

BARANGAROO SOUTH COMMERCIAL BUILDING C1 PLANNING APPLICATION

DRAWING LIST

Drawing Number	Drawing Title
BCC1AD00000	Cover Sheet
BCC1AD00001	Site Plan
BCC1AD1B125	Demolition Plans - Basement
BCC1AD20025	Demolition Plan - Ground Floor
BCC1AD00007	GFA Summary
BCC1AD1B100	GA Plan - Basement Level B1
BCC1AD1B200	GA Plan - Basement 2
BCC1AD20000	GA Plan - Ground Floor
BCC1AD30000	GA Plan - Mezzanine
BCC1AD30100	GA Plan - Level 01
BCC1AD30200	GA Plan - Levels 02-05
BCC1AD30600	GA Plan - Level 06
BCC1AD30700	GA Plan - Roof
BCC1AD40000	Contextual Street Elevation
BCC1AD41000	South Elevation
BCC1AD42000	West Elevation
BCC1AD43000	North Elevation
BCC1AD44000	East Elevation
BCC1AD50001	Section AA
BCC1AD50002	Section BB and CC
BCC1AD65001	Shadow Diagram Summer
BCC1AD65002	Shadow Diagram Winter
BCC1AD65003	Shadow Diagram Equinox
BCC1AD80000	Materials & Finishes
BCC1ADS0010	Shopfront modules - Zone A
BCC1ADS0011	Shopfront Modules - Zone B
BCC1ADS0012	Shopfront Modules - Zone C
BCC1ADS0015	Shopfront Modules - Zone C Awnings



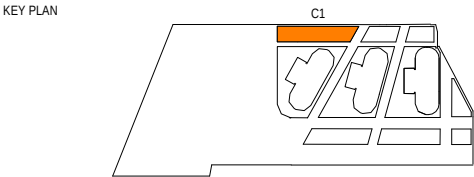
PERSPECTIVE VIEW FROM HICKSON ROAD LOOKING SOUTH WEST

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



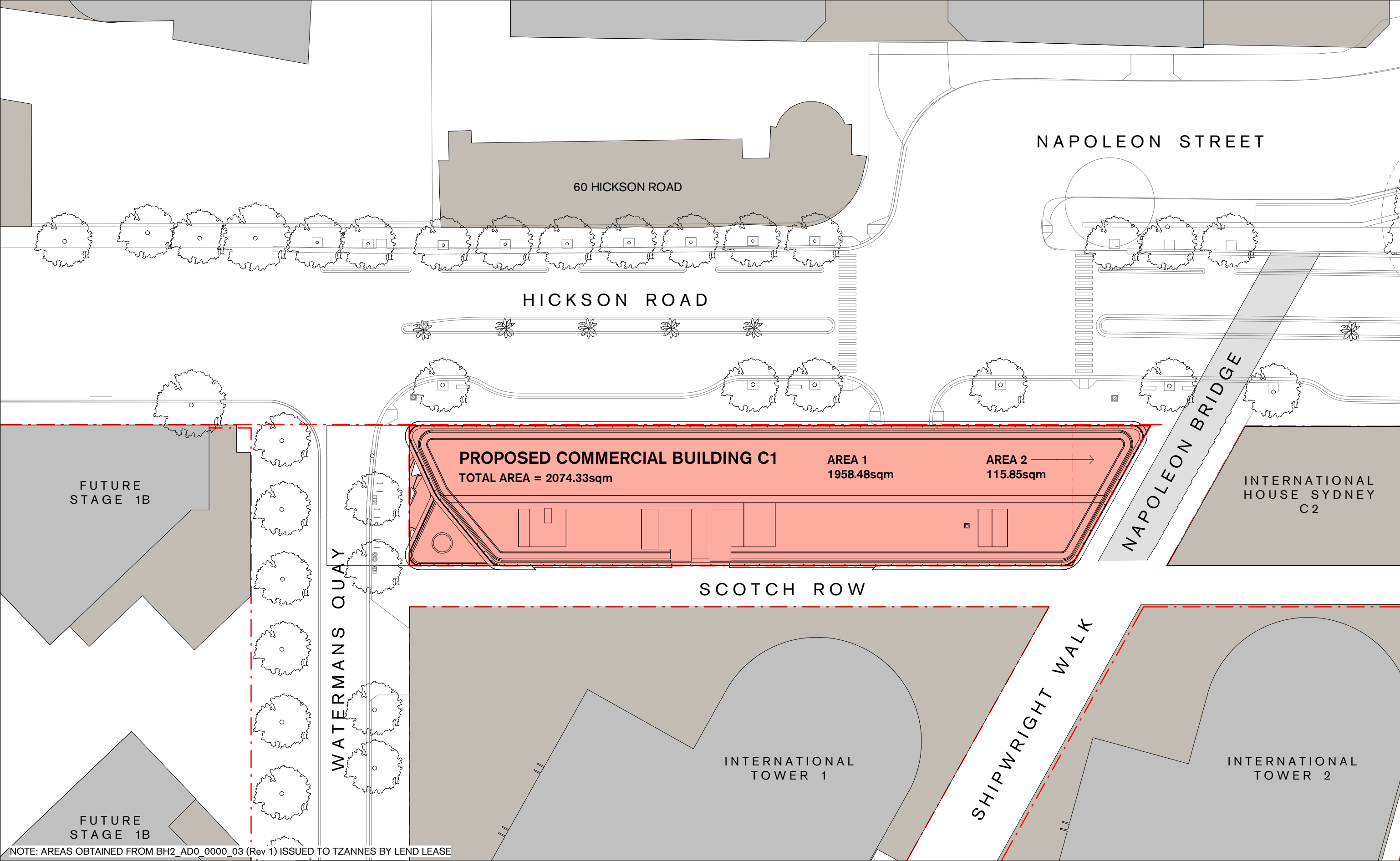
LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for planning Application	12.10.2017
4	RTS Submission	23.01.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Cover Sheet	
SCALE @ A3	DATE 23.01.2018	PROJECT 17012	REVISION 4
DRAWING BCC1AD00000			

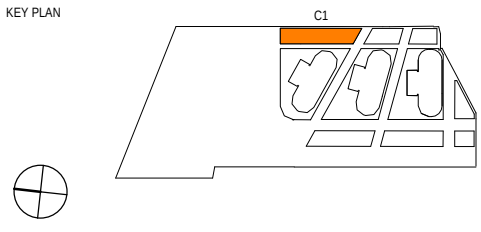


GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



- LEGEND
- BOUNDARY LOT
 - SHADED AREAS NOT PART OF THIS APPLICATION

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	17.01.2018
4	RTS Submission	23.01.2018
5	RTS Submission	31.01.2018

Lendlease

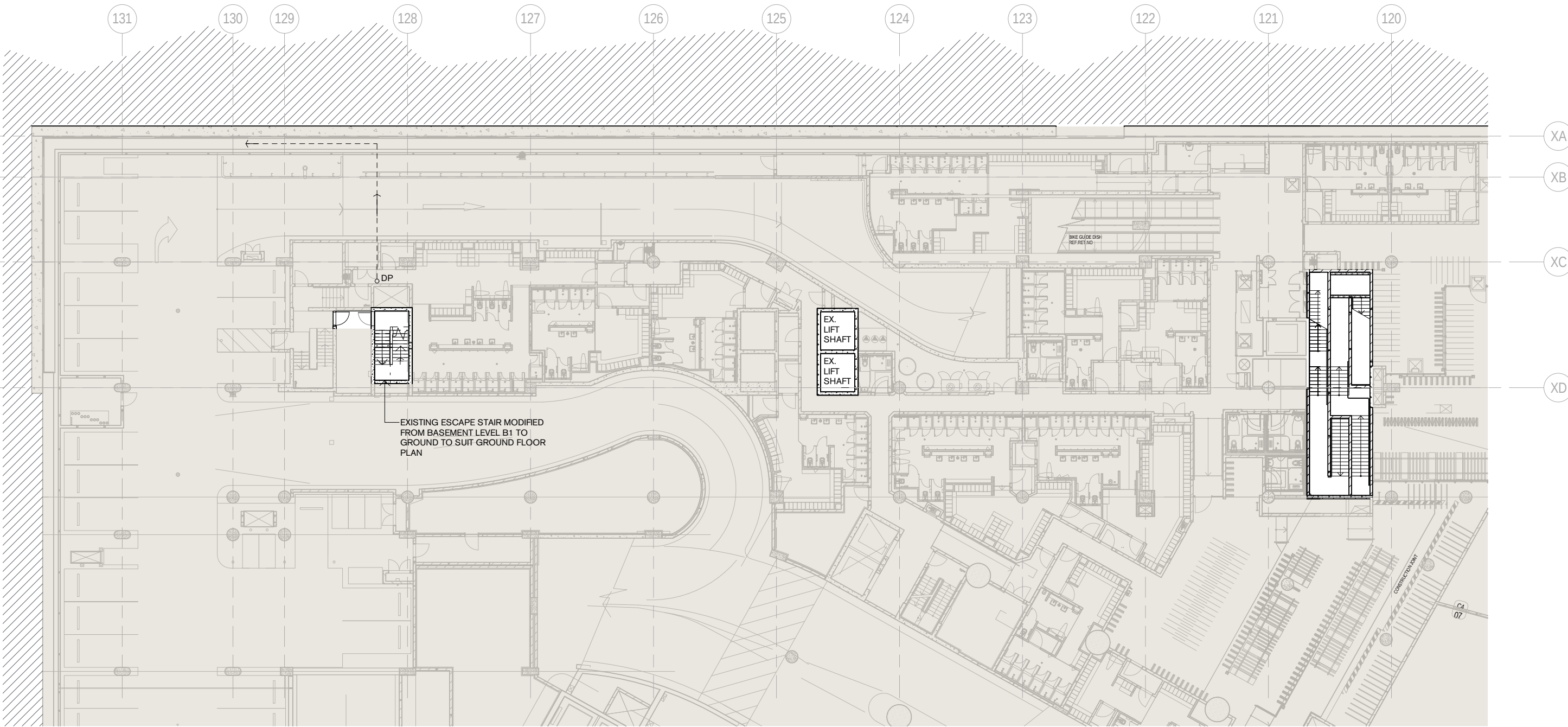
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Site Plan	
SCALE @ A3 1 : 500	DATE 31.01.2018	PROJECT 17012	DRAWING BCC1AD00001
			REVISION 5

1

Basement B1 Floor Plan

1 : 300



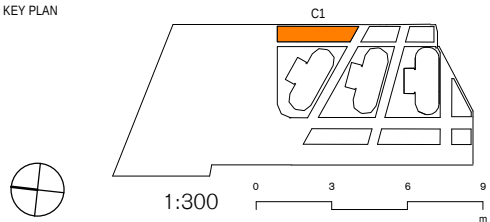
GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN



LEGEND

- BASEMENT AREA ALLOCATED TO BUILDING C1
- AREAS NOT PART OF THESE WORKS
- PROPOSED NEW WORKS

REVISION SCHEDULE

REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease



Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT

Tzannes
63 Myrtle Street, Chippendale
NSW 2008 Sydney Australia
T +61 2 9319 3744 E tzannes@tzannes.com.au

