

North Shore Health Hub

Statement of Environmental Effects

Section 4.55(1A) Modification



Prepared for Roberts Pizzarotti
Submitted to the Department of Planning, Industry and the Environment

SSD 7543 (MOD 4), 8499 (MOD 2) and 8894 (MOD 2)
May 2020

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1 Introduction

This Statement of Environmental Effects (Statement) has been prepared by *Keylan Consulting Pty Ltd* (Keylan) to accompany section 4.55(1A) applications to modify the State significant development (SSD) consents SSD 7543 (Tower A), SSD 8499 (Tower B Concept) and SSD 8894 (Tower B Stage 2) (the Development Consents) for the North Shore Health Hub.

The applications have been prepared on behalf of Roberts Pizzarotti and are submitted to the Department of Planning, Industry and the Environment (DPIE) pursuant to section 4.55(1A) of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

This Statement should be read in conjunction with the following documents:

- Architectural plans and Design Statement, prepared by Billard Leece Partnership
- Construction Statement of Proposed Design Change, prepared by Roberts Pizzarotti

These applications seek to modify the consents for to SSD 7543, SSD 8499 and SSD 8894, which were approved by DP&E on 29 June (SSD 7543 and SSD 8499) and 10 August 2018 (SSD 8894). Copies of the consolidated Development Consents are provided in Appendix 1.

The modifications relate to minor alterations to the roof form of both Tower A and Tower B to comprise of a more efficient and safer design.

The Statement concludes that the proposed modifications:

- are minor in nature and will result in substantially the same development as the development for which consent was originally granted
- will not result in any new or significant environmental impacts, and
- will facilitate the approved development of the site, which is complementary to the St Leonards Health and Education Precinct and will reinforce the role of the precinct as identified in the North District Plan.

Accordingly, we recommend that the proposed modifications be supported by DPIE and approved.

2 The site and locality

The proposed development is located on the corner of Reserve Road and Westbourne Street, St Leonards, in the Willoughby Local Government Area (LGA).

This site is part of a larger 2.6 hectare site, known as 12 Frederick Street, St Leonards. The site is legally described as Lot 1 in DP 1239553 and is bound by Frederick Street to the north, Reserve Road to the west, Westbourne Street to the south and mixed warehousing and related development to the east (Figure 1).

The proposed North Shore Health Hub (NSHH) is located on a proposed lot (the 'site') that is regular in shape and has an area of 6,194 m². It fronts Westbourne Street and Reserve Road and is located opposite the existing North Shore Private Hospital to the west and the Royal North Shore Public Hospital to the south.

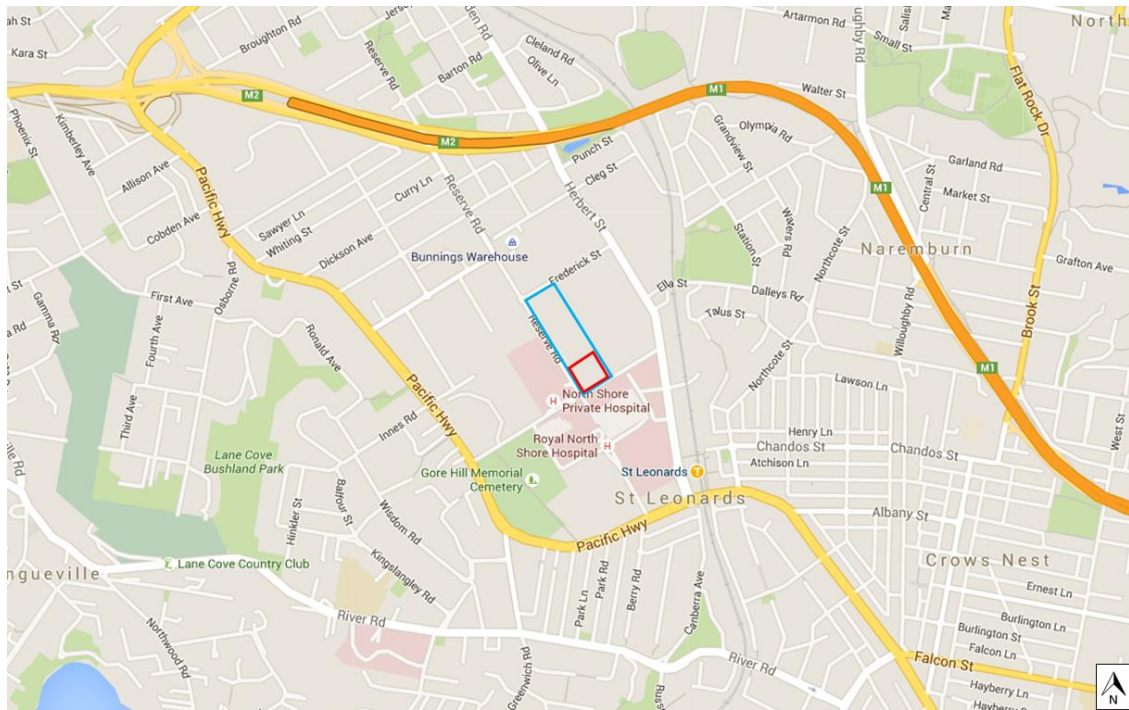


Figure 1: North Shore Health Hub site (outlined in red) and the remainder of 12 Frederick Street (outlined in blue) (Source: Google Maps)

3 Application history

DEXUS has lodged a number of planning applications for the development of the site, as outlined in the table below.

