



ABE
CONSULTING

Accessibility Design Review Report – SSDA

Project Title: Kingswood TAFE - (Construction Centre of Excellence)
2-44 O'Connell Street, Kingswood

Job Number: 20282

Date: 12 March 2021

Prepared For: Gray Puksand Pty Ltd

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Report Status	Revision	Date	Details
Draft	1.0	18 December 2020	For review and comment
Final	1.1	12 March 2021	For documentation

ACCESSIBILITY DESIGN REVIEW

PROJECT: Kingswood TAFE - (Construction Centre of Excellence)

LOCATION: 2-44 O'Connell Street, Kingswood

1.0 INTRODUCTION

This report has been prepared to accompany a detailed State Significant Development Application (SSDA) SSD_ 8571481 for the development of an educational facility at the TAFE Nepean Kingswood Campus, located at 2-44 O'Connell Street, Kingswood (the site). The legal description of the site is Lot 1 in DP 866081. The site comprises a rectangular lot with an area of approximately 23 hectares.

This report provides an Accessibility Design Review of the proposed development against the accessibility related provisions of Building Code of Australia 2019 Volume 1 and The Disability (Access to Premises - Buildings) Standards 2010.

Specifically, the SSDA seeks development consent for the construction and operation of the TAFE NSW Construction Centre of Excellence (TAFE CCoE) a multi-level, integrated educational facility designed to accommodate specialised training and education for construction-related TAFE NSW courses (the project).

The TAFE CCoE will be a new learning environment with an emphasis on flexibility and adaptability, to encourage cross-disciplinary collaboration, industry engagement and educational excellence. On 27 February 2019, the NSW Government announced the delivery and associated funding for the CCoE.

The proposed development is classified as State Significant Development (SSD) on the basis that it falls within the requirements of clause 4, Schedule 19 of the State Environmental Planning Policy (State and Regional Development) 2011 (SRD SEPP), being 'development for the purpose of a tertiary institution... that has a capital investment value of more than \$30 million'.

The Minister for Planning, or their delegate, is the consent authority for the SSDA and this application is lodged with the NSW Department of Planning, Industry and Environment (NSW DPIE) for assessment.

This report has been prepared in response to the requirements contained within the Secretary's Environmental Assessment Requirements (SEARs) issued for the project. Specifically, this report has been prepared to respond to the following SEARs:

SEARS	Report section
<p><i>7. Transport and Accessibility</i></p> <ul style="list-style-type: none"><i>details of the proposed site access and the parking provisions associated with the proposed development including compliance with the requirements of the relevant Australian Standards (i.e. turn paths, sight distance requirements, aisle widths, etc.);</i> <p><i>Standards Australia AS2890.6 (Off-street parking for people with disabilities)</i></p>	Cl. D3.5
<p><i>Plans and Documents</i></p> <ul style="list-style-type: none"><i>In addition, the EIS must include the following:</i> <p><i>Accessibility Report;</i></p>	

1.1 Project Information & Classification

The proposed development consists 3 storey educational building with associated on grade carparking, located at the subject site.

It is understood the following Building Code of Australia 2019 building classification(s) apply to the subject building (to be confirmed by the BCA Consultant / PCA) –

Building/Level/Part	Building Classification	Use
Ground Floor to Level 2	Class 9b	Education

1.2 Purpose of the Report

Gray Puksand engaged the services of ABE Consulting as Accessibility Consultants for this project to undertake an assessment of the proposed design documentation in relation to the accessibility related requirements as identified in Part 1.3 of this report from Concept to Occupation. This specific report relates to the SSDA submission.

1.3 Report Scope

This report provides an Accessibility Design Review of the relevant project architectural documentation in the context of the following –

- Part D3, Clause F2.4 and Clause E3.6 'deemed-to-satisfy' (DtS) requirements of the Building Code of Australia 2019 (BCA)
- The Disability (Access to Premises - Buildings) Standards 2010;

This Accessibility Design Review is based on –

- Architectural design documentation prepared by Gray Puksand, Project No. 200090, as follow –