**BARANGAROO SOUTH
Commercial Building C1**

PLANNING APPLICATION
NOT FOR CONSTRUCTION

GA Plan - Basement Level B1

SCALE @ A3
1 : 300

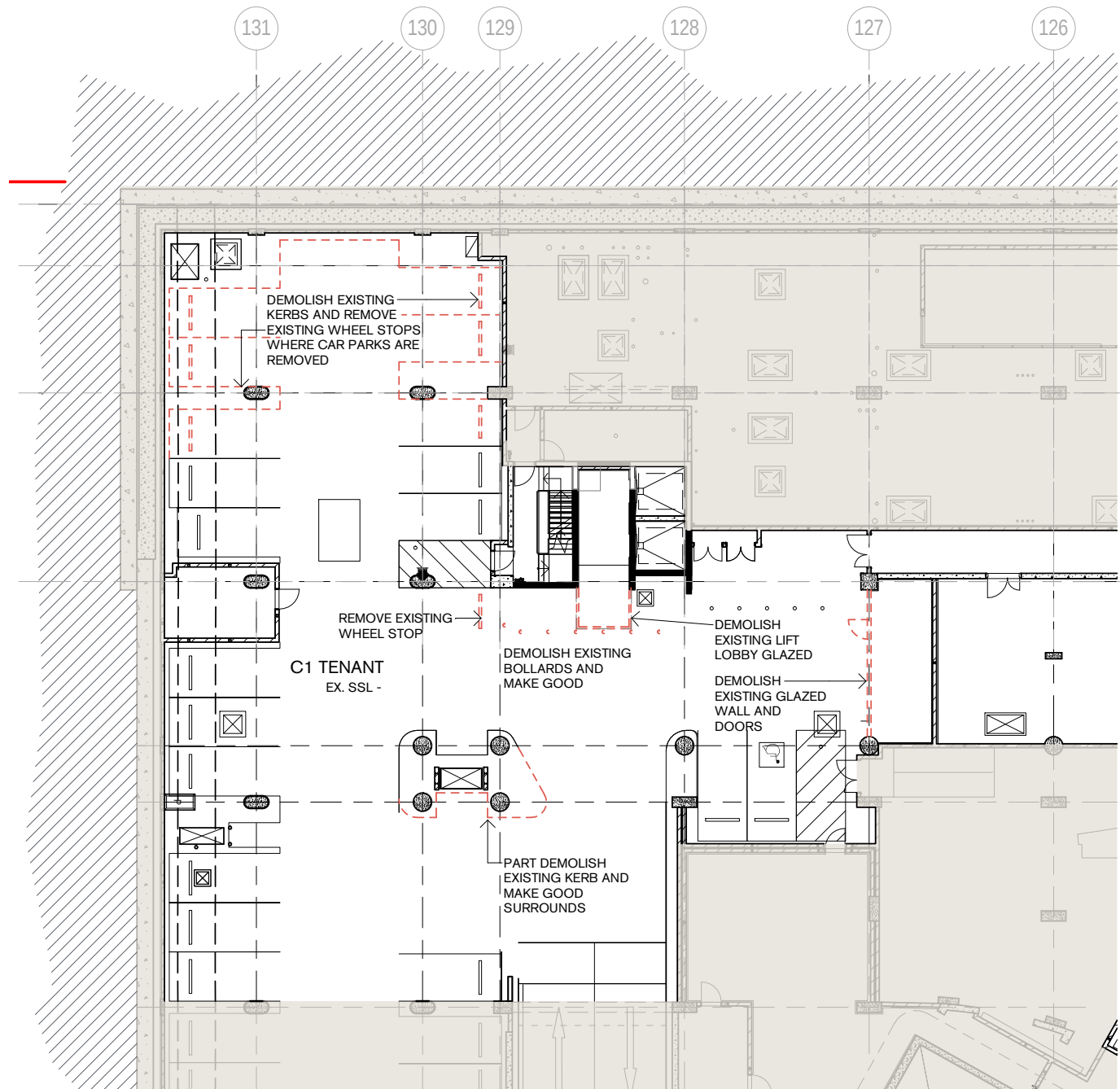
DATE
23.01.2018

PROJECT
17012

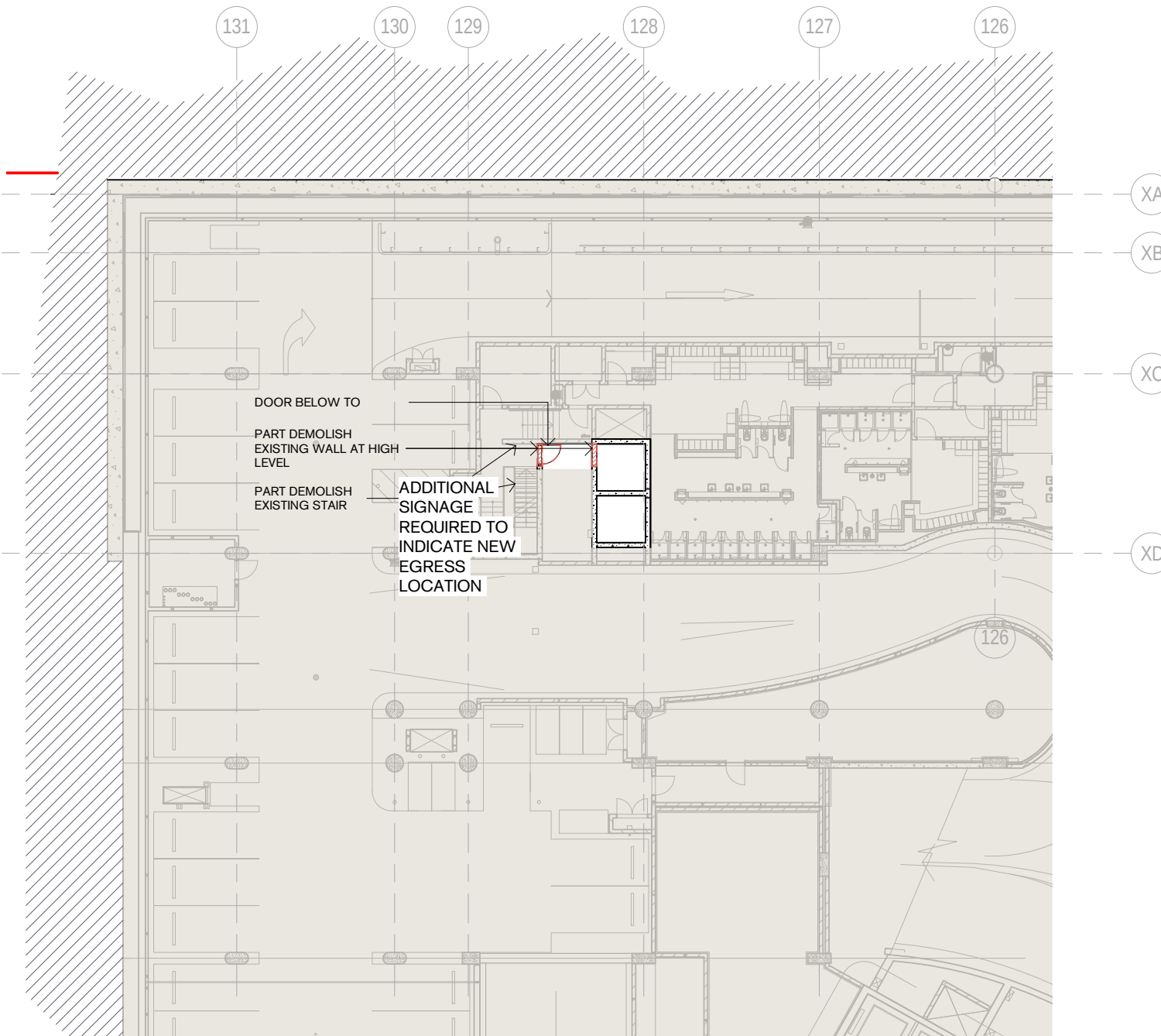
DRAWING
BCC1AD1B100

REVISION
3

2 | Basement B2 Demolition Plan
1 : 300



1 | Basement B1 Demolition Plan
1 : 300

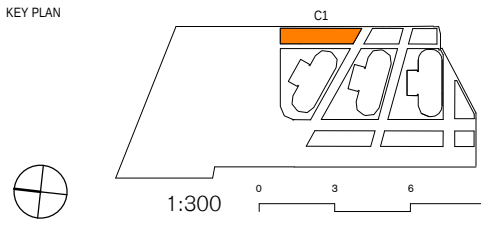


GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

TO BE DEMOLISHED

AREAS NOT PART OF THESE WORKS

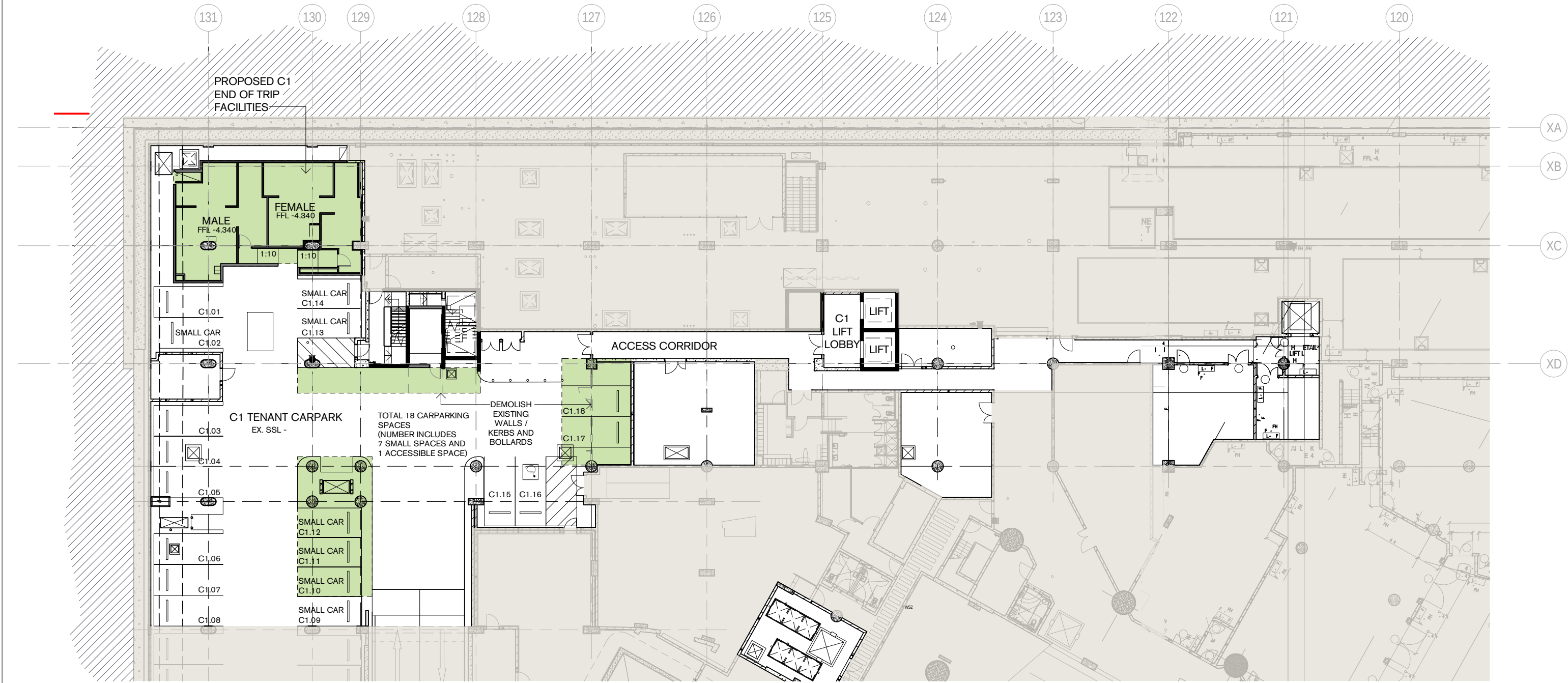
REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for planning Application	12.10.2017
2	RTS Submission	23.01.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Demolition Plans - Basement	
SCALE @ A3 1 : 300	DATE 23.01.2018	PROJECT 17012	REVISION 2
DRAWING BCC1AD1B125			

1 | Basement B2 Floor Plan
1 : 300

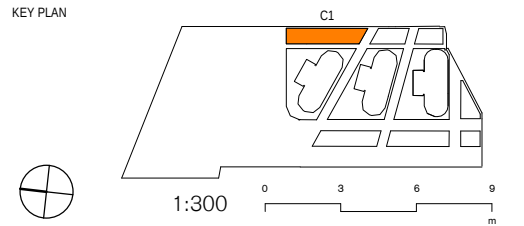


GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

[Dashed line]	BASEMENT AREA ALLOCATED TO BUILDING C1
[Hatched area]	AREAS NOT PART OF THESE WORKS
[Green area]	PROPOSED NEW WORKS

REVISION SCHEDULE

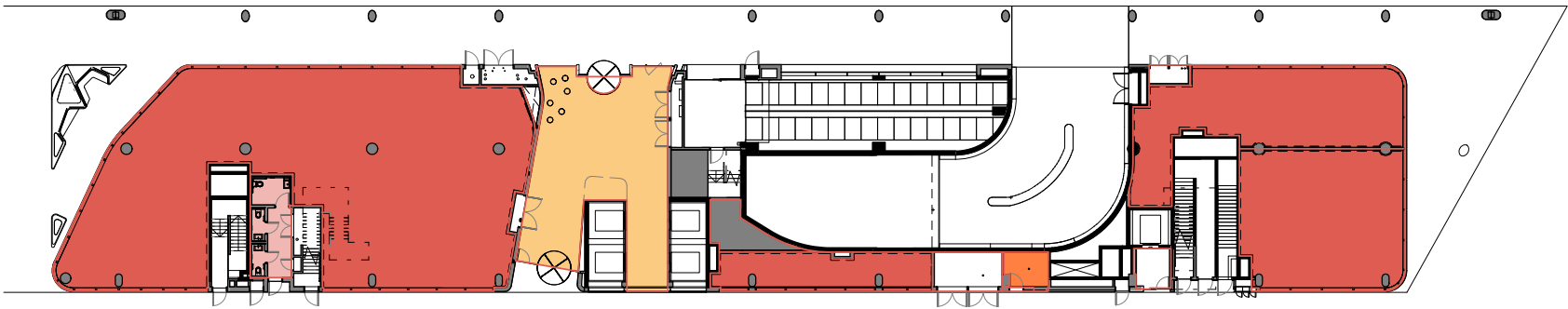
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease

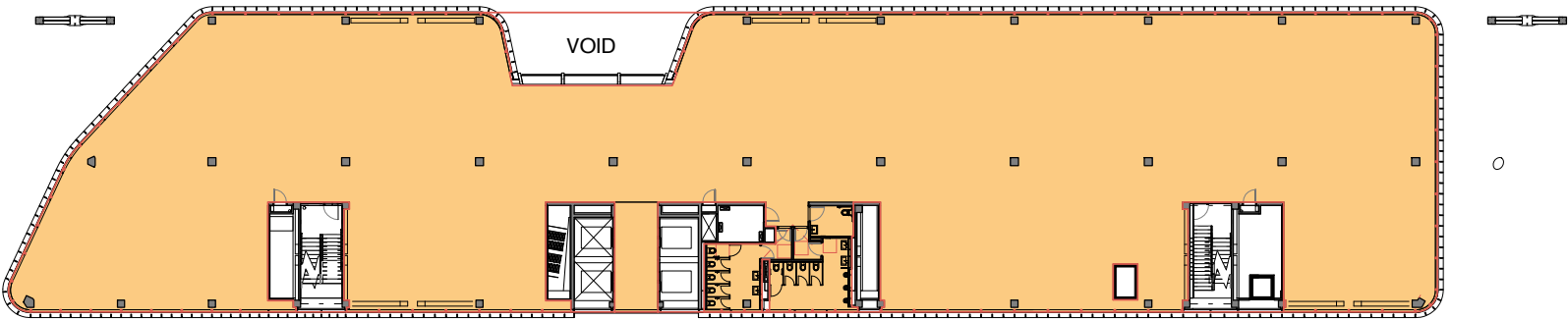
Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GA Plan - Basement 2	
SCALE @ A3 1 : 300	DATE 23.01.2018	PROJECT 17012	REVISION 3
DRAWING BCC1AD1B200			

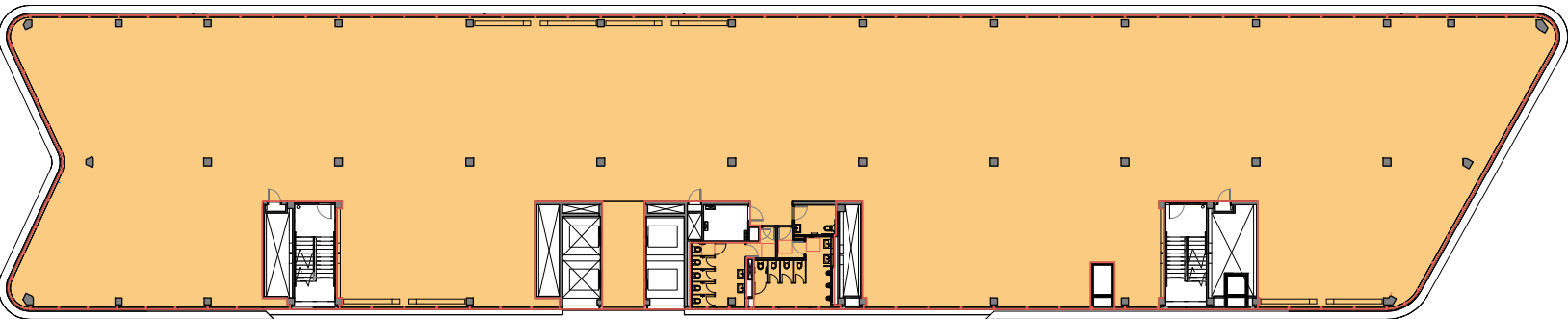
1 | Ground Floor
1 : 500



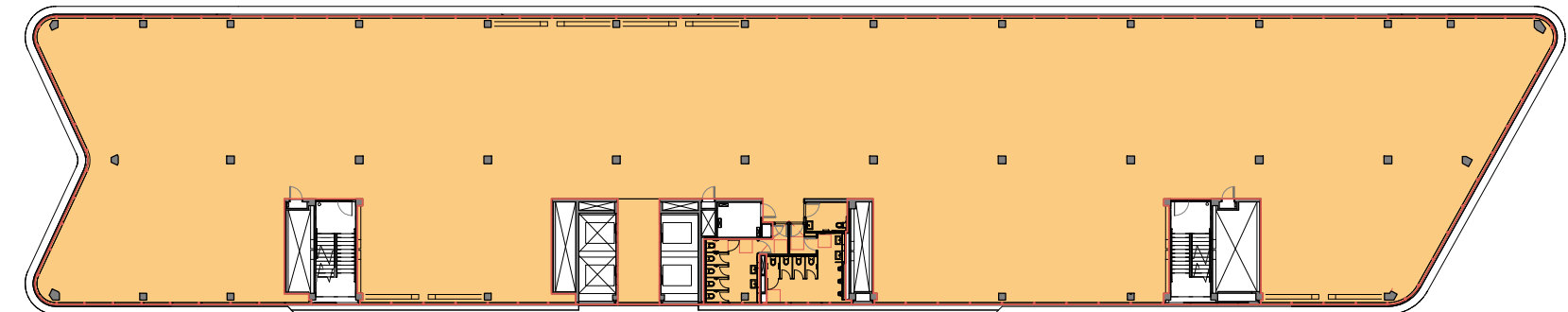
2 | Level 1
1 : 500



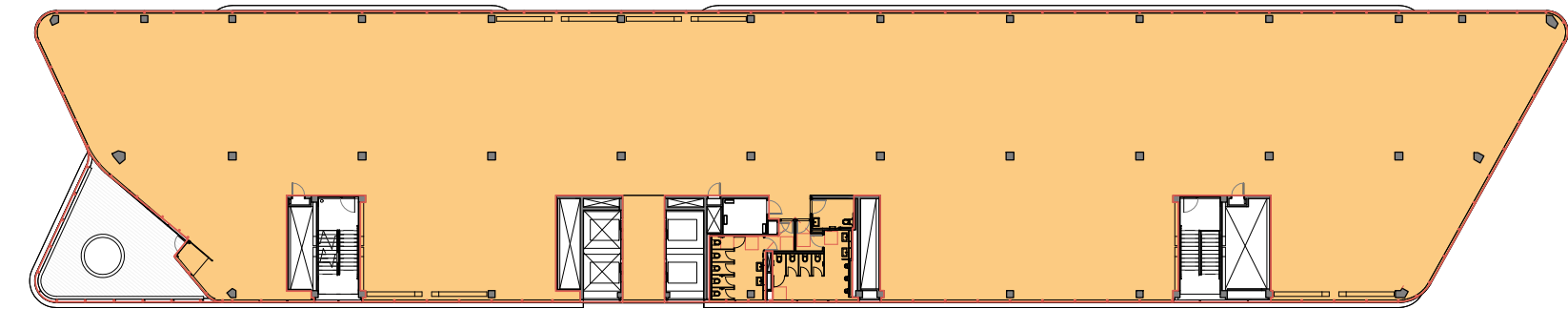
3 | Level 2
1 : 500



4 | Level 3-5
1 : 500

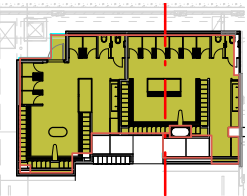


5 | Level 6
1 : 500



Preliminary GFA

Level	Name	Area
Commercial		
B2	EOT FACILITIES	103 m ²
Ground	COMMERCIAL LOBBY	123 m ²
Level 1	COMMERCIAL	1604 m ²
Level 2	COMMERCIAL	1843 m ²
Level 3	COMMERCIAL	1848 m ²
Level 4	COMMERCIAL	1848 m ²
Level 5	COMMERCIAL	1848 m ²
Level 6	COMMERCIAL	1777 m ²
		10995 m ²
Retail		
Ground	RETAIL C1.01	407 m ²
Ground	RETAIL C1.02	42 m ²
Ground	RETAIL C1.03	116 m ²
Ground	RETAIL C1.04	113 m ²
Ground	GROUND WC	22 m ²
Ground	GARBAGE ROOM	8 m ²
TOTAL		708 m ²
		11703 m ²



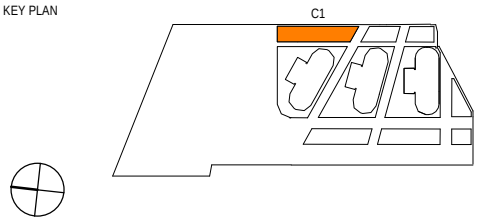
6 | Basement 2
1 : 500

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



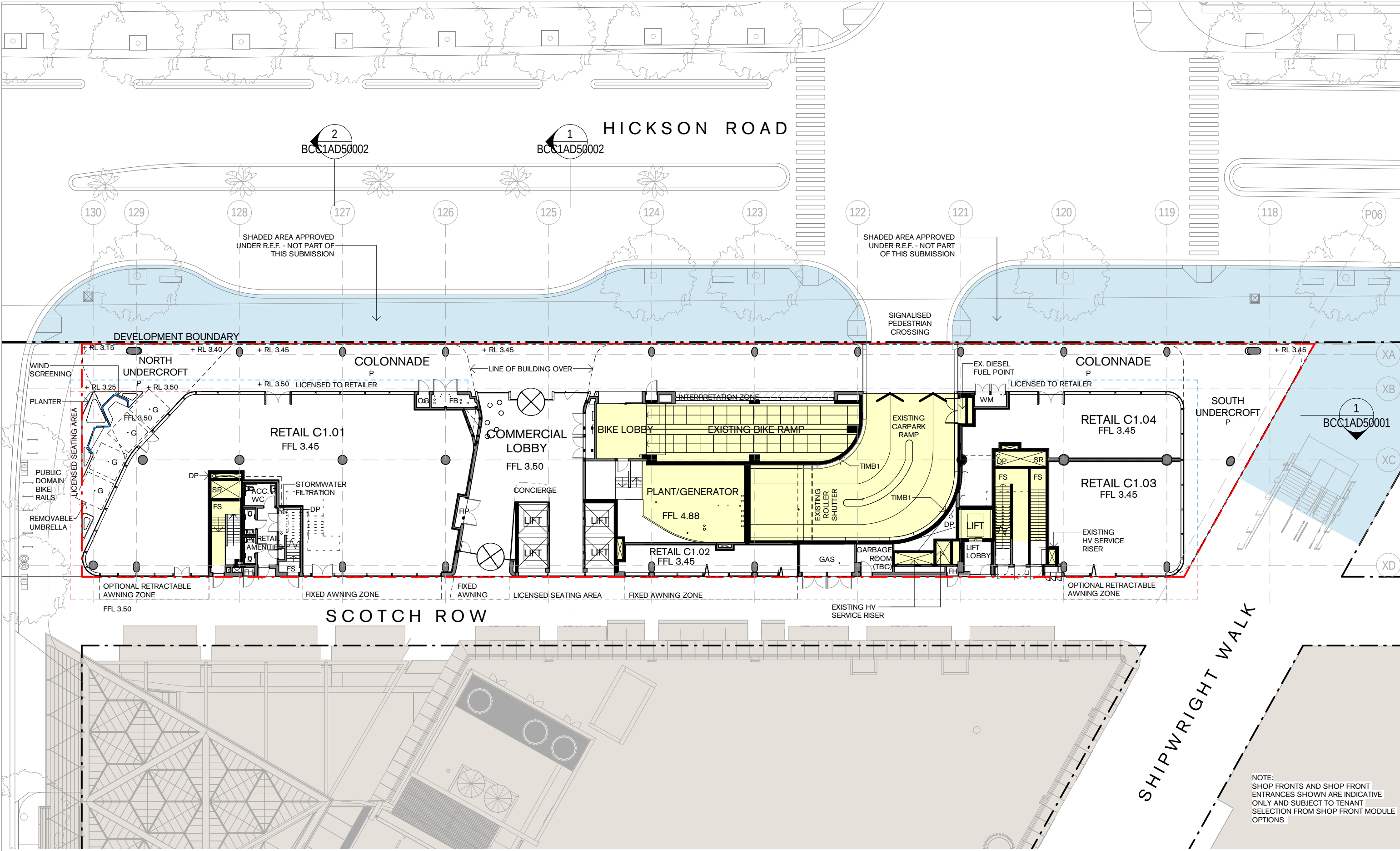
LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	For Information	17.01.2018
4	RTS Submission	23.01.2018
5	RTS Submission Revision	13.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GFA Summary	
SCALE @ A3 1 : 500	DATE 13.03.2018	PROJECT 17012	DRAWING BCC1AD00007
			REVISION 5

