25.11	25.8	6.9	32.700
25.12	28.8	4.9	33.700
25.13	28.6	3.7	32.300
26.01	33	1.9	34.900
26.02	33.4	2.2	35.600
26.03	21.3	3.4	24.700
26.04	13.7	4.5	18.200
26.05	13.2	5.1	18.300
26.06	15.9	3.8	19.700
26.07	13.5	5.1	18.600
26.08	14.7	6.9	21.600
26.09	26.4	6.7	33.100
26.11	25.9	6.7	32.600
26.12	29.6	4.8	34.400
26.13	28.7	3.9	32.600
27.01	33	2	35.000
27.03	20	3.4	23.400
27.04	13.6	4.7	18.300
27.05	13.1	4.9	18.000
27.06	15.9	3.9	19.800
27.07	11.6	7.1	18.700
27.08	14.9	6.9	21.800
27.10	27.2	6.3	33.500
27.12	33.4	4.1	37.500
27.13	30.2	3.6	33.800
28.01	32.9	2	34.900

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
28.02	32.7	2.30	35.000
28.03	19.6	3.4	23.000
28.04	13.2	4.7	17.900
28.05	13.1	5	18.100
28.06	15.8	3.9	19.700
28.07	13.5	5	18.500
28.08	14.8	6.9	21.700
28.09	26.6	6.6	33.200
28.10	27	6.6	33.600
28.11	26.1	6.4	32.500
28.12	28.9	4.8	33.700
28.13	28.8	3.8	32.600
29.01	33.4	3.2	36.600
29.02	33.6	4.1	37.700
29.03	23.6	6	29.600
29.04	19.1	8.4	27.500
29.05	18.4	8.7	27.100
29.06	21	7.1	28.100
29.07	19	9	28.000
29.08	14.9	12.5	27.400
29.09	25.5	10.5	36.000
29.10	25.7	10.2	35.900
29.11	23.8	11.8	35.600
29.13	29.3	7.1	36.400
30.02	32.9	2.9	35.800
30.03	18.7	3.9	22.600
30.04	13.7	5	18.700
30.05	13.8	5.1	18.900
30.06	17.1	3.9	21.000
30.07	13.9	5.3	19.200
30.08	12.1	7.3	19.400

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
30.09	24.9	7.1	32.000
30.10	25.5	6.9	32.400
30.12	31.6	4.4	36.000
30.13	28.3	3.7	32.000
31.03	18.8	3.9	22.700
31.06	17.2	3.9	21.100
31.09	26.9	6.9	33.800
31.10	25.7	6.6	32.300
31.13	26.9	4.2	31.100
32.01	33.2	2	35.200
32.02	31.4	2.4	33.800
32.03	19.5	3.8	23.300
32.04	13.8	5	18.800
32.05	13.8	5.2	19.000
32.06	17.1	4	21.100
32.09	26.9	6.7	33.600
32.10	26.8	7.1	33.900
32.11	26.3	6.6	32.900
32.12	31.1	4.7	35.800
32.13	26.9	4.3	31.200
33.01	32.2	1.8	34.000
33.02	31.5	2.5	34.000
33.03	20.6	3.9	24.500
33.04	15.6	5.6	21.200
33.05	15.4	5.3	20.700
33.06	18.2	4.4	22.600
33.07	15.4	5.4	20.800
33.08	15.7	7	22.700
33.09	28.6	6.8	35.400
33.11	27	6.5	33.500
33.12	32.8	5	37.800

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
34.01	30.2	2	32.200
34.02	33.6	2.6	36.200
34.03	16.9	4.4	21.300
34.04	11.9	3.2	15.100
34.05	10.2	3.7	13.900
34.06	13.5	6.3	19.800
34.07	24	5.6	29.600
34.08	25.9	8.3	34.200
34.09	33	2.7	35.700
35.01	33.9	1.8	35.700
35.02	32.3	2.4	34.700
35.03	18.1	4.2	22.300
35.04	12.4	2.9	15.300
35.05	10.5	3.6	14.100
35.06	14.4	6.5	20.900
35.07	24.3	5.4	29.700
35.08	22.5	7.8	30.300
35.09	32.2	2.8	35.000
36.03	17.9	4.2	22.100
36.04	12.5	2.9	15.400
36.05	10.4	3.6	14.000
36.06	14.6	6.4	21.000
36.07	24.4	5.4	29.800
36.08	22.6	7.9	30.500
36.09	32.4	2.7	35.100
37.01	34.1	1.8	35.900
37.02	34.1	2.3	36.400
37.03	18	4.2	22.200
37.07	24.5	5.5	30.000
37.08	22.5	7.9	30.400
37.09	31.9	2.7	34.600

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
38.03	18.4	4.2	22.600
38.05	10.6	3.6	14.200
38.07	24.5	5.4	29.900
38.08	22.4	8	30.400
38.09	29.6	3.3	32.900
39.01	32.4	1.9	34.300
39.02	33.3	2.3	35.600
39.03	18.1	4.3	22.400
39.04	12.7	2.8	15.500
39.06	14.9	6.4	21.300
39.07	24.7	5.4	30.100
39.08	22.4	8.1	30.500
39.09	31.5	3	34.500
40.01	32.2	3.2	35.400
40.02	32.6	4.7	37.300
40.04	15.3	5.4	20.700
40.05	16	6.5	22.500
40.06	16.8	9.2	26.000
40.09	29.9	5	34.900
41.01	27.6	2.7	30.300
41.02	31.4	3.3	34.700
41.03	14.8	5.8	20.600
41.04	8.3	4.3	12.600
41.05	11.6	4.4	16.000
41.06	14.2	7.1	21.300
41.09	28.3	4	32.300
42.01	30.1	2.1	32.200
42.02	30.2	3.4	33.600
42.03	18.3	4.6	22.900
42.04	12.3	3.4	15.700
42.06	14.2	6.7	20.900

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
42.07	23.7	5.3	29.000
42.08	20.7	8.2	28.900
42.09	29.2	3.6	32.800
43.01	30.1	2.2	32.300
43.03	16.9	5.6	22.500
43.04	10.9	3.9	14.800
43.05	11.6	3.9	15.500
43.06	14.3	6.7	21.000
43.07	23.9	5.4	29.300
43.08	20.6	8.3	28.900
43.09	28.3	3.9	32.200
44.01	31.3	2	33.300
44.02	31.2	3.2	34.400
44.03	17	5.6	22.600
44.04	11	3.9	14.900
44.06	14.3	6.8	21.100
44.07	23.9	5.5	29.400
44.08	20.6	8.4	29.000
44.09	28.2	3.8	32.000
45.01	30.2	2.2	32.400
45.02	30.2	3.3	33.500
45.03	18.4	4.7	23.100
45.04	12.5	3.3	15.800
45.05	11.7	4	15.700
45.06	14.5	6.8	21.300
45.07	24	5.5	29.500
45.08	20.9	9.3	30.200
45.09	29.5	3.7	33.200
46.01	30.2	2.1	32.300
46.03	16.9	6	22.900
46.04	11	4.2	15.200

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
46.05	11.7	4.5	16.200
46.07	24	6.1	30.100
46.09	28.3	4.3	32.600
47.01	31.3	2.5	33.800
47.02	31.1	3.6	34.700
47.03	17.1	6.1	23.200
47.04	11.3	4.4	15.700
47.05	12.1	4.5	16.600
47.07	24.2	6.1	30.300
47.09	28.5	4.3	32.800
48.02	33.7	3.1	36.800
48.03	21.6	4.9	26.500
48.04	14.6	3.5	18.100
48.05	11	4.5	15.500
48.06	9.9	7.3	17.200
48.07	25.8	7.1	32.900
48.08	20.4	12.3	32.700
48.09	30.4	4.2	34.600
49.01	28.8	8.5	37.300
49.02	8.2	4.7	12.900
49.03	15.5	12.9	28.400
49.04	23.5	8.3	31.800
49.05	31.7	5.3	37.000
50.01	24.2	11.4	35.600
50.02	13.7	8.1	21.800
50.03	25	10.3	35.300
50.04	26.1	10.8	36.900
50.05	30.4	7.5	37.900
04.09, 40.03	22.9	7	29.900
06.03, 09.06	29.1	3.1	32.200
12.02, 43.02	30.3	3.4	33.700

Dwelling no.	Thermal loads		
	Area adjusted heating load (in MJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in MJ/m <sup>2</sup> /yr)	Area adjusted total load (in MJ/m <sup>2</sup> /yr)
13.06, 14.06	33	3	36.000
13.07, 31.12	31	4.6	35.600
14.04, 15.04	25.8	5.7	31.500
16.09, 29.12	30.1	7.5	37.600
18.01, 19.01	31.6	1.9	33.500
18.02, 27.02	32.9	2.3	35.200
19.09, 30.11	24.9	6.9	31.800
20.02, 30.01	32.8	2.1	34.900
20.11, 21.11	24.8	6.6	31.400
23.03, 31.11	26.4	6.5	32.900
24.01, 31.01	32.7	2	34.700
24.04, 25.04	15.1	4.9	20.000
24.08, 46.06	14.5	7.1	21.600
24.10, 26.10	26.9	6.3	33.200
24.13, 46.02	30.1	3.8	33.900
25.08, 47.06	14.7	7	21.700
25.09, 27.11	26.2	6.4	32.600
27.09, 33.10	26.8	6.7	33.500
31.02, 48.01	32.8	2.3	35.100
31.04, 31.05	13.9	5.1	19.000
31.07, 32.07	14.1	5.3	19.400
31.08, 32.08	12.9	6.8	19.700
36.01, 38.01	34.2	1.8	36.000
36.02, 38.02	34.3	2.3	36.600
37.04, 38.04	12.6	2.8	15.400
37.05, 39.05	10.7	3.7	14.400
37.06, 38.06	14.7	6.4	21.100
40.07, 41.07	23.7	6.3	30.000
40.08, 41.08	20.6	9.6	30.200
42.05, 44.05	11.5	3.9	15.400
All other dwellings	20.9	9.4	30.300

**(c) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 7.5 but <= 9 L/min)	4 star	5 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	50000	To collect run-off from at least: - 607 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 614 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 614 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site
Fire sprinkler system (No. 1)	-	-	-
Fire sprinkler system (No. 2)	-	-	-
Fire sprinkler system (No. 3)	-	-	-
Spa (No. 1)	Volume: 4 kLs	Location: Sauna/Steam room Spa cover: no	-

Central systems	Size	Configuration	Connection (to allow for...)
Swimming pool (No. 1)	Volume: 190 kLs	Location: Sauna/Steam room	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Lift bank (No. 1)	-	-	light-emitting diode	connected to lift call button	yes
Pool and SPA room	air conditioning system	time clock or BMS controlled	light-emitting diode	manual on / manual off	yes
Residential Gym	air conditioning system	time clock or BMS controlled	light-emitting diode	time clocks	yes
Shared Carpark and Loading Zone	ventilation exhaust only	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	yes
Residential Carpark	ventilation exhaust only	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	yes
Residential Switch Room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	motion sensors	yes
Shared Substation	no mechanical ventilation	-	light-emitting diode	motion sensors	yes
Residential Waste Storage and Recycle	air conditioning system	-	light-emitting diode	motion sensors	yes
Shared service room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	motion sensors	yes
Residential service room	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	motion sensors	yes
Shared Rooftop/Balcony Plant	no mechanical ventilation	-	light-emitting diode	motion sensors	yes

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Residential Amenities	air conditioning system	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	yes
Residential WC	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	motion sensors	yes
Residential Storage	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	yes
Fire egress corridor	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	yes
Residential corridor	ventilation supply only	time clock or BMS controlled	light-emitting diode	motion sensors	yes
Residential lobby	air conditioning system	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	yes
Lift bank (No. 2)	-	-	light-emitting diode	connected to lift call button	yes

Central energy systems	Type	Specification
Sauna (No. 1)	Heating source: electric infrared	Efficiency measure: manual on / timer off
Lift bank (No. 1)	gearless traction with V V V F motor and regenerative drive	Number of levels with apartments served by a lift: 46 number of levels from the bottom of the lift shaft to the top of the lift shaft: 52 number of lifts: 3 lift load capacity: $\geq 1001$ kg but $\leq 1500$ kg
Lift bank (No. 2)	gearless traction with V V V F motor and regenerative drive	Number of levels with apartments served by a lift: 48 number of levels from the bottom of the lift shaft to the top of the lift shaft: 54 number of lifts: 3 lift load capacity: $\geq 1001$ kg but $\leq 1500$ kg
Central hot water system (No. 1)	electric heat pump – air sourced	Piping insulation (ringmain & supply risers): (a) Piping external to building: R1.0 (~38 mm); (b) Piping internal to building: R1.0 (~38 mm) (c) Unit Efficiency: $3.5 < COP \leq 4.0$
Central cooling system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor Heat rejection method: water cooled condenser Unit efficiency (min): medium – COP 3.5 – 5.5
Central heating system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor + water sourced evaporator Unit efficiency medium – COP 3.5 – 5.5
Spa (No. 1)	Heating system: electric heat pump	Pump controlled by timer: yes
Swimming pool (No. 1)	Heating source: electric heat pump	Pump controlled by timer: yes

## 2. Commitments for multi-dwelling housing

### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✔ ✔	✔ ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:  (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and  (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓  ✓	
(h) The applicant must install in the dwelling:  (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;  (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

### 3. Commitments for single dwelling houses

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✔ ✔	✔ ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔
<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:  (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and  (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓  ✓	
(h) The applicant must install in the dwelling:  (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;  (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and  (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓  ✓  ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			

<b>(iii) Thermal Performance and Materials</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	3 star (> 7.5 but <= 9 L/min)	4 star	5 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 38 peak kW
Other	Building management system installed?: yes Active power factor correction installed?: yes	-

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

## Appendix C – NatHERS Assessment

# Nationwide House Energy Rating Scheme® Class 2 Summary

## NatHERS® Certificate No. #HR-JRVL2V-01

Generated on 24 Mar 2026 using Hero 4.1

### Property

**Address** 601 Pacific Hwy, St Leonards, NSW, 2065  
**Lot/DP**  
**NatHERS climate zone** 56 - Mascot AMO



### Accredited assessor

**Name** Jovana Klikovac  
**Business name** LCI Consultants International  
**Email** jovana.klikovac@lciconsultants.com.au  
**Phone** +61 401201486  
**Accreditation No.** DMN/25/2269  
**Assessor Accrediting Organisation** DMN

### Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-JRVL2V-01>.  
When using either link, ensure you are visiting <http://www.hero-software.com.au>



### National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at [www.abcb.gov.au](http://www.abcb.gov.au).

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-SX99VF-01</a>	42.07	23.7 (34)	6.2 (21)	30.0	7.0	n/a
<a href="#">HR-VGTWFT-01</a>	42.09	29.2 (34)	3.9 (21)	33.1	6.6	n/a
<a href="#">HR-ILUM64-01</a>	43.07	23.9 (34)	6.2 (21)	30.1	6.9	n/a

## Thermal performance Star rating



**NATIONWIDE  
HOUSE**  
ENERGY RATING SCHEME®

The rating above is the average of all dwellings in this summary.

For more information on your dwelling's rating see:  
[www.nathers.gov.au](http://www.nathers.gov.au)

## NCC heating and cooling maximum loads MJ/m<sup>2</sup>.yr

Limits taken from ABCB Standard 2022

	Heating	Cooling
<b>Average load</b>	24.1	5.3
<b>Maximum load</b>	34.3	12.9
<b>Average limit</b>	29.7	21.2
<b>Maximum limit</b>	32.9	20.4

## Whole of Home performance rating

No Whole of Home performance rating generated for this certificate or not completed for all dwellings.