Dwg#	Title	Date - Rev
DA0101	SITE PLAN -DEMOLITION	04.03.2021 - B
DA0103	SITE PLAN - PROPOSED	11.03.2021 - C
DA0110	PROPOSED ENTRY	04.03.2021 - B
A1300	LOWER GROUND - GA FLOOR PLAN	11.03.2021 - C
A1310	UPPER GROUND - GA FLOOR PLAN	11.03.2021 - C
A1320	LEVEL 1 - GA FLOOR PLAN	11.03.2021 - C

- The Building Code of Australia 2019 (BCA) prepared by the Australian Building Codes Board.
- The Guide to the BCA 2019, prepared by the Australian Building Codes Board.
- The Disability (Access to Premises – Building) Standards 2010.
- Australian Standards AS1428.1-2009 - Design for Access and Mobility - Part 1: General requirements for access - New building work.
- Australian Standards AS1428.4.1:2009 - Design for Access and Mobility - Part 4.1: Means to assist the orientation of people with vision impairment - Tactile ground surface indicators.
- Australian Standards AS2890.6-2009 – Off-street parking for people with disabilities.

1.4 Limitations of the Report

The Disability Discrimination Act (DDA - 1992) is a Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional, equitable and independent accessibility. The DDA is a complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equity and independence of movement by people with disabilities, their companions, family and carer givers.

A key component of compliance to the DDA is the use of the Disability (Access to Premises - Buildings) Standards 2010, Part D3, Clause F2.4 and Clause E3.6 of the Building Code of Australia 2019 (BCA) and the relevant referenced standards primarily being Australian Standards Suite AS1428 and Australian Standards AS2890.6 – Off-street parking for people with disabilities. The AS 1428 series details technical requirements related to design for access and mobility.

The Building Code of Australia has adopted key accessibility and DDA legislation into the 2011 BCA. In particular adherence to the Access to Premises Standard (2010); AS1428.1 2009; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. However, compliance with these elements does not necessarily result in compliance with the Disability Discrimination Act if the elements of equality, independence and functionality remain compromised within an environment.

This report does not include or assess the following –

- The provisions of the BCA not directly referenced in Part 1.3 of this report;
- Standards not directly referenced in this report; including AS4299-1995 (Adaptable Housing) unless otherwise explicitly specified in Part 1.3 of this report;
- Disability Discrimination Act 1992 (as explored earlier);
- Federal / State / Local planning policies and/or guidelines unless otherwise explicitly specified in Part 1.3 of this report;
- Work Health & Safety considerations or Work Cover Authority requirements;
- This report does not provide any performance based assessments (Performance Solutions) of the BCA;
- This report does not provide any exemptions from the requirements of the BCA.
- This report is not a Part 4A compliance certificate under the Environmental Planning & Assessment Act 1979 or Regulation 2000;
- Review or specification of slip-resistance classification(s) for floor surface finishes / materials. We recommend surface finish advice be sought from an independent specialist slip safety consultant.

1.5 The Disability (Access to Premises – Building) Standards 2010

The Disability (Access to Premises - Buildings) Standards 2010 provides the prescriptive requirements set out regarding the upgrade of an existing building where works are being undertaken.

The Premises Standards apply to:

- a new building
- a new part of an existing building
- the *affected part* of an existing building.

The new parts of a building and any subsequent affected part are outlined as per the below extracts of The Disability (Access to Premises - Buildings) Standards 2010 –

New Part:

A part of a building is a **New Part** of the building if it is an extension to the building or a modified part of the building about which:

- *An application for approval for the building work is submitted, on or after 1 May 2011, to the competent authority in the state or territory where the building is located; or*
- *All of the following apply:*
 - The building work is carried out for or on behalf of the Crown;*
 - The building work commences on or after 1 May 2011;*
 - No application for approval for the building work is submitted, before 1 May 2011, to the competent authority in the state or Territory where the building is located.*

Affected Part:

- *the principal pedestrian entrance of an existing building that contains a new part and*
- *any part of an existing building that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

Furthermore, Part 4 of The Disability (Access to Premises - Buildings) Standards 2010 sets out applicable exceptions and concessions. In this instance the following lessee concession is provided –

Lessees:

If the lessee of a *new part* of a building submits an application for approval for the building work, the following people do not have to ensure that the *affected part* of the building complies with these Standards:

- The building Certifier.
- The building developer.
- The building manager.