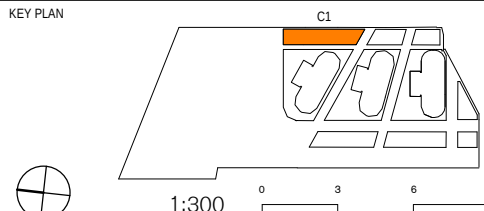


GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND	
ACC	ACCESSIBLE
DP	DOWNPIPE
EX	EXISTING
FB	FIRE BOOSTER
FFL	FINISHED FLOOR LEVEL
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FS	FIRE STAIR
G	GAS BAYONET
GAS	GAS METER
OG	OVER FLOW GULLY
OF	OVER FLOW
P	PAVING CONSISTENT WITH SURROUNDING PUBLIC DOMAIN
RL	REDUCED LEVEL
RO	RAINWATER OUTLET
SR	SERVICE RISER
SS1	SUN SHADE
WC	AMENITIES
WM	WATER METER
- - -	PROJECT BOUNDARY
Yellow	EXISTING RETAINED
Grey	SHADED AREAS NOT PART OF THIS APPLICATION

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for Planning Application	12.10.2017
4	Issued for Planning Application	17.10.2017
5	RTS Submission Draft	12.01.2018
6	RTS Submission	17.01.2018
7	RTS Submission	23.01.2018
8	RTS Submission	31.01.2018
9	RTS Submission	08.02.2018
10	RTS Submission	08.03.2018
11	RTS Submission Revision	13.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GA Plan - Ground Floor	
SCALE @ A3 1 : 300	DATE 13.03.2018	PROJECT 17012	DRAWING BCC1AD20000
			REVISION 11

HICKSON ROAD

130 129 128 127 126 125 124 123 122 121 120 119 118 P06

DEVELOPMENT BOUNDARY

EX.COLUMN BASE AMENDED TO SUIT NEW

DEMOLISH EX. WALL AND GLAZING

EX.COLUMN BASE AMENDED TO SUIT NEW

EX.COLUMN BASE AMENDED TO SUIT NEW

TEMPORARY PLANTERS, FURNITURE AND GROUND SLAB TO BE REMOVED

LAMP POST TO BE REMOVED

EX. STRIP DRAIN TO BE REMOVED

RETAIN EX. RISERS

DEMOLISH EX. STAIR SHAFT

EX. LIFT SHAFT RETAINED AND RE-PURPOSED FOR PROPOSED STAIR

DEMOLISH EX. WALL

EX. COLUMN BASE AMENDED TO SUIT NEW

DEMOLISH EX. SLAB

DEMOLISH EX. WALL

PARTIALLY DEMOLISH EX. WALL

REMOVE TEMP. LIDS TO EX. LIFT SHAFT

RETAIN EX. STACK

EX.COLUMN BASE AMENDED TO SUIT NEW

RETAIN EX. RISERS

DEMOLISH EX. COLUMNS

DEMOLISH EX. ROOF OVER

PARTIALLY DEMOLISH EX. WALL

EX.COLUMN BASE AMENDED TO SUIT NEW

EXISTING CARPARK RAMP

EXISTING ROLLER SHUTTER

RETAIN BIKE RAMP

LIFT

RETAIN EX. RISERS

RETAIN EX. COLUMN BASE

DEMOLISH EX. SLAB OVER SHOWN HATCHED

RETAIN EX. RISER

SHIPWRIGHT WALK

SCOTCH ROW

1 | Ground Floor Demolition Plan
1:300

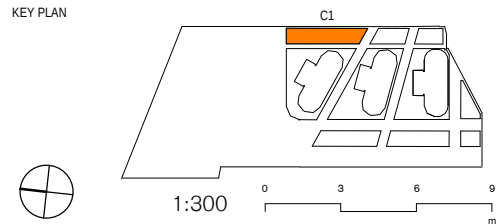
1 | Ground Floor Demolition Plan
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RLs on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

 TO BE DEMOLISHED

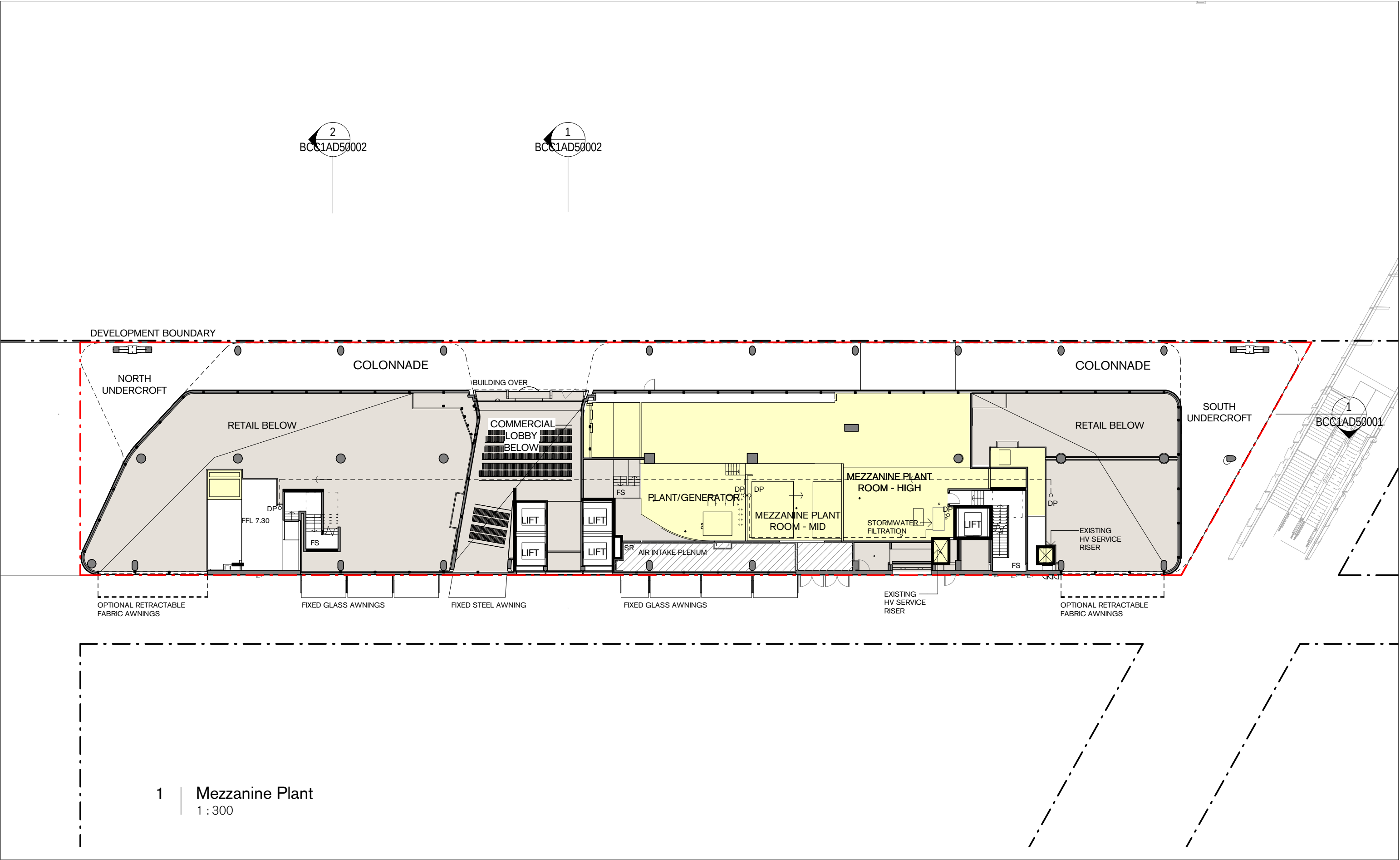
 AREAS NOT PART OF THESE WORKS

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for planning Application	12.10.2017
4	RTS Submission	23.01.2018



ARCHITECT
Tzannes
 63 Myrtle Street, Chippendale
 NSW 2008 Sydney Australia
 T +61 2 9319 3744 E tzannes@tzannes.com.au

BARANGAROO SOUTH Commercial Building C1	
Demolition Plan - Ground Floor	
DRAWING BCC1AD20025	REVISION 4



1 | Mezzanine Plant
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN

1:300

LEGEND

ACC	ACCESSIBLE	GAS	GAS METER	WC	AMENITIES
DP	DOWNPIPE	OG	OVER FLOW GULLY	WM	WATER METER
EX	EXISTING	OF	OVER FLOW		
FB	FIRE BOOSTER	P	PAVING CONSISTENT WITH SURROUNDING PUBLIC DOMIAN	- - -	PROJECT BOUNDARY
FFL	FINISHED FLOOR LEVEL	RL	REDUCED LEVEL		
FH	FIRE HYDRANT	RO	RAINWATER OUTLET		
FHR	FIRE HOSE REEL	SR	SERVICE RISER		
FIP	FIRE INDICATOR PANEL	SS1	SUN SHADE		
FS	FIRE STAIR				
G	GAS BAYONET				

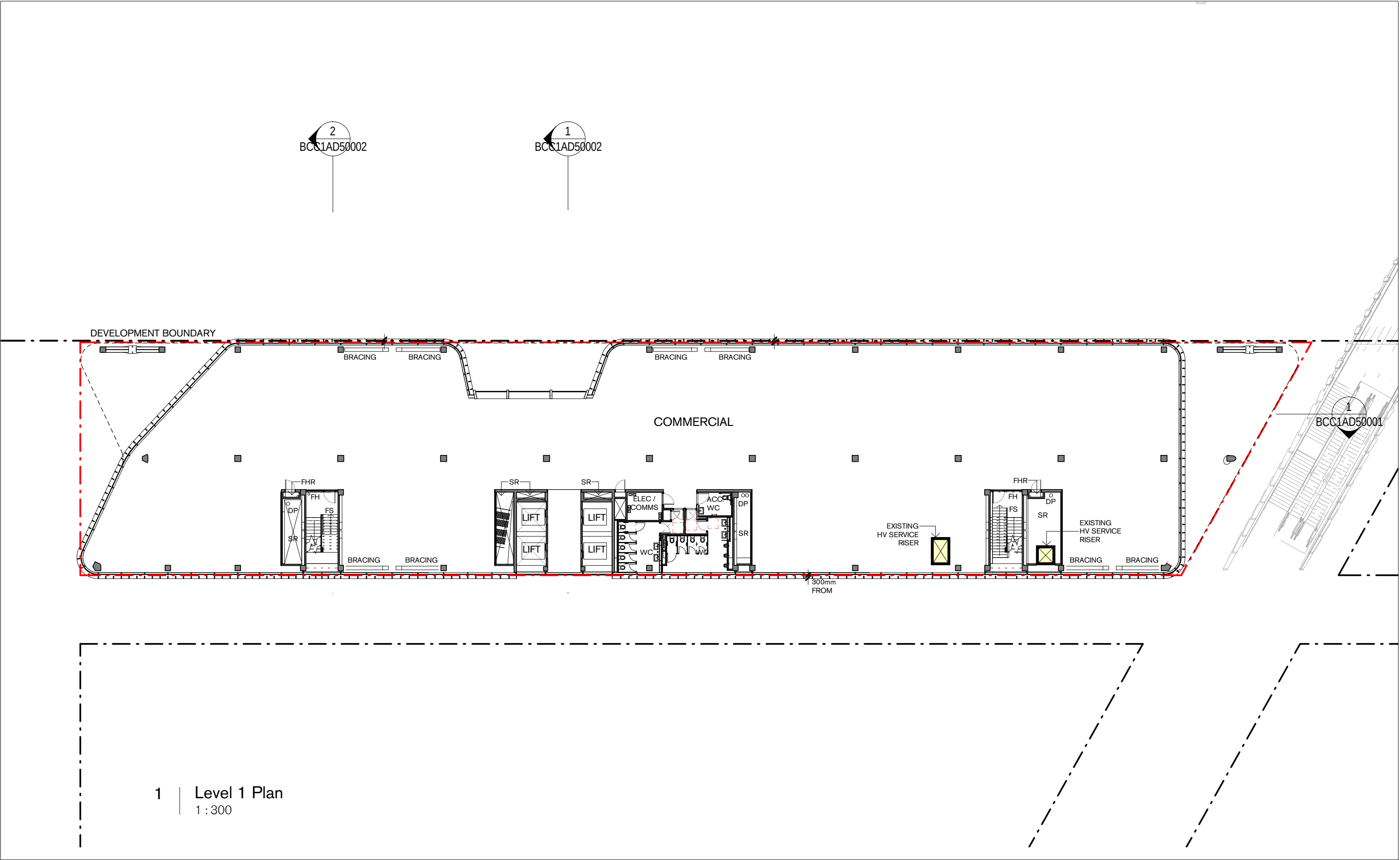
EXISTING RETAINED

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for Planning Application	17.10.2017
4	RTS Submission	23.01.2018
5	RTS Submission	31.01.2018
6	RTS Submission	08.02.2018
7	RTS Submission	09.02.2018
8	RTS Submission Revision	13.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GA Plan - Mezzanine	
SCALE @ A3 1 : 300	DATE 13.03.2018	PROJECT 17012	DRAWING BCC1AD30000
			REVISION 8



1 | Level 1 Plan
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN

1:300

LEGEND

ACC	ACCESSIBLE	GAS	GAS METER	WC	AMENITIES
DP	DOWNPIPE	OG	OVER FLOW GULLY	WM	WATER METER
EX	EXISTING	OF	OVER FLOW		
FB	FIRE BOOSTER	P	PAVING CONSISTENT WITH SURROUNDING PUBLIC DOMIAN	- - -	PROJECT BOUNDARY
FFL	FINISHED FLOOR LEVEL	RL	REDUCED LEVEL		
FH	FIRE HYDRANT	RO	RAINWATER OUTLET		
FHR	FIRE HOSE REEL	SR	SERVICE RISER		
FIP	FIRE INDICATOR PANEL	SS1	SUN SHADE		
FS	FIRE STAIR				
G	GAS BAYONET				

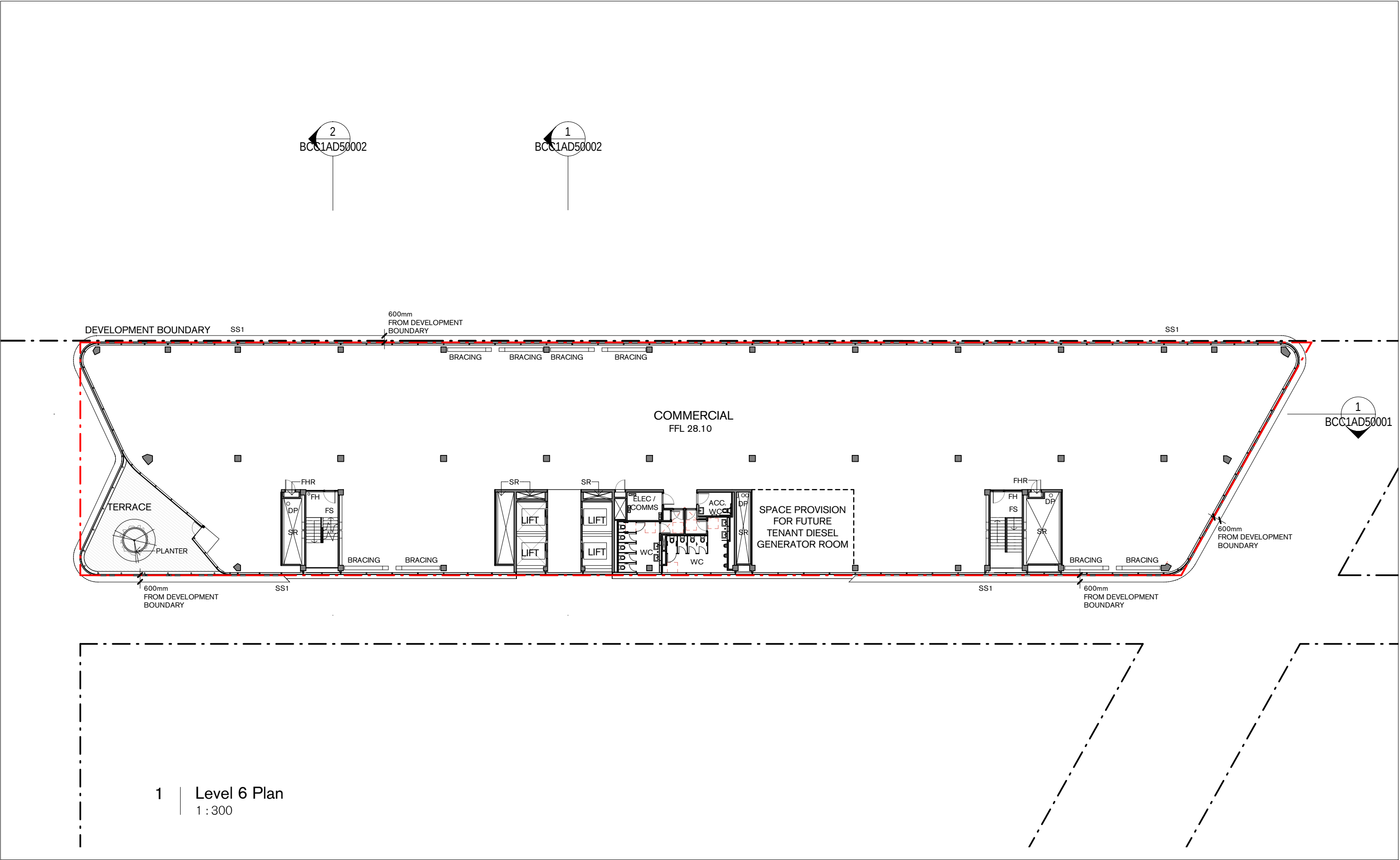
EXISTING RETAINED

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for Planning Application	17.10.2017
4	RTS Submission	17.01.2018
5	RTS Submission	23.01.2018
6	RTS Submission Revision	13.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GA Plan - Level 01	
SCALE @ A3 1 : 300	DATE 13.03.2018	PROJECT 17012	DRAWING BCC1AD30100
			REVISION 6



GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN

LEGEND

ACC	ACCESSIBLE	GAS	GAS METER	WC	AMENITIES
DP	DOWNPIPE	OG	OVER FLOW GULLY	WM	WATER METER
EX	EXISTING	OF	OVER FLOW		
FB	FIRE BOOSTER	P	PAVING CONSISTENT WITH SURROUNDING PUBLIC DOMIAN		
FFL	FINISHED FLOOR LEVEL	RL	REDUCED LEVEL		
FH	FIRE HYDRANT	RO	RAINWATER OUTLET		
FHR	FIRE HOSE REEL	SR	SERVICE RISER		
FIP	FIRE INDICATOR PANEL	SS1	SUN SHADE		
FS	FIRE STAIR				
G	GAS BAYONET				

--- PROJECT BOUNDARY

■ SHADED AREAS NOT PART OF THIS APPLICATION

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for Planning Application	17.10.2017
4	RTS Submission	17.01.2018
5	RTS Submission	23.01.2018
6	RTS Submission Revision	13.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		GA Plan - Level 06	
SCALE @ A3 1 : 300	DATE 13.03.2018	PROJECT 17012	DRAWING BCC1AD30600
			REVISION 6

Refer Junglify technical documentation

- *Myoporum parvifolium*
- *Brachyscome multifida*
- *Hibbertia scandens*
- *Aptenia cordifolia*
- *Gazania tomentosa*
- *Dianella caerulea*
- *Goodenia ovata*
- *Poa poiformis* 'Kingsdale'
- *Themeda australis* 'Mingo'
- *Carpbrotus glaucescens*
- *Crassula multicava*



GAS
OG
OF
P

RL
RO
SR
SS1

GAS METER
OVER FLOW GULLY
OVER FLOW
PAVING CONSISTENT
WITH SURROUNDING
PUBLIC DOMIAN
REDUCED LEVEL
RAINWATER OUTLET
SERVICE RISER
SUN SHADE

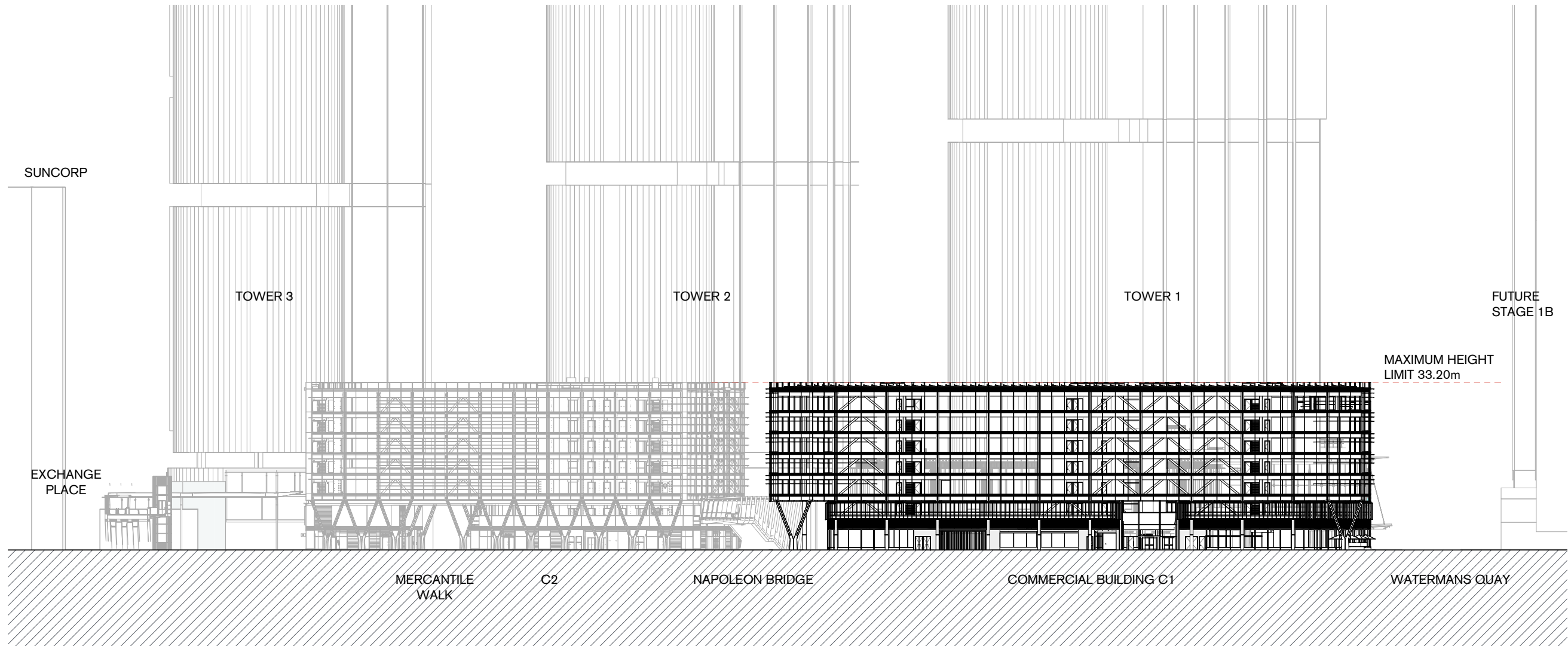
— - — PROJECT BOUNDARY

 MASS
PLANTING

 SHADED AREAS
NOT PART OF
THIS APPLICATION

Level 14, Tower Three, International Towers Sydney Exchange
Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

7



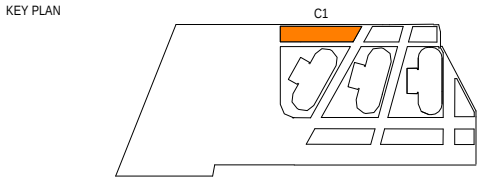
1 | Elevation East Context
1 : 800

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Contextual Street Elevation	
SCALE @ A3 1 : 800	DATE 23.01.2018	PROJECT 17012	DRAWING BCC1AD40000
			REVISION 3



1 | South Elevation
1 : 300

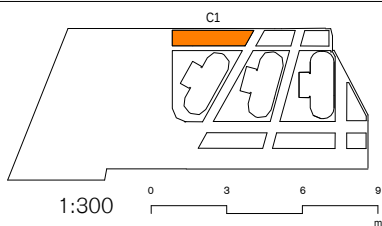
GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN



LEGEND

AW AWNING ZONE
BG1 BALUSTRADE GLAZING - CLEAR
BR BRICK
CON1 OFF FORM CONCRETE
CON2 OFF FORM CONCRETE TEXTURED
FG1 FIXED GLAZING
FG2 FIXED GLAZING - TIMBER VISIBLE
FG3 FIXED GLAZING WITH FRIT
FG4 FIXED GLAZING FROSTED

FG5 ALUMINIUM INFILL PANEL
KOP KIT OF PARTS FOR RETAIL SHOPFRONT
LVR LOUVRE
SS1 SUN SHADING
TIMB1 TIMBER SOLID
TIMB2 VERTICAL TIMBER BLADES
TIMB3 HORIZONTAL TIMBER BOARDS WITH SLOTS WHERE REQUIRED FOR MECH. VENTILATION

REVISION SCHEDULE

REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease



Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT

Tzannes

63 Myrtle Street, Chippendale
NSW 2008 Sydney Australia
T +61 2 9319 3744 E tzannes@tzannes.com.au

PLANNING APPLICATION
NOT FOR CONSTRUCTION

SCALE @ A3
1 : 300

DATE
23.01.2018

PROJECT
17012

BARANGAROO SOUTH
Commercial Building C1

South Elevation

DRAWING
BCC1AD41000

REVISION
3



1 | West Elevation
1 : 300

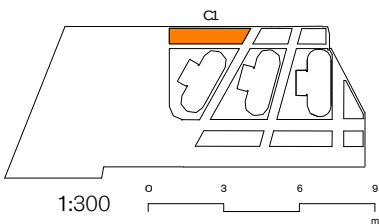
GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RLs on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

KEY PLAN



LEGEND

AW AWNING ZONE
BG1 BALUSTRADE GLAZING - CLEAR
BR BRICK
CON1 OFF FORM CONCRETE
CON2 OFF FORM CONCRETE TEXTURED
FG1 FIXED GLAZING
FG2 FIXED GLAZING - TIMBER VISIBLE
FG3 FIXED GLAZING WITH FRIT
FG4 FIXED GLAZING FROSTED

FG5 ALUMINIUM INFILL PANEL
KOP KIT OF PARTS FOR RETAIL SHOPFRONT
LVR LOUVER
SS1 SUN SHADING
TIMB1 TIMBER SOLID
TIMB2 VERTICAL TIMBER BLADES
TIMB3 HORIZONTAL TIMBER BOARDS WITH SLOTS WHERE REQUIRED FOR MECH VENTILATION

REVISION SCHEDULE

REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	17.01.2018
4	RTS Submission	23.01.2018
5	RTS Submission	31.01.2018
6	RTS Submission	08.02.2018

Lendlease



Level 14, Tower Three, International Towers Sydney/Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT

Tzannes

63 Myrtle Street, Chippendale
NSW 2008 Sydney Australia
T +61 2 9319 3744 E tzannes@tzannes.com.au

**PLANNING APPLICATION
NOT FOR CONSTRUCTION**

SCALE @A3
1 : 300

DATE
08.02.2018

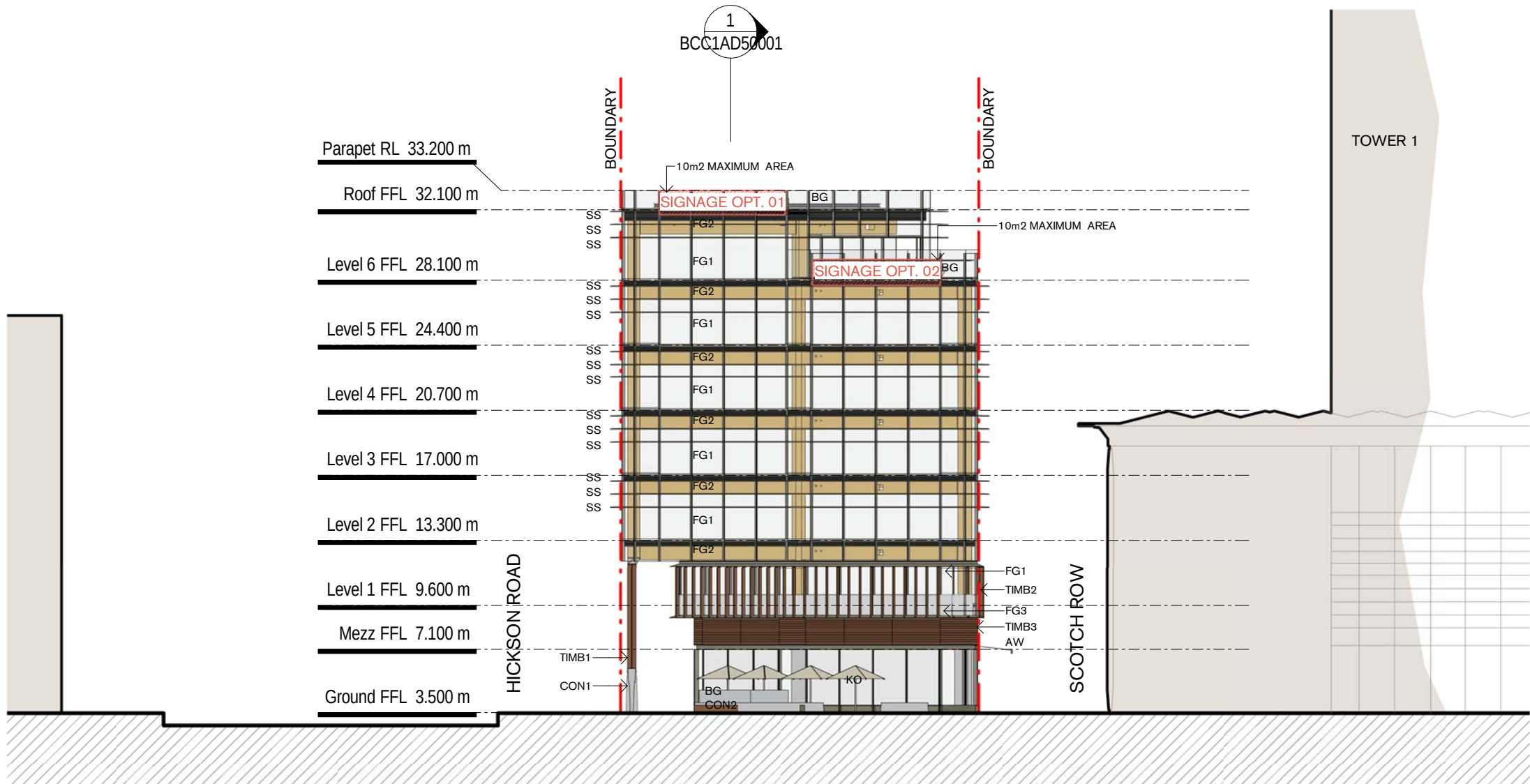
PROJECT
17012

**BARANGAROO SOUTH
Commercial Building C1**

West Elevation

DRAWING
BCC1AD42000

REVISION
6



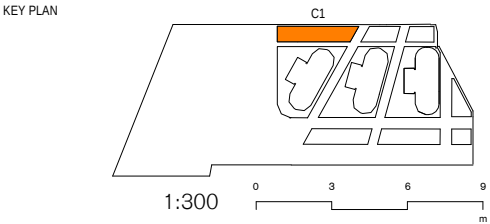
1 | North Elevation
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



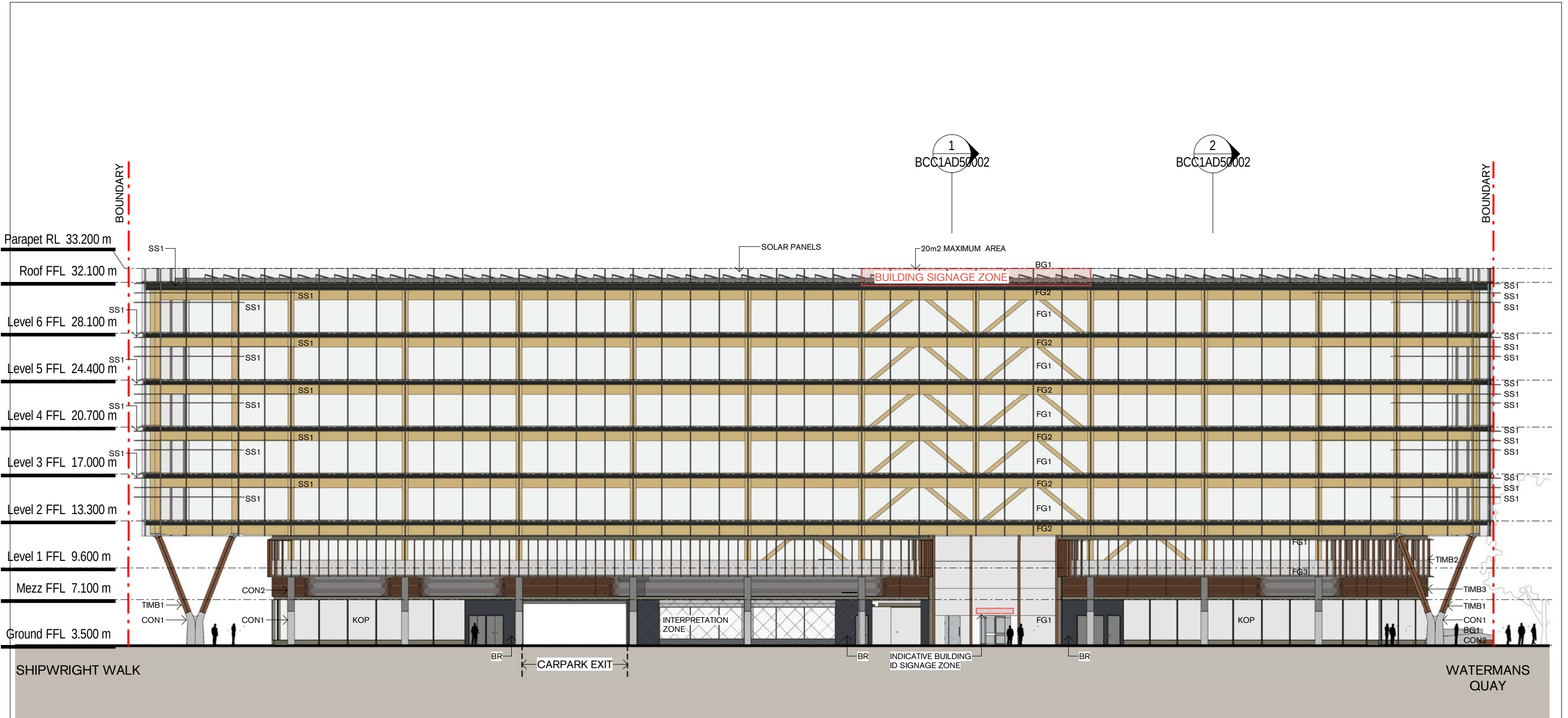
LEGEND	
AW	AWNING ZONE
BG1	BALUSTRADE GLAZING - CLEAR
BR	BRICK
CON1	OFF FORM CONCRETE
CON2	OFF FORM CONCRETE TEXTURED
FG1	FIXED GLAZING
FG2	FIXED GLAZING - TIMBER VISIBLE BEHIND
FG3	FIXED GLAZING WITH FRIT
FG4	FIXED GLAZING FROSTED
FG5	ALUMINIUM INFILL PANEL
KOP	KIT OF PARTS FOR RETAIL SHOPFRONT
LVR	LOUVRE
SS1	SUN SHADING
TIMB1	TIMBER SOLID
TIMB2	VERTICAL TIMBER BLADES
TIMB3	HORIZONTAL TIMBER BOARDS WITH SLOTS WHERE REQUIRED FOR MECH. VENTILATION

