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Property

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'Costalot'/2-10 Allgayer Drive Gunnedah NSW 2380



Development / Land



7,418 m²

For Sale, FOR SALE NOW \$350,000-\$400,000 each



Great industrial potential in convenient location

- The opportunity now exists to secure your new industrial block in a prime location, the perfect time to expand your business or relocate. Only 2 blocks remain.
- 2 Large adjoining lots + 1 detached block with Kamilaroi HWY access into this subdivision which offers you an affordable options of large commercial sites, one with dual rd frontage.
- Fully serviced to front boundary & essentially level lots with underground 3 phase power, town water, NBN & sewer connection.
- Lot 8, 7418m², \$400,000 65m frontage - Lot 10, 6940m², \$350,000 76.1m frontage. Zoned B4 (Industrial)
- Please call Mike Brady on 0488 420 266 for more details

Dont miss your chance to secure your block now.

FOR MORE INFO SMS COSTALOT TO 0416 907 810

PRC

Pro

Flo

Lan

Parl

Anr

Ava

Cat

Last







Mike Brady
First National Real Estate C



Kate Spradk
First National



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Property			Admin	
For Sale	For Lease	Surrounding Suburbs	Commercial Real Estate	International
Developments for Sale in Gunnedah	Developments for Lease in Gunnedah	Commercial real estate in Emerald Hill	News	Singapore commercial sales
Hotels for Sale in Gunnedah	Hotels for Lease in Gunnedah	Commercial real estate in Blue Vale	Commercial Real Estate Agents in Gunnedah	Singapore commercial lease
Warehouses for Sale in Gunnedah	Warehouses for Lease in Gunnedah	Commercial real estate in Carroll	Residential properties for sale in Gunnedah	Malaysian commercial sales
Medical properties for Sale in Gunnedah	Medical properties for Lease in Gunnedah	Commercial real estate in Orange Grove	Residential properties for lease in Gunnedah	Malaysian commercial lease
Offices for Sale in Gunnedah	Offices for Lease in Gunnedah	Commercial real estate in Curlewis		North Malaysian commercial sales
Retail properties for Sale in Gunnedah	Retail properties for Lease in Gunnedah	Commercial real estate in Nea		North Malaysian commercial lease

Rural properties for Sale in Gunnedah	Rural properties for Lease in Gunnedah	Commercial real estate in Kelvin	Indonesian commercial sales
Showrooms for Sale in Gunnedah	Showrooms for Lease in Gunnedah	Commercial real estate in Marys Mount	Indonesian commercial lease
Serviced Offices for Sale in Gunnedah	Serviced Offices for Lease in Gunnedah		
Parking spaces for Sale in Gunnedah	Parking spaces for Lease in Gunnedah	Commercial real estate in Milroy	

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AS-BUILT SURVEY
COSTALOT INDUSTRIAL ESTATE
SUBDIVISION ROADWORKS & SERVICES
16 TORRENS ROAD, GUNNEDAH
LOT 454 DP 755503

SCHEDULE OF DRAWINGS

- 1 - PLAN - ROADWORKS, WATER SUPPLY & LANDSCAPE PLAN
- 2 - PLAN - STORMWATER DESIGN PLAN
- 3 - PLAN - SEWER SERVICE PLAN
- 4 - LONGITUDINAL SECTION - SEWER 1 TRUNK MAIN
- 5 - LONGITUDINAL SECTION - STORMWATER LINE 1 TO 4
- 6 - LONGITUDINAL SECTION - WATERWAY AND STORMWATER LINE 5 & 6
- 7 - CROSS SECTIONS - SUBDIVISION ROAD CH 21.526 TO 90.000
- 8 - CROSS SECTIONS - SUBDIVISION ROAD CH 105.000 TO CH 180.000
- 9 - CROSS SECTIONS - SUBDIVISION ROAD CH 195.000 TO CH 270.000
- 10 - CROSS SECTIONS - SUBDIVISION ROAD CH 285.000 TO CH 360.000
- 11 - CROSS SECTIONS - SUBDIVISION ROAD CH 375.000 TO CH 465.000
- 12 - CROSS SECTIONS - TORRENS ROAD CH 0.000 TO CH 78.867
- 13 - CROSS SECTIONS - TORRENS ROAD CH 80.000 TO CH 113.854



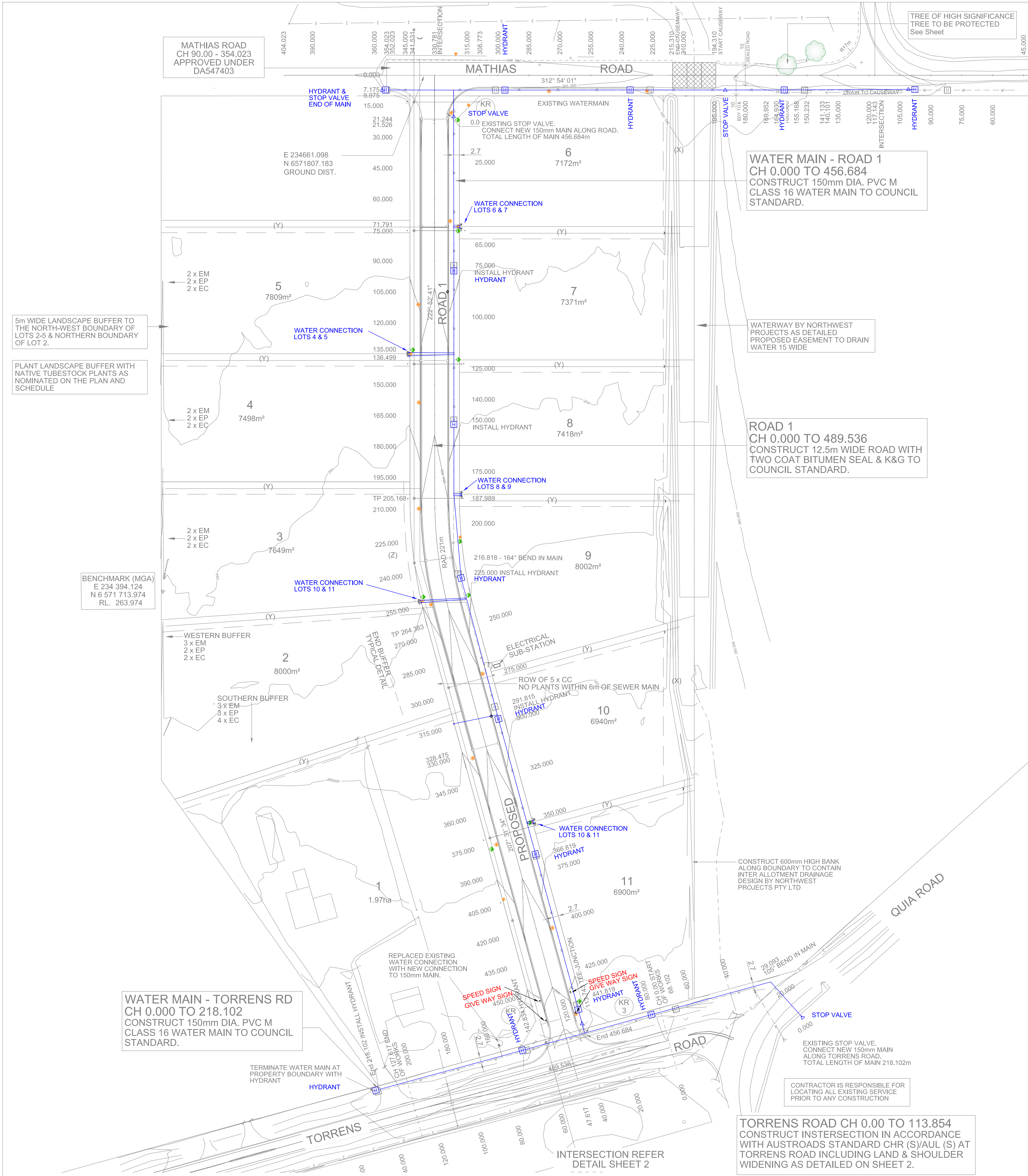
STEWART SURVEYS
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E office@stewartsurveys.com

Surveying, Environmental & Landscape Architecture

PAVEMENT & WATERWAY DESIGN BY:

NORTHWEST PROJECT PTY LTD
PHIL HUTCHISON- 0428 422 733
hutgun@bigpond.net.au

A	8.12.16	WORKS AS EXECUTED
Issue	Date	Description



ROADWORKS NOTES:
MATHIAS ROAD
DESIGN APPROVED UNDER CONSTRUCTION CERTIFICATE 547403 DATED

TORRENS ROAD
EXISTING BITUMEN SURFACE TO BE RETAINED AND PROTECTED.
CONSTRUCTION AUSTRROADS CHR(S)/BAL(S) INTERSECTION TIE WORKS INTO EXISTING SURFACE NEATLY AND EVENLY.

PROPOSED ROAD 1
PROPOSED ROAD WITH 12.5 METRE 2 COAT SEAL BITUMEN SEAL AND 150mm BARRIER KERB AND GUTTERING AS DETAILED ON SHEET 2 & TO COUNCIL SPECIFICATIONS

WATER SUPPLY NOTES:
150mm PVC M CLASS 16 WATER MAIN- MIN 600mm COVER
CONNECTION SERVICES TO BE 25mm CLASS 16 POLY MIN 600mm COVER INSTALL HYDRANTS AS SHOWN AT 75m MAX SPACINGS
● PROVIDE 25mm WATER SERVICE
□ PROVIDE HYDRANT
▲ PROVIDE STOP VALVE

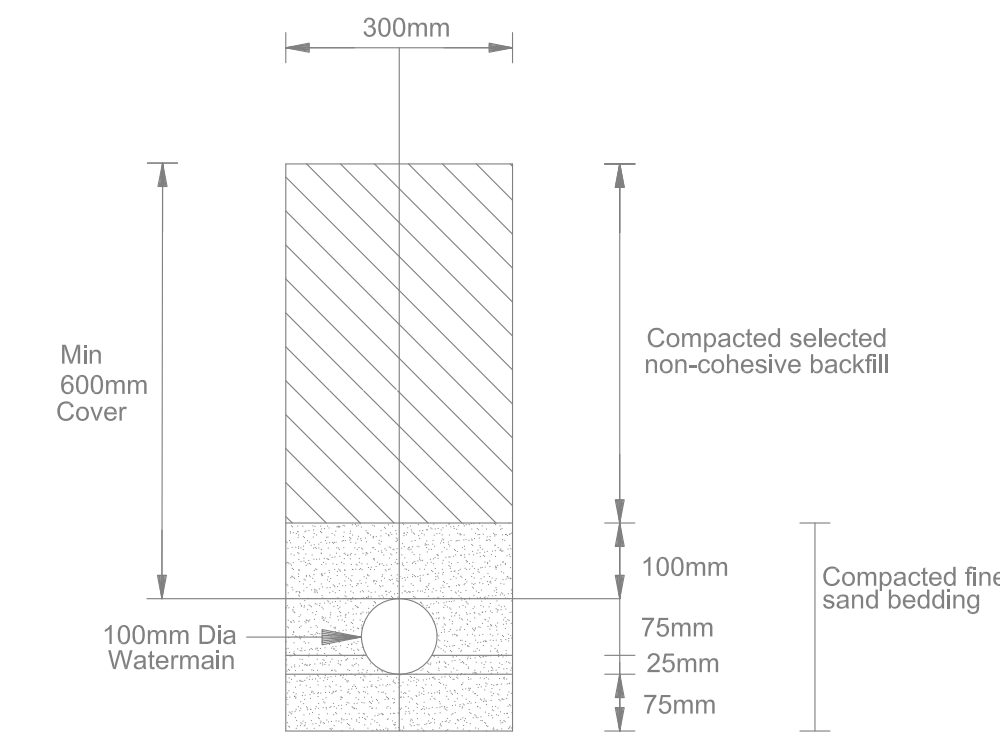
LANDSCAPE BUFFER PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	POT SIZE	QUANTITY
TREES					
EM	Eucalyptus melliodora	Yellow Box	16	50x50x90	12
EP	Eucalyptus populnea	Bimble Box	12	50x50x90	11
EC	Eucalyptus crebra	Ironbark	12	50x50x90	12
SHRUBS					
CC	Callistemon citrinus	Red Bottlebrush	2	50x50x90	5

ASBUILT SURVEY

- 150mm PVC M CLASS 16 WATER MAIN
 - HYDRANT
 - STOP VALVE
 - 25mm WATER CONNECTION
 - ELECTRICITY PILLAR
 - STREET LIGHT
 - TELECOMMUNICATIONS PIT
 - STORMWATER MAIN
 - CONCRETE HEADWALL
 - INDICATES 1200mm KERB INLET PIT
 - SEWER MAIN
 - SEWER MANHOLE
- THESE DRAWINGS SHOW SURFACE PITS ONLY FOR ELECTRICAL AND TELECOMMUNICATIONS SERVICES. REFER TO SERVICE PROVIDERS PLANS FOR UNDERGROUND SERVICE LINE LOCATIONS

BASE PLAN IS SHEET 4



NOTES:
Provide 600mm cover to mains and services. Provide standard hydrants to council specification as shown. Provide thrust block at tee in accordance with council specification where shown.

**WATER MAIN
PIPE TRENCH DETAIL**

- KR 1 KERB RETURN 1 - REFER SHEET 30
- KR 2 KERB RETURN 2 - REFER SHEET 30
- KR 3 KERB RETURN 3 - REFER SHEET 30

SUBSOIL DRAINAGE BEHIND KERB

ROAD 1 CH 489.536 (TORRENS ROAD) TO 21.526

WEST TO DRAIN AT 0.5% MINIMUM GRADE TO OUTLET IN SW1 KERB INLET PIT AT STORMWATER CHAINAGE 29.272.

EAST TO DRAIN AT 0.5% MINIMUM GRADE TO OUTLET IN SW2 KERB INLET PIT AT CHAINAGE 0.00

ROAD 1 EAST FROM CHAINAGE 21.526 TO CH 7.175 AND MATHIAS ROAD

DRAIN AT 0.5% GRADE AND INSTALL SUITABLE OUTLET AT GROUND LEVEL AT CAUSEWAY.

(X) PROPOSED EASEMENT TO DRAIN WATER 15 WIDE

(Y) PROPOSED EASEMENT TO DRAIN WATER 6 WIDE

(Z) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE

(T) PROPOSED EASEMENT FOR ELECTRICITY 4.2 WIDE

REFERENCE:

- Lot Boundary
- Contour
- Overhead Electricity

CONTOUR INTERVAL 0.5m
LEVEL DATUM - AHD,
HORIZONTAL DATUM - MGA GROUND DIST

PROPOSED SERVICES:

- Water Main
- Stormwater Main
- Sewer Main
- 5m Landscape Buffer

EASEMENTS HAVE NOT BEEN SHOWN.
EASEMENTS SHOWN ARE PRELIMINARY.
LOCATION AND WIDTHS TO BE CONFIRMED BY COUNCIL PRIOR TO SUBDIVISION CERTIFICATE.



BASE PLAN IS SHEET 4 IN THE
CONSTRUCTION DRAWING SET

A	8.12.16	WORKS AS EXECUTED

Issue/ Date Description

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

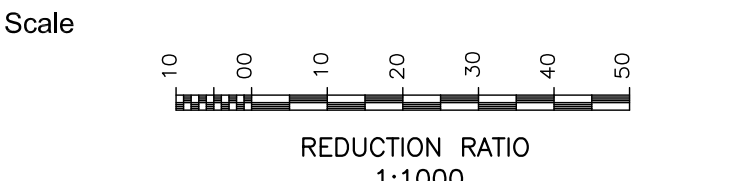
Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
PLAN OF PROPOSED ROAD WORKS,
WATER SERVICE & LANDSCAPING



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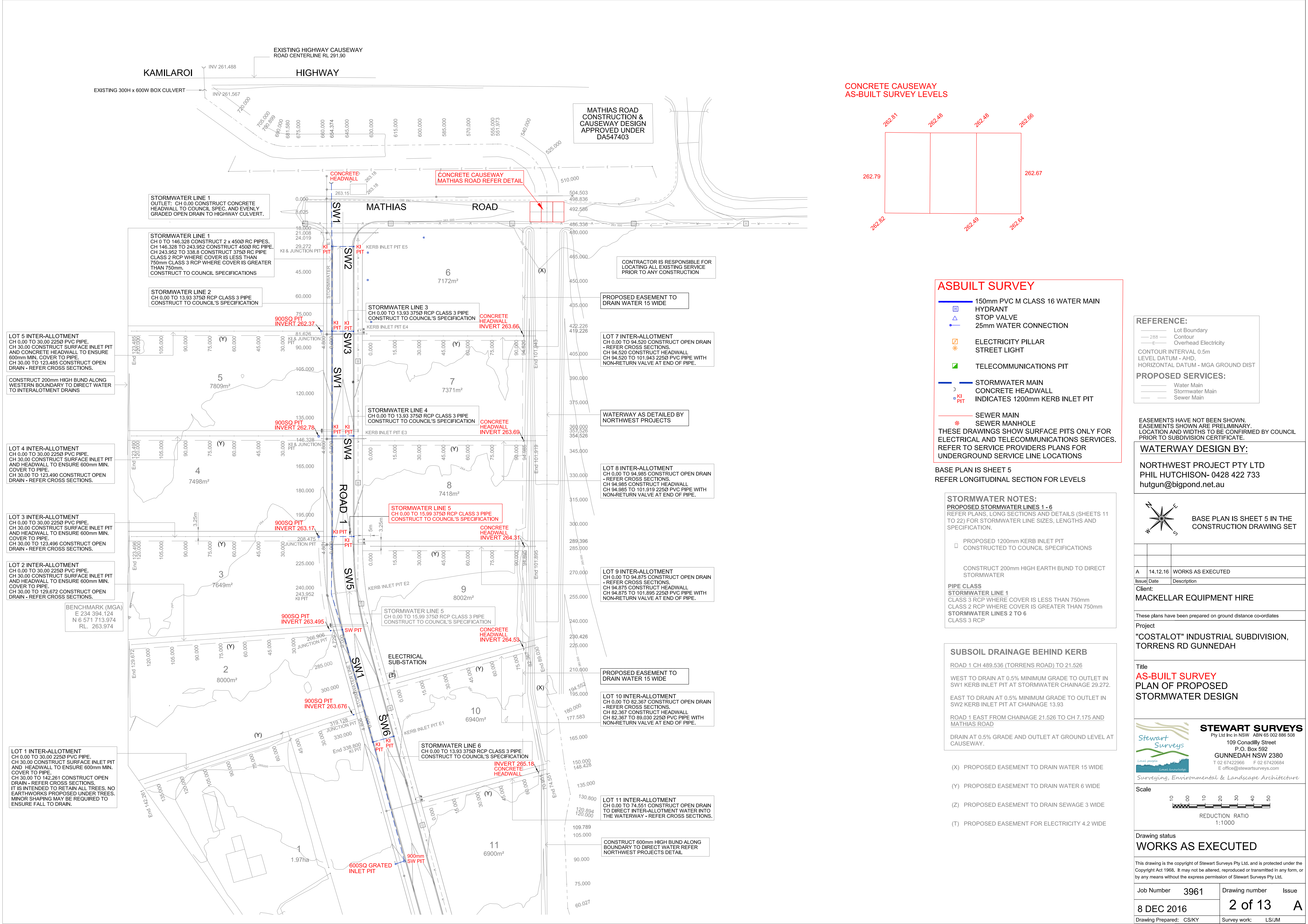
Surveying, Environmental & Landscape Architecture



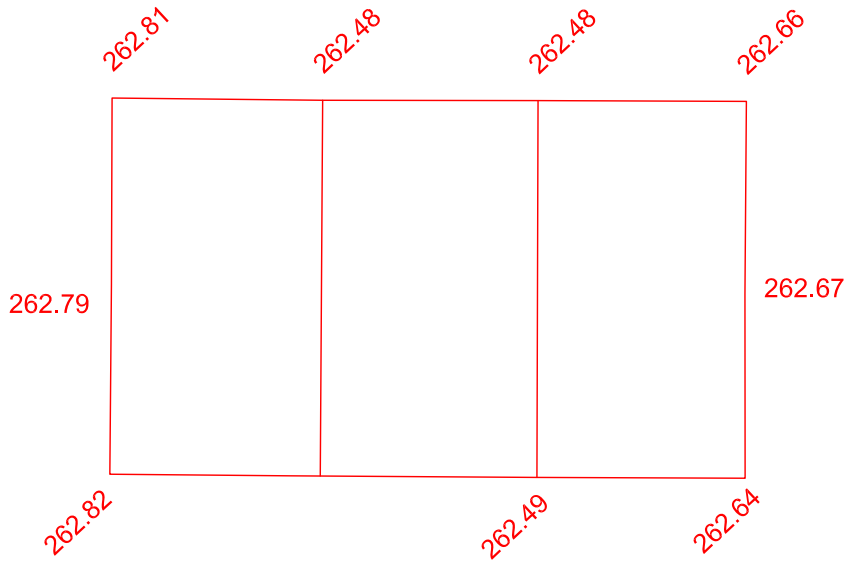
Drawing status
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Job Number	3961	Drawing number	Issue
8 DEC 2016		1 of 13	A
Drawing Prepared:	CS/KY	Survey work:	LS/JM



CONCRETE CAUSEWAY
AS-BUILT SURVEY LEVELS



ASBUILT SURVEY

- 150mm PVC M CLASS 16 WATER MAIN
 - HYDRANT
 - STOP VALVE
 - 25mm WATER CONNECTION
 - ELECTRICITY PILLAR
 - STREET LIGHT
 - TELECOMMUNICATIONS PIT
 - STORMWATER MAIN
 - CONCRETE HEADWALL
 - INDICATES 1200mm KERB INLET PIT
 - SEWER MAIN
 - SEWER MANHOLE
- THESE DRAWINGS SHOW SURFACE PITS ONLY FOR ELECTRICAL AND TELECOMMUNICATIONS SERVICES. REFER TO SERVICE PROVIDERS PLANS FOR UNDERGROUND SERVICE LINE LOCATIONS

BASE PLAN IS SHEET 5
REFER LONGITUDINAL SECTION FOR LEVELS

STORMWATER NOTES:
PROPOSED STORMWATER LINES 1 - 6
REFER PLANS, LONG SECTIONS AND DETAILS (SHEETS 11 TO 22) FOR STORMWATER LINE SIZES, LENGTHS AND SPECIFICATION.

- PROPOSED 1200mm KERB INLET PIT
- CONSTRUCTED TO COUNCIL SPECIFICATIONS

CONSTRUCT 200mm HIGH EARTH BUND TO DIRECT STORMWATER

PIPE CLASS
STORMWATER LINE 1
CLASS 3 RCP WHERE COVER IS LESS THAN 750mm
CLASS 2 RCP WHERE COVER IS GREATER THAN 750mm
STORMWATER LINES 2 TO 6
CLASS 3 RCP

SUBSOIL DRAINAGE BEHIND KERB

ROAD 1 CH 489.536 (TORRENS ROAD) TO 21.526

WEST TO DRAIN AT 0.5% MINIMUM GRADE TO OUTLET IN SW1 KERB INLET PIT AT STORMWATER CHAINAGE 29.272.

EAST TO DRAIN AT 0.5% MINIMUM GRADE TO OUTLET IN SW2 KERB INLET PIT AT CHAINAGE 13.93

ROAD 1 EAST FROM CHAINAGE 21.526 TO CH 7.175 AND MATHIAS ROAD

DRAIN AT 0.5% GRADE AND OUTLET AT GROUND LEVEL AT CAUSEWAY.

(X) PROPOSED EASEMENT TO DRAIN WATER 15 WIDE

(Y) PROPOSED EASEMENT TO DRAIN WATER 6 WIDE

(Z) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE

(T) PROPOSED EASEMENT FOR ELECTRICITY 4.2 WIDE

REFERENCE:

- Lot Boundary
- Contour
- Overhead Electricity

CONTOUR INTERVAL 0.5m
LEVEL DATUM - AHD,
HORIZONTAL DATUM - MGA GROUND DIST

PROPOSED SERVICES:

- Water Main
- Stormwater Main
- Sewer Main

EASEMENTS HAVE NOT BEEN SHOWN.
EASEMENTS SHOWN ARE PRELIMINARY.
LOCATION AND WIDTHS TO BE CONFIRMED BY COUNCIL PRIOR TO SUBDIVISION CERTIFICATE.

WATERWAY DESIGN BY:

NORTHWEST PROJECT PTY LTD
PHIL HUTCHISON- 0428 422 733
hutgun@bigpond.net.au

BASE PLAN IS SHEET 5 IN THE
CONSTRUCTION DRAWING SET

A 14.12.16 WORKS AS EXECUTED

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
PLAN OF PROPOSED
STORMWATER DESIGN

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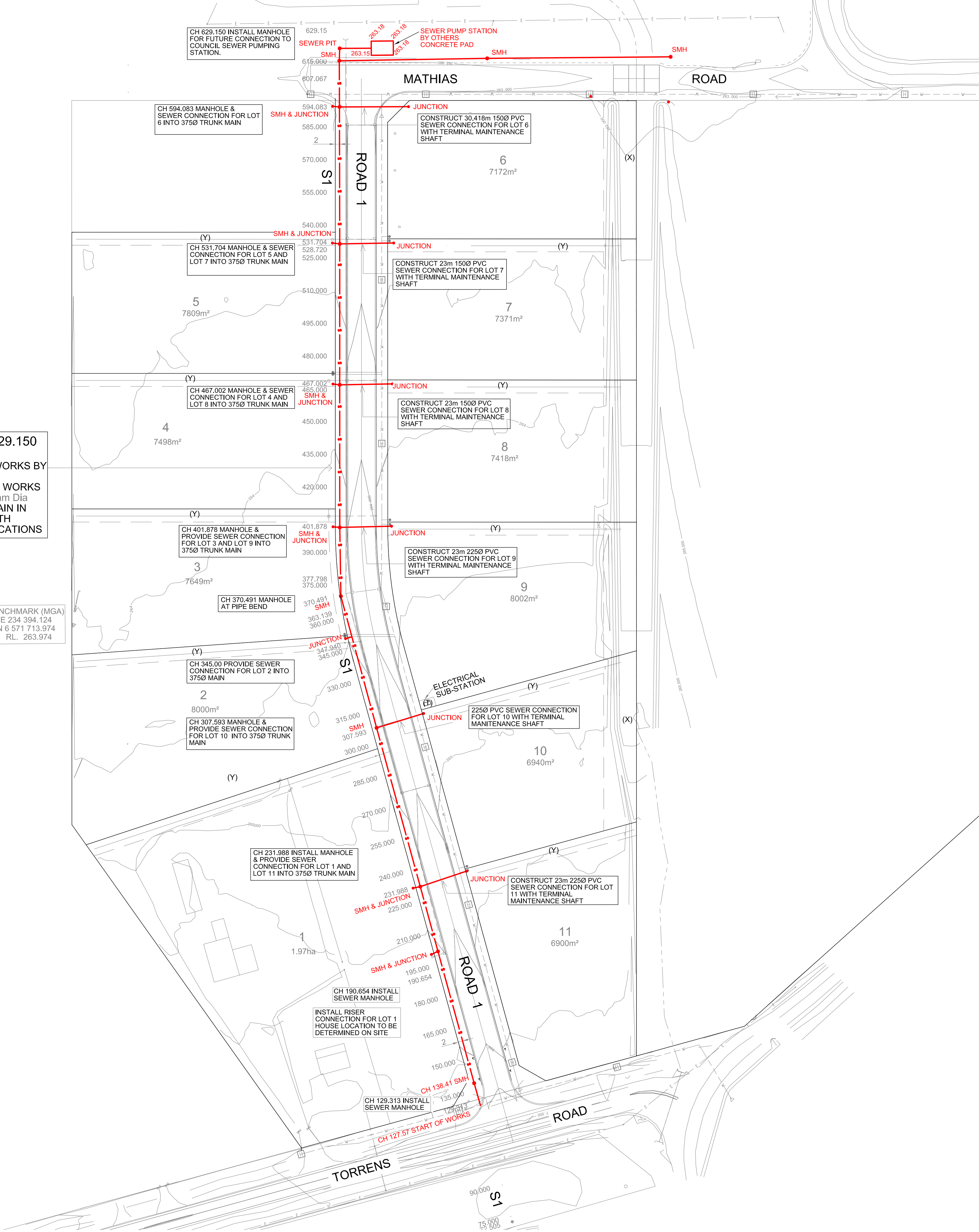
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Job Number	3961	Drawing number	Issue
8 DEC 2016		2 of 13	A
Drawing Prepared:	CS/KY	Survey work:	LS/JM

CH 0.00 - CH 629.150
SEWER LINE 1
CH 0.00 - 129.313 WORKS BY
OTHERS.
CH 129.313 START WORKS
CONSTRUCT 375mm Dia
CONC. SEWER MAIN IN
ACCORDANCE WITH
COUNCIL SPECIFICATIONS

BENCHMARK (MGA)
E 234 394.124
N 6 571 713.974
RL. 263.974



REFERENCE:

- Lot Boundary
- 288 Contour
- Overhead Electricity

CONTOUR INTERVAL 0.5m
LEVEL DATUM - AHD,
HORIZONTAL DATUM - MGA GROUND DIST

PROPOSED SERVICES:

- Water Main
- Stormwater Main
- Sewer Main

EASEMENTS HAVE NOT BEEN SHOWN.
EASEMENTS SHOWN ARE PRELIMINARY.
LOCATION AND WIDTHS TO BE CONFIRMED BY COUNCIL
PRIOR TO SUBDIVISION CERTIFICATE.

BASE PLAN IS SHEET 6 IN THE
CONSTRUCTION DRAWING SET

B	22.12.16	UPDATED WORKS AS EXECUTED
A	8.12.16	WORKS AS EXECUTED
Issue Date	Description	

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

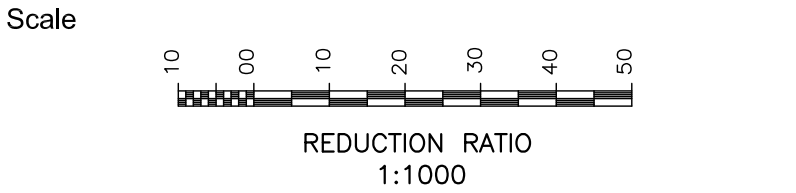
Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
PLAN OF SEWER DESIGN



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Local people Local landscape
Surveying, Environmental & Landscape Architecture



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Job Number	3961	Drawing number	Issue
8 DEC 2016		3 of 13	B
Drawing Prepared: CS/KY		Survey work: LS/JM	

SEWER LINE NOTES:
REFER PLANS AND LONGSECTIONS ON SHEETS 9 TO 10 FOR LENGTHS AND DEPTHS

PROPOSED SEWER LINE 1
CONSTRUCT 375mm DIA RCP SEWER TRUNK MAIN TO COUNCIL'S SPECIFICATIONS.

- PROPOSED MANHOLE TO COUNCIL AND AUSTRALIAN STANDARDS

S1 INDICATES SEWER LINE 1

- PROPOSED TERMINAL MAINTENANCE SHAFT AT LOT CONNECTION

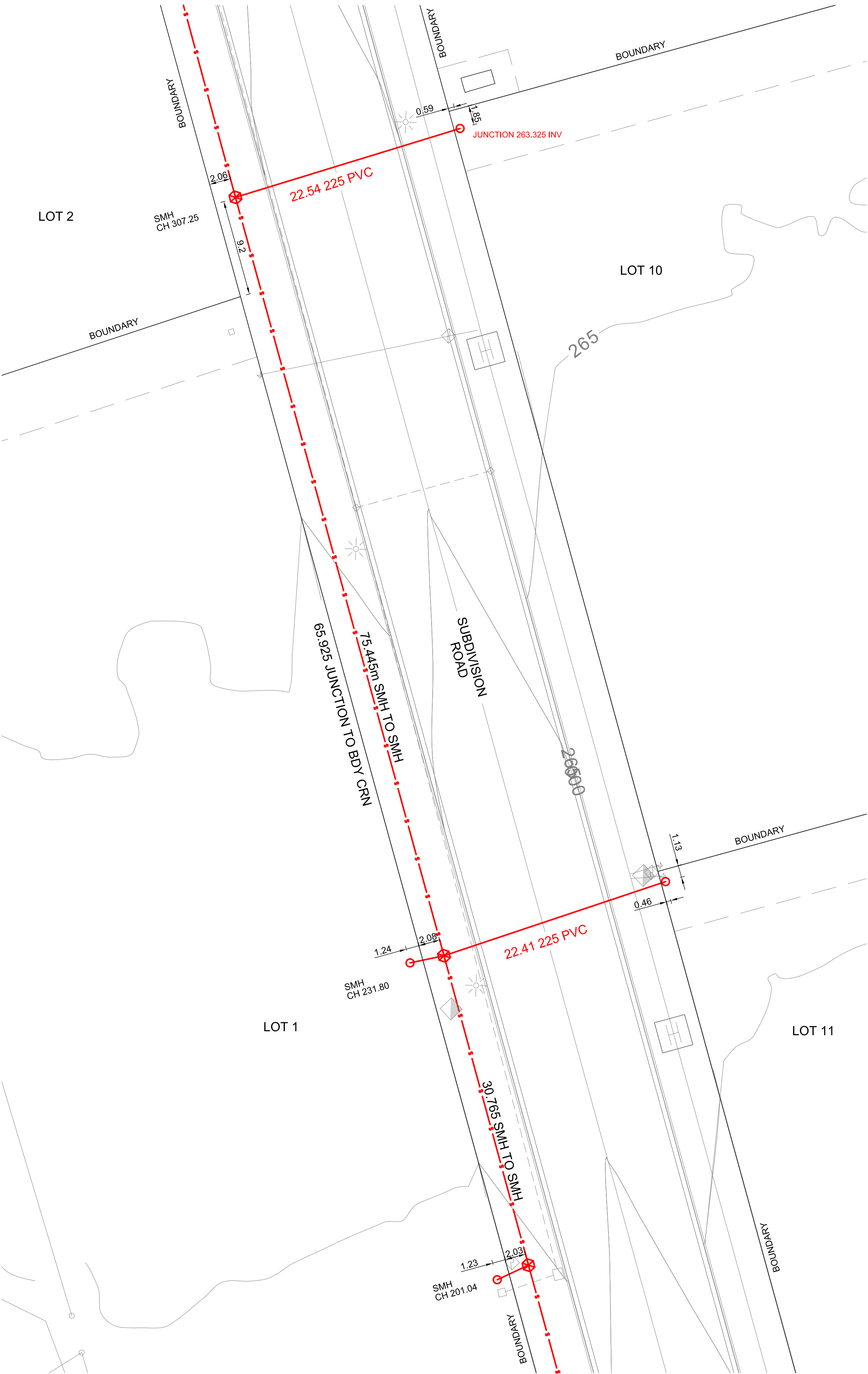
- (X) PROPOSED EASEMENT TO DRAIN WATER 15 WIDE
- (Y) PROPOSED EASEMENT TO DRAIN WATER 6 WIDE
- (Z) PROPOSED EASEMENT TO DRAIN SEWAGE 3 WIDE
- (T) PROPOSED EASEMENT FOR ELECTRICITY 4.2 WIDE

ASBUILT SURVEY

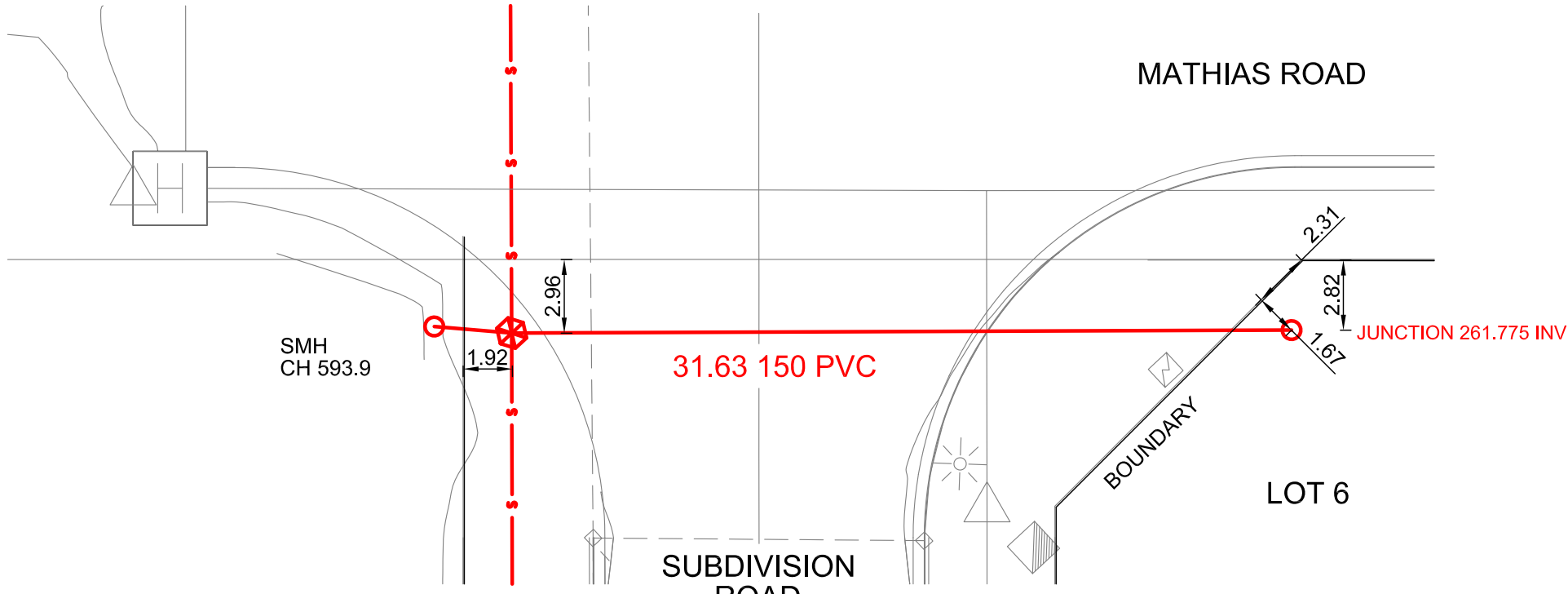
- 150mm PVC M CLASS 16 WATER MAIN
- HYDRANT
- STOP VALVE
- 25mm WATER CONNECTION
- ELECTRICITY PILLAR
- STREET LIGHT
- TELECOMMUNICATIONS PIT
- STORMWATER MAIN
- CONCRETE HEADWALL
- INDICATES 1200mm KERB INLET PIT
- SEWER MAIN
- SEWER MANHOLE

THESE DRAWINGS SHOW SURFACE PITS ONLY FOR ELECTRICAL AND TELECOMMUNICATIONS SERVICES. REFER TO SERVICE PROVIDERS PLANS FOR UNDERGROUND SERVICE LINE LOCATIONS