It is understood that the proposed works are being undertaken by the building owner. New works and any associated ‘affected part’ are required to comply with the current accessibility provisions of the BCA.

2.0 ACCESSIBILITY DESIGN REVIEW

The following tables provide an assessment of the architectural design documentation in relation to the DtS provisions of the BCA / Premises Standards in the context as outlined in Part 1 of this report.

The tables identify each of the relevant assessment outcomes into Six (6) main categories, as follows –

Capable of Complying (CoC) – Spatial allowance has been made to accommodate compliance where the specification provided has been satisfied.

Compliance Departure (CD) – A compliance departure with the DtS provisions of the BCA.

Design Detail (DD) – A detail commentary/specification is offered within the report.

Performance Solution (PSR) – A Performance Solution Report is being pursued to justify the compliance departures

Not Applicable (N/A) – Not applicable or not relevant to the project. Commentary provided.

Informational (Info) – Provided for informational purposes

Interpretation Note(s) –

- Readily moveable furniture has been treated as indicative only unless otherwise noted within the report as it is not considered to form part of the building as addressed by the BCA.

BCA Part D3 – ACCESS FOR PEOPLE WITH DISABILITIES

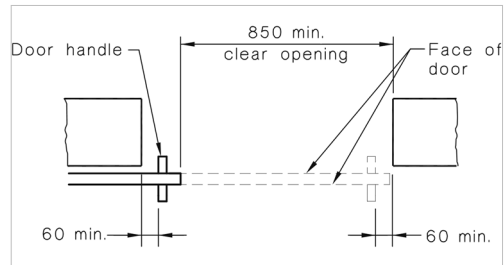
Cl. D3.1: General building access requirements

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Buildings and parts of the building must be accessible as required by Table D3.1, unless exempted by D3.4. Table D3.1 requires that access is provided –</p> <p>Class 9b –</p> <ul style="list-style-type: none"> To and within all other areas normally used by the occupants, except that access need not be provided to tiers or platforms of seating areas that do not contain wheelchair seating spaces. <p>Class 7a –</p> <ul style="list-style-type: none"> To and within any level containing accessible carparking spaces. <p>In the context of the BCA - Schedule 3 - definitions (& The Disability (Access to Premises – Building) Standards 2010):</p> <p>Accessible means having features to enable use by people with a disability.</p>	<p>Accessibility within the required portions of the building as prescribed by Cl. D3.1 of the BCA is yet to be determined considering the early stage of design.</p> <p>The following comments provide high level advice/information on accessibility with greater detail to be provided as the design progresses.</p> <p>Doorways</p> <p>All doorways along an accessway are required to have a clear door opening width no less than 850mm clear (to the active leaf) and be provided with door circulation spaces as prescribed by AS1428.1-2009.</p> <div data-bbox="805 926 1295 1230"> <p>(a) Swing door</p> </div> <div data-bbox="805 1255 1295 1499"> <p>(b) Cavity sliding door</p> </div> <p>Design Detail:</p> <p>Ensure the prescribed doorway latch-side & hinge-side clearance is provided to the active leaf of all common area doorways used by the occupants in accordance with AS1428.1-2009. This must be achieved from the inside edge of the opening, regardless of the opening width.</p> <p>Design Detail:</p>	<p>CoC</p>

Ensure minimum 30% luminance contrast between doorways and surrounding surfaces is provided.

Design Detail:

Ensure hardware circulation space of 60mm either side is provided to sliding doorways in the open/closed position. This generally requires an active leaf cavity/clearance of 1000mm.



Access between areas

Access is required to and within all areas normally used by the occupants.

Design Detail:

Ensure level transitions or compliant ramps and landings are provided for access between internal and external areas.

Paths of Travel:

All pathways require a minimum of a 1000mm clear pathway and not include impediments such as steps or turnstiles.