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		North Elevation	
SCALE @ A3 1 : 300	DATE 23.01.2018	PROJECT 17012	REVISION 3
DRAWING BCC1AD43000			



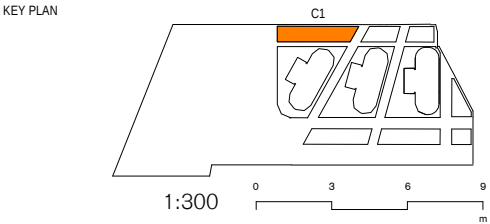
1 | East Elevation
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

AW AWNING ZONE
BG1 BALUSTRADE GLAZING - CLEAR
BR BRICK
CON1 OFF FORM CONCRETE
CON2 OFF FORM CONCRETE TEXTURED
FG1 FIXED GLAZING
FG2 FIXED GLAZING - TIMBER VISIBLE
FG3 FIXED GLAZING WITH FRIT
FG4 FIXED GLAZING FROSTED

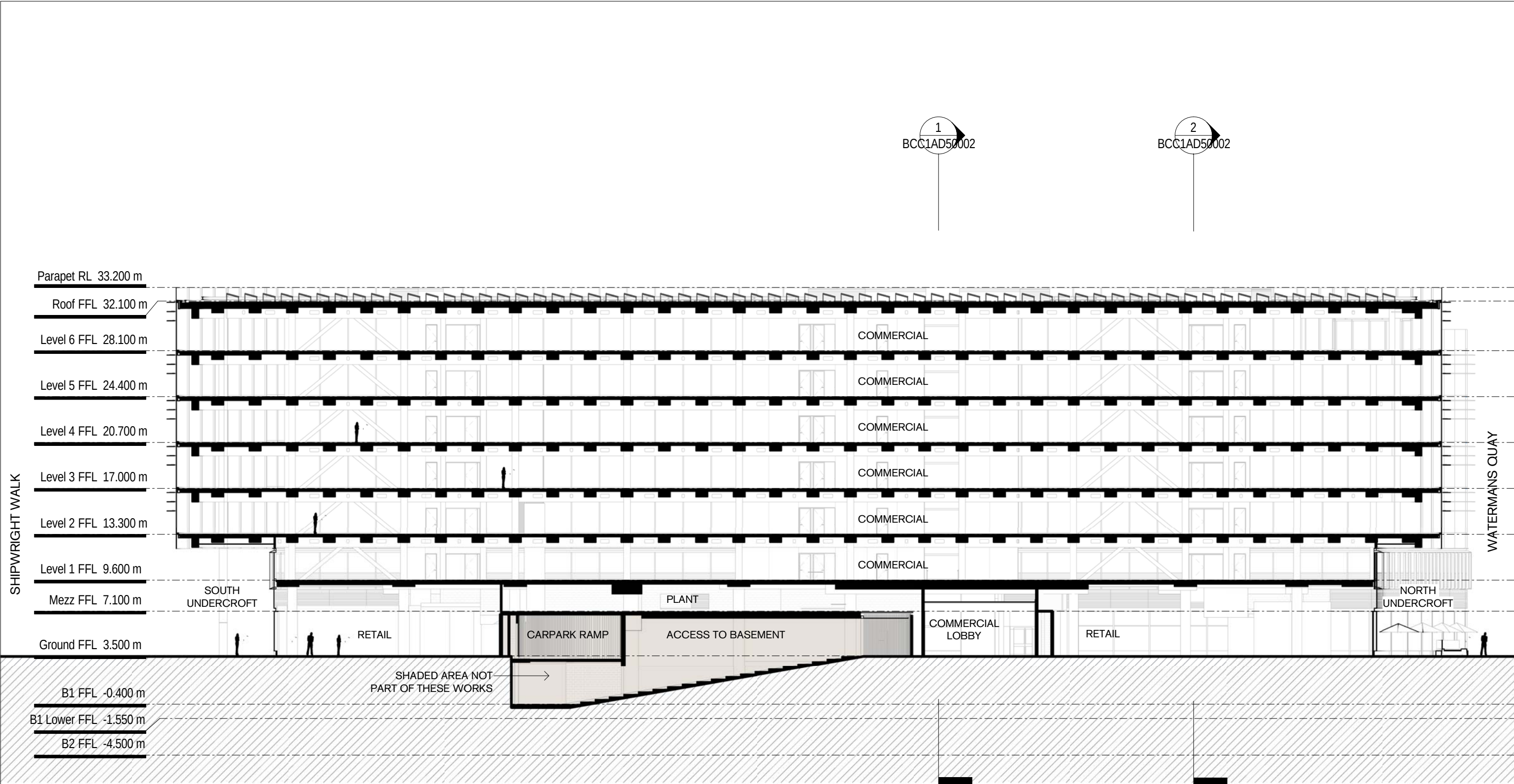
FG5 ALUMINIUM INFILL PANEL
KOP KIT OF PARTS FOR RETAIL SHOPFRONT
LVR LOUVRE
SS1 SUN SHADING
TIMB1 TIMBER SOLID
TIMB2 VERTICAL TIMBER BLADES
TIMB3 HORIZONTAL TIMBER BOARDS WITH SLOTS WHERE REQUIRED FOR MECH. VENTILATION

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	Issued for Planning Application	17.10.2017
4	Issued for Planning Application	19.10.2017
5	RTS Submission	17.01.2018
6	RTS Submission	23.01.2018
7	RTS Submission	31.01.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		East Elevation	
SCALE @ A3 1 : 300	DATE 31.01.2018	PROJECT 17012	REVISION 7
DRAWING BCC1AD44000			



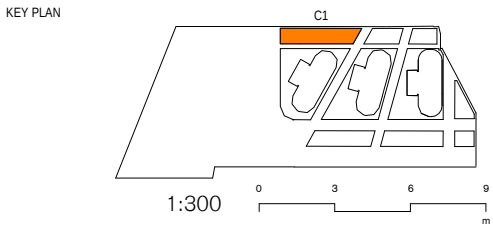
1 | Section AA
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

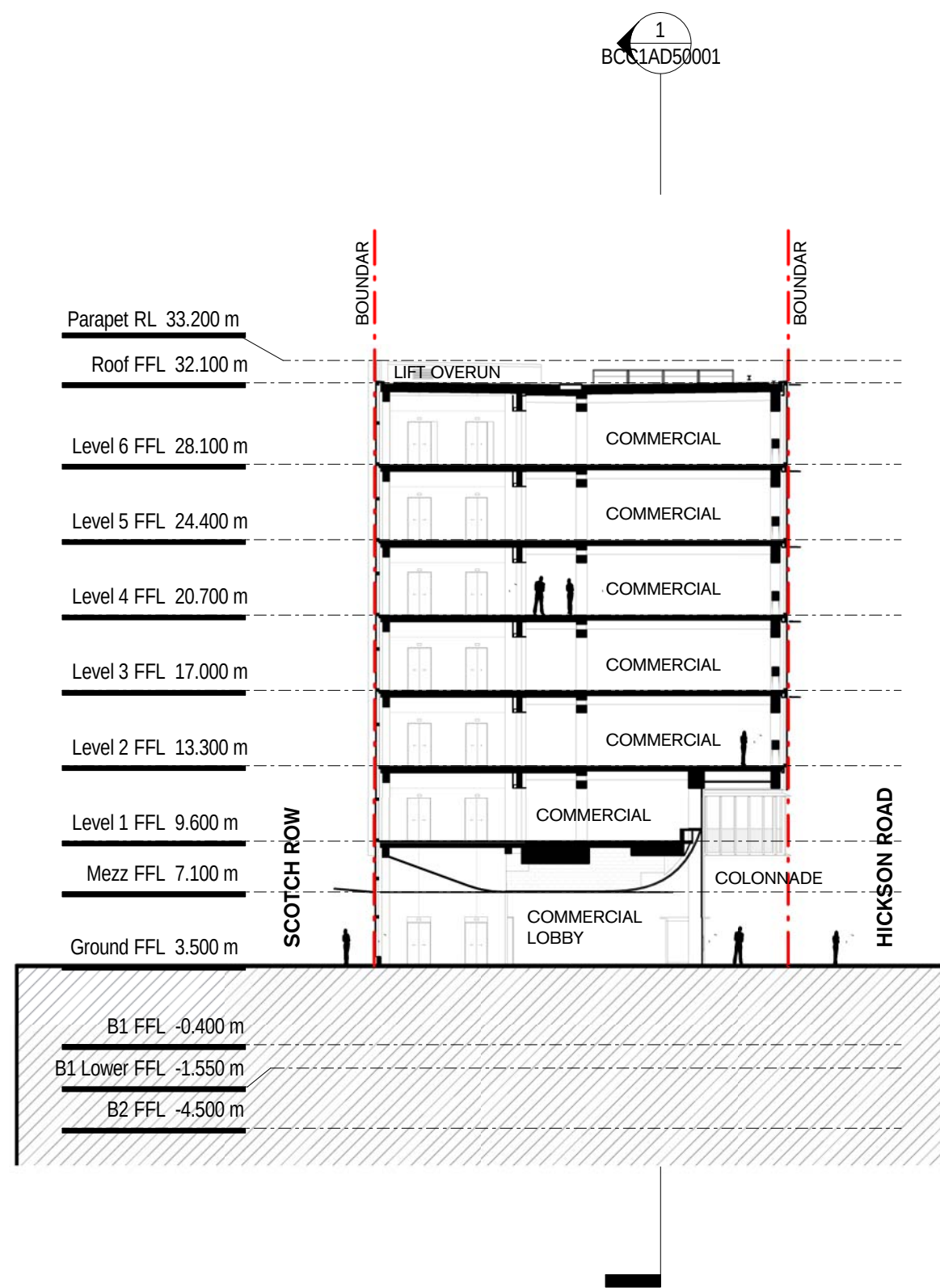


LEGEND

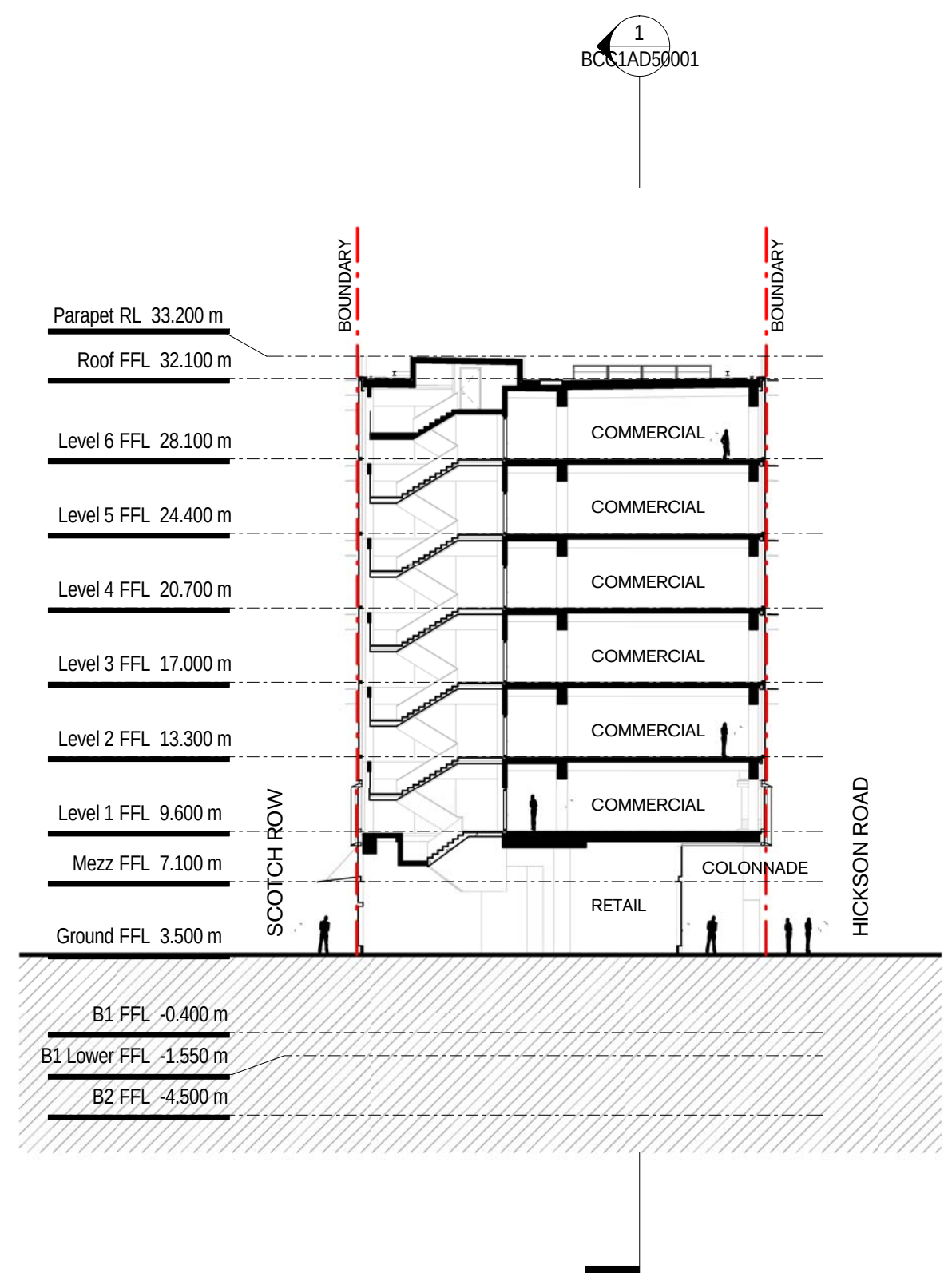
REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018



ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Section AA	
SCALE @ A3 1 : 300	DATE 23.01.2018	PROJECT 17012	REVISION 3
DRAWING BCC1AD50001			



1 | Section BB
1 : 300



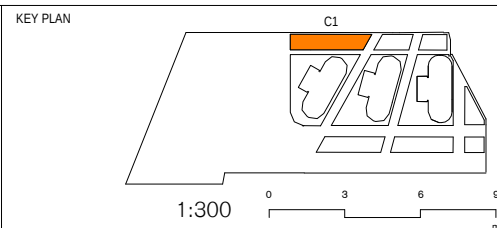
2 | Section CC
1 : 300

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



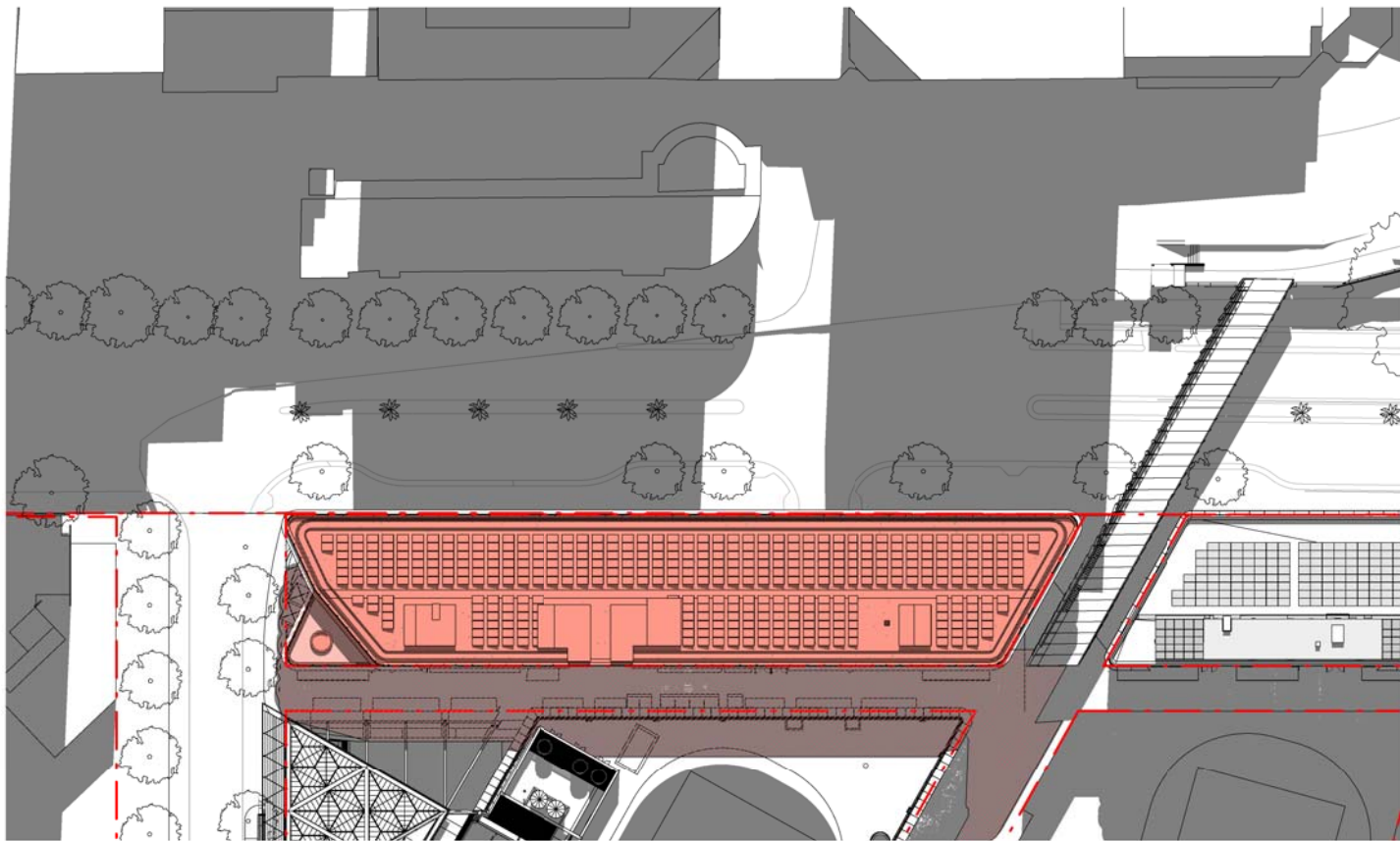
LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for BDA Review	29.09.2017
3	Issued for Planning Application	11.10.2017
4	RTS Submission	23.01.2018
5	RTS Submission	08.02.2018
6	RTS Submission	09.02.2018