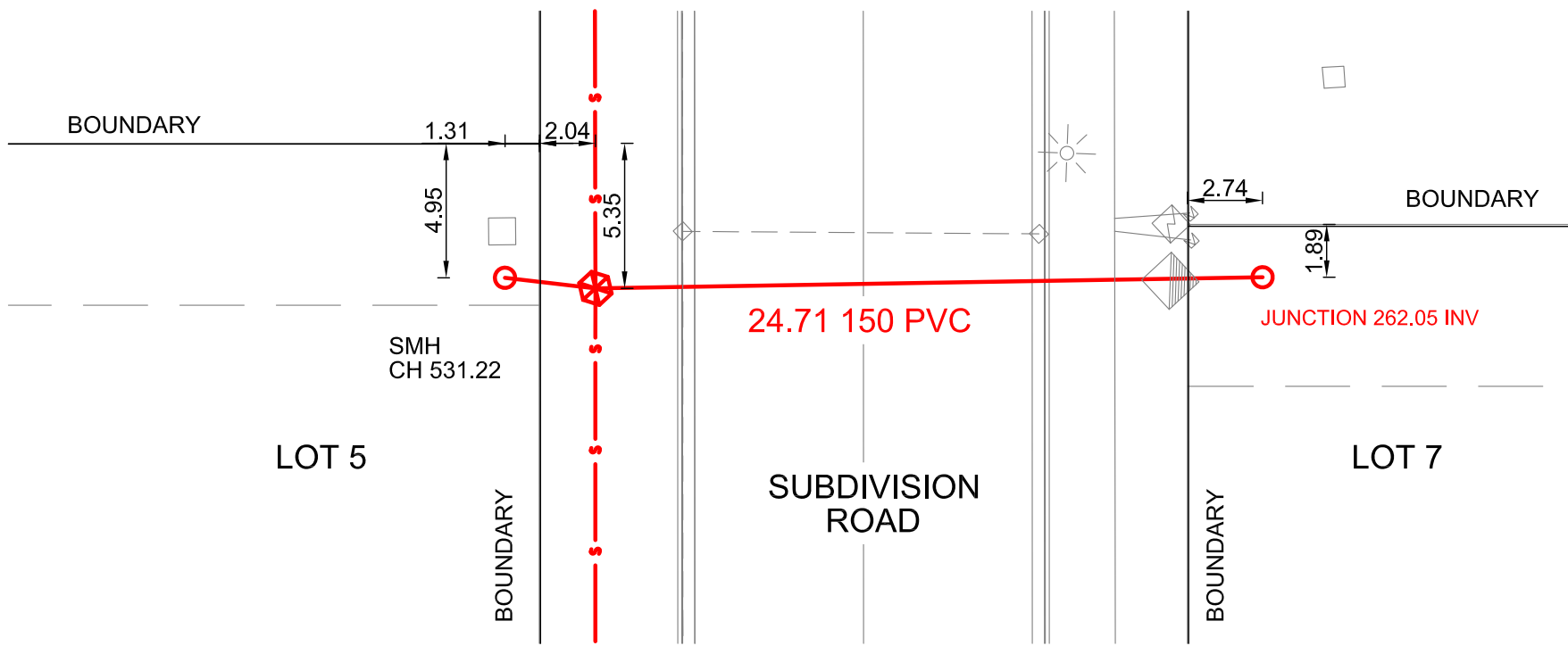
BASE PLAN IS SHEET 6
REFER LONGITUDINAL SECTION FOR LEVELS



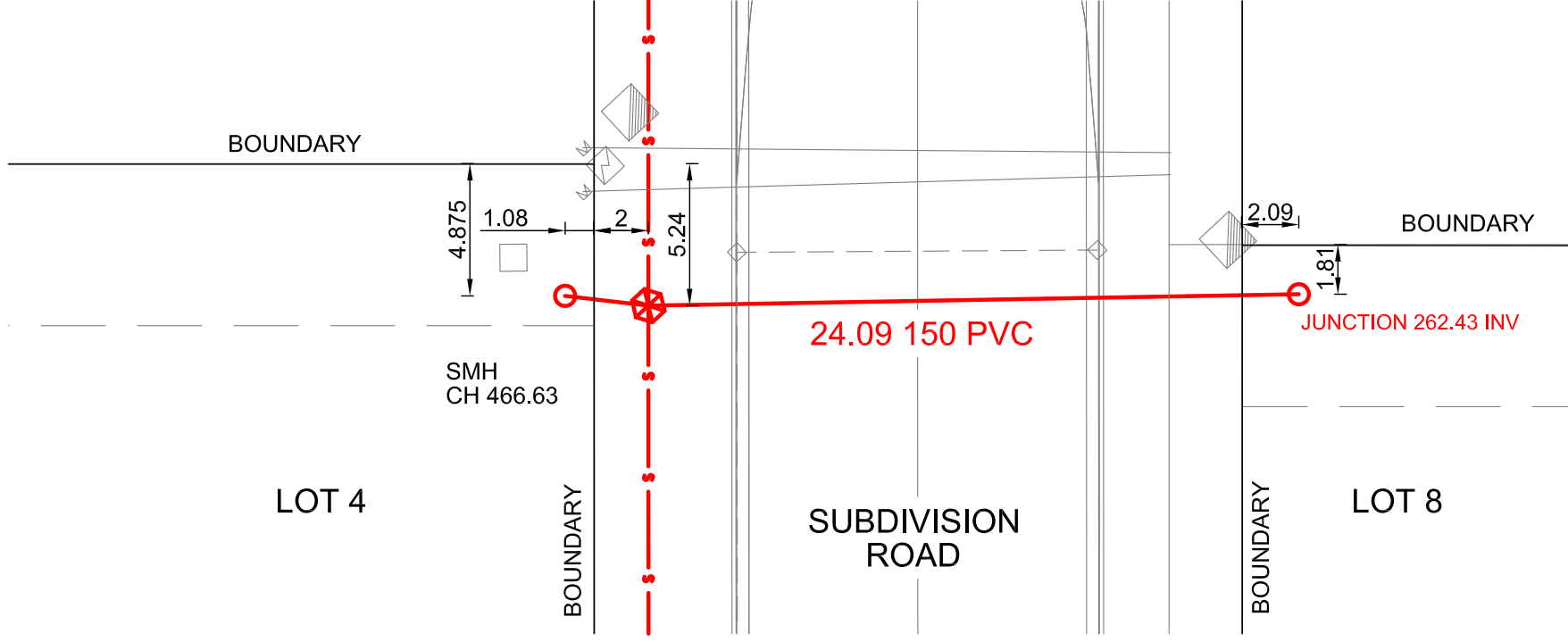
LOTS 1, 10 & 11 JUNCTIONS



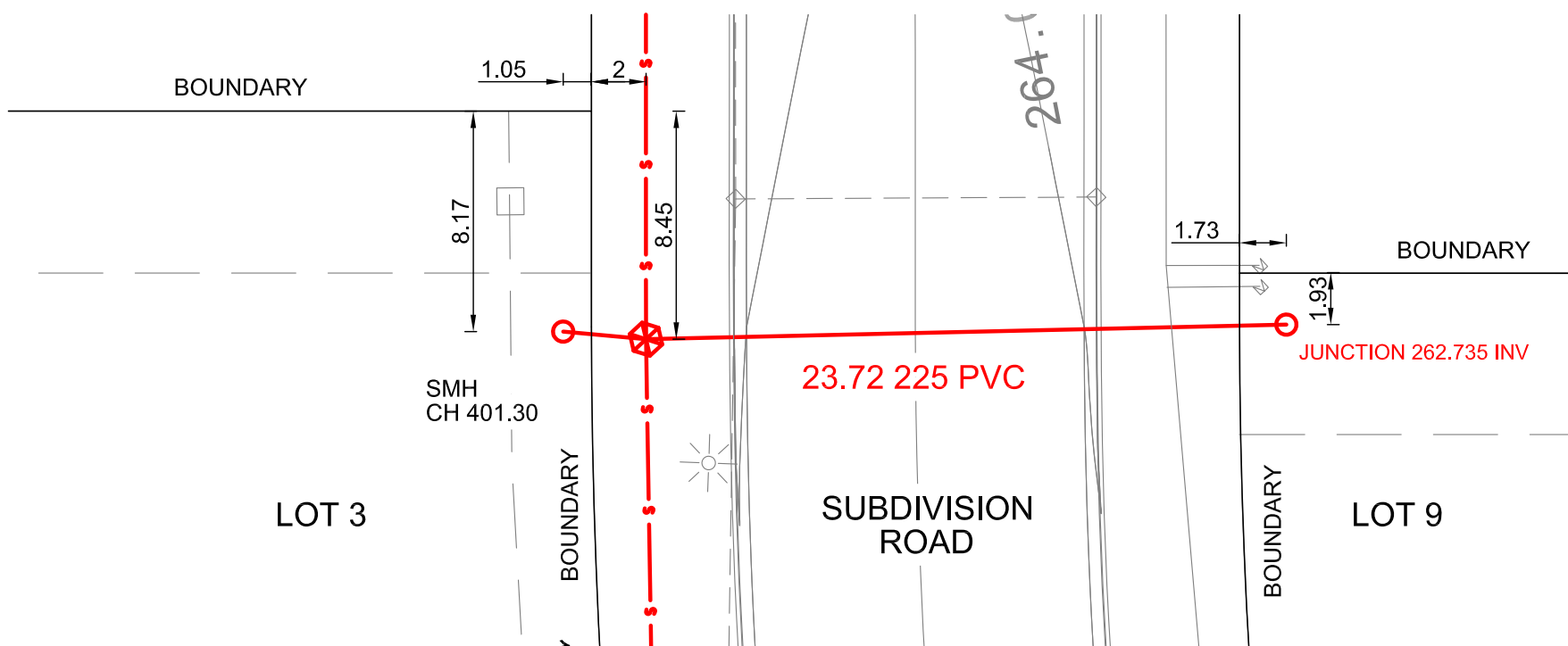
LOT 6 JUNCTION



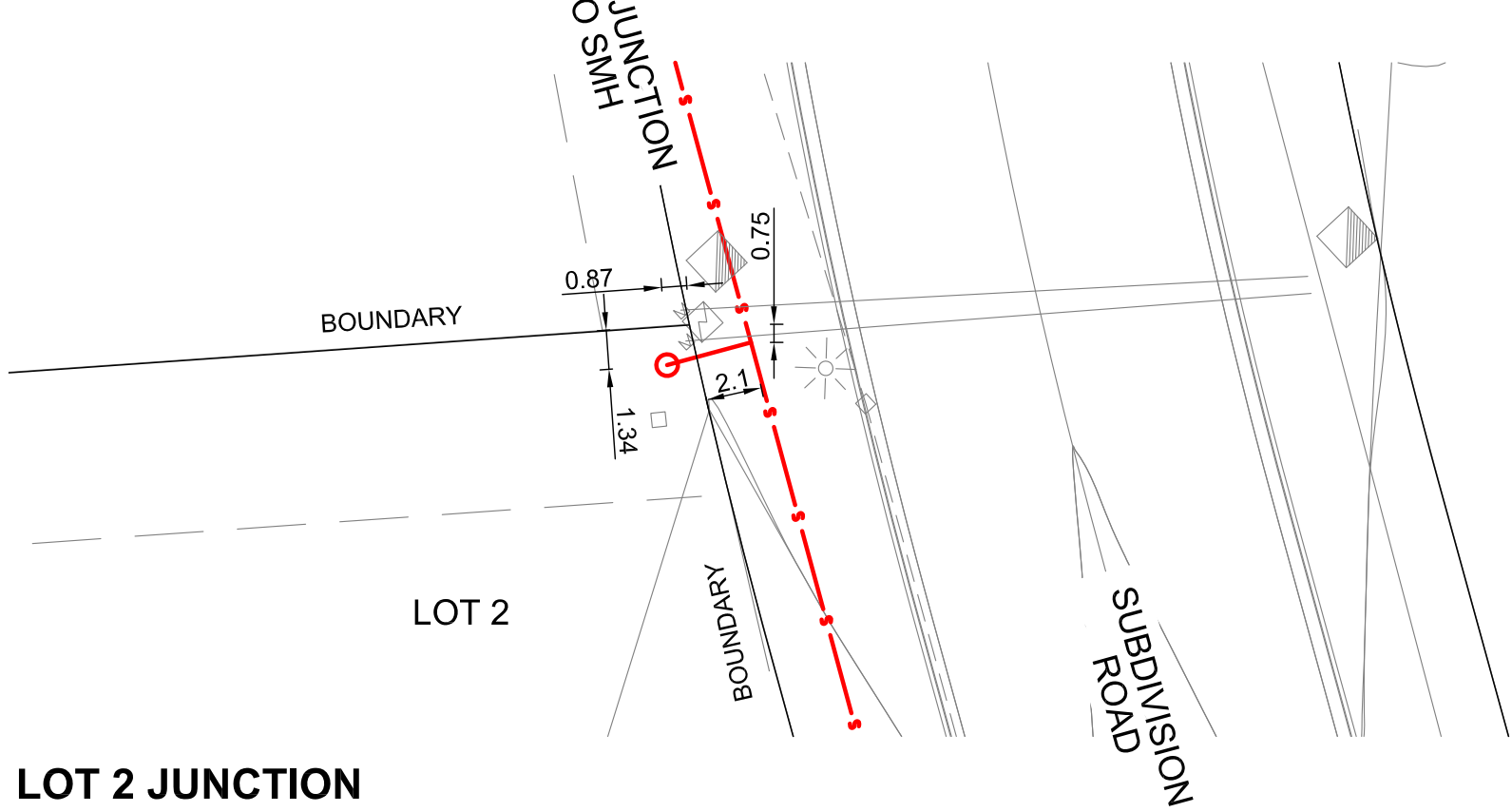
LOT 5 & 7 JUNCTION



LOT 4 & 8 JUNCTION



LOT 3 & 9 JUNCTION



LOT 2 JUNCTION

ASBUILT SURVEY

- 375mm RCP SEWER MAIN (TRUNK MAIN)
- 150mm PVC SEWER LOT CONNECTION
- SEWER MANHOLE
- SEWER LOT JUNCTION (TERMINAL MAINTENANCE SHAFT)

BASE PLAN IS SHEET 6 IN THE CONSTRUCTION DRAWING SET

B	22.12.16	UPDATED WORKS AS EXECUTED
A	8.12.16	WORKS AS EXECUTED
Issue	Date	Description

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates
Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
DETAILED PLAN OF SEWER
JUNCTIONS



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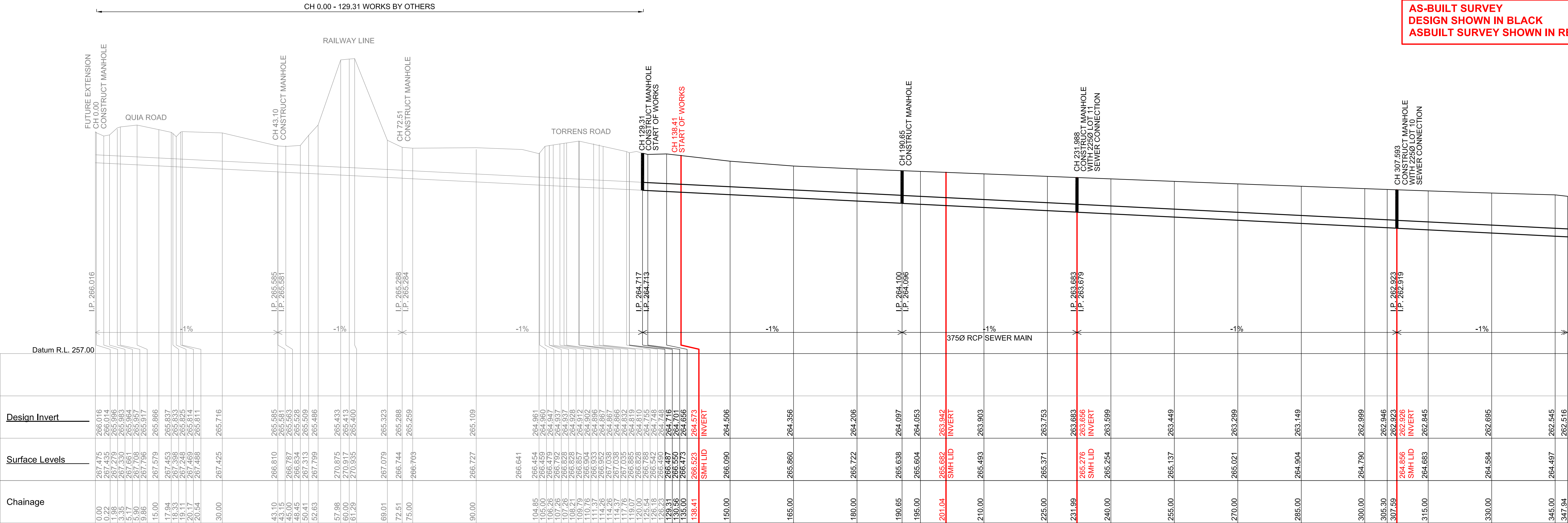
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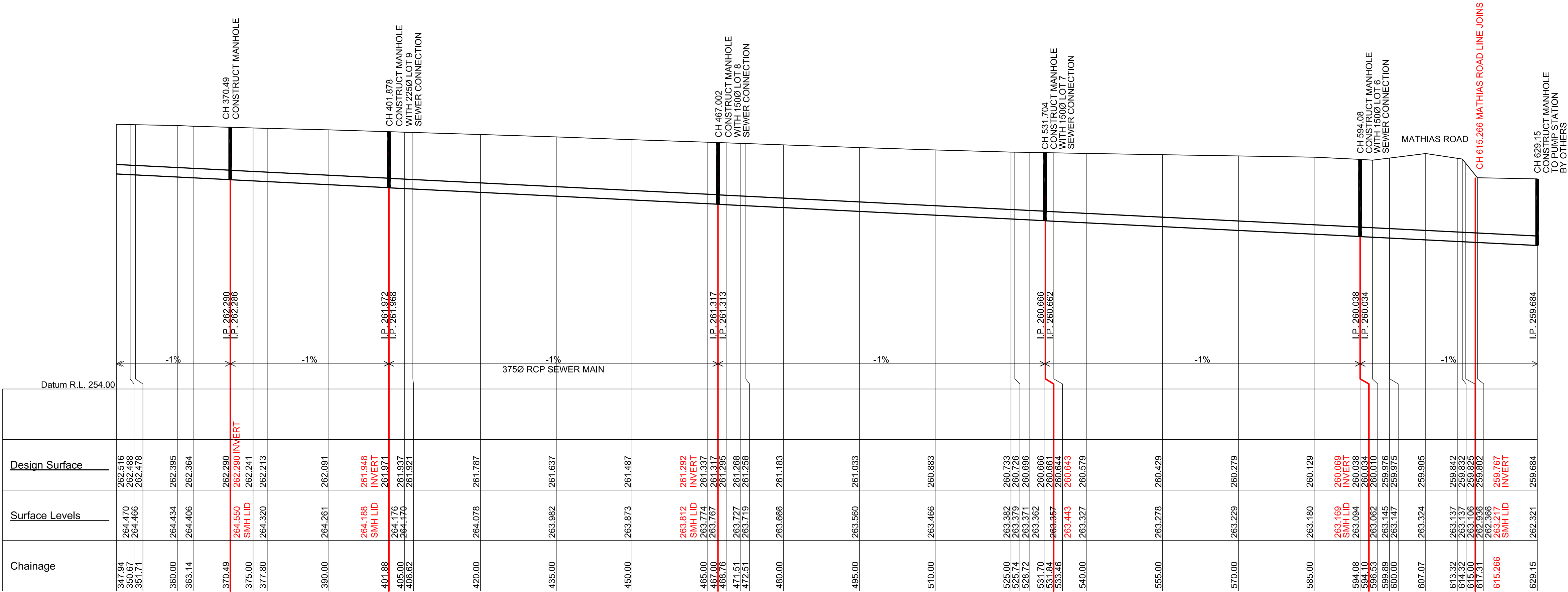
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Job Number	3961	Drawing number	Issue
8 DEC 2016		3a of 13	B
Drawing Prepared:	CS/KY	Survey work:	LS/JM




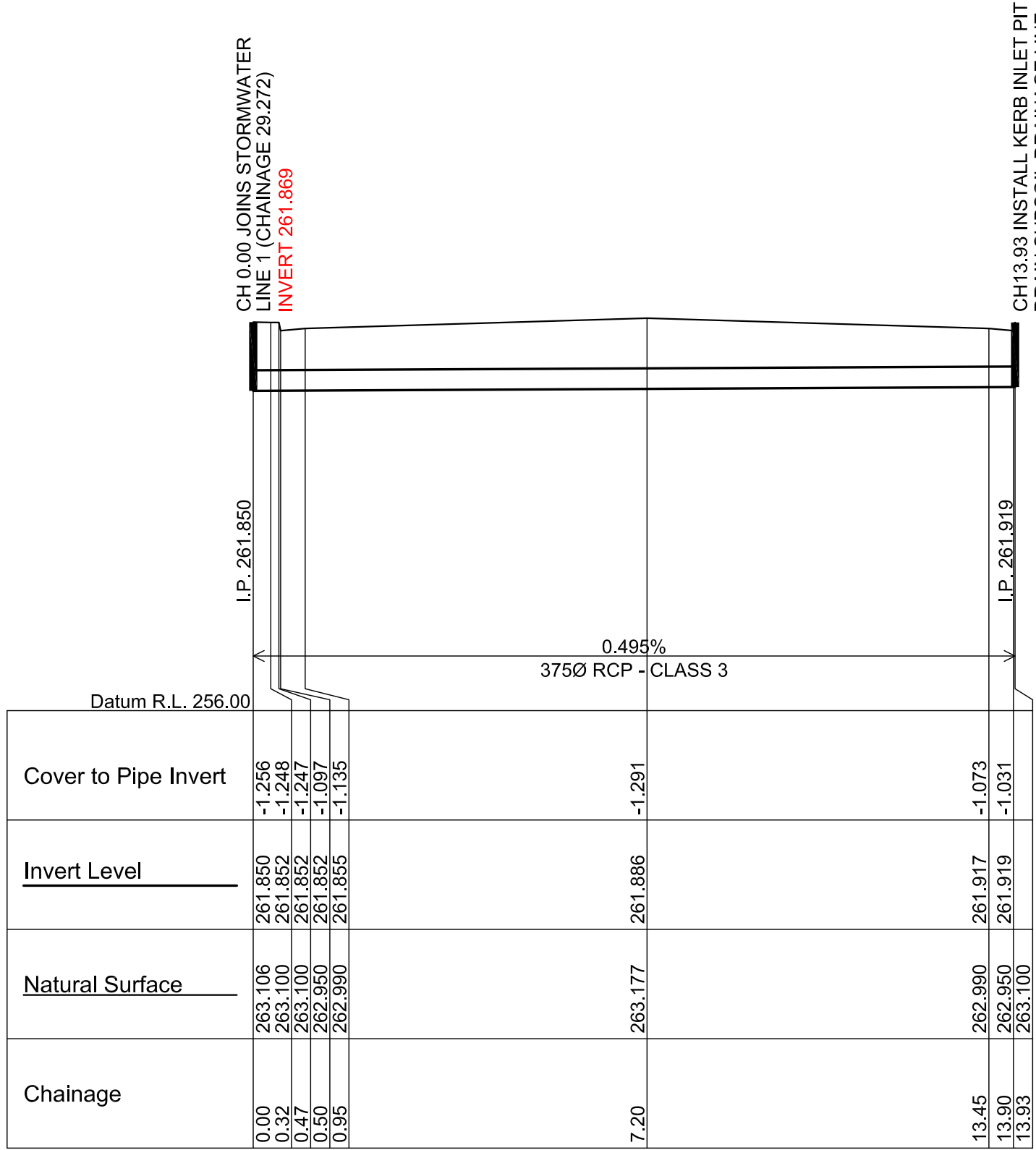
SEWER MAIN 1 - 375Ø RCP TRUNK MAIN CHAINAGE 0.00 TO 347.94



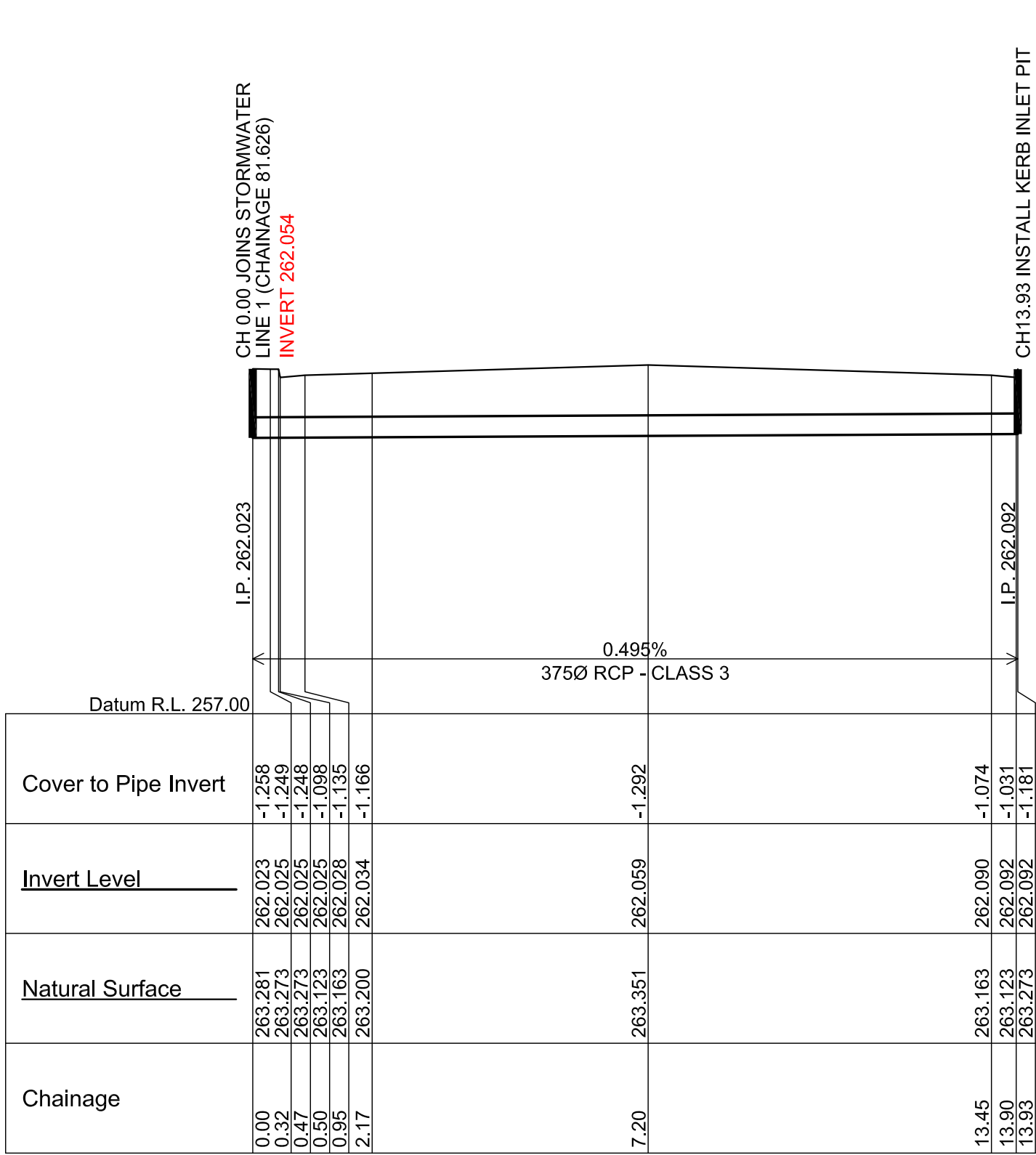
SEWER MAIN 1 - 375Ø RPC TRUNK MAIN CHAINAGE 347.94 TO 629.15

BASE PLAN IS SHEET 9 IN THE CONSTRUCTION DRAWING SET

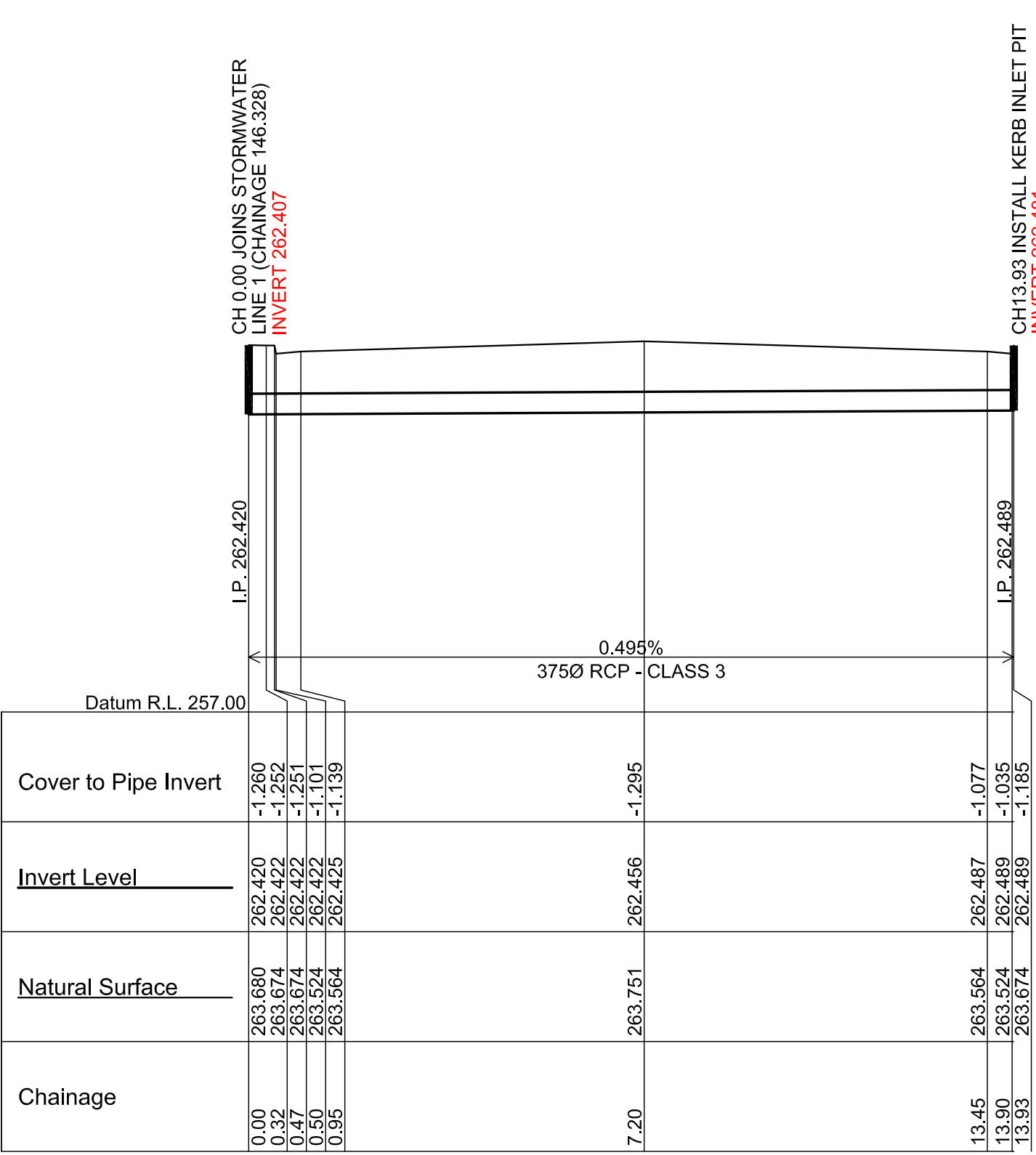
A		
14.12.16	WORKS AS EXECUTED	
Issue/Date	Description	
Client:	MACKELLAR EQUIPMENT HIRE	
These plans have been prepared on ground distance co-ordinates		
Project:	"COSTALOT" INDUSTRIAL SUBDIVISION, TORRENS RD GUNNEDAH	
Title:	AS-BUILT SURVEY LONGITUDINAL SECTIONS SEWER LINE 1 (TRUNK MAIN)	
<div><div><p>Local people Local knowledge</p></div><div><p>STEWART SURVEYS Pty Ltd Inc in NSW ABN 65 002 886 508 109 Conadilly Street P.O. Box 592 GUNNEDAH NSW 2380 T 02 67422966 F 02 67420684 E office@stewartsurveys.com</p><p>Surveying, Environmental & Landscape Architecture</p></div></div>		
Scale Scale Horizontal 1:500 Vertical 1:100		
Drawing status WORKS AS EXECUTED		
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Job Number	3961	Drawing number Issue
8 DEC 2016		4 of 13 A
Drawing Prepared:	CS/KY	Survey work: LS/JM



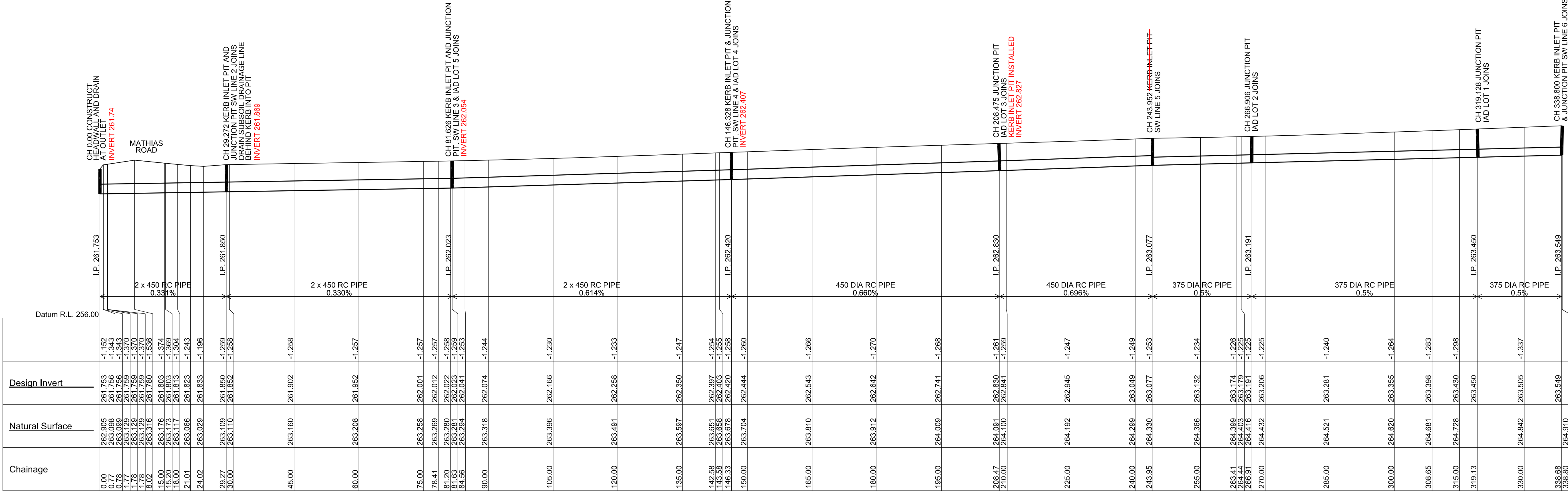
STORMWATER LINE 2



STORMWATER LINE 3

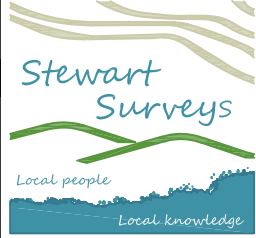


STORMWATER LINE 4

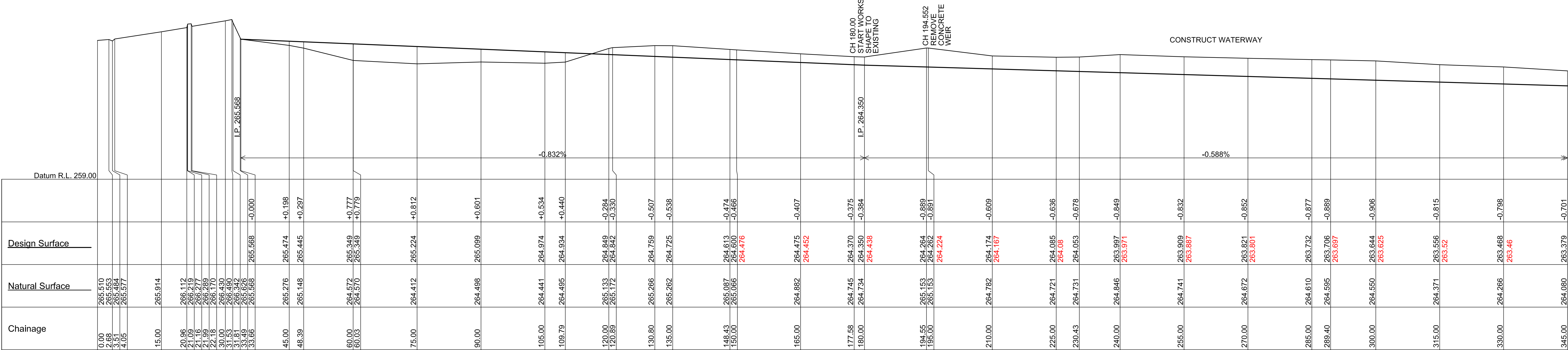


PIPE CLASS
CLASS 3 RCP WHERE COVER IS LESS THAN 750mm
CLASS 2 RCP WHERE COVER IS GREATER THAN 750mm

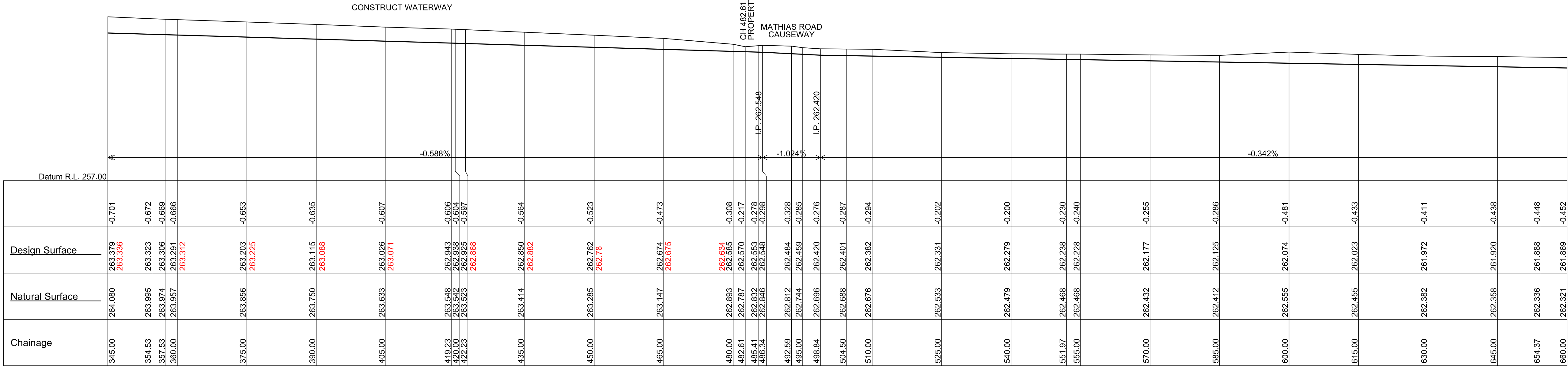
BASE PLAN IS SHEET 11 IN THE CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED
Issue	Date	Description
Client: MACKELLAR EQUIPMENT HIRE		
These plans have been prepared on ground distance co-ordinates		
Project "COSTALOT" INDUSTRIAL SUBDIVISION, TORRENS RD GUNNEDAH		
Title AS-BUILT SURVEY LONGITUDINAL SECTIONS STORMWATER LINE 1, 2, 3 & 4		
<div><div><p>Local people Local knowledge Local innovation</p></div><div><p>STEWART SURVEYS Pty Ltd Inc in NSW ABN 65 002 886 508 109 Conadilly Street P.O. Box 592 GUNNEDAH NSW 2380 T 02 67422966 F 02 67420684 E office@stewartsurveys.com</p><p>Surveying, Environmental & Landscape Architecture</p></div></div>		
Scale AS SHOWN		
Drawing status WORKS AS EXECUTED		
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Job Number	3961	Drawing number Issue
8 DEC 2016		5 of 13 A
Drawing Prepared: CS/KY		Survey work: LS/JM

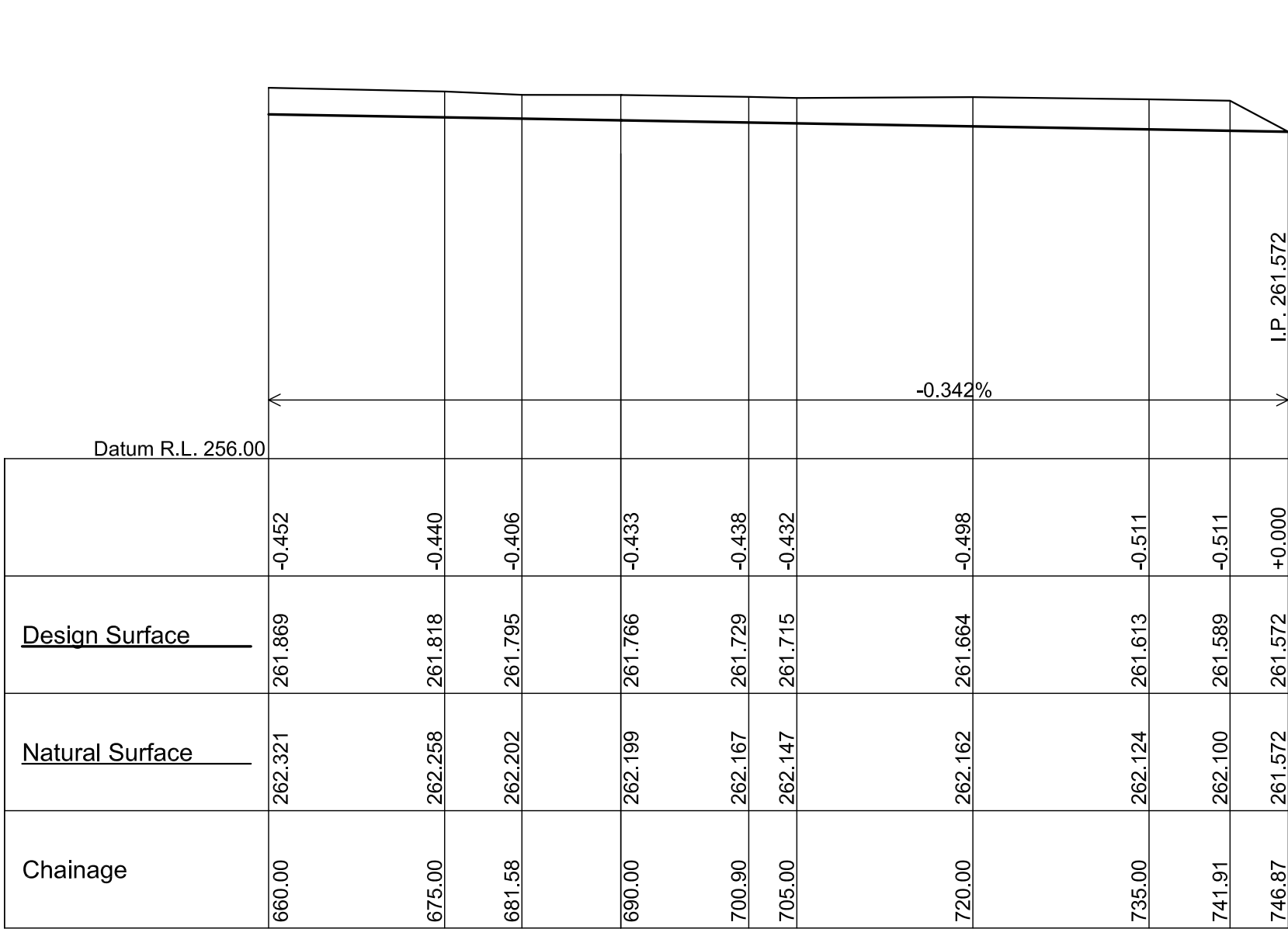
NOTE: REFER SHEET 12 FOR STORMWATER LINE 5 & 6