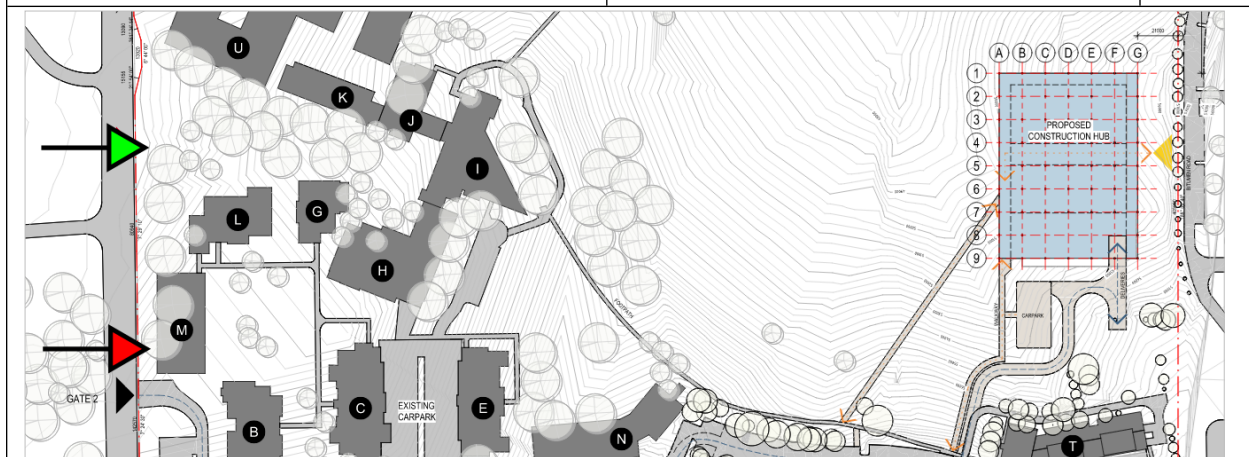
Design Detail:

Verification of slip resistant surface finishes on all accessways should be provided prior to CC sign off. It is recommended to refer to HB-198 and test in accordance with AS4586-2013.

Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.1-2009 at the Detailed Design Stage.

Cl. D3.2: Access to Buildings

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>An accessway must be provided to a building required to be accessible –</p> <ul style="list-style-type: none"> • from the main points of pedestrian entry at the allotment boundary; and • from another accessible building connected by a pedestrian link; and • from any required accessible carparking space on the allotment. <p>In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and –</p> <ul style="list-style-type: none"> • through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and • in a building with a floor area more than 500m², a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance. <p>except for pedestrian entrances serving only areas exempted by D3.4.</p>	<p>Access is required from the main points of pedestrian entry at the allotment boundary, from associated accessible carparking spaces and from another accessible building connected by a pedestrian link to the subject building.</p> <p>Allotment Boundary</p> <p>The campus has 2x existing pedestrian entries at the allotment boundary of O’Connell Set, the southern most appears to be the oldest and has several associated compliance departures to current standards.</p> <p>The northern pedestrian entry appears to have been constructed recently, potentially in conjunction with Building U, and was noted generally suitable for access for persons with a disability.</p> <p>There are several existing pedestrian pathways running through the campus from these entries, eventually converging to one path leading to buildings P & T. These pathways all have several non-compliances to current accessibility requirements/standards.</p> <p>Given the level of non-compliance of the existing external pathways, it is recommended to utilise the newer path and passenger lifts of Building U and construct a new pedestrian pathway to the proposed site.</p>	<p>CoC</p>



	<p>While new pathways are ideal, it is understandable that this can be difficult when considering budget constraints on a site of this size and topography.</p> <p>As such, student/staff centred access management plans could be considered alongside performance solutions as a way of satisfying accessibility requirements on a case-by-case basis.</p> <p>This would be an appropriate solution as the buildings intended purpose is focused on trade & technical education, where accessibility would relate more to ambulatory impairments.</p> <p>Accessible parking</p> <p>New accessible parking is proposed adjacent the construction Hub and shall be provided with compliant pedestrian access.</p> <p>Other accessible buildings</p> <p>There are several existing, non-compliant pedestrian pathways provided between the buildings. It is interpreted that only the new portion of pathway connecting to the existing pathways is required to comply, though it is still recommended to upgrade access between all connected facilities.</p>	
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Cl. D3.3: Parts of buildings to be accessible