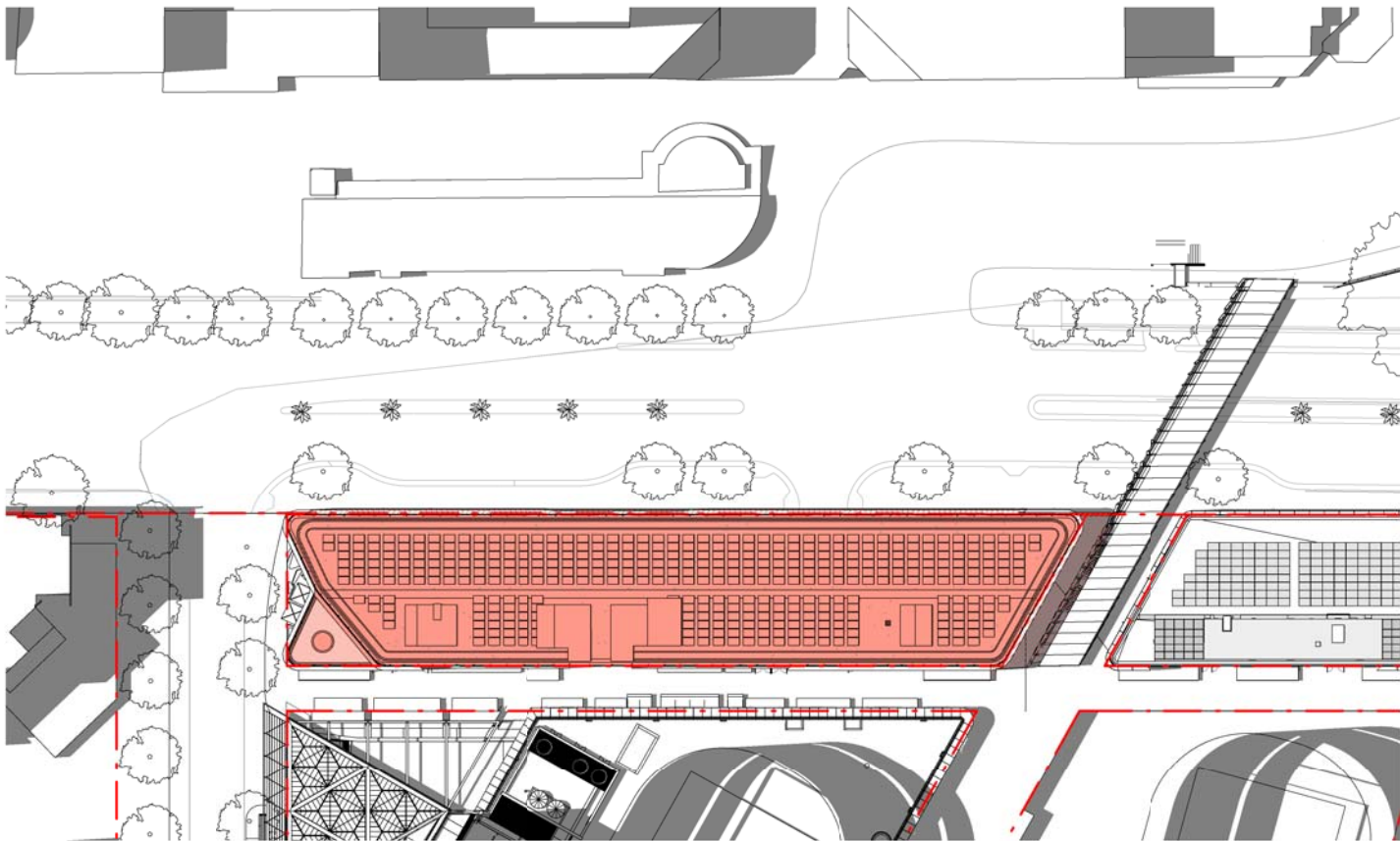
Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

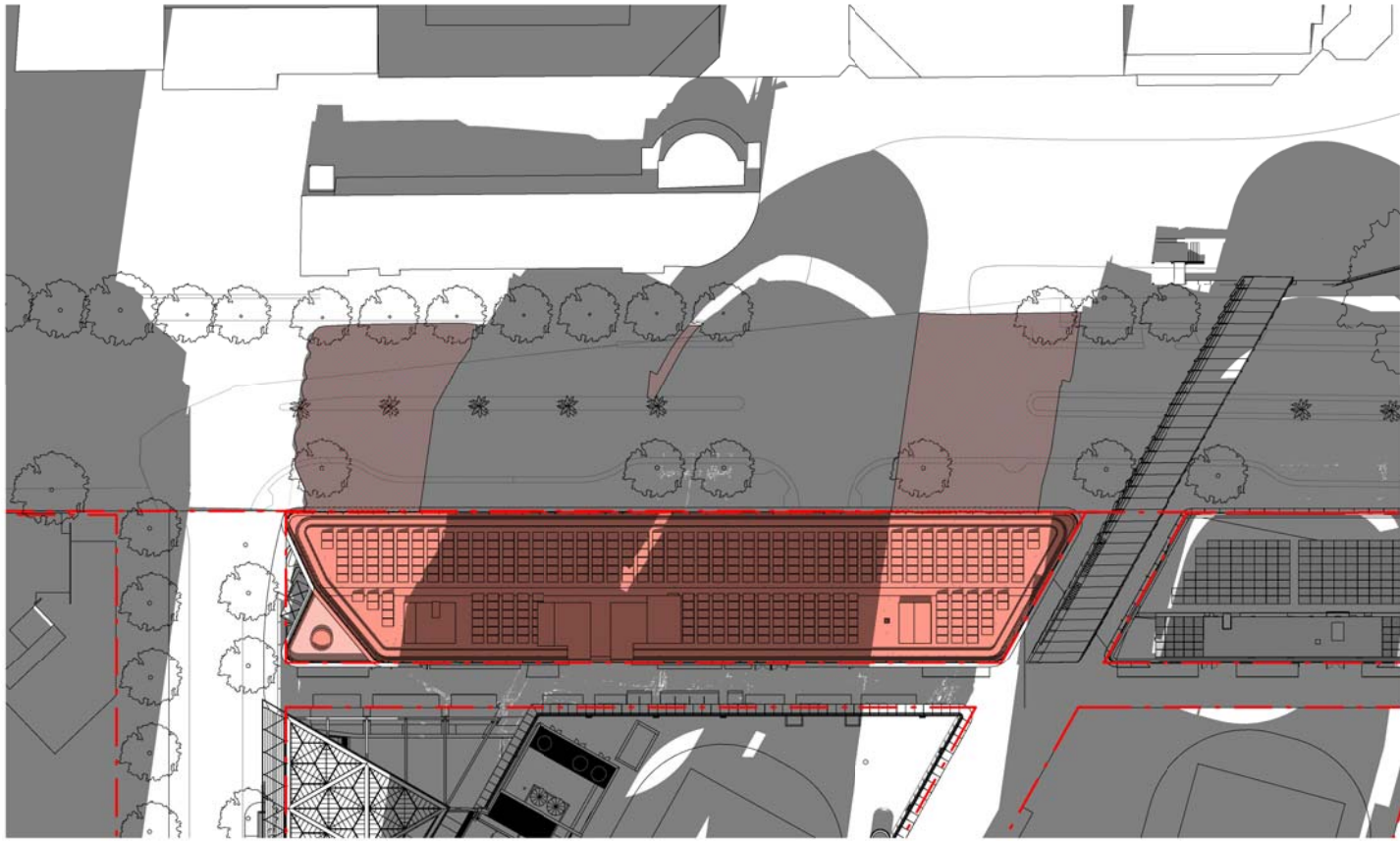
ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Section BB and CC	
SCALE @ A3 1 : 300	DATE 09.02.2018	PROJECT 17012	REVISION 6
DRAWING BCC1AD50002			



1 | Shadow Study 21DEC 9am
1 : 1000



2 | Shadow Study 21DEC 12pm
1 : 1000



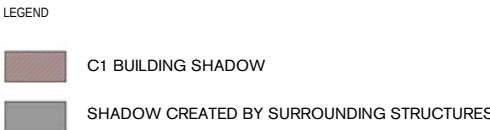
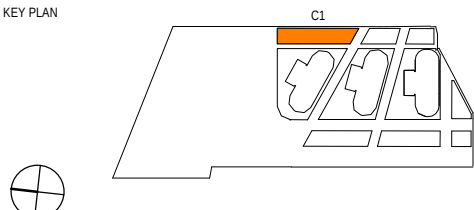
3 | Shadow Study 21DEC 3pm
1 : 1000

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.

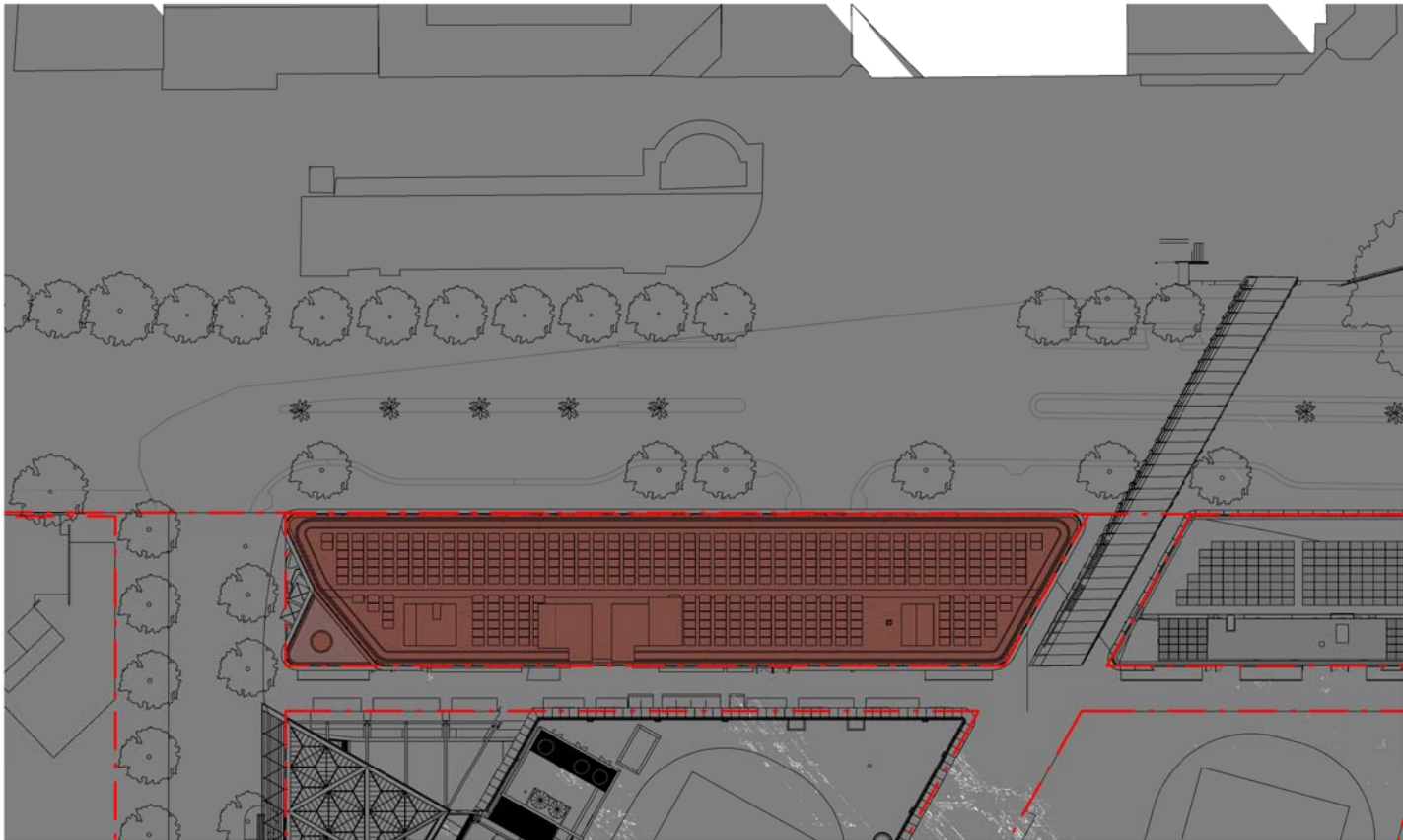


REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

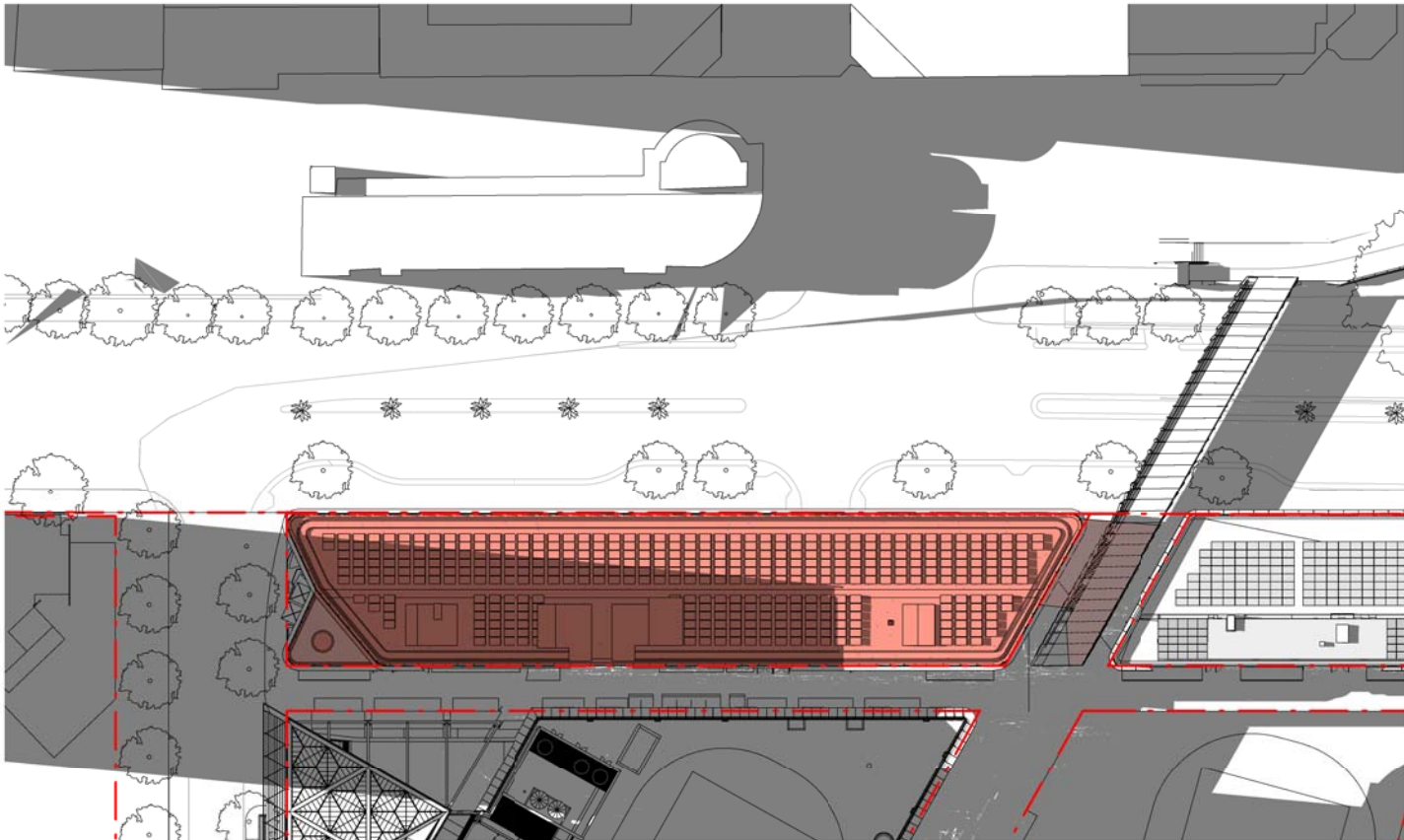
Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

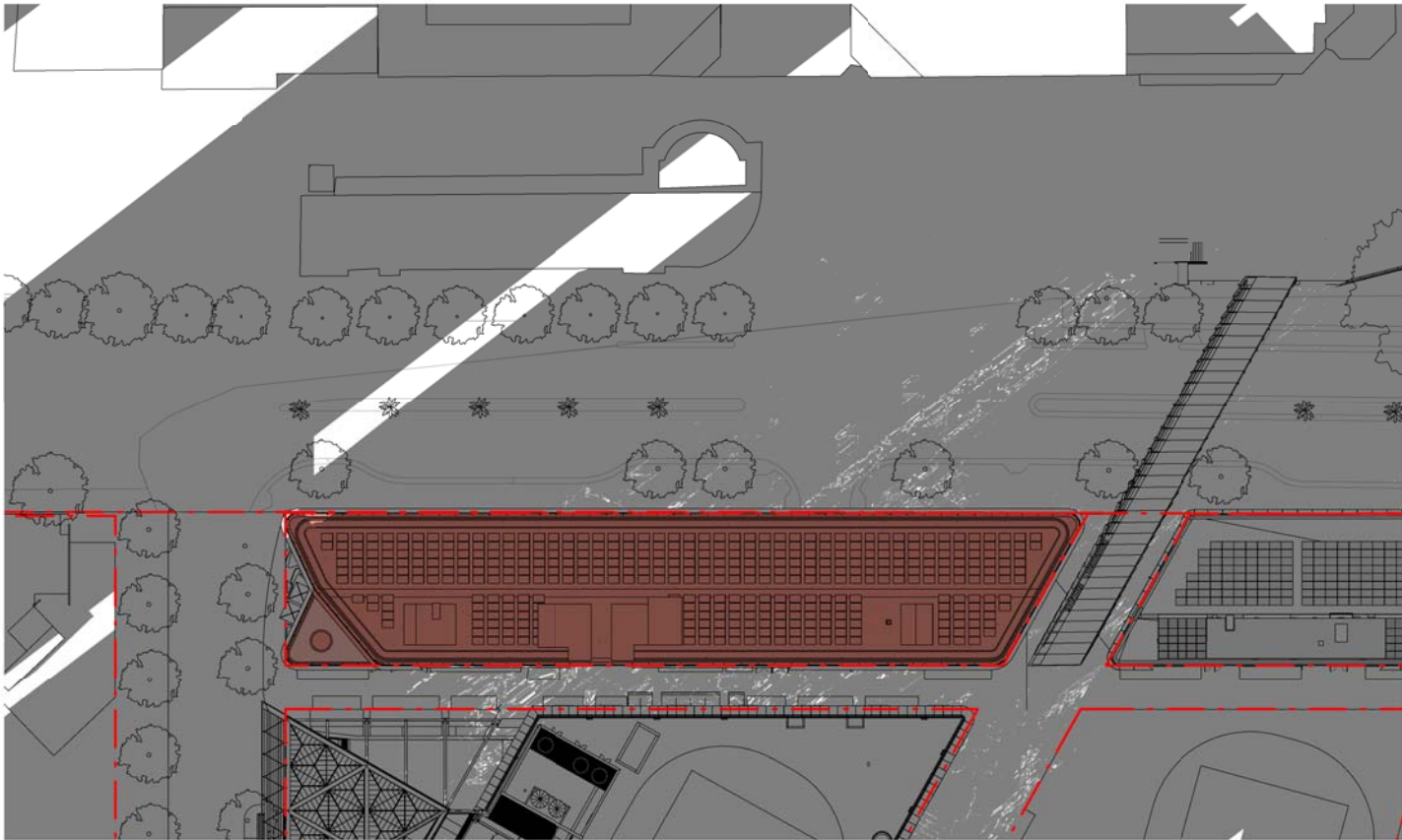
ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au	BARANGAROO SOUTH Commercial Building C1			
PLANNING APPLICATION NOT FOR CONSTRUCTION	Shadow Diagram Summer			
SCALE @ A3 As indicated	DATE 23.01.2018	PROJECT 17012	DRAWING BCC1AD65001	REVISION 3