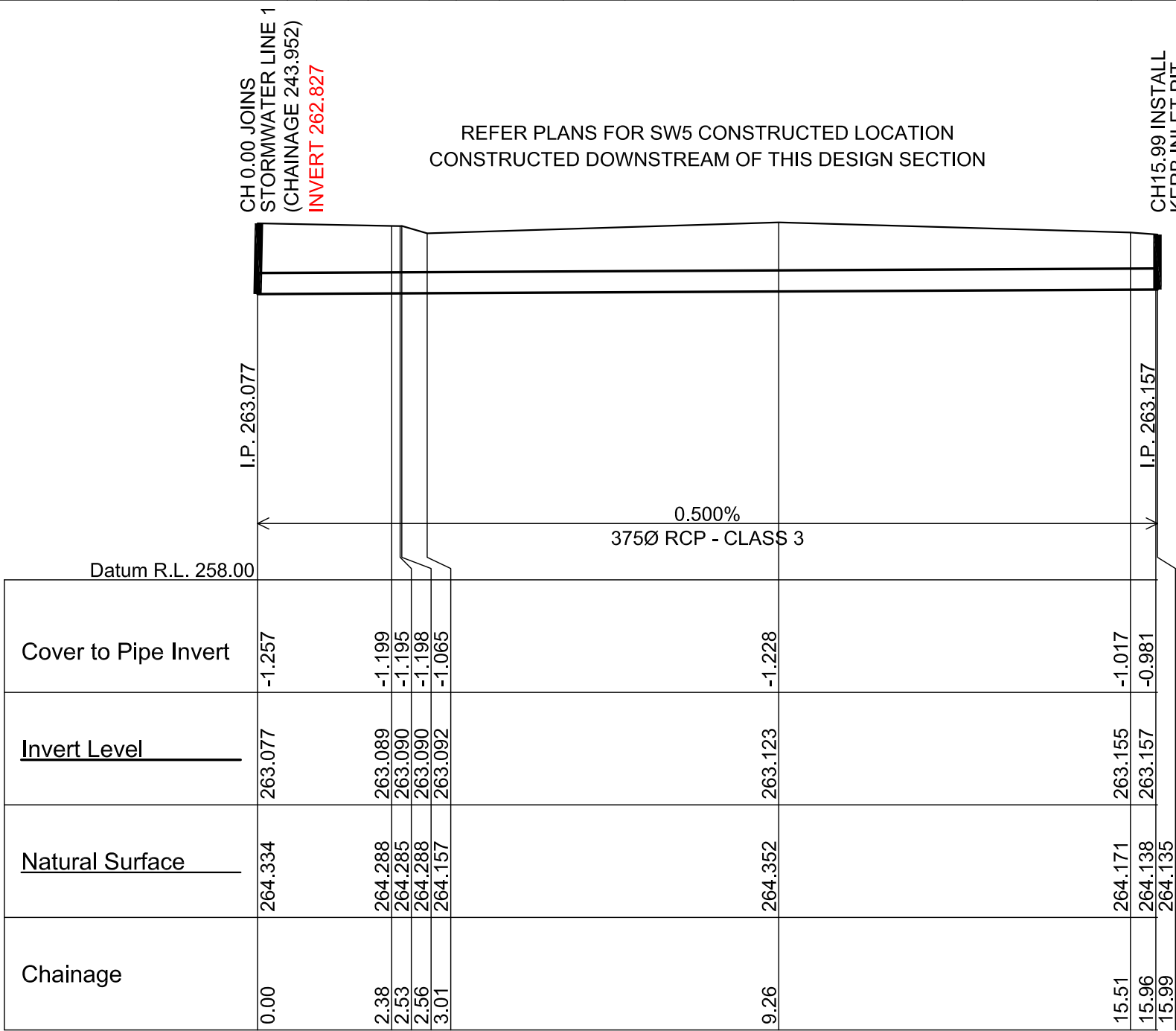
⌚ WATERWAY CH 0.00 TO CH 345.00



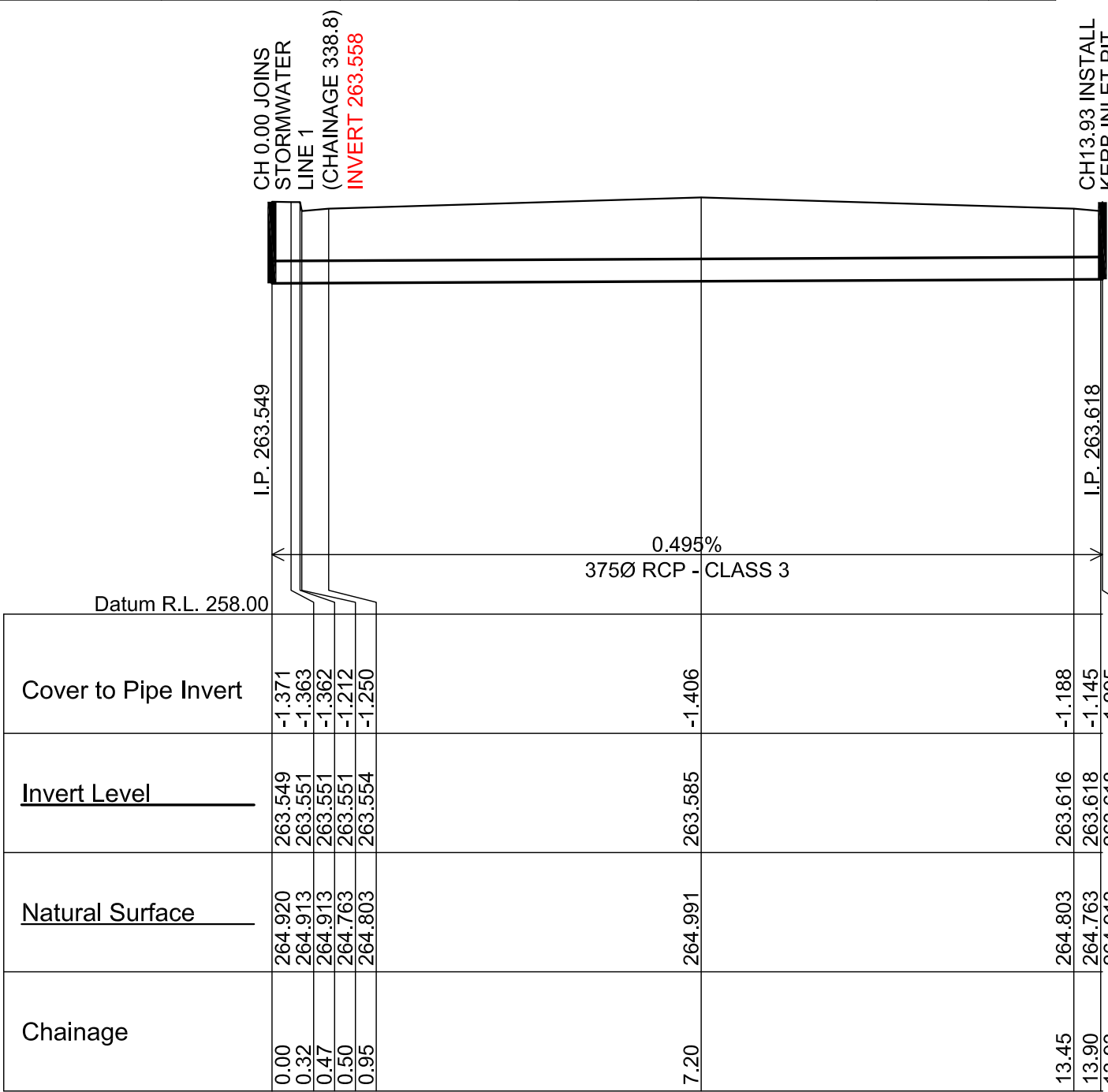
⌚ WATERWAY CH 345.00 TO CH 660.00



⌚ WATERWAY CH 660.00 TO CH 746.87

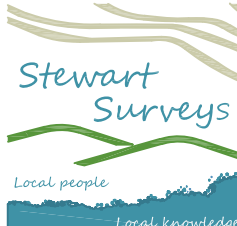


STORMWATER LINE 5

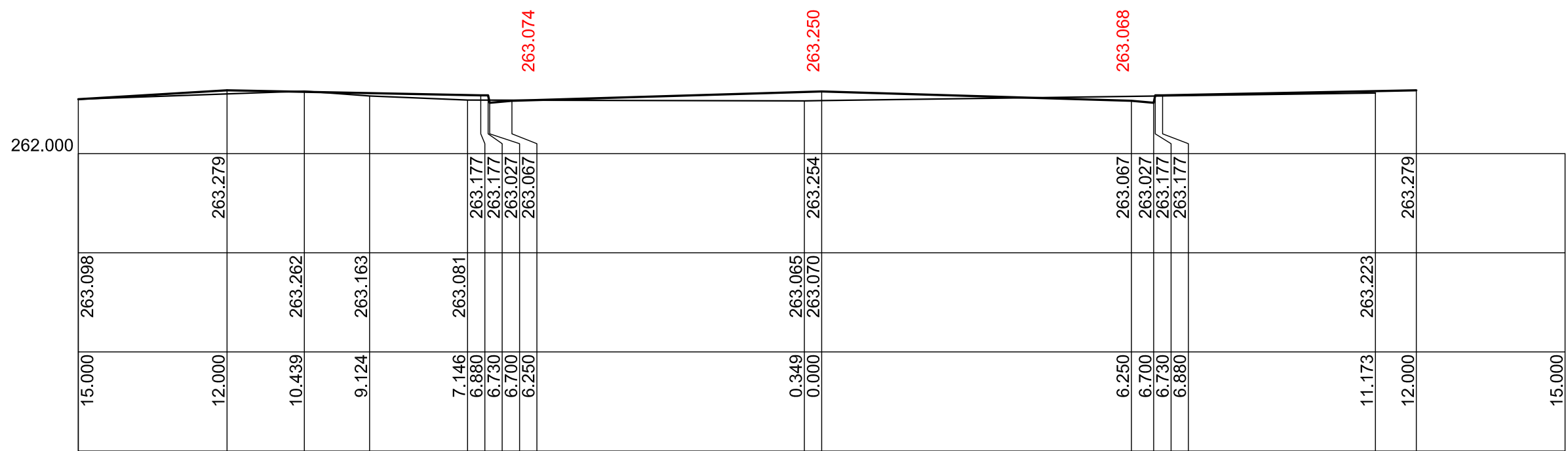


STORMWATER LINE 6

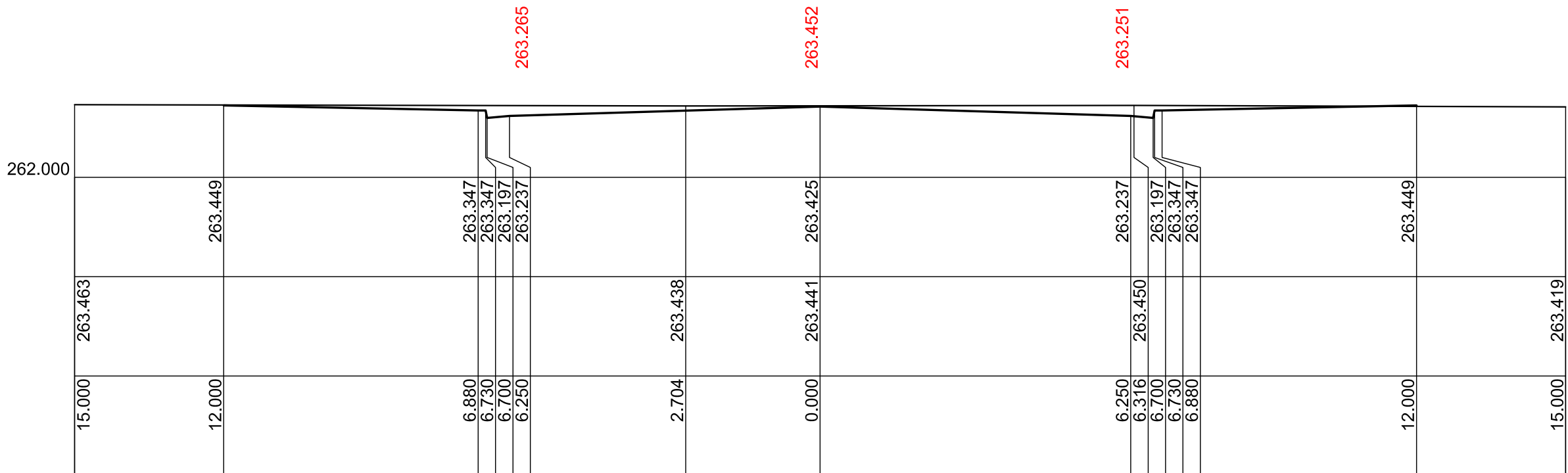
BASE PLAN IS SHEET 12 IN THE CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED
Issue	Date	Description
Client: MACKELLAR EQUIPMENT HIRE		
These plans have been prepared on ground distance co-ordinates		
Project "COSTALOT" INDUSTRIAL SUBDIVISION, TORRENS RD GUNNEDAH		
Title AS-BUILT SURVEY WATERWAY LONG SECTION & STORMWATER LINES 5 & 6		
 STEWART SURVEYS Pty Ltd Inc in NSW ABN 65 002 886 508 109 Conadilly Street P.O. Box 592 GUNNEDAH NSW 2380 T 02 67422966 F 02 67420684 E office@stewartsurveys.com Surveying, Environmental & Landscape Architecture		
Scale AS SHOWN		
Drawing status WORKS AS EXECUTED		
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Job Number	3961	Drawing number Issue
8 DEC 2016		6 of 13 A
Drawing Prepared: CS/KY		Survey work: LS/JM

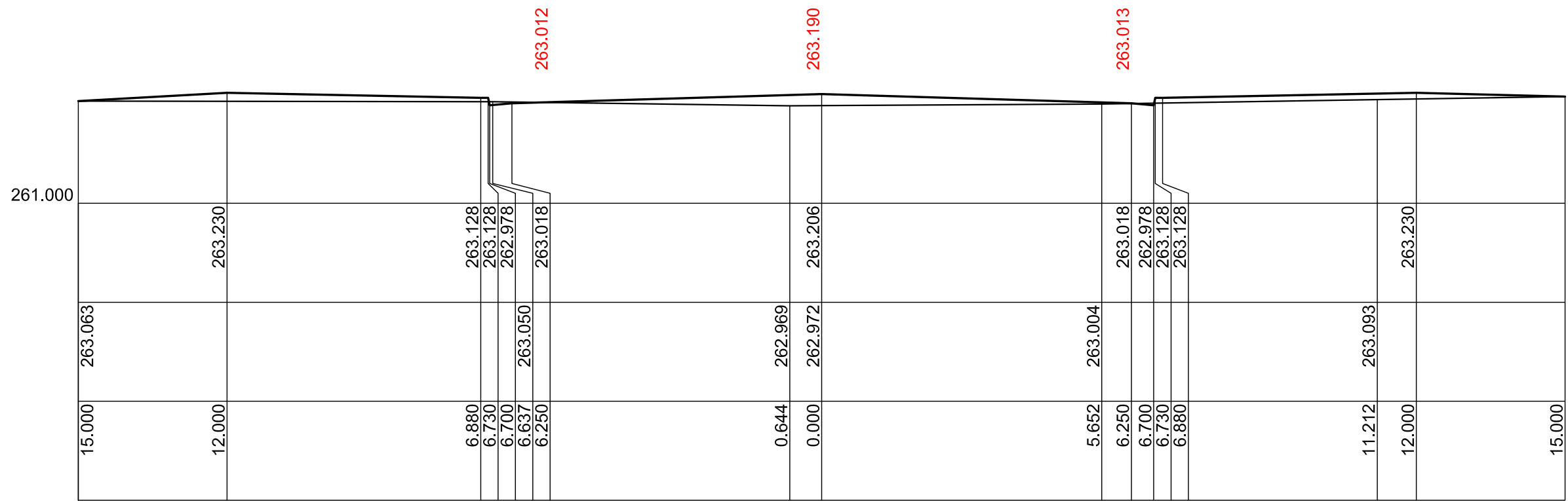
**AS-BUILT SURVEY
DESIGN SHOWN IN BLACK
ASBUILT SURVEY SHOWN IN RED**



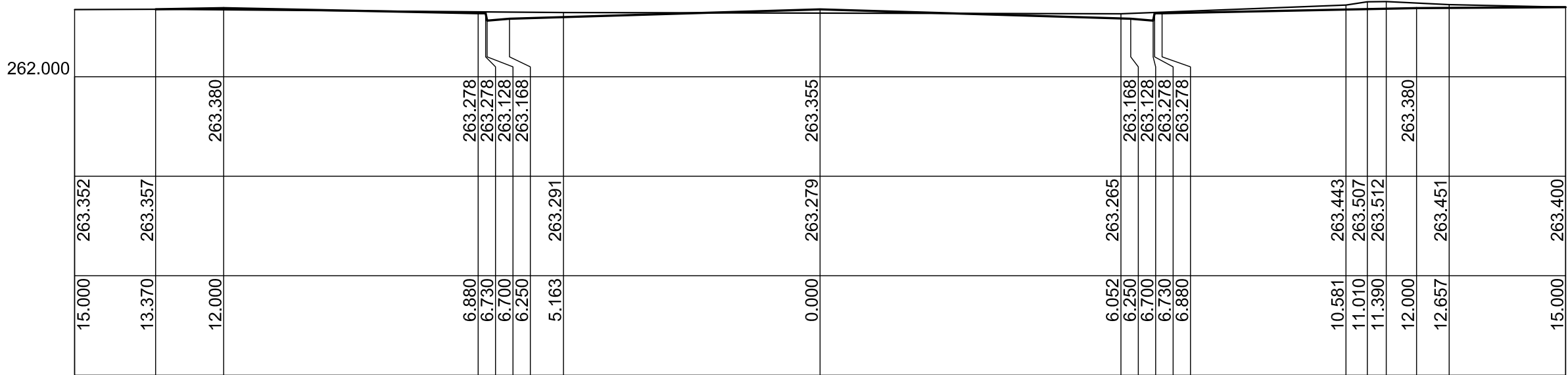
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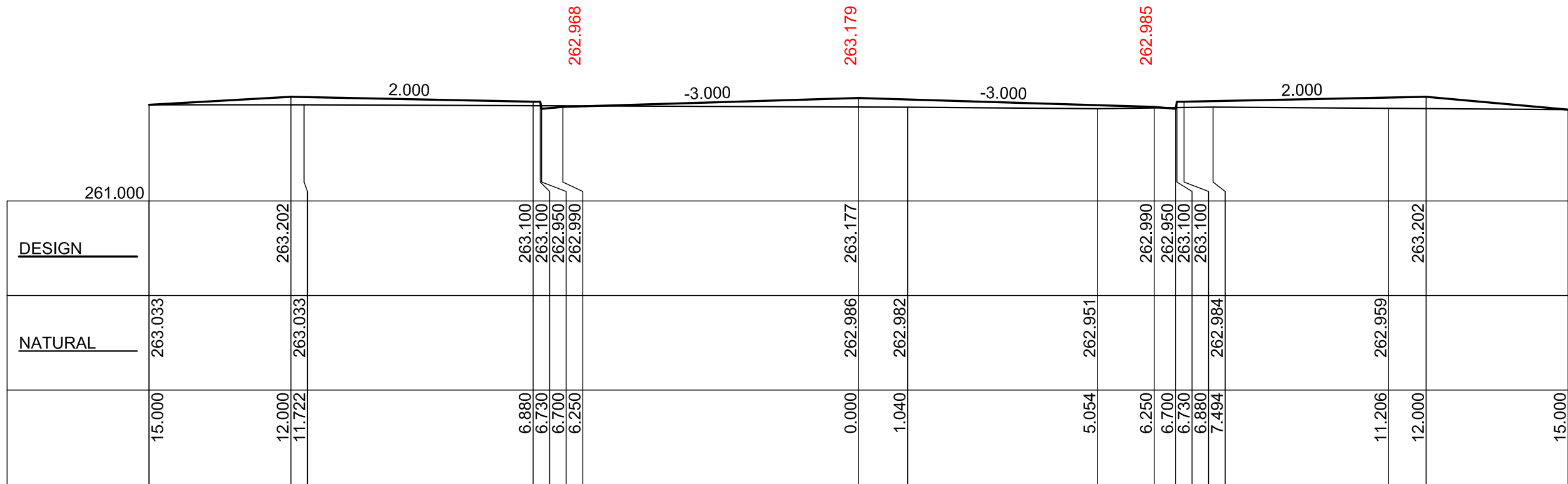
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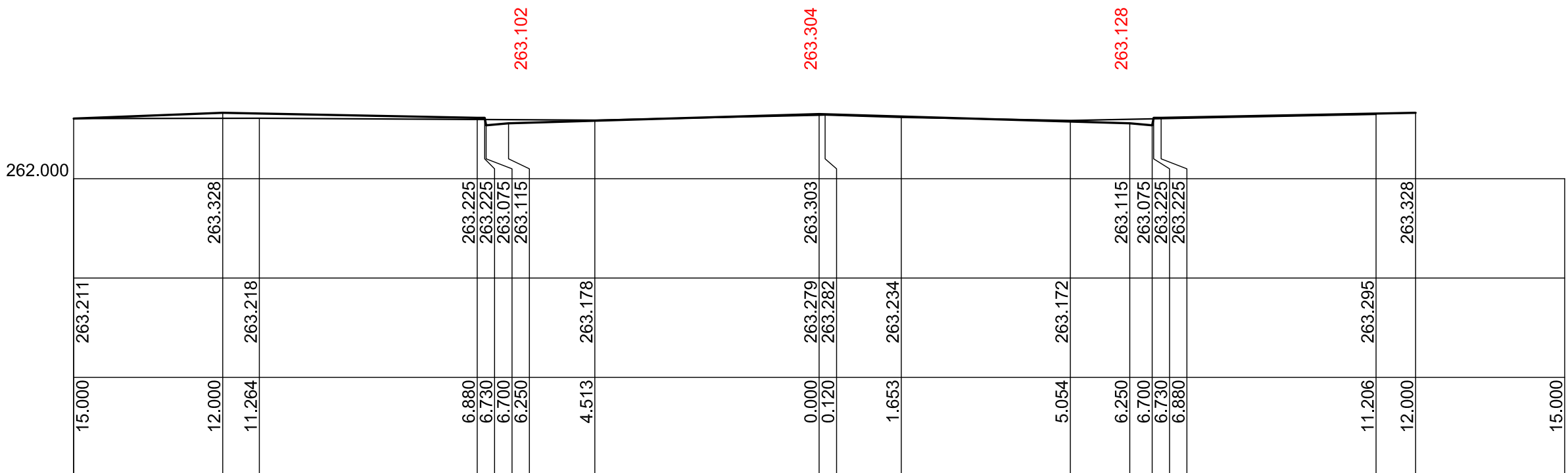
30.000



75.000



21.244



60.000

BASE PLAN IS SHEET 23 IN THE
CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED

Issue	Date	Description
Client:		
MACKELLAR EQUIPMENT HIRE		

These plans have been prepared on ground distance co-ordinates

Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
PROPOSED SUBDIVISION ROAD
CROSS SECTIONS SECTION
CHAINAGE 21.244 TO 90.000



Scale

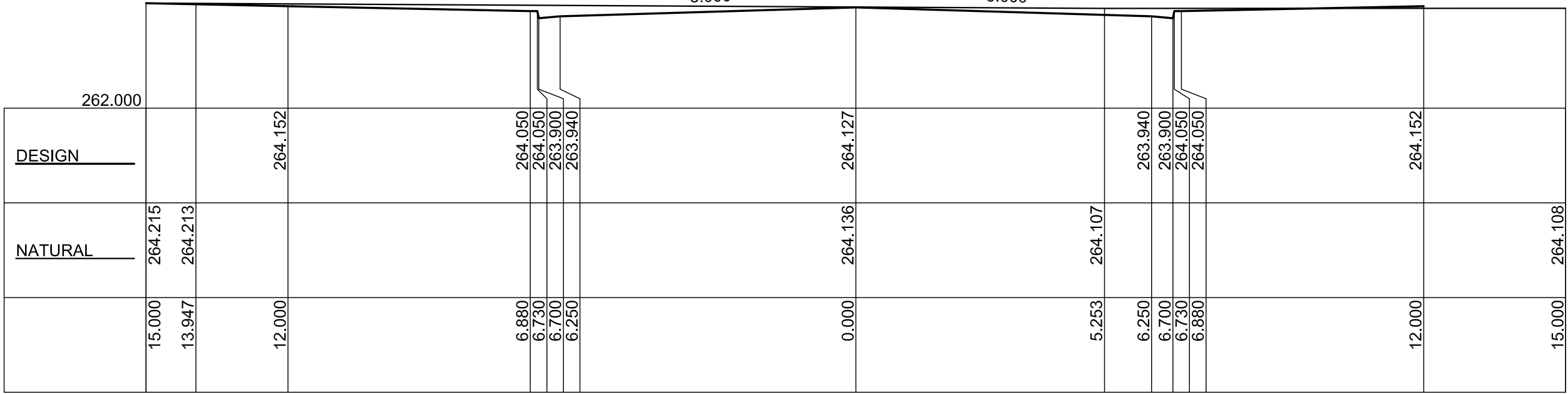


LENGTHS ARE IN METRES

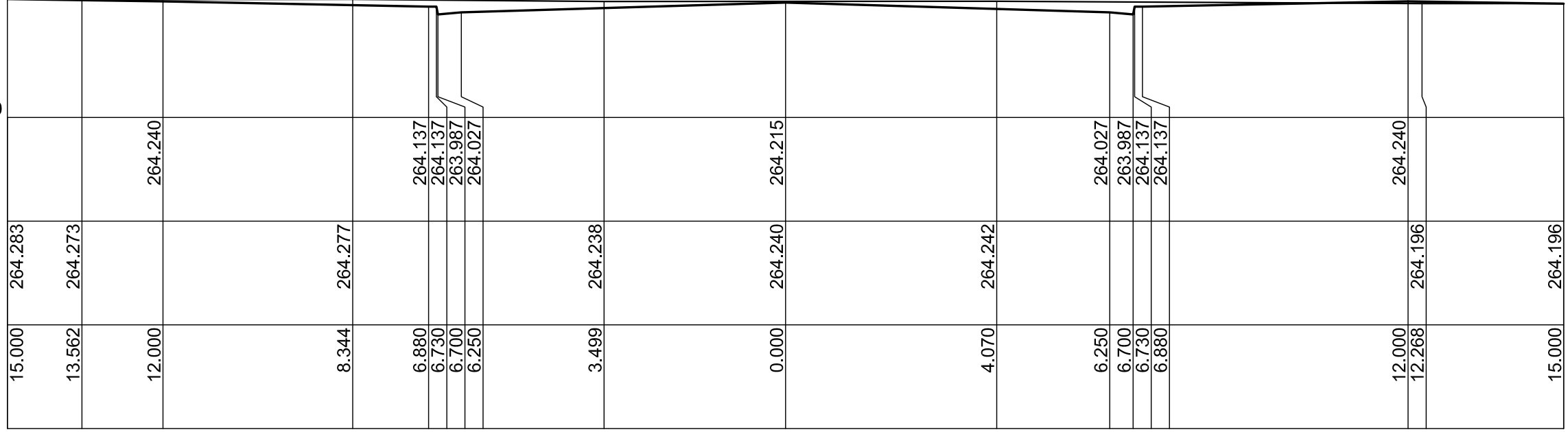
Drawing status
WORKS AS EXECUTED

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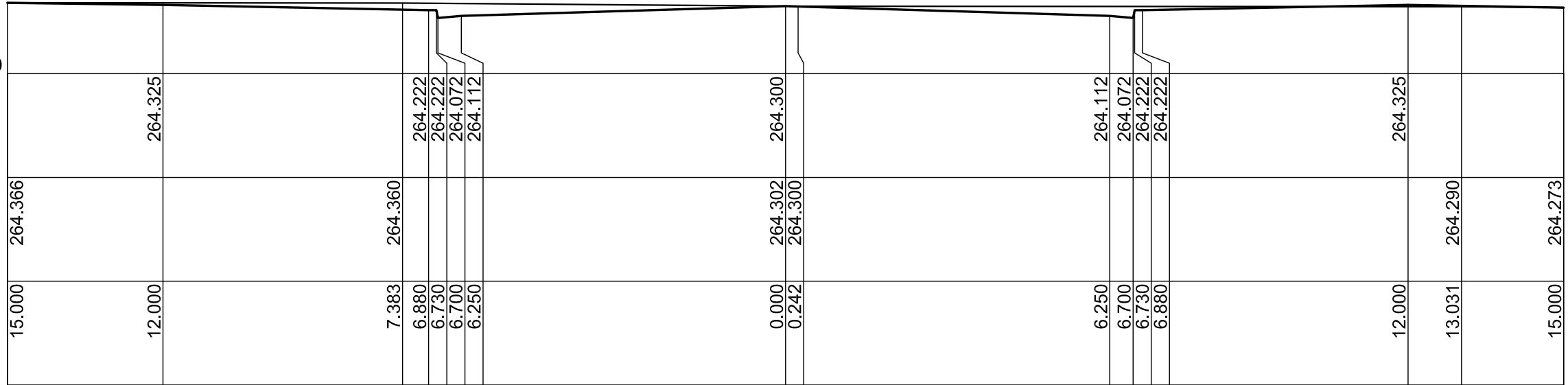
Job Number	3961	Drawing number	Issue
8 DEC 2016		7 of 13	A
Drawing Prepared: CS/KY		Survey work: LS/JM	



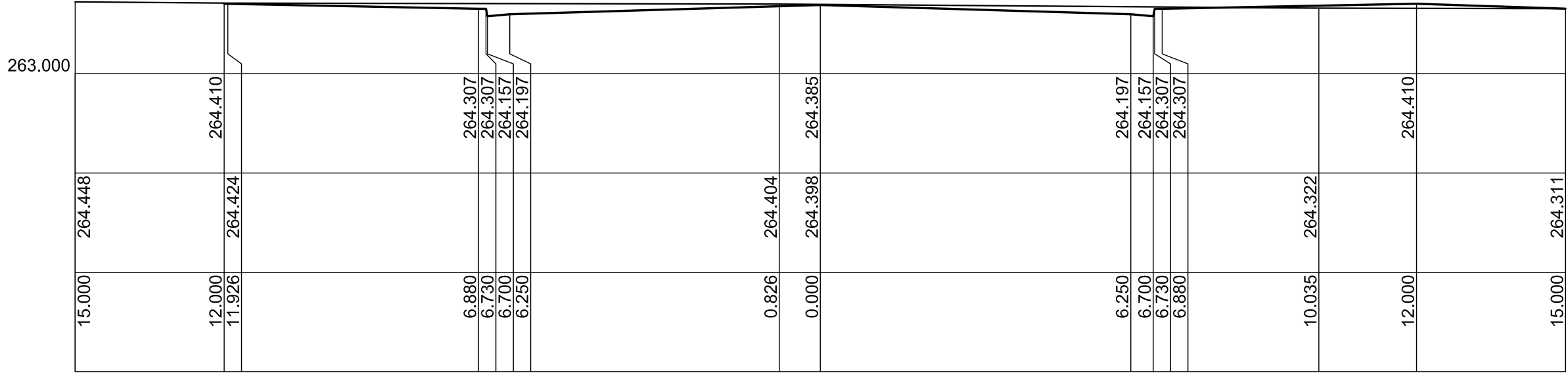
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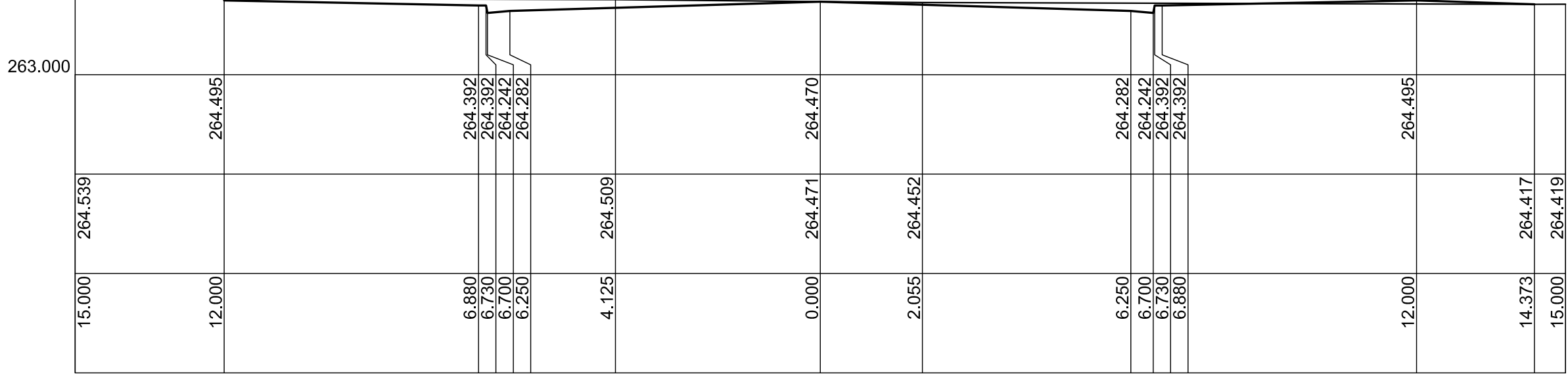
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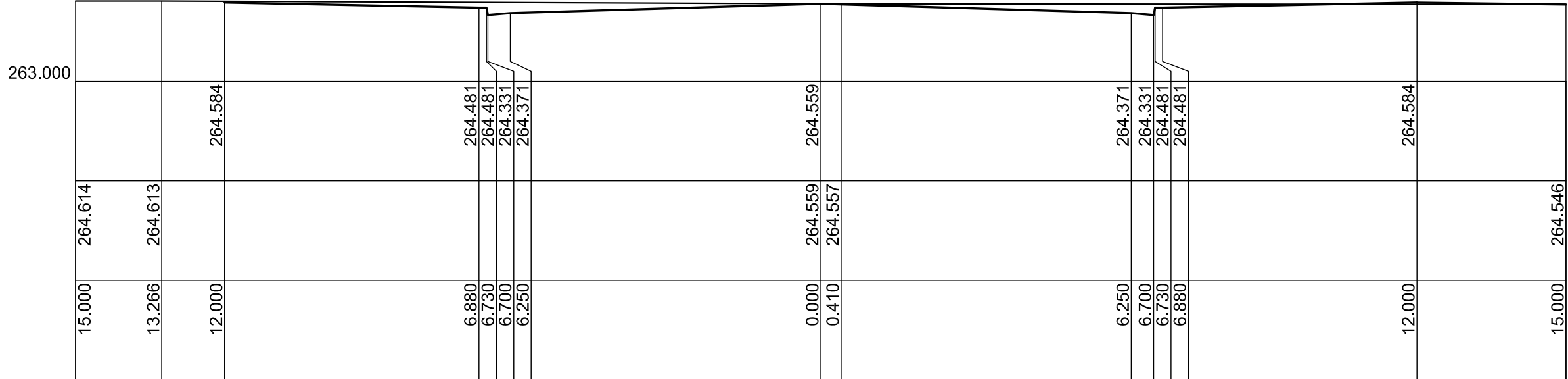
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240.000




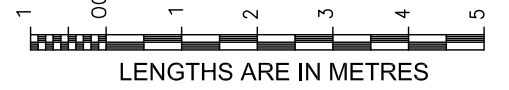
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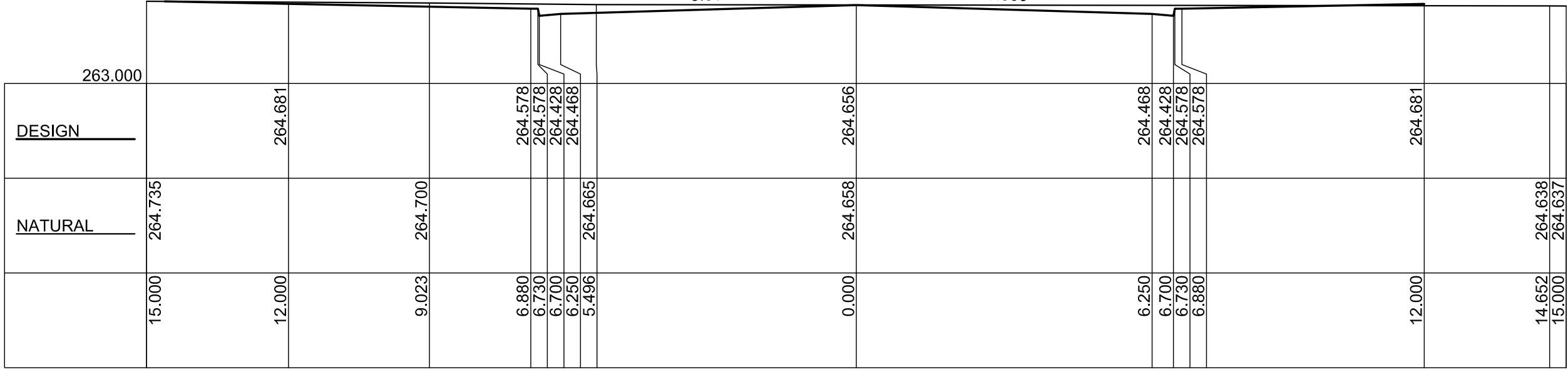
270.000

AS-BUILT SURVEY
DESIGN SHOWN IN BLACK
ASBUILT SURVEY SHOWN IN RED

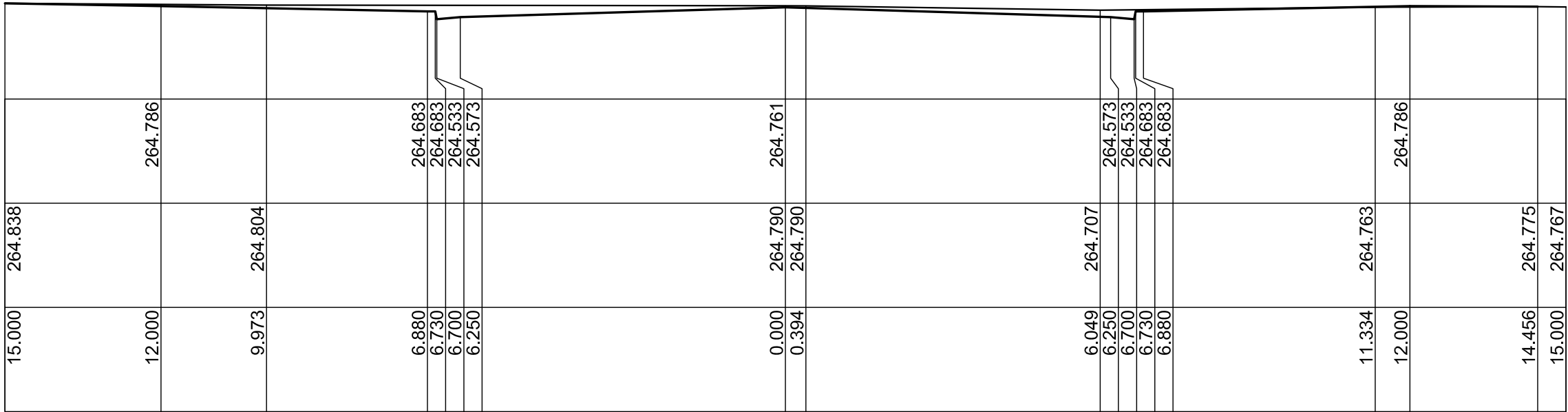
BASE PLAN IS SHEET 25 IN THE
CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED
Issue/	Date	Description
Client: MACKELLAR EQUIPMENT HIRE		
These plans have been prepared on ground distance co-ordinates		
Project "COSTALOT" INDUSTRIAL SUBDIVISION, TORRENS RD GUNNEDAH		
Title AS-BUILT SURVEY PROPOSED SUBDIVISION ROAD CROSS SECTIONS SECTION CHAINAGE 195.000 TO 270.000		
<div><div><div>STEWART SURVEYS Pty Ltd Inc in NSW ABN 65 002 886 508 109 Conadilly Street P.O. Box 592 GUNNEDAH NSW 2380 T 02 67422966 F 02 67420684 E office@stewartsurveys.com</div></div><div>Local projects Local knowledge Surveying, Environmental & Landscape Architecture</div></div>		
Scale  LENGTHS ARE IN METRES		
Drawing status WORKS AS EXECUTED		
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Job Number 3961		Drawing number Issue
8 DEC 2016		9 of 13 A
Drawing Prepared: CS/KY		Survey work: LS/JM

AS-BUILT SURVEY
DESIGN SHOWN IN BLACK
ASBUILT SURVEY SHOWN IN RED



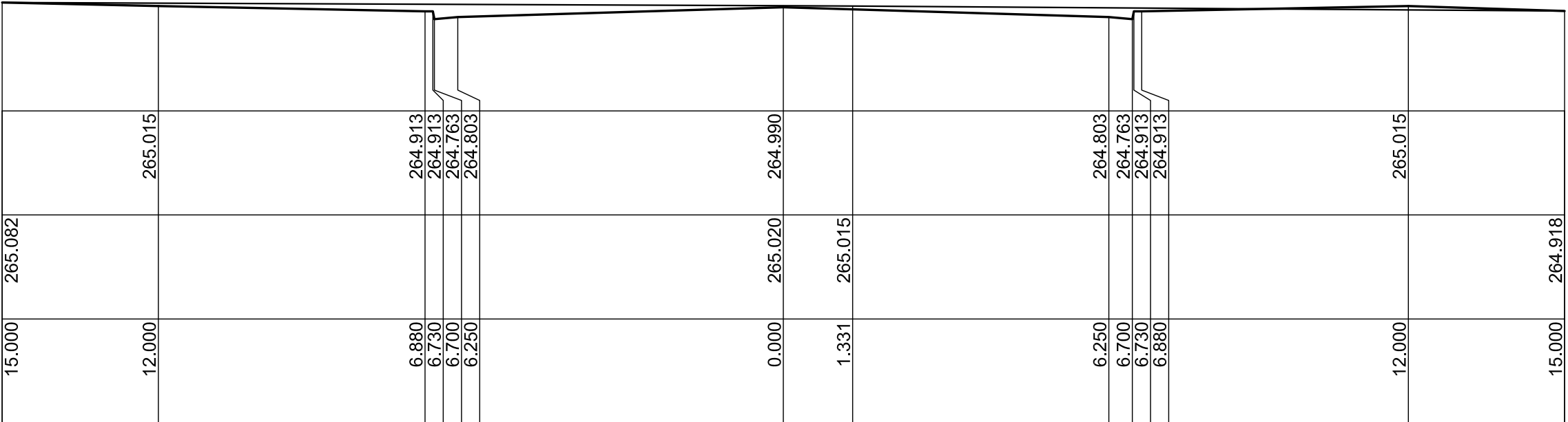
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300.000



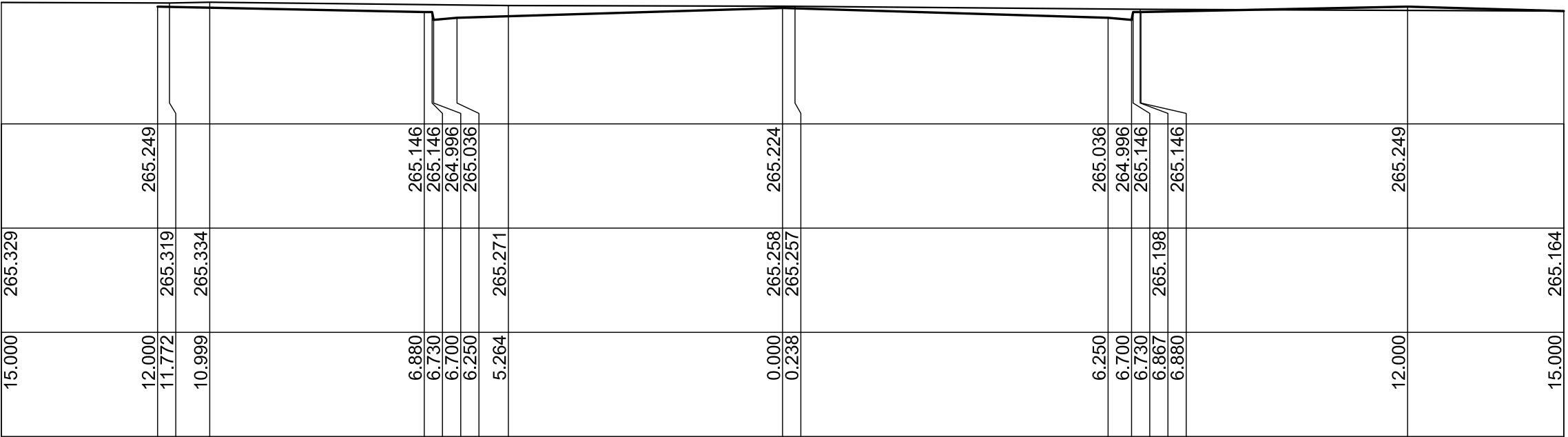
315.000



330.000



345.000



360.000

BASE PLAN IS SHEET 26 IN THE
CONSTRUCTION DRAWING SET

A 14.12.16 WORKS AS EXECUTED

Issue/ Date Description

Client:

MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

Project

"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title

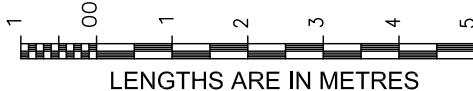
AS-BUILT SURVEY
PROPOSED SUBDIVISION ROAD
CROSS SECTIONS SECTION
CHAINAGE 285.000 TO 360.000



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Surveying, Environmental & Landscape Architecture

Scale



Drawing status

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Job Number 3961

Drawing number Issue

8 DEC 2016

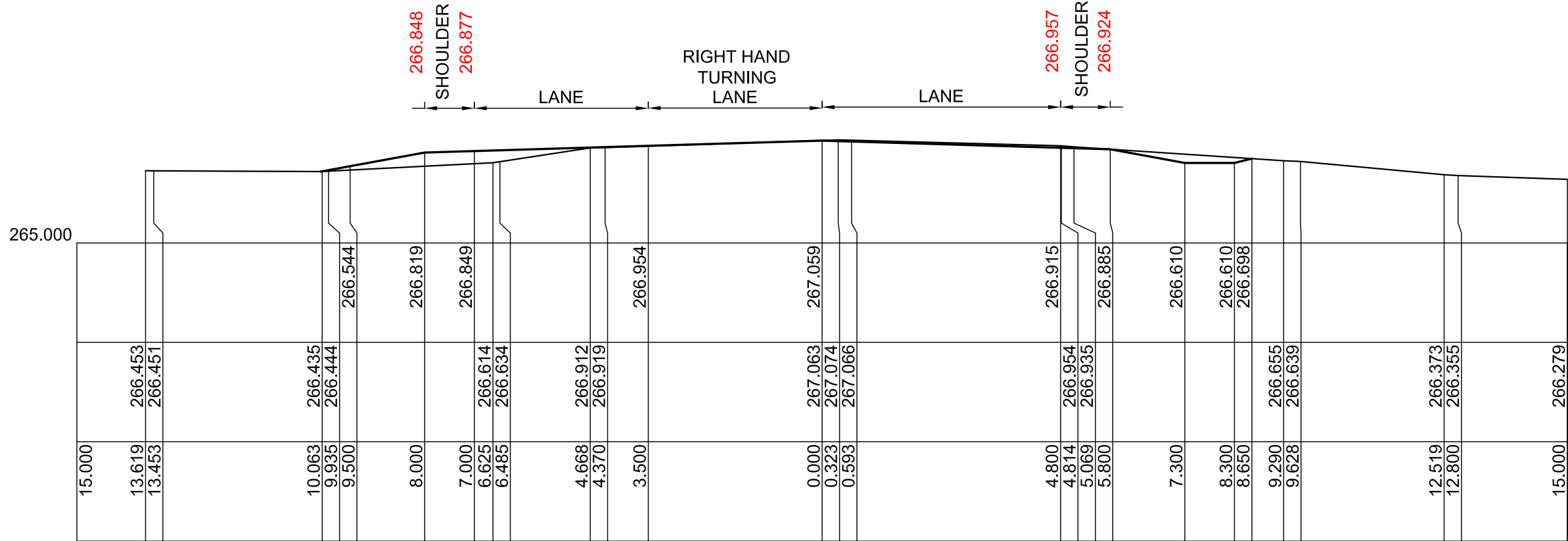
10 of 13

A

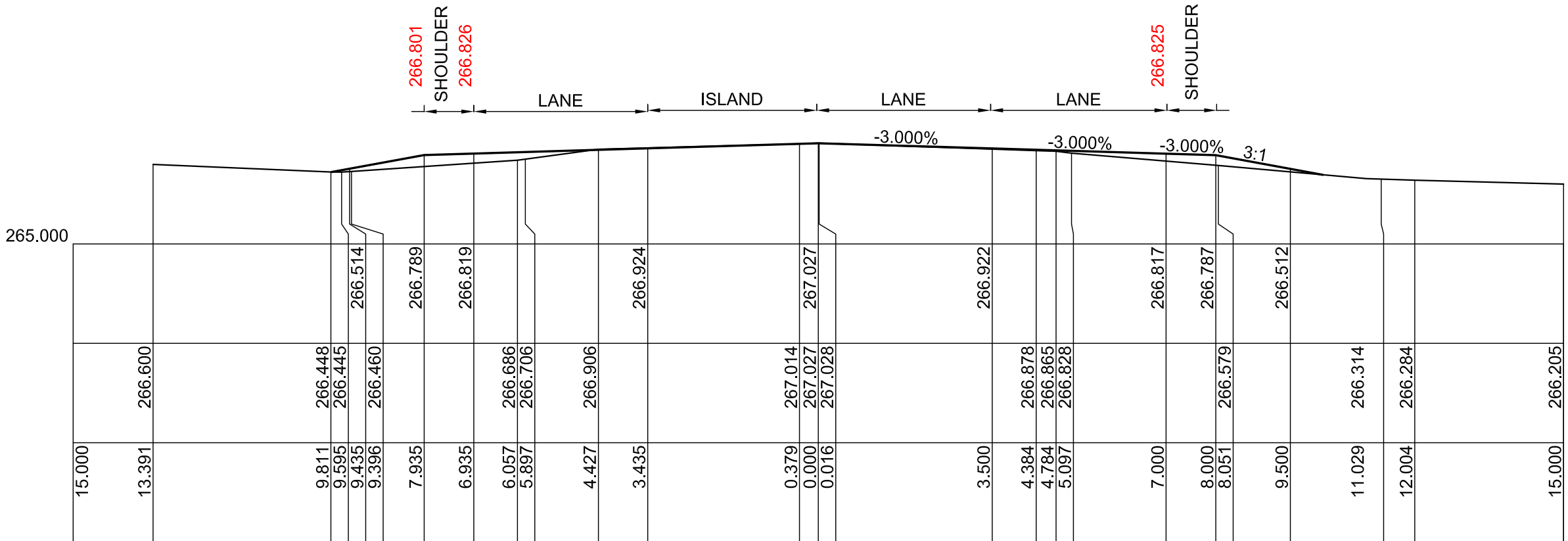
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Survey work: LS/JM