DtS Provision	Comment(s)/Recommendation(s)	Status
In a building required to be accessible every ramp and stairway, except for ramps and stairways in areas exempted by D3.4, must comply with –		
<ul style="list-style-type: none"> for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and 	<p>Ensure all walkways (regardless of gradient) and ramps are provided with the associated accessible features such as handrails and TGSIs in accordance with AS1428.1 & AS1428.4.</p> <p>Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.1-2009 at the Detailed Design Stage.</p>	CoC

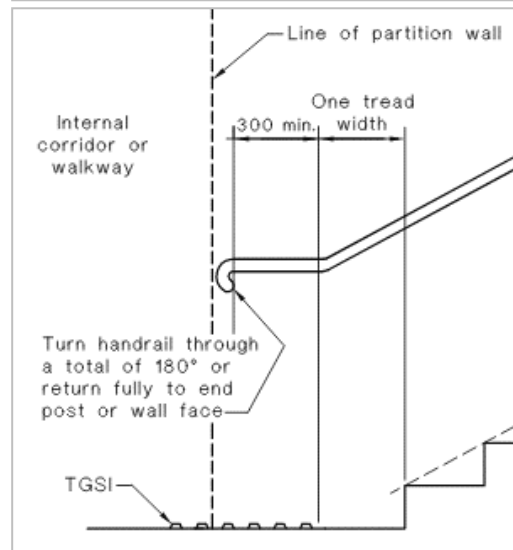
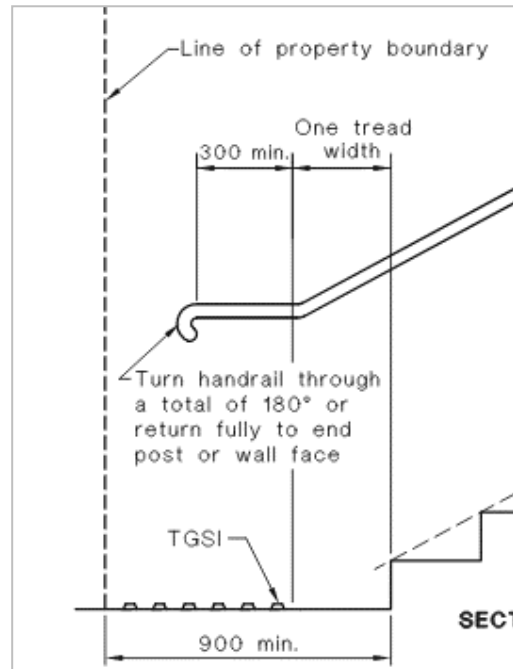
- for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; and

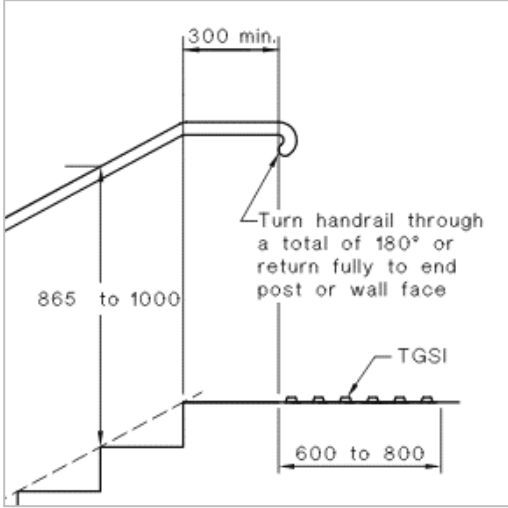
Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.1-2009 at the Detailed Design Stage.

CoC

Design Detail:

Ensure accessible features and FF&E such as handrails and TGSIs are provided in accordance with AS1428.1-2009 where steps/stairways are provided.



		
<ul style="list-style-type: none"> for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1; and 	<p><i>N.B. – Cl. D2.17(a)(vi) of the BCA is generally assessed by the PCA / BCA Consultant. Where assessment of this Clause is required by this office please confirm and provide detail.</i></p>	DD
<p>Accessways must have—</p> <ul style="list-style-type: none"> passing spaces complying with AS 1428.1 at maximum 20 m intervals where a direct line of sight is not available turning spaces complying with AS 1428.1 at 20m intervals or within 2m of the termination of an accessway. 	<p><u>Design Detail:</u></p> <p>Ensure a passing space of 2000mm x 1800mm is provided at the mid landing of the 1:20 walkways.</p> <p><u>Design Detail:</u></p> <p>If the access passage is determined to be required for common access, turning/passing spaces will be required at max. 20m intervals and terminations.</p> <p>Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.1-2009 at the Detailed Design Stage.</p>	CoC