1 | Shadow Study 21JUN 9am
1 : 1000



2 | Shadow Study 21JUN 12pm
1 : 1000



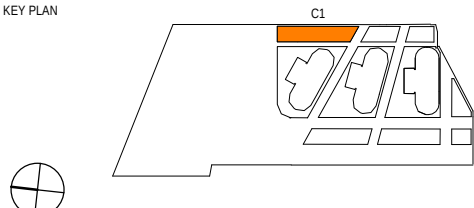
3 | Shadow Study 21JUN 3pm
1 : 1000

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



- LEGEND**
-  C1 BUILDING SHADOW
 -  SHADOW CREATED BY SURROUNDING STRUCTURES

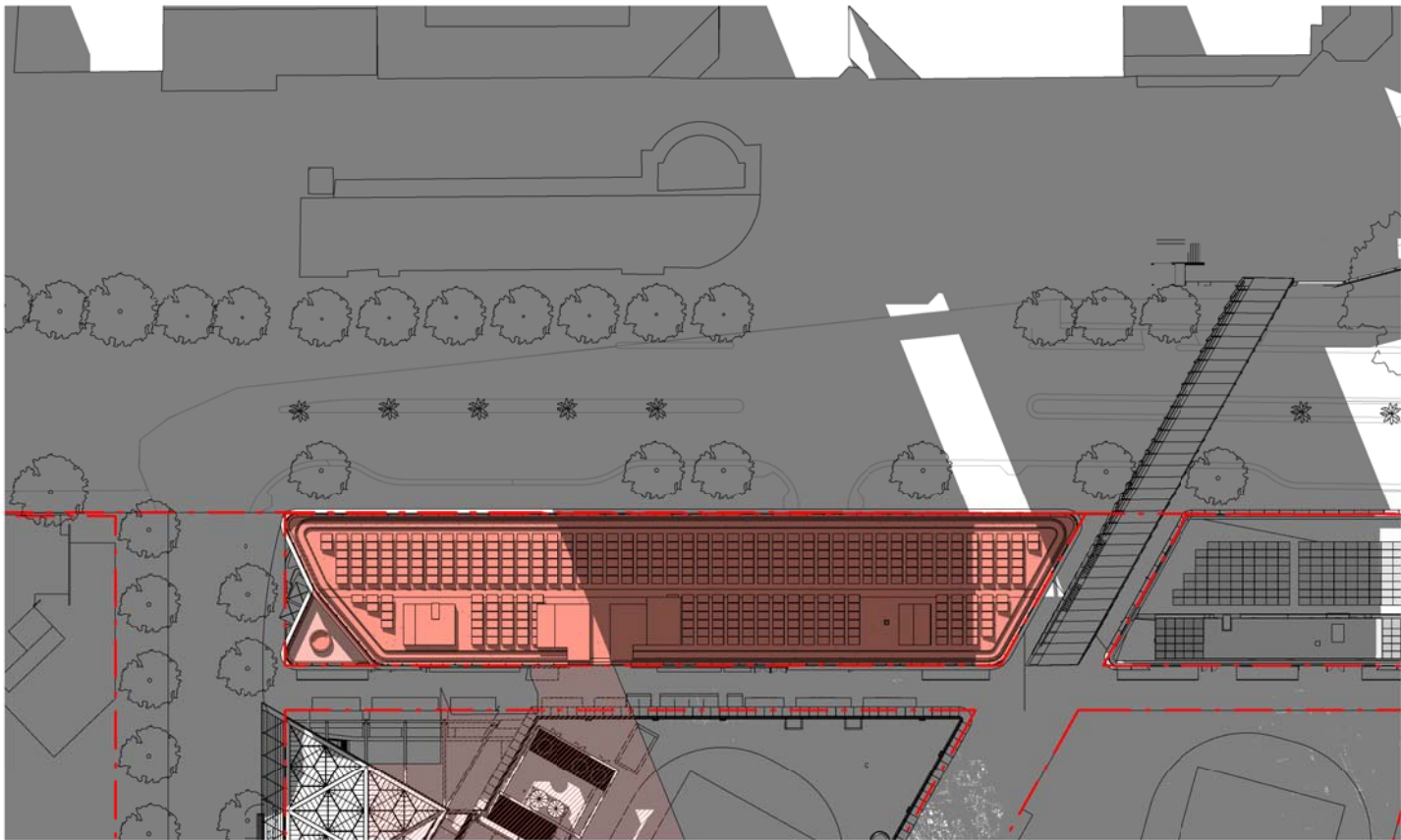
REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease

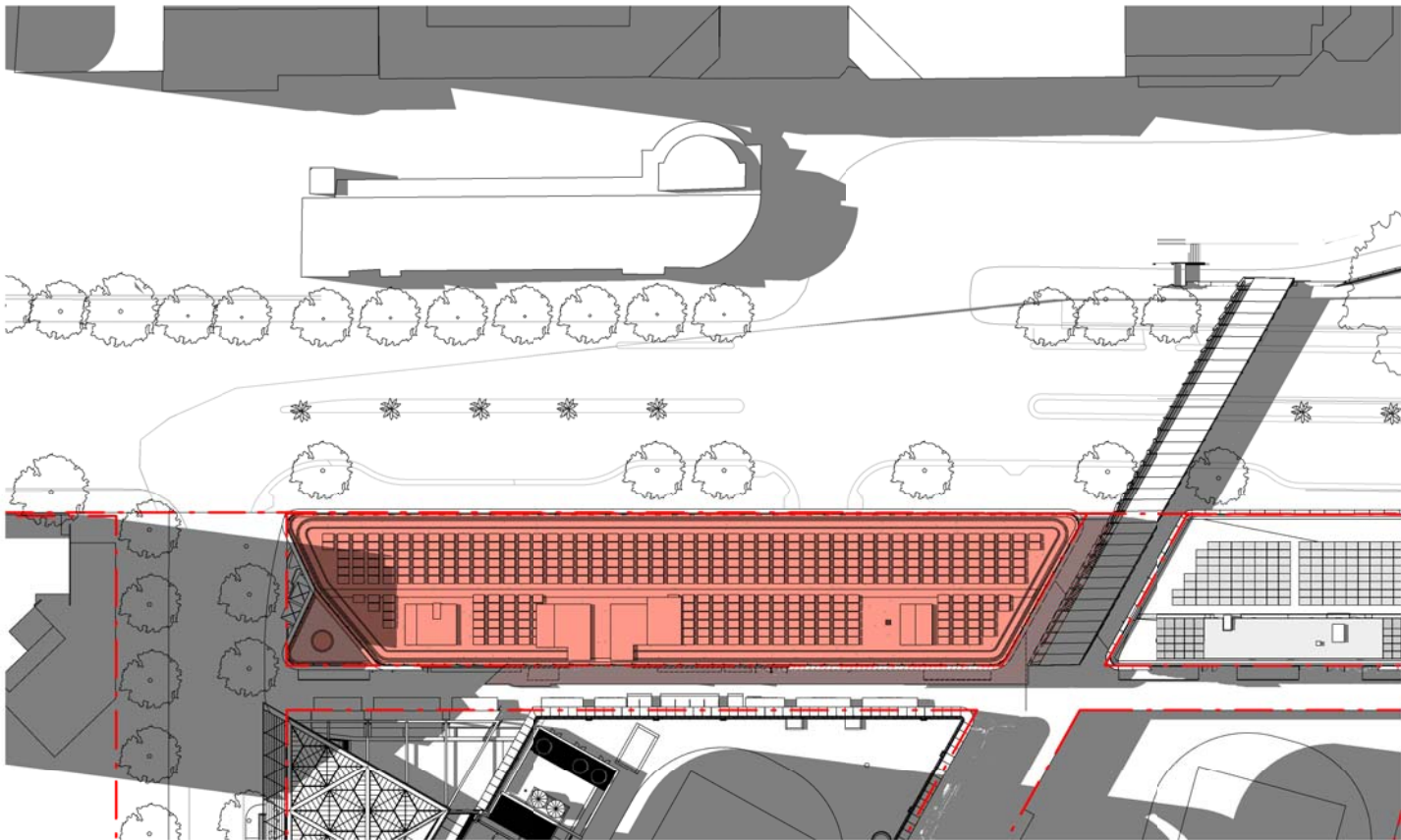


Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

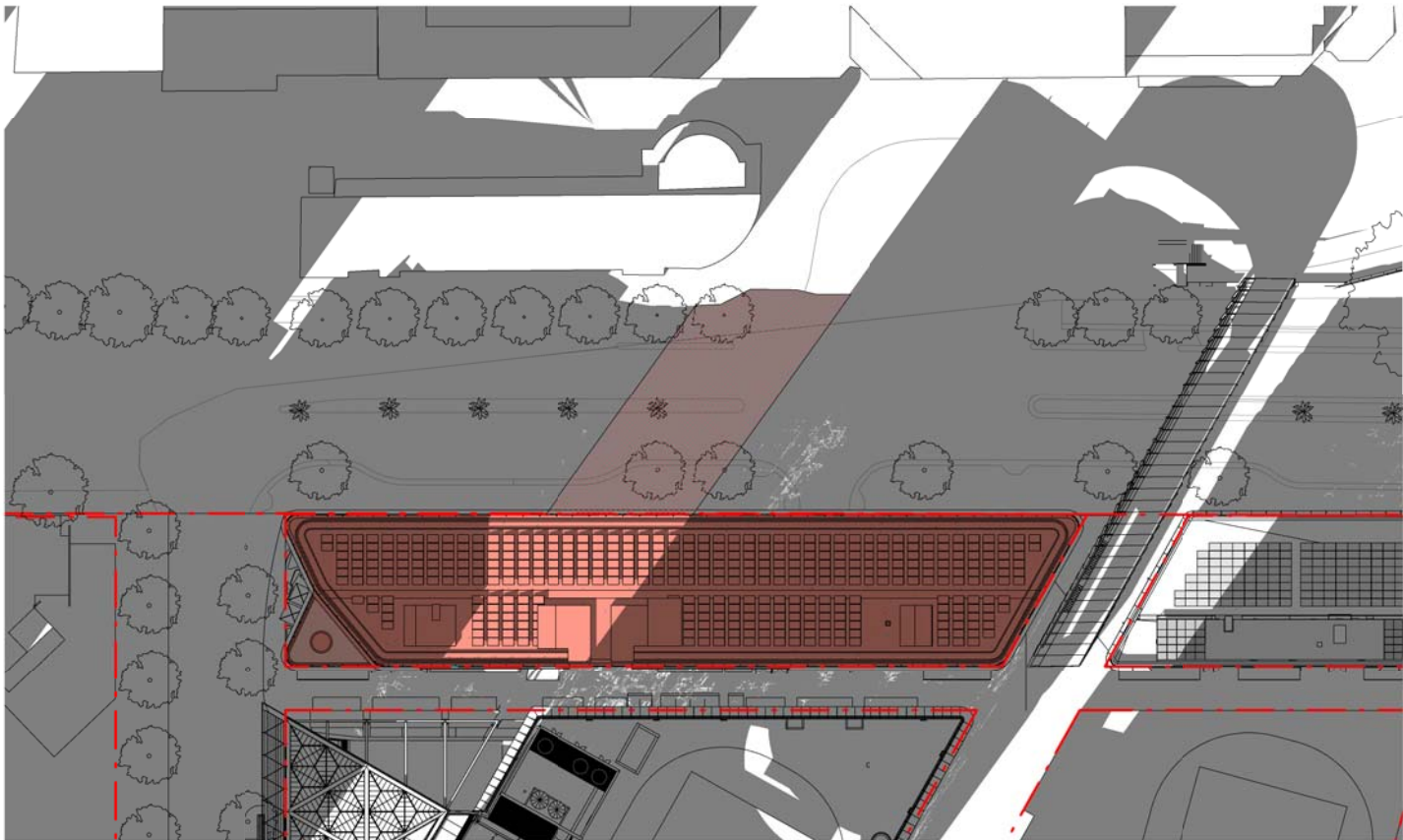
ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Shadow Diagram Winter	
SCALE @ A3 As indicated	DATE 23.01.2018	PROJECT 17012	REVISION 3
DRAWING BCC1AD65002			



1 | Shadow Study 21MAR 9am
1 : 1000



2 | Shadow Study 21MAR 12pm
1 : 1000



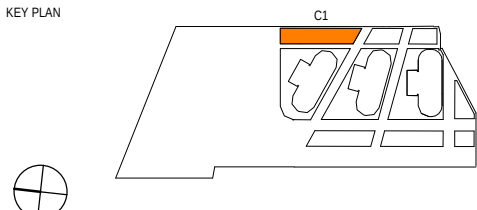
3 | Shadow Study 21MAR 3pm
1 : 1000

GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

 C1 BUILDING SHADOW

 SHADOW CREATED BY SURROUNDING STRUCTURES

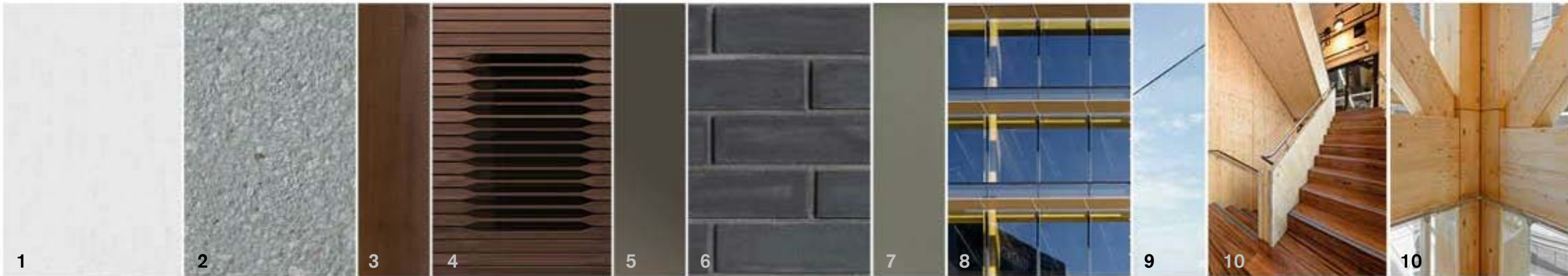
REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018



ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Shadow Diagram Equinox	
SCALE @ A3 As indicated	DATE 23.01.2018	PROJECT 17012	REVISION 3
DRAWING BCC1AD65003			

MATERIALS AND FINISHES

Colonnade	Columns off form class 2 concrete, off white cement and sand to lower half (1)
Double Height	Columns off form concrete, off white cement and sand, bush hammered finish to top half (2) Column recycled hardwood timber, oiled finish (3) L1 soffit, recycled hardwood boards, oiled finish (3) L2 soffit, exposed engineered timber beams and slabs (10)
Ground Floor Walls	Charcoal face bricks (6)
Shopfront Glazing	Fixed and operable aluminum framed glazed panels, powder coat finish, dark bronze (5) West facade awning above shop front glazing, retractable black awning or fixed glass and timber awning External sunshading devices, metal, dark bronze (5)
Facade Above Shopfront	Hardwood timber, oiled finish, slots cut in where needed for ventilation (4)
Level 1 Commercial	Glazed curtain wall, aluminium framing (champagne) with clear low iron performance glass at high level and opaque glass low level (7) (8) Vertical screening blades, hardwood timber, oiled finish (3)
Levels 2-6 Commercial	Glazed curtain wall, aluminium framing (champagne) with clear low iron, performance glass (7) (8) External sunshading devices, metal, dark bronze (5) Roof parapet, clear glass (9)
Internal Structure Level 1-6	European Spruce engineered timber from sustainable source (10)

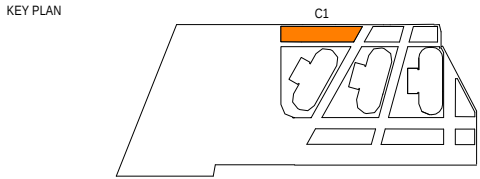


GENERAL NOTES

Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.

The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.

Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	23.01.2018

Lendlease



Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

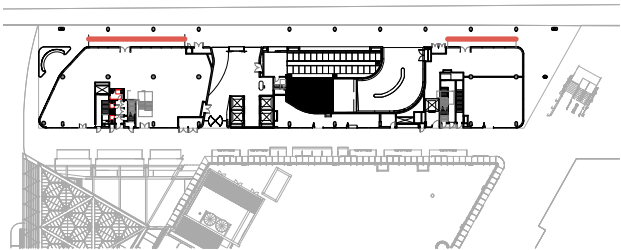
ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Materials & Finishes	
SCALE @ A3	DATE 23.01.2018	PROJECT 17012	DRAWING BCC1AD80000
			REVISION 3

ZONE A

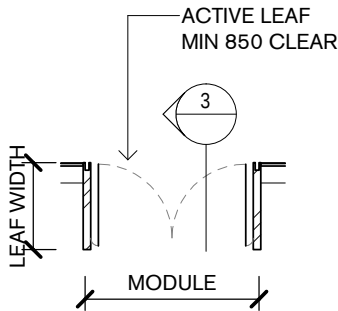
Location
Shopfronts occurring on the eastern elevation within the colonnade. Occurs either side of the lobby and carpark access ramp.