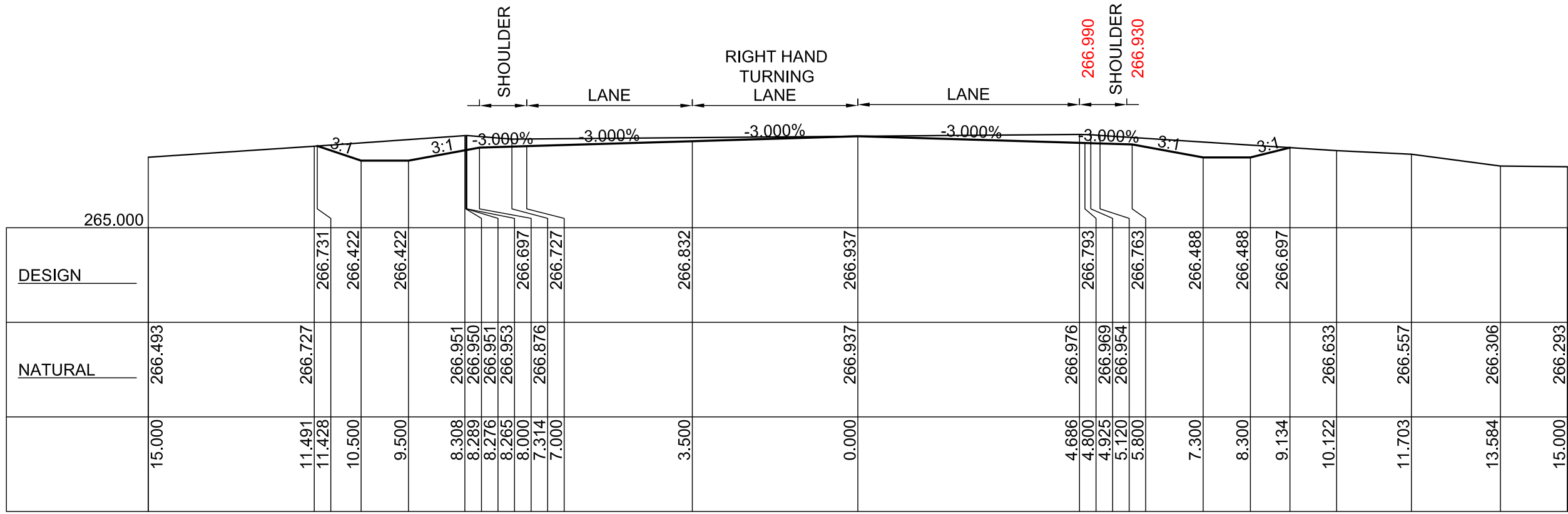
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DESIGN SHOWN IN BLACK
ASBUILT SURVEY SHOWN IN RED



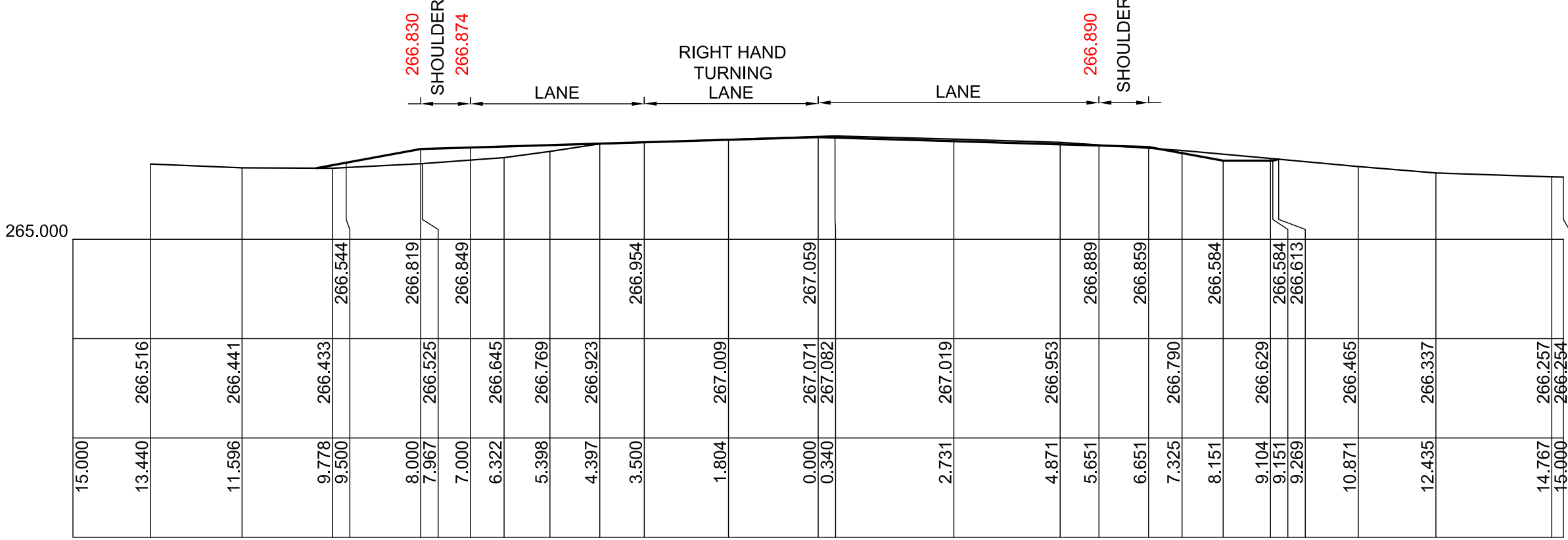
19.530



68.854



0.000



27.855

BASE PLAN IS SHEET 28 IN THE
CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED
Issue	Date	Description

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
TORRENS ROAD CROSS SECTIONS
CHAINAGE 0.000 & 68.854



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T 02 67422966 F 02 67420684
E office@stewartsurveys.com

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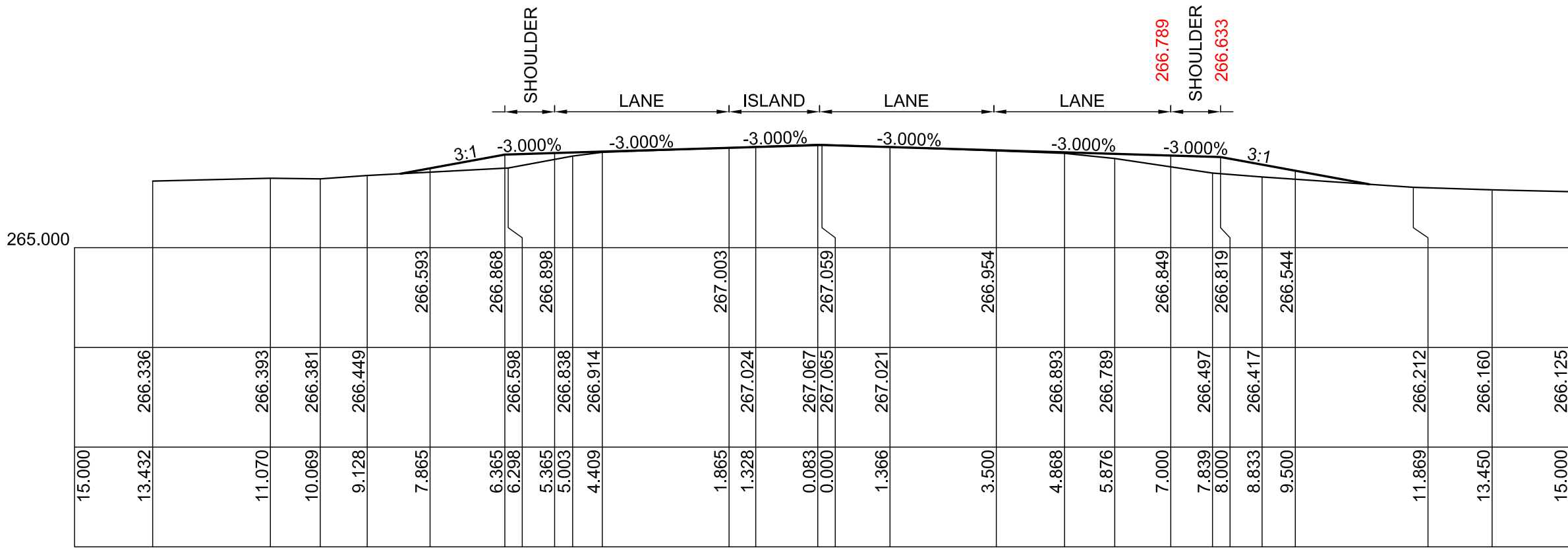


Drawing status
WORKS AS EXECUTED

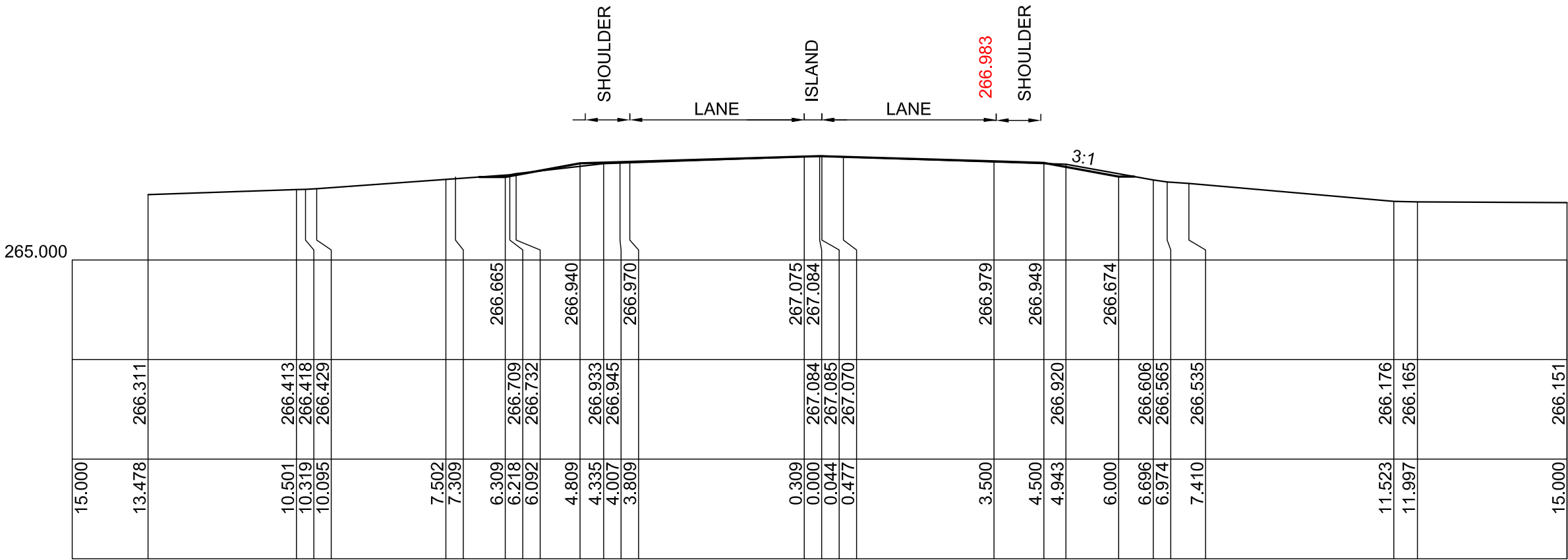
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Job Number	3961	Drawing number	Issue
8 DEC 2016		12 of 13	A
Drawing Prepared:	CS/KY	Survey work:	LS/JM

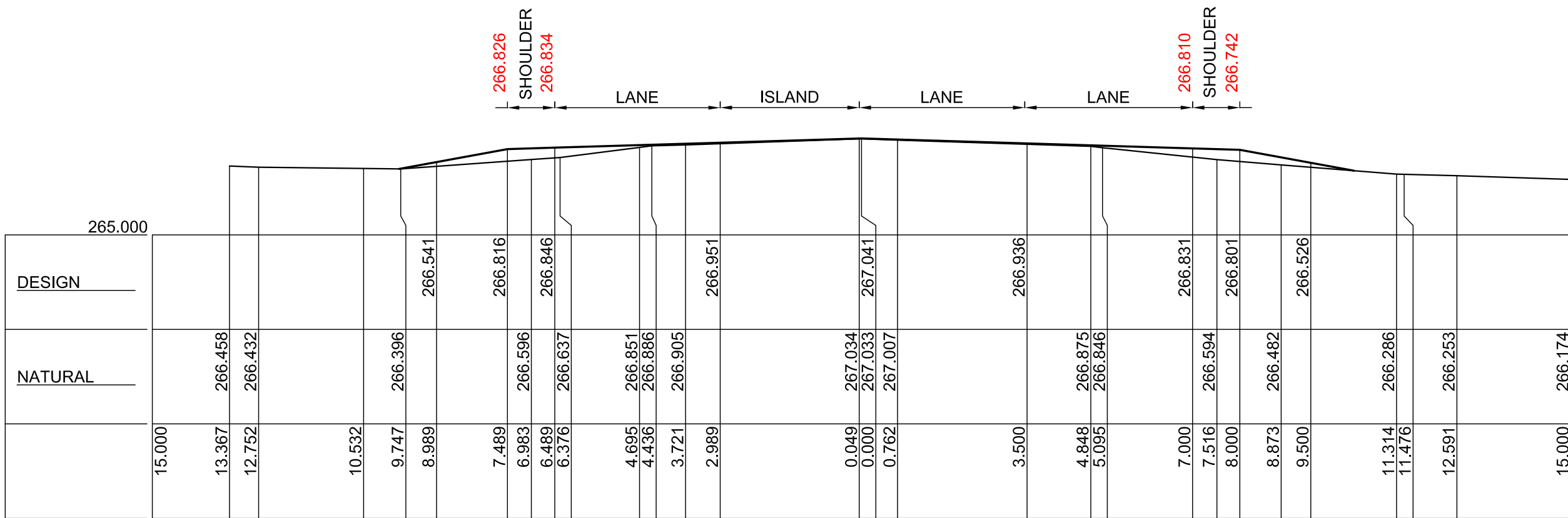
AS-BUILT SURVEY
DESIGN SHOWN IN BLACK
ASBUILT SURVEY SHOWN IN RED



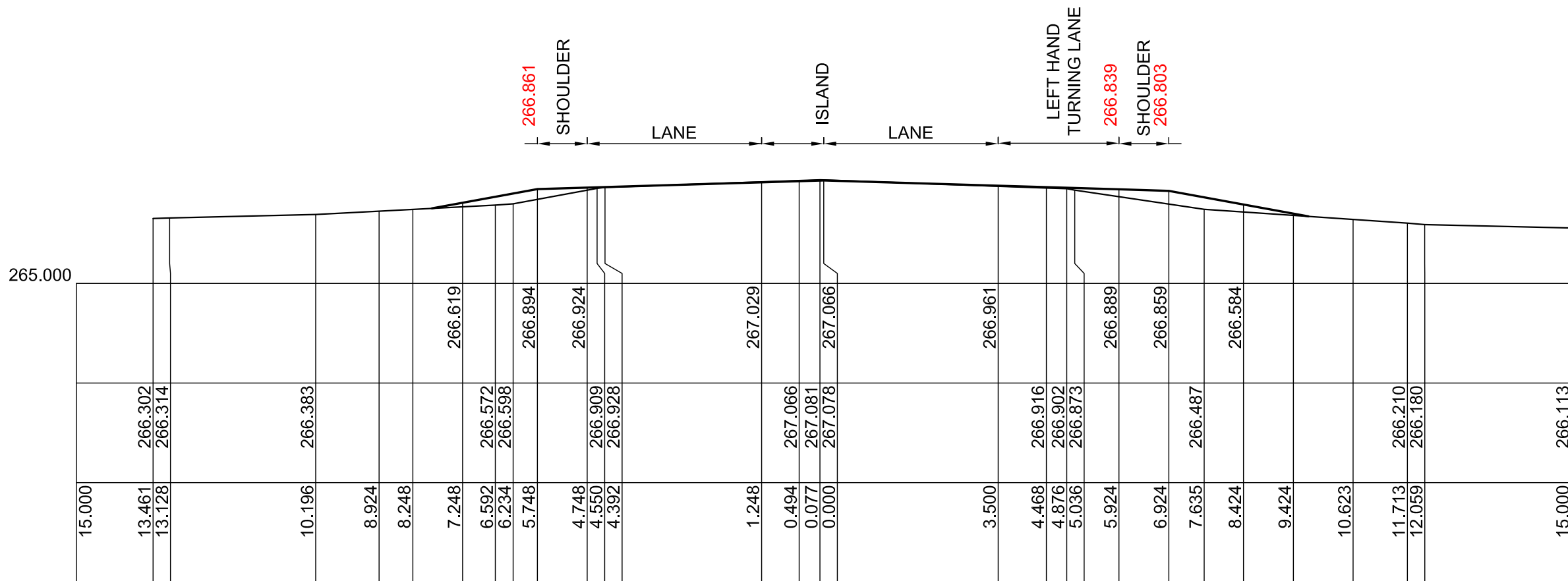
93.854



113.854



80.000



100.000

BASE PLAN IS SHEET 29 IN THE
CONSTRUCTION DRAWING SET

A	14.12.16	WORKS AS EXECUTED
Issue/	Date	Description

Client:
MACKELLAR EQUIPMENT HIRE

These plans have been prepared on ground distance co-ordinates

Project
"COSTALOT" INDUSTRIAL SUBDIVISION,
TORRENS RD GUNNEDAH

Title
AS-BUILT SURVEY
TORRENS ROAD CROSS SECTIONS
CHAINAGE 80.000 & 113.854



STEWART SURVEYS
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Surveying, Environmental & Landscape Architecture



Drawing status
WORKS AS EXECUTED

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Job Number	3961	Drawing number	Issue
8 DEC 2016		13 of 13	A
Drawing Prepared:	CS/KY	Survey work:	LS/JM

Shire of
Gunnedah
Land of Opportunity

Notice of Determination of Development Application

Issued under the *Environmental Planning and Assessment Act 1979* section 81(1)(a)

DEVELOPMENT APPLICATION NO	610514
DEVELOPMENT APPLICATION	
Applicant Name	STEWART SURVEYS PTY LTD
Applicant Address	PO BOX 592 GUNNEDAH NSW 2380
Land to be Developed – Address	LOT 454 DP 755503 "COSTALOT" 16 TORRENS ROAD GUNNEDAH NSW 2380
Proposed Development:	SUBDIVISION (1 LOT INTO 11)
DETERMINATION	
Made on	17 DECEMBER 2012
Determination	CONSENT GRANTED SUBJECT TO CONDITIONS DESCRIBED BELOW
Consent to Operate from	17 DECEMBER 2012
Consent to Lapse on	17 DECEMBER 2017

CONDITIONS OF CONSENT

A. That development consent be granted subject to the following conditions:

- A1. The development must be carried out in accordance with the details set out in the following documentation. Any amendment to the development or to these conditions will require the consent of the Council.
- Development Application form, lodged 18 April 2012;
 - Statement of Environmental Effects, prepared by Stewart Surveys Pty Ltd, dated April 2012; and
 - Amended Subdivision Plan, dated 21 November 2012, File Ref. 3961.

Reason: To ensure compliance with application and plans.

B. Prior to Issue of a Construction Certificate

- B1. Engineering drawings and specifications for the construction and installation of all works relative to the proposed subdivision shall be submitted to Council for approval prior to the issue of a Construction Certificate. The design of all works is to be related to the adjoining infrastructure. All drawings and specifications are to be in accordance with Council's relative standards.

Reason: To ensure compliance with application and plans.

- B2. All works undertaken by contractors (ie. other than Council) shall be inspected by Council to ensure that the works are undertaken in accordance with Council specifications and requirements. The inspection fee is applicable for all sections of the work carried out by the contractors and shall be paid prior to the issue of a Construction Certificate.

Reason: To ensure compliance.

- B3. The contractors engaged on the development of the subdivision must maintain public liability insurance cover to the minimum value of \$10 million. The policy shall specifically indemnify Council from all claims arising from the execution of the works. Documentary evidence of the currency of the policy shall be provided to the Council prior to commencement of work and upon request, during the progress of the work.

Reason: To ensure compliance.

- B4. Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate, (a requirement prior to the commencement of work on the site). The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

- B5. A landscaping plan for the development site shall be amended to incorporate a five (5) metre wide landscaping buffer along the north-west boundary of Lots 8-11 and the northern boundary of Lot 11 and shall be submitted to Council for approval prior to the issue of a Construction Certificate. Landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential lands use conflict and compliance with Council's standards.

C. Prior to Work Commencing

- C1. A Construction Certificate is to be obtained prior to commencement of any subdivision works and can be obtained by applying to either Council, or a private certifier. Please note that under Council's currently planning instrument, Gunnedah Local Environmental Plan 1998, the Principal Certifying Authority must be the Council.

Reason: To ensure compliance with application and plans.

- C2. Sediment and erosion control measures must be installed prior to the commencement of any construction and maintained for the duration of the works in accordance with legislative requirements.

Reason: To ensure that adequate control measures are installed.

D. General

- D1. The proposed development shall comply with the requirements of the Building Code of Australia, with regard to the location of lot boundaries and existing buildings.

Reason: To meet statutory requirements.

Allotment Filling

- D2. All allotment filling will require a submission from the applicant's Consulting Engineer. The submission shall include drawings/specifications which shall clearly indicate the location and depth of proposed filling. Matters taken into consideration in the submission shall include drainage, services, fill material standards, compaction standards, dust control and impact on adjacent lands.

Reason: To ensure compliance with Council's requirements.

- D3. Where allotment filling has been carried out, the "Works-As-Executed" plans shall indicate the contours prior to and after filling and also the compaction test results.

Reason: To ensure compliance with Council's requirements.

Roads

- D4. Mathias Road (former Boggabri Service Road) shall be extended west along the Crown Reserve from the existing formation to the northern boundary of Lot 454 DP 755503. The road shall be constructed in accordance with Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering adjacent to Lot 454 DP 755503. The remaining section on Mathias Road (former Boggabri Service Road) adjacent to Lot 455 in DP755503 shall be constructed 10m of seal on 12 metre of formation at an approximate length of 115 metres. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

A floodway is to be provided in the Service Road in the vicinity of the waterway with low flow provision under the roadway for 1 in 5 year intensity storm.

Reason: To ensure adequate physical and legal access to the development site.

- D5. The extension of Mathias Road (former Boggabri Service Road) shall be dedicated as a public road. The applicant is to apply to the Land and Property Management Authority and meet the full costs associated with having the road dedicated as a local public road.

Reason: To ensure adequate physical and legal access to the development site.

- D6. Barrier signage is to be erected at the end of the proposed extension of Mathias Road (former Boggabri Service Road) formation prior to the use of the road.

Reason: To ensure vehicles utilise the formed roads and intersections only.

- D7. The intersection of Mathias Road (former Boggabri Service Road) and the proposed road and the intersection of the proposed road and Torrens Road shall be constructed in accordance with the AUSTROADS standard CHR(S)/AUL(S) treatment including all necessary pavement and shoulder works.

Reason: To ensure compliance with Council's requirements.

- D8. The proposed road shall be constructed in accordance Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

Reason: To ensure compliance with Council's requirements.

- D9. The proposed road shall be dedicated as public road.

Reason: To ensure that all roads are dedicated as public road.

- D10. The preferred road name shall be submitted for Council's consideration and approval with the engineering drawings to ensure the cul-de-sac is named in accordance with Council Naming of Public Infrastructure Policy and the Geographical Names Board guidelines.

Reason: To ensure compliance with Council's requirements.

Stormwater Drainage

- D11. Stormwater from the development site must not be concentrated onto adjoining land. All stormwater management measures shall be provided in accordance with Council's specifications and requirements, with a recurrence interval design of 1 in 10 years and shall be directed into the proposed channel in accordance with the submitted Stormwater Strategy.

Reason: To ensure compliance with Council's requirements.

Water Supply

- D12. A single water supply service (minimum size of 25mm) shall be provided to each lot. The water service shall be provided by extending Council's existing water main, located on the eastern side of Quia Road. A 150mm main shall be constructed from existing main and extended throughout the development site, connecting to the 100mm main in Mathias Road (former Boggabri Service road). The main shall be located within the proposed road and constructed in accordance with the Water Code of Australia.

Note: A Water Application Form shall be submitted to Council, together with the installation costs. The installation costs adopted in the Council's 2012/2013 Management Plan are \$1560.00 per each additional lot. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure compliance with Council's requirements.

Sewer

- D12. A single sewer service shall be provided to each lot. The sewer service shall be provided by extending Council's sewer main from the sewer man hole located at the entrance of Council's Sewerage Treatment Plant, to and throughout the development site, to Torrens Road. A sewer pump station shall be constructed at the northern end of the development (within the Mathias Road/former Boggabri Service Road reserve). A 150mm reticulation main, manholes and junctions will be required to service each lot as per Sewer Code of Australia WSA 02-2003. All works are to be undertaken and inspected in accordance with Council's standards and specifications.

Reason: To ensure compliance with Council's requirements.

- D14. A three (3) metre wide easement shall be created over all water, stormwater and sewer mains located within lot boundaries.

Reason: To ensure compliance with Council's requirements.

Street Lighting

- D15. The developer shall extend, supply and install street lighting along the development site frontage of Mathias Road (former Boggabri Service Road) and Torrens Road and within the development site in accordance with the Essential Energy's industrial development standards.

Reason: To ensure compliance with Council's requirements.

Landscaping

- D16. A five (5) metre landscaping buffer shall be provided along the north-west boundary of Lots 8-11 and the northern boundary of Lot 11.

Reason: To minimise potential land use conflicts.

- D17. All landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential land use conflicts.

E. During Construction

- E1. Work on the project shall be limited to the following hours to prevent unreasonable disturbance to the amenity of the area:-

Monday to Friday: 7.00am to 5.00pm;

Saturday: 8.00am to 1.00pm if audible on other residential premises, otherwise 7.00am to 5.00pm;

No work to be carried out on Sunday or Public Holidays if it is audible on the residential premises.

The developer shall be responsible to instruct and control his sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment

Operations Act 1997, in the event that the building operations cause noise to emanate from the property on Sundays or Public Holidays or otherwise than between the hours detailed above.

Reason: To ensure compliance with Council's requirements.

- E2. Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate. The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

F. Prior to Issue of a Subdivision Certificate

- F1. One set of approved construction drawings shall be amended to show the "work-as-executed". These drawings in both hard copy and electronic form shall be provided prior to issue of the subdivision certificate. The drawings are required to ensure that adequate records are maintained of community infrastructure. The drawing shall be certified by a registered surveyor or a Chartered Professional Civil Engineer. Also an electronic copy of the WAE in dwg format shall be also provided prior to the issue of the Subdivision Certificate.

Reason: To ensure compliance with Council's requirements.

- F2. Written notification being provided that an electricity supply connection has been provided to each lot.

Reason: To ensure that electrical services are provided.

- F3. Written notification being provided that telecommunication cables have been provided to each lot in accordance with community expectations.

Reason: To ensure that telecommunication services are provided.

- F4. A compliance certificate under Division 2 of Part 3 of the Water Supply Authorities Act 1987 must be obtained from the Council (as the local water supply authority). Council requires the following payments to be completed prior to issuing a compliance certificate to allow continued funding of water and sewer facilities.

Water headworks contribution is	\$7922 per lot
Sewer headworks contribution is	\$6577 per lot

The works/payment is required to be undertaken must be completed and the applicable developer contributions paid prior to the endorsement of the plan of subdivision by the Council.

Note: The above contributions have been adopted under the Council's 2012/2013 Management Plan. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure compliance with Council's Contributions and Development Services Plan.

- F5. The subdivision certificate release fee of \$180.00 shall be paid prior to the issue of the subdivision certificate.

Note: The above fee has been adopted under the Council's 2012/2013 Management Plan. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure payment of application fee.

GUNNEDAH SHIRE COUNCIL
DEVELOPMENT APPLICATION No. 610514

OTHER APPROVALS

Approvals granted under Section 94 Nil
and Section 68 Part C (5) Local
Government Act 1993

RIGHT OF APPEAL

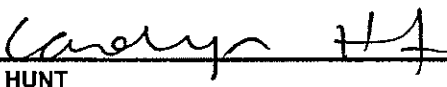
If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months from the date of this notice.

REVIEW OF DETERMINATION

If you wish for a review of this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right to lodge a Review of Determination within 6 months from the date of this notice.

SIGNED

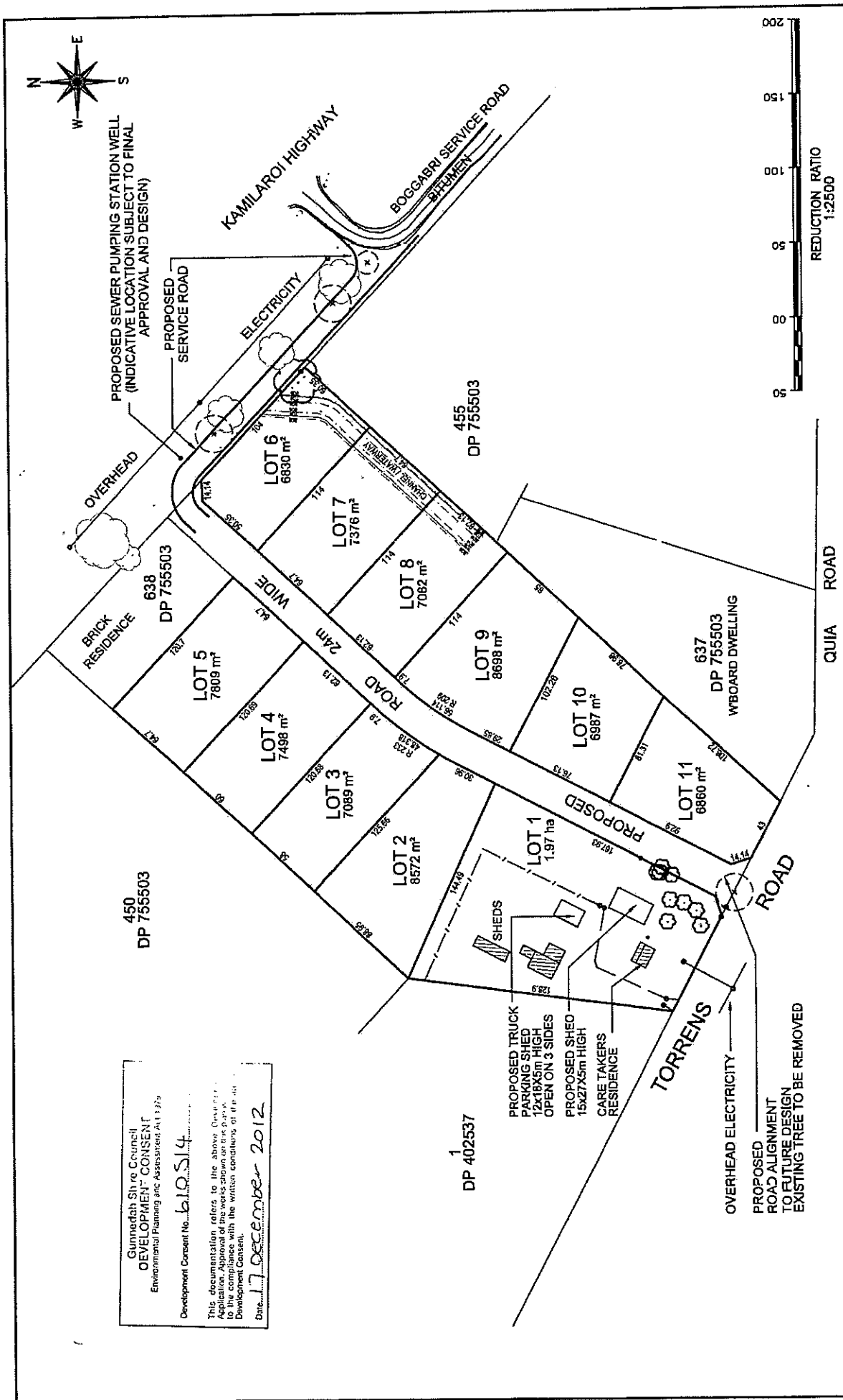
Name



CAROLYN HUNT

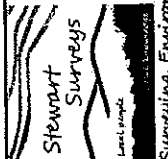
Date

MANAGER DEVELOPMENT & PLANNING
17 DECEMBER 2012



<p>STEWART SURVEYS Pty Ltd Inc in NSW ABN 65 002 888 508 10/6 Concedry Street P.O. Box 592 GUNNEDAH NSW 2380 T 02 6742886 F 02 6742884 E info@stewartssurveys.com</p>	<p>NOTES: This subdivision layout is a concept only & dimensions & areas are approximate & subject to council approval. This subdivision layout should not be used for financial planning prior to council approval. The lot yield on this plan may change to reflect council requirements. This plan is to accompany an application to Gunnedah Council and should not be used for any other purpose. Further easements may be created on the lot in the final subdivision plan. These notes are an integral part of this plan.</p>	<p>CLIENT: MACKELLAR EQUIPMENT HIRE PTY LTD</p> <p>PROJECT: "COSTALOT" TORRENS ROAD, GUNNEDAH</p> <p>Date: 21 NOVEMBER 2012 File Ref: 3961</p>	<p>DESCRIPTION: PLAN OF PROPOSED INDUSTRIAL SUBDIVISION OF LOT 454 DP 755503 "COSTALOT" TORRENS ROAD, GUNNEDAH</p>	<p>Drawn: CRS Scale: 1:2500@ A3 Sheet: 1 OF 1</p>
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Gunnedah Shire Council
DEVELOPMENT CONSENT
 Environmental Planning and Assessment Act 1979
 Development Consent No. 610514
 This documentation refers to the above Development Consent Application. Approval of the works shown on this plan is given in accordance with the written conditions of the Development Consent.
 Date: 17 December 2012



Surveying, Environmental & Landscape Architecture

Shire of
Gunnedah
Land of Opportunity

Notice of Determination of Modification of Consent

Issued under the *Environmental Planning and Assessment Act 1979* section 96 (1) and 96(2)

DEVELOPMENT APPLICATION NO	610514
MODIFICATION OF CONSENT NO:	610514.002
DEVELOPMENT APPLICATION	
Applicant Name	STEWART SURVEYS PTY LTD
Applicant Address	PO BOX 592 GUNNEDAH NSW 2380
Land to be Developed – Address	LOT 454 DP 755503 “COSTALOT” 16 TORRENS ROAD GUNNEDAH NSW 2380
Proposed Development:	SUBDIVISION (1 LOT INTO 11)
Type of Modification	S.96 (1A) MODIFICATION A1 – LOT SIZE, D16 LANDSCAPING, F4 DEFERRAL OF CONTRIBUTIONS
DETERMINATION	
Made on	26 AUGUST 2015
Determination	CONSENT GRANTED SUBJECT TO CONDITIONS DESCRIBED BELOW
Consent to Operate from	17 DECEMBER 2012
Consent to Lapse on	17 DECEMBER 2017

MODIFICATION OF CONSENT

Modified or Inserted Conditions Underlined

A. That development consent be granted subject to the following conditions:

A1. Deleted

A1a. The development must be carried out in accordance with the details set out in the following documentation. Any amendment to the development or to these conditions will require the consent of the Council.

- Development Application form, lodged 18 April 2012;
- Statement of Environmental Effects, prepared by Stewart Surveys Pty Ltd, dated April 2012; and
- Plan of Proposed Industrial Subdivision, dated 15 July 2015, File Ref. 3961.

Reason: To ensure compliance with application and plans.

B. Prior to Issue of a Construction Certificate

- B1.** Engineering drawings and specifications for the construction and installation of all works relative to the proposed subdivision shall be submitted to Council for approval prior to the issue of a Construction Certificate. The design of all works is to be related to the adjoining infrastructure. All drawings and specifications are to be in accordance with Council's relative standards.

Reason: To ensure compliance with application and plans.

- B2.** All works undertaken by contractors (ie. other than Council) shall be inspected by Council to ensure that the works are undertaken in accordance with Council specifications and requirements. The inspection fee is applicable for all sections of the work carried out by the contractors and shall be paid prior to the issue of a Construction Certificate.

Reason: To ensure compliance.

- B3.** The contractors engaged on the development of the subdivision must maintain public liability insurance cover to the minimum value of \$10 million. The policy shall specifically indemnify Council from all claims arising from the execution of the works. Documentary evidence of the currency of the policy shall be provided to the Council prior to commencement of work and upon request, during the progress of the work.

Reason: To ensure compliance.

- B4.** Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate, (a requirement prior to the commencement of work on the site). The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

- B5.** Deleted

- B5a.** A landscaping plan for the development site shall be amended to incorporate a five (5) metre wide landscaping buffer along the north-west boundary of Lots 2-5 and the northern boundary of Lot 5, and shall be submitted to Council for approval prior to the issue of a Construction Certificate. Landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential lands use conflict and compliance with Council's standards.

C. Prior to Work Commencing

- C1.** A Construction Certificate is to be obtained prior to commencement of any subdivision works and can be obtained by applying to either Council, or a private certifier. Please note that under Council's currently planning instrument, Gunnedah Local Environmental Plan 1998, the Principal Certifying Authority must be the Council.

Reason: To ensure compliance with application and plans.

- C2.** Sediment and erosion control measures must be installed prior to the commencement of any construction and maintained for the duration of the works in accordance with legislative requirements.

Reason: To ensure that adequate control measures are installed.

D. General

- D1. The proposed development shall comply with the requirements of the Building Code of Australia, with regard to the location of lot boundaries and existing buildings.

Reason: To meet statutory requirements.

Allotment Filling

- D2. All allotment filling will require a submission from the applicant's Consulting Engineer. The submission shall include drawings/specifications which shall clearly indicate the location and depth of proposed filling. Matters taken into consideration in the submission shall include drainage, services, fill material standards, compaction standards, dust control and impact on adjacent lands.

Reason: To ensure compliance with Council's requirements.

- D3. Where allotment filling has been carried out, the "Works-As-Executed" plans shall indicate the contours prior to and after filling and also the compaction test results.

Reason: To ensure compliance with Council's requirements.

Roads

- D4. Mathias Road (former Boggabri Service Road) shall be extended west along the Crown Reserve from the existing formation to the northern boundary of Lot 454 DP 755503. The road shall be constructed in accordance with Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering adjacent to Lot 454 DP 755503. The remaining section on Mathias Road (former Boggabri Service Road) adjacent to Lot 455 in DP755503 shall be constructed 10m of seal on 12 metre of formation at an approximate length of 115 metres. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

A floodway is to be provided in the Service Road in the vicinity of the waterway with low flow provision under the roadway for 1 in 5 year intensity storm.

Reason: To ensure adequate physical and legal access to the development site.

- D5. The extension of Mathias Road (former Boggabri Service Road) shall be dedicated as a public road. The applicant is to apply to the Land and Property Management Authority and meet the full costs associated with having the road dedicated as a local public road.

Reason: To ensure adequate physical and legal access to the development site.

- D6. Barrier signage is to be erected at the end of the proposed extension of Mathias Road (former Boggabri Service Road) formation prior to the use of the road.

Reason: To ensure vehicles utilise the formed roads and intersections only.

- D7. The intersection of Mathias Road (former Boggabri Service Road) and the proposed road and the intersection of the proposed road and Torrens Road shall be constructed in accordance with the AUSTROADS standard CHR(S)/AUL(S) treatment including all necessary pavement and shoulder works.

Reason: To ensure compliance with Council's requirements.

- D8. The proposed road shall be constructed in accordance Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

Reason: To ensure compliance with Council's requirements.

- D9. The proposed road shall be dedicated as public road.

Reason: To ensure that all roads are dedicated as public road.

- D10. The preferred road name shall be submitted for Council's consideration and approval with the engineering drawings to ensure the cul-de-sac is named in accordance with Council Naming of Public Infrastructure Policy and the Geographical Names Board guidelines.

Reason: To ensure compliance with Council's requirements.

Stormwater Drainage

- D11. Stormwater from the development site must not be concentrated onto adjoining land. All stormwater management measures shall be provided in accordance with Council's specifications and requirements, with a recurrence interval design of 1 in 10 years and shall be directed into the proposed channel in accordance with the submitted Stormwater Strategy.

Reason: To ensure compliance with Council's requirements.

Water Supply

- D12. A single water supply service (minimum size of 25mm) shall be provided to each lot. The water service shall be provided by extending Council's existing water main, located on the eastern side of Quia Road. A 150mm main shall be constructed from existing main and extended throughout the development site, connecting to the 100mm main in Mathias Road (former Boggabri Service road). The main shall be located within the proposed road and constructed in accordance with the Water Code of Australia.

Note: A Water Application Form shall be submitted to Council, together with the installation costs. The installation costs adopted in the Council's 2012/2013 Management Plan are \$1560.00 per each additional lot. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure compliance with Council's requirements.

Sewer

- D12. A single sewer service shall be provided to each lot. The sewer service shall be provided by extending Council's sewer main from the sewer man hole located at the entrance of Council's Sewerage Treatment Plant, to and throughout the development site, to Torrens Road. A sewer pump station shall be constructed at the northern end of the development (within the Mathias Road/former Boggabri Service Road reserve). A 150mm reticulation main, manholes and junctions will be required to service each lot as per Sewer Code of Australia WSA 02-2003. All works are to be undertaken and inspected in accordance with Council's standards and specifications.

Reason: To ensure compliance with Council's requirements.

- D14. A three (3) metre wide easement shall be created over all water, stormwater and sewer mains located within lot boundaries.

Reason: To ensure compliance with Council's requirements.

Street Lighting

- D15. The developer shall extend, supply and install street lighting along the development site frontage of Mathias Road (former Boggabri Service Road) and Torrens Road and within the development site in accordance with the Essential Energy's industrial development standards.

Reason: To ensure compliance with Council's requirements.

Landscaping

- D16. Deleted.

- D16a. A five (5) metre landscaping buffer shall be provided along the north-west boundary of Lots 2-5 and the northern boundary of Lot 5.

Reason: To minimise potential land use conflicts.

- D17. All landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential land use conflicts.

E. During Construction

- E1. Work on the project shall be limited to the following hours to prevent unreasonable disturbance to the amenity of the area:-

Monday to Friday: 7.00am to 5.00pm;

Saturday: 8.00am to 1.00pm if audible on other residential premises, otherwise 7.00am to 5.00pm;

No work to be carried out on Sunday or Public Holidays if it is audible on the residential premises.

The developer shall be responsible to instruct and control his sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment Operations Act 1997, in the event that the building operations cause noise to emanate from the property on Sundays or Public Holidays or otherwise than between the hours detailed above.

Reason: To ensure compliance with Council's requirements.

- E2. Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate. The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

F. Prior to Issue of a Subdivision Certificate

- F1. One set of approved construction drawings shall be amended to show the "work-as-executed". These drawings in both hard copy and electronic form shall be provided prior to issue of the subdivision certificate. The drawings are required to ensure that adequate records are maintained of community infrastructure. The drawing shall be certified by a registered surveyor or a Chartered Professional Civil Engineer. Also an electronic copy of the WAE in dwg format shall be also provided prior to the issue of the Subdivision Certificate.

Reason: To ensure compliance with Council's requirements.

- F2. Written notification being provided that an electricity supply connection has been provided to each lot.

Reason: To ensure that electrical services are provided.

- F3. Written notification being provided that telecommunication cables have been provided to each lot in accordance with community expectations.

Reason: To ensure that telecommunication services are provided.

- F4.** Deleted

- F4a.** A caveat shall be placed on the title of each of the lots created by the subdivision of Lot 5, DP 1179687, requiring a compliance certificate under Section 306 of the Water Management Act, 2000 to be obtained, prior to the sale of the property or the commencement of any development works on the lot, whichever occurs first:

A compliance certificate under Section 306 of the Water Management Act, 2000 must be obtained from the Council (as the local water supply authority).

Note: Council requires the following payments to be completed prior to issuing a compliance certificate to allow continued funding of water and sewer facilities.