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-J9DBEF-01</a>	43.09	28.2 (34)	4.1 (21)	32.3	6.7	n/a
<a href="#">HR-WMFAPF-01</a>	44.06	14.3 (34)	7.1 (21)	21.4	7.9	n/a
<a href="#">HR-V9O08H-01</a>	02.01	29.8 (33)	3.2 (20)	33.0	6.6	n/a
<a href="#">HR-20TGQH-01</a>	02.02	26.6 (33)	4.1 (20)	30.7	6.9	n/a
<a href="#">HR-M6A4I2-01</a>	02.03	22.0 (33)	6.2 (20)	28.3	7.2	n/a
<a href="#">HR-B6OGCT-01</a>	02.04	24.5 (33)	6.2 (20)	30.7	6.9	n/a
<a href="#">HR-1CNG5W-01</a>	02.05	27.5 (33)	7.1 (20)	34.5	6.4	n/a
<a href="#">HR-XNZITW-01</a>	02.06	19.0 (33)	5.7 (20)	24.7	7.5	n/a
<a href="#">HR-4Q7MDH-01</a>	02.07	8.4 (33)	8.7 (20)	17.1	8.4	n/a
<a href="#">HR-XBKD0T-01</a>	02.08	26.8 (33)	7.0 (20)	33.8	6.5	n/a
<a href="#">HR-CCA15F-01</a>	02.09	23.4 (33)	7.7 (20)	31.2	6.9	n/a
<a href="#">HR-VXIZON-01</a>	02.10	19.4 (33)	5.7 (20)	25.1	7.4	n/a
<a href="#">HR-9JFTFJ-01</a>	03.01	20.6 (33)	4.2 (20)	24.7	7.5	n/a
<a href="#">HR-653LKA-01</a>	03.02	24.6 (33)	4.5 (20)	29.1	7.1	n/a
<a href="#">HR-7XM6TG-01</a>	03.03	23.1 (33)	4.8 (20)	27.9	7.2	n/a
<a href="#">HR-OP4O14-01</a>	03.04	26.6 (33)	5.1 (20)	31.8	6.8	n/a
<a href="#">HR-BCR2NF-01</a>	03.05	28.7 (33)	6.8 (20)	35.5	6.3	n/a
<a href="#">HR-AZZ52A-01</a>	03.06	19.9 (33)	5.2 (20)	25.1	7.4	n/a
<a href="#">HR-PKMCIE-01</a>	03.07	11.3 (33)	7.7 (20)	19.0	8.2	n/a
<a href="#">HR-UH0YGJ-01</a>	03.08	26.1 (33)	7.4 (20)	33.6	6.6	n/a
<a href="#">HR-A4DVPT-01</a>	03.09	20.7 (33)	7.5 (20)	28.2	7.2	n/a
<a href="#">HR-25XPQ1-01</a>	03.10	18.4 (33)	5.4 (20)	23.9	7.6	n/a
<a href="#">HR-7RLO3P-01</a>	04.01	28.5 (33)	4.0 (20)	32.5	6.7	n/a
<a href="#">HR-ML58S8-01</a>	04.02	29.6 (33)	4.9 (20)	34.5	6.4	n/a
<a href="#">HR-ZSJTSU-01</a>	04.03	26.6 (33)	4.9 (20)	31.5	6.8	n/a
<a href="#">HR-HI1TXO-01</a>	04.04	29.2 (33)	4.6 (20)	33.8	6.5	n/a
<a href="#">HR-OJOCKS-01</a>	04.05	27.7 (33)	6.2 (20)	33.9	6.5	n/a
<a href="#">HR-W82X93-01</a>	04.06	26.3 (33)	4.5 (20)	30.8	6.9	n/a
<a href="#">HR-VGELR4-01</a>	04.07	26.9 (33)	4.6 (20)	31.5	6.8	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-PZJFRC-01</a>	04.08	27.0 (33)	7.1 (20)	34.1	6.4	n/a
<a href="#">HR-1GPKU2-01</a>	04.09	22.9 (33)	7.0 (20)	29.9	7.0	n/a
<a href="#">HR-SF1HH7-01</a>	04.10	21.3 (33)	5.3 (20)	26.6	7.3	n/a
<a href="#">HR-G568IC-01</a>	06.01	27.2 (34)	2.4 (21)	29.7	7.0	n/a
<a href="#">HR-6W1J9G-01</a>	06.02	29.9 (34)	2.2 (21)	32.2	6.7	n/a
<a href="#">HR-YBNILO-01</a>	06.03	29.0 (34)	3.1 (21)	32.1	6.7	n/a
<a href="#">HR-Y6SKJH-01</a>	06.04	25.7 (34)	4.8 (21)	30.5	6.9	n/a
<a href="#">HR-5Q10U9-01</a>	06.05	25.9 (34)	5.1 (21)	31.0	6.9	n/a
<a href="#">HR-LKRRM2-01</a>	06.06	28.2 (34)	3.0 (21)	31.2	6.8	n/a
<a href="#">HR-K58U49-01</a>	06.07	20.8 (34)	4.7 (21)	25.5	7.4	n/a
<a href="#">HR-ONMEFX-01</a>	06.08	17.7 (34)	5.8 (21)	23.4	7.7	n/a
<a href="#">HR-SR623I-01</a>	06.09	20.3 (34)	6.2 (21)	26.5	7.4	n/a
<a href="#">HR-BK3E25-01</a>	06.10	18.5 (34)	6.0 (21)	24.5	7.6	n/a
<a href="#">HR-AK18RS-01</a>	06.11	21.3 (34)	5.6 (21)	26.9	7.3	n/a
<a href="#">HR-34V9XP-01</a>	06.12	26.4 (34)	6.1 (21)	32.6	6.7	n/a
<a href="#">HR-ORNEZ0-01</a>	06.13	21.7 (34)	5.3 (21)	27.0	7.3	n/a
<a href="#">HR-KVH3N9-01</a>	07.01	25.8 (34)	2.7 (21)	28.4	7.2	n/a
<a href="#">HR-K110U5-01</a>	07.02	27.4 (34)	2.2 (21)	29.6	7.0	n/a
<a href="#">HR-PTCK9R-01</a>	07.03	28.1 (34)	2.9 (21)	31.0	6.9	n/a
<a href="#">HR-9OFQUQ-01</a>	07.04	25.2 (34)	4.7 (21)	29.9	7.0	n/a
<a href="#">HR-5P272S-01</a>	07.05	25.5 (34)	4.6 (21)	30.1	6.9	n/a
<a href="#">HR-XQOIMR-01</a>	07.06	27.9 (34)	3.0 (21)	30.9	6.9	n/a
<a href="#">HR-41C9WJ-01</a>	07.07	20.4 (34)	4.9 (21)	25.3	7.4	n/a
<a href="#">HR-E9EA9P-01</a>	07.08	15.4 (34)	5.6 (21)	21.0	8.0	n/a
<a href="#">HR-XCK5FG-01</a>	07.09	22.5 (34)	5.7 (21)	28.3	7.2	n/a
<a href="#">HR-Q585X5-01</a>	07.10	18.1 (34)	6.2 (21)	24.4	7.6	n/a
<a href="#">HR-9EOTNS-01</a>	07.11	22.5 (34)	6.0 (21)	28.4	7.2	n/a
<a href="#">HR-71DCSG-01</a>	07.12	26.2 (34)	6.0 (21)	32.2	6.7	n/a
<a href="#">HR-NJKZZ3-01</a>	07.13	21.7 (34)	5.2 (21)	26.9	7.3	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-9IXORK-01</a>	08.01	26.8 (34)	2.5 (21)	29.3	7.1	n/a
<a href="#">HR-ZQYY2V-01</a>	08.02	29.2 (34)	2.0 (21)	31.2	6.8	n/a
<a href="#">HR-OIRUH4-01</a>	08.03	29.9 (34)	2.8 (21)	32.6	6.7	n/a
<a href="#">HR-UFH0YC-01</a>	08.04	25.9 (34)	4.7 (21)	30.6	6.9	n/a
<a href="#">HR-JBFDG7-01</a>	08.05	26.2 (34)	4.6 (21)	30.8	6.9	n/a
<a href="#">HR-W3SL1N-01</a>	08.06	28.6 (34)	2.9 (21)	31.5	6.8	n/a
<a href="#">HR-KGUOYC-01</a>	08.07	21.1 (34)	4.7 (21)	25.8	7.4	n/a
<a href="#">HR-8J2X83-01</a>	08.08	13.2 (34)	5.6 (21)	18.9	8.2	n/a
<a href="#">HR-MVJLE0-01</a>	08.09	23.1 (34)	6.1 (21)	29.2	7.1	n/a
<a href="#">HR-38S3VR-01</a>	08.10	18.2 (34)	7.2 (21)	25.4	7.4	n/a
<a href="#">HR-798F56-01</a>	08.11	22.6 (34)	6.0 (21)	28.6	7.1	n/a
<a href="#">HR-JTEN4G-01</a>	08.12	27.2 (34)	5.4 (21)	32.6	6.7	n/a
<a href="#">HR-WMLKU8-01</a>	08.13	22.3 (34)	6.9 (21)	29.3	7.1	n/a
<a href="#">HR-KOPTDC-01</a>	09.01	26.7 (34)	2.9 (21)	29.6	7.0	n/a
<a href="#">HR-1VN90H-01</a>	09.02	28.4 (34)	2.1 (21)	30.5	6.9	n/a
<a href="#">HR-ONQGAX-01</a>	09.03	29.3 (34)	3.0 (21)	32.2	6.7	n/a
<a href="#">HR-DZW2SL-01</a>	09.04	26.4 (34)	4.9 (21)	31.3	6.8	n/a
<a href="#">HR-FKX7WM-01</a>	09.05	26.7 (34)	4.9 (21)	31.6	6.8	n/a
<a href="#">HR-RAHZZO-01</a>	09.06	29.1 (34)	3.1 (21)	32.2	6.7	n/a
<a href="#">HR-W590WQ-01</a>	09.07	21.6 (34)	5.0 (21)	26.6	7.3	n/a
<a href="#">HR-FYG1SM-01</a>	09.08	12.4 (34)	6.5 (21)	18.8	8.2	n/a
<a href="#">HR-J12SJ7-01</a>	09.09	23.3 (34)	7.0 (21)	30.4	6.9	n/a
<a href="#">HR-FHHU3H-01</a>	09.10	18.2 (34)	7.6 (21)	25.8	7.4	n/a
<a href="#">HR-84OHHO-01</a>	09.11	21.8 (34)	6.4 (21)	28.2	7.2	n/a
<a href="#">HR-YPH66K-01</a>	09.12	30.4 (34)	4.5 (21)	34.9	6.4	n/a
<a href="#">HR-6U8LKD-01</a>	09.13	24.2 (34)	6.2 (21)	30.3	6.9	n/a
<a href="#">HR-ZWL4KM-01</a>	10.01	27.1 (34)	2.8 (21)	29.9	7.0	n/a
<a href="#">HR-G2V7NT-01</a>	10.02	28.7 (34)	2.1 (21)	30.9	6.9	n/a
<a href="#">HR-7RRJR3-01</a>	10.03	29.7 (34)	3.0 (21)	32.7	6.7	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-VBQTKX-01</a>	10.04	26.9 (34)	4.9 (21)	31.8	6.8	n/a
<a href="#">HR-2EF3KW-01</a>	10.05	27.2 (34)	4.9 (21)	32.1	6.7	n/a
<a href="#">HR-GXA6BF-01</a>	10.06	29.6 (34)	3.1 (21)	32.6	6.7	n/a
<a href="#">HR-5YAYYB-01</a>	10.07	22.0 (34)	5.0 (21)	27.0	7.3	n/a
<a href="#">HR-JGOP4D-01</a>	10.08	12.2 (34)	6.7 (21)	18.9	8.2	n/a
<a href="#">HR-2TJ563-01</a>	10.09	23.3 (34)	7.6 (21)	30.9	6.9	n/a
<a href="#">HR-L3KCUC-01</a>	10.10	27.5 (34)	8.0 (21)	35.5	6.3	n/a
<a href="#">HR-QR6NHM-01</a>	10.11	19.9 (34)	6.8 (21)	26.7	7.3	n/a
<a href="#">HR-WMLGBS-01</a>	10.12	25.4 (34)	6.3 (21)	31.7	6.8	n/a
<a href="#">HR-RNKW47-01</a>	10.13	23.0 (34)	7.3 (21)	30.4	6.9	n/a
<a href="#">HR-IJGZZ9-01</a>	11.01	28.2 (34)	2.8 (21)	31.0	6.9	n/a
<a href="#">HR-ATS6DM-01</a>	11.02	27.5 (34)	2.9 (21)	30.5	6.9	n/a
<a href="#">HR-TN4IIN-01</a>	11.03	29.5 (34)	4.0 (21)	33.6	6.6	n/a
<a href="#">HR-KLHJC2-01</a>	11.04	27.8 (34)	5.1 (21)	32.9	6.6	n/a
<a href="#">HR-VZ7J57-01</a>	11.05	28.1 (34)	5.0 (21)	33.1	6.6	n/a
<a href="#">HR-LR66KP-01</a>	11.06	30.5 (34)	3.0 (21)	33.4	6.6	n/a
<a href="#">HR-MVMFET-01</a>	11.07	22.9 (34)	5.1 (21)	28.0	7.2	n/a
<a href="#">HR-N587YU-01</a>	11.08	12.4 (34)	7.0 (21)	19.4	8.2	n/a
<a href="#">HR-NG3YFF-01</a>	11.09	18.2 (34)	6.8 (21)	25.0	7.4	n/a
<a href="#">HR-UDWC16-01</a>	11.10	27.0 (34)	8.2 (21)	35.2	6.3	n/a
<a href="#">HR-F2T5SO-01</a>	11.11	19.8 (34)	6.7 (21)	26.5	7.3	n/a
<a href="#">HR-8IZXJ5-01</a>	11.12	25.7 (34)	6.4 (21)	32.1	6.7	n/a
<a href="#">HR-LIBGWA-01</a>	11.13	23.7 (34)	7.5 (21)	31.2	6.8	n/a
<a href="#">HR-X1UVCO-01</a>	12.01	28.7 (34)	3.4 (21)	32.1	6.7	n/a
<a href="#">HR-HH5KMH-01</a>	12.02	30.3 (34)	3.4 (21)	33.7	6.5	n/a
<a href="#">HR-1FH7RF-01</a>	12.03	31.5 (34)	4.2 (21)	35.7	6.3	n/a
<a href="#">HR-4FHX6Q-01</a>	12.04	28.1 (34)	6.6 (21)	34.7	6.4	n/a
<a href="#">HR-AAZUFN-01</a>	12.05	28.3 (34)	6.7 (21)	35.0	6.4	n/a
<a href="#">HR-V4AXI9-01</a>	12.06	30.9 (34)	5.0 (21)	35.9	6.3	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-QUBQF4-01</a>	12.07	23.4 (34)	6.7 (21)	30.2	6.9	n/a
<a href="#">HR-QTRDBF-01</a>	12.08	12.9 (34)	10.8 (21)	23.7	7.7	n/a
<a href="#">HR-NJOP6K-01</a>	12.09	21.0 (34)	11.2 (21)	32.3	6.7	n/a
<a href="#">HR-7AQJRW-01</a>	12.10	15.8 (34)	12.7 (21)	28.4	7.2	n/a
<a href="#">HR-SBOUWD-01</a>	12.11	16.5 (34)	9.8 (21)	26.3	7.4	n/a
<a href="#">HR-I06WSI-01</a>	12.12	25.9 (34)	6.9 (21)	32.9	6.6	n/a
<a href="#">HR-TIS7DW-01</a>	12.13	24.9 (34)	10.0 (21)	34.9	6.4	n/a
<a href="#">HR-71YT34-01</a>	13.01	30.5 (34)	1.9 (21)	32.4	6.7	n/a
<a href="#">HR-KMSWU7-01</a>	13.02	31.9 (34)	2.1 (21)	33.9	6.5	n/a
<a href="#">HR-ZC3W5F-01</a>	13.03	31.6 (34)	3.3 (21)	34.8	6.4	n/a
<a href="#">HR-XXOAWM-01</a>	13.04	25.7 (34)	5.4 (21)	31.1	6.9	n/a
<a href="#">HR-BH00TN-01</a>	13.05	26.0 (34)	5.8 (21)	31.7	6.8	n/a
<a href="#">HR-ENIP15-01</a>	13.06	33.0 (34)	3.0 (21)	36.0	6.3	n/a
<a href="#">HR-WC1J7G-01</a>	13.07	31.0 (34)	4.6 (21)	35.6	6.3	n/a
<a href="#">HR-JI1MHG-01</a>	13.08	19.4 (34)	7.0 (21)	26.5	7.4	n/a
<a href="#">HR-021EJ2-01</a>	13.09	29.6 (34)	7.6 (21)	37.2	6.1	n/a
<a href="#">HR-Y6I01B-01</a>	13.10	19.1 (34)	8.8 (21)	27.9	7.2	n/a
<a href="#">HR-QSETJ8-01</a>	13.11	23.3 (34)	6.9 (21)	30.2	6.9	n/a
<a href="#">HR-09QHJZ-01</a>	13.12	32.6 (34)	4.2 (21)	36.7	6.2	n/a
<a href="#">HR-ZR013H-01</a>	13.13	32.7 (34)	4.5 (21)	37.2	6.1	n/a
<a href="#">HR-QGNG0D-01</a>	14.01	30.6 (34)	1.9 (21)	32.6	6.7	n/a
<a href="#">HR-OP5CZL-01</a>	14.02	32.8 (34)	2.0 (21)	34.9	6.4	n/a
<a href="#">HR-9RQWEQ-01</a>	14.03	32.6 (34)	3.2 (21)	35.8	6.3	n/a
<a href="#">HR-AZA4TP-01</a>	14.04	25.8 (34)	5.7 (21)	31.5	6.8	n/a
<a href="#">HR-Q0BZ6P-01</a>	14.05	26.2 (34)	5.5 (21)	31.7	6.8	n/a
<a href="#">HR-9VNMGM-01</a>	14.06	33.0 (34)	3.0 (21)	36.0	6.2	n/a
<a href="#">HR-UPW82H-01</a>	14.07	31.1 (34)	4.6 (21)	35.6	6.3	n/a
<a href="#">HR-Y33W8O-01</a>	14.08	19.5 (34)	6.9 (21)	26.4	7.4	n/a
<a href="#">HR-FE94H8-01</a>	14.09	29.6 (34)	7.9 (21)	37.5	6.1	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-2QI025-01</a>	14.10	24.1 (34)	8.4 (21)	32.5	6.7	n/a
<a href="#">HR-IKLGMY-01</a>	14.11	23.2 (34)	6.8 (21)	30.0	6.9	n/a
<a href="#">HR-MAKYXA-01</a>	14.12	28.3 (34)	4.9 (21)	33.2	6.6	n/a
<a href="#">HR-2E7BHN-01</a>	14.13	31.3 (34)	5.6 (21)	36.9	6.1	n/a
<a href="#">HR-0NU3K7-01</a>	15.01	30.5 (34)	2.0 (21)	32.5	6.7	n/a
<a href="#">HR-Q6BW7I-01</a>	15.02	32.1 (34)	2.1 (21)	34.2	6.4	n/a
<a href="#">HR-Z8LTLA-01</a>	15.03	31.6 (34)	3.5 (21)	35.0	6.4	n/a
<a href="#">HR-NHJMJQ-01</a>	15.04	25.8 (34)	5.7 (21)	31.4	6.8	n/a
<a href="#">HR-1ZF3PT-01</a>	15.05	26.3 (34)	5.8 (21)	32.2	6.7	n/a
<a href="#">HR-IIBGYL-01</a>	15.06	33.2 (34)	3.0 (21)	36.3	6.2	n/a
<a href="#">HR-LEDCBV-01</a>	15.07	31.4 (34)	4.5 (21)	35.9	6.3	n/a
<a href="#">HR-FBSX9Z-01</a>	15.08	19.8 (34)	6.8 (21)	26.7	7.3	n/a
<a href="#">HR-BBE3GT-01</a>	15.09	30.0 (34)	7.9 (21)	37.8	6.0	n/a
<a href="#">HR-0J803D-01</a>	15.10	21.5 (34)	8.6 (21)	30.1	6.9	n/a
<a href="#">HR-3FEUMU-01</a>	15.11	23.5 (34)	6.7 (21)	30.2	6.9	n/a
<a href="#">HR-1NVL8D-01</a>	15.12	28.6 (34)	4.9 (21)	33.5	6.6	n/a
<a href="#">HR-TRIJK8-01</a>	15.13	31.4 (34)	5.6 (21)	37.1	6.1	n/a
<a href="#">HR-GWPIUC-01</a>	16.01	30.7 (34)	1.9 (21)	32.6	6.7	n/a
<a href="#">HR-2GSXP9-01</a>	16.02	32.2 (34)	2.1 (21)	34.2	6.4	n/a
<a href="#">HR-7NKNOA-01</a>	16.03	32.8 (34)	3.6 (21)	36.4	6.2	n/a
<a href="#">HR-H6TJM4-01</a>	16.04	26.9 (34)	5.8 (21)	32.7	6.7	n/a
<a href="#">HR-CARMRB-01</a>	16.05	26.9 (34)	5.4 (21)	32.3	6.7	n/a
<a href="#">HR-IVOBOE-01</a>	16.06	33.3 (34)	3.1 (21)	36.3	6.2	n/a
<a href="#">HR-GWB9QY-01</a>	16.07	31.4 (34)	4.6 (21)	36.0	6.2	n/a
<a href="#">HR-52OTIS-01</a>	16.08	19.9 (34)	6.9 (21)	26.8	7.3	n/a
<a href="#">HR-CWKCZH-01</a>	16.09	30.1 (34)	7.5 (21)	37.6	6.1	n/a
<a href="#">HR-7SD2ND-01</a>	16.10	21.6 (34)	8.2 (21)	29.8	7.0	n/a
<a href="#">HR-1YXEHY-01</a>	16.11	23.6 (34)	6.8 (21)	30.4	6.9	n/a
<a href="#">HR-QKI5V2-01</a>	16.12	29.2 (34)	4.9 (21)	34.1	6.4	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-NN2CEG-01</a>	16.13	31.6 (34)	5.7 (21)	37.3	6.1	n/a
<a href="#">HR-MLYGBP-01</a>	17.01	31.3 (34)	1.9 (21)	33.2	6.6	n/a
<a href="#">HR-EDL67S-01</a>	17.02	33.3 (34)	2.0 (21)	35.3	6.3	n/a
<a href="#">HR-ZSVN7M-01</a>	17.03	32.5 (34)	3.3 (21)	35.9	6.3	n/a
<a href="#">HR-A9O0FU-01</a>	17.04	26.6 (34)	5.7 (21)	32.3	6.7	n/a
<a href="#">HR-N569NF-01</a>	17.05	26.7 (34)	5.8 (21)	32.5	6.7	n/a
<a href="#">HR-M57KB0-01</a>	17.06	33.1 (34)	3.2 (21)	36.3	6.2	n/a
<a href="#">HR-RPIHLC-01</a>	17.07	31.5 (34)	4.6 (21)	36.1	6.2	n/a
<a href="#">HR-UJS1B0-01</a>	17.08	20.1 (34)	7.0 (21)	27.0	7.3	n/a
<a href="#">HR-E6PO4O-01</a>	17.09	30.1 (34)	7.9 (21)	38.0	6.0	n/a
<a href="#">HR-YP5WXV-01</a>	17.10	21.8 (34)	8.4 (21)	30.2	6.9	n/a
<a href="#">HR-3BW3BH-01</a>	17.11	23.7 (34)	6.7 (21)	30.4	6.9	n/a
<a href="#">HR-PD8L41-01</a>	17.12	32.9 (34)	4.2 (21)	37.2	6.1	n/a
<a href="#">HR-2BG3GH-01</a>	17.13	33.3 (34)	4.5 (21)	37.9	6.0	n/a
<a href="#">HR-XAE0BK-01</a>	18.01	31.6 (34)	1.9 (21)	33.5	6.6	n/a
<a href="#">HR-YN6GB9-01</a>	18.02	32.9 (34)	2.3 (21)	35.2	6.4	n/a
<a href="#">HR-YFCWXR-01</a>	18.03	34.2 (34)	3.5 (21)	37.7	6.0	n/a
<a href="#">HR-4AAL9O-01</a>	18.04	30.0 (34)	5.2 (21)	35.2	6.4	n/a
<a href="#">HR-EKJ8P2-01</a>	18.05	29.6 (34)	5.5 (21)	35.1	6.4	n/a
<a href="#">HR-15NO83-01</a>	18.06	30.0 (34)	3.7 (21)	33.6	6.5	n/a
<a href="#">HR-JRQ29A-01</a>	18.07	27.1 (34)	5.6 (21)	32.7	6.7	n/a
<a href="#">HR-BPIS4G-01</a>	18.08	19.4 (34)	7.1 (21)	26.5	7.4	n/a
<a href="#">HR-AIROZO-01</a>	18.09	23.0 (34)	7.6 (21)	30.6	6.9	n/a
<a href="#">HR-I1PMF1-01</a>	18.10	25.4 (34)	6.9 (21)	32.3	6.7	n/a
<a href="#">HR-XNQQYO-01</a>	18.11	23.1 (34)	6.8 (21)	29.9	7.0	n/a
<a href="#">HR-BUVFE6-01</a>	18.12	28.5 (34)	4.9 (21)	33.4	6.6	n/a
<a href="#">HR-7AFMN8-01</a>	18.13	28.6 (34)	4.4 (21)	33.0	6.6	n/a
<a href="#">HR-AUPK1W-01</a>	19.01	31.6 (34)	1.9 (21)	33.5	6.6	n/a
<a href="#">HR-S6B4YL-01</a>	19.02	31.9 (34)	2.3 (21)	34.2	6.4	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-KIAS2X-01</a>	19.03	30.5 (34)	3.4 (21)	33.9	6.5	n/a
<a href="#">HR-7NB9V0-01</a>	19.04	32.5 (34)	5.2 (21)	37.7	6.0	n/a
<a href="#">HR-MFZNTU-01</a>	19.05	27.1 (34)	5.8 (21)	32.9	6.6	n/a
<a href="#">HR-HJMAMJ-01</a>	19.06	32.2 (34)	3.1 (21)	35.3	6.3	n/a
<a href="#">HR-1OI0O4-01</a>	19.07	30.7 (34)	4.6 (21)	35.3	6.3	n/a
<a href="#">HR-JWNEBT-01</a>	19.08	20.5 (34)	6.4 (21)	27.0	7.3	n/a
<a href="#">HR-L6VKQI-01</a>	19.09	24.9 (34)	6.9 (21)	31.8	6.8	n/a
<a href="#">HR-EWAS6S-01</a>	19.10	20.9 (34)	7.8 (21)	28.7	7.1	n/a
<a href="#">HR-2Z2FIE-01</a>	19.11	25.3 (34)	6.4 (21)	31.7	6.8	n/a
<a href="#">HR-DSAL5C-01</a>	19.12	29.7 (34)	4.7 (21)	34.5	6.4	n/a
<a href="#">HR-U78RTI-01</a>	19.13	27.5 (34)	5.0 (21)	32.5	6.7	n/a
<a href="#">HR-7FA62Q-01</a>	20.01	32.3 (34)	1.9 (21)	34.2	6.4	n/a
<a href="#">HR-1WZ73E-01</a>	20.02	32.8 (34)	2.1 (21)	34.9	6.4	n/a
<a href="#">HR-3UWOQG-01</a>	20.03	28.5 (34)	3.5 (21)	32.0	6.7	n/a
<a href="#">HR-Q0GUV9-01</a>	20.04	29.5 (34)	5.2 (21)	34.7	6.4	n/a
<a href="#">HR-CK5NI9-01</a>	20.05	29.6 (34)	5.7 (21)	35.3	6.3	n/a
<a href="#">HR-PL2GUK-01</a>	20.06	29.9 (34)	3.2 (21)	33.1	6.6	n/a
<a href="#">HR-13LF13-01</a>	20.07	29.1 (34)	4.7 (21)	33.9	6.5	n/a
<a href="#">HR-AROKJ9-01</a>	20.08	20.1 (34)	6.5 (21)	26.6	7.3	n/a
<a href="#">HR-NDU57X-01</a>	20.09	25.1 (34)	6.7 (21)	31.8	6.8	n/a
<a href="#">HR-E67B47-01</a>	20.10	21.1 (34)	7.9 (21)	29.0	7.1	n/a
<a href="#">HR-A1PAOK-01</a>	20.11	24.7 (34)	6.7 (21)	31.4	6.8	n/a
<a href="#">HR-0RCKHD-01</a>	20.12	28.9 (34)	4.9 (21)	33.8	6.5	n/a
<a href="#">HR-SIEHSQ-01</a>	20.13	27.6 (34)	4.7 (21)	32.4	6.7	n/a
<a href="#">HR-PSUCZ1-01</a>	21.01	31.9 (34)	2.0 (21)	33.9	6.5	n/a
<a href="#">HR-SLAX0H-01</a>	21.02	32.2 (34)	2.3 (21)	34.4	6.4	n/a
<a href="#">HR-J1WR51-01</a>	21.03	33.3 (34)	3.5 (21)	36.8	6.1	n/a
<a href="#">HR-K1WW3U-01</a>	21.04	28.5 (34)	4.6 (21)	33.2	6.6	n/a
<a href="#">HR-JNN7YJ-01</a>	21.05	28.6 (34)	4.6 (21)	33.3	6.6	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-MB3QXP-01</a>	21.06	29.0 (34)	3.4 (21)	32.5	6.7	n/a
<a href="#">HR-JQN2OR-01</a>	21.07	25.2 (34)	4.6 (21)	29.8	7.0	n/a
<a href="#">HR-Q4TJ7X-01</a>	21.08	17.6 (34)	6.9 (21)	24.4	7.6	n/a
<a href="#">HR-INX2OO-01</a>	21.09	25.2 (34)	6.9 (21)	32.1	6.7	n/a
<a href="#">HR-U0M0RC-01</a>	21.10	21.2 (34)	7.9 (21)	29.2	7.1	n/a
<a href="#">HR-B6AART-01</a>	21.11	24.8 (34)	6.6 (21)	31.4	6.8	n/a
<a href="#">HR-ZQXNOL-01</a>	21.12	29.0 (34)	4.9 (21)	33.8	6.5	n/a
<a href="#">HR-4MCGEH-01</a>	21.13	29.1 (34)	4.0 (21)	33.1	6.6	n/a
<a href="#">HR-68WSS3-01</a>	22.01	32.0 (34)	2.0 (21)	34.0	6.5	n/a
<a href="#">HR-X4OWHJ-01</a>	22.02	32.3 (34)	2.2 (21)	34.5	6.4	n/a
<a href="#">HR-SVCER2-01</a>	22.03	24.5 (34)	3.7 (21)	28.2	7.2	n/a
<a href="#">HR-3UWGOO-01</a>	22.04	17.7 (34)	4.6 (21)	22.3	7.8	n/a
<a href="#">HR-GSXHQ4-01</a>	22.05	17.0 (34)	4.9 (21)	21.8	7.9	n/a
<a href="#">HR-D7ONB5-01</a>	22.06	19.9 (34)	3.4 (21)	23.4	7.7	n/a
<a href="#">HR-3GD2ZP-01</a>	22.07	16.4 (34)	4.6 (21)	21.0	8.0	n/a
<a href="#">HR-OAQI07-01</a>	22.08	15.6 (34)	6.7 (21)	22.3	7.8	n/a
<a href="#">HR-PFMG0R-01</a>	22.09	25.4 (34)	7.0 (21)	32.5	6.7	n/a
<a href="#">HR-K8IT37-01</a>	22.10	23.1 (34)	7.6 (21)	30.7	6.9	n/a
<a href="#">HR-QD3OYK-01</a>	22.11	24.9 (34)	6.8 (21)	31.8	6.8	n/a
<a href="#">HR-654ZI7-01</a>	22.12	28.4 (34)	4.8 (21)	33.1	6.6	n/a
<a href="#">HR-8K45ZH-01</a>	22.13	27.9 (34)	4.8 (21)	32.7	6.7	n/a
<a href="#">HR-22P5D3-01</a>	23.01	32.6 (34)	3.4 (21)	36.0	6.3	n/a
<a href="#">HR-SH6LM8-01</a>	23.02	33.0 (34)	4.2 (21)	37.2	6.1	n/a
<a href="#">HR-RVMNWK-01</a>	23.03	26.4 (34)	6.5 (21)	32.8	6.6	n/a
<a href="#">HR-NJ5F0O-01</a>	23.04	21.8 (34)	8.8 (21)	30.6	6.9	n/a
<a href="#">HR-YRF4XX-01</a>	23.05	20.3 (34)	8.9 (21)	29.2	7.1	n/a
<a href="#">HR-PFM9MJ-01</a>	23.06	22.9 (34)	6.9 (21)	29.8	7.0	n/a
<a href="#">HR-QTZJEQ-01</a>	23.07	20.8 (34)	8.7 (21)	29.5	7.0	n/a
<a href="#">HR-YNLQU9-01</a>	23.08	17.1 (34)	11.1 (21)	28.2	7.2	n/a



## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-TYFCHZ-01</a>	23.09	26.4 (34)	11.2 (21)	37.6	6.1	n/a
<a href="#">HR-3OORQR-01</a>	23.10	22.6 (34)	12.6 (21)	35.2	6.3	n/a
<a href="#">HR-B2I7PV-01</a>	23.11	25.8 (34)	10.7 (21)	36.5	6.2	n/a
<a href="#">HR-UGUQ23-01</a>	23.12	29.2 (34)	7.3 (21)	36.5	6.2	n/a
<a href="#">HR-PWQXWO-01</a>	23.13	28.3 (34)	8.6 (21)	36.9	6.1	n/a
<a href="#">HR-Z3G7Y0-01</a>	24.01	32.7 (34)	2.0 (21)	34.7	6.4	n/a
<a href="#">HR-0CUQBM-01</a>	24.02	33.0 (34)	2.3 (21)	35.3	6.3	n/a
<a href="#">HR-JJE09Y-01</a>	24.03	23.1 (34)	3.4 (21)	26.5	7.4	n/a
<a href="#">HR-KY2JF7-01</a>	24.04	15.1 (34)	4.9 (21)	20.0	8.1	n/a
<a href="#">HR-D2547Z-01</a>	24.05	14.1 (34)	5.1 (21)	19.2	8.2	n/a
<a href="#">HR-F843NR-01</a>	24.06	17.0 (34)	3.9 (21)	20.9	8.0	n/a
<a href="#">HR-9TYZCV-01</a>	24.07	14.6 (34)	5.3 (21)	19.9	8.1	n/a
<a href="#">HR-7UESE6-01</a>	24.08	14.5 (34)	7.1 (21)	21.6	7.9	n/a
<a href="#">HR-ZLHXOG-01</a>	24.09	24.6 (34)	7.8 (21)	32.4	6.7	n/a
<a href="#">HR-4CT5QP-01</a>	24.10	26.9 (34)	6.3 (21)	33.3	6.6	n/a
<a href="#">HR-4WDGX4-01</a>	24.11	24.6 (34)	6.9 (21)	31.5	6.8	n/a
<a href="#">HR-KXL4M0-01</a>	24.12	33.1 (34)	4.2 (21)	37.3	6.1	n/a
<a href="#">HR-PIJ1X-01</a>	24.13	30.1 (34)	3.8 (21)	33.9	6.5	n/a
<a href="#">HR-BWTS68-01</a>	25.01	32.7 (34)	1.9 (21)	34.6	6.4	n/a
<a href="#">HR-NZMJJM-01</a>	25.02	32.9 (34)	2.3 (21)	35.2	6.4	n/a
<a href="#">HR-FDAYIF-01</a>	25.03	21.5 (34)	3.4 (21)	24.8	7.5	n/a
<a href="#">HR-FCJ3NT-01</a>	25.04	13.9 (34)	4.5 (21)	18.5	8.3	n/a
<a href="#">HR-GX3KKR-01</a>	25.05	13.4 (34)	4.9 (21)	18.3	8.3	n/a
<a href="#">HR-Q96TM9-01</a>	25.06	16.0 (34)	3.8 (21)	19.8	8.1	n/a
<a href="#">HR-0K0FHA-01</a>	25.07	13.6 (34)	5.1 (21)	18.7	8.2	n/a
<a href="#">HR-15AAB3-01</a>	25.08	14.7 (34)	7.0 (21)	21.7	7.9	n/a
<a href="#">HR-JYW2RO-01</a>	25.09	26.2 (34)	6.4 (21)	32.6	6.7	n/a
<a href="#">HR-BOO2JJ-01</a>	25.10	26.7 (34)	6.5 (21)	33.3	6.6	n/a
<a href="#">HR-ZCFURT-01</a>	25.11	25.8 (34)	6.9 (21)	32.7	6.7	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-3UV5UP-01</a>	25.12	28.8 (34)	4.9 (21)	33.7	6.5	n/a
<a href="#">HR-D50PSM-01</a>	25.13	28.6 (34)	3.7 (21)	32.3	6.7	n/a
<a href="#">HR-71MY7O-01</a>	26.01	33.0 (34)	1.9 (21)	34.9	6.4	n/a
<a href="#">HR-WQ2W8F-01</a>	26.02	33.8 (34)	2.2 (21)	36.0	6.3	n/a
<a href="#">HR-DM7RP7-01</a>	26.03	21.3 (34)	3.4 (21)	24.7	7.5	n/a
<a href="#">HR-DX9Z15-01</a>	26.04	13.7 (34)	4.5 (21)	18.2	8.3	n/a
<a href="#">HR-MH GK27-01</a>	26.05	13.2 (34)	5.1 (21)	18.2	8.3	n/a
<a href="#">HR-37AZ2V-01</a>	26.06	15.9 (34)	3.8 (21)	19.7	8.1	n/a
<a href="#">HR-7X334G-01</a>	26.07	13.5 (34)	5.1 (21)	18.6	8.2	n/a
<a href="#">HR-XEAZXN-01</a>	26.08	14.7 (34)	6.9 (21)	21.7	7.9	n/a
<a href="#">HR-S4EWWD-01</a>	26.09	26.4 (34)	6.7 (21)	33.1	6.6	n/a
<a href="#">HR-8A11EM-01</a>	26.10	26.9 (34)	6.3 (21)	33.2	6.6	n/a
<a href="#">HR-NHQL8N-01</a>	26.11	25.9 (34)	6.7 (21)	32.6	6.7	n/a
<a href="#">HR-HS8NF2-01</a>	26.12	29.6 (34)	4.8 (21)	34.4	6.4	n/a
<a href="#">HR-EWAERT-01</a>	26.13	28.7 (34)	3.9 (21)	32.6	6.7	n/a
<a href="#">HR-COGAD1-01</a>	27.01	32.9 (34)	2.0 (21)	34.9	6.4	n/a
<a href="#">HR-6HUYF2-01</a>	27.02	33.1 (34)	2.3 (21)	35.4	6.3	n/a
<a href="#">HR-10KVCS-01</a>	27.03	19.9 (34)	3.4 (21)	23.3	7.7	n/a
<a href="#">HR-5ON3WU-01</a>	27.04	13.4 (34)	4.8 (21)	18.2	8.3	n/a
<a href="#">HR-TCN5T1-01</a>	27.05	12.9 (34)	5.0 (21)	18.0	8.3	n/a
<a href="#">HR-CTRV MW-01</a>	27.06	15.8 (34)	3.9 (21)	19.7	8.1	n/a
<a href="#">HR-16SULR-01</a>	27.07	11.4 (34)	7.3 (21)	18.7	8.2	n/a
<a href="#">HR-L16249-01</a>	27.08	14.8 (34)	6.9 (21)	21.8	7.9	n/a
<a href="#">HR-96DUUL-01</a>	27.09	26.6 (34)	6.6 (21)	33.2	6.6	n/a
<a href="#">HR-XTEA9S-01</a>	27.10	27.0 (34)	6.4 (21)	33.4	6.6	n/a
<a href="#">HR-K5TWP9-01</a>	27.11	26.1 (34)	6.5 (21)	32.6	6.7	n/a
<a href="#">HR-RZV39Y-01</a>	27.12	33.2 (34)	4.1 (21)	37.3	6.1	n/a
<a href="#">HR-I1P9DS-01</a>	27.13	30.1 (34)	3.4 (21)	33.5	6.6	n/a
<a href="#">HR-8TVYWE-01</a>	28.01	33.0 (34)	2.1 (21)	35.0	6.4	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-OHF3A9-01</a>	28.02	33.2 (34)	2.3 (21)	35.5	6.3	n/a
<a href="#">HR-BST1CY-01</a>	28.03	19.7 (34)	3.5 (21)	23.2	7.7	n/a
<a href="#">HR-PLK8OL-01</a>	28.04	13.3 (34)	4.8 (21)	18.1	8.3	n/a
<a href="#">HR-6KFH1S-01</a>	28.05	13.0 (34)	4.9 (21)	17.9	8.3	n/a
<a href="#">HR-1O4Q5K-01</a>	28.06	15.9 (34)	3.9 (21)	19.8	8.1	n/a
<a href="#">HR-F3W8QQ-01</a>	28.07	13.5 (34)	5.0 (21)	18.6	8.2	n/a
<a href="#">HR-WXXFUW-01</a>	28.08	15.0 (34)	6.9 (21)	21.9	7.9	n/a
<a href="#">HR-E0T8ES-01</a>	28.09	26.8 (34)	6.4 (21)	33.2	6.6	n/a
<a href="#">HR-27KZQ6-01</a>	28.10	27.2 (34)	6.5 (21)	33.7	6.5	n/a
<a href="#">HR-E0XHJY-01</a>	28.11	26.4 (34)	6.5 (21)	32.9	6.6	n/a
<a href="#">HR-HI4YMJ-01</a>	28.12	29.0 (34)	4.9 (21)	34.0	6.5	n/a
<a href="#">HR-PVIPXH-01</a>	28.13	29.0 (34)	3.9 (21)	32.9	6.6	n/a
<a href="#">HR-7AG56Y-01</a>	29.01	33.4 (34)	3.2 (21)	36.6	6.2	n/a
<a href="#">HR-20IV4Q-01</a>	29.02	33.9 (34)	4.0 (21)	37.9	6.0	n/a
<a href="#">HR-5E51VJ-01</a>	29.03	23.6 (34)	6.0 (21)	29.7	7.0	n/a
<a href="#">HR-EW9DHL-01</a>	29.04	19.1 (34)	8.4 (21)	27.5	7.3	n/a
<a href="#">HR-7OAYDQ-01</a>	29.05	18.4 (34)	8.7 (21)	27.1	7.3	n/a
<a href="#">HR-71P66I-01</a>	29.06	21.0 (34)	7.1 (21)	28.1	7.2	n/a
<a href="#">HR-81904X-01</a>	29.07	19.0 (34)	9.0 (21)	28.0	7.2	n/a
<a href="#">HR-EMGLJU-01</a>	29.08	14.9 (34)	12.5 (21)	27.4	7.3	n/a
<a href="#">HR-ZYEXRB-01</a>	29.09	25.5 (34)	10.5 (21)	36.1	6.2	n/a
<a href="#">HR-0ZYDAC-01</a>	29.10	25.7 (34)	10.2 (21)	35.9	6.3	n/a
<a href="#">HR-QFPECM-01</a>	29.11	23.8 (34)	11.8 (21)	35.6	6.3	n/a
<a href="#">HR-7F94T5-01</a>	29.12	30.1 (34)	7.5 (21)	37.6	6.1	n/a
<a href="#">HR-KZQMOC-01</a>	29.13	29.3 (34)	7.1 (21)	36.4	6.2	n/a
<a href="#">HR-SCKSR9-01</a>	30.01	32.8 (34)	2.0 (21)	34.8	6.4	n/a
<a href="#">HR-H8A7PY-01</a>	30.02	32.9 (34)	2.3 (21)	35.2	6.4	n/a
<a href="#">HR-KV63SR-01</a>	30.03	18.4 (34)	3.8 (21)	22.1	7.9	n/a
<a href="#">HR-3VLJH4-01</a>	30.04	13.7 (34)	5.0 (21)	18.8	8.2	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-39IAVQ-01</a>	30.05	13.8 (34)	5.1 (21)	19.0	8.2	n/a
<a href="#">HR-WZ2DGN-01</a>	30.06	17.1 (34)	3.9 (21)	21.0	8.0	n/a
<a href="#">HR-8681VT-01</a>	30.07	13.9 (34)	5.3 (21)	19.2	8.2	n/a
<a href="#">HR-UP81T6-01</a>	30.08	12.1 (34)	7.3 (21)	19.5	8.2	n/a
<a href="#">HR-QE8208-01</a>	30.09	24.9 (34)	7.1 (21)	32.0	6.8	n/a
<a href="#">HR-WRMNVW-01</a>	30.10	25.5 (34)	6.9 (21)	32.4	6.7	n/a
<a href="#">HR-3L76K0-01</a>	30.11	24.9 (34)	6.9 (21)	31.8	6.8	n/a
<a href="#">HR-NTAVXC-01</a>	30.12	32.0 (34)	4.4 (21)	36.4	6.2	n/a
<a href="#">HR-IBS0JH-01</a>	30.13	29.5 (34)	3.8 (21)	33.3	6.6	n/a
<a href="#">HR-HE4KEO-01</a>	31.01	32.7 (34)	2.0 (21)	34.7	6.4	n/a
<a href="#">HR-YK6YGY-01</a>	31.02	32.8 (34)	2.3 (21)	35.1	6.4	n/a
<a href="#">HR-S89Z68-01</a>	31.03	18.5 (34)	4.0 (21)	22.5	7.8	n/a
<a href="#">HR-J1NLP8-01</a>	31.04	13.9 (34)	5.1 (21)	18.9	8.2	n/a
<a href="#">HR-RVYIIE-01</a>	31.05	13.9 (34)	5.1 (21)	18.9	8.2	n/a
<a href="#">HR-P1LOR7-01</a>	31.06	17.2 (34)	3.9 (21)	21.1	7.9	n/a
<a href="#">HR-WJRWOI-01</a>	31.07	14.1 (34)	5.3 (21)	19.4	8.2	n/a
<a href="#">HR-5ZJHWX-01</a>	31.08	12.9 (34)	6.8 (21)	19.7	8.1	n/a
<a href="#">HR-6RNPO8-01</a>	31.09	26.9 (34)	6.9 (21)	33.8	6.5	n/a
<a href="#">HR-29RNAQ-01</a>	31.10	25.7 (34)	6.6 (21)	32.2	6.7	n/a
<a href="#">HR-WXMIRD-01</a>	31.11	26.4 (34)	6.5 (21)	32.9	6.6	n/a
<a href="#">HR-K63SKG-01</a>	31.12	32.0 (34)	4.6 (21)	36.6	6.2	n/a
<a href="#">HR-JY6WQ5-01</a>	31.13	28.1 (34)	4.3 (21)	32.4	6.7	n/a
<a href="#">HR-FUIV71-01</a>	32.01	33.2 (34)	2.0 (21)	35.3	6.3	n/a
<a href="#">HR-C2MM50-01</a>	32.02	31.4 (34)	2.4 (21)	33.7	6.5	n/a
<a href="#">HR-4IOLFK-01</a>	32.03	19.2 (34)	3.8 (21)	23.0	7.7	n/a
<a href="#">HR-UF8DLX-01</a>	32.04	13.8 (34)	5.0 (21)	18.9	8.2	n/a
<a href="#">HR-RMEEML-01</a>	32.05	13.8 (34)	5.2 (21)	19.0	8.2	n/a
<a href="#">HR-5XBOU5-01</a>	32.06	17.1 (34)	4.0 (21)	21.0	7.9	n/a
<a href="#">HR-BLE4G5-01</a>	32.07	14.1 (34)	5.3 (21)	19.4	8.2	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-FNOJO9-01</a>	32.08	12.9 (34)	6.8 (21)	19.7	8.1	n/a
<a href="#">HR-1G331F-01</a>	32.09	26.9 (34)	6.7 (21)	33.6	6.6	n/a
<a href="#">HR-GNT0LV-01</a>	32.10	26.8 (34)	7.1 (21)	33.9	6.5	n/a
<a href="#">HR-OBNEQU-01</a>	32.11	26.3 (34)	6.6 (21)	32.9	6.6	n/a
<a href="#">HR-09T0BQ-01</a>	32.12	31.9 (34)	4.6 (21)	36.5	6.2	n/a
<a href="#">HR-Q6U4T5-01</a>	32.13	28.0 (34)	4.5 (21)	32.5	6.7	n/a
<a href="#">HR-22GAYZ-01</a>	33.01	32.2 (34)	1.8 (21)	34.1	6.4	n/a
<a href="#">HR-V35ZIW-01</a>	33.02	31.5 (34)	2.5 (21)	34.0	6.4	n/a
<a href="#">HR-96ZEGZ-01</a>	33.03	20.2 (34)	3.9 (21)	24.2	7.6	n/a
<a href="#">HR-BX2WLA-01</a>	33.04	15.6 (34)	5.6 (21)	21.2	7.9	n/a
<a href="#">HR-VTBUYD-01</a>	33.05	15.4 (34)	5.3 (21)	20.6	8.0	n/a
<a href="#">HR-DA5KVY-01</a>	33.06	18.2 (34)	4.4 (21)	22.7	7.8	n/a
<a href="#">HR-K8VCIW-01</a>	33.07	15.4 (34)	5.4 (21)	20.8	8.0	n/a
<a href="#">HR-9X1E8G-01</a>	33.08	15.7 (34)	7.0 (21)	22.7	7.8	n/a
<a href="#">HR-XHN8OE-01</a>	33.09	28.6 (34)	6.8 (21)	35.3	6.3	n/a
<a href="#">HR-08VKTQ-01</a>	33.10	26.8 (34)	6.7 (21)	33.5	6.6	n/a
<a href="#">HR-6C056P-01</a>	33.11	27.0 (34)	6.5 (21)	33.6	6.6	n/a
<a href="#">HR-X8UYJ3-01</a>	33.12	32.9 (34)	5.0 (21)	37.9	6.0	n/a
<a href="#">HR-MVPB5D-01</a>	34.01	30.2 (34)	2.0 (21)	32.2	6.7	n/a
<a href="#">HR-ZT3RGQ-01</a>	34.02	33.6 (34)	2.5 (21)	36.1	6.2	n/a
<a href="#">HR-UQQV9L-01</a>	34.03	16.9 (34)	4.4 (21)	21.4	7.9	n/a
<a href="#">HR-RTP3JY-01</a>	34.04	11.9 (34)	3.2 (21)	15.1	8.6	n/a
<a href="#">HR-GG0IRK-01</a>	34.05	10.2 (34)	3.7 (21)	13.9	8.8	n/a
<a href="#">HR-6B57OL-01</a>	34.06	13.5 (34)	6.3 (21)	19.8	8.1	n/a
<a href="#">HR-036MSN-01</a>	34.07	24.0 (34)	5.6 (21)	29.6	7.0	n/a
<a href="#">HR-IQODYP-01</a>	34.08	25.9 (34)	8.3 (21)	34.1	6.4	n/a
<a href="#">HR-8WBZSS-01</a>	34.09	33.0 (34)	2.7 (21)	35.7	6.3	n/a
<a href="#">HR-RKI6KY-01</a>	35.01	33.9 (34)	1.8 (21)	35.7	6.3	n/a
<a href="#">HR-BIVBJ6-01</a>	35.02	32.3 (34)	2.4 (21)	34.6	6.4	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-8DHM7Q-01</a>	35.03	18.1 (34)	4.2 (21)	22.3	7.8	n/a
<a href="#">HR-APAPEK-01</a>	35.04	12.4 (34)	2.9 (21)	15.3	8.6	n/a
<a href="#">HR-DWJX7F-01</a>	35.05	10.5 (34)	3.6 (21)	14.1	8.7	n/a
<a href="#">HR-0TQEEZ-01</a>	35.06	14.4 (34)	6.5 (21)	20.9	8.0	n/a
<a href="#">HR-MTBO72-01</a>	35.07	24.3 (34)	5.4 (21)	29.7	7.0	n/a
<a href="#">HR-CPXNDC-01</a>	35.08	22.5 (34)	7.8 (21)	30.3	6.9	n/a
<a href="#">HR-ILX0SS-01</a>	35.09	32.2 (34)	2.8 (21)	35.0	6.4	n/a
<a href="#">HR-GYJPSS-01</a>	36.01	34.2 (34)	1.8 (21)	35.9	6.3	n/a
<a href="#">HR-U65E2P-01</a>	36.02	34.3 (34)	2.3 (21)	36.6	6.2	n/a
<a href="#">HR-95MTGE-01</a>	36.03	17.9 (34)	4.2 (21)	22.1	7.9	n/a
<a href="#">HR-3T7RT2-01</a>	36.04	12.5 (34)	2.9 (21)	15.4	8.6	n/a
<a href="#">HR-HZLYGC-01</a>	36.05	10.4 (34)	3.6 (21)	14.1	8.7	n/a
<a href="#">HR-K6ONQX-01</a>	36.06	14.6 (34)	6.4 (21)	21.0	7.9	n/a
<a href="#">HR-4HZC66-01</a>	36.07	24.4 (34)	5.4 (21)	29.8	7.0	n/a
<a href="#">HR-6XI3KD-01</a>	36.08	22.6 (34)	7.9 (21)	30.5	6.9	n/a
<a href="#">HR-OX2UVA-01</a>	36.09	32.4 (34)	2.7 (21)	35.1	6.4	n/a
<a href="#">HR-WJFUS2-01</a>	37.01	34.1 (34)	1.8 (21)	35.9	6.3	n/a
<a href="#">HR-AH54UK-01</a>	37.02	34.1 (34)	2.3 (21)	36.4	6.2	n/a
<a href="#">HR-SV9XLV-01</a>	37.03	18.0 (34)	4.2 (21)	22.2	7.8	n/a
<a href="#">HR-M4QLIQ-01</a>	37.04	12.6 (34)	2.8 (21)	15.4	8.6	n/a
<a href="#">HR-YQVJ4L-01</a>	37.05	10.7 (34)	3.7 (21)	14.3	8.7	n/a
<a href="#">HR-SCNYXQ-01</a>	37.06	14.7 (34)	6.4 (21)	21.1	7.9	n/a
<a href="#">HR-EY5Y7P-01</a>	37.07	24.5 (34)	5.5 (21)	30.1	6.9	n/a
<a href="#">HR-LVGHIU-01</a>	37.08	22.5 (34)	7.9 (21)	30.4	6.9	n/a
<a href="#">HR-5FE2GU-01</a>	37.09	31.9 (34)	2.7 (21)	34.6	6.4	n/a
<a href="#">HR-BUELP0-01</a>	38.01	34.2 (34)	1.8 (21)	36.0	6.3	n/a
<a href="#">HR-TKGLY6-01</a>	38.02	34.3 (34)	2.3 (21)	36.7	6.2	n/a
<a href="#">HR-F1OZ5C-01</a>	38.03	18.4 (34)	4.2 (21)	22.6	7.8	n/a
<a href="#">HR-UFGDSS-01</a>	38.04	12.6 (34)	2.8 (21)	15.4	8.6	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-ZAFTOW-01</a>	38.05	10.6 (34)	3.6 (21)	14.1	8.7	n/a
<a href="#">HR-U09ZRR-01</a>	38.06	14.7 (34)	6.4 (21)	21.1	7.9	n/a
<a href="#">HR-LH2V1M-01</a>	38.07	24.5 (34)	5.4 (21)	30.0	7.0	n/a
<a href="#">HR-74QRGG-01</a>	38.08	22.4 (34)	8.0 (21)	30.3	6.9	n/a
<a href="#">HR-AXJ2A3-01</a>	38.09	29.6 (34)	3.3 (21)	32.9	6.6	n/a
<a href="#">HR-JOH95W-01</a>	39.01	32.4 (34)	1.9 (21)	34.3	6.4	n/a
<a href="#">HR-BPKLY7-01</a>	39.02	33.3 (34)	2.3 (21)	35.6	6.3	n/a
<a href="#">HR-5NY3C7-01</a>	39.03	18.1 (34)	4.3 (21)	22.4	7.8	n/a
<a href="#">HR-LRP53H-01</a>	39.04	12.7 (34)	2.8 (21)	15.5	8.6	n/a
<a href="#">HR-3DKJL-01</a>	39.05	10.7 (34)	3.7 (21)	14.4	8.7	n/a
<a href="#">HR-URKZ0M-01</a>	39.06	14.9 (34)	6.4 (21)	21.3	7.9	n/a
<a href="#">HR-EBSQ6Z-01</a>	39.07	24.7 (34)	5.4 (21)	30.1	6.9	n/a
<a href="#">HR-CWIXPT-01</a>	39.08	22.4 (34)	8.1 (21)	30.4	6.9	n/a
<a href="#">HR-0E1KUN-01</a>	39.09	31.5 (34)	3.0 (21)	34.5	6.4	n/a
<a href="#">HR-4YU5N4-01</a>	40.01	32.2 (34)	3.2 (21)	35.4	6.3	n/a
<a href="#">HR-ADDZUM-01</a>	40.02	32.6 (34)	4.7 (21)	37.3	6.1	n/a
<a href="#">HR-WGB3JB-01</a>	40.03	22.9 (34)	7.0 (21)	29.9	7.0	n/a
<a href="#">HR-2WAHYV-01</a>	40.04	15.3 (34)	5.4 (21)	20.8	8.0	n/a
<a href="#">HR-7QDYBQ-01</a>	40.05	16.0 (34)	6.5 (21)	22.5	7.8	n/a
<a href="#">HR-AEO9QX-01</a>	40.06	16.8 (34)	9.2 (21)	26.0	7.4	n/a
<a href="#">HR-37V642-01</a>	40.07	24.8 (34)	9.0 (21)	33.8	6.5	n/a
<a href="#">HR-E0M8WT-01</a>	40.08	21.9 (34)	12.0 (21)	33.8	6.5	n/a
<a href="#">HR-2W45G4-01</a>	40.09	29.9 (34)	5.0 (21)	34.9	6.4	n/a
<a href="#">HR-FP6BB7-01</a>	41.01	27.6 (34)	2.7 (21)	30.3	6.9	n/a
<a href="#">HR-NQEFNN-01</a>	41.02	31.4 (34)	3.3 (21)	34.7	6.4	n/a
<a href="#">HR-2I9S7I-01</a>	41.03	14.8 (34)	5.8 (21)	20.5	8.0	n/a
<a href="#">HR-JJZDCY-01</a>	41.04	8.3 (34)	4.3 (21)	12.6	8.9	n/a
<a href="#">HR-K921SS-01</a>	41.05	11.6 (34)	4.4 (21)	16.0	8.4	n/a
<a href="#">HR-LDR4NO-01</a>	41.06	14.2 (34)	7.1 (21)	21.3	7.9	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-0UVD3W-01</a>	41.07	23.7 (34)	6.3 (21)	30.0	6.9	n/a
<a href="#">HR-A56CL6-01</a>	41.08	20.6 (34)	9.6 (21)	30.2	6.9	n/a
<a href="#">HR-Y4EXJY-01</a>	41.09	28.3 (34)	4.0 (21)	32.3	6.7	n/a
<a href="#">HR-F80UUU-01</a>	42.01	30.0 (34)	2.3 (21)	32.3	6.7	n/a
<a href="#">HR-MHAJW4-01</a>	42.02	30.3 (34)	3.6 (21)	33.9	6.5	n/a
<a href="#">HR-6NUYY7-01</a>	42.03	18.3 (34)	5.2 (21)	23.5	7.7	n/a
<a href="#">HR-OUXW9M-01</a>	42.04	12.3 (34)	3.7 (21)	15.9	8.5	n/a
<a href="#">HR-36SY75-01</a>	42.05	11.7 (34)	4.4 (21)	16.0	8.4	n/a
<a href="#">HR-J96VIR-01</a>	42.06	14.2 (34)	7.1 (21)	21.3	7.9	n/a
<a href="#">HR-A7VPV0-01</a>	42.08	20.7 (34)	9.4 (21)	30.1	6.9	n/a
<a href="#">HR-LRLD85-01</a>	43.01	30.1 (34)	2.3 (21)	32.4	6.7	n/a
<a href="#">HR-0YWMCA-01</a>	43.02	30.3 (34)	3.6 (21)	34.0	6.5	n/a
<a href="#">HR-X6Z02I-01</a>	43.03	17.0 (34)	6.1 (21)	23.1	7.7	n/a
<a href="#">HR-90LTGQ-01</a>	43.04	10.9 (34)	4.3 (21)	15.3	8.6	n/a
<a href="#">HR-7GHD0V-01</a>	43.05	11.6 (34)	4.3 (21)	15.9	8.5	n/a
<a href="#">HR-5C0TCY-01</a>	43.06	14.3 (34)	7.1 (21)	21.4	7.9	n/a
<a href="#">HR-DFLHQC-01</a>	43.08	20.6 (34)	9.5 (21)	30.1	6.9	n/a
<a href="#">HR-5KGZXF-01</a>	44.01	31.4 (34)	2.2 (21)	33.6	6.6	n/a
<a href="#">HR-SRN3CU-01</a>	44.02	31.2 (34)	3.4 (21)	34.6	6.4	n/a
<a href="#">HR-YO2HP5-01</a>	44.03	17.0 (34)	5.9 (21)	22.9	7.8	n/a
<a href="#">HR-65XJFI-01</a>	44.04	11.0 (34)	4.2 (21)	15.2	8.6	n/a
<a href="#">HR-A92864-01</a>	44.05	11.7 (34)	4.4 (21)	16.1	8.4	n/a
<a href="#">HR-YZIZ2B-01</a>	44.07	23.9 (34)	6.1 (21)	30.0	7.0	n/a
<a href="#">HR-KYB05T-01</a>	44.08	20.6 (34)	9.5 (21)	30.2	6.9	n/a
<a href="#">HR-BYTTI0-01</a>	44.09	28.2 (34)	4.1 (21)	32.4	6.7	n/a
<a href="#">HR-1FPOH7-01</a>	45.01	30.3 (34)	2.4 (21)	32.6	6.7	n/a
<a href="#">HR-4TZZRJ-01</a>	45.02	30.2 (34)	3.6 (21)	33.8	6.5	n/a
<a href="#">HR-GANP7A-01</a>	45.03	18.4 (34)	5.3 (21)	23.8	7.7	n/a
<a href="#">HR-U8DVMW-01</a>	45.04	12.5 (34)	3.5 (21)	16.0	8.4	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-II0F4X-01</a>	45.05	11.7 (34)	4.4 (21)	16.0	8.4	n/a
<a href="#">HR-EHNTKQ-01</a>	45.06	14.5 (34)	7.1 (21)	21.6	7.9	n/a
<a href="#">HR-OZODOC-01</a>	45.07	24.0 (34)	6.1 (21)	30.1	6.9	n/a
<a href="#">HR-D4VJ2E-01</a>	45.08	20.9 (34)	9.3 (21)	30.3	6.9	n/a
<a href="#">HR-CD4TM4-01</a>	45.09	29.5 (34)	3.9 (21)	33.4	6.6	n/a
<a href="#">HR-KM8EDV-01</a>	46.01	30.2 (34)	2.3 (21)	32.5	6.7	n/a
<a href="#">HR-6H4YOW-01</a>	46.02	30.1 (34)	3.8 (21)	33.9	6.5	n/a
<a href="#">HR-U549M8-01</a>	46.03	16.9 (34)	6.0 (21)	23.0	7.8	n/a
<a href="#">HR-BPET0C-01</a>	46.04	11.0 (34)	4.2 (21)	15.3	8.6	n/a
<a href="#">HR-12B0CH-01</a>	46.05	11.7 (34)	4.5 (21)	16.1	8.4	n/a
<a href="#">HR-G7Y99Z-01</a>	46.06	14.5 (34)	7.1 (21)	21.6	7.9	n/a
<a href="#">HR-HK2JXP-01</a>	46.07	24.0 (34)	6.1 (21)	30.1	6.9	n/a
<a href="#">HR-YL17N4-01</a>	46.08	20.8 (34)	9.4 (21)	30.2	6.9	n/a
<a href="#">HR-1R58GK-01</a>	46.09	28.3 (34)	4.3 (21)	32.7	6.7	n/a
<a href="#">HR-VF4WAB-01</a>	47.01	31.3 (34)	2.5 (21)	33.8	6.5	n/a
<a href="#">HR-RDNEGN-01</a>	47.02	31.1 (34)	3.6 (21)	34.8	6.4	n/a
<a href="#">HR-Q57BNN-01</a>	47.03	17.1 (34)	6.1 (21)	23.2	7.7	n/a
<a href="#">HR-12OP2Q-01</a>	47.04	11.3 (34)	4.4 (21)	15.7	8.5	n/a
<a href="#">HR-PXS90R-01</a>	47.05	12.1 (34)	4.5 (21)	16.5	8.4	n/a
<a href="#">HR-MQ8A20-01</a>	47.06	14.7 (34)	7.0 (21)	21.7	7.9	n/a
<a href="#">HR-ICDK8G-01</a>	47.07	24.2 (34)	6.1 (21)	30.3	6.9	n/a
<a href="#">HR-5NUXVN-01</a>	47.08	20.9 (34)	9.4 (21)	30.3	6.9	n/a
<a href="#">HR-G7APJX-01</a>	47.09	28.5 (34)	4.3 (21)	32.8	6.6	n/a
<a href="#">HR-492J01-01</a>	48.01	32.8 (33)	2.3 (20)	35.0	6.4	n/a
<a href="#">HR-D68LF2-01</a>	48.02	33.7 (33)	3.1 (20)	36.8	6.1	n/a
<a href="#">HR-L9Q1S8-01</a>	48.03	21.6 (33)	4.9 (20)	26.5	7.4	n/a
<a href="#">HR-XCF2CD-01</a>	48.04	14.6 (33)	3.5 (20)	18.1	8.3	n/a
<a href="#">HR-B289LL-01</a>	48.05	11.0 (33)	4.5 (20)	15.6	8.6	n/a
<a href="#">HR-N6UNIJ-01</a>	48.06	17.3 (33)	9.9 (20)	27.2	7.3	n/a