Character
Formal

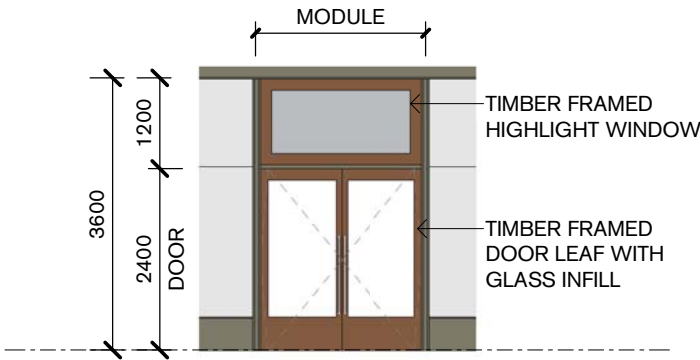
Module Width Range
1500 to 2350mm wide



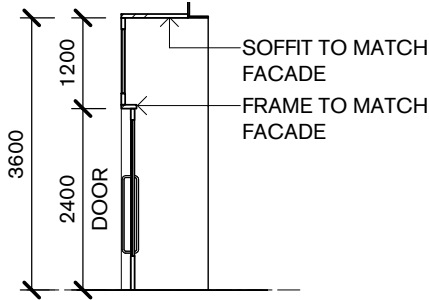
MODULE A1 | Recessed Door



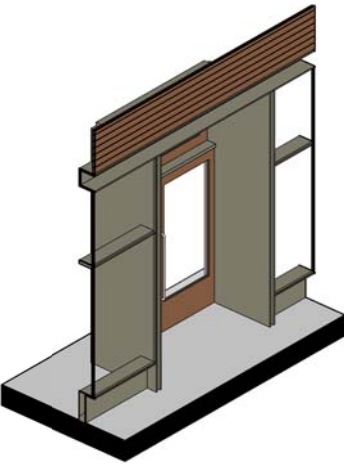
1 | Module A1 - Plan
1 : 100



2 | Module A1 - Elevation
1 : 100

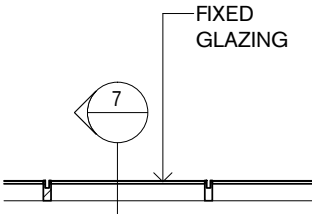


3 | Module A1 - Section
1 : 100

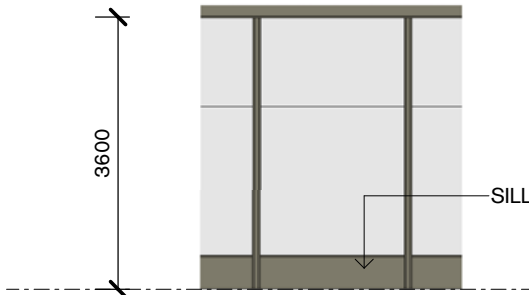


4 | Module A1 - Axo

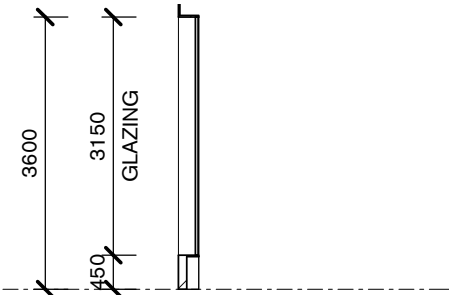
MODULE A2 | Fixed Facade



5 | Module A2 - Plan
1 : 100



6 | Module A2 - Elevation
1 : 100

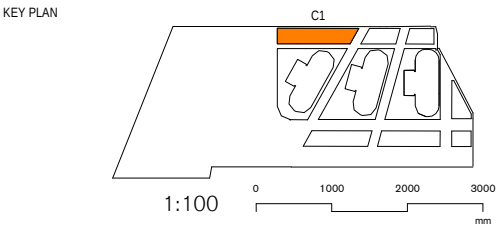


7 | Module A2 - Section
1 : 100



8 | Module A2 - Axo

GENERAL NOTES
Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.
The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.
Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Shopfront modules - Zone A	
SCALE @ A3 As indicated	DATE 11.10.2017	PROJECT 17012	DRAWING BCC1ADS0010
			REVISION 2

4 | Module B1 - 3D

8 | Module C3 - 3D

12 | Module C3 - 3D

Shopfront Modules - Zone B

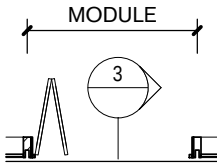
ZONE C

Location
Shopfronts occurring on the western elevation of C1 within Scotch Row. Zone occurs immediately north and south of the lobby entry.

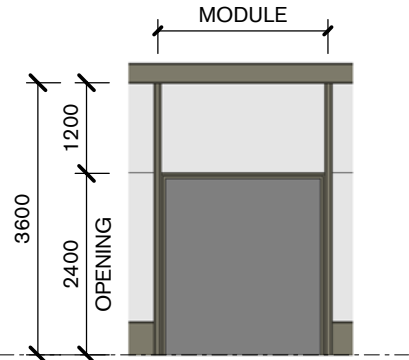
Character
Richly textured and nuanced in response to the intimate spatial quality of the laneway.

Module Width Range
1500 to 2350mm wide

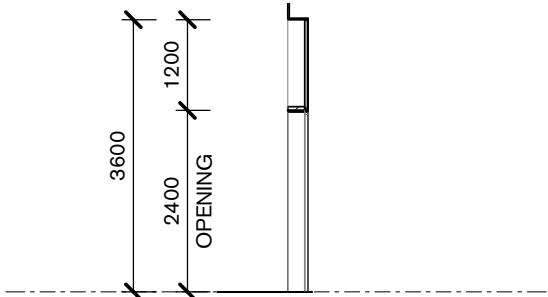
MODULE C1 - Bifold Doors - 2400 High
Amalgamation of modules possible (2 Max)



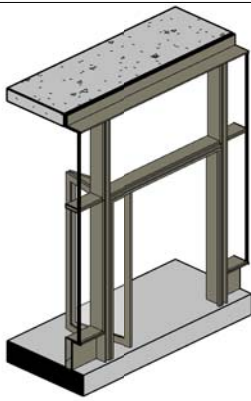
1 | Module C1 - Plan
1 : 100



2 | Module C1 - Elevation
1 : 100

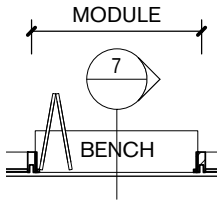


3 | Module C1 - Section
1 : 100

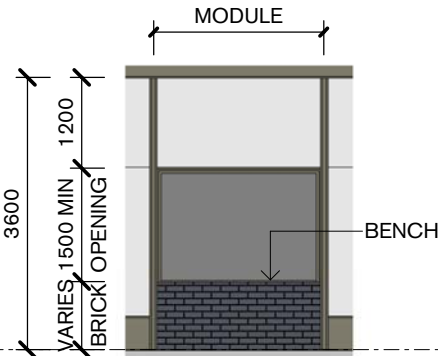


4 | Module C1 - 3D

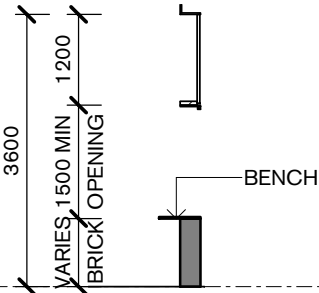
MODULE C2 - Bifold Doors and Bench
Amalgamation of modules possible (2 Max)



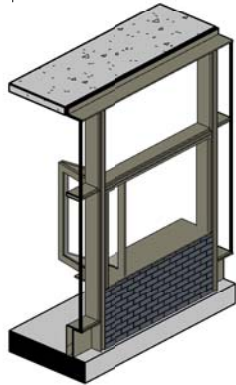
5 | Module C2 - Plan
1 : 100



6 | Module C2 - Elevation
1 : 100

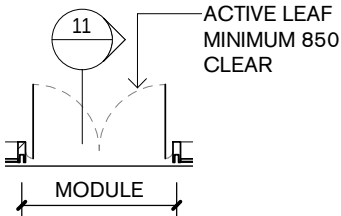


7 | Module C2 - Section
1 : 100

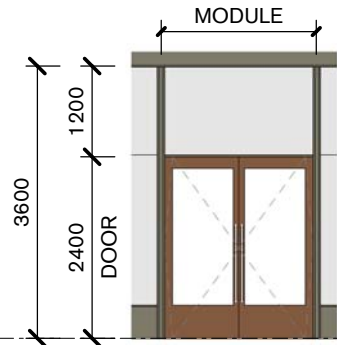


8 | Module C2 - 3D

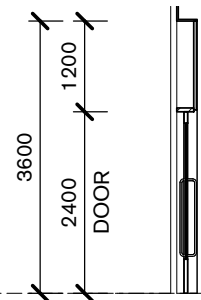
MODULE C3 - Double Doors



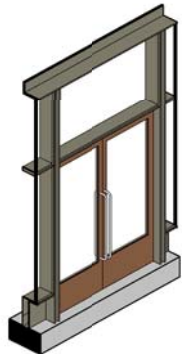
9 | Module C3 - Plan
1 : 100



10 | Module C3 - Elevation
1 : 100

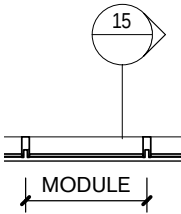


11 | Module C3 - Section
1 : 100

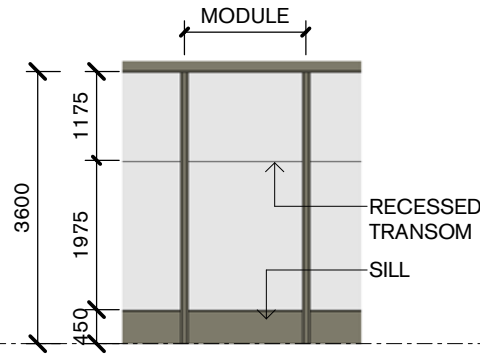


12 | Module C3 - 3D

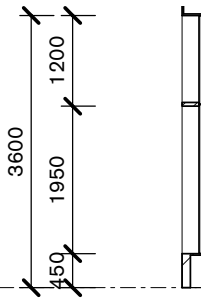
MODULE C4 - Fixed Glazing



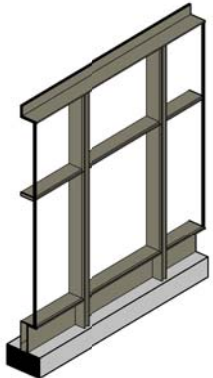
13 | Module C4 - Plan
1 : 100



14 | Module C4 - Elevation
1 : 100

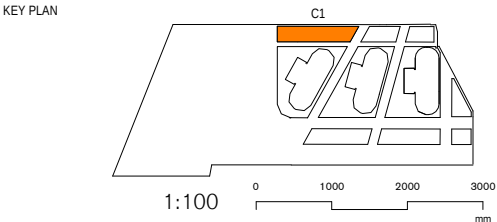


15 | Module C4 - Section
1 : 100



16 | Module C3 - 3D

GENERAL NOTES
Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.
The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.
Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017

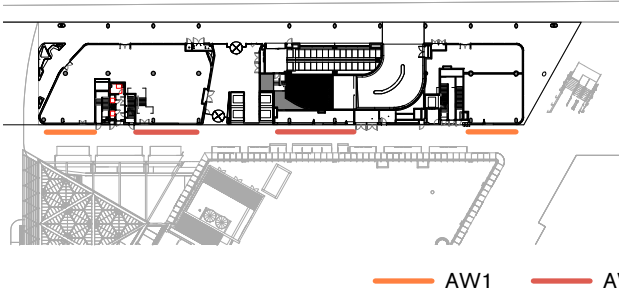


ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Shopfront Modules - Zone C	
SCALE @ A3 As indicated	DATE 11.10.2017	PROJECT 17012	DRAWING BCC1ADS0012
			REVISION 2

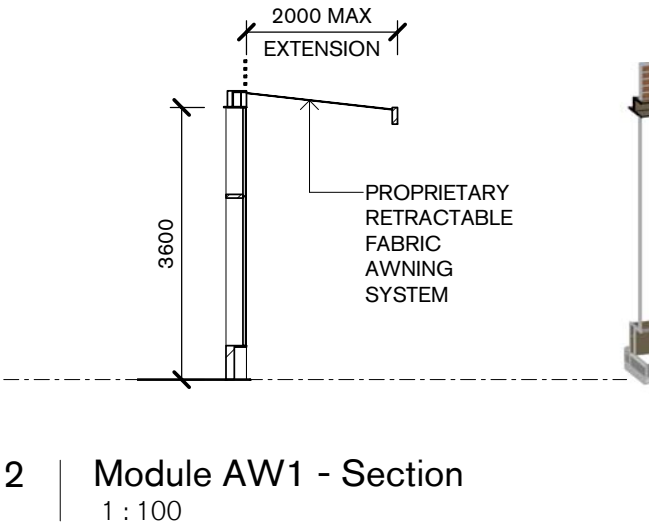
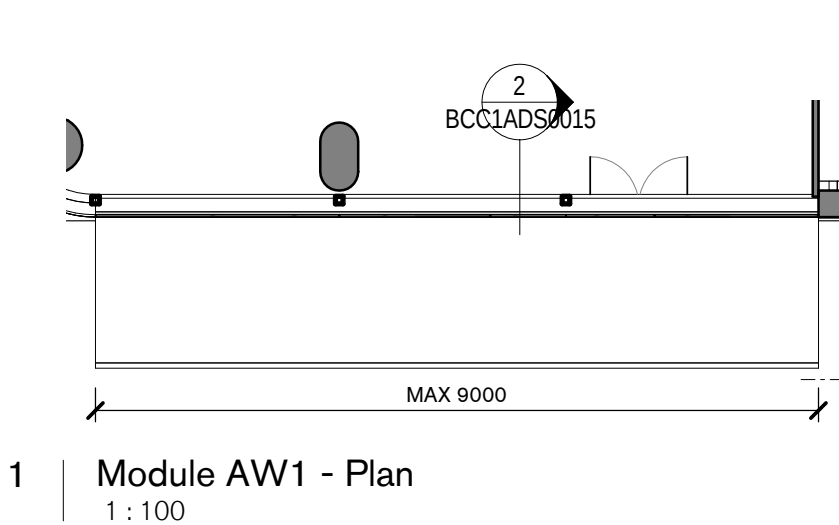
ZONE B + C - AWNINGS

Location
Shopfronts occurring on the western elevation of C1 within Scotch Row. Zone occurs immediately north and south of the lobby entry.

Character
Richly textured and nuanced in response to the intimate spatial quality of the laneway.



MODULE AW1 - Awnings Retractable

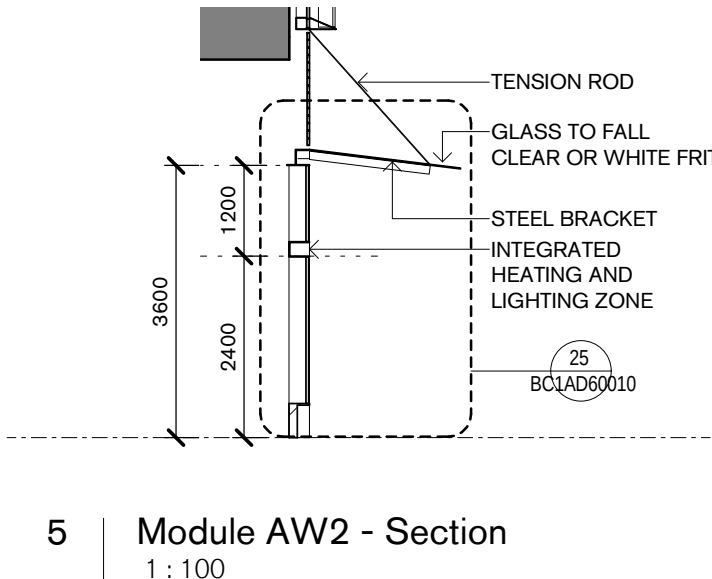
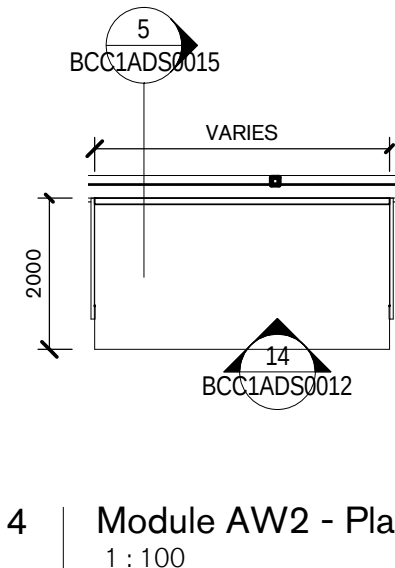


1 | Module AW1 - Plan
1 : 100

2 | Module AW1 - Section
1 : 100

3 | Module AW1 - 3D

MODULE AW2 - Awnings Fixed

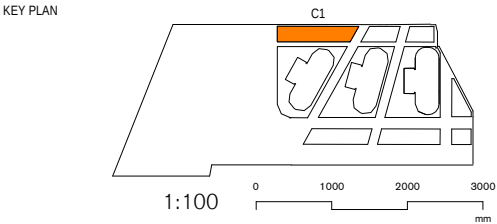


4 | Module AW2 - Plan
1 : 100

5 | Module AW2 - Section
1 : 100

6 | Module AW2 - 3D

GENERAL NOTES
Do not scale from drawings. Tzannes Associates takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. Verify dimensions and RL's on site prior to commencement of work. Advise Tzannes Associates of any discrepancies before commencement and allow for adjustments to suit discrepancies.
The sizing of all structural and service elements must be confirmed against the associated engineers documentation. No reliance should be placed upon sizing information shown on this drawing.
Comply with relevant authorities requirements. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice.



LEGEND

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
1	Issued for Planning Application	23.08.2017
2	Issued for Planning Application	11.10.2017
3	RTS Submission	08.02.2018
4	RTS Submission Revision	13.03.2018
5	RTS Submission Revision	15.03.2018

Lendlease

Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

ARCHITECT Tzannes 63 Myrtle Street, Chippendale NSW 2008 Sydney Australia T +61 2 9319 3744 E tzannes@tzannes.com.au		BARANGAROO SOUTH Commercial Building C1	
PLANNING APPLICATION NOT FOR CONSTRUCTION		Shopfront Modules - Zone C Awnings	
SCALE @ A3 As indicated	DATE 15.03.2018	PROJECT 17012	DRAWING BCC1ADS0015
			REVISION 5