Water headworks contribution is \$8,700 per lot

Sewer headworks contribution is \$7,225 per lot

The contributions are determined in accordance with the Development Servicing Plan for Gunnedah Shire Council Water Supply and Development Servicing Plan for Gunnedah Shire Council Sewerage commencing on 01 July 2012, a copy of which may be inspected at the office of the Council. The above contributions have been adopted under the Council's 2015/2016 Operational Plan. Revised rates adopted by Council in the subsequent Operational Plans will apply to lots released in later financial years.

All legal costs associated with the establishment and removal of the caveat shall be borne by the developer.

Reason: To ensure compliance with Council's Contributions and Development Services Plan.

- F5. The subdivision certificate release fee of \$180.00 shall be paid prior to the issue of the subdivision certificate.

Note: The above fee has been adopted under the Council's 2012/2013 Management Plan. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure payment of application fee.

- F6. Prior to the issue of a Subdivision Certificate, the developer shall enter into a Deed of Agreement with Council for the registration of a caveat on the title of each lot created as part of development works. The Deed of Agreement is to identify that the caveat will be placed on each allotment prior to the registration of each individual title and shall be removed once only at such a time as the required headworks charges have been paid.

All costs associated with the establishment of the Deed of Agreement shall be at the developer's cost.

Reason: To ensure creation of the caveat on each allotment.

OTHER APPROVALS

Approvals granted under Section 94 Nil
and Section 68 Part C (5) Local
Government Act 1993

RIGHT OF APPEAL

If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months from the date of this notice.

REVIEW OF DETERMINATION

If you wish for a review of this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right to lodge a Review of Determination within 6 months from the date of this notice.

SIGNED

Name


CAROLYN HUNT
MANAGER DEVELOPMENT & PLANNING

Date

27 AUGUST 2015

Shire of
Gunnedah
Land of Opportunity

Notice of Determination of Modification of Consent

Issued under the *Environmental Planning and Assessment Act 1979* section 96 (1) and 96(2)

DEVELOPMENT APPLICATION NO	610514
MODIFICATION OF CONSENT NO:	610514.003
DEVELOPMENT APPLICATION	
Applicant Name	STEWART SURVEYS PTY LTD
Applicant Address	PO BOX 592 GUNNEDAH NSW 2380
Land to be Developed – Address	LOT 454 DP 755503 "COSTALOT" 16 TORRENS ROAD GUNNEDAH NSW 2380
Proposed Development:	SUBDIVISION (1 LOT INTO 11)
Type of Modification	S.96 (1A) – AMENDMENT TO SEWER SERVICING CONDITIONS AND INCLUSION OF A VOLUNTARY PLANNING AGREEMENT
DETERMINATION	
Made on	18 DECEMBER 2015
Determination	CONSENT GRANTED SUBJECT TO CONDITIONS DESCRIBED BELOW
Consent to Operate from	17 DECEMBER 2012
Consent to Lapse on	17 DECEMBER 2017

MODIFICATION OF CONSENT

Modified or Inserted Conditions Underlined

A. That development consent be granted subject to the following conditions:

A1. Deleted

A1a. Deleted

A1b. The development must be carried out in accordance with the details set out in the following documentation. Any amendment to the development or to these conditions will require the consent of the Council.

- Development Application form, lodged 18 April 2012;
- Statement of Environmental Effects, prepared by Stewart Surveys Pty Ltd, dated April 2012;
- Plan of Proposed Industrial Subdivision, dated 15 July 2015, File Ref. 3961;
- Modification of Consent application, lodged 4 December 2015.

Reason: To ensure compliance with application and plans.

A2. The developer shall enter into and comply with the planning agreement under Section 93F of the Environmental Planning and Assessment Act, 1979, being the Voluntary Planning Agreement, executed on 18 December 2015 between MacKellar Equipment Hire Pty Ltd and Gunnedah Shire Council, as agreed to by Gunnedah Shire Council, relation to the carrying out

of the development the subject of this consent. The planning agreement shall be executed by both parties prior to the commencement of any work or action associated with this development consent.

Reason: To ensure compliance with submitted agreement.

B. Prior to Issue of a Construction Certificate

- B1.** Engineering drawings and specifications for the construction and installation of all works relative to the proposed subdivision shall be submitted to Council for approval prior to the issue of a Construction Certificate. The design of all works is to be related to the adjoining infrastructure. All drawings and specifications are to be in accordance with Council's relative standards.

Reason: To ensure compliance with application and plans.

- B2.** All works undertaken by contractors (ie. other than Council) shall be inspected by Council to ensure that the works are undertaken in accordance with Council specifications and requirements. The inspection fee is applicable for all sections of the work carried out by the contractors and shall be paid prior to the issue of a Construction Certificate.

Reason: To ensure compliance.

- B3.** The contractors engaged on the development of the subdivision must maintain public liability insurance cover to the minimum value of \$10 million. The policy shall specifically indemnify Council from all claims arising from the execution of the works. Documentary evidence of the currency of the policy shall be provided to the Council prior to commencement of work and upon request, during the progress of the work.

Reason: To ensure compliance.

- B4.** Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate, (a requirement prior to the commencement of work on the site). The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

- B5.** Deleted

- B5a.** A landscaping plan for the development site shall be amended to incorporate a five (5) metre wide landscaping buffer along the north-west boundary of Lots 2-5 and the northern boundary of Lot 5, and shall be submitted to Council for approval prior to the issue of a Construction Certificate. Landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential lands use conflict and compliance with Council's standards.

C. Prior to Work Commencing

- C1.** A Construction Certificate is to be obtained prior to commencement of any subdivision works and can be obtained by applying to either Council, or a private certifier. Please note that under Council's currently planning instrument, Gunnedah Local Environmental Plan 1998, the Principal Certifying Authority must be the Council.

Reason: To ensure compliance with application and plans.

- C2.** Sediment and erosion control measures must be installed prior to the commencement of any construction and maintained for the duration of the works in accordance with legislative requirements.

Reason: To ensure that adequate control measures are installed.

D. General

- D1. The proposed development shall comply with the requirements of the Building Code of Australia, with regard to the location of lot boundaries and existing buildings.

Reason: To meet statutory requirements.

Allotment Filling

- D2. All allotment filling will require a submission from the applicant's Consulting Engineer. The submission shall include drawings/specifications which shall clearly indicate the location and depth of proposed filling. Matters taken into consideration in the submission shall include drainage, services, fill material standards, compaction standards, dust control and impact on adjacent lands.

Reason: To ensure compliance with Council's requirements.

- D3. Where allotment filling has been carried out, the "Works-As-Executed" plans shall indicate the contours prior to and after filling and also the compaction test results.

Reason: To ensure compliance with Council's requirements.

Roads

- D4. Mathias Road (former Boggabri Service Road) shall be extended west along the Crown Reserve from the existing formation to the northern boundary of Lot 454 DP 755503. The road shall be constructed in accordance with Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering adjacent to Lot 454 DP 755503. The remaining section on Mathias Road (former Boggabri Service Road) adjacent to Lot 455 in DP755503 shall be constructed 10m of seal on 12 metre of formation at an approximate length of 115 metres. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

A floodway is to be provided in the Service Road in the vicinity of the waterway with low flow provision under the roadway for 1 in 5 year intensity storm.

Reason: To ensure adequate physical and legal access to the development site.

- D5. The extension of Mathias Road (former Boggabri Service Road) shall be dedicated as a public road. The applicant is to apply to the Land and Property Management Authority and meet the full costs associated with having the road dedicated as a local public road.

Reason: To ensure adequate physical and legal access to the development site.

- D6. Barrier signage is to be erected at the end of the proposed extension of Mathias Road (former Boggabri Service Road) formation prior to the use of the road.

Reason: To ensure vehicles utilise the formed roads and intersections only.

- D7. The intersection of Mathias Road (former Boggabri Service Road) and the proposed road and the intersection of the proposed road and Torrens Road shall be constructed in accordance with the AUSTROADS standard CHR(S)/AUL(S) treatment including all necessary pavement and shoulder works.

Reason: To ensure compliance with Council's requirements.

- D8. The proposed road shall be constructed in accordance Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

Reason: To ensure compliance with Council's requirements.

- D9. The proposed road shall be dedicated as public road.

Reason: To ensure that all roads are dedicated as public road.

- D10. The preferred road name shall be submitted for Council's consideration and approval with the engineering drawings to ensure the cul-de-sac is named in accordance with Council Naming of Public Infrastructure Policy and the Geographical Names Board guidelines.

Reason: To ensure compliance with Council's requirements.

Stormwater Drainage

- D11. Stormwater from the development site must not be concentrated onto adjoining land. All stormwater management measures shall be provided in accordance with Council's specifications and requirements, with a recurrence interval design of 1 in 10 years and shall be directed into the proposed channel in accordance with the submitted Stormwater Strategy.

Reason: To ensure compliance with Council's requirements.

Water Supply

- D12. A single water supply service (minimum size of 25mm) shall be provided to each lot. The water service shall be provided by extending Council's existing water main, located on the eastern side of Quia Road. A 150mm main shall be constructed from existing main and extended throughout the development site, connecting to the 100mm main in Mathias Road (former Boggabri Service road). The main shall be located within the proposed road and constructed in accordance with the Water Code of Australia.

Note: A Water Application Form shall be submitted to Council, together with the installation costs. The installation costs adopted in the Council's 2012/2013 Management Plan are \$1560.00 per each additional lot. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure compliance with Council's requirements.

Sewer**D12. Deleted**

- D12a.** A single sewer service shall be provided to each lot. The sewer service shall be provided by extending Council's sewer main from Mathias Road, to and throughout the development site, to Torrens Road. A 375mm reticulation main, manholes and junctions will be required to service each lot as per Sewer Code of Australia WSA 02-2003. All works are to be undertaken and inspected in accordance with Council's Engineering Guidelines for Subdivision and Development, 2013.

Reason: To ensure compliance with Council's requirements.

- D14. A three (3) metre wide easement shall be created over all water, stormwater and sewer mains located within lot boundaries.

Reason: To ensure compliance with Council's requirements.

Street Lighting

- D15. The developer shall extend, supply and install street lighting along the development site frontage of Mathias Road (former Boggabri Service Road) and Torrens Road and within the development site in accordance with the Essential Energy's industrial development standards.

Reason: To ensure compliance with Council's requirements.

Landscaping**D16. Deleted.**

- D16a. A five (5) metre landscaping buffer shall be provided along the north-west boundary of Lots 2-5 and the northern boundary of Lot 5.

Reason: To minimise potential land use conflicts.

- D17. All landscaping within the road reserve shall be undertaken in accordance with Council's standard drawing.

Reason: To minimise potential land use conflicts.

E. During Construction

- E1. Work on the project shall be limited to the following hours to prevent unreasonable disturbance to the amenity of the area:-

Monday to Friday: 7.00am to 5.00pm;

Saturday: 8.00am to 1.00pm if audible on other residential premises, otherwise 7.00am to 5.00pm;

No work to be carried out on Sunday or Public Holidays if it is audible on the residential premises.

The developer shall be responsible to instruct and control his sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment Operations Act 1997, in the event that the building operations cause noise to emanate from the property on Sundays or Public Holidays or otherwise than between the hours detailed above.

Reason: To ensure compliance with Council's requirements.

- E2.** Erosion and sediment control facilities shall be provided to avoid damage to the environment during construction. The plan and specification for these facilities are considered an integral part of the development and must be approved prior to the issue of a construction certificate. The approved erosion and sediment control measures are to be maintained throughout the construction of the development.

Reason: To ensure compliance with Council's requirements.

F. Prior to Issue of a Subdivision Certificate

- F1.** One set of approved construction drawings shall be amended to show the "work-as-executed". These drawings in both hard copy and electronic form shall be provided prior to issue of the subdivision certificate. The drawings are required to ensure that adequate records are maintained of community infrastructure. The drawing shall be certified by a registered surveyor or a Chartered Professional Civil Engineer. Also an electronic copy of the WAE in dwg format shall be also provided prior to the issue of the Subdivision Certificate.

Reason: To ensure compliance with Council's requirements.

- F2.** Written notification being provided that an electricity supply connection has been provided to each lot.

Reason: To ensure that electrical services are provided.

- F3.** Written notification being provided that telecommunication cables have been provided to each lot in accordance with community expectations.

Reason: To ensure that telecommunication services are provided.

- F4.** Deleted

- F4a.** Deleted

- F4b.** A caveat shall be placed on the title of each of the lots created by the subdivision of Lot 5, DP 1179687, requiring a compliance certificate under Section 306 of the Water Management Act, 2000 to be obtained, prior to the sale of the property or the commencement of any development works on the lot, whichever occurs first:

A compliance certificate under Section 306 of the Water Management Act, 2000 must be obtained from the Council (as the local water supply authority).

Note: Council requires the following payments to be completed prior to issuing a compliance certificate to allow continued funding of water and sewer facilities.

Water headworks contribution is \$8,700 per lot

The contributions are determined in accordance with the Development Servicing Plan for Gunnedah Shire Council Water Supply commencing on 01 July 2012, a copy of which may be inspected at the office of the Council. The above contributions have been adopted under the Council's 2015/2016 Operational Plan. Revised rates adopted by Council in the subsequent Operational Plans will apply to lots released in later financial years.

All legal costs associated with the establishment and removal of the caveat shall be borne by the developer.

Reason: To ensure compliance with Council's Contributions and Development Services Plan.

- F5.** The subdivision certificate release fee of \$180.00 shall be paid prior to the issue of the subdivision certificate.

MODIFICATION OF CONSENT APPLICATION No. 610514.003

Note: The above fee has been adopted under the Council's 2012/2013 Management Plan. Revised rates adopted in the subsequent Management Plans will apply to lots released in later financial years.

Reason: To ensure payment of application fee.

- F6.** Prior to the issue of a Subdivision Certificate, the developer shall enter into a Deed of Agreement with Council for the registration of a caveat on the title of each lot created as part of development works. The Deed of Agreement is to identify that the caveat will be placed on each allotment prior to the registration of each individual title and shall be removed once only at such a time as the required headworks charges have been paid.

All costs associated with the establishment of the Deed of Agreement shall be at the developer's cost.

Reason: To ensure creation of the caveat on each allotment.

OTHER APPROVALS

Approvals granted under Section 94 **Nil**
and Section 68 Part C (5) Local
Government Act 1993

RIGHT OF APPEAL

If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months from the date of this notice.

REVIEW OF DETERMINATION

If you wish for a review of this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right to lodge a Review of Determination within 6 months from the date of this notice.

SIGNED**Name**

CAROLYN HUNT**MANAGER DEVELOPMENT & PLANNING**

Date

18 DECEMBER 2015

Shire of
Gunnedah
Land of Opportunity

Notice of Determination of Development Application

Issued under the *Environmental Planning and Assessment Act 1979* section 81(1)(a)

DEVELOPMENT APPLICATION NO: 547403

DEVELOPMENT APPLICATION

Applicant Name	BRUCE MACKELLAR
Applicant Address	16 TORRENS ROAD GUNNEDAH NSW 2380
Land to be Developed – Address	LOT 454 DP 755503 16 TORRENS ROAD GUNNEDAH NSW 2380
Proposed Development:	CHANGE OF USE TO AN INDUSTRIAL PREMISES FOR STORAGE, SERVICING AND MAINTENANCE OF TRUCKS AND MACHINERY AND CONSTRUCTION OF BOGGABRI SERVICE ROAD

DETERMINATION

Made on	17 NOVEMBER 2011
Determination	CONSENT GRANTED SUBJECT TO CONDITIONS DESCRIBED BELOW
Consent to Operate from	17 NOVEMBER 2011
Consent to Lapse on	17 NOVEMBER 2016

CONDITIONS OF CONSENT

A. That development consent be granted subject to the following conditions:

- A1. The proposed development shall be carried out strictly in accordance with the details set out on the Development Application submitted plans prepared by Applicant – Statement of Environmental Effects dated 11/5/2011, site plan ref: 3961 dated 26 May 2011, except as otherwise provided by the conditions of consent.

Reason: Compliance with application and plans.

B. Prescribed Conditions (Section 80A(11) of the Act)

Note: The following conditions are prescribed conditions and may or may not relate directly to this development.

- B1. Compliance with Building Code of Australia

All building work must be carried out in accordance with the requirements of the Building Code of Australia.

Reason: Meet statutory requirements.

B2. Signs to be erected on building, subdivision and demolition work sites

A sign must be erected in a prominent position on any site on which building work is being carried out:

- (a) showing the name, address and telephone number of the principal certifying authority for the work, and
- (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
- (c) stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Reason: Meet statutory requirements.

C. Certification

- C1.** Prior to the commencement of any building works the developer is to apply to an Accredited Private Certifier or Council for a Construction Certificate for the erection of any buildings. **NO BUILDING WORKS SHALL COMMENCE WITHOUT FIRST OBTAINING A CONSTRUCTION CERTIFICATE.**

Reason: Meet statutory requirements.

- C2.** The following fire safety measures are to be installed in the building and the owner of the building will be required to provide a Fire Safety Certificate for each measure prior to occupation of the building:

- (c) Install portable fire extinguishers to comply with AS2444.

Reason: To ensure compliance and fire safety of Building.

D. Roadwork Conditions

- D1.** A Construction Certificate is to be obtained prior to commencement of any road construction works and can be obtained by applying to either Council, or a private certifier. Please note that under Council's currently planning instrument, Gunnedah Local Environmental Plan 1998, the Principal Certifying Authority must be the Council.

Reason: To ensure compliance with application and plans.

- D2.** Engineering drawings and specifications for the construction and installation of all works relative to the proposed road works shall be submitted to Council for approval prior to the issue of a Construction Certificate. The design of all works is to be related to the adjoining infrastructure. All drawings and specifications are to be in accordance with Council's relative standards.

Reason: To ensure compliance with application and plans.

- D3.** All works undertaken by contractors (ie. other than Council) shall be inspected by Council to ensure that the works are undertaken in accordance with Council specifications and requirements. The inspection fee is applicable for all sections of the work carried out by the contractors and shall be paid prior to the issue of a Construction Certificate.

Reason: To ensure compliance.

- D4.** The contractors engaged on the development of the boundary adjustment must maintain public liability insurance cover to the minimum value of \$10 million. The policy shall specifically indemnify Council from all claims arising from the execution of the works. Documentary evidence of the currency of the policy shall be provided to the Council prior to commencement of work and upon request, during the progress of the work.

Reason: To ensure compliance.

- D5. Sediment and erosion control measures must be installed prior to the commencement of any construction and maintained for the duration of the works in accordance with legislative requirements.

Reason: To ensure that adequate control measures are installed.

- D6. Work on the project shall be limited to the following hours to prevent unreasonable disturbance to the amenity of the area:-

Monday to Friday: 7.00am to 5.00pm;
Saturday: 8.00am to 1.00pm if audible on other residential premises,
otherwise 7.00am to 5.00pm;

No work to be carried out on Sunday or Public Holidays if it is audible on the residential premises.

The developer shall be responsible to instruct and control his sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment Operations Act 1997, in the event that the building operations cause noise to emanate from the property on Sundays or Public Holidays or otherwise than between the hours detailed above.

Reason: To ensure compliance with Council's requirements.

- D7. The Boggabri Service Road shall be extended west along the Crown Reserve from the Boggabri Service Road to a point 253 metres west along the northern boundary of Lot 454 DP 755503. The road shall be constructed in accordance with Council's standards and specifications for a Council access road being 13.5 metres wide with a 12.5 metre bitumen seal and kerb and guttering adjacent to Lot 454 DP 755503. The remaining section on the Service Road adjacent to Lot 455 in DP755503 shall be constructed 10m of seal on 12 metre of formation at an approximate length of 115 metres. The table drains shall be trapazoidal in section, including drainage structures within the new section of constructed road as required.

A floodway is to be provided in the Service Road in the vicinity of the waterway with low flow provision under the roadway for 1 in 5 year intensity storm.

Reason: To ensure adequate physical and legal access to the development site.

- D8. The extension of the Boggabri Service Road shall be dedicated as a public road. The applicant is to apply to the Land and Property Management Authority and meet the full costs associated with having the road dedicated as a local public road.

Reason: To ensure adequate physical and legal access to the development site.

- D9. One set of approved construction drawings shall be amended to show the "work-as-executed". These drawings in both hard copy and electronic form shall be provided prior to the use of the road. The drawings are required to ensure that adequate records are maintained of community infrastructure. The drawing shall be certified by a registered surveyor or a Chartered Professional Civil Engineer. Also an electronic copy of the WAE in dwg format shall be also provided prior to the issue of the Subdivision Certificate.

Reason: To ensure compliance with Council's requirements.

- D10. Barrier signage is to be erected at the end of the proposed Service Road formation prior to the use of the road.

Reason: To ensure vehicles utilise the formed roads and intersections only.

D11. Access - Industrial

Vehicular access from Torrens Road will require the construction of a concrete driveway across the footpath in accordance with Council's standards and specifications for industrial standard driveways. A copy of the concrete crossover specification sheet can be downloaded or viewed on Council's website at:

<http://www.infogunnedah.com.au/council/b&d>

- a) Before commencement of this work, construction levels are to be obtained from Council's Infrastructure Services. A security bond being half of the estimated cost of the construction work is to be lodged with Council, before work on the driveway is commenced.
- b) Upon the satisfactory completion of the driveway by the developer, the security bond will be released.

Note: Council promotes a nominal cross-fall across the footpath from the kerb top to the boundary line of 2%. Internal driveway grades shall be in accordance with AS 2890 – 2004. Council's Infrastructure Services can be contacted on 02 6740 2130.

Reason: Implementation of Council policy.

- D12.** No access to the property from the Boggabri Service Road shall be used until all the extension of the road has been completed, inspected and approved by Council.

Reason: To ensure no unauthorised road access.

F. Specific Conditions

- F1.** There is to be no crushing of any materials on site at any times. Any further development on the site will require a further Development Application and consent from Council.

Reason: To ensure compliance.

- F2.** Parking areas and Driveways

The parking areas and trafficable areas associated with the storage and parking is to be hard sealed to Council's standards and specifications and capable of supporting loaded vehicles. Materials used in the construction of the storage areas are to be compacted to form a smooth hard surface and be dust suppressed to minimise the creation of dust and be clearly delineated. A minimum designated area for 4 car parking spaces must be provided onsite for the proposed development.

Reason: To ensure compliance.

- F3.** Vehicular Access

The vehicular entrance and exit driveways and the direction of traffic movement within the site shall be clearly indicated by means of suitable signs and pavement markings to ensure that clear direction is provided to the drivers of vehicles entering and leaving the premises in order to facilitate the orderly and efficient use of on site parking and driveway access and in the interest of traffic safety and convenience.

Reason: To ensure safe traffic movement.

- F4.** Vehicles shall be loaded or unloaded standing wholly within the premises to ensure that the proposed development does not give rise to street loading or unloading operations with consequent accident potential and reduction in road efficiency. Under no circumstances are vehicles to be loaded or unloaded at the kerb side, or across the public footpath.

Reason: To ensure compliance with Council's requirements.

- F5. All vehicular movement to and from the site shall be in a forward direction to ensure that the proposed development does not give rise to vehicle reversing movements on or off the Public Road with consequent traffic accident potential and reduction in road efficiency.

Reason: To ensure compliance with Council's requirements.

- F6. The developer shall submit an application for the proposed new installation of an Aerated Effluent Management System. Such application shall be approved prior to the commencement of any sanitary drainage works.

Reason: To ensure environmental health standards are met.

- F7. The hours of operation of the proposed development are restricted to between 6.30am and 7pm Monday to Friday and between 7am and 4pm Saturdays.

Reason: To ensure the amenity of the area is maintained.

- F8. The existing landscaping is to be maintained for the life of the development.

Reason: To ensure long-term viability of all landscaping and enhancement of the surrounding streetscape.

- F9. The proposed site office is to be used only for a site office purpose. The building is not to be used for any habitable purposes.

Reason: To ensure long-term viability of all landscaping and enhancement of the

P. Nuisance Conditions

- P1. The developer is to ensure that no dust nuisance is generated on the premises. To this end the applicant shall maintain sufficient equipment with the capacity to apply water to all trafficable areas within the site at a rate sufficient to eliminate the dust nuisance.

Reason: To ensure compliance.

- P2. All lighting associated with the development shall be so hooded so as to prevent glare nuisance to any premises not associated with the development or to any vehicles travelling on public roads.

The developer will be responsible for the placement of security lighting around and through the proposed development in accordance with regulatory requirements

Reason: To ensure amenity of area and public safety.

- P3. Provision shall be made for the site to have adequate drainage capable of catering for a 1 in 10 year event and is to incorporate such measures to ensure that no sedimentary material escapes from the site. A natural drainage line is located along the eastern boundary of the lot and the developer is not to alter the natural flow line.

Reason: To ensure overland water flow can function successfully and protection of neighbouring properties.

OTHER APPROVALS

Approvals granted under Section 94 Nil
and Section 68 Part C (5) Local
Government Act 1993

RIGHT OF APPEAL

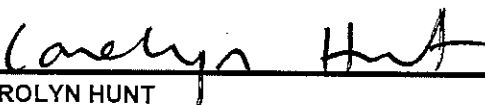
If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months from the date of this notice.

REVIEW OF DETERMINATION

If you wish for a review of this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right to lodge a Review of Determination within 6 months from the date of this notice.

SIGNED

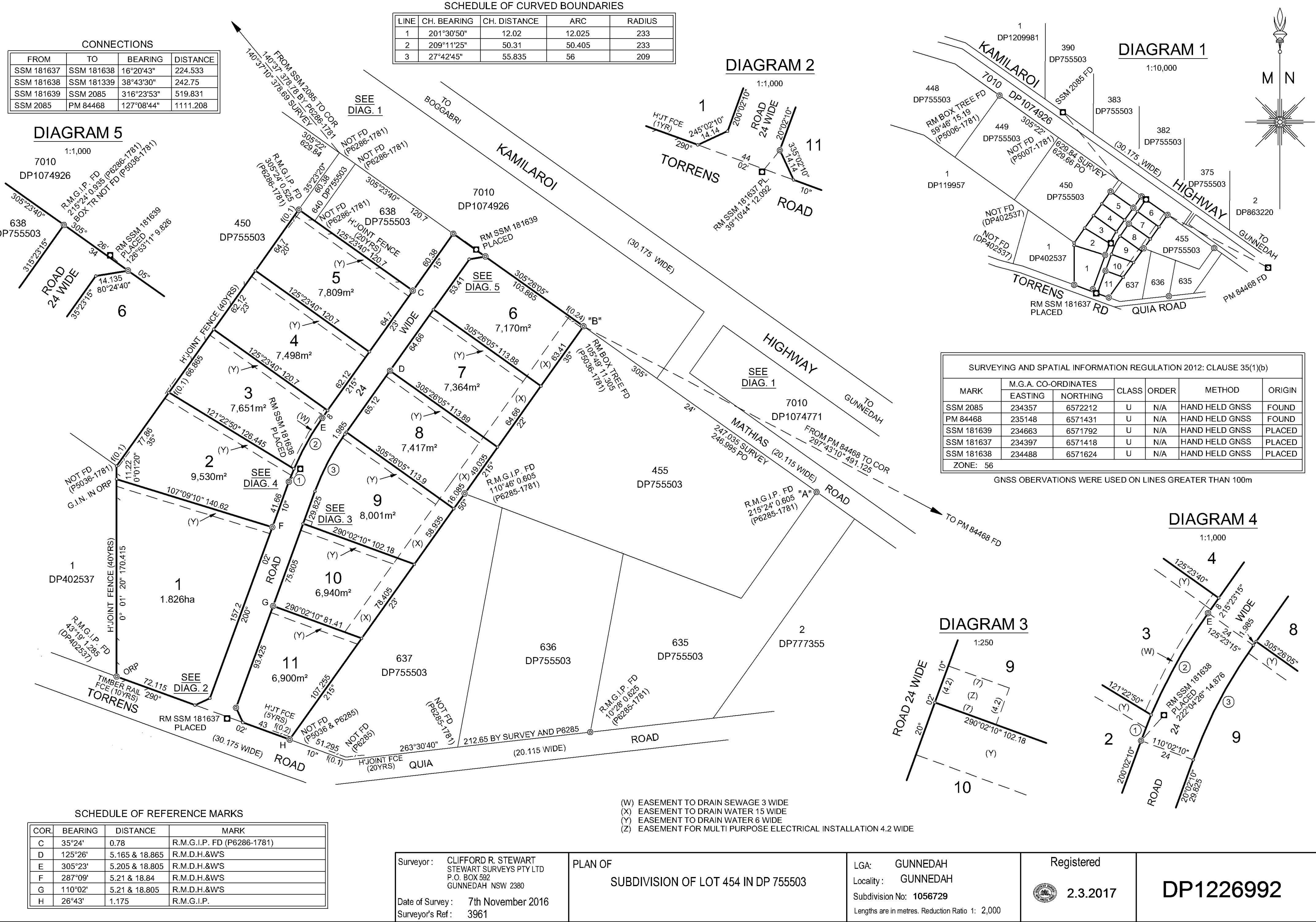
Name


CAROLYN HUNT

MANAGER DEVELOPMENT & PLANNING

Date

17 NOVEMBER 2011



SCHEDULE OF REFERENCE MARKS

COR.	BEARING	DISTANCE	MARK
C	35°24'	0.78	R.M.G.I.P. FD (P6286-1781)
D	125°26'	5.165 & 18.865	R.M.D.H.&W'S
E	305°23'	5.205 & 18.805	R.M.D.H.&W'S
F	287°09'	5.21 & 18.84	R.M.D.H.&W'S
G	110°02'	5.21 & 18.805	R.M.D.H.&W'S
H	26°43'	1.175	R.M.G.I.P.

SURVEYING AND SPATIAL INFORMATION REGULATION 2012: CLAUSE 35(1)(b)

MARK	M.G.A. CO-ORDINATES	CLASS	ORDER	METHOD	ORIGIN	
	EASTING	NORTHING				
SSM 2085	234357	6572212	U	N/A	HAND HELD GNSS	FOUND
PM 84468	235148	6571431	U	N/A	HAND HELD GNSS	FOUND
SSM 181639	234663	6571792	U	N/A	HAND HELD GNSS	PLACED
SSM 181637	234397	6571418	U	N/A	HAND HELD GNSS	PLACED
SSM 181638	234488	6571624	U	N/A	HAND HELD GNSS	PLACED

ZONE: 56

GNSS OBSERVATIONS WERE USED ON LINES GREATER THAN 100m

Surveyor: CLIFFORD R. STEWART
STEWART SURVEYS PTY LTD
P.O. BOX 592
GUNNEDAH NSW 2380

PLAN OF
SUBDIVISION OF LOT 454 IN DP 755503

Date of Survey: 7th November 2016
Surveyor's Ref: 3961

LGA: GUNNEDAH
Locality: GUNNEDAH
Subdivision No: 1056729
Lengths are in metres. Reduction Ratio 1: 2,000

Registered
2.3.2017

DP1226992

10 20 30 40 50 60 70 80 90 100 110 120 130 140

Table of mm

Req:R313644 /Doc:DP 1226992 P /Rev:03-Mar-2017 /Sts:SC.OK /Pgs:ALL /Prt:07-Mar-2017 11:44 /seq:1 of 3
WARNING : Electronic Document supplied by LPI NSW for Your Internal Use Only.

Shire of
Gunnedah
Land of Opportunity

Notice of Determination of Development Application

Issued under the *Environmental Planning and Assessment Act 1979* section 81(1)(a)

DEVELOPMENT APPLICATION NO: 556181

DEVELOPMENT APPLICATION

Applicant Name	MACKELLAR EQUIPMENT HIRE P/L
Applicant Address	16 TORRENS ROAD GUNNEDAH NSW 2380
Land to be Developed – Address	LOT 454 DP 755503 16 TORRENS ROAD GUNNEDAH NSW 2380
Proposed Development:	SKILLION ATTACHED SHED, CARPORT AND VERANDAH

DETERMINATION

Made on	17 NOVEMBER 2011
Determination	CONSENT GRANTED SUBJECT TO CONDITIONS DESCRIBED BELOW
Consent to Operate from	17 NOVEMBER 2011
Consent to Lapse on	17 NOVEMBER 2016

CONDITIONS OF CONSENT

A. That development consent be granted subject to the following conditions:

- A1. The proposed development shall be carried out strictly in accordance with the details set out on the Development Application submitted plans prepared by Applicant - SOEE dated 19/7/11, prepared by Stewart Surveys and dated 26/5/11 – site plan ref: 3961, prepared by Ranbuild - floor plan 7 elevations ref: TAMWO3-2352, integral pad footing & rc floor det, ref: IPF-2352 pages 1-3, steel frame diagrams ref: ENG1/1-1681-002352, steel frame schedule and notes ref: ENG2/1-1681-002352, connection details ref: ENG3/1-1681-002352, connection details ref: ENG3/2-1681-002352, rc floor plan & bored pier details ref: ENG4/1-1681-002352, rc floor plan & bored pier details ref: ENG4/2-1681-002352, isolated bored pier details ref: ENG5/1-1681-002352, isolated bored pier details ref: ENG5/2-1681-002352, rc floor plan & integral pad footing details ref: ENG6/1-1681-002352, rc floor plan & integral pad footing details ref: ENG6/2-1681-002352, rc slab plan ref: ENG7/1-1681-002352 – 2 pages, prepared by Bluescope Lysaght - engineering certification and specifications ref: 321604 dated 22/6/11, prepared by Northwest Projects - engineering certification and specifications dated 12/7/11, shed slab plan ref: NWP-MKR-001, Plans prepared by MD Design Drawing Nos 101, 102, 201, 202 all prepared by MD Design Services and dated 14 September 2011, Engineering Details prepared by Northwest Projects and dated 14 September 2011, Drawing No MCK01 prepared by Northwest Projects and dated 14 September 2011 and the Specifications prepared by MD Design, except as otherwise provided by the conditions of consent.

Reason: Compliance with application and plans.

B. Prescribed Conditions (Section 80A(11) of the Act)

Note: The following conditions are prescribed conditions and may or may not relate directly to this development.

B1. Compliance with Building Code of Australia

All building work must be carried out in accordance with the requirements of the Building Code of Australia.

Reason: Meet statutory requirements.

B2. Signs to be erected on building, subdivision and demolition work sites

A sign must be erected in a prominent position on any site on which building work is being carried out:

- (a) showing the name, address and telephone number of the principal certifying authority for the work, and
- (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
- (c) stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Reason: Meet statutory requirements.

D. During Construction Works

D1. Inspections by Council

48 hours prior to the covering of the following works, Council shall be notified by the licensed builder, owner builder or licensed plumber/drainer that the following works are ready for inspection:

- (a) stormwater drains
- (b) stormwater absorption trenches
- (c) internal drainage under water test
- (d) external drainage under water test
- (e) water plumbing
- (f) septic tank or aerated wastewater treatment system
- (g) pump well and associated pump lines
- (h) absorption trenches
- (i) piers associated with external drainage designed to distribute weight of structure away from sewer main prior to pouring of concrete.
- (j) Sewer/water main extensions (Engineering Services)
- (k) Final inspection of water plumbing, sanitary drainage and stormwater drainage.

(NB) An accredited certifier may not be substituted for Council in respect of these inspections, as Council remains the sole responsible authority for these matters.

Reason: To ensure compliance before, during and after construction.

D2. Inspections by the Principal Certifying Authority – Mandatory Critical Stage Inspections

48 hours prior to the covering of the following works, the Principal Certifying Authority appointed pursuant to Section 81(2)(b) of the Environmental Planning and Assessment Act 1979 shall be notified that works are ready for inspection. (Note: Inspections in **bold type** are mandatory critical stage inspections under the Act and **MUST** be carried out by the Principal Certifying Authority. If these inspections are not carried out by the Principal Certifying Authority an Occupation Certificate cannot be issued).

- (a) **Piers (if any) prior to pouring of concrete**
- (b) **Footing trenches with reinforcement prior to pouring of concrete**

- (c) Retaining walls and reinforcement (if any) prior to pouring of concrete
- (d) **Concrete slab formwork with reinforcement prior to pouring of concrete**
- (e) **Structural framework including roof members. When completed prior to the fixing of any internal sheeting**
- (f) **Wet area, damp proofing and flashing before lining**
- (g) Swimming pool safety fence prior to filling the pool with water
- (h) Foundation material before installation of the swimming pool or laying of any bedding material
- (i) Works in relation to road reserves, footpath, kerb and gutter, road shoulder and drainage within public lands or road reserves
- (j) **Bearers and joist inspection, including tie down requirements and ant capping. When completed and prior to the laying of the floor.**
- (k) In situ concrete formwork (excluding paving) with reinforcement prior to pouring of concrete.
- (l) **Final inspection prior to use of the building.**

The above listed works may not be covered until approval is obtained from the Principal Certifying Authority or his/her duly appointed delegate.

Reason: To ensure compliance before, during and after construction.

- D3. A stamped copy of the development consent, the approved plans and specifications are to be kept at the construction site at all times during the construction period.

Reason: To ensure compliance with approved application and plans.

- D4. The storage of all building materials shall be confined within the boundaries of the allotment.

Reason: Ensure site safety.

- D5. All electrical work, must be carried out by a licensed electrician, in accordance with Australian Standard 3000 - 2000.

Reason: To ensure compliance.

- D6. **Excavations and backfilling**

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards and must be properly guarded and protected to prevent them from being dangerous to life or property.

Reason: Ensure site safety.

- D7. **Retaining walls and drainage**

If the soil conditions require it:

- (a) Retaining walls associated with the erection or demolition of a building or other approved methods preventing movement of the soil must be provided, and
- (b) adequate provision must be made for drainage.

Should a retaining wall be proposed to be constructed above a height of 600mm the applicant shall have the structure designed by a practicing Structural Engineer and a copy of the design plans are to be provided to council before work commences on the site. The retaining wall is to be completed in accordance with the design provided prior to any occupation or use of the building.

Reason: Ensure site stability.

- D8. Work on the development shall be limited to the following hours to prevent unreasonable disturbance to the amenity of the area:-
Monday to Friday - 7.00am to 5.00pm;
Saturday - 8.00am to 1.00pm if audible on other residential premises, otherwise 7.00am to 5.00pm;
No work to be carried out on Sunday or Public Holidays.
Note: The builder shall be responsible to instruct and control sub-contractors regarding the hours of work.
Council will exercise its powers under the Protection of the Environment Operations Act, 1997, in the event that the building operations cause noise to emanate from the property on Sundays or Public Holidays or otherwise than between the hours detailed above.

Reason: To ensure amenity of the neighbourhood is maintained.

E. Prior to the Issue of an Occupation Certificate

- E1. Occupation of the building work is not to occur until all work has been completed, the conditions of consent satisfied and an Occupation Certificate issued by the Principal Certifying Authority.

Reason: To meet statutory requirements.

- E2. The following fire safety measures are to be installed in the building and the owner of the building will be required to provide a Fire Safety Certificate for each measure prior to occupation of the building:

(c) Install portable fire extinguishers to comply with AS2444.

Reason: To ensure compliance and fire safety of Building.

- E3. Stormwater runoff from the roof area of the shed is to be collected and directed into storage with the excess runoff being directed clear of any structures and not onto any adjoining properties.

Reason: To ensure compliance and the adequate dispersal of stormwater.

OTHER APPROVALS

Approvals granted under Section 94 Nil
and Section 68 Part C (5) Local
Government Act 1993

RIGHT OF APPEAL

If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 6 months from the date of this notice.

REVIEW OF DETERMINATION

If you wish for a review of this decision, Section 82A of the Environmental Planning and Assessment Act 1979 gives you the right to lodge a Review of Determination within 6 months from the date of this notice.

SIGNED

Name


CAROLYN HUNT

MANAGER DEVELOPMENT & PLANNING

Date

17 NOVEMBER 2011

Construction Certificate

Issued under the *Environmental Planning and Assessment Act 1979* Section 109C(1)(b), 81A(2) and 81A(4)

CONSTRUCTION CERTIFICATE NO 556181

APPLICANT

Applicant Name

MACKELLAR EQUIPMENT HIRE P/L

Applicant Address

16 TORRENS ROAD
GUNNEDAH NSW 2380

OWNER

Owner Name

MACKELLAR EQUIPMENT HIRE P/L

Owner Address

16 TORRENS ROAD
GUNNEDAH NSW 2380

SUBJECT LAND

Address

16 TORRENS ROAD
GUNNEDAH NSW 2380

Lot No DP/MPS etc vol/foi

LOT 454 DP 755503

Area of site (m²) of site

105210

DESCRIPTION OF DEVELOPMENT

SKILLION ATTACHED SHED, CARPORT AND VERANDAH

DEVELOPMENT CONSENT

Development Consent No

556181

Date of Determination

17 NOVEMBER 2011

BUILDING CODE OF AUSTRALIA BUILDING CLASSIFICATION

CLASS 8

CERTIFICATE

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment Act 1979 and Section 147(1)(e) of the Environmental Planning and Assessment Regulations 2000.

CERTIFYING AUTHORITY

Name of certifying authority

GUNNEDAH SHIRE COUNCIL

If accredited certifier, accreditation No

Contact No

02 6740 2120

Address

PO BOX 63, GUNNEDAH NSW 2380

SIGNED

Name


SUE COX

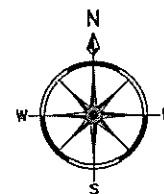
COUNCIL ACCREDITED CERTIFIER

Accreditation No. BPB 1550

Date of Endorsement

17 NOVEMBER 2011

L.G.A. OF GUNNEDAH
PARISH OF GUNNEDAH
COUNTY OF POTTINGER



Gunnedah Shire Council
DEVELOPMENT CONSENT
Environmental Planning and Assessment Act 1979
Development Consent No. 556181 450*
DP-755503
This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.
Date: 16/11/2011

BENCHMARK
Galv. Iron Pipe
R.L. 263.97

PROPOSED
SERVICE ROAD
EXTENSION - 253m

Existing Bitumen
Service Road

LOT 454
DP 755503
10.57ha

455
DP 75503

637
DP 755503
Wboard Dwelling

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
Environmental Planning and Assessment Act 1979
Construction Certificate No. 556181
Development Consent No. 556181
The areas shown on this plan is subject to the written conditions of the above
16/11/2011
Gunnedah Shire Council
LOCAL CERTIFYING AUTHORITY

TORRENS
ROAD

QUIA RD

Important Notes

This plan has been prepared for MacKellar Equipment Hire Pty Ltd from a combination of field survey and existing records for the purpose of showing the physical features of the land to assist in designing future development, and should not be used for any other purpose. The site dimensions shown hereon were not verified or marked at the time of survey but were determined by existing site dimensions and occupation (where available), not by field measurement. This plan should not be used for building to boundary, or to prescribed setbacks, without further boundary survey. Before commencing any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of dial before you dig, and any relevant service providers to ascertain the existence of further services and the accurate location of those not able to have been surveyed at the time of preparing this plan for detail. * No responsibility can be accepted by Stewart Surveys Pty Ltd for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note. ** These notes are an integral part of this plan/data. Reproduction of this plan or any part of it without this not being included in full will render the information shown on such reproduction invalid and not suitable for use.