## Summary of all dwellings

Certificate number and link	Unit Number	Heating load (load limit) (MJ/m <sup>2</sup> .yr)	Cooling load (load limit) (MJ/m <sup>2</sup> .yr)	Total load (MJ/m <sup>2</sup> .yr)	Star Rating	Whole of Home Rating
<a href="#">HR-25NFKT-01</a>	48.07	25.8 (33)	7.1 (20)	32.9	6.6	n/a
<a href="#">HR-W4A738-01</a>	48.08	20.4 (33)	12.3 (20)	32.7	6.7	n/a
<a href="#">HR-T4W6CM-01</a>	48.09	30.4 (33)	4.2 (20)	34.6	6.4	n/a
<a href="#">HR-A2HYT6-01</a>	49.01	28.8 (33)	8.5 (20)	37.3	6.1	n/a
<a href="#">HR-91Z9IO-01</a>	49.02	8.2 (33)	4.7 (20)	12.8	8.9	n/a
<a href="#">HR-PH80AC-01</a>	49.03	15.5 (33)	12.9 (20)	28.4	7.2	n/a
<a href="#">HR-MVZEUP-01</a>	49.04	23.5 (33)	8.3 (20)	31.8	6.8	n/a
<a href="#">HR-FRMZPR-01</a>	49.05	31.7 (33)	5.3 (20)	36.9	6.1	n/a
<a href="#">HR-ID6Z64-01</a>	50.01	24.2 (33)	11.4 (20)	35.6	6.3	n/a
<a href="#">HR-OC42DY-01</a>	50.02	13.7 (33)	8.2 (20)	21.9	7.9	n/a
<a href="#">HR-0ZPNK1-01</a>	50.03	25.0 (33)	10.3 (20)	35.3	6.3	n/a
<a href="#">HR-JNU8UD-01</a>	50.04	26.1 (33)	10.8 (20)	36.9	6.1	n/a
<a href="#">HR-WDEA6E-01</a>	50.05	30.4 (33)	7.5 (20)	37.9	6.0	n/a
Averages	538x (Total)	24.1	5.3	29.4	7.0	n/a
Maximum Loads and Minimum Ratings		34.3	12.9	38.0	6.0	n/a

## Explanatory notes

### About the ratings

The thermal performance star rating in this Certificate is the average rating of all NCC Class 2 dwellings in an apartment block. The Whole of Home performance rating in this Certificate is the lowest rating for the apartment block. Individual unit ratings are listed in the 'Summary of all dwellings' section of this Certificate.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and societal cost. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy production and storage to estimate the home's societal cost.

For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

### Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

## Appendix D – Stamped Architectural Plans

# 601 Pacific Hwy, St Leonards Development Application

## Drawing List

Sheet Number	Sheet Name
0901	Cover Sheet - Drawing List
0902	BASIX Summary
0950	Site Plan - Existing Conditions
0951	Site Plan - Demolition
0952	Site Plan - Site Plan
10B6	General Arrangement Plan Level B6
10B5	General Arrangement Plan Level B5
10B4	General Arrangement Plan Level B4
10B3	General Arrangement Plan Level B3
10B2	General Arrangement Plan Level B2
10B1	General Arrangement Plan Level B1
1001	General Arrangement Plan Level 01
1002	General Arrangement Plan Level 02
1003	General Arrangement Plan Level 03
1004	General Arrangement Plan Level 04
1005	General Arrangement Plan Level 05
1006	General Arrangement Plan Level 06
1007	General Arrangement Plan Level 07-32
1033	General Arrangement Plan Level 33
1034	General Arrangement Plan Level 34-48
1049	General Arrangement Plan Level 49
1050	General Arrangement Plan Level 50
1051	General Arrangement Plan Level 51
1052	General Arrangement Plan Level 52
1053	General Arrangement Plan Roof
1160	South Elevation
1161	East Elevation
1162	North Elevation
1163	West Elevation
1180	Section A-A East/West
1181	Section B-B North/South
4001	BTS Apartments - 1 Bed Types
4002	BTS Apartments - 2 Bed Types
4003	BTS Apartments - 3 Bed Types
4004	BTS Apartments - 4 Bed Types
4005	Adaptable and LHA Silver Apartment Types (Sheet 1)
4006	Adaptable and LHA Silver Apartment Types (Sheet 2)
4007	BTS Apartments - Penthouses (Sheet 1)
4008	BTS Apartments - Penthouses (Sheet 2)
4010	AH Apartments - Apartment Types
4020	Shadow Analysis Diagrams - Winter Solstice
4022	Views From the Sun Diagrams - Winter Solstice
4031	GFA Diagrams (Sheet 1)
4032	GFA Diagrams (Sheet 2)
4040	Communal Area Plans
4050	Solar Access
4060	Cross Ventilation
6501	Development Summary



**BATESSMART™**

Transformative thinking  
for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
**Stockland Development**

Current Revision Description



Data Issue Record  
Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title  
**601 Pacific Hwy  
Cammeraygal Country**

Project Address  
**601 Pacific Hwy, St Leonards,  
NSW**

Project No.  
**S12758**

Drawing Title  
**DA00 - Title Sheets  
Cover Sheet - Drawing List**

Phase  
**SSDA**

Status  
**For Approval**

Drawing no.  
**0901**

Scale  
**@ A1**

Revision  
**A**

<b>NATHERS Thermal Comfort Inclusions</b>	
<b>Glazing Doors/Windows</b>	
• Fixed panel windows - North / East / South (double-glazing, aluminium frames):	
• U-value 2.5 (equal or lower than)	
• SHGC 0.36 (±5%)	
• Fixed panel windows - West (double-glazing, aluminium frames):	
• U-value 2.4 (equal or lower than)	
• SHGC 0.36 (±5%)	
• Awning windows- all orientation (double-glazing, aluminium frames)	
• U-value 2.71 (equal or lower than)	
• SHGC 0.34 (±5%)	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 3.70 (equal or lower than)	
• SHGC 0.34 (±5%)	
<b>Slider Upgrade 1 – Refer to Thermal Upgrades Table</b>	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 2.90 (equal or lower than)	
• SHGC 0.35 (±5%)	
<b>Slider Upgrade 2 – Refer to Thermal Upgrades Table</b>	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 2.81 (equal or lower than)	
• SHGC 0.34 (±5%)	
<b>Slider Upgrade 3 – Refer to Thermal Upgrades Table</b>	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 2.70 (equal or lower than)	
• SHGC 0.35 (±5%)	
<b>Slider Upgrade 4 – Refer to Thermal Upgrades Table</b>	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 2.60 (equal or lower than)	
• SHGC 0.35 (±5%)	
<b>Slider Upgrade 5 – Refer to Thermal Upgrades Table</b>	
• Sliding doors- all orientation (double-glazing, aluminium frames):	
• U-value 2.50 (equal or lower than)	
• SHGC 0.35 (±5%)	
<b>Roof and ceiling</b>	
• Minimum 200mm Concrete with plasterboard ceiling, no insulation where neighbouring units are above	
• Minimum 200mm Concrete with plasterboard with R3.6 continuous insulation (insulation only value, no thermal bridging was allowed for) where roof or balcony is above.	
<b>Insulation Upgrade – Refer to Thermal Upgrades Table</b>	
• Concrete with plasterboard with R5.4 or R6.0 continuous insulation (insulation only value, no thermal bridging was allowed for) where roof above	
External Colour - Medium (0.475 < SA < 0.7)	
<b>Ceiling Penetrations</b>	
• Sealed downlights: 1 per 5 m2, ceiling penetration 100mm diameter with 50mm clearance	
• Sealed exhaust fans: kitchen, bathroom, ensuite and laundry, ceiling penetration 250mm diameter with 50mm clearance	
<b>Ceiling Fans.</b>	
• Ceiling fans diam 900mm to all bedrooms and living areas in each dwelling	
<b>Upgrade to Dwelling 50.04 – Ceiling fans diam 1200mm to living and all bedrooms</b>	
<b>Floors</b>	
• Minimum 200mm Concrete with a minimum R3.0 insulation (insulation only value, no thermal bridging was allowed for) equired where part open subfloor, plant room, and carpark is below	
• Minimum 200mm Concrete between levels, no insulation required where conditioned space below	
Floor coverings - Carpet to bedrooms, tiles to bathrooms and ensuites, timber elsewhere.	
<b>External Walls</b>	
• Curtain wall (façade) glass/aluminium spandrel insulated panel with R2.5 insulation (insulation value only) and plasterboard internally	
• Concrete wall with R2.5 insulation (insulation value only) and plasterboard internally	
<b>Insulation Upgrade – Refer to Thermal Upgrades Table</b>	
• R4 insulation (insulation value only) and plasterboard internally to concrete and curtain walls	
External Colour - medium	
<b>Inter-tenancy walls</b>	
• 75mm Hebel Power Panel to walls adjacent to neighbours (no insulation)	
• 75mm Hebel Power Panel to walls adjacent to corridors with R1.5 insulation (insulation value only)	
• Concrete with plasterboard lining as per plans to walls next to lifts and stairs (no insulation)	
<b>Walls within dwellings</b>	
• Plasterboard on studs – no insulation	
<b>External Shading</b>	
• Shading as per stamped documentation	

<b>BASIX - Water requirements</b>	
<b>Central Rainwater storage</b>	
• 50,000 (L) size	
• 607 m² rooftop area diverted to tank used for landscape irrigation	
<b>Fire sprinkler test water</b>	
• Open loop system	
<b>Landscape</b>	
• 0 m² lawn	
• 614 m² garden	
• 550 m² low-water or indigenous species	
<b>Common area swimming pool and spa</b>	
• Indoor pool 190KL	
• Indoor spa 4KL without cover	
<b>BASIX – Energy requirements</b>	
<b>Hot water system</b>	
• Central system: Electric heat pump – air sourced, COP 3.5-4 with R1.0 (~38mm) insulation to ring main and supply risers.	
<b>Heating and cooling – Levels 2-4</b>	
Individual cooling system: System type: ducted split (day/night system)	
• 1-phase airconditioning-ducted / 1 star (average zone)	
Individual heating system: System type: ducted split (day/night system)	
• 1-phase airconditioning-ducted / 3 star (average zone)	
<b>Heating and cooling – Levels 6- 51</b>	
Central cooling system: System type: Variable Refrigerant Volume Unit	
• Electric driven + water cooled compressor /COP 3.5 - 5.5	
Central heating system: System type: Variable Refrigerant Volume Unit	
• Electric driven compressor + water sourced evaporator /COP 3.5 - 5.5	
<b>Common area swimming pool and spa</b>	
• Indoor pool - electric heat pump controlled by timer	
• Indoor spa - electric heat pump controlled by timer	
<b>Sauna</b>	
• Electric infrared -manual on / timer off	
<b>Alternative Energy</b>	
• Minimum 38 kW PV system	