Cl. D3.4: Exemptions

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>The following areas are not required to be accessible –</p> <ul style="list-style-type: none"> An area where access would be inappropriate because of the particular purpose for which the area is used. An area that would pose a health or safety risk for people with a disability. 	<p>Exemptions are to be reviewed on a case-by-case basis. We highlight that the following parts of the building have been offered an access exemption (not exhaustive) –</p> <ul style="list-style-type: none"> Storage rooms Plant rooms Caretaker only areas 	Info

<ul style="list-style-type: none"> Any path of travel providing access only to an area exempted by (a) or (b). 		
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Cl. D3.5: Accessible carparking

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Accessible carparking spaces are to be provided in accordance with Table D3.5 of the BCA in a Class 7a building and a carparking area on the same allotment as a building required to be accessible.</p> <p>Accessible carparking spaces –</p> <ul style="list-style-type: none"> are to comply with AS2890.6-2009. need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public <p><u>Class 9b –</u></p> <p><i>School –</i></p> <ul style="list-style-type: none"> 1x space for every 100 carparking spaces or part thereof. <p><i>Other assembly building –</i></p> <p>Up to 1000 carparking spaces;</p> <ul style="list-style-type: none"> 1x space for every 50 carparking spaces or part thereof. <p>For each additional 100 carparking spaces or part thereof in excess of 10000 carparking spaces;</p> <p>1x space</p>	<p>Existing accessible parking spaces not compliant to current standards were noted during inspection.</p> <p>New accessible parking spaces will be provided within the proposed parking area next to the proposed building.</p> <p>Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS2890.6-2009 at the Detailed Design Stage.</p>	CoC

Cl. D3.6: Signage

DtS Provision	Status
<p>In a building required to be accessible signage complying with Spec. D3.6, AS1428.1-2009 and incorporating the appropriate recognised symbol (as appropriate) for persons with disability must be provided as follows –</p> <ul style="list-style-type: none"> braille and tactile signage must identify each sanitary facility and space with hearing augmentation; braille and tactile signage must identify each door required by E4.5 to be provided with an exit sign and state “Exit” and “Level” followed by the floor level number; 	DD

<ul style="list-style-type: none"> • signage must be provided within a room containing a hearing augmentation system identifying; the type of system, the area covered within the room and if receivers are being used and where the receivers can be obtained; • signage must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; • signage to identify an ambulant accessible sanitary facility must be located on the door of the facility; • directional signage where a pedestrian entrance is not accessible. • directional signage where a bank of sanitary facilities are not provided with an accessible sanitary facility. <p>A design compliance certificate should be obtained from the signage designer/contractor to confirm compliance with the relevant provisions of the BCA and Australian Standards.</p>	
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Cl. D3.7: Hearing augmentation

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed –</p> <ul style="list-style-type: none"> • in a room in a Class 9b building; • in an auditorium, conference room, meeting room or room for judicatory purposes; • at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider. 	<p>If an inbuilt amplification system (other than one used solely for emergency warning) is provided within the building, suitable hearing augmentation systems are to be provided in these areas and a design and installation certificate are to be obtained from the relevant consultant to Cl. D3.7.</p>	DD

Cl. D3.8: Tactile indicators

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Tactile ground surface indicators complying with sections 1 and 2 of AS1428.4.1-2009 must be provided to warn people who are blind or have a vision impairment that they are approaching –</p> <ul style="list-style-type: none"> • a stairway, other than a fire-isolated stairway; • an escalator/moving walk; • a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; • in the absence of a suitable barrier an overhead obstruction less than 2 m and where an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building. 	<p>Plans are yet to provide level of detail required for assessment.</p> <p>Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.4.1-2009 at the Detailed Design Stage.</p> <p><u>Design Detail:</u></p> <p>TGSIs need only be a depth of 300mm - 400mm in locations where the next hazard/building element is ≤ 3000mm away. TGSIs shall be 600mm - 800mm deep when the hazard is ≥ 3000mm away.</p> <p><u>Design Detail:</u></p>	DD

	<p>TGSIs are required at every stairway/ ramp landing where either 1 or both handrails are not continuous. Either provide continuous handrails or TGSIs at all landings with a discontinuous handrail.</p> <p><u>Design Detail –</u></p> <p>Confirm where any overhead obstruction is provided below 2m as these areas are required to be treated with either a barrier or TGSIs.</p>	
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Cl. D3.9: Wheelchair seating spaces in Class 9b assembly buildings

N/A – No fixed seating is proposed

Cl. D3.10: Swimming pools

N/A - No swimming pools proposed.