LENGTHS ARE IN METRES
1:2500@A3

STEWART SURVEYS

Pty Ltd Inc in NSW
ABN 65 002 886 508
SURVEYORS
109 Conadilly Street
P.O. Box 592

GUNNEDAH NSW 2380

Ph: 02-67422966

Fax: 02-67420684

Dimensions from crown plan P5036-1781
Levels are AHD - Source PM3899
RL.260.049

LENGTHS ARE IN METRES

File Ref: 3961

Scale: 1:2500@A3

DESCRIPTION:

SITE PLAN
OF LOT 454 IN DP 755503
'COSTALOT' 16 TORRENS RD, GUNNEDAH

Date: 26th May 2011

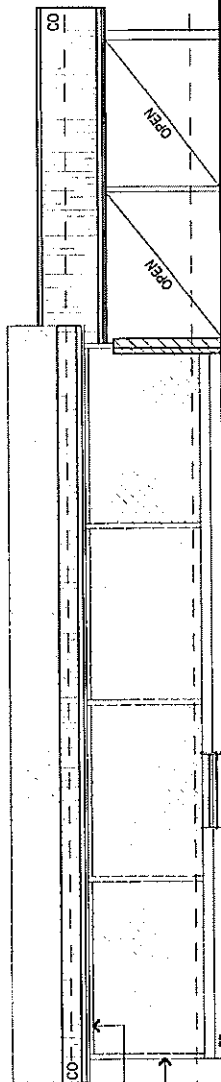
Sheet: 1 of 1

LEGEND

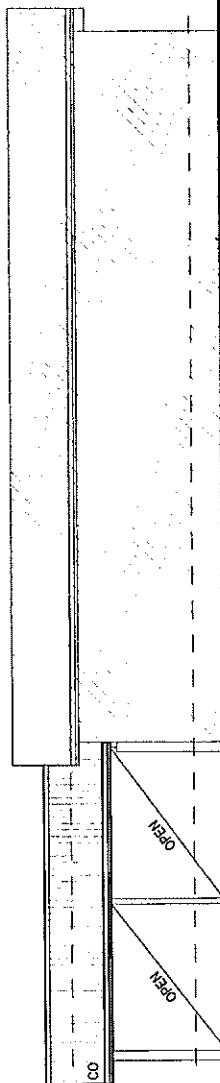
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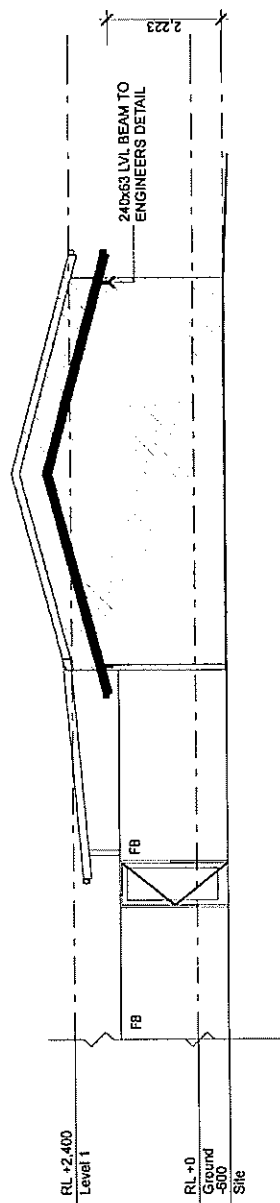
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South
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Section 1
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Gunnedah Shire Council
DEVELOPMENT CONSENT
Environmental Planning and Assessment Act 1979
Development Consent No. 556/181
This documentation refers to the above Development
Application. Approval of the works shown on this plan is subject
to the compliance with the written conditions of the above
Development Consent.
Date 18/11/2011

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
Environmental Planning and Assessment Act 1979
Development Consent No. 556/181
Certificate No. 556/181
The works shown on this plan is subject to the
written conditions of the above
Certificate.
Date 16/11/2011
Gunnedah Shire Council
PRINCIPAL CERTIFYING AUTHORITY

LEGEND		Scale	As noted	Date
1	RAILWAY	STATUS	PRELIMINARY	Checked By:
2	RAILWAY	Project No.		Drawing No.
3	RAILWAY	Project No.		Drawing No.
4	RAILWAY	Project No.		Drawing No.
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73	RAILWAY	Project No.		Drawing No.
74	RAILWAY	Project No.		Drawing No.
75	RAILWAY	Project No.		Drawing No.
76	RAILWAY	Project No.		Drawing No.
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84	RAILWAY	Project No.		Drawing No.
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87	RAILWAY	Project No.		Drawing No.
88	RAILWAY	Project No.		Drawing No.
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92	RAILWAY	Project No.		Drawing No.
93	RAILWAY	Project No.		Drawing No.
94	RAILWAY	Project No.		Drawing No.
95	RAILWAY	Project No.		Drawing No.
96	RAILWAY	Project No.		Drawing No.
97	RAILWAY	Project No.		Drawing No.
98	RAILWAY	Project No.		Drawing No.
99	RAILWAY	Project No.		Drawing No.
100	RAILWAY	Project No.		Drawing No.

SPECIFICATION

OF WORKS FOR THE ERECTION OF CARPORT AND VERANDAH

FOR M.E.X
(PROPRIETOR)

LOT 454
DP 755503
GUNNEDAH

Gunnedah Shire Council
DEVELOPMENT CONSENT
Environmental Planning and Assessment Act 1979

Development Consent No. 556 181

This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011

MD Design Services
285 Conadilly St, Gunnedah
P: 02 67429908
F: 02 67429922
M: 0419274476
E: info@mattdavisdesign.net
W: www.mattdavisdesign.net

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
Environmental Planning and Assessment Act 1979

Construction Certificate No. 556 181

Development Consent No. 556 181

Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011

Gunnedah Shire Council
PRINCIPAL CERTIFYING AUTHORITY


MATT DAVIS DESIGN

NOTE: If any difference in requirements exists between this specification and the Building Code of Australia or relevant Standard that may apply to the construction of any building nominated by this specification, then the requirements of the Building Code of Australia and/or appropriate Standard shall take precedence over this specification for any construction.

SPECIFICATION

The builder must ensure that relative drawings, plans and construction, the Local Government Act, the Building Code of Australia and that the work and services are performed by the Builder to the satisfaction of the Proprietor and Lending Authorities.

INSPECTION NOTICE

This is to apply only if inspections are required by the Lending Authority. The building is to be inspected by the Society or Bank Representative at the following stages of construction and the Builder is to give the Lending Authority and Owner at least (2) clear working days notice that inspections are required.

1. When trenches for footings have been prepared or rock surfaces scabbled and in the case of reinforced concrete footings, when reinforced and depth pegs have been placed into position just prior to placing of concrete. Footings must not be commenced until the trenches have been inspected and approved by the Society Representative.
2. On completion of floor, wall and roof framing with noggin in position and veneer walling, but before flooring is cut down, roof covering is laid and wall linings and sheetings are secured.
3. When the internal wall coverings have been secured and fixing out commenced, apron mouldings must not be fixed until flashings have been inspected and approved.
4. ON COMPLETION OF BUILDING. The owner is cautioned that if works have advanced beyond these stages without the requisite notices being given, inspections made and unsatisfactory conditions are discovered later, the offer of a loan or the terms and conditions of a loan may be varied by the Lending Authority.

REGULATIONS AND NOTICES:

The builder is to comply with the Builder Code of Australia as amended and as applicable to the particular State or Territory in which the building is being constructed and the requirements of legally constituted Authorities for local Government and/or Services. The Builder is to give all notices, obtain all permits and pay all fees required by such Authorities. If any difference in requirements exists between the specification and the Building Code of Australia or relevant Standard that may apply to the construction of any building nominated by this specification then the requirements of the Building Code of Australia and/or the appropriate Standard shall take precedence over this specification for any construction. Where manufacturers materials, components, design factors and construction methods comply with the Performance Requirements of the B.C.A these may be accepted by approval authorities as an alternative as per the Deemed to Satisfy Provisions.

INSURANCE:

Insurance of the works against fire will be effected as nominated in the Building Contract. The Builder shall at his own expense adequately insure against Public Risk and arrange indemnification in respect of his liability under the Workers Compensation Act, Work Cover and/or other regulations as applicable.

VISIT THE SITE:

Builders tendering are to visit the site and satisfy themselves to the nature and extent of the work, the facilities available and the difficulties entailed in the execution of the said works. No extra amount above the accepted price will be allowed because of work arising due to neglect of this precaution, or assumptions made in respect of levels or ground slopes.

LABOUR AND MATERIALS:

The Builder is to provide all materials, labour, fittings and plant required to construct and complete the work. Materials shall be of the standard specified and workmanship in each trade shall be performed by tradesman of that particular trade and in conformity with current good building practice.

SET OUT:

The Builders shall be responsible for the accuracy and clear delineation of the site boundaries and location of the buildings there on. The Builder is to set out and maintain the works in accordance with the drawings. Figured dimensions to be taken in preference to scale.

PLANS AND SPECIFICATIONS:

Any work indicated on the plans and not in the specification or vice versa, and any item not shown on either plans or specifications but which is obviously necessary as part of proper construction and/or finish is to be considered as so shown or specified and is to be duly done as part of the contract. Any variations to plans or specifications to be agreed and recorded by the proprietor and the builder/contractor.

PLANS ON JOB:

The builder must at all times maintain on the job a legible copy of the plans and specifications, bearing the approval of the Municipal Authority concerned or Principal Certifying Authority.

STANDARDS:

Where an Australian Standard (AS) or Australian New Zealand Standard (AS/NZS) is nominated in this specification then that nomination refers to the latest revision of that Standard unless the Building Code of Australia references a different revision.

EXCAVATOR- BCA part 3.1

EARTHWORKS AND EXCAVATION:

All earthworks shall be designed and constructed with the guidelines of AS3798. Stormwater and other surface water drainage by underground piping or surface diversions shall be in accordance with AS/NZS3500.

All site works shall be in accordance with the Environmental Planning and Assessment Act and Regulations for site works for the erection of a building, safeguarding excavations, backfilling, preventing soil movement and supporting neighbouring buildings. Drainage requirements must be determined according to the soil classifications BCA part 3.1.1.0 and part 3.2. Drainage in reactive soil areas must comply with the requirements of the clauses.

FOOTINGS AND PIERS: BCA part 3.2.2

Excavate for all footings, piers, etc to dimensions and minimum depth shown on plans or otherwise specified, or to depths necessary to secure solid bottoms and even bearing throughout similar strata. Bottoms of excavations to be level and stepped where necessary. Grade, fill and ram where necessary to receive concrete floors where shown on ground level.

At completions of foundations, all excavations to be filled, well rammed to ground level and surplus soil spread as directed. All seepage and soakage water to be effectively dealt with and diverted clear of the building. Excavate for any lay agricultural drains to back of walls retaining earth and to any other sections of foundations as may be necessary and/or directed.

ROCK EXCAVATIONS:

Should rock of any type be encountered in excavation of the works the cost of its removal is to be considered as an extra to the contract and charged for at a rate per cubic metre as indicated in the schedule of rates. The Proprietor is to be notified when rock is encountered in excavations.

CONCRETER- BCA part 3.2.3

All structural concrete shall be ready mixed and in compliance with AS3600, and unless otherwise specified on Engineers drawings, shall be of N20 grade.

The concrete shall be supplied by an approved firm and delivery dockets shall be kept on the job for inspection by the proprietor if he so desires. The concrete for minor works, where strength of concrete is not critical, such as paving on solid ground, may have a minimum compressive strength of 15MPa if unreinforced and 20MPa if reinforced. Alternatively, such concrete may be mixed on site where the aggregate proportions and water/cement ratio can be controlled so that the required compressive strengths can be obtained.

All concrete work shall comply with the AS3600. Maximum slump shall be 80mm unless otherwise specified by Engineer. Concrete shall be carefully handled and placed to avoid segregation and shall be adequately compacted by means of mechanical vibrators or rodding and spading to ensure maximum compaction. Reinforcing mesh fabric to AS 1304 and all reinforcing bars mild steel grade unless otherwise specified.

FOOTINGS: BCA parts 3.2.3, 3.2.4, 3.2.5

Where sites have soils or foundations of reactive nature or problem sites footings shall be approved by a practising structural engineer and in the case of known highly swelling soils or other unstable soils special precautions may have to be taken in the design and construction of concrete footings. In the case of concrete suspended floors to the first floor it will be necessary for size of footings to be specified by a practising structural engineer. Footing sizes to be as per AS2870 part 1.

At completion of footing excavations fill to the underside of floor slab with approved hardcore so as to provide a minimum depth of 100mm. Such hardcore may be carried under minor interior footings if required. Cover areas as noted on drawings with waterproof membrane allowing sufficient at perimeters to extend membrane up face of footing to terminate under external brickwork.

Owners are advised that foundations and associated drainage of all buildings requires continuing maintenance to assist footing performance and advice is available in the CSIRO information sheet 10-91. It is the owners responsibility after occupation to maintain the site in accordance with this document.

TERMITE PROTECTION: BCA part 3.1.3

Where the building is being erected in a prescribed termite area and protection is required by regulation of local government or state authority then protection against subterranean termites shall be installed in accordance with AS 3660. Details of method of protection to be used shall be submitted where required, prior to commencement of building works. Written certification, signed by the installer, that the method used and the manufacturers specification complies with the Australian Standard shall be provided to the relevant authority and owner where required. A durable notice must be permanently fixed in a prominent location in the building prior to its occupation indicating:

1. The method and date of installation of the system and the need to inspect and maintain the system on a regular basis.
2. Where a chemical barrier is used, the life expectancy as listed on the National Registration Authority label and recommended date of renewal. Note that AS3660 and BCA lists the minimum acceptable level of protection only. Owners and/or builders may specify and install additional protection if desired.

FORMWORK: All formwork for concrete shall be in accordance with AS3610

PATHS: (see AS3727 for guide to residential pavement construction)

Provide paths as indicated on plans. Concrete to be as previously specified and surfaced with wooden float. Excavate for and lay paths to even grades, true lines and curves. Car tracks to be a minimum of 100mm thick and paths a minimum of 75mm. Provide expansion joints in paths at a maximum spacing of 1200mm with bitumen impregnated felt joining stripes the full thickness of concrete with tooled V-joints above the same.

CONCRETE FLOORS: BCA parts 3.2.3

Provide concrete floors where indicated on plans. Where not specifically detailed, floors are to be a minimum of 100mm thick, reinforced with No. F72 hard drawn reinforcing fabric set 32mm below top of concrete. Floor slabs to be full thickness and free from grooves and ridges. Finish surface in one operation as required for tiling or otherwise to fine finish with float or steel trowel and sponge. Thickness of floors shall be maintained under tiling recesses in all cases.

Note that in Climate Zones 6,7 and 8 the edges underneath some concrete slabs construction may require thermal insulation.

INTEGRAL FLOOR SLABS AND SLABS ON GROUND: BCA part 3.2.5

Grade whole area occupied by floor to a minimum depth as required to remove top soil and roots etc. Determine level of top of floor to habitable rooms, a minimum of 150mm above highest point of adjacent proposed external ground level (adjust for fill or general excavation as required) or as otherwise required by Local Council. The external finished ground surface must be graded to drain water away from building at a minimum slope away of 50mm over the first 1m as per BCA Part3.1.2.3.

Excavate for perimeter and other main footings to minimum depths as shown on Engineers drawings or to depths necessary to obtain solid bottoms and even bearing throughout a similar strata. Allow for sufficient recess for brickwork if carried under main footings so as to reduce the amount of concrete necessary, provided that the fill is retained from displacement under the footings (by a temporary earth bank or similar) and providing also that a minimum of 100mm depth of the same hardcore is provided under all footings in such case, roadbase or ungraded bluemetal is recommended as hardcore, coalwash is NOT to be used. Reinforce detail and pour in one continuous operation in concrete Grade 20 unless otherwise nominated. Residential slabs and footings must be constructed in accordance with AS2870 as amended.

BRICKLAYER – (construction of masonry building shall be as per AS3700) BCA part 3.3

CLAY BRICKS:

To be sound, hard, of well burnt clay and shale and comply with specifications AS1225 'Burnt Clay and Shale Building Bricks'.

SAND LIME BRICKS:

To Comply with AS4455 Masonry Building Blocks/Pavers

SAND:

To be clean, sharp and free from all impurities. **CEMENT MORTAR:** To be one part fresh cement to 3 parts sand.

LIME MORTAR: BCA part 3.3.1.6

To be one part lime to 3 parts sand. Lime to be well slaked before use. **COMPO MORTAR:** To be one part lime and 6 parts sand. All bricks to be well wetted before use. This not to apply to textured bricks. Footing courses to be grouted solid with cement mortar. All brickwork to be properly bonded. Laid on full bed and all perpendis filled. All piers are to be built solid and each course grouted as work proceeds. Carry up

all work true and plumb to even gauge and in level courses the full height and thickness required. The brickwork faces above level to be finished with neatly ironed or raked joints. Beds and joints to be kept to a reasonable thickness. Finish all other exposed brickwork faces with neat struck joints.

BUILD THE FOLLOWING IN CEMENT MORTAR: BCA part 3.3.1.6

All brickwork to underside of floor bearers level. All 110mm thick brickwork. All copings, steps, brick balustrade walls, sills, piers, wing walls, retaining walls. Brick Fences on alignment and/or brickwork under timber fencing also concrete blocks or bricks. Build compo mortar: All other Brickwork, including concrete masonry.

ENGAGED PIERS:

To be a minimum of 230 x 110, spaced at not more than 1.8m centres up to 1200 high to support floor bearers and at similar centres to stiffen walls supporting concrete slabs. Piers over 1200 high to be 230 x 230. All engaged piers to be anchored to walls with specified wall ties.

SINGLE LEAF MASONRY: (Garage Walls etc.)

Footings as per BCA part 3.2.5.1 engaged piers and reinforcing to be as per part 3.3.1.

ACCESS:

Adequate access in the external foundation wall must be provided with a weatherproof lockable door and crawl access is to be provided to all under floor areas.

VENTILATION: BCA part 3.4.1

Sub-floor areas shall be ventilated by means of evenly distributed openings with an unobstructed area of 7300mm square per lineal metre of external wall. Where particle board flooring is used the unobstructed area shall be increased to 7500mm square per lineal metre and evenly spaced. Ventilation of internal walls shall be a minimum of 2200mm 2/m run of wall. Vents to be immediately below bearers and similarly provide vents under verandah floors and suspended floor slabs. Sufficient cross ventilation to be provided through all walls below floors. No section of the under-floor area should be so constructed that it will hold pockets of still air. Appropriate special provision to be made where a gas bath heater is installed. Ventilation may be varied by Local Council.

BRICK REINFORCEMENT:

In full brick cavity walls at two courses above level of the highest opening built into each 110mm thickness one continuous strand of 64 wide galvanised metal reinforcement lapped 100mm at joints and full width of layer at intersections.

ANT CAPS:

To all brickwork and piers, at the level of underside of floor bearers, ant capping of 0.5mm gauge galvanised steel other approved metal is to be set, projecting 38mm beyond the internal faces of all brickwork and turned down at a 45 degree angle, lapped 13mm and soldered or crimped at all joints and corners so as to provide a continuous and effective barrier against termites throughout the length of the material. Whole of house protection against subterranean termite attack shall be installed in accordance with AS 3660.

TIES: BCA PART 3.3.3.1

Wall ties complying with AS/NZS2699 shall be used for all tie requirements. Corrosion protection and installation of wall ties is to comply with AS3700.

DAMPCOURSE: BCA part 3.3.4

Provide a continuous run of L.C approved dampcourse material to full width of wall thickness on all brickwork at level not higher than bottom of floor bearers and engaged piers. Dampcourse material is to be run in long lengths, lapped minimum of 100mm at joints and full width at all intersections. To wall surrounding concrete and/or solid floors and additional run of dampcourse is to be laid, one full course above floor level and stepped down to meet lower dampcourse where other walls abut walls of bathroom, shower recess or laundry. Damp proof courses and flashing shall be installed to give performance as specified in AS/NZS 2904.

VERMIN PROOFING:

13mm mesh galvanised bird wire to be built into brickwork and taken across cavity and secured to bottom plate.

FLASHING

L.C approved dampcourse material to be built in under all window sills 25mm at back of wood sill and 50mm at each end of same. Flashing to be bent down across cavity and built 25mm into veneer wall. L.C approved dampcourse material to be built in over all exposed window and external door openings.

WEEP HOLES

Perpend joints are to be left open in exterior brick walls spaced approx. 600mm in course immediately over flashings of all exposed openings and to brick retaining walls, fender walls etc. as required. See Bushfire clauses for protection of weep holes in bush fire areas.

COMPLETION

Clean all cavities. Wait upon and make good after other trades. Replace all damaged and defective bricks. Clean all exposed brickwork with diluted spirits of salts, or as otherwise recommended by the brick manufacturers, wash down with clean water and leave free from cement and mortar stains.

BRICKLAYER – (Concrete Brick) A.S 1346 - BCA part 3.3.1

Mortar: For normal conditions mortar to consist of: Above Dampcourse –

1 Part cement
2 Parts Lime or Lime
putty
9 Parts clean sand

Below Dampcourse -

1 Part cement
1 Part lime or lime
cement
6 Parts clean sand

Mortar mixes must comply with A.S 3400 (BCA parts 3.3.1.6 and 3.3.1.7)

The substitution of other plasticisers for lime is not recommended. Under no circumstances should cement be increased.

GENERALLY

Bricks are to be dry when laid in wall. When delivered on site bricks should be stacked openly and off wet ground and where practicable to be covered in wet weather. Footing courses to be grouted solid. All brickwork to be properly bonded, laid on full bed and all perpend filled.

JOINTS: BCA part 3.3.1.7

Finish all external brickwork and internal feature walls with raked joints. Finish all other brickwork with neat struck joints. U.N.O.

JOINT REINFORCEMENT AND CONTROL JOINTS: BCA part 3.3.1.8 and 3.3.1.9

In addition to reinforcement over openings as later specified provide joint reinforcement in bed joints at vertical spacings not exceeding 600mm. Control joints, providing a continuous vertical separation through the entire thickness of the wall, are to be provided as indicated on the plans or where walls exceed 9m in length, as close as practical building will permit. Reinforcement not to extend across control joints.

AUTOCLAVED AERATED CONCRETE BLOCKS:

GENERALLY

Lightweight blockwork shall be Autoclaved aerated Concrete blocks consisting of sand, cement and lime and shall be installed to areas as indicated on drawings. Site provisions for storage of materials and for the mixing of adhesive shall be as recommended by the manufacturer.

WORKMANSHIP

Fixings, fastenings, anchors, lugs and the like shall be of a type approved by the manufacturer and shall transmit the loads and stresses imposed and ensure the rigidity of the assembly. Block laying shall be in accordance with the manufacturers current published specifications.

TOLERANCES

Maximum planar misalignment shall be 2mm along butt joints. The thickness and width of walls shall not vary more than 5mm from design sizes. Deviation from plumb, level or dimensional angle must not exceed 5mm per 3.5m of length of member or 6mm in total run in any line.

INSTALLATIONS

All lightweight blockwork shall be installed using thin bed adhesive mortar to all horizontals and perpend. The first course must be made true and level using a normal thick bed mortar with thin bed adhesive to fully seal the perpend. All thin bed adhesive shall be applied using a recommended notched trowel to obtain an even distribution of adhesive to achieve joint thickness of 2-3mm. All lightweight blockwork shall be laid in a format that the vertical joint of the lower course must be staggered at least 100mm relative to the vertical joint of the overlying course. A slipjoint bond breaker must be installed between the first course and the foundations or slab on all internal and external walls to allow for differential movement between the blocks and the supporting structure. Build in as necessary all flashings, reinforcements, arch bars, lintels, frames, straps, bolts, lugs, wall ties, metalwork, precast units, sills, partitions, joists and the like. Carefully set out and leave openings for other trades to eliminate cutting.

CONTROL JOINTS: BCA part 3.3.1.8

Control joints should be built into walls at no greater than 8m centres and at locations in accordance with the recommendations of the manufacturer. Masonry expansion ties shall be installed across the joint every third course.

COMPLETION

On the completion clean out all blocks, mortar, droppings, debris etc and remove all scaffolding, make good all put-log holes and other blemishes and leave all work in perfect condition and protect until handover.

CONCRETE BLOCK and REINFORCED MASONRY: AS 3700 – BCA part 3.3.2

GENERALLY

All masonry units shall comply with AS1500 "Hollow load bearing concrete units". Masonry shall be stacked on planks off the ground and in wet weather shall be protected with tarpaulins or otherwise kept dry. At the end of each days work the top of the wall shall be covered with tar paper, polyethylene sheets or by other means protected from becoming excessively weak. Masonry units shall not be dampened prior to laying, but shall be laid in a dry state.

MORTAR: BCA PARTS 3.3.1.6 AND 3.3.1.7

Mortar shall comply with AS123 in all respects. Plasticisers may be used when approved and where tests show the mortar with plasticisers meets the requirements of these specifications.

CONSTRUCTION BEDDING

All face and end joints shall be fully filled with mortar and joints shall be squeezed tight. Slushing of mortar into joints shall not be permitted. The first course of blocks shall be laid in a full bed of mortar.

JOINTS

Joints on all exposed surfaces shall be as specified. The joint shall be formed by striking the mortar flush and after it has partially set, tooling with the proper shaped tool to adequately compact the surface. The tool shall be of sufficient length to form a straight line free from waves. Internal joints shall be ironed. Where flush joints are left exposed, they shall be first compacted, then repointed and excess mortar removed. Joints shall be 10mm thick unless otherwise specified or directed.

PATTERNS AND BOND

All walls shall be built plumb, true and level, to the thickness shown on the plans and with the pattern indicated, or running bond U.N.O

CONTROL JOINTS

Shall be located where shown and shall form a continuous vertical break from top to bottom of wall or from bond beam. Provision shall be made for adequate lateral stability. Joint shall be filled with mortar, raked back 16mm and pointed with a non-hardening plastic filler. No reinforcing shall be carried across control joints.

JOINT REINFORCEMENT: BCA part 3.3.2.3

Reinforce every 600mm in height and in the two courses immediately above and below window openings. Lap mesh at least 150mm at all joints and intersections except at control and expansion joints where a slip joint must be provided.

BRACING DURING CONSTRUCTION

Masonry wall constructed in locations where they may be exposed to highwinds during erection shall not be built higher than ten times their thickness unless adequately braced, or unless provision is made for prompt installation of permanent bracing such as intermediate floor or roof structure. Back filling shall not be placed against foundation walls or retaining walls before mortar or grouting has sufficiently hardened, or before wall has been permanently braced to withstand horizontal pressure.

WEATHERPROOFING: BCA part 3.3.4

All concrete masonry walls exposed to the weather or below ground level shall be adequately water proofed, using an approved paint or other coating and applied in accordance with the directions of the manufacturer.

CLEANING

During the progress of the work, every effort shall be made to keep walls, that are to be left exposed, clean. Mortar smears shall be allowed to dry for a short period and shall then be promptly removed. At the conclusion of the work, walls shall be cleaned down, all scaffolding and debris removed and the wall left on good clean condition.

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 2 sheet(s)

<p style="text-align: right;">Office Use Only</p> <p>Registered:</p> <p>Title System:</p> <p>Purpose:</p>	<p style="text-align: right;">Office Use Only</p>
<p>PLAN OF</p> <p>SUBDIVISION OF LOT 454 IN DP 755503</p>	<p>LGA: GUNNEDAH</p> <p>Locality: GUNNEDAH</p> <p>Parish: GUNNEDAH</p> <p>County: POTTINGER</p>
<p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> <p>I (Authorising Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown hereon have been given.</p> <p>Signature:</p> <p>Date:</p> <p>File Number:</p> <p>Office:</p>	<p style="text-align: center;">Survey Certificate</p> <p>I, <u>CLIFFORD R. STEWART</u> of <u>STEWART SURVEYS PTY LTD</u> <u>P.O. BOX 592 GUNNEDAH ACN 002 886 508</u> a surveyor registered under the <i>Surveying and Spatial Information Act, 2002</i>, certify that</p> <p>*(a) The land showed in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>, is accurate and the survey was completed on: <u>7TH NOVEMBER 2016</u></p> <p>*(b) The part of the land shown in the plan(*being/*excluding ^.....) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>, is accurate and the survey was completed on,..... the part not surveyed was compiled in accordance with that Regulation.</p> <p>*(c) the land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>.</p> <p>Signature: Dated: <u>15TH NOV 2016</u></p> <p>Surveyor ID: <u>2026</u></p> <p>Datum Line: <u>"A"~"B" (P6285-1781)</u></p> <p>Type: *Urban/*Rural- The Terrain is *Level-Undulating / Steep-Mountainous</p> <p><small>*Strike through if inapplicable. ^Specify the land actually surveyed or specify and land shown in the plan that is not the subject of the survey.</small></p>
<p style="text-align: center;">Subdivision Certificate</p> <p>I,..... *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.</p> <p>Consent Authority : <u>GUNNEDAH SHIRE COUNCIL</u></p> <p>Date of endorsement :</p> <p>Accreditation no :</p> <p>Subdivision Certificate no :</p> <p>File no :</p> <p><small>* Delete whichever is inapplicable.</small></p>	<p>Plans used in the preparation of survey/compilation</p> <p>P4612-1781, P4642-1781, P5004-1781, P5005-1781, P5006-1781, P5007-1781, P5036-1781, P5037-1781, P6285-1781, P6826-1781, DP402537, DP1074771, DP1074926</p> <p style="text-align: right;">If space is insufficient continue on Plan Form 6A</p>
<p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p>	<p>Surveyor's Reference: 3961</p>

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 2 sheet(s)

Office Use Only

Office Use Only

Registered:

PLAN OF

SUBDIVISION OF LOT 454 IN DP 755503

This sheet is for the provision of the following information as require.

A schedule of lots and addresses - See 60(c) SSI regulation 2012

Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919

Signatures and Seals - see 195D Conveyancing Act 1919

Any information which cannot fit into the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number:

Date of Endorsement:

Signatures, Seals and Section 88B Statements

SURVEYING AND SPATIAL INFORMATION REGULATION 2012: Cl. 60(c)				
LOT	STREET REFERENCE			LOCALITY
	No.	NAME	TYPE	
1	N/A	N/A	N/A	GUNNEDAH
2	N/A	N/A	N/A	GUNNEDAH
3	N/A	N/A	N/A	GUNNEDAH
4	N/A	N/A	N/A	GUNNEDAH
5	N/A	N/A	N/A	GUNNEDAH
6	N/A	N/A	N/A	GUNNEDAH
7	N/A	N/A	N/A	GUNNEDAH
8	N/A	N/A	N/A	GUNNEDAH
9	N/A	N/A	N/A	GUNNEDAH
10	N/A	N/A	N/A	GUNNEDAH
11	N/A	N/A	N/A	GUNNEDAH

PURSUANT TO SEC 88B OF THE CONVEYANCING ACT, 1919

IT IS INTENDED TO CREATE:

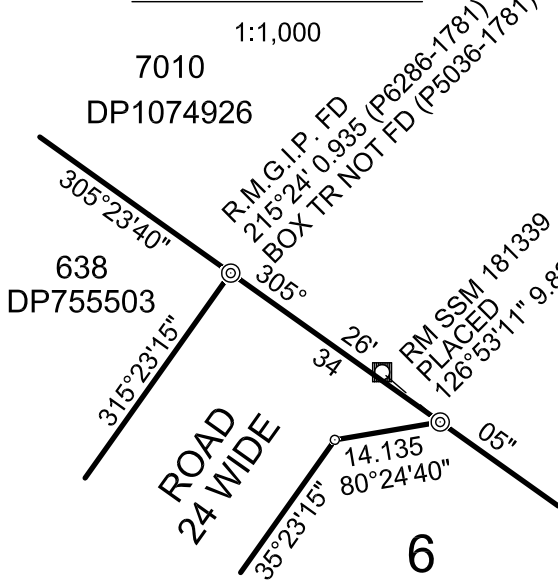
- 1] EASEMENT TO DRAIN SEWAGE 3 WIDE
- 2] EASEMENT TO DRAIN WATER 15 WIDE
- 3] EASEMENT TO DRAIN WATER 6 WIDE
- 4] EASEMENT FOR ELECTRICITY 4.2 WIDE

Surveyor's Reference:

3961

CONNECTIONS			
FROM	TO	BEARING	DISTANCE
SSM 181637	SSM 181638	16°20'43"	224.533
SSM 181638	SSM 181339	38°43'30"	242.75
SSM 181339	SSM 2085	316°23'53"	519.831
SSM 2085	PM 84468	127°08'44"	1111.208

DIAGRAM 5



LINE	CH. BEARING	CH. DISTANCE	ARC	RADIUS
1	201°30'50"	12.02	12.025	233
2	209°11'25"	50.31	50.405	233
3	27°42'45"	55.835	56	209

DIAGRAM 2

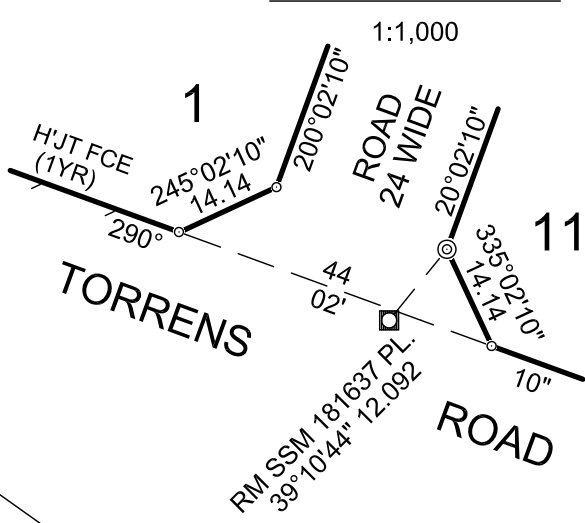
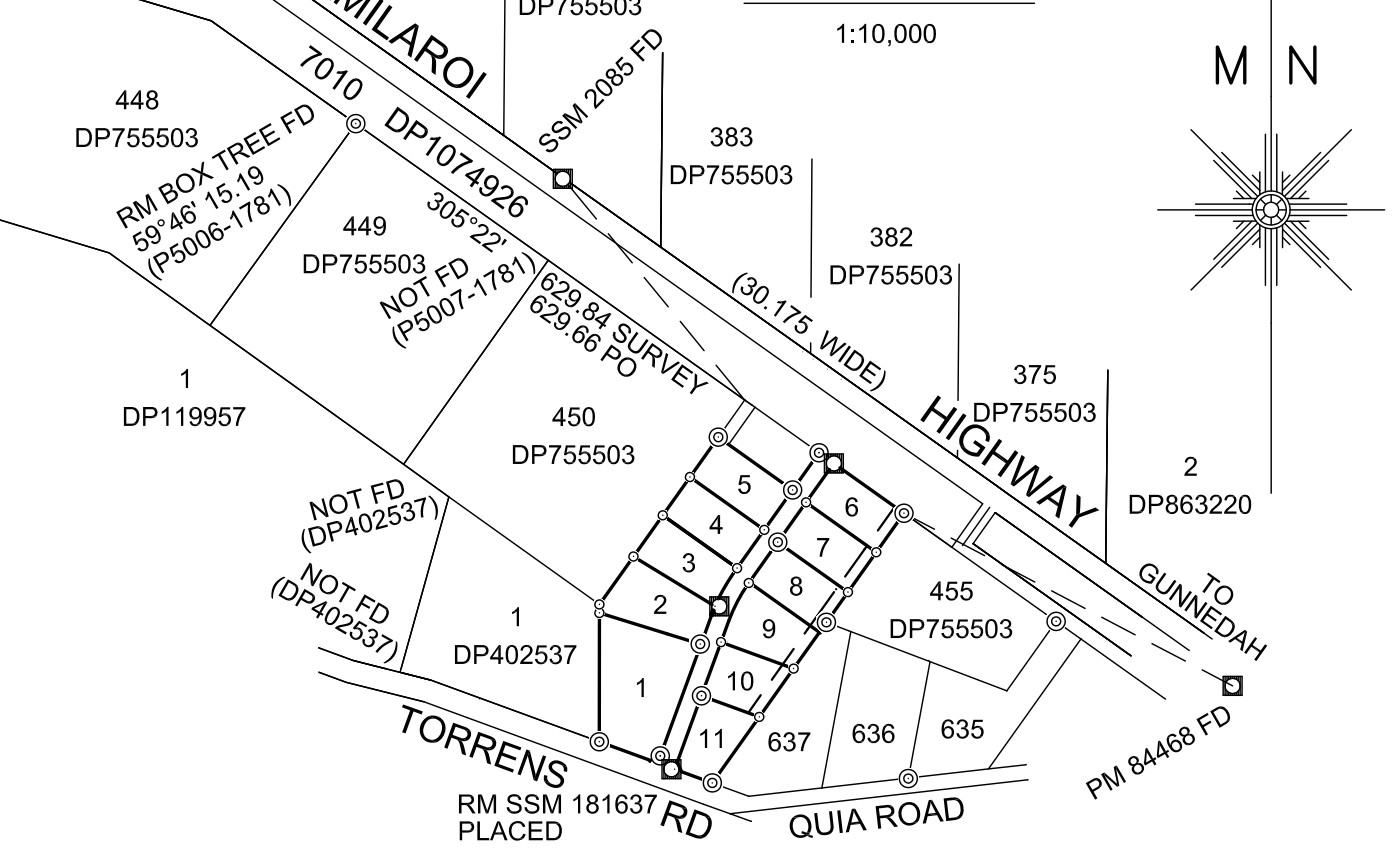


DIAGRAM 1



SURVEYING AND SPATIAL INFORMATION REGULATION 2012: CLAUSE 35(1)(b)						
MARK	M.G.A. CO-ORDINATES		CLASS	ORDER	METHOD	ORIGIN
SSM 2085	234357	6572212	U	N/A	HAND HELD GNSS	FOUND
PM 84468	235148	6571431	U	N/A	HAND HELD GNSS	FOUND
SSM 181339	234663	6571792	U	N/A	HAND HELD GNSS	PLACED
SSM 181637	234397	6571418	U	N/A	HAND HELD GNSS	PLACED
SSM 181638	234488	6571624	U	N/A	HAND HELD GNSS	PLACED
ZONE: 56						

GNSS OBSERVATIONS WERE USED ON LINES GREATER THAN 100m

DIAGRAM 4

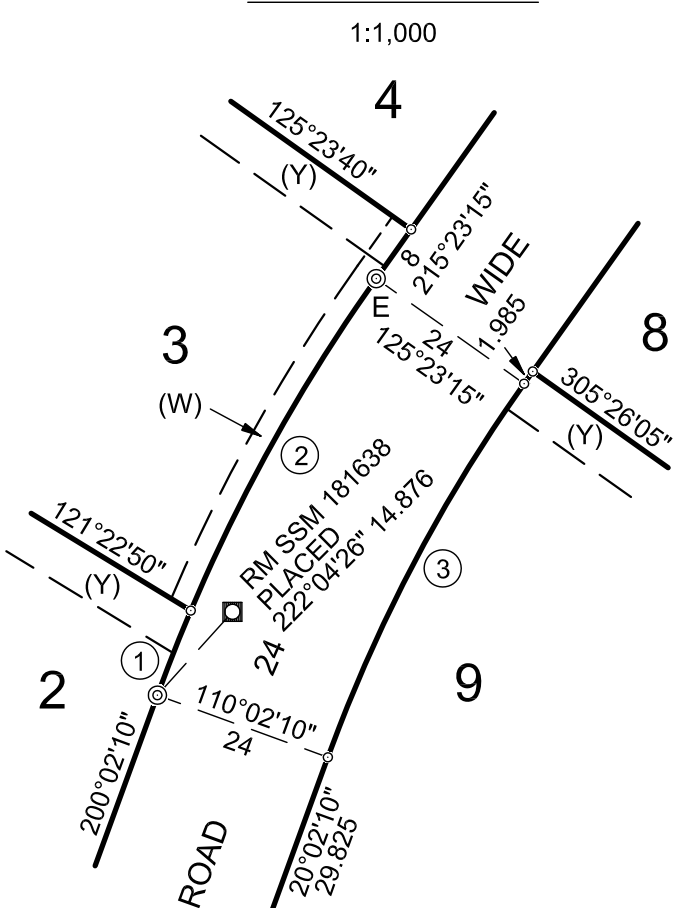
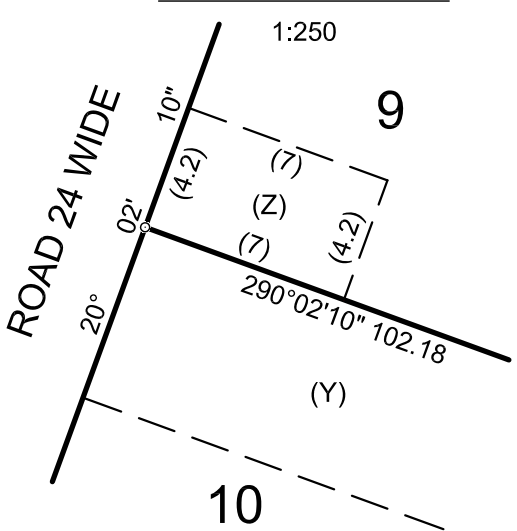


DIAGRAM 3



COR.	BEARING	DISTANCE	MARK
C	35°24'	0.78	R.M.G.I.P. FD (P6286-1781)
D	125°26'	5.165 & 18.865	R.M.D.H.&W'S
E	305°23'	5.205 & 18.805	R.M.D.H.&W'S
F	287°09'	5.21 & 18.84	R.M.D.H.&W'S
G	110°02'	5.21 & 18.805	R.M.D.H.&W'S
H	26°43'	1.175	R.M.G.I.P.

- (W) EASEMENT TO DRAIN SEWAGE 3 WIDE
(X) EASEMENT TO DRAIN WATER 15 WIDE
(Y) EASEMENT TO DRAIN WATER 6 WIDE
(Z) EASEMENT FOR ELECTRICTY 4.2 WIDE

Surveyor : CLIFFORD R. STEWART STEWART SURVEYS PTY LTD P.O. BOX 592 GUNNEDAH NSW 2380 Date of Survey : 7th November 2016 Surveyor's Ref : 3961	PLAN OF SUBDIVISION OF LOT 454 IN DP 755503	LGA: GUNNEDAH Locality : GUNNEDAH Subdivision No: Lengths are in metres. Reduction Ratio 1: 2,000	Registered DP
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CARPENTER

GENERALLY

All timber shall comply with the appropriate standard as listed below. Timber sizes to comply with AS1170.2 for serviceability and design Wind Gust Velocities (permissible stress) of 33M/s minimum. Substitution of some members may be required for higher Gust Wind Velocities and advice from local authorities Building Department or Structural Engineer should be sought as whether design W41N or higher is required.

STRESS GRADES

Visually Stress Graded Timber: Timbers whose species or place of growth is known may be visually graded for quality in accordance with AS 2082.

Mechanically Stress Graded Timber of required stress grade according to AS/NZS 1748 may be used regardless of species.

Seasoned Timbers: All timber shall be regarded as seasoned only if its moisture content does not exceed 18 per cent.

FRAMING: BCA part 3.4.3

Timber sizes in this specification are based on AS 1684.4 Simplified Non-Cyclonic areas with restrictions as follows: Maximum Wind classification N2 (33m/s) – maximum roof pitch 30° - maximum building width 12.0m - maximum rafter overhang 750mm – maximum wall height at ext. walls, floor to ceiling 2400mm. The sizes are for information only and should not be used for construction. All design for a structure within these limits should be carried out by reference to AS 1684.4

NOTE: for wind classification N3 (W41N) and N4 (W50N) Non-cyclonic areas with building widths 12.0m and up to 16.0m and with roof slopes exceeding 30° and up to 35°, design according to AS 1684.2 is required.

FLOOR FRAMING

Ground floor timbers shall be only of hardwood, Cypress pine or pressure treated Radiata or Canada pine below a height of 300mm above finished ground level and must not be built into brickwork. Subfloor ventilation shall conform to BCA part 3.4.1. In bushfire prone areas special conditions apply.

ANT CAPS

To all brickwork and piers, at the level of the underside of floorbearers, ant capping of 0.5mm gauge galvanised steel or other approved metal is to be set, projecting 38mm beyond the internal faces of all brickwork and turned down at a 45° angle, lapped 13mm and soldered or crimped at all joints and corners so as to provide a continuous and effective barrier against termites throughout the length of the material. Whole of house protection against subterranean termite attack shall be installed in accordance with AS 3660.1

BEARERS

Bearers should be laid in straight and normally parallel lines with top surfaces arranged to give level bedding for joists. Unless specifically noted as otherwise, bearers shall be located directly under all loadbearing walls, except where walls located at right angles to line of bearers, in which case piers or other approved supports shall be provided for bearers at points where they cross under such walls. Bearers having minor excesses in depth shall be brought to required level by checking out underside over supports. Packing is to be avoided but where there is no alternative, corrosion resistant and incompressible sheet material over full area of contact may be permitted. Bearers having not more than permitted spring shall be placed so that they tend to straighten under loading. Joints in bearers, unless specifically detailed otherwise, shall be made only at points of support on which adequate bearing for both members can be provided and the joint shall be secured by means of bolting or spiking against displacement or separation.

JOISTS

Joists shall be laid over bearers in straight and normally parallel lines with top surfaces set accurately to a common level to receive flooring. Underside of joists having minor excesses in depth to be notched out over bearers to obtain required common level. Packing may be employed if unavoidable similar to that of bearers, such packing to be securely fixed. Joists having not more than the permitted amount of spring shall be laid so that they tend to straighten under loading. Joints, unless specifically detailed, shall be made only over bearers or other supports. Joints occurring in joists which parallel and support wallplates shall be made at points of support which provide adequate bearing for both ends which shall be butted or scarfed to maintain a straight line. Posts shall be securely skew nailed; from both sides to bearers at all points of support. Where floor joists abut solid masonry or concrete walls, they shall be supported on timber wall plates or bearers carried on walling, off-sets or attached piers; where such method is not practicable and height of floor is more than 1800mm above ground the ends of joists or bearers may bear in pockets formed in the wall which allow at least 12mm clear air space at sides and ends of members and provide solid bearing at least 100mm in depth.