<b>Thermal Upgrades Table</b>	
Unit number	Thermal Comfort Upgrades
04.05	Slider upgrade 1 to Living
06.02	Slider upgrade 1 to Living
06.10	Slider upgrade 1 to Living
06.11	Slider upgrade 1 to Living
06.12	Slider upgrade 1 to Living & Bedroom
07.02	Slider upgrade 1 to Living
07.10	Slider upgrade 1 to Living
07.11	Slider upgrade 1 to Living
07.12	Slider upgrade 1 to Living & Bedroom
08.02	Slider upgrade 1 to Living
08.10	Slider upgrade 1 to Living
08.11	Slider upgrade 1 to Living
08.12	Slider upgrade 1 to Living & Bedroom
09.02	Slider upgrade 1 to Living
09.10	Slider upgrade 1 to Living
09.11	Slider upgrade 1 to Living
09.12	Slider upgrade 1 to Living & Bedroom
10.02	Slider upgrade 1 to Living
10.10	Slider upgrade 1 to Living
10.11	Slider upgrade 1 to Living & Bedroom
10.12	Slider upgrade 1 to Living & Bedroom
11.02	Slider upgrade 1 to Living
11.10	Slider upgrade 1 to Living
11.11	Slider upgrade 1 to Living
11.12	Slider upgrade 1 to Living & Bedroom
12.02	Slider upgrade 1 to Living
12.10	Slider upgrade 1 to Living
12.11	Slider upgrade 1 to Living
12.12	Slider upgrade 1 to Living & Bedroom
13.01	Slider upgrade 1 to Living
13.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
13.03	Slider upgrade 1 to Living
13.06	Slider upgrade 1 to Living
13.10	Slider upgrade 1 to Living
13.11	Slider upgrade 1 to Living
13.12	Slider upgrade 1 to Living
	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
14.01	Slider upgrade 1 to Living
14.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
14.03	Slider upgrade 1 to Living
14.06	Slider upgrade 1 to Living
14.10	Slider upgrade 1 to Living
14.11	Slider upgrade 1 to Living
14.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
15.01	Slider upgrade 1 to Living
15.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
15.03	Slider upgrade 1 to Living
15.06	Slider upgrade 1 to Living
15.10	Slider upgrade 1 to Living
15.11	Slider upgrade 1 to Living
15.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
16.01	Slider upgrade 1 to Living
16.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
16.03	Slider upgrade 1 to Living
16.06	Slider upgrade 1 to Living
16.10	Slider upgrade 1 to Living
16.11	Slider upgrade 1 to Living
16.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
17.01	Slider upgrade 1 to Living
17.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
17.03	Slider upgrade 1 to Living
17.06	Slider upgrade 1 to Living
17.10	Slider upgrade 1 to Living
17.11	Slider upgrade 1 to Living
17.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
18.01	Slider upgrade 1 to Living
18.02	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
18.03	Slider upgrade 1 to Living
18.06	Slider upgrade 1 to Living
18.09	Slider upgrade 1 to Living
18.10	Slider upgrade 1 to Living
18.11	Slider upgrade 1 to Living
18.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
18.13	Slider upgrade 1 to Living
19.01	Slider upgrade 1 to Living
19.02	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
19.03	Slider upgrade 1 to Living
19.06	Slider upgrade 1 to Living
19.09	Slider upgrade 1 to Living
19.10	Slider upgrade 1 to Living
19.11	Slider upgrade 1 to Living
19.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
19.13	Slider upgrade 1 to Living
20.01	Slider upgrade 1 to Living
20.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
20.03	Slider upgrade 1 to Living
20.06	Slider upgrade 1 to Living
20.09	Slider upgrade 1 to Living
20.10	Slider upgrade 1 to Living
20.11	Slider upgrade 5 to Living
20.12	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
20.13	Slider upgrade 1 to Living
21.01	Slider upgrade 1 to Living
21.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
21.09	Slider upgrade 1 to Living
21.10	Slider upgrade 1 to Living
21.11	Slider upgrade 1 to Living
21.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
21.13	Slider upgrade 1 to Living
22.01	Slider upgrade 1 to Living

<b>Thermal Upgrades Table</b>	
Unit number	Thermal Comfort Upgrades
22.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
22.09	Slider upgrade 1 to Living
22.10	Slider upgrade 1 to Living
22.11	Slider upgrade 1 to Living
22.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
22.13	Slider upgrade 1 to Living
23.01	Slider upgrade 1 to Living
23.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
23.09	Slider upgrade 1 to Living
23.10	Slider upgrade 1 to Living
23.11	Slider upgrade 1 to Living
23.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
23.13	Slider upgrade 1 to Living
24.01	Slider upgrade 1 to Living
24.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
24.09	Slider upgrade 1 to Living
24.10	Slider upgrade 1 to Living
24.11	Slider upgrade 1 to Living
24.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
24.13	Slider upgrade 1 to Living
25.01	Slider upgrade 1 to Living
25.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
25.09	Slider upgrade 1 to Living
25.10	Slider upgrade 1 to Living
25.11	Slider upgrade 5 to Living
25.12	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
25.13	Slider upgrade 1 to Living
26.01	Slider upgrade 1 to Living
26.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
26.09	Slider upgrade 1 to Living
26.10	Slider upgrade 1 to Living
26.11	Slider upgrade 5 to Living
26.12	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
26.13	Slider upgrade 1 to Living
27.01	Slider upgrade 1 to Living
27.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
27.09	Slider upgrade 1 to Living
27.10	Slider upgrade 1 to Living
27.11	Slider upgrade 5 to Living
27.12	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
27.13	Slider upgrade 1 to Living
28.01	Slider upgrade 1 to Living
28.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
28.09	Slider upgrade 1 to Living
28.10	Slider upgrade 1 to Living
28.11	Slider upgrade 2 to Living
28.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
28.13	Slider upgrade 1 to Living
29.01	Slider upgrade 1 to Living
29.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
29.09	Slider upgrade 1 to Living
29.10	Slider upgrade 1 to Living
29.11	Slider upgrade 1 to Living
29.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
29.13	Slider upgrade 1 to Living
30.01	Slider upgrade 1 to Living
30.02	Slider upgrade 4 to Living
	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
30.09	Slider upgrade 1 to Living
30.10	Slider upgrade 1 to Living
30.11	Slider upgrade 1 to Living
30.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
30.13	Slider upgrade 1 to Living
31.01	Slider upgrade 1 to Living
31.02	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
31.09	Slider upgrade 1 to Living
31.10	Slider upgrade 1 to Living
31.11	Slider upgrade 1 to Living
31.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
31.13	Slider upgrade 1 to Living
32.01	Slider upgrade 1 to Living
32.02	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
32.09	Slider upgrade 1 to Living
32.10	Slider upgrade 1 to Living
32.11	Slider upgrade 1 to Living
32.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
32.13	Slider upgrade 1 to Living
33.01	Slider upgrade 1 to Living
	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
33.02	Slider upgrade 2 to Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
33.09	Slider upgrade 1 to Living
33.10	Slider upgrade 1 to Living
33.11	Slider upgrade 1 to Living
33.12	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
33.13	Slider upgrade 1 to Living
33.14	Slider upgrade 1 to Living
33.15	Slider upgrade 5 to Living
	Slider upgrade 3 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
33.16	Slider upgrade 1 to Living
33.17	Slider upgrade 1 to Living
	Slider upgrade 4 to Bedroom
	R4 wall insulation upgrade to all façades (balcony excluded)
33.18	Slider upgrade 1 to Living
	R5.4 ceiling/roof insulation

<b>Thermal Upgrades Table</b>	
Unit number	Thermal Comfort Upgrades
34.01	Slider upgrade 1 to Living
34.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
34.08	Slider upgrade 1 to Living
34.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
35.01	Slider upgrade 1 to Living
35.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
35.08	Slider upgrade 1 to Living
35.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
36.01	Slider upgrade 1 to Living
36.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
36.08	Slider upgrade 1 to Living
36.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
37.01	Slider upgrade 1 to Living
37.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
37.08	Slider upgrade 1 to Living
37.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
38.01	Slider upgrade 1 to Living
38.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
38.08	Slider upgrade 1 to Living
38.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
39.01	Slider upgrade 1 to Living
39.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
39.08	Slider upgrade 1 to Living
39.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
40.01	Slider upgrade 1 to Living
40.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
40.08	Slider upgrade 1 to Living
40.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
41.01	Slider upgrade 1 to Living
41.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
41.08	Slider upgrade 1 to Living
41.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
42.01	Slider upgrade 1 to Living
42.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
42.08	Slider upgrade 1 to Living
42.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
43.01	Slider upgrade 1 to Living
43.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
43.08	Slider upgrade 1 to Living
43.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
44.01	Slider upgrade 1 to Living
44.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
44.08	Slider upgrade 1 to Living
44.09	Slider upgrade 4 to Living and Bedroom
	R4 wall insulation upgrade to the West and South façade (balcony excluded)
45.01	Slider upgrade 1 to Living
45.02	Slider upgrade 2 to Bedroom
	Slider upgrade 4 to Living



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards, NSW

Project No.  
S12758

Drawing Title  
DA01 - Site Plans  
Site Plan - Existing Conditions

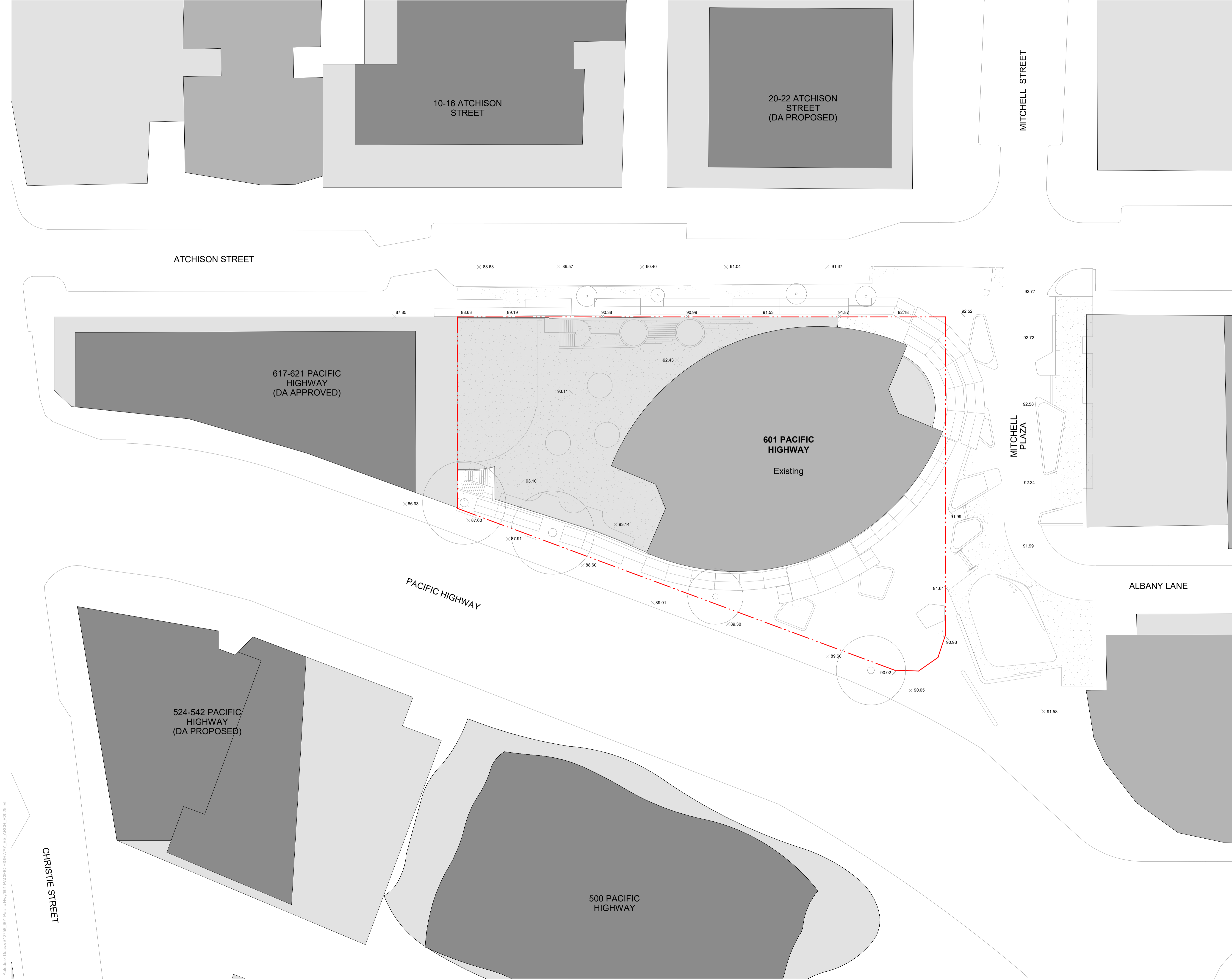
Phase  
SSDA

Status  
For Approval

Drawing no.  
0950

Scale  
1 : 250 @ A1

Revision  
A



Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_ISS\_ARCH/02026.rvt



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

DEMOLITION PLAN - LEGEND

- Structure to be demolished
- Site Boundary
- Trees to be Retained
- Trees to be Removed

Current Revision Description

**Certificate No. #HR-JRVL2V-01**  
Scan QR code or follow website link for rating details.

Assessor name: Jovana Kikovic  
Accreditation No: DMN252209  
Property Address: 601 Pacific Hwy, St Leonards, NSW, 2095  
<http://www.hero-software.com.au/pdf/HR-JRVL2V-01>

Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA01 - Site Plans  
Site Plan - Demolition

Phase  
SSDA

Status  
For Approval

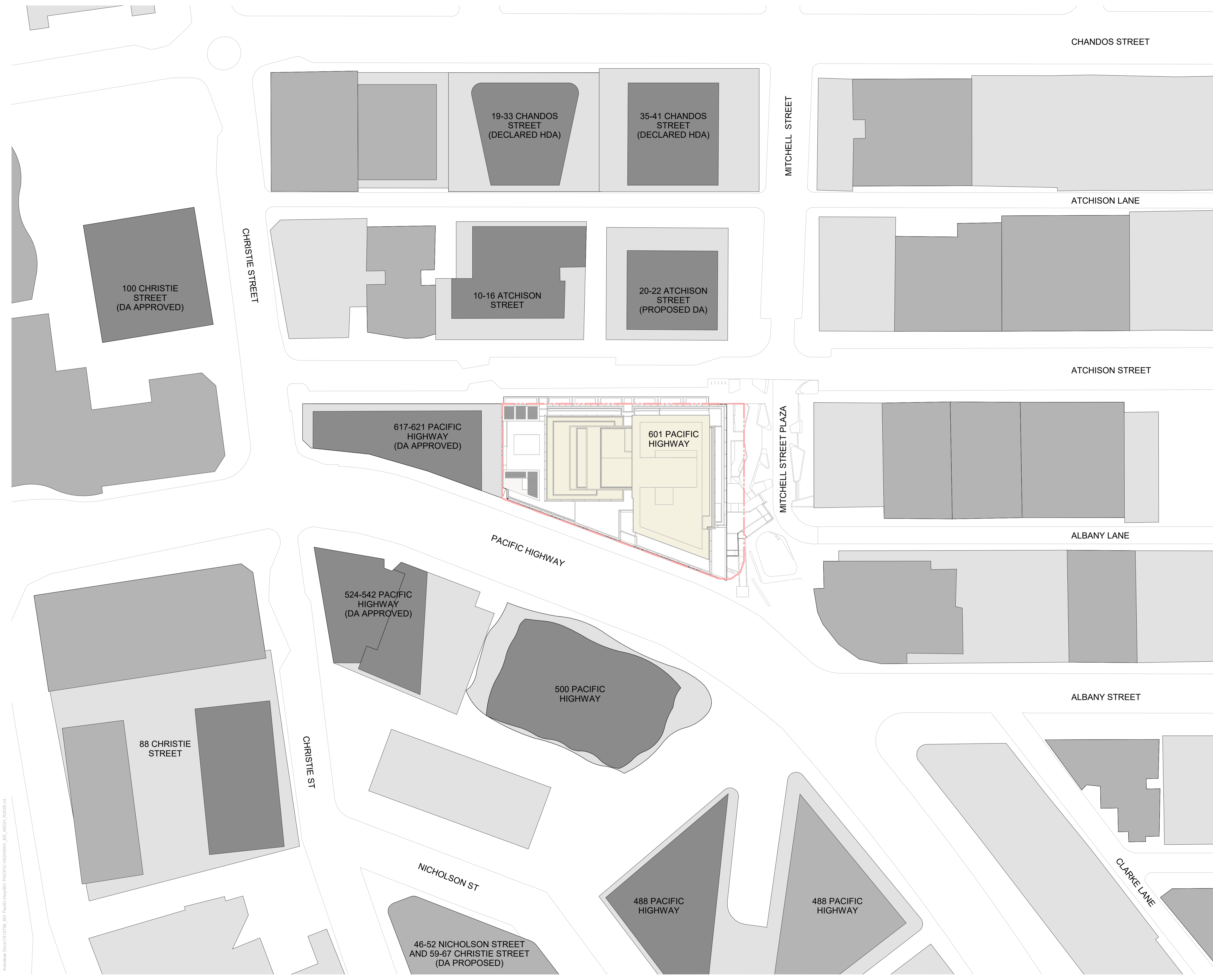
Drawing no.  
0951

Scale  
1 : 250 @ A1

Revision  
A



Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BS\_ARCH\_02026.rvt



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record

Rev	Date	Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards, NSW

Project No.  
S12758

Drawing Title  
DA01 - Site Plans  
Site Plan - Site Plan

Phase  
SSDA

Status  
For Approval

Drawing no.  
0952

Scale  
1 : 500 @ A1

Revision  
A

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_ISS\_ARCH\_102026.rvt



**Car Spaces**  
54 Standard Cars (incl 3 Small Spaces)  
8 Adaptable Cars  
**62 Total**

4 Motorbike Spaces  
83 Storage Cages

Current Revision Description



Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title

601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level B5

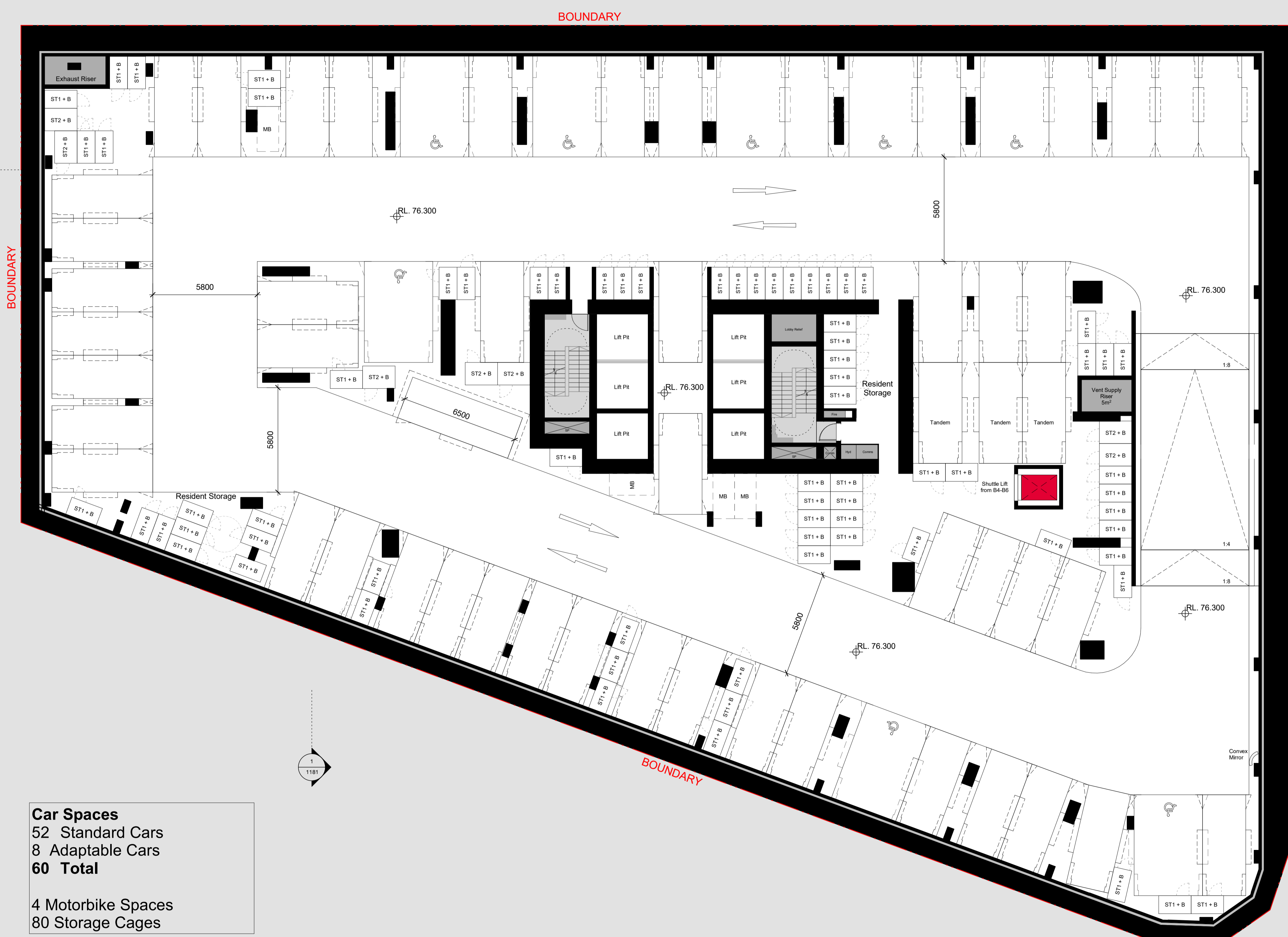
Phase  
SSDA

Status  
For Approval

Drawing no.  
10B5

Scale  
1 : 125 @ A1

Revision  
A



**Car Spaces**  
52 Standard Cars  
8 Adaptable Cars  
**60 Total**  
  
4 Motorbike Spaces  
80 Storage Cages

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record

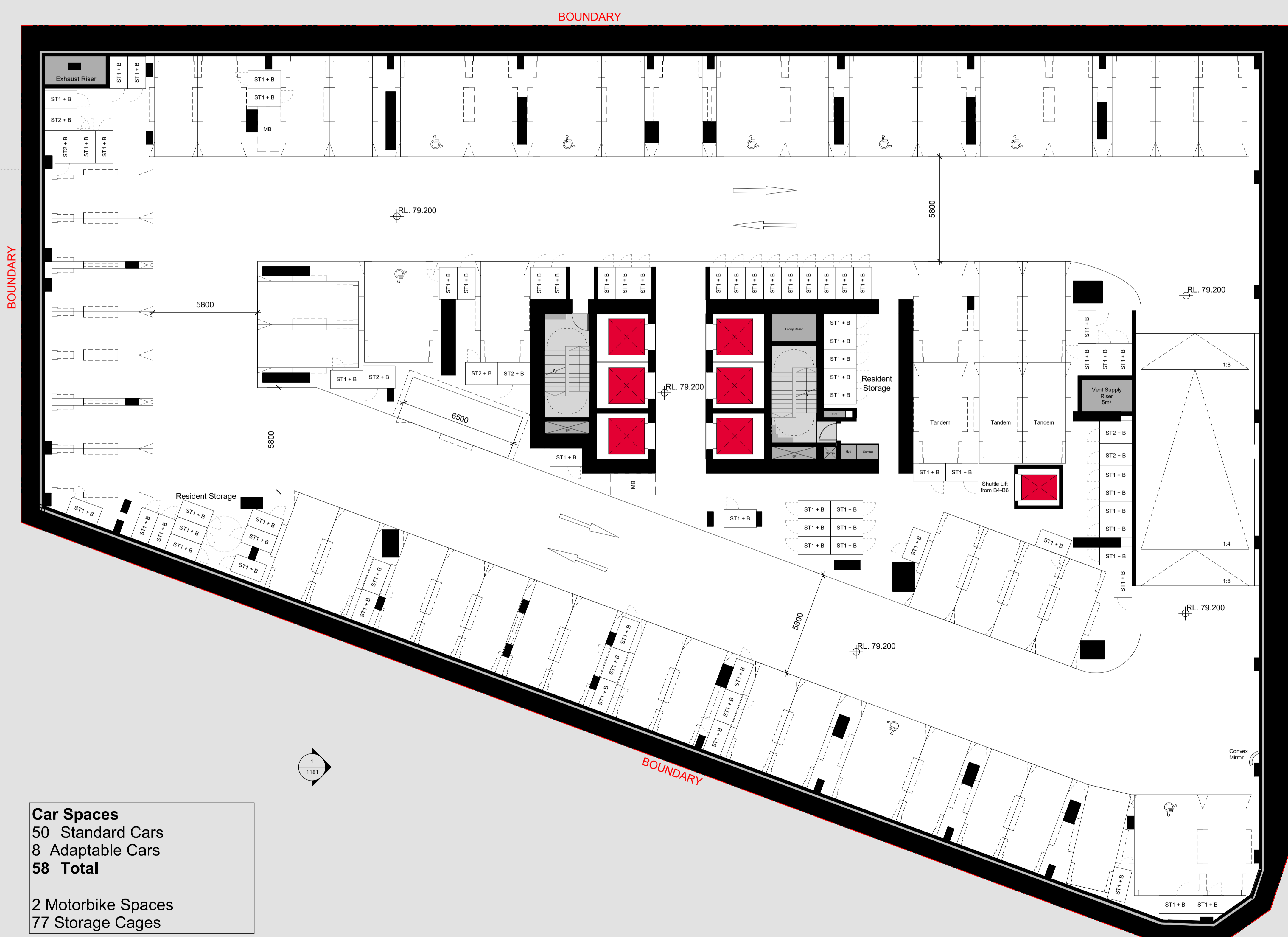
Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758  
Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level B4