Cl. D3.11: Ramps

DtS Provision	Comment(s)/Recommendation(s)	Status
On an accessway, a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and a landing for a step ramp must not overlap a landing for another step ramp or ramp.	Compliance is readily achievable with minor design development and/or specification to AS1428.1-2009 at the Detailed Design Stage.	CoC

Cl. D3.12: Glazing on an accessway

DtS Provision	Comment(s)/Recommendation(s)	Status
Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.		DD

BCA Part E3 – LIFT INSTALLATIONS

Cl. E3.6: Passenger lifts

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Every passenger lift must –</p> <ul style="list-style-type: none"> • be one of the types identified in Table E3.6a, subject to the limitations on use specified in the Table; and • have accessible features in accordance with Table E3.6b; and • not rely on a constant pressure device for its operation if the lift car is fully enclosed. 	<p>Proposed passenger lifts shall have the following features –</p> <ul style="list-style-type: none"> • Handrail complying with the mandatory handrail provisions of AS1735.12, • Lift floor dimensions not less than 1,100mm x 1,400mm where the lift vertical travel is less than 12m, • Lift floor dimensions not less than 1,400mm x 1,600mm where the lift vertical travel is more than 12m, • Minimum clear door opening complying with AS1735.12, • Passenger protection system complying with AS1735.12, • Lift landing doors at the upper landing, • Lift car and landing control buttons complying with AS1735.12, • Lighting in accordance with AS1735.12, • Automatic audible/visual information within the lift car and at the landings as prescribed, • Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received. <p>A design compliance certificate should be obtained from the lift designer to confirm compliance with the relevant provisions of the BCA and Australian Standards.</p>	DD

BCA Part F2 – SANITARY AND OTHER FACILITIES

Cl. F2.4: Accessible sanitary facilities

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>In a building required to be accessible:</p> <ul style="list-style-type: none"> • Accessible unisex sanitary compartments must be provided as in accordance with Table F2.4(a), • Accessible unisex showers must be provided in accordance with Table F2.4(b), • At each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females. • An accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate disposal of sanitary towels. • Circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with AS1428.1. • An accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and • Where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible. 	<p>Accessible sanitary compartments</p> <p>Accessible sanitary compartments are understood to be proposed at every bank of amenities.</p> <p>Ensure FF&E is located as per clause 15 of AS1428.1-2009</p> <p>Ambulant sanitary compartments</p> <p>Ambulant sanitary facilities are understood to be proposed at every bank of facilities in addition to an accessible unisex sanitary compartment.</p> <p>Ensure FF&E is located as per clause 16 of AS1428.1-2009.</p> <p>Compliance is otherwise readily achievable with minor design development and/or specification to BCA & AS1428.1-2009 at the Detailed Design Stage.</p>	<p>CoC</p>

3.0 ACCESSIBILITY COMPLIANCE STATEMENT

This report has provided a review of the relevant project design documentation to determine the compliance status of the proposed development against Part D3, Clause F2.4 and Clause E3.6 'deemed-to-satisfy' (DtS) requirements of the Building Code of Australia 2019 (BCA), The Disability (Access to Premises - Buildings) Standards 2010 and related pertinent Australian Standards.

Following this review and with the adoption of the recommendations/Performance Solutions proposed, ABE Consulting are able to confirm that at the SSDA stage of design, the development can readily achieve compliance with the aforementioned provisions.

4.0 REVIEW PROVIDED BY


Prepared by:



Sam Freeman

Accessibility Consultant

Reviewed by:



Abe Strbik

Director

Member - Association of Consultants in Access
Australia # 405

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