Where the unsupported span of deep joists exceed 2700mm, 50mm x 50mm herringbone strutting or solid blocking of 25mm min thickness shall be provided in continuous rows between joists at not more than 1800mm centres.

EAVES AND VERANDAH PLATES

Eaves beams and verandah plates shall be provided to support rafters or trusses over full height openings or recesses in walls or over verandahs or porches covered by main roof structure. Any reduction in normal size through mill dressing or scalloping shall be allowed for so that the minimum size listed is not reduced. The ends of eaves beams and verandah plates that are supported on stud wall shall be carried by studs or stud groups as for equivalent spans. End fixing shall provide resistance to uplift or displacement. Verandah posts to be not less than 100mm x 100mm in timber F11. If supporting roof loads they shall be as per AS 1684.2

ROOF FRAMING

Pitch of roof is to be as shown on plans and length of rafter to longest ridge to be gauged to suit full tile courses.

Roof timbers are to be seated on timber wall frames, positioned so that they are adequately supported. Where supported on masonry walling, they are to be attached to timber wall plates of minimum dimensions 75mm X 38mm unless anchored directly to masonry. Wall plates to be secured to masonry as previously specified under bricklayer, where straps are used such straps are to be drawn snugly over and secured to top of plate. See bricklayer clauses for strap locations.

ROOFING BATTENS

Supporting roofing only. (Note: roofing battens are not suitable for the safe support of workers prior to fixing roof cladding). Battens should be continuous over a minimum of two spans and their design to suit rafter/truss spacing and batten spacing must be in accordance with AS 1684 for the allowable roof mass.

TABLES OF TIMBER SIZES

Framing Member Stud Height 2400	Span	SINGLE STOREY TILED ROOF				SINGLE STOREY SHEET ROOF			
		Unseasoned F8	F5	Seasoned MGP10	MGP12	Unseasoned F8	F5	Seasoned MGP10	MGP12
BEARERS-									
Strutted roof - max. rafter span 3000									
1800 spacing continuous over two or more spans-load bearing	1500	100 x 75	2/120 x 35	2/120 x 35	2/90 x 35	100 x 75	2/90 x 35	2/90 x 35	2/90 x 35
	1800	125 x 75	2/140 x 35	2/120 x 35	2/90 x 35	125 x 75	2/120 x 35	2/120 x 35	2/90 x 35
Trussed Roof 900 Span, External Wall 1800 spacing continuous over two or more spans-load bearing	1500	175 x 75	2/170 x 35	2/140 x 35	2/140 x 35	125 x 75	2/120 x 35	2/120 x 35	2/90 x 35
	1800	150 x 75	2/190 x 35	2/190 x 35	2/140 x 35	200 x 75	2/190 x 35	2/190 x 35	2/170 x 35
JOISTS-									
450 spacing continuous over two or more spans	1800	125 x 38	120 x 45	120 x 35	120 x 35	125 x 38	120 x 45	120 x 35	120 x 35
WALL PLATES-									
Trenched for studs max. 3 @ up to 800 centres									
Raftered roof 3000 Span									
Top Plates		2/50 x 75	2/45 x 70	2/45 x 70	45 x 70	50 x 75	2/45 x 70	2/35 x 70	45 x 70
Bottom Plates		50 x 75	2/45 x 70	2/45 x 70	45 x 70	50 x 75	2/45 x 70	2/35 x 70	45 x 70
Trussed Roof 9000 Span									
Top Plates		3/50 x 75	-----	3/45 x 70	2/45 x 70	2/50 x 75	3/45 x 70	2/45 x 70	2/45 x 70
Bottom Plates		3/50 x 75	-----	3/45 x 70	2/45 x 70	2/50 x 75	3/45 x 70	2/45 x 70	2/45 x 70
JAMB STUDS- (70/75mm frame)	900	2/75 x 38	2/70 x 45	2/70 x 35	70 x 45	75 x 38	2/70 x 35	70 x 45	70 x 35
Truss or Rafter Span (9000 max.)	1800	2/75 x 50	3/70 x 45	2/70 x 45	2/70 x 35	2/75 x 38	2/70 x 45	2/70 x 45	70 x 45
Single storey or upper storey ext. or internal load bearing walls	2400	3/75 x 38	4/70 x 45	3/70 x 35	2/70 x 45	2/75 x 38	2/70 x 45	2/70 x 45	2/70 x 35
	3000	2/75 x 50	4/70 x 45	3/70 x 45	2/70 x 45	2/75 x 50	2/70 x 45	2/70 x 45	2/70 x 35
STUDS under concentrated loading @ 600 centres notched up to 20 for bracing Roof area 15m ²		3/75 x 50	-----	3/70 x 45	2/70 x 45	2/75 x 50	2/70 x 45	2/70 x 35	70 x 45
LINTELS-									
Raftered roof 3000 Span	900	75 x 75	90 x 35	90 x 35	90 x 35	75 x 50	90 x 35	90 x 35	90 x 35
	1200	100 x 50	2/90 x 35	90 x 45	90 x 35	100 x 38	120 x 35	90 x 45	90 x 35
	1500	125 x 75	120 x 45	2/90 x 35	2/90 x 35	100 x 75	120 x 45	90 x 45	90 x 35
	1800	150 x 75	2/120 x 45	2/120 x 35	120 x 45	125 x 50	2/90 x 45	2/90 x 35	90 x 45
	2100	175 x 75	1/90 x 35	1/70 x 35	2/120 x 45	125 x 75	2/120 x 35	2/90 x 35	2/90 x 35
	2400	200 x 75	2/170 x 45	2/140 x 45	2/140 x 35	150 x 75	2/120 x 35	2/120 x 35	120 x 45
	3000	2/50 x 75	2/240 x 35	2/190 x 45	2/170 x 45	200 x 75	2/170 x 35	170 x 45	2/140 x 35
	3600	300 x 75	2/290 x 35	2/240 x 45	2/24 x 35	250 x 75	2/240 x 35	2/160 x 45	2/170 x 45
Trussed Roof 9000 Span	900	100 x 75	2/90 x 35	90 x 45	90 x 35	100 x 50	2/90 x 35	90 x 45	90 x 35
	1200	125 x 75	2/120 x 35	120 x 45	2/90 x 45	140 x 45	2/90 x 45	2/90 x 45	2/90 x 35
	1500	175 x 75	2/140 x 45	2/120 x 45	2/120 x 45	150 x 50	2/120 x 35	2/140 x 35	2/90 x 45
	1800	200 x 75	2/170 x 45	2/170 x 35	2/140 x 35	150 x 75	2/140 x 35	2/120 x 35	2/120 x 35
	2100	225 x 75	2/240 x 35	2/170 x 45	2/170 x 35	175 x 75	2/170 x 35	170 x 45	2/120 x 45
	2400	275 x 75	2/240 x 35	2/240 x 35	2/190 x 45	200 x 75	2/170 x 35	2/170 x 35	2/140 x 45
	3000	-----	2/290 x 45	2/290 x 35	2/240 x 45	250 x 75	2/240 x 35	2/190 x 45	2/190 x 35
	3600	-----	-----	-----	2/290 x 45	-----	2/290 x 35	2/290 x 35	2/240 x 45

NOTES

1. Cantilevers shall not exceed 25% of the allowable span, except that allowable offsets and cantilevers of load bearing walls at right angles to bearers shall be as per Table 4.1 of AS 1684.4
2. Multiple members shall be vertically nail laminated according to clause 2.3 of AS 1684.4
3. Edge distances for some sheet bracing materials may require a minimum plate depth and or minimum stud breadth of 45mm for joining sheets.
4. For opening greater than 900mm a secondary jamb stud may be required to support a lintel as per tables.

SINGLE STOREY SHEET ROOF

Framing Member Stud Height 2400	Span	Unseasoned				Seasoned		
		F5	F7	F8	F11	F5	MGP10	MGP12
STRUTTING BEAMS @ 2400 centres	2400	200 x 75	200 x 75	175 x 75	175 x 75	2/170 X 35	2/140 X 45	2/140 X 35
max. rafter span 3000	3000	225 x 75	225 x 75	225 x 75	200 x 75	2/190 X 35	2/170 X 45	2/170 X 35
under purlin span 2400	3600	275 x 75	250 x 75	250 x 75	225 x 75	2/240 X 35	2/190 X 45	2/170 X 45
RAFTERS @ 900 centres roof mass 20kg/m ² continuous over two or more spans	3000	125 x 38	125 x 38	100 x 50	100 x 38	120 x 35	90 x 45	90 x 35
Overhang		500	500	700	750	450	450	500
UNDERPURLINS CONTINUOUS SPAN Max rafter span 3000, Max strut spacing 2400		125 x 75	125 x 75	125 x 75	100 x 75	2/90 x 35	2/90 x 45	2/90 x 35

Where top plates are required to bear a load arising from the placement of a roof strut, such strut shall be located only at a point immediately above a supporting stud unless the top plate is adequately stiffened by means of intermediate blocking pieces. Where bottom plates are required to carry a stud to the side of an opening or a stud bearing a major load, the plates shall be supported by a joist or intermediate blocking piece directly beneath that stud. Double studs to be well spiked to ensure their action as one structural member. The above tables refer to size of studs notched up to 20mm for bracing. For sizes of studs not notched refer to AS 1684.

For doorway openings up to 900 wide where jamb linings of other comparable stiffening is used, common studs are permissible. Lintels over 175mm deep to be seasoned or a low shrinkage timber species used.

HIPS

- Depth of common rafter + 50 X 13 less than rafter thickness

RIDGE BOARDS

- Depth of common rafter + 50 X 25 thick

VALLEY RAFTERS

- Depth of common rafter + 50 X 38 thick

CEILING JOISTS, HANGING BEAMS, VALLEY BOARDS, COLLAR TIES

- As for tiled roofs

For floor joists at 450 centres over single 1800 spans, 100 X 50 unseasoned F8 or F11 can be used. For Bearers and joists of other stress grades and spans refer to AS 1684.4 or AS 1684.2

Direct load in relation to top plates is where rafters or trusses are placed within 1.5 times the thickness of the plate from the stud; random load is where the placement of rafters or trusses exceeds that limit. Where points of fixing of studs on bottom wall plates occurs directly above points of supports provided by joists, blocking pieces or by concrete floors, bottom wall plate may be as shown above for direct load.

GABLES OR VERGES

Where open gables or verges are indicated on plans such are to be formed as extensions to main roof with rafters supported on cantilever extensions of ridge boards, underpurlins and wall plates. Extension to wall plates shall be same size as underpurlin. Alternatively the overhang shall be frames with jack rafters set at right angles to and framed into the common rafters.

Where boxed gables are indicated, such gables shall be framed as above but with 75 x 50mm gable studs halved to side of verge rafters at centres to suit lining material and having 75 x 38mm soffit bearers fixed between the lower ends of gable studs and the structural walls as for boxed eaves. Horizontal location for gable studs and fixing for lower edges of gable linings shall be provided by a 75 x 38mm plate-on-

edge let into face of gable stud level with the soffit bearers. Boxed gables shall be securely strutted from the structural wall plate to support the weight of the gable framing and the roof covering.

UNCOUPLED ROOF WITH LOAD BEARING RIDGEBEAMS AND/OR WALLS

Rafters supporting roof and ceiling loads – non coupled cathedral roof single span.

Rafter Span	Rafter Spacing	Unseasoned				Seasoned			
		F5	F7	F8	F11	F5	MGP10	MGP12	F17
Tiled Roof Ceiled	3000	200 x 38	200 x 50	175 x 50	175 x 50	175 x 45	140 x 45	140 x 45	140 x 35
	Overhang	750	750	750	750	750	750	750	750
3600	Overhang	250 x 50	225 x 50	225 x 60	200 x 60	240 x 35	170 x 45	170 x 45	170 x 35
	Overhang	750	750	750	750	750	750	750	750
4200	Overhang	275 x 50	275 x 50	250 x 50	250 x 50	240 x 45	240 x 35	190 x 45	190 x 45
	Overhang	750	750	750	750	750	750	750	750
4800	Overhang	275 x 75	275 x 75	300 x 50	275 x 50	260 x 35	240 x 45	240 x 35	240 x 35
	Overhang	750	750	750	750	750	750	750	750
5400	Overhang	-----	300 x 75	300 x 75	275 x 75	-----	290 x 35	290 x 35	240 x 45
	Overhang	750	750	750	750	750	750	750	750
Sheet Roof Ceiled	3000	175 x 50	175 x 50	175 x 50	150 x 50	140 x 45	140 x 35	120 x 45	120 x 45
	Overhang	750	750	750	750	750	750	750	750
3600	Overhang	225 x 50	200 x 50	200 x 50	200 x 50	170 x 45	170 x 35	140 x 45	140 x 45
	Overhang	750	750	750	750	750	750	750	750
4200	Overhang	250 x 50	250 x 50	225 x 50	225 x 50	240 x 35	190 x 45	170 x 45	170 x 45
	Overhang	750	750	750	750	750	750	750	750
4800	Overhang	300 x 60	275 x 50	275 x 50	250 x 50	240 x 45	240 x 35	190 x 45	190 x 45
	Overhang	750	750	750	750	750	750	750	750
5400	Overhang	300 x 75	275 x 75	300 x 50	275 x 50	250 x 35	240 x 45	240 x 35	240 x 35
	Overhang	750	750	750	750	750	750	750	750

NOTE:

- Allowable overhangs are based on a minimum birdsmouth depth of D/3. Where rafters are not birdsmouthed, the allowable overhang may be increased to 30% of the single span for that member, provided that the overhang does not exceed 50% of the actual backspan
- Overhang limits are only applicable where rafter ends are supported by a structural fascia.

NOTES: Member sizes shown in the above table are for structures with an upper floor joist maximum span of 4800mm (for greater spans see AS 1684.2)

Direct load in relation to top plates is where first floor joists are placed within 1.5 times the thickness of the plate from the stud, random load is where placement of the joists exceeds that limit. Direct load in relation to bottom plates is where stud bearing occurs directly above points of support provided by a joist, blocking pieces or by concrete floors. Refer to single storey table for upper floor wall framing and roof. For doorway openings up to 900 wide where jamb linings or other comparable stiffenings are used common studs are permissible.

NOTE: Sizes shown in tables in this specification are intended only as a guide to the size and stress grade for a particular member of a building frame. All timber framing should be designed and constructed in accordance with AS 1684.2 and / or AS 1684.4

Sizes in this specification are based on AS 1684.4 Simplified Non-Cyclonic areas, with restrictions as follows:

- Maximum wind classification N2 (33m/s)
- Maximum roof pitch 30°
- Maximum building width 12.0m

Where a building exceeds the restrictions as listed above, design to comply with AS 1684.2 and will allow wind speeds up to N4 (50m/s), roof slopes up to 35° and building widths up to 16.0m.

PERMANENT BRACING OF WALLS AS PER AS 1684.2 Section 8 – BCA parts 3.4.3.8, 3.4.3.11, 3.4.3.19, 3.4.3.20 and 3.4.3.21

This section 'Permanent Bracing of walls as per AS1684' shows typical bracing applicable to timber frame construction as explanatory information only.

TYPE A UNITS: (Design racking resistance of 2kN). The Following Bracing units are deemed satisfactory type "A" braces.

- A pair of diagonal timber or metal section braces in opposite directions from each end of the wall as per figure (A) or galvanised metal tensioned strap bracing as per figure (B)
- Single diagonal timber or metal section brace as per figure (C).
- A 900mm minimum wide panel of structural plywood as per figure (D).

Type 'A' Bracing – Pair of diagonals from each end of wall		
Timber	Metal Section	Tensioned Straps
50mm x 19mm for studs up to 2.7m long 75mm x 19mm for studs over 2.7m long Fixing: galvanised flat head nail 2.8mm dia. x 50mm long to each plate and stud.	18mm x 18mm x 1.2mm min. galvanised angle brace fixed with one 2.8mm dia. x 30 long galvanised flat head nail to each plate and stud edge.	Flat galvanised straps 0.8mm thick x 20 wide. Fixings: one galvanised flat head nail 2.8mm dia. x 30mm long to each plate and stud edge. Tension straps.
Type 'A' Bracing – Single diagonal at end of wall.		
Timber	Metal Section	
75mm x 19mm min. fixed with two 2.8mm dia x 50mm long flat head galvanised nails to each stud and plate.	Galvanised angle brace fixed with two 2.8mm dia x 30 long galvanised flat head nails to each plate and stud.	

TYPE B UNITS: (Design racking resistance of 4kN). The following bracing units are deemed satisfactory type 'B' braces.

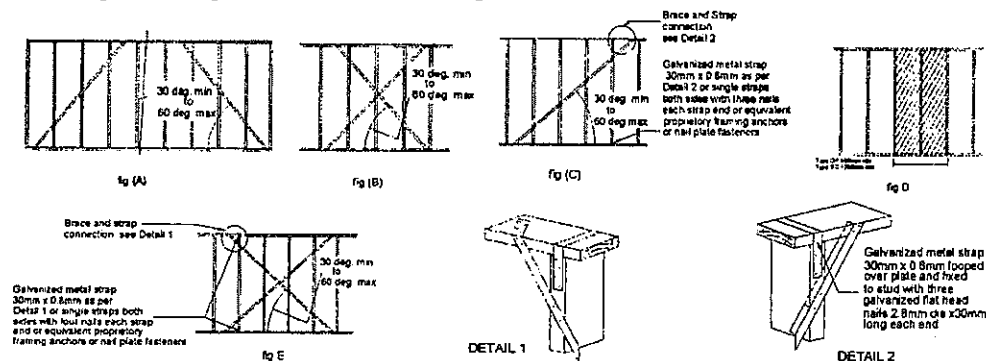
- A pair of diagonal galvanised metal tension straps of minimum nominal dimension 30mm x 0.8mm in opposing directions on one side of the timber frame. Ends of straps shall be bent over top and bottom faces of plates and fixed with four 3.15mm dia. X 30mm long galvanised flat head nails. Braces shall be fixed to stud edges with two similar nails to each crossing. End studs of braces section shall be strapped to top and bottom plates with 30mm x 0.8mm galvanised strap looped over plate and fixed to studs with four galvanised flat head nails 3.15mm dia. X 30mm long each end of loop.
- A 900mm minimum wide panel of structural plywood as shown in figure (D). Fixed as follows:

Plywood stress grade F8
Plywood stress grade F11
Plywood stress grade F14

Stud spacing 450mm to be 7mm thick ply.
Stud spacing 450mm to be 6mm thick ply.
Stud spacing 450mm to be 4mm thick ply.

Stud spacing 600mm to be 9mm thick ply.
Stud spacing 600mm to be 7mm thick ply.
Stud spacing 600mm to be 6mm thick ply.

Fixing: 2.8mm dia. X 30mm long galvanised flat head nails at 50mm centres along top and bottom plates, 150mm centres along vertical edges and 300mm centres along intermediate studs.



Diagrams as shown and explanation of the various types of bracing are not intended to specify bracing requirements for any timber frame construction. All bracing requirements for a particular design in timber framing must be determined in accordance with Section 8 of AS 1684.2 or AS 1684.4 as applicable.

TIEDOWN REQUIREMENTS – BCA tables 3.4.3.8, 3.4.3.9 and 3.4.3.18

Tie down requirements for timber frame construction can be determined from AS 1684.4 Section 9 for maximum design wind gust speeds of 33m/s. For wind speeds in excess of 33m/s, design as per AS 1684.2 is required.

Tie down fixing should be determined for the following connections:

- | | | |
|---|------------------------------------|---------------------------------------|
| (a) Bearers to piers | (d) studs to bottom and top plates | (g) battens and/or purlins to rafters |
| (b) Floor joists to bearers | (e) rafters to top plates | (h) collar ties to rafters |
| (c) Bottom plates to floor joists or conc. slabs to posts | (f) rafters to ceiling joists | (i) verandah plates and eaves beams |

Note: Special fastening requirements are required for type 'A' and 'B' wall bracing for connections (c) and (d) above.

ROOFER – BCA part 3.5.1

PROFILED STEEL ROOF – BCA part 3.5.1.3

To be material as nominated on drawings. All necessary accessories to be provided and fixed according to manufacturers recommendations. Roof is to be bird proofed. Sheet fixings and spacings are to be strictly as per manufacturers recommendations for the design wind speeds for the area. Design and installation shall be in accordance with AS/NZS 1562

FLOORING – BCA part 3.4.3.4

T & G STRIP FLOORING – BCA table 3.4.3.1

Flooring shall be seasoned and stored in a way to preserve its delivery condition. Flooring boards shall be laid in straight and parallel lines with tongues fitted into grooves and cramped together with pressure suited to moisture content and seasonal conditions. End joints shall be made on a joist and joints in adjoining boards should be staggered. Flooring shall be kept 12mm clear of walls or wall plates parallel with the direction of laying. Boards of normal width of 75mm and less shall be fixed with one nail at each joist and board over 75mm shall be fixed with two nails at each joist. Nails in faces of boards are to be well punched to allow for subsequent sanding and stopping. Boards profiled for secret nailing are to be skewed nailed through tongues at each joist with nail punched to permit the full entry of the tongue into the groove. Flooring is not to be cut in and fixed before roofing is complete, external walls sheeted or lined and all external openings covered.

ELECTRICIAN

Provide all labour and materials necessary for the proper installation of electrical services in accordance with the appropriate AS rules and requirements of the Local Supply Authority. Arrange with the supply authority for connection from supply main to meter board. Provide for the proper installation and connect electricity stove/s and hot water unit/s. Provide light and power points as indicated on drawings or by proprietor and in accordance with AS/NZS 1680. Provide box to enclose meters in accordance with the requirements of the authority concerned. Arrange for inbuilt wiring for telephone, television, computer and security installations as required.

JOINER

GENERALLY

Joinery timber is to be durable species seasoned and fresh from defects which might effect its appearance and or durability. All to be D A R accurately cut and fitted, properly mitred and scribed as required and securely fixed. All surfaces to be left free of mill marks or other defects, filled where necessary and ready for painting or staining. Where wood plugging is required it shall be a suitable species properly seasoned.

STAIRS AND HANDRAILS – BCA 3.9.1 and 3.9.2

Stairways shall be constructed to the layout as shown on plans with treads of equal dimensions except where shown or where winders are required. All risers in any flight shall be of equal height. All flights shall have a minimum of 2 and not more than 18 risers. Vertical clearance above stairs shall be 2000mm min. to soffit of floor or structure above when measured vertically above nose of tread. Relationship of riser to

going shall be between 1:2 and 1: 1.35 unless otherwise directed or as permitted in AS 1657. Balustrades shall be provided to all landings, decks, roofs other elevated platforms where the vertical distance from that level is more than 1 metre above the adjoining floor or finished ground level. Height of the balustrade must be a minimum of 1 metre above landing etc. and not less than 865mm above the nosing of any stair treads or floor of a ramp. Openings in balustrade (decorative or otherwise) and space between treads, eg. Riser opening must not allow a 125mm dia. Sphere to pass through. Resistance to loading forces of a balustrade must be in accordance with AS 1170. Materials and finish of handrails, newel posts and balustrading shall be as directed or agreed by owner. Where balustrades are constructed of tensioned wires provision shall be made to maintain tension applied.

PLUMBER AND DRAINER

EAVES GUTTERS AND DOWNPIPES

Eaves gutters and downpipes of material and finish as nominated on drawings shall be installed as per manufacturers specification to all eaves as required with falls to downpipes in positions shown or nominated by owner and to comply with AS/NZS 2179.

FLASHINGS

Flash around chimney stacks, exhaust flues and wherever else is required with approved flashings dressed well down onto roof slopes and taken vertically at least 75mm. Wedge step flashing into brickwork joints and point up with cement mortar. Eaves gutters, valleys and roof flashings shall be selected from materials compatible with each other and the roof covering to prevent bi-metallic corrosion. (See BHP publications TB8, TB15). Use of lead for flashings, gutters, downpipes and roofing is prohibited if the roof will collect potable water.

STORMWATER TREATMENT METHODS

Provide roof water drains from downpipes and from grates in paving where shown on plans. Drains to be 100mm socketed vitrified clay pipes of PVC laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the site they are to discharge at least 3000mm clear of the building into rubble packing 600mm diameter and 600mm deep. Acceptable solutions for stormwater drainage to be as per AS/NZS3500 part 3.2. Stormwater treatment systems should satisfy the following performance requirements:

1. Conserve water 2. Prevent increases in flooding/erosion. 3. Maintain water balance 4. Control stormwater pollution

Systems suitable for detached dwellings are: Roof / Rainwater tank: Detention Device: Infiltration device and filter strips. These are also suitable for multi-dwelling developments in addition to Stormwater tanks and Bio retention devices.

RAINWATER TANKS

Install rainwater tanks of selected material on slab or support as nominated by tank manufacturer. Rainwater tanks may be trickled topped up (max 2litres/minute) from a potable water supply main and internally reticulated. A dual supply system should have no direct or indirect connection between the mains potable supply and the rainwater tank supply. Inground concrete tanks may be installed as an option with a suitable pressure pump and a testable backflow prevention device as per AS/NZS 2845.1. Where an above ground tank is connected to an internal reticulation, a meter with a dual check valve is to be installed and a visible air gap between the mains supply and the rainwater tank as per AS3500 and AS2845.1 (see NSW Health circular 2002/1: Use of rainwater tanks where a reticulated mains supply is available).

NOTE: Drain pipes must not be taken through the footings of the building. All seepage and soakage water is to be effectively dealt with and diverted clear of the buildings as shown on plan. Trenches for drains where running parallel to the building must not be within 600mm of the footings of the building.

PAINTER

GENERALLY

All paints, stains, varnishes and water colours are to be of approved brands as selected. Materials used for priming and undercoating are to be the same brand as the finishing paints or as recommended by the manufacturers of the finishes used. All finishing colours are to be selected by the proprietor. Do all necessary stopping after the priming has been applied. Rub down all surfaces to a smooth finish prior the application of each successive coat of paint. External joinery or other exposed woodwork to have a clear plastic finish is to be treated with a priming oil containing wood preservative and a water repellent.

EXTERNALLY

All external woodwork to be given one coat of primer, one coat of oil based undercoat and one coat of gloss finish enamel or to be given one coat of clear primer, one coat of flat clear plastic and one coat of clear plastic.

IRONWORK

Eaves, gutters, downpipes, exposed service pipes and wrought iron etc. to be cleaned and primed and give one coat of gloss paint all round.

FIBRE CEMENT

Clean and prepare all external fibre cement surfaces and finish with two coats of water based paint.

COMPLETION

The Builder shall be completed in every trade. Sashes, doors, locks and all other equipment shall be checked and left in a satisfactory operating condition. Timber floors shall be at least rough sanded. Where fine sanding is specified see CA39: Code of practice for sanding interior wooden floors. All plant, surplus materials and rubbish is to be removed from site. Gutters and drains shall be cleared and the building generally left clean and fit for occupation.

The builder is to furnish the owner with:

1. Notification of Completion
2. All keys for all doors
3. Certificate of termite protection treatment
4. Certificate from Sewerage Authority re-sanitary drainage
5. Invoices for all PC items required.

It is the responsibility of the builder to arrange any inspections necessary by Local Council, Waterboard or Lending Authorities and/or Principal Certifying Authority.

It is the responsibility of the owner to apply to Local Supply authorities for connection of electricity from mains to meter box.

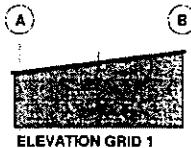
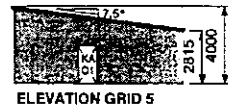
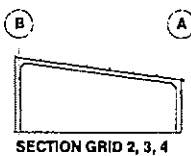
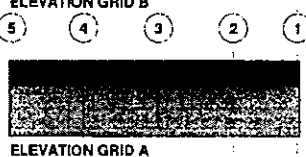
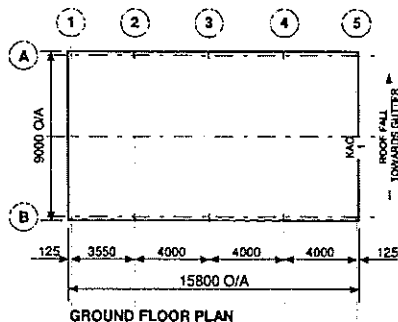
'APPROVAL TO OCCUPY' MUST BE OBTAINED BEFORE TAKING OCCUPATION OF THE BUILDING.

Gunnedah Shire Council
DEVELOPMENT CONSENT
 Environmental Planning and Assessment Act 1979

Development Consent No. 556181

This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011



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 Lyseight Building
 Solutions Pty Ltd
 trading as RAHSUILD

CLADDING			
ITEM	PROFILE (m/a)	FINISH	COLOUR
ROOF	TRIMDEX 0.42	COLORBOND	PE
WALLS	TRIMDEX 0.35	COLORBOND	PE
CORNERS		COLORBOND	PE
BARGE		COLORBOND	PE
GUTTER	SHEERLINE	COLORBOND	SH
DOWNPIPE	100x75	COLORBOND	SH

0.35 bmt=0.49tct; 0.40 bmt=0.47tct; 0.48 bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND		
QTY	MARK	DESCRIPTION
1	KA01	Access Door Opening, 38 Recess ZL (B0). Door must be 1500

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

WIND DESIGN		
IMPORTANCE LEVEL	REGION	TERRAIN
2	A	3

CLIENT
 MacKellar Equipment Hire

SITE
 16 Torrens Road
 GUNNEDAH NSW 2380

BUILDING
 BIG G SKILLION
 9000 SPAN x 2815/4000 EAVE x 15800 LONG

TITLE
 FLOOR PLAN & ELEVATION

SCALE A4 SHEET 1:250	DRAWING NUMBER TAMW03-2352	PAGE 1/1
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Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
 Environmental Planning and Assessment Act 1979

Construction Certificate No. 556181

Development Consent No. 556181

Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011

Gunnedah Shire Council
 PRINCIPAL CERTIFYING AUTHORITY



BlueScope Steel Limited
ABN 16 000 011 058
27 Sterling Road Minto NSW 2770
PO Box 7121 Blacktown Business Centre NSW 2148
Telephone +612 8887 5114
Facsimile +612 9675 4911
www.bluescopesteel.com

Enquiries to: Alexander Filonov

22nd June 2011

The Manager
Ranbuild
PO Box 170
HAMILTON NSW 2303



Dear Sir/Madam,

Re: STRUCTURAL ADEQUACY OF STEEL FRAMED BUILDING

Client: MacKellar Equipment Hire
Ranbuild Job No.: 321604
Type: Big G
Location: 16 Torrens Road GUNNEDAH NSW 2380
Plans: TAMWO3-2352, ENG1/1-1681-002352, ENG2/1-1681-002352, ENG3/1-1681-002352, ENG3/2-1681-002352, ENG4/1-1681-002352, ENG4/2-1681-002352, ENG5/1-1681-002352, ENG5/2-1681-

2001 LQ

Being a professional engineer within the meaning of the Building Code of Australia (A1.1) with BlueScope Lysaght Technology we have undertaken a structural analysis of the steel framed building as described above. These plans were analysed in accordance with Codes of Practice: AS/NZS 1170.1, AS/NZS 1170.2, AS4100, AS2870 and AS/NZS 4600.

Based on our structural analysis, we are satisfied that the standard engineering drawings attached are suitable for the above project with the following modification.

No modifications required.

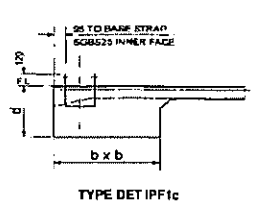
Yours faithfully,

Alexander Filonov
MIEAust, CPEng, NPER 1296608 (Structural), RPEQ 8094, CC4719P, EC27759, 24332ES
Product Development Manager
BlueScope Lysaght Technology

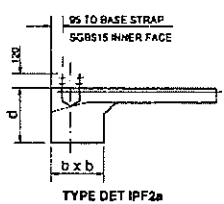
BlueScope is a trademark of BlueScope Steel Limited

Gunnedah Shire Council DEVELOPMENT CONSENT Environmental Planning and Assessment Act 1979 556181 Development Consent No..... This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent. Date 16/11/2011
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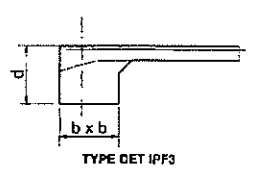
Gunnedah Shire Council CONSTRUCTION CERTIFICATE Environmental Planning and Assessment Act 1979 556181 Construction Certificate No..... 556181 Development Consent No..... Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent. Date 16/11/2011 Gunnedah Shire Council PRINCIPAL CERTIFYING AUTHORITY
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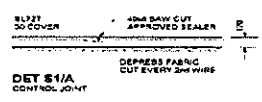
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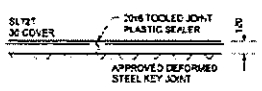
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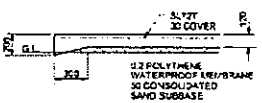
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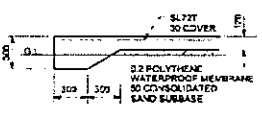
DET S1/A
CONTROL JOINT



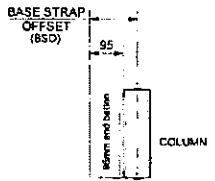
DET S1/C
CONSTRUCTION JOINT



DET S1/EB1
NOT SUITABLE AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



COLUMN STRAP	BASE STRAP OFFSET
SGBS15	125mm
SGBS20	135mm
SGBS25	135mm
SGBS30	145mm
SGBS35	160mm

Cont. on page 3



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NOTES

FOR PAD FOOTING DIMENSIONS & STRAP NOTATION, REFER TO THE INTEGRAL PAD FOOTING SCHEDULE LOCATED ON A SEPARATE PAGE OF THIS DRAWING.

IT IS IMPORTANT TO NOTE THAT DIMENSIONS MAY NOT ALWAYS BE TO CENTRE LINES.

ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

SEE ENGINEERING DRAWINGS FOR SITE NOTES, CONCRETE REINFORCEMENT NOTES, CONCRETE NOTES, SLAB ON GRADE NOTES AND ADDITIONAL INTEGRAL PAD FOOTING NOTES.

PROVIDE CONSTRUCTION JOINTS SO THAT THE MAXIMUM UNBROKEN RUN OF CONCRETE IS 20m IN EITHER DIRECTION

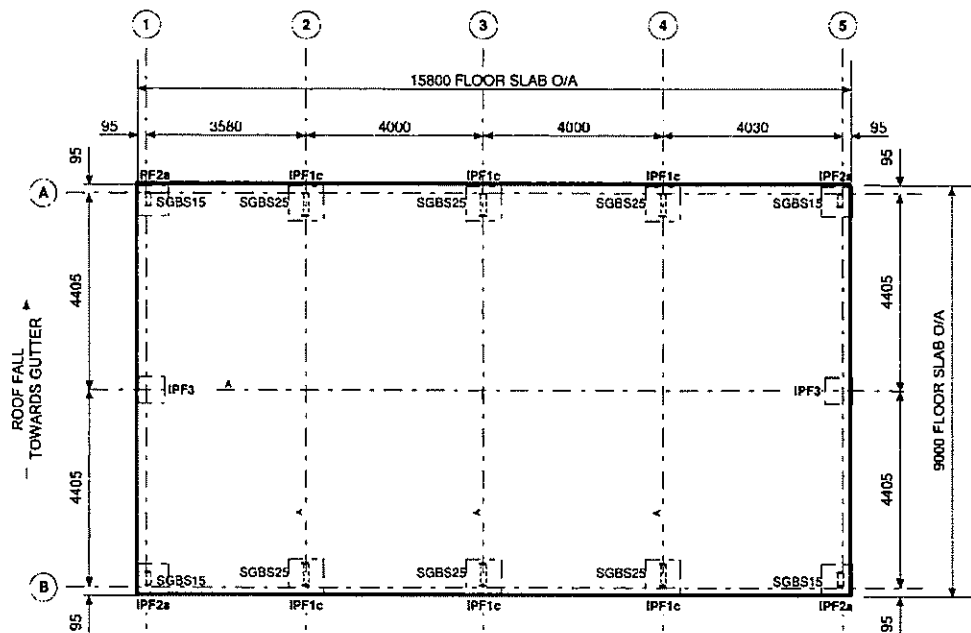
SET DOWN ALL SHADED AREAS 50mm

CLIENT MacKellar Equipment Hire		
SITE 16 Torrens Road GUNNEDAH NSW 2380		
BUILDING BIG G SKILLION 9000 SPAN x 2815/4000 EAVE x 15800 LONG		
TITLE INTEGRAL PAD FOOTING & RC FLOOR DET		
SCALE NTS	DRAWING NUMBER IPF-2352	PAGE 1/3

GUNNEDAH SHIRE COUNCIL



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Cont. on page 1

SCALE NTS	
DRAWING NUMBER IPF-2352	PAGE 2/3

Cont. on page 1

GUNNEDAH SHIRE COUNCIL

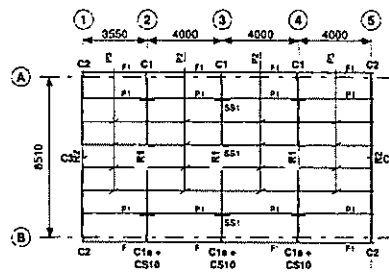


INTEGRAL PAD FOOTING SCHEDULE

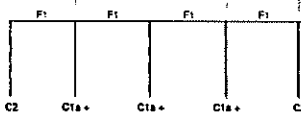
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A	1, 5	IPF2a	SGBS15	350 x 350 x 350
A	2, 3, 4	IPF1c	SGBS25	400 x 400 x 400
AB	1, 5	IPF3		300 x 300 x 300
B	1, 5	IPF2a	SGBS15	350 x 350 x 350
B	2, 3, 4	IPF1c	SGBS25	400 x 400 x 400

SCALE N1S	
DRAWING NUMBER IPF-2352	PAGE 3/3

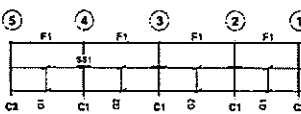
GUNNEDAH SHIRE COUNCIL



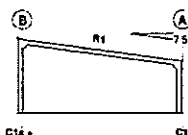
ROOF PLAN



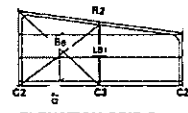
ELEVATION GRID B



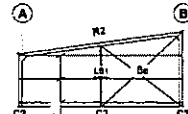
ELEVATION GRID A



SECTION GRID 2, 3, 4



ELEVATION GRID 5



ELEVATION GRID 1



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REFERENCE DRAWINGS

STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTIONS
RC FLOOR & BORED PIER
ISOLATED BORED PIER
RC FLOOR & RETENTION WALLS
RC SLAB DET'S, CONC SPEC & SITE NOTES

ENG-1-2352
ENG-2-2352
ENG-3-2352
ENG-4-2352
ENG-5-2352
ENG-6-2352
ENG-7-2352

CLIENT

MacKellar Equipment Hire

SITE

16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE

Big G Skillion

BUILDING DIMENSION

9000S x 2815/4000E x 15800L

TITLE

STEEL FRAME DIAGRAMS

APPROVED

22/05/2011

DRAWN

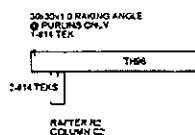
808

SCALE

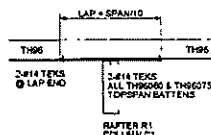
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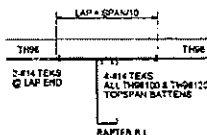
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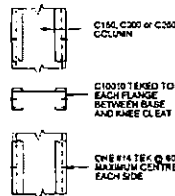
BATTEN CONNECTION - BC1



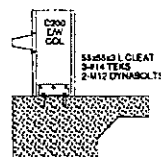
BATTEN CONNECTION - BC2



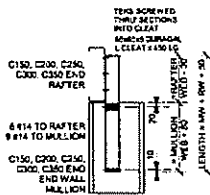
BATTEN CONNECTION - BC3



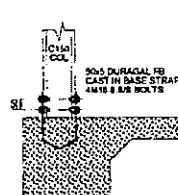
COLUMN STIFFENER - CS10



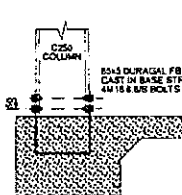
EW COLUMN BASE - EB2



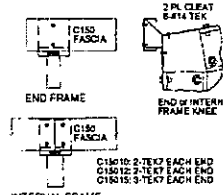
EW COLUMN TO RAFTER
CONNECTION ER1



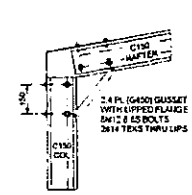
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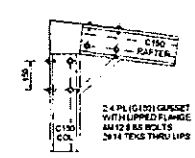
FIXED BASE - FB3



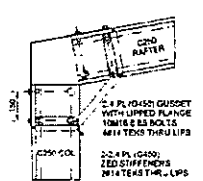
FASCIA CONNECTION - FK1



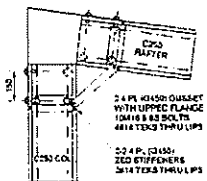
LOWER KNEE CONNECTION - KN1L



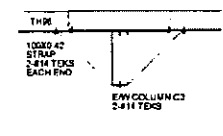
UPPER KNEE CONNECTION - KN1U



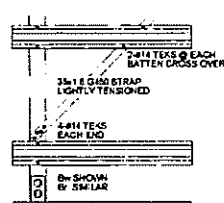
LOWER KNEE CONNECTION - KN1L



UPPER KNEE CONNECTION - KN1U



LATERAL BRACE DET - LB1



STRAP BRACING - SB1



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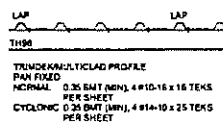
REFERENCE DRAWINGS
STEEL FRAME DIAGRAM EN01-2352
STEEL FRAME SCHEDULE EN02-2352
FRAME CONNECTIONS EN03-2352
AC FLOOR & BORED PIER EN04-2352
ISOLATED BORED PIER EN05-2352
RC FLOOR & INTEGRAL PADS EN06-2352
AC SLAB DE'S, CONC SPEC & SITE NOTES EN07-2352

CLIENT
MacKellar Equipment Hire
SITE
15 Torrens Road
GUNNEDAH NSW 2380

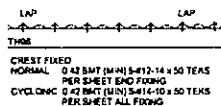
BUILDING TYPE
Bio G Skillion
BUILDING DIMENSION
3000S x 2815/4000E x 15800L
TITLE
CONNECTION DETAILS

APPROVED
22/06/2011
DRAWN
RDS
SCALE
1:20
DRAWING NUMBER
ENG3/1-1681-002352

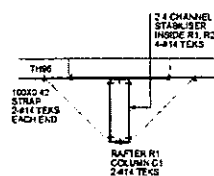
GUNNEDAH SHIRE COUNCIL



WALL CLADDING
SHEAR DIAPHRAGM - SD1



ROOF CLADDING
SHEAR DIAPHRAGM - SD4



SECTION STABILISER DET - SS1



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REFERENCE DRAWINGS
STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTIONS
RC FLOOR & BORED PIER
ISOLATED BORED PIER
RC FLOOR & RT EQUAL PADS
RC SLAB DETS, CONC. SPEC. & SITE NOTES

ENG1-2352
ENG2-2352
ENG3-2352
ENG4-2352
ENG5-2352
ENG6-2352
ENG7-2352

CLIENT
MacKellar Equipment Hire

SITE
16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE
Big G Skillion
BUILDING DIMENSION
8000S x 2815/4000E x 15800L
TITLE
CONNECTION DETAILS

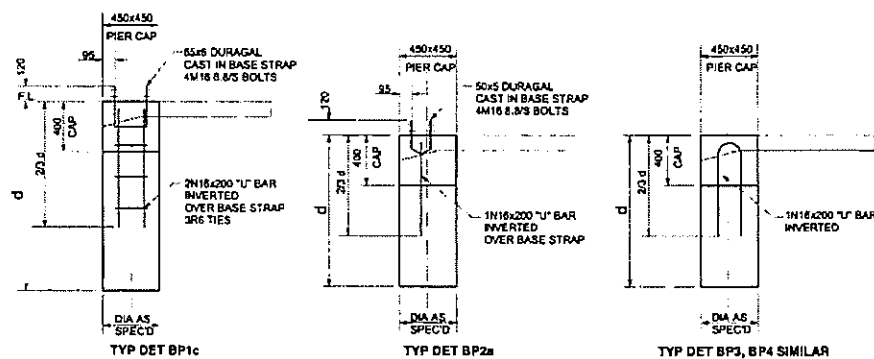
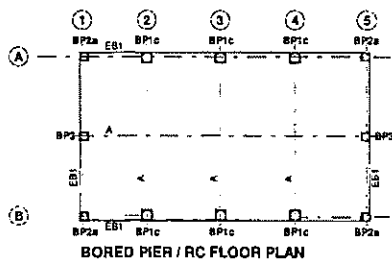
APPROVED
22/06/2011

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RDS

SCALE
1:20

DRAWING NUMBER
ENG3/2-1681-002352

GUNNEDAH SHIRE COUNCIL



BORED PIER WITH RC FLOOR SCHEDULE

CENTRE LINE REFERENCE	FRAME REFERENCE(S)	LABEL	STRAP	DIA x DEPTH
A	1, 5	BP2a	SGBS15	300 x 750
A	2, 3, 4	BP1c	SGBS25	300 x 750
AB	1, 5	BP3	SGBS15	300 x 600
B	1, 5	BP2a	SGBS15	300 x 750
B	2, 3, 4	BP1c	SGBS25	300 x 750



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REFERENCE DRAWINGS

STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTIONS
RC FLOOR & BORED PIER
ISOLATED BORED PIER
RC FLOOR & INTEGRAL PADS
RC SLAB DETS/CONC. SPEC. & SITE NOTES

ENG1-2352
ENG2-2352
ENG3-2352
ENG4-2352
ENG5-2352
ENG6-2352
ENG7-2352

CLIENT

MacKellar Equipment Hire

SITE

16 Torrens Road
GUNNEDAH NSW 2330

BUILDING TYPE

Rin G Skillion

BUILDING DIMENSION

9000S x 2815/4000E x 15800L

TITLE

RC FLOOR PLAN & BORED PIER

DETAILS

APPROVED

22/04/2011

DRAWN

RDS

SCALE

1:50

SCALE

1:250

DRAWING NUMBER

ENG4/1-1681-002352

GUNNEDAH SHIRE COUNCIL

BORED PIERS WITH RC FLOOR

BORED PIERS CAST WITH RC FLOOR AND EDGE BEAM AND ARE ECONOMICALLY SUITED FOR SHEEDS ON CLAYEY GROUND. THE DESIGNS SHOWN ARE SUITABLE ONLY WITH THE CONCRETE FLOOR AND EDGE BEAMS, AND ARE NOT SUITABLE FOR ISOLATED PIERS WITH AN EARTH FLOOR OR SIMILAR.