Phase  
SSDA  
Status  
For Approval  
Drawing no.  
10B4  
Scale  
1 : 125 @ A1  
Revision  
A



**Car Spaces**  
50 Standard Cars  
8 Adaptable Cars  
**58 Total**  
  
2 Motorbike Spaces  
77 Storage Cages

Current Revision Description



Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title

601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level B3

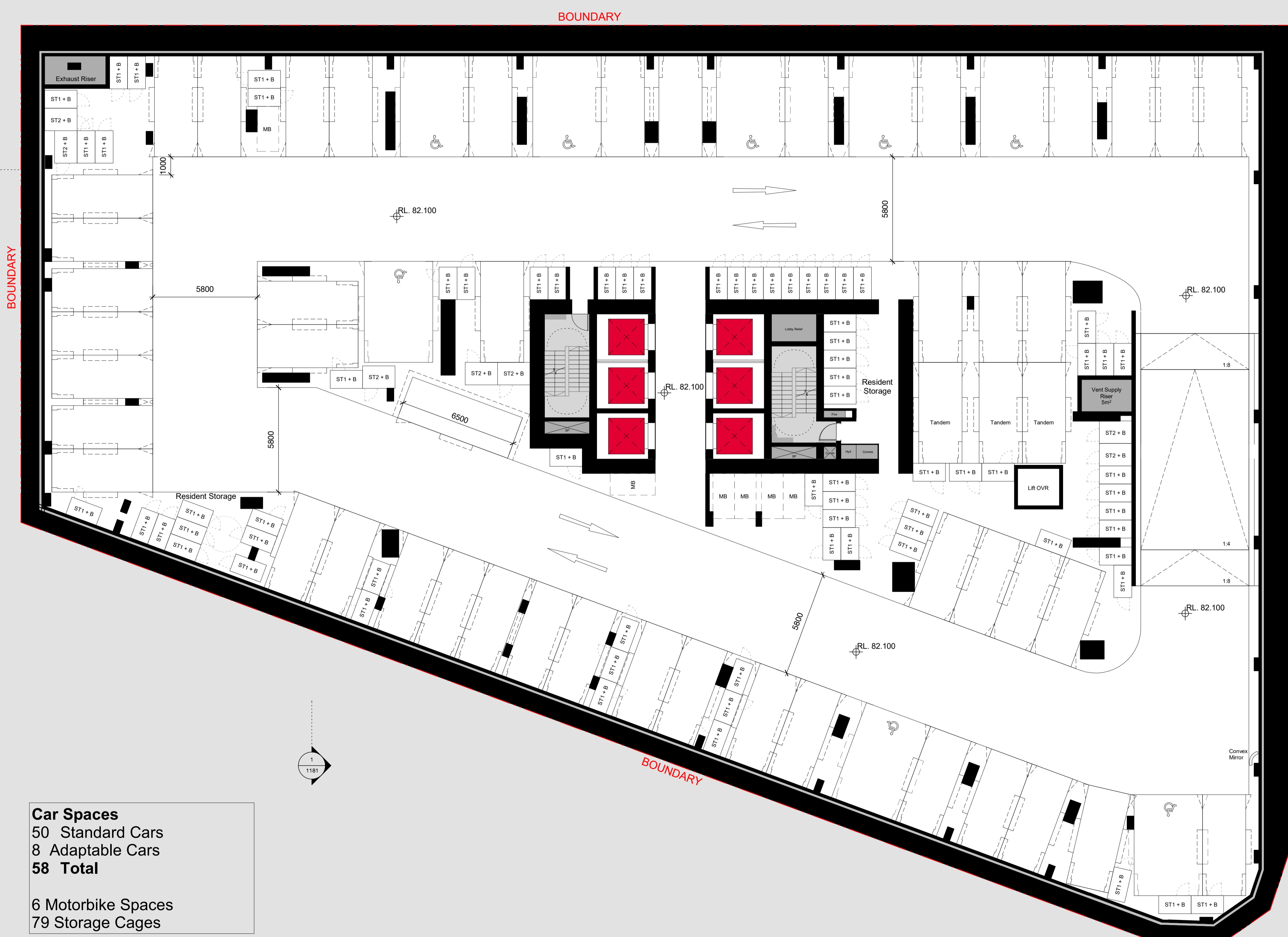
Phase  
SSDA

Status  
For Approval

Drawing no.  
10B3

Scale  
1 : 125 @ A1

Revision  
A



**Car Spaces**  
50 Standard Cars  
8 Adaptable Cars  
**58 Total**  
  
6 Motorbike Spaces  
79 Storage Cages



**Car Spaces**  
41 Standard Cars  
8 Adaptable Cars  
**49 Total**  
  
9 Motorbike Spaces  
53 Storage Cages

Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSSA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level B1

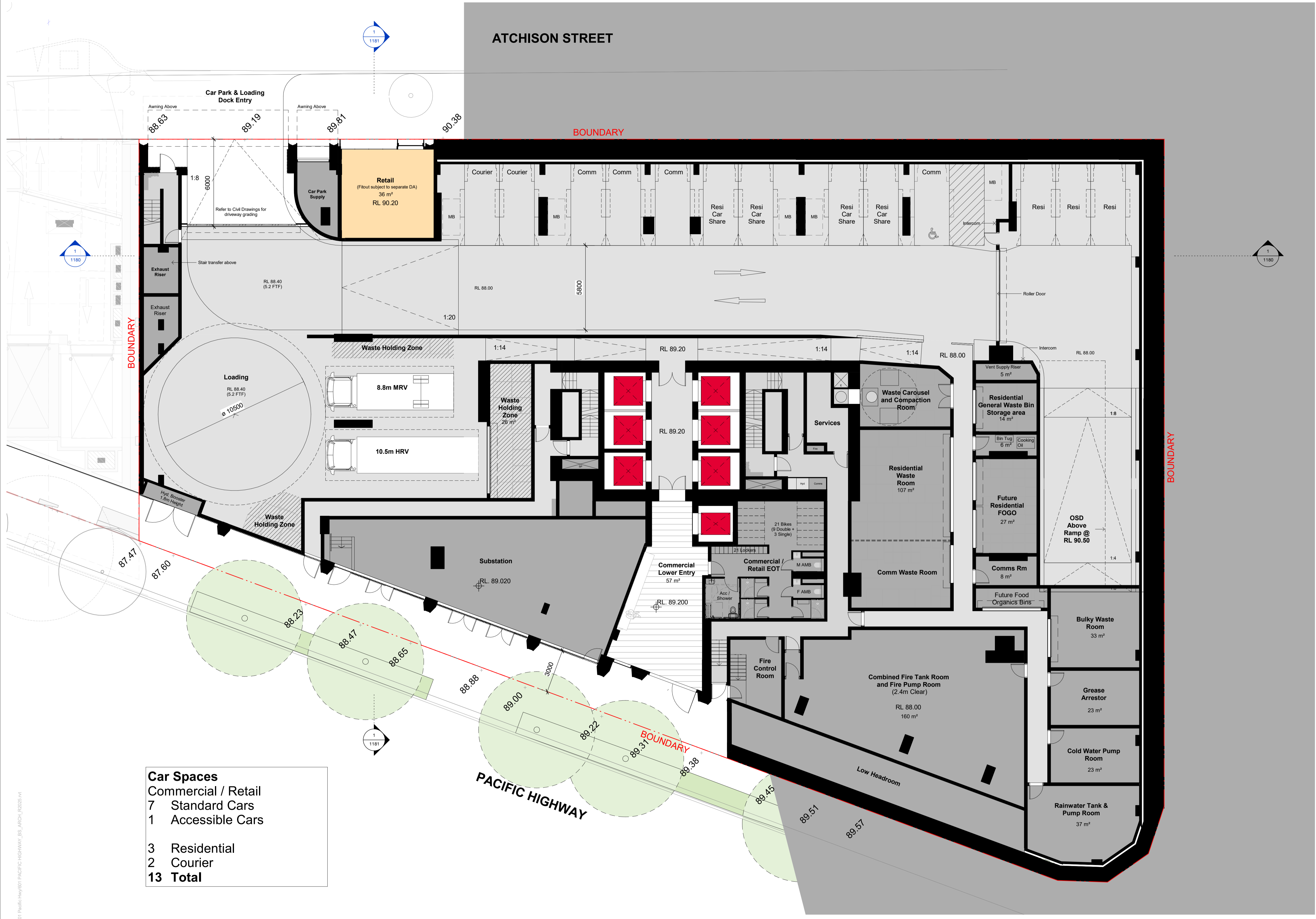
Phase  
SSDA

Status  
For Approval

Drawing no.  
10B1

Scale  
1 : 125 @ A1

Revision  
A



**Car Spaces**

Commercial / Retail	7 Standard Cars
	1 Accessible Cars
Residential	3 Residential
Courier	2 Courier
<b>Total</b>	<b>13 Total</b>

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_B1\_ARCH\_102026.dwg

Current Revision Description

**Certificate No. #HR-JRVL2V-01**  
Scan QR code or follow website link for rating details.

Assessor name: Jovana Kikovic  
Accreditation No: DMN252209  
Property Address: 601 Pacific Hwy, St Leonards, NSW, 2060  
<http://www.hero-software.com.au/pdf/HR-JRVL2V-01>



Data Issue Record

Rev	Date	Description

A 17/03/2026 SSDA Issue

Project Title  
**601 Pacific Hwy**  
First Nations Country  
**Cammeraygal Country**  
Project Address  
**601 Pacific Hwy, St Leonards, NSW**

Project No.  
**S12758**

Drawing Title  
**DA03 - General Arrangements**  
**General Arrangement Plan Level 01**

Phase  
**SSDA**

Status  
**For Approval**

Drawing no.  
**1001**

Scale  
**1 : 125 @ A1**

Revision  
**A**

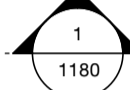


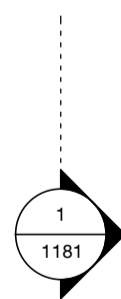
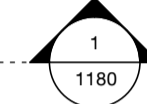
Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_BS\_ARCH\_10025.dwg



Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_BS\_ARCH\_100205.rvt







Current Revision Description



Data Issue Record

Current Revision released by

Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
**601 Pacific Hwy  
First Nations Country  
Cammeraygal Country**

Project Address  
**601 Pacific Hwy, St Leonards,  
NSW**

Project No.  
**S12758**

Drawing Title  
**DA03 - General Arrangements  
General Arrangement Plan Level 05**

Phase  
**SSDA**

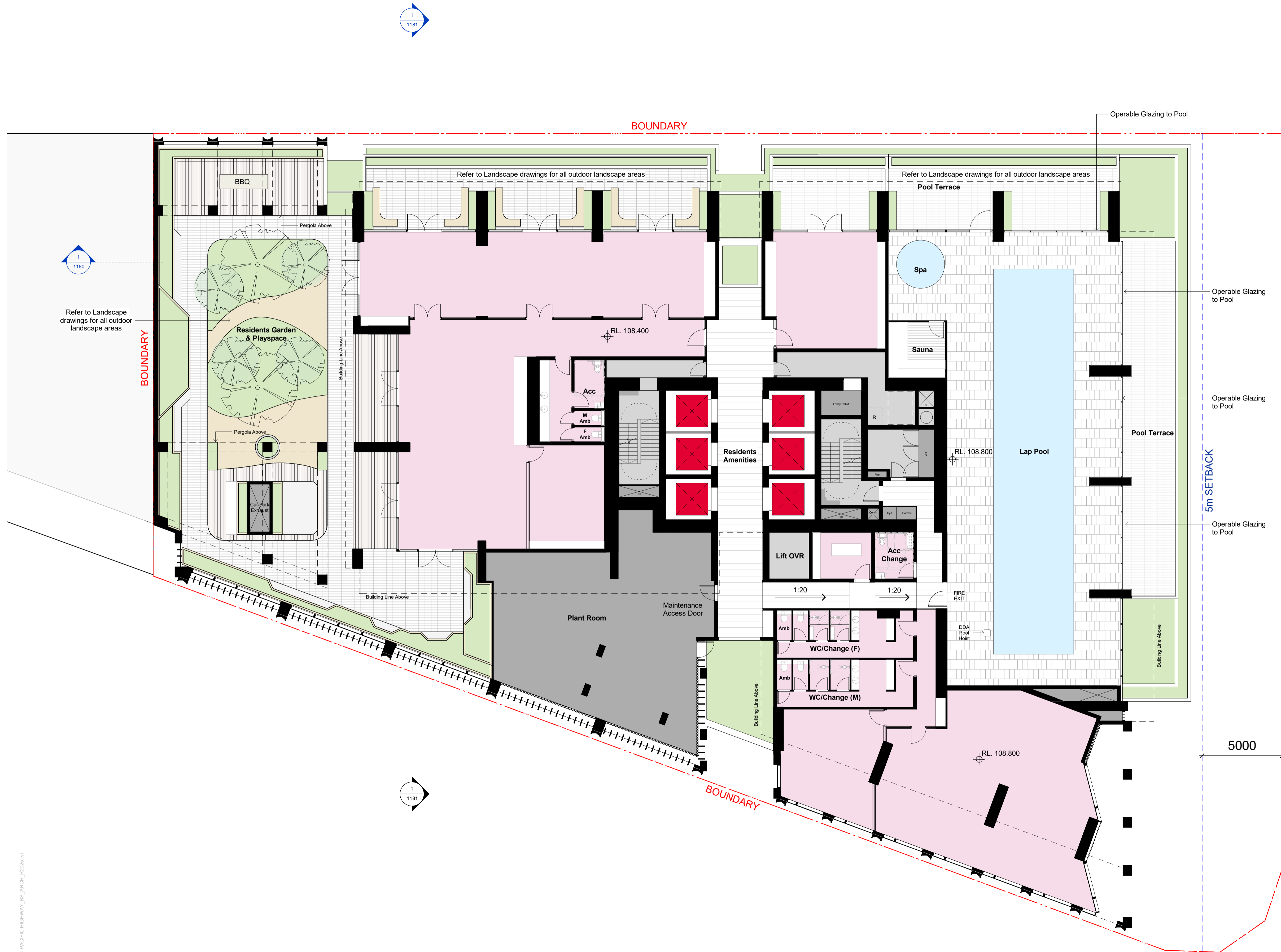
Status  
**For Approval**

Drawing no.  
**1005**

Scale  
**1 : 125 @ A1**

Revision  
**A**

Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BS\_ARCH\_1005.rvt



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 06

Phase  
SSDA  
Status  
For Approval

Scale  
1 : 125 @ A1

Drawing no.  
1006

Revision  
A

Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BS\_ARCH\_1006.dwg



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by

Rev	Date	Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 07-32

Phase  
SSDA

Status  
For Approval

Drawing no.  
1007

Scale  
1 : 125 @ A1

Revision  
A

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_BS\_ARCH\_2025.rvt



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 33

Phase  
SSDA  
Status  
For Approval

Scale  
1 : 125 @ A1

Drawing no.  
1033

Revision  
A

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_BS\_ARCH\_10025.dwg



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 34-48

Phase  
SSDA

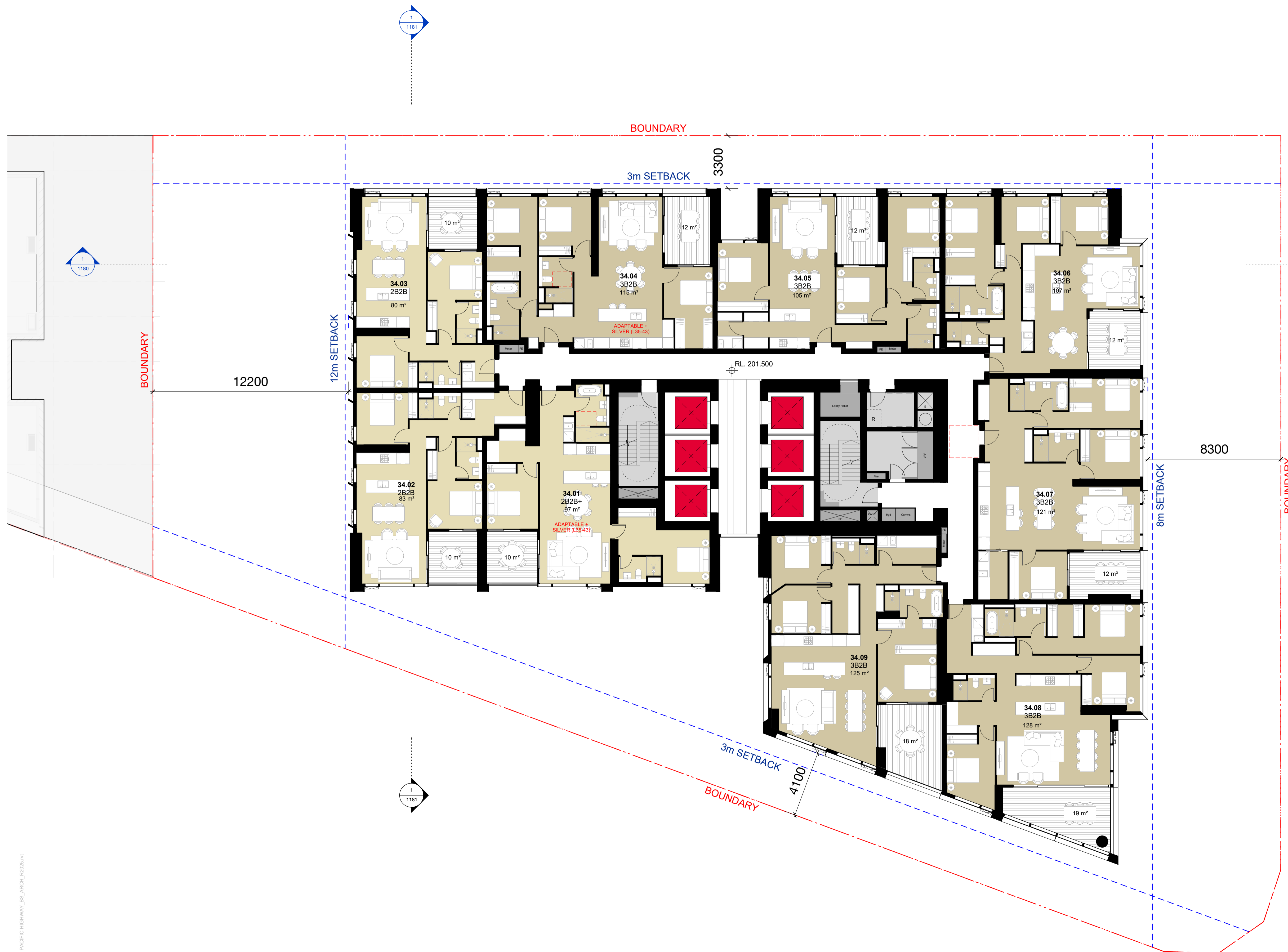
Status  
For Approval

Drawing no.  
1034

Scale  
1 : 125 @ A1

Revision  
A

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_BS\_ARCH\_102026.rvt



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description

**Certificate No. #HR-JRVL2V-01**  
Scan QR code or follow website link for rating details.

Assessor name	Jovana Kikovic
Accreditation No.	DMN252209
Property Address	601 Pacific Hwy, St Leonards, NSW, 2095
URL	<a href="http://www.hero-software.com.au/pd/HR-JRVL2V-01">http://www.hero-software.com.au/pd/HR-JRVL2V-01</a>



Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 49

Phase  
SSDA  
Status  
For Approval  
Drawing no.  
1049

Scale  
1 : 125 @ A1  
Revision  
A



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSSA Issue  
Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758  
Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 50

Phase  
SSDA  
Status  
For Approval  
Drawing no.  
1050  
Scale  
1 : 125 @ A1  
Revision  
A



Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BS\_ARCH\_102026.rvt

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 51

Phase  
SSDA  
Status  
For Approval  
Drawing no.  
1051

Scale  
1 : 125 @ A1  
Revision  
A



Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BS\_ARCH/10205.vit

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description

**Certificate No. #HR-JRVL2V-01**  
Scan QR code or follow website link for rating details.

Assessor name: Jovana Kikovic  
Accreditation No: DMN252209  
Property Address: 601 Pacific Hwy, St Leonards, NSW, 2095  
<http://www.hero-software.com.au/pdf/HR-JRVL2V-01>



Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title

601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA03 - General Arrangements  
General Arrangement Plan Level 52

Phase  
SSDA

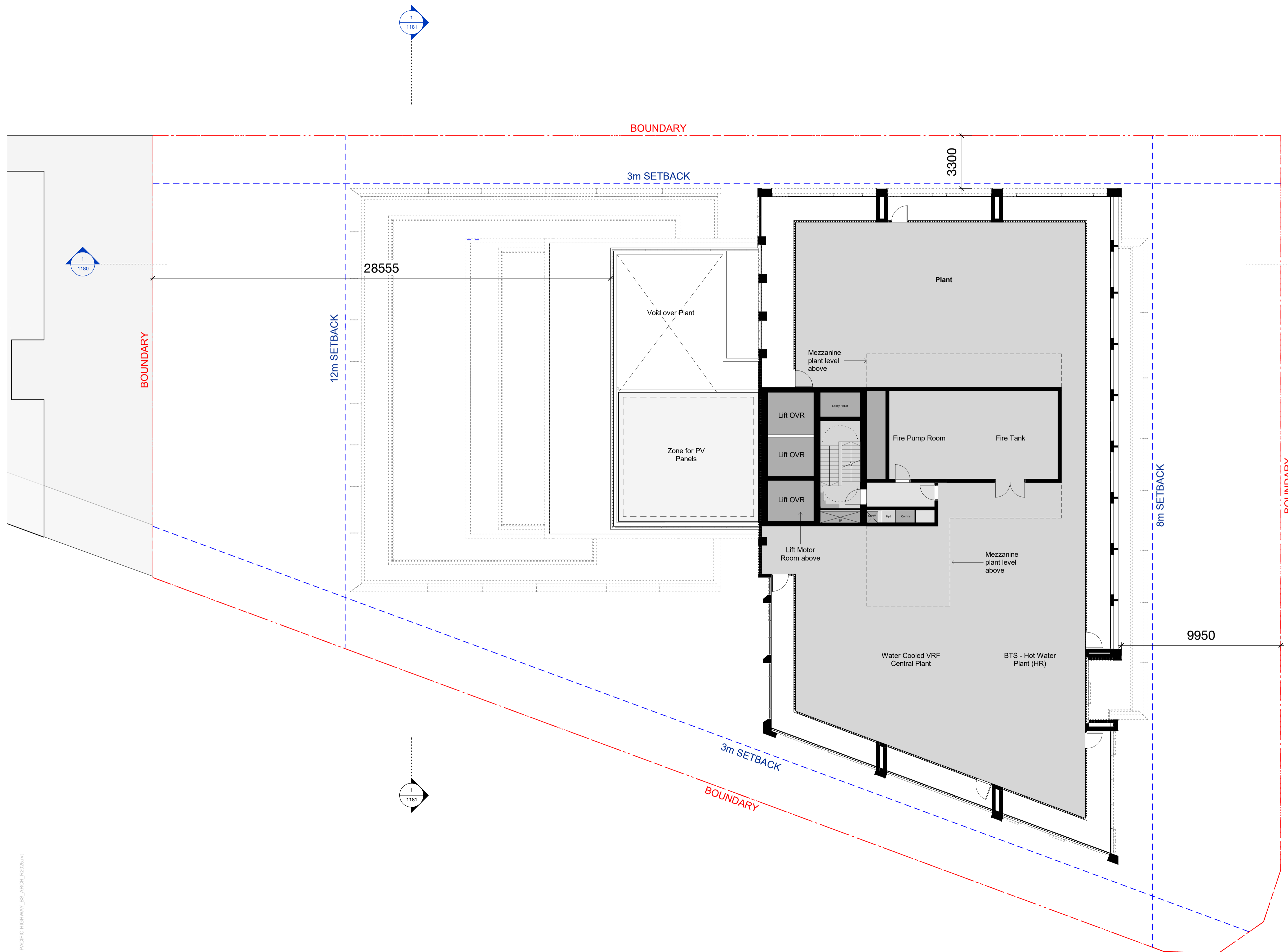
Status  
For Approval

Drawing no.  
1052

Scale  
1 : 125 @ A1

Revision  
A

Autodesk Docs/S12758\_601 Pacific Hwy/601 PACIFIC HIGHWAY\_BS\_ARCH\_P0205.rvt



In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
**Stockland Development**

Current Revision Description



Data Issue Record

Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

A 17/03/2026 SSDA Issue

Project Title  
**601 Pacific Hwy  
First Nations Country  
Cammeraygal Country**

Project Address  
**601 Pacific Hwy, St Leonards,  
NSW**

Project No.  
**S12758**

Drawing Title  
**DA03 - General Arrangements  
General Arrangement Plan Roof**

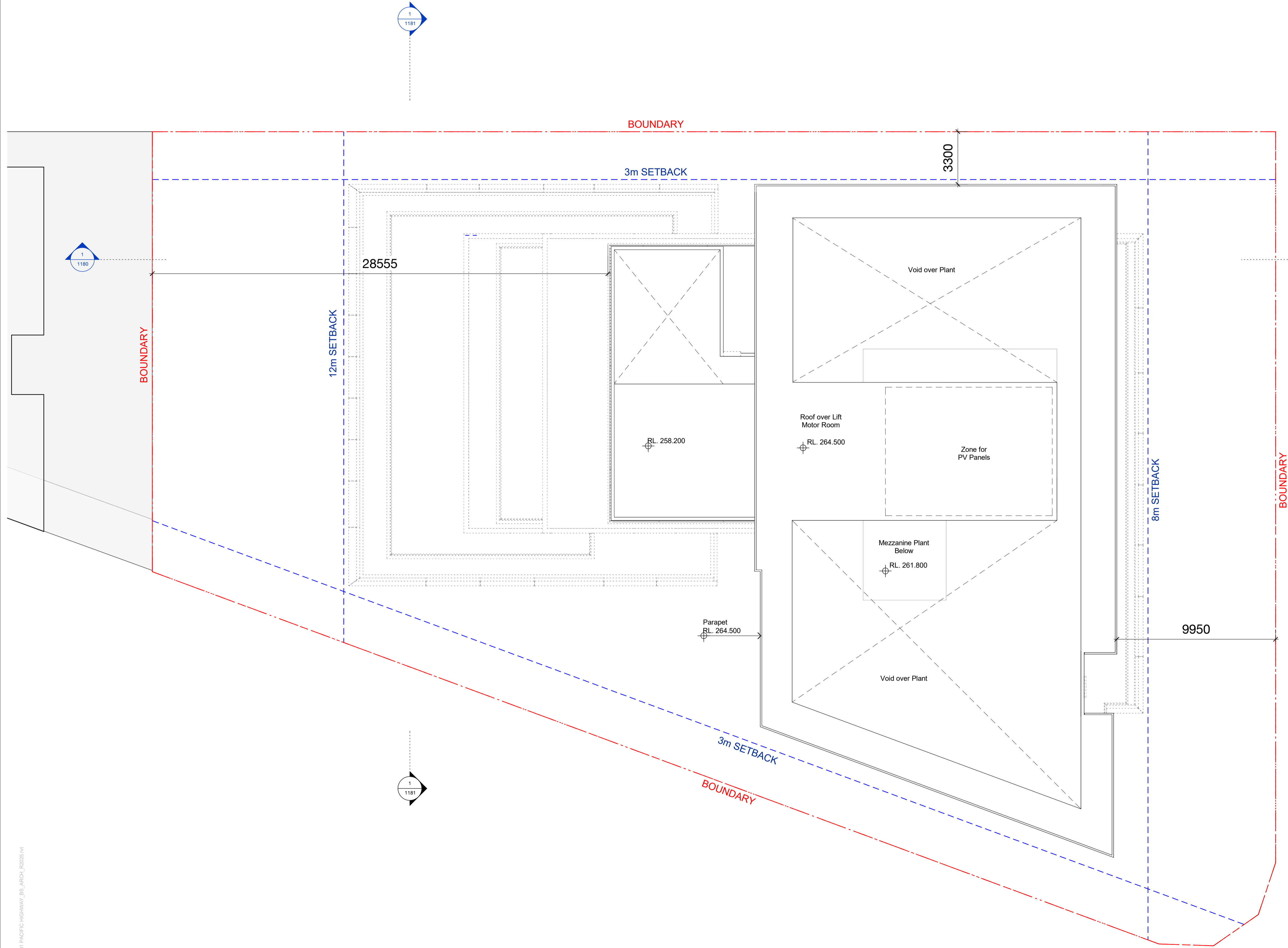
Phase  
**SSDA**

Status  
**For Approval**

Drawing no.  
**1053**

Scale  
**1 : 125 @ A1**

Revision  
**A**



Autodesk Docs/S12758\_01/Pacific Hwy/601 Pacific Highway\_BIS\_ARCH/2025.vrt

Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards, NSW

Project No.  
S12758

Drawing Title  
DA09 - External Elevations  
South Elevation

Phase  
SSDA

Status  
For Approval

Drawing no.  
1160

Scale  
1 : 500 @ A1

Revision  
A

**Material Legend:**

**Metal Work**

- 1 Solid Aluminium Cladding & Sunshades
- 2 Aluminium Cladding (Profiled)
- 3 Metal Palisade Balustrade
- 5 Aluminium Chevron Louvres
- 6 Dark Bronze Aluminium Frames to Glazing

**Powdercoat Colours**

- 7 Light Grey/Champagne
- 8 Dark Grey/Bronze
- 9 Light Bronze
- 10 Dark Bronze

**Cladding**

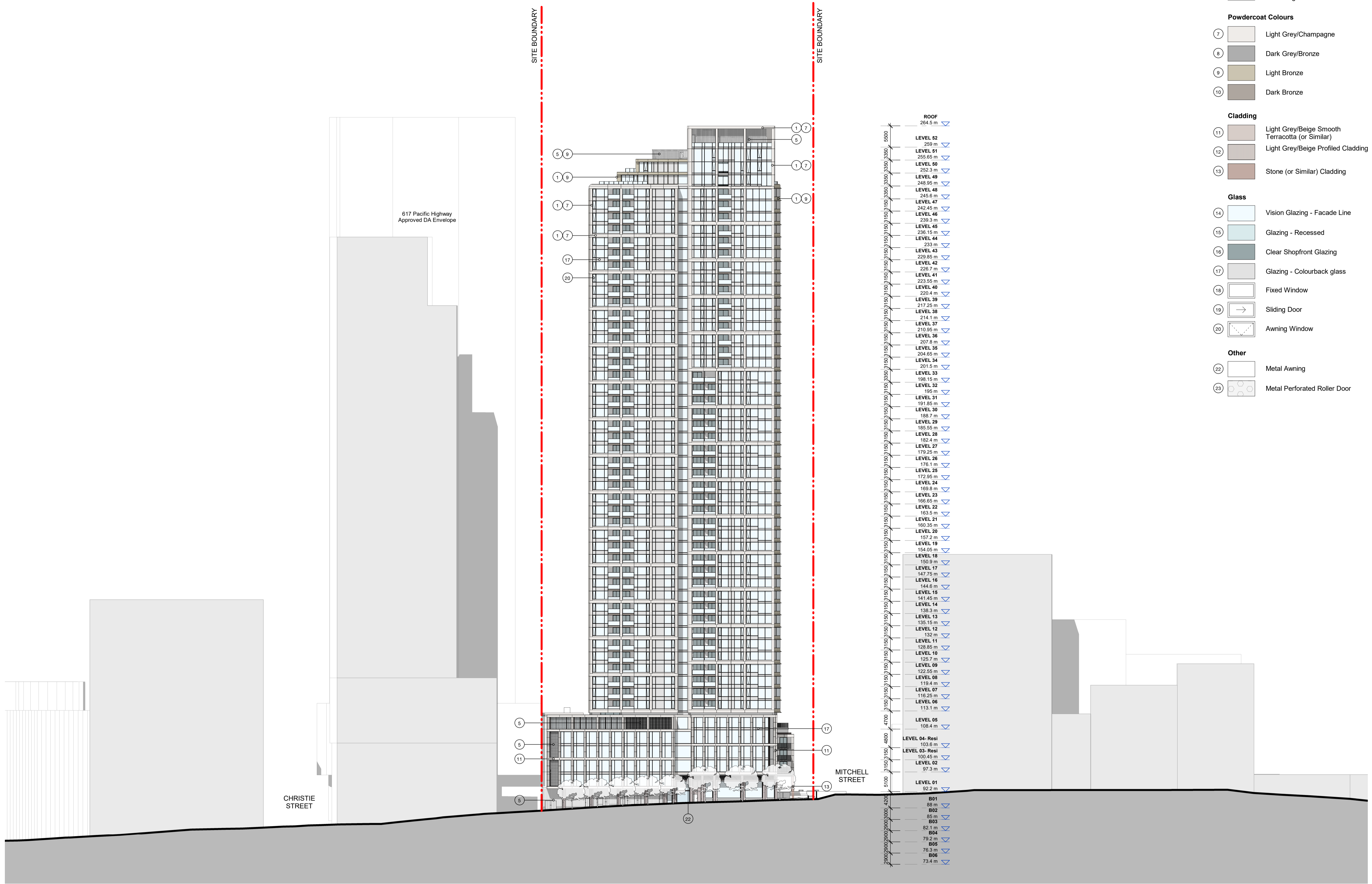
- 11 Light Grey/Beige Smooth Terracotta (or Similar)
- 12 Light Grey/Beige Profiled Cladding
- 13 Stone (or Similar) Cladding

**Glass**

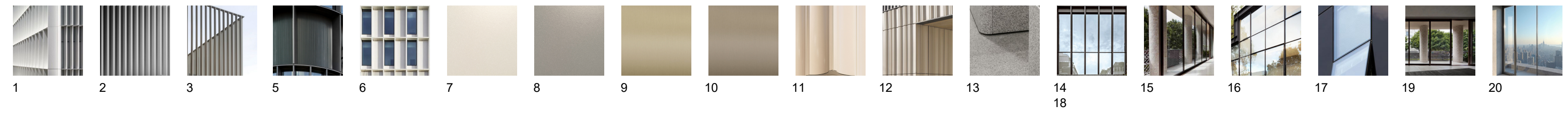
- 14 Vision Glazing - Facade Line
- 15 Glazing - Recessed
- 16 Clear Shopfront Glazing
- 17 Glazing - Colourback glass
- 18 Fixed Window
- 19 Sliding Door
- 20 Awning Window

**Other**

- 22 Metal Awning
- 23 Metal Perforated Roller Door



**Material Palette:**



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA09 - External Elevations  
East Elevation

Phase  
SSDA

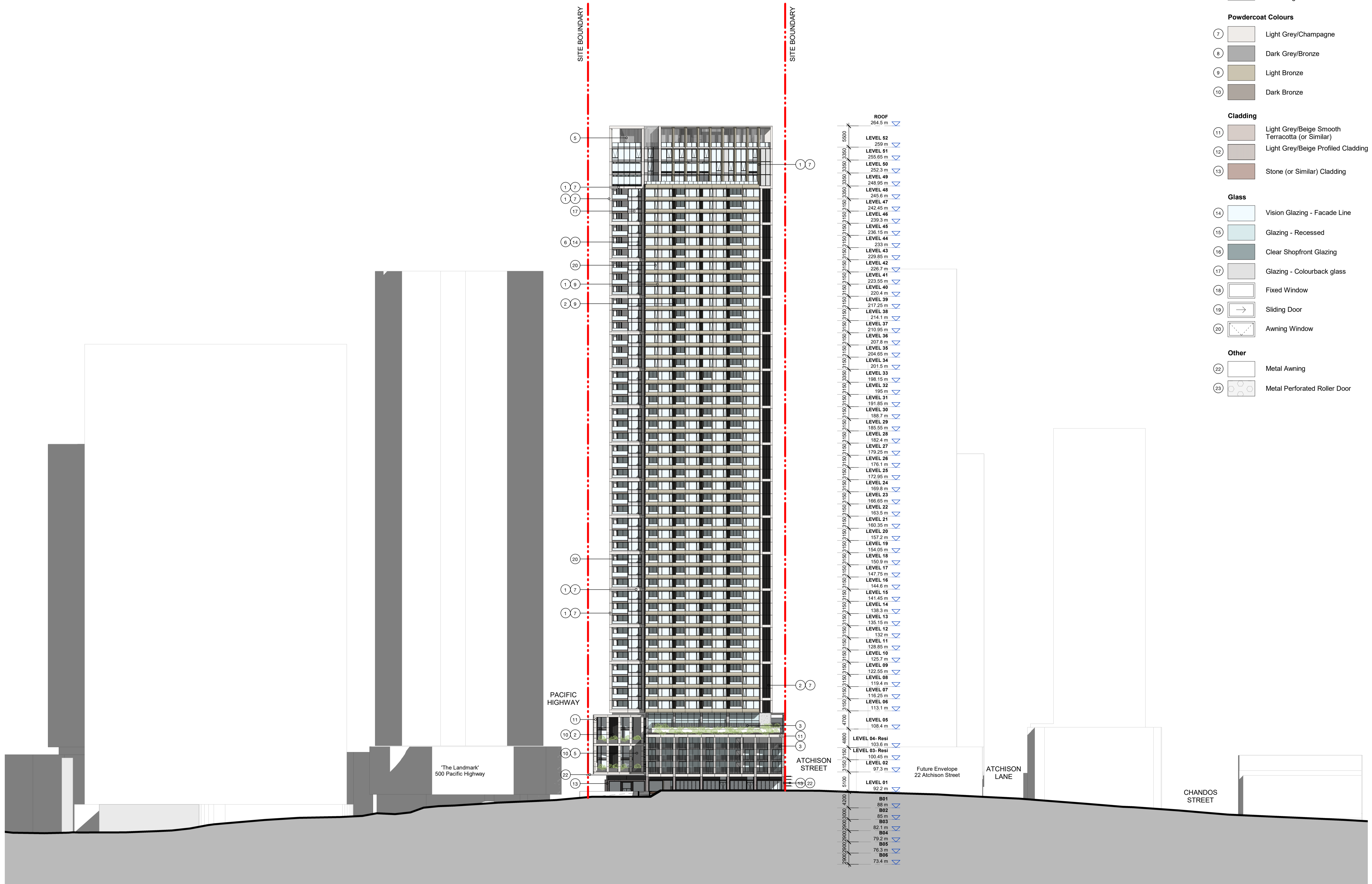
Status  
For Approval

Drawing no.  
1161

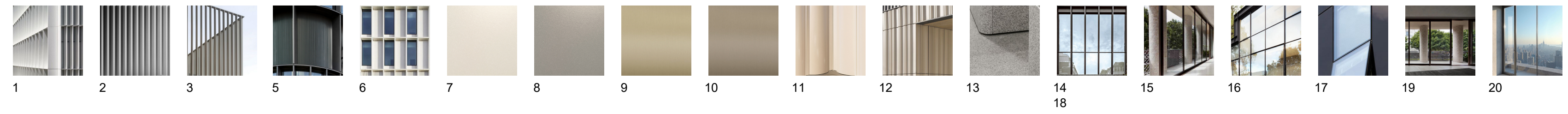
Scale  
1 : 500 @ A1

Revision  
A

- Material Legend:**
- Metal Work**
- ① Solid Aluminium Cladding & Sunshades
  - ② Aluminium Cladding (Profiled)
  - ③ Metal Palisade Balustrade
  - ⑤ Aluminium Chevron Louvres
  - ⑥ Dark Bronze Aluminium Frames to Glazing
- Powdercoat Colours**
- ⑦ Light Grey/Champagne
  - ⑧ Dark Grey/Bronze
  - ⑨ Light Bronze
  - ⑩ Dark Bronze
- Cladding**
- ⑪ Light Grey/Beige Smooth Terracotta (or Similar)
  - ⑫ Light Grey/Beige Profiled Cladding
  - ⑬ Stone (or Similar) Cladding
- Glass**
- ⑭ Vision Glazing - Facade Line
  - ⑮ Glazing - Recessed
  - ⑯ Clear Shopfront Glazing
  - ⑰ Glazing - Colourback glass
  - ⑱ Fixed Window
  - ⑲ Sliding Door
  - ⑳ Awning Window
- Other**
- ㉑ Metal Awning
  - ㉒ Metal Perforated Roller Door



Material Palette:



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.  
Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by  
Rev Date Description

A 17/03/2026 SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country

Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA09 - External Elevations  
North Elevation

Phase  
SSDA

Status  
For Approval

Drawing no.  
1162

Scale  
1 : 500 @ A1

Revision  
A

**Material Legend:**

**Metal Work**

- 1 Solid Aluminium Cladding & Sunshades
- 2 Aluminium Cladding (Profiled)
- 3 Metal Palisade Balustrade
- 5 Aluminium Chevron Louvres
- 6 Dark Bronze Aluminium Frames to Glazing

**Powdercoat Colours**

- 7 Light Grey/Champagne
- 8 Dark Grey/Bronze
- 9 Light Bronze
- 10 Dark Bronze

**Cladding**

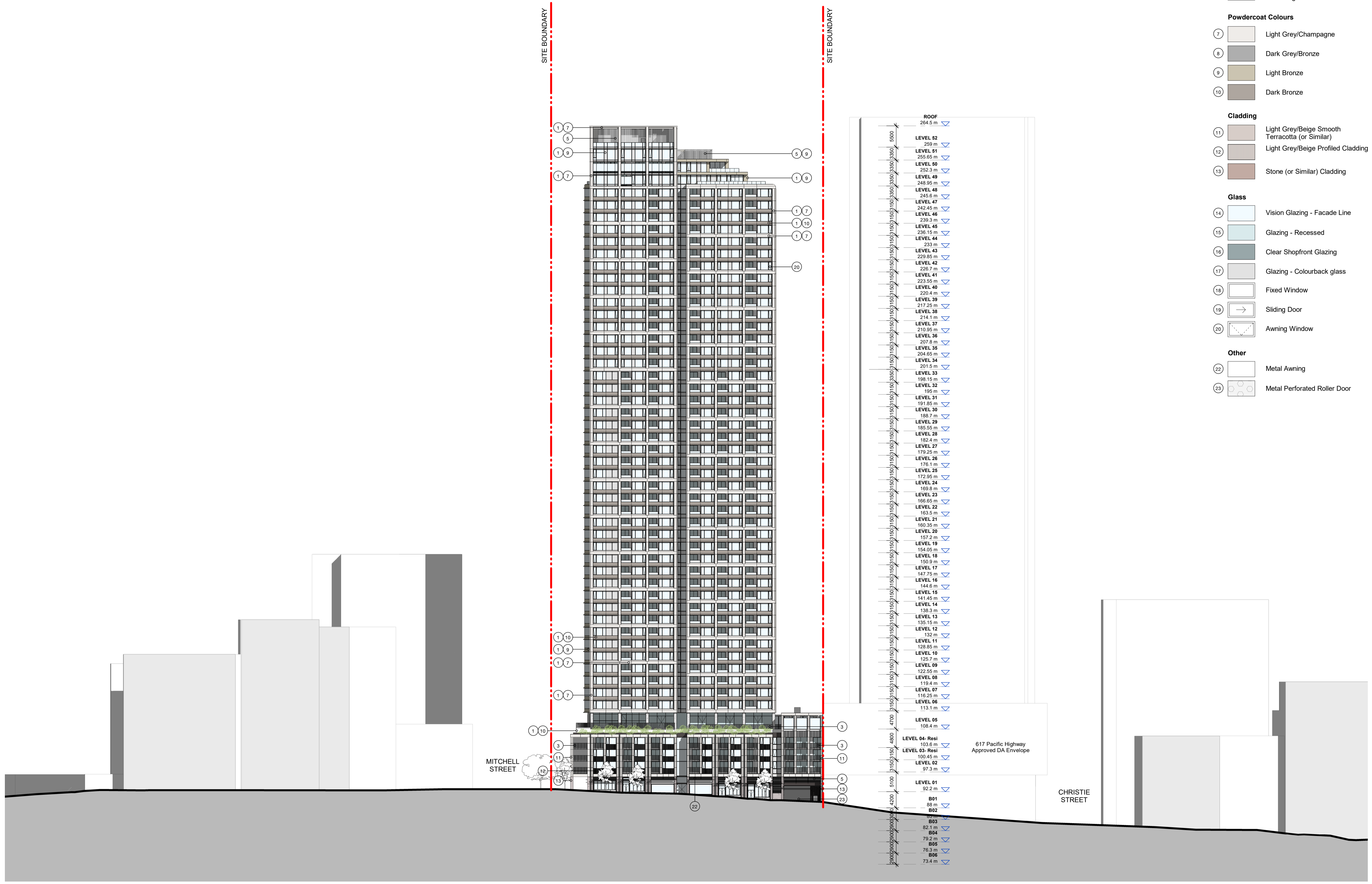
- 11 Light Grey/Beige Smooth Terracotta (or Similar)
- 12 Light Grey/Beige Profiled Cladding
- 13 Stone (or Similar) Cladding