- PIERS TO BE TAKEN THROUGH ANY FILL MATERIAL AND FOUNDED IN STIFF CLAY WITH A MINIMUM SAFE BEARING CAPACITY OF 100 kPa AND A SHAFT ADHESION OF 20 kPa.
- PROVIDE REINFORCEMENT AS SPECIFIED AND LOCATE COLUMN BASE CONNECTORS ACCURATELY AS SHOWN.

REFERENCE

- SEE SLAB DETAIL DRAWING FOR:
- SITE FOUNDATION CLASSIFICATION NOTES
 - MINIMUM SITE PREPARATION NOTES
 - CONCRETE SPECIFICATION NOTES
 - CONCRETE REINFORCEMENT NOTES
 - SLAB ON GRADE NOTES
 - DETAIL S1EB1 - SLAB EDGE TYPE 1
 - DETAIL S1EB2 - SLAB EDGE TYPE 2
 - DETAIL S1/A - SLAB CONTROL JOINT
 - DETAIL S1/C - SLAB CONSTRUCTION JOINT



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REFERENCE DRAWINGS
STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTIONS
RC FLOOR & BORED PIER
ISOLATED BORED PIER
RC FLOOR & INTEGRAL PADS
RC SLAB DETS, CONC. SPEC & SITE NOTES

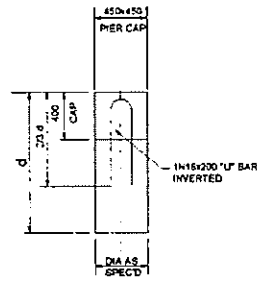
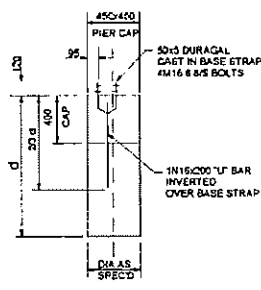
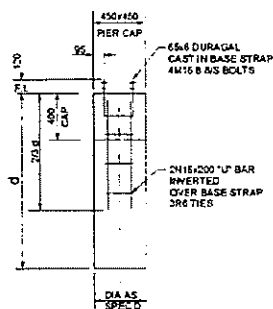
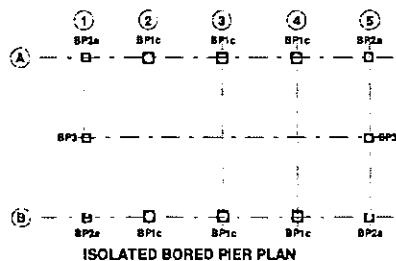
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ENG01-233P
ENG01-233S
ENG01-233T
ENG01-233U
ENG01-233V
ENG01-233W
ENG01-233X
ENG01-233Y
ENG01-233Z

CLIENT
MacKellar Equipment Hire

SITE
16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE
Big G Skillion
BUILDING DIMENSION
9000S x 2815/4000E x 15800L
TITLE
RC FLOOR PLAN & BORED PIER
DETAILS

APPROVED
22/06/2011
DRAWN
RDS
SCALE
1:40,
1:250
DRAWING NUMBER
ENG4/2-1681-002352



ISOLATED BORED PIER SCHEDULE

CENTRE LINE REFERENCE	FRAME REFERENCE(S)	LABEL	STRAP	DIA x DEPTH
A	1, 5	BP2a	SGBS15	300 x 1050
A	2, 3, 4	BP1c	SGBS25	300 x 1650
AB	1, 5	BP3		300 x 1200
B	1, 5	BP2a	SGBS15	300 x 1050
B	2, 3, 4	BP1c	SGBS25	300 x 1650



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REFERENCE DRAWINGS
STEEL FRAME DIAGRAM EN01-2332
STEEL FRAME SCHEDULE EN01-2332
FRAME CONNECTIONS EN03-2352
RC FLOOR & BORED PIER EN04-2367
ISOLATED BORED PIER EN05-2352
RC FLOOR & INTEGRAL PADS EN06-2352
RC SLAB DET'S, CONC. SPEC. & SITE NOTES EN07-2332

CLIENT
MacKellar Equipment Hire
SITE
18 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE
Big G Skillion
BUILDING DIMENSION
9000S x 2815/4000E x 15800L
TITLE
ISOLATED BORED PIER DETAILS

APPROVED
22/06/2011

DRAWN
RDS
SCALE
1:40
1:250

DRAWING NUMBER
ENG5/1-1681-002352

GUNNEDAH SHIRE COUNCIL

ISOLATED BORED PIERS

ISOLATED BORED PIERS ARE ECONOMICALLY SUITED FOR SHEDS ON CLAYEY GROUND. THE DESIGNS SHOWN ARE SUITABLE FOR ISOLATED PIERS WITH AN EARTH FLOOR OR SIMILAR.

- PIERS TO BE TAKEN THROUGH ANY FILL MATERIAL AND FOUNDED IN STIFF CLAY WITH A MINIMUM SAFE BEARING CAPACITY OF 100 KPa AND A SHAFT ADHESION OF 20 KPa
- PROVIDE REINFORCEMENT AS SPECIFIED AND LOCATE COLUMN BASE CONNECTORS ACCURATELY AS SHOWN

REFERENCE

REFER TO THE FOLLOWING NOTES:
• SITE FOUNDATION CLASSIFICATION NOTES
• MINIMUM SITE PREPARATION NOTES
• CONCRETE SPECIFICATION NOTES
• CONCRETE REINFORCEMENT NOTES



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REFERENCE DRAWINGS

STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTORS
RC FLOOR & BORED PIER
ISOLATED BORED PIER
RC FLOOR & RETENTION PADS
RC SLAB DET'S, CONC SPEC & SITE NOTES

ENG1-2157
ENG3-2152
ENG3-2152
ENG4-2153
ENG4-2152
ENG4-2152
ENG7-2152

CLIENT
MacKellar Equipment Hire

SITE
16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE
Big G Skillion

BUILDING DIMENSION
9000S x 2815/4000E x 15800L

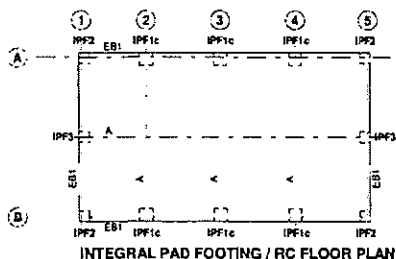
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ISOLATED BORED PIER DETAILS

APPROVED
22/05/2011

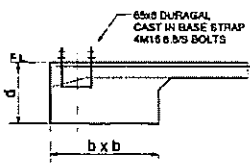
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RDS

SCALE
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1:250

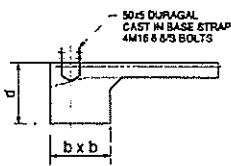
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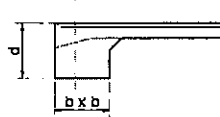
INTEGRAL PAD FOOTING / RC FLOOR PLAN



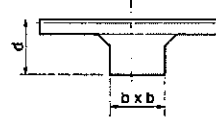
TYP DET IPF1c



TYP DET IPF2



TYP DET IPF3



TYP DET IPF4

INTEGRAL PAD FOOTING SCHEDULE

CENTRE LINE REFERENCE	FRAME REFERENCE(S)	LABEL	STRAP	d x b x b
A	1, 5	IPF2a	SGBS15	350 x 350 x 350
A	2, 3, 4	IPF1c	SGBS25	400 x 400 x 400
AB	1, 5	IPF3		300 x 300 x 300
B	1, 5	IPF2a	SGBS15	350 x 350 x 350
B	2, 3, 4	IPF1c	SGBS25	400 x 400 x 400



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REFERENCE DRAWINGS

STEEL FRAME DIAGRAM	EN01 2352
STEEL FRAME SCHEDULE	EN02 2352
FRAME CONNECTIONS	EN03 2352
RC FLOOR & BORED PIER	EN04 2352
ISOLATED BORED PIER	EN05 2352
RC FLOOR & INTEGRAL PADS	EN06 2352
RC SLAB DETS, CONC SPEC & SITE NOTES	EN07 2352

CLIENT
MacKellar Equipment Hire

SITE
16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE

Bldg G Skillion

BUILDING DIMENSION

9000S x 2815/4000E x 15800L

TITLE

RC FLOOR PLAN & INTEGRAL PAD

FOOTING DETAILS

APPROVED

22/06/2011

DRAWN

RDS

SCALE

1:40,
1:250

DRAWING NUMBER

ENG6/1-1681-002352

GUNNEDAH SHIRE COUNCIL

INTEGRAL PAD FOOTINGS

MASS CONCRETE FOOTINGS CAST INTEGRAL WITH FLOOR & EDGE BEAM ARE ECONOMICALLY SUITED FOR SHEDS ON SANDY GROUND.

- THIS DESIGN MAY ALSO BE USED FOR CLAYEY SOIL OR WHERE ROCK IS ENCOUNTERED
- ALL PAD FOOTINGS TO BE FOUNDED IN NATURAL GROUND WITH A SAFE BEARING CAPACITY OF 100 kPa AT DEPTH INDICATED.

THE DEPTH "d" MAY BE REDUCED TO A MINIMUM OF 400mm PROVIDED THAT "b" DIMENSIONS ARE ADJUSTED TO MAINTAIN THE SAME VOLUME OF CONCRETE

REFERENCE

SEE SLAB DETAIL DRAWING FOR:

- MINIMUM SITE PREPARATION NOTES
- MINIMUM SITE PREPARATION NOTES
- CONCRETE SPECIFICATION NOTES
- CONCRETE REINFORCEMENT NOTES
- SLAB ON GRADE NOTES
- DETAIL S1/E1 - SLAB EDGE TYPE 1
- DETAIL S1/E2 - SLAB EDGE TYPE 2
- DETAIL S1/A - SLAB CONTROL JOINT
- DETAIL S1/C - SLAB CONSTRUCTION JOINT



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REFERENCE DRAWINGS

STEEL FRAME DIAGRAM
STEEL FRAME SCHEDULE
FRAME CONNECTORS
RC FLOOR & SOLED PER
ISOLATED BORED PIER
RC FLOOR & INTEGRAL PADS
RC SLAB DETS, CONC SPEC. & SITE NOTES

EN01-2521
EN02-2522
EN03-2523
EN04-2524
EN05-2525
EN06-2526
EN07-2527

CLIENT
MacKellar Equipment Hire

SITE
16 Torrens Road
GUNNEDAH NSW 2380

BUILDING TYPE
Big G Skillion

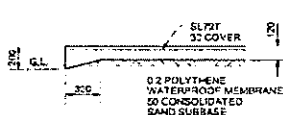
BUILDING DIMENSION
8000 x 28154000 x 15800L

TITLE
RC FLOOR PLAN & INTEGRAL PAD
FOOTING DETAILS

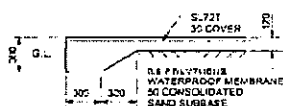
APPROVED
22/02/2011

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RDS 1:40
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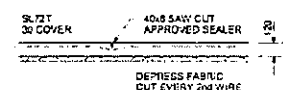
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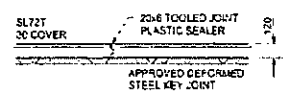
DET S1/EB1
NOT SUITABLE AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/A
CONTROL JOINT



DET S1/C
CONSTRUCTION JOINT

PROVIDE CONSTRUCTION JOINTS SO THAT THE MAXIMUM UNBROKEN RUN OF CONCRETE IS 20m IN EITHER DIRECTION

SITE FOUNDATION CLASSIFICATION

TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED FOOTING DESIGNS AS FOLLOWS:

- STIFF CLAY CONFORMING TO AS2870 CLASS M. MINIMUM SAFE BEARING CAPACITY - 100 kPa. SHAFT ADHESION - 20 kPa
- DENSE SAND CONFORMING TO AS2870 CLASS AV. MINIMUM SAFE BEARING CAPACITY - 100 kPa
- A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER
- ALL FOOTINGS TO BE FOUNDED ON NATURAL GROUND.
- NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
- REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10 91 DUE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE

MINIMUM SITE PREPARATION

- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR SPONGY ARE TO BE EXCAVATED TO SPOIL
- PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION TO AS1289 & E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP 200mm TO BE COMPACTED TO 100% STANDARD DRY DENSITY.
- THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

CONCRETE REINFORCEMENT

- REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY & NOT NECESSARILY IN TRUE PROJECTION

REINFORCEMENT NOTATION:

- N DENOTES HOT ROLLED DEFORMED BAR
- SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE NOMINAL DIAMETER IN mm

- PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.

FOOTINGS	80 BOTTOM, 65 TOP & SIDES
SLABS	30 BOTTOM, 25 TOP
BEAMS	40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS DETAILED

- PROVIDE 2x12 DIAGONAL CORNER BARS 500 LONG AT ALL RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS TO BE POSITIONED 30mm FROM THE CORNER

CONCRETE SPECIFICATION

- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT ISSUE OF AS3600 & THE SPECIFICATION

- CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS

- SLABS & BEAMS ARE TO BE POURED TOGETHER.

- CONSOLIDATE BY VIBRATION

- SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE CRITERIA

- BORED PIEN CONCRETE SHALL HAVE $f_c = 20$ MPa, MAXIMUM AGGREGATE SIZE = 25 mm, SLUMP = 100 mm

SLABS ON GRADE

- SLABS TO BE PLACED OVER 75 CONSOLIDATED SAND OVER PREPARED SUBGRADE

- PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE UNDER ALL SLABS WITH LAPPED & TAPED JOINTS

- PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.

- PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL FLOAT OF THE CONCRETE

- CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS. FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER FINISHING IS AN APPROVED METHOD.

- SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM AFTER CURING IS COMPLETE

- FLOOR SLABS ARE DESIGNED AS INTERIOR SLABS PLACED AFTER ERECTION OF THE BUILDING. IF PLACED BEFORE ADDITIONAL PRECAUTIONS ARE NECESSARY TO MINIMISE THE INCREASED RISK OF CONCRETE CRACKING & CONSTRUCTION DAMAGE

- PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE BUILDING

SLAB ON GRADE CRITERIA	
CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	25
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	80
AGGREGATE MAXIMUM SIZE (mm)	20
CEMENT TYPE	94
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER/CEMENT RATIO (MAX)	0.45
MACROFIBRE AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NOV SLIP
FLOOR TOLERANCE	CLASS B
ULTIMATE DEAD LOAD (kPa)	15

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS REQUIRED & SHOULD BE REFERRED TO A QUALIFIED LOCAL ENGINEER



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REFERENCE DRAWINGS	
STEEL FRAME DIAGRAMS	ENG1 2352
STEEL FRAME SCHEDULE	ENG3 2352
FRAME CONNECTIONS	ENG3 2352
RC FLOOR & BOARD PER	ENG4 2352
ISOLATED BORED PIEN	ENG5 2352
RC FLOOR & INTEGRAL PADS	ENG6 2352
RC SLAB DET'S, CONC. SPEC. & SITE NOTES	ENG7 2352

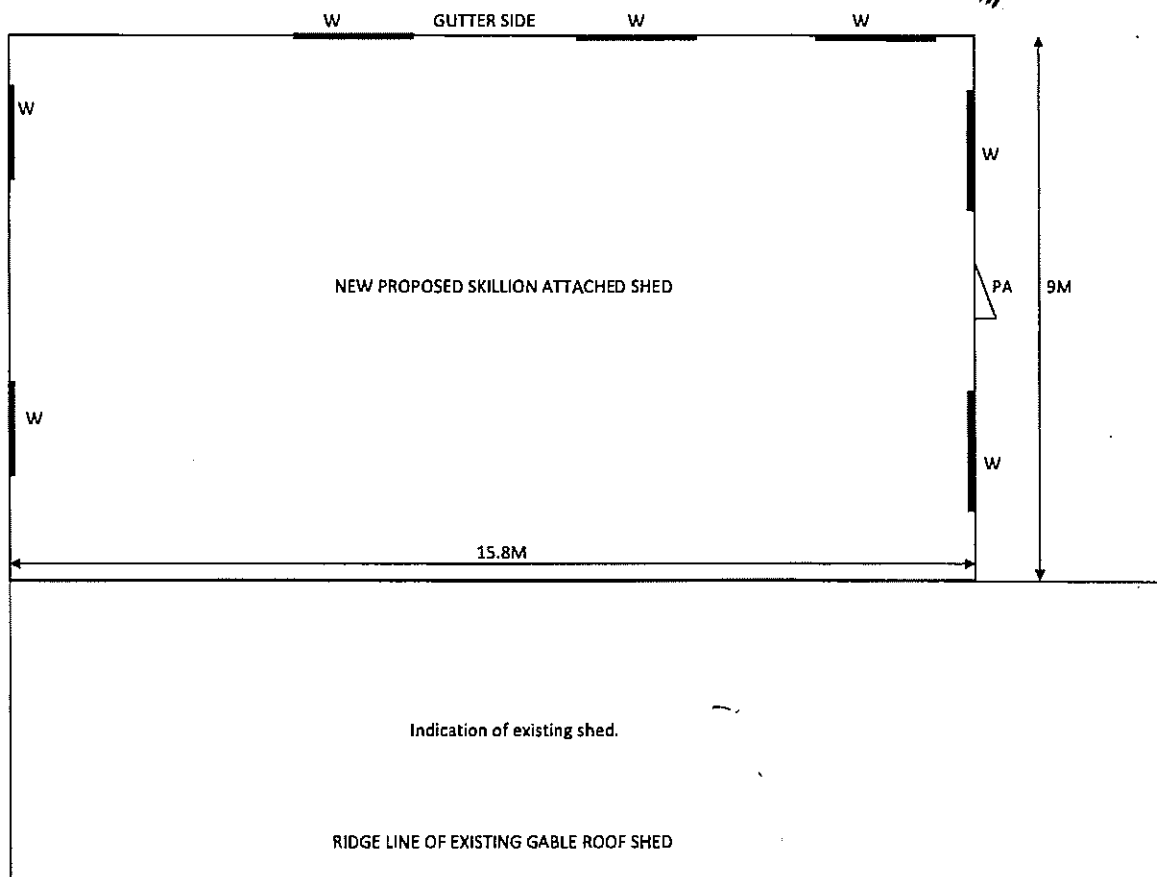
CLIENT	
MacKellar Equipment Hire	
SITE	
16 Torrens Road	
GUNNEDAH NSW 2380	

BUILDING TYPE	
Big B Skillion	
BUILDING DIMENSION	
9000S x 2812/4500E x 15800L	
TITLE	
RC SLAB PLAN	

APPROVED	
22/06/2011	
DRAWN	
RDS	
SCALE	
1:40	
DRAWING NUMBER	
ENG7/1-1681-002352	

GUNNEDAH SHIRE COUNCIL

PROPOSED SKILLION ATTACHMENT TO EXISTING SHED FOR MACKELLAR EQUIPMENT HIRE - 16 TORRENS ROAD GUNNEDAH NSW 2380



Gunnedah Shire Council
DEVELOPMENT CONSENT
 Environmental Planning and Assessment Act 1979

Development Consent No. 556181

This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
 Environmental Planning and Assessment Act 1979

Construction Certificate No. 556181

The works shown on this plan is subject to the written conditions of the above Development Consent.

Date 16/11/2011

Gunnedah Shire Council
 PRINCIPAL CERTIFYING AUTHORITY

1. Name of the person or organization
 2. Address
 3. City
 4. State
 5. Zip
 6. Phone
 7. Fax
 8. E-mail
 9. Date
 10. Signature
 11. Title
 12. Organization

1. Name of the person or organization
 2. Address
 3. City
 4. State
 5. Zip
 6. Phone
 7. Fax
 8. E-mail
 9. Date
 10. Signature
 11. Title
 12. Organization

Phone 0428422733

Gunnedah Shire Council
DEVELOPMENT CONSENT
Environmental Planning and Assessment Act 1979

Development Consent No. 556181

This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

Date 16/11/2011

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
Environmental Planning and Assessment Act 1979

Construction Certificate No. 556181

Development Consent No. 556181

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Date 16/11/2011

Gunnedah Shire Council
PRINCIPAL CERTIFYING AUTHORITY

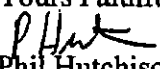
MacKellar Earthmoving
16 Torrens Rd
Gunnedah NSW 2380

RE PROPOSED STEEL FRAMED SHED AT 16 TORRENS RD - GUNNEDAH

I refer to your request for an Engineers Certificate for the Soil Classification of the proposed steel framed shed the above address. The proposed building is approx 15.8 m x 9.0 m ref Plans Ranbuild IPF-2352 ,TAMW03-2352. A site inspection was undertaken on 6/7/11 the following recommendations are made for this site :-

- 1) Soil classification - Class H.
- 2) The proposed slab/ foundations design should be upgraded to the following :-
 - A foundation edge and centre beams 300 wide x 300 deep reinforced with 1 layers 11TM3 mesh bottom, centre beam spacing min 4.0m c/c, beams to bear below natural surface on hard consistent bearing material min 200Kpa.
 - Slab base to be constructed on min 300mm compacted gavel with lower end being filled and compacted to level.
 - Slab to be min 100 mm thick reinforced with 1 layer F82 mesh with 0.2mm plastic moisture barrier.
- 3) General
 - Concrete pads are to be founded on a consistent naturally occurring foundation material of safe Bearing value min 200 Kpa.
 - Excavations are to be free of loose material prior to concreting.
 - Concrete to be min 25MPa.
 - The owners attention is drawn to appendix B Australian Standards 2870.2 – 1996 Performance Criteria and foundation maintenance this includes discharge of water, planting of trees and gardens.
 - All stormwater runoff is to be directed away from the building to suitable discharge point on the down hill side.

This specifications are to be read in conjunction with all plans and specifications provided by Ranbuild and only replaces those details specifically recommended. Provided these additional specifications and details provided by Ranbuild are complied with the design will be structurally adequate and comply with relevant Australian Standards and Codes.

Yours Faithfully

Phil Hutchison BE
12/7/11

<p>Gunnedah Shire Council DEVELOPMENT CONSENT Environmental Planning and Assessment Act 1979</p> <p>Development Consent No. <u>556101</u></p> <p>This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.</p> <p>Date <u>16/11/2011</u></p>
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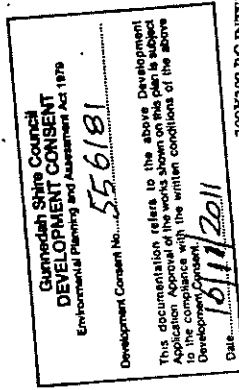
<p>Gunnedah Shire Council CONSTRUCTION CERTIFICATE Environmental Planning and Assessment Act 1979</p> <p>Construction Certificate No. <u>556101</u></p> <p>Development Consent No. <u>556101</u></p> <p>Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.</p> <p>Date <u>16/11/2011</u></p> <p>Gunnedah Shire Council PRINCIPAL CERTIFYING AUTHORITY</p>
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FOUNDATIONS

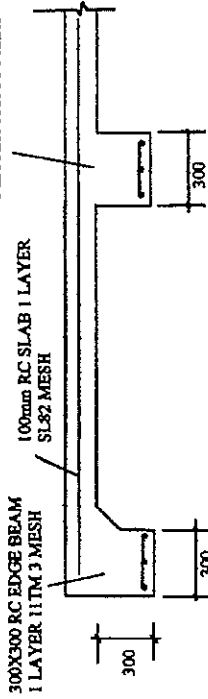
- F1 Reinforcing mesh shall be placed with min. 40mm cover
- F2 All reinforcing mesh shall be clean and free of oil, grease and rust.
- F3 All steel to grade 500mpa unless otherwise noted
- F4 The surrounding area shall be sloped to avoid ponding of water near the building and the regulations, by-laws and policies of the relevant local authority
- F5 Concrete shall have a minimum compressive strength of 25 mpa, with an 80mm slump
- F6 All concrete shall be mechanically vibrated.
- F7 The concrete slab shall be cured for an appropriate period prior to loading.
- F8 All concrete design, placing,振捣 and curing shall be in accordance with Australia Standards AS1379, AS1480 and AS2870

GENERAL NOTES

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- G5 All services and utilities on and adjacent to the works are to be located and identified prior to the commencement of works.



300X300 RC INTERMEDIATE BEAM
1 LAYER 11TM 3 MESH



TYPICAL SLAB / BEAM DETAIL

NOTE:
ALL FOOTINGS IN ACCORDANCE WITH AS2870
ALL FOOTINGS TO BEAR DIRECTLY ONTO
FROM UNIFORM NATURAL GROUND.
BACKFILL ALL EXCAVATIONS FROM TOP
OF FOOTINGS TO GROUND LEVEL.

Verify all levels and dimensions
on-site before commencement of Project.
Do not scale Drawings.

CONCRETE SLAB TO BE IN ACCORDANCE WITH
AUSTRALIAN STANDARD AS2870-1996 & AS3600
"RESIDENTIAL SLABS & FOOTINGS".

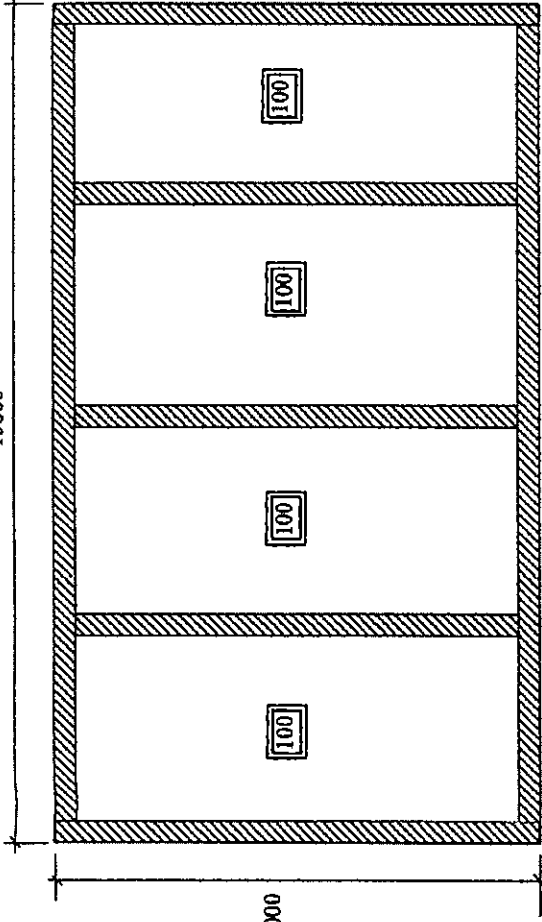
NORTHWEST PROJECTS
CONSULTING CIVIL & STRUCTURAL ENGINEERS

JOB DETAILS : MACKELLAR EARTHMOVING
16 TORRENS RD
GUNNEDAH

SHED SLAB PLAN
Dwg No: NWP-MKR-001

15800

9000

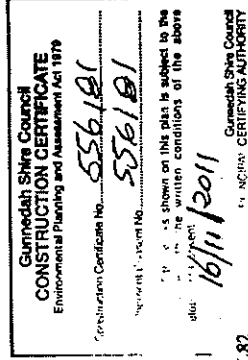


300 W x 300 D RC EDGE BEAM
1 LAYER 11TM3 MESH

SLAB LAYOUT PLAN

PLAN LEGEND

- INDICATES SLAB THICKNESS SL82
TOP REINFORCEMENT
- EDGE BEAM FOOTING
300 WIDE x 300 DEEP BEAM, 11TM3
BOTTOM, R6 HOOPS @ 900c/c



NORTHWEST PROJECTS

CONSULTING CIVIL & STRUCTURAL ENGINEERS

P O BOX 747
GUNNEDAH NSW
2380

Phone 0428422733

Gunnedah Shire Council
CONSTRUCTION CERTIFICATE
Environmental Planning and Assessment Act 1979

Construction Certificate No. 556181

Development Consent No. 556181

Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

16/11/2011

Gunnedah Shire Council
PRINCIPAL CERTIFYING AUTHORITY

MacKellar Excavations
"Costalot" Torrens Rd
Gunnedah NSW 2380

Gunnedah Shire Council
DEVELOPMENT CONSENT
Environmental Planning and Assessment Act 1979

Development Consent No. 556181

This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.

16/11/2011

RE Proposed Carport, Deck and Wall Additions to Existing Dwelling, Torrens Rd Gunnedah

Dear Sir,

I refer to the above project, attached is the Engineering specifications for the additions to the residence as detailed on plans by M D Design ref MacKellar_B0811. The deck construction is to be timber floor on steel subfloor and steel piers with concrete pad footings, Carport is to be constructed on a concrete raft slab, the proposed brick dividing wall with engaged piers is to be supported on concrete strip footing. The following design is recommended :-

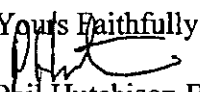
1. Site Classification - Class H.
2. Deck -
Face Brick Edge Strip Footing - RC Beam 300w x 450d, reinforced with 2 layers 11TM3 mesh, R6 stirrups 900 c/c. Note all face brick work to have engaged piers as per BCS standards.
Concrete Pad footings internal @ 2.4m c/c 450dia x 500deep, with 75x75x2.5 RHS piers min 400 mm into pad, top connection adjustable std 6mm connector plate. Bearers C15015 @ 1800 c/c, joists C10015 @ 450c/c.
3. Carport -
A 100 mm raft slab reinforced with SL72 mesh top is to be used for the floor slab, supported on 300 w x 300 deep edge beams reinforced with 1 layer 11TM3 mesh. A centre stiffening beam is required this beam is to be min 300 mm deep x 300 mm wide reinforced with 11TM3 mesh bottom (refer to attached layout plan). The slab is to be poured on min 300 mm compacted gravel fill and 0.2mm waterproof membrane. After removal of the top soil the subgrade is to be proof rolled with any defective areas replaced with suitable gravel material and compacted.
4. Block Dividing Wall -
We would recommend concrete strip footing - 500mm deep x 400 mm wide reinforced with 2 layers 11TM4 mesh, R6 stirrups @ 900c/c, N12 starter bars @ each engaged pier min 300 mm into footing and

1800 mm long (refer to layout plan for set out). Engaged piers to BCA standards.

5. General

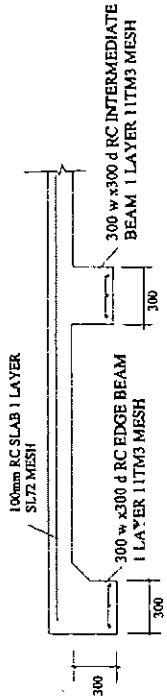
- Piers and beams are to be founded on a consistent naturally occurring foundation material of safe bearing value of 250 kPa.
- A Engineers inspection should be undertaken on the pier excavations prior to concreting , to ensure suitable bearing material is evident.
- Excavations are to be free of loose material prior to concreting.
- Concrete to be min 20MPa .
- Special Requirements for this site
 - a. Surface and Stormwater drainage shall be directed min 6m away from the foundations on the down hill side . The finish levels of the allotment are to be designed to prevent any surface or stormwater to pond within the zone around the extensions , generally a fall 50mm over the first metre is ideal.
 - b. Plumbing trenches shall be sloped away from the dwelling and back filled with clay in the top 300mm within the 6m zone.
 - c. Connections of stormwater and waste drains shall include flexible connections.
 - d. The owners attention is drawn to appendix B Australian Standards 2870.2 1996 Performance Criteria and foundation maintenance this includes discharge of water, planting of trees and gardens.

Provided these specifications and details shown on the drawings are complied with the design will be structurally adequate and comply with relevant Australian Standards and Codes.

Yours Faithfully

Phil Hutchison BE
14/9/11

<p align="center">Gunnedah Shire Council DEVELOPMENT CONSENT Environmental Planning and Assessment Act 1979</p> <p>Development Consent No. <u>556181</u></p> <p>This documentation refers to the above Development Application. Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.</p> <p>Date <u>16/11/2011</u></p>

<p align="center">Gunnedah Shire Council CONSTRUCTION CERTIFICATE Environmental Planning and Assessment Act 1979</p> <p>Construction Certificate No. <u>556181</u></p> <p>Development Consent No. <u>556181</u></p> <p>Approval of the works shown on this plan is subject to the compliance with the written conditions of the above Development Consent.</p> <p>Date <u>16/11/2011</u></p> <p align="right">Gunnedah Shire Council CERTIFYING AUTHORITY</p>



TYPICAL SLAB / BEAM DETAIL CARPORT

FOUNDATIONS

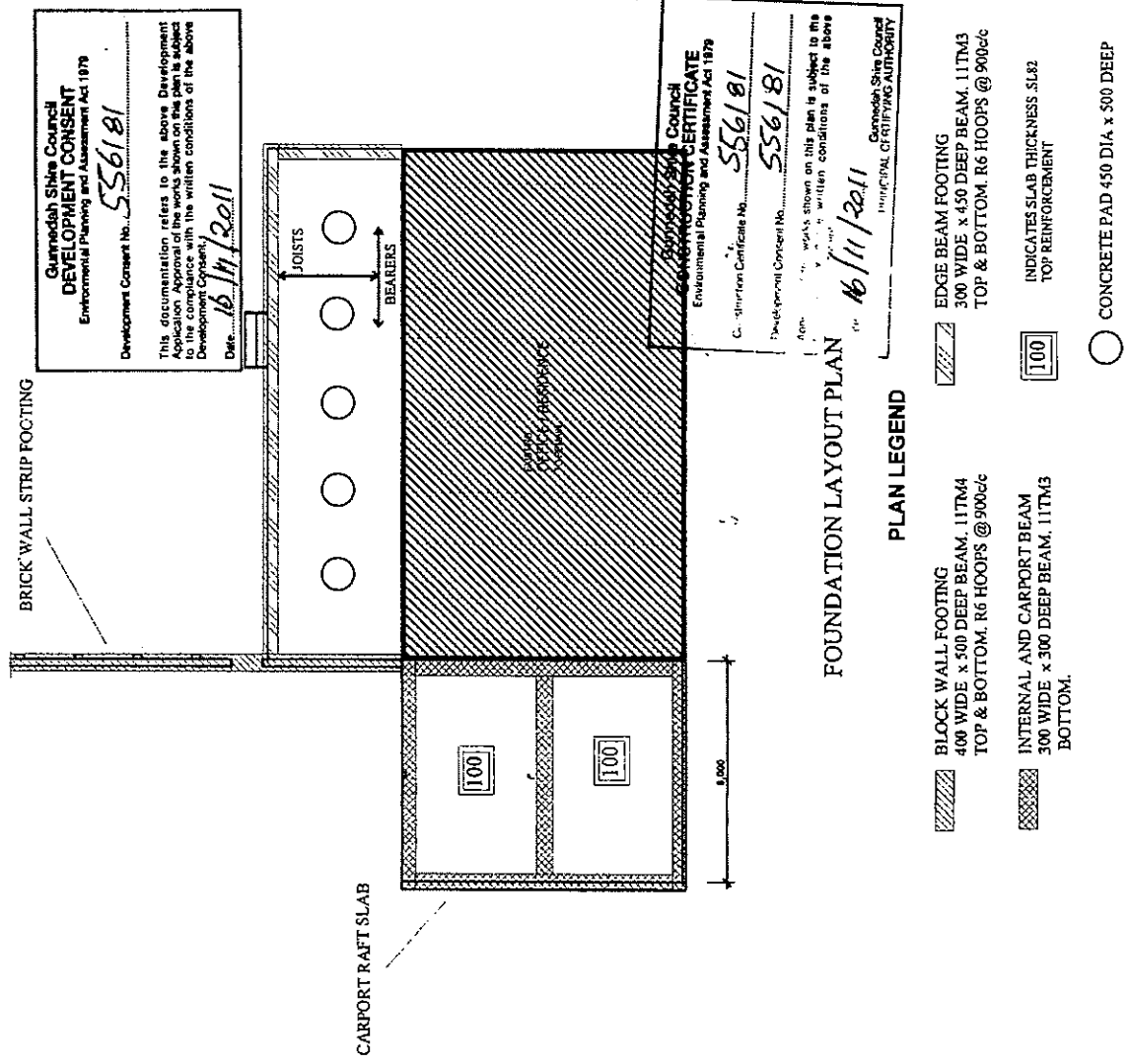
- F1 Reinforcing mesh shall be placed with min 40mm cover
- F2 All reinforcing mesh shall be clean and free of oil, grease and rust.
- F3 All steel to grade 500mpa unless otherwise noted
- F4 The surrounding area shall be sloped to avoid ponding of water near the building, and the regulations, by-laws and policies of the relevant local authority
- F5 Concrete shall have a minimum compressive strength of 25 mpa, with an 80mm slump
- F6 All concrete shall be mechanically vibrated.
- F7 The concrete slab shall be cured for an appropriate period prior to loading.
- F8 All concrete design placing, vibrating and curing shall be in accordance with Australia Standards AS1379, AS1480 and AS2870

GENERAL NOTES

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Verify all levels and dimensions on-site before commencement of Project.
Do not scale Drawings.

NOTE:
ALL FOOTINGS IN ACCORDANCE WITH AS2870
ALL FOOTINGS TO BEAR DIRECTLY ONTO FIRM UNIFORM NATURAL GROUND.
BACKFILL ALL EXCAVATIONS FROM TOP OF FOOTINGS TO GROUND LEVEL



Detail: PROPOSED RENOVATION - MacKELLAR
'COSTALOT' TORRENS RD GUNNEDAH

NORTH WEST PROJECTS

Drawn: PH	Date: 14/9/11
Scale: NTS	Proj No: MCK01

DEPOSITED PLAN ADMINISTRATION SHEET


Sheet 1 of 2 sheet(s)

<p>Registered:  2.3.2017</p> <p>Title System: TORRENS</p> <p>Purpose: SUBDIVISION</p>	<p>Office Use Only</p> <p>Office Use Only</p> <p>DP1226992</p>
<p>PLAN OF</p> <p>SUBDIVISION OF LOT 454 IN DP 755503</p>	<p>LGA: GUNNEDAH</p> <p>Locality: GUNNEDAH</p> <p>Parish: GUNNEDAH</p> <p>County: POTTINGER</p>
<p>Crown Lands NSW/Western Lands Office Approval</p> <p>I (Authorising Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown hereon have been given.</p> <p>Signature:</p> <p>Date:</p> <p>File Number:</p> <p>Office:</p>	<p>Survey Certificate</p> <p>I, CLIFFORD R. STEWART of STEWART SURVEYS PTY LTD P.O. BOX 592 GUNNEDAH ACN 002 886 508 a surveyor registered under the <i>Surveying and Spatial Information Act, 2002</i>, certify that</p> <p>*(a) The land showed in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>, is accurate and the survey was completed on: 7TH NOVEMBER 2016</p> <p>*(b) The part of the land shown in the plan (*being/*excluding ^.....) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>, is accurate and the survey was completed on,..... the part not surveyed was compiled in accordance with that Regulation.</p> <p>*(c) the land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation, 2012</i>.</p> <p>Signature:  Dated: 15TH NOV 2016</p> <p>Surveyor ID: 2026</p> <p>Datum Line: "A"~"B".(P6285-1781)</p> <p>Type: *Urban/*Rural The Terrain is *Level-Undulating / Steep Mountainous.</p> <p>*Strike through if inapplicable. ^Specify the land actually surveyed or specify and land shown in the plan that is not the subject of the survey.</p>
<p>Subdivision Certificate</p> <p>I, ERIC GROTH  *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.</p> <p>Consent Authority : GUNNEDAH SHIRE COUNCIL</p> <p>Date of endorsement : 10 FEBRUARY 2017</p> <p>Accreditation no :</p> <p>Subdivision Certificate no : 1056729</p> <p>File no : DA 610514.009</p> <p>* Delete whichever is inapplicable.</p>	<p>Plans used in the preparation of survey/compilation</p> <p>P4612-1781, P4642-1781, P5004-1781, P5005-1781, P5006-1781, P5007-1781, P5036-1781, P5037-1781, P6285-1781, P6826-1781, DP402537, DP1074771, DP1074926</p> <p>If space is insufficient continue on Plan Form 6A</p>
<p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p>	<p>Surveyor's Reference: 3961</p>

DP1226992

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 2 sheet(s)

Registered:  2.3.2017

Office Use Only

Office Use Only

PLAN OF

SUBDIVISION OF LOT 454 IN DP 755503

DP1226992

This sheet is for the provision of the following information as require.

A schedule of lots and addresses - See 60(c) SSI regulation 2012
Statements of intention to create and release affecting interests in
accordance with section 88B Conveyancing Act 1919

Signatures and Seals - see 195D Conveyancing Act 1919

Any information which cannot fit into the appropriate panel of sheet 1
of the administration sheets.

Subdivision Certificate number: 1056729
Date of Endorsement: 10 FEBRUARY 2017

Signatures, Seals and Section 88B Statements

SURVEYING AND SPATIAL INFORMATION REGULATION 2012: Cl. 60(c)				
LOT	STREET REFERENCE			LOCALITY
	No.	NAME	TYPE	
1	N/A	N/A	N/A	GUNNEDAH
2	N/A	N/A	N/A	GUNNEDAH
3	N/A	N/A	N/A	GUNNEDAH
4	N/A	N/A	N/A	GUNNEDAH
5	N/A	N/A	N/A	GUNNEDAH
6	N/A	N/A	N/A	GUNNEDAH
7	N/A	N/A	N/A	GUNNEDAH
8	N/A	N/A	N/A	GUNNEDAH
9	N/A	N/A	N/A	GUNNEDAH
10	N/A	N/A	N/A	GUNNEDAH
11	N/A	N/A	N/A	GUNNEDAH



BRENDON MACKELLAR
SOLE DIRECTOR/SECRETARY
EXECUTED BY
MACKELLAR EQUIPMENT
HIRE PTY LTD
ACN 129 678 815 BY
ITS AUTHORISED OFFICERS
SEC 127 CORP. ACT 2001

PURSUANT TO SEC 88B OF THE CONVEYANCING ACT, 1919

IT IS INTENDED TO CREATE:

- 1) EASEMENT TO DRAIN SEWAGE 3 WIDE
- 2) EASEMENT TO DRAIN WATER 15 WIDE
- 3) EASEMENT TO DRAIN WATER 6 WIDE
- 4) EASEMENT FOR MULTI PURPOSE ELECTRICAL INSTALLATION 4.2 WIDE



ARUNA PRAKASH
275 KENT ST, SYDNEY
NSW 2000
WITNESSES



RICHARD WALMER
TIER TWO ATTORNEY
WESTPAC BANKING CORPORATION
BOOK 4299 NO 332

Surveyor's Reference:

3961

DP1226992