**Glass**

- 14 Vision Glazing - Facade Line
- 15 Glazing - Recessed
- 16 Clear Shopfront Glazing
- 17 Glazing - Colourback glass
- 18 Fixed Window
- 19 Sliding Door
- 20 Awning Window

**Other**

- 22 Metal Awning
- 23 Metal Perforated Roller Door



Autodesk Docs/S12758\_01/Pacific Hwy/01/PACIFIC HIGHWAY\_BIS\_ARCH\_12025.dvt

Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development

Current Revision Description



Data Issue Record  
Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards, NSW

Project No.  
S12758

Drawing Title  
DA09 - External Elevations  
West Elevation

Phase  
SSDA

Status  
For Approval

Drawing no.  
1163

Scale  
1 : 500 @ A1

Revision  
A

**Material Legend:**

**Metal Work**

- 1 Solid Aluminium Cladding & Sunshades
- 2 Aluminium Cladding (Profiled)
- 3 Metal Palisade Balustrade
- 5 Aluminium Chevron Louvres
- 6 Dark Bronze Aluminium Frames to Glazing

**Powdercoat Colours**

- 7 Light Grey/Champagne
- 8 Dark Grey/Bronze
- 9 Light Bronze
- 10 Dark Bronze

**Cladding**

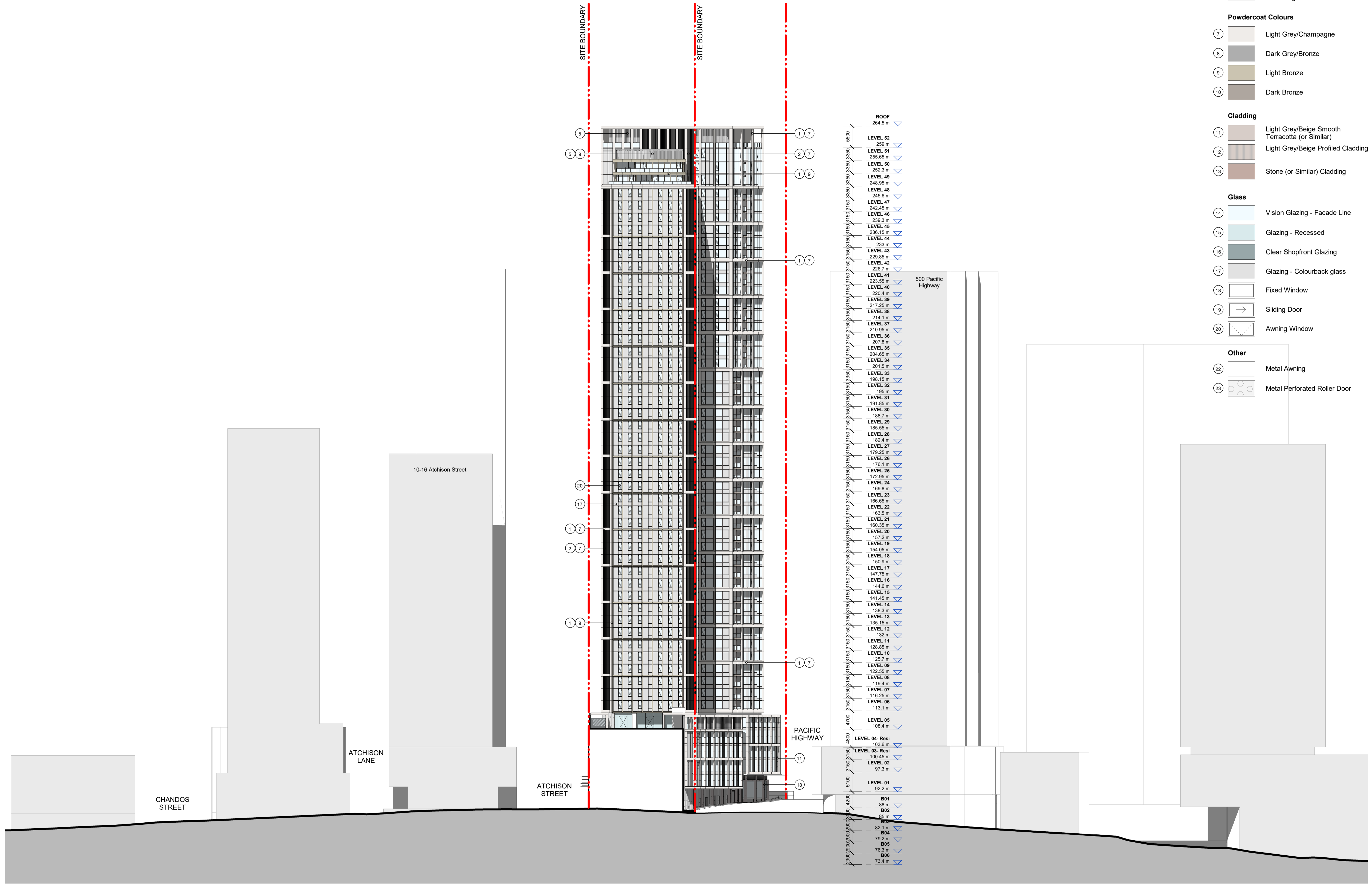
- 11 Light Grey/Beige Smooth Terracotta (or Similar)
- 12 Light Grey/Beige Profiled Cladding
- 13 Stone (or Similar) Cladding

**Glass**

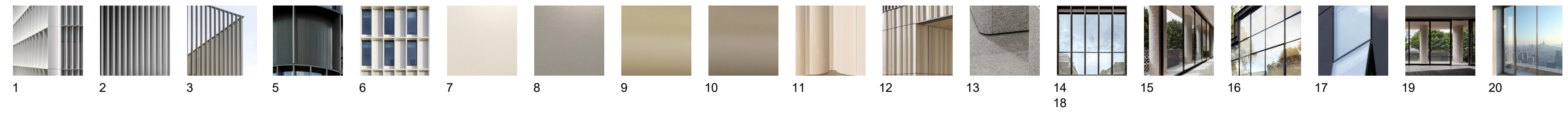
- 14 Vision Glazing - Facade Line
- 15 Glazing - Recessed
- 16 Clear Shopfront Glazing
- 17 Glazing - Colourback glass
- 18 Fixed Window
- 19 Sliding Door
- 20 Awning Window

**Other**

- 22 Metal Awning
- 23 Metal Perforated Roller Door



**Material Palette:**



Transformative thinking for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

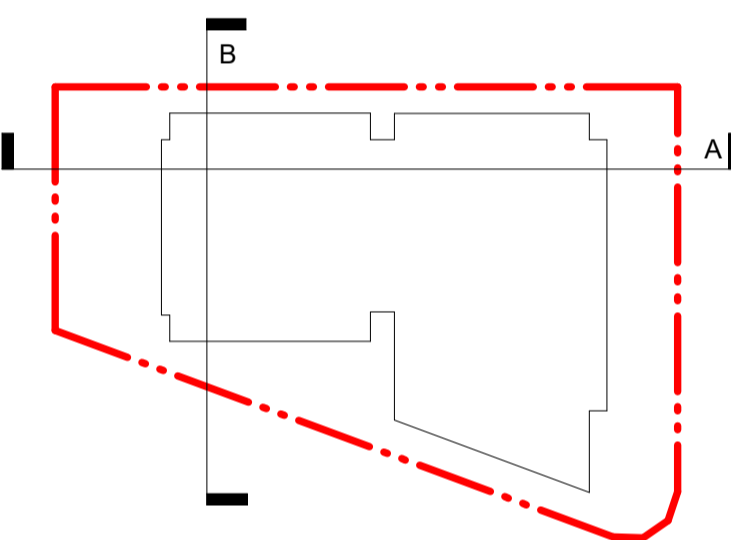
NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development



Current Revision Description



Data Issue Record  
Current Revision released by

Rev	Date	Description
A	17/03/2026	SSDA Issue

Project Title  
601 Pacific Hwy  
First Nations Country  
Cameraygal Country

Project Address  
601 Pacific Hwy, St Leonards, NSW

Project No.  
S12758

Drawing Title  
DA10 - Building Sections  
Section A-A East/West

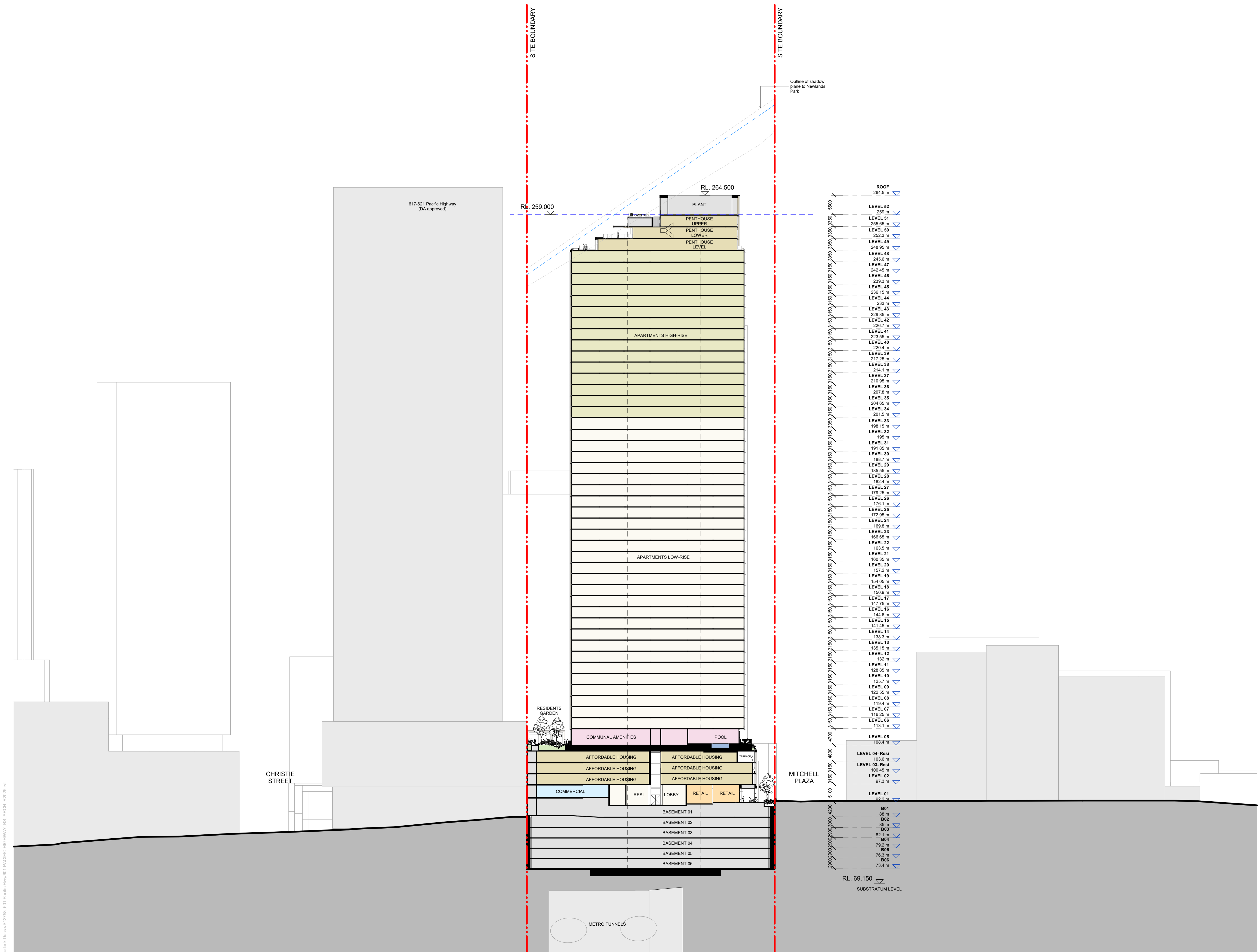
Phase  
SSDA

Status  
For Approval

Drawing no.  
1180

Scale  
1 : 500 @ A1

Revision  
A



Transformative thinking  
for the future city.

Bates Smart Architects Pty Ltd  
ABN 68 094 740 986

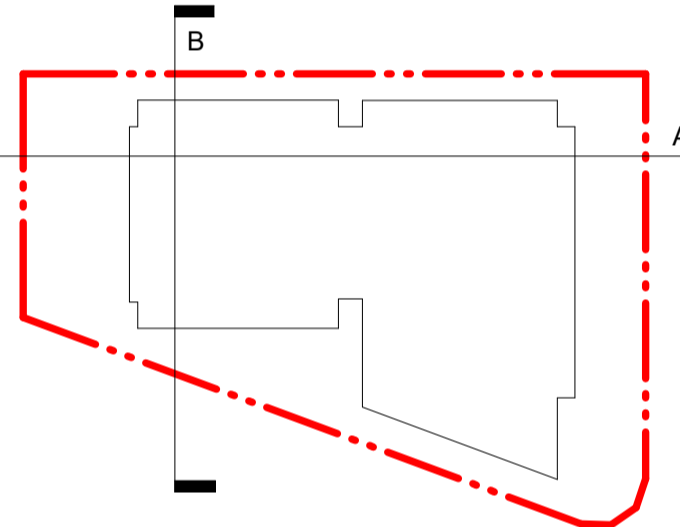
NSW Nominated Responsible Architects  
Kellie Payne 6454, Philip Vivian 6696, Guy Lake 7119, Matt Allen 8498.

In accepting and utilising this document, the recipient agrees that Bates Smart retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Bates Smart resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Bates Smart. Under no circumstances shall transfers of this document be deemed a sale. Bates Smart makes no warranties of fitness for any purpose. The builder/contractor shall verify job dimensions prior to any work commencing. Use figured dimensions only.

Do not scale drawings.

Print in Colour.

Client  
Stockland Development



Current Revision Description



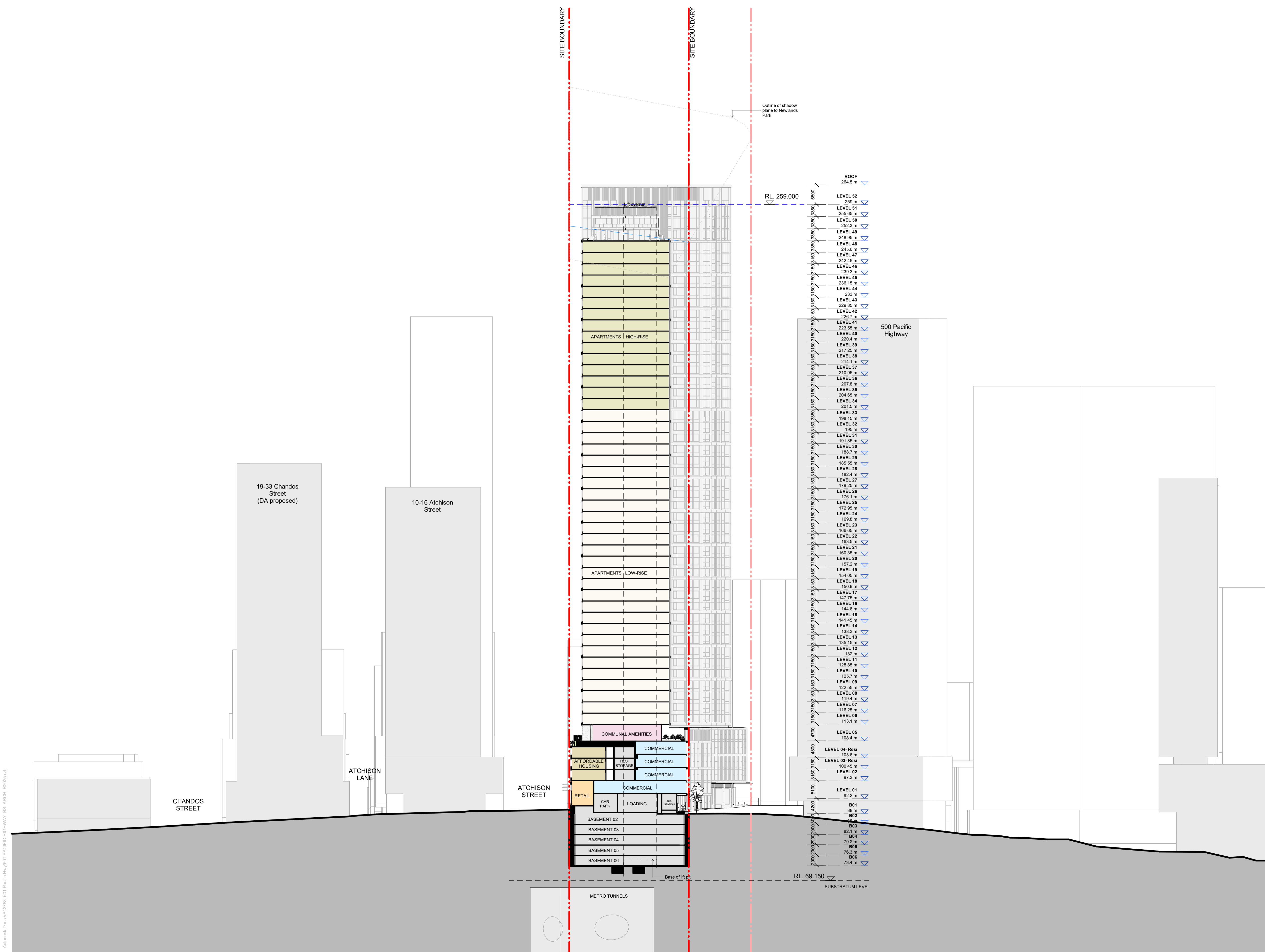
Data Issue Record  
Rev Date Description

A 17/03/2026 SSSA Issue  
Project Title  
601 Pacific Hwy  
First Nations Country  
Cammeraygal Country  
Project Address  
601 Pacific Hwy, St Leonards,  
NSW

Project No.  
S12758

Drawing Title  
DA10 - Building Sections  
Section B-B North/South

Phase  
SSSA  
Status  
For Approval  
Drawing no.  
1181  
Scale  
1 : 500 @ A1  
Revision  
A



ROOF	264.5 m
LEVEL 52	259 m
LEVEL 51	255.65 m
LEVEL 50	252.3 m
LEVEL 49	248.95 m
LEVEL 48	245.6 m
LEVEL 47	242.45 m
LEVEL 46	239.3 m
LEVEL 45	236.15 m
LEVEL 44	233 m
LEVEL 43	229.85 m
LEVEL 42	226.7 m
LEVEL 41	223.55 m
LEVEL 40	220.4 m
LEVEL 39	217.25 m
LEVEL 38	214.1 m
LEVEL 37	210.95 m
LEVEL 36	207.8 m
LEVEL 35	204.65 m
LEVEL 34	201.5 m
LEVEL 33	198.35 m
LEVEL 32	195.2 m
LEVEL 31	192.05 m
LEVEL 30	188.9 m
LEVEL 29	185.75 m
LEVEL 28	182.6 m
LEVEL 27	179.45 m
LEVEL 26	176.3 m
LEVEL 25	173.15 m
LEVEL 24	170 m
LEVEL 23	166.85 m
LEVEL 22	163.7 m
LEVEL 21	160.55 m
LEVEL 20	157.4 m
LEVEL 19	154.25 m
LEVEL 18	151.1 m
LEVEL 17	147.95 m
LEVEL 16	144.8 m
LEVEL 15	141.65 m
LEVEL 14	138.5 m
LEVEL 13	135.35 m
LEVEL 12	132.2 m
LEVEL 11	129.05 m
LEVEL 10	125.9 m
LEVEL 09	122.75 m
LEVEL 08	119.6 m
LEVEL 07	116.45 m
LEVEL 06	113.3 m
LEVEL 05	110.15 m
LEVEL 04-Resi	107 m
LEVEL 03-Resi	103.85 m
LEVEL 02	100.7 m
LEVEL 01	97.55 m
B01	94.4 m
B02	91.25 m
B03	88.1 m
B04	84.95 m
B05	81.8 m
B06	78.65 m
B07	75.5 m
B08	72.35 m
Substratum Level	69.150 m

Autodesk Docs/S12758\_011 Pacific Hwy/011 PACIFIC HIGHWAY\_ISS\_ARCH\_10225.dwg

Lehr Consultants International (Australia) Pty Ltd (ABN 92 124 107 973) is the evolution of a firm which began in 1969. Challenging the standard approach to Building Services engineering, LCI offers traditional and innovative consulting services worldwide, as well as access to cutting edge technological thought, applications and proprietary systems.

LCI Consultants is proudly employee-owned and in-house operated, backed by the global strength of Artelia Group.

**VISIT US**

[www.lciconsultants.com.au](http://www.lciconsultants.com.au)



**MELBOURNE**

Level 17/242 Exhibition St,  
Melbourne, VIC 3000  
P: (03) 9230 5600

**SYDNEY**

Level 8/73 Miller St,  
North Sydney, NSW 2060  
P: (02) 9157 0570

**BRISBANE**

Level 1/293 Queen St,  
Brisbane City, QLD 4000  
P: (07) 3831 3300

**PERTH**

Level 9/108 St Georges Tce,  
Perth, WA 6000  
P: (08) 9242 5857

**CANBERRA**

Level 2/1 Farrell Pl,  
Canberra, ACT 2601  
P: (02) 9157 0570

**ADELAIDE**

Level 4/91 King William St  
Adelaide, SA, 5000  
P: (08) 7078 8896