Applications	Description	Status
Planning Proposal PP_2016_WILLO_001_00	Allow <i>hospital</i> as a permissible use and amend the floor space ratio of up to 3:1	<ul style="list-style-type: none"> Gazetted on 23 March 2018
Planning Proposal	<p>Amend Schedule 1 to include additional permitted uses:</p> <ul style="list-style-type: none"> Health services facility Educational establishment Business premises which support the St Leonards Health and Education Precinct Office premises which support the St Leonards Health and Education Precinct Hotel and motel accommodation, up to a maximum 15,000 m² GFA Retail premises to a maximum 5,000 m² GFA for all retail premises and no single premises exceeding 2,000m² GFA Boarding house, up to 15,000 m² and subject to the consent authority being satisfied that the development is managed as a boarding house use and that the development cannot be strata subdivided to create an allotment for a single dwelling <p>Introduce building height controls:</p> <ul style="list-style-type: none"> ranging from 46.5m (RL 122.00) to 63.30m (RL 140.00) (northern part of site) no HOB proposed for southern part of site 	<ul style="list-style-type: none"> Revised Planning Proposal lodged with Willoughby City Council on 23 March 2020

Applications	Description	Status
	(approved North Shore Health Hub) Amend FSR controls: <ul style="list-style-type: none"> • 4.5:1 (northern part of the site) • Retain maximum 3:1 on the southern part of the site (approved North Shore Health Hub) 	
DA 2016/211	Demolition of existing warehouse structures and subdivision to create 2 lots: <ul style="list-style-type: none"> • Proposed Lot 1: area of 6,194 m² and site of the NSHH • Proposed Lot 2: area of 1.859 ha, containing the retained warehousing buildings on the broader 12 Frederick Street site 	<ul style="list-style-type: none"> • DA refused on 28 December 2016 • Section 82A review lodged with Council on 22 February 2017 • Consent granted on 29 June 2017 • DA 2016/211/A – Section 4.55 lodged 1 November 2017 with Council and approved 11 January 2018 to remove reference to units 6 and 7 • DA 2016/211/B – Section 4.55 lodged 24 April 2018 with Council and approved 4 June 2018 for the alteration to construction hours • DA 2016/211/C – Section 4.55 modification lodged with Council on 19 June 2018 and approved 3 July 2018 for the alteration to construction hours • DA 2016/211/D – Section 4.55 modification lodged with Council on 17 September 2018 and approved 25 September 2018 for the alteration to construction hours
SSD 7543	Construction of a new private hospital (Tower A and Podium)	<ul style="list-style-type: none"> • Consent granted on 29 June 2018
SSD 8499	Concept proposal for the building envelope and indicative uses associated with the proposed health hub (Tower B)	<ul style="list-style-type: none"> • Consent granted on 29 June 2018
SSD 8894	Detailed design and construction of Tower B	<ul style="list-style-type: none"> • Consent granted on 10 August 2018
SSD 7543 Mod 1	Modification of SSD 7543 for amendments to the maximum height and total GFA	<ul style="list-style-type: none"> • Approved on 27 July 2019
SSD 7543 Mod 2	Modification of SSD 7543 for a minor increase in height and changes to the	<ul style="list-style-type: none"> • Approved on 1 December 2019

Applications	Description	Status
	materiality and design of the approved pedestrian bridge, linking the North Shore Health Hub to the adjacent North Shore Private Hospital	
SSD 7543 Mod 3	Modification of SSD 7543 for modification to the plant room and minor design changes	<ul style="list-style-type: none"> Approved on 3 March 2020
SSD 8499 Mod 1	Modification to increase the height of building for Tower B from RL 138.35 to RL 139.3; minor amendments to the setbacks to Reserve Road, northern and western property boundaries; and reduce the gross floor area from 6,987 sqm to 6,876 sqm.	<ul style="list-style-type: none"> Approved on 25 July 2019
SSD 8894 Mod 1	Modification to increase the height of building for Tower B from RL 138.35 to RL 139.3; minor amendments to the setbacks to Reserve Road, northern and western property boundaries; and reduce the gross floor area from 6,987 sqm to 6,876 sqm.	<ul style="list-style-type: none"> Approved on 25 July 2019

Table 1: Relevant Planning History

A copy of the consolidated Development Consents for SSD 7543, SSD 8499 and SSD 8894 is provided in Appendix 1.

4 Proposed modification

The proposed modifications have arisen from further detailed design of the roof of Tower A and Tower B of the NSHH and review of construction programming and are aimed providing a more functional design and more efficient construction methodology.

The proposed modifications comprise:

- Replace the pitched metal roof of the plantroom with a flat concrete roof on Towers A and B

The modifications are minor in nature and are described in the table below:

Tower A	Approved RL	Modification
Metal Roof Ridge	127.946	Omit Roof Omit roof and replace with flat concrete roof
Lift Over Run	128.650	No Change
Top of Plant Room Roof Slab	-	RL 127.570
Top of Level 4 Roof Slab	123.750	No change
Tower B	Approved RL	Modification
Metal Roof Ridge	138.416	Omit Roof Omit roof and replace with flat concrete roof
Lift Over Run	139.300	No Change
Top of Plant Room Roof Slab	-	RL 137.750
Top of Level 8 Roof Slab	134.100	No Change

Table 2: Approved and Proposed RL of Tower A and Tower B (Source: Billard Leece)

The proposed changes to the roof form of Tower A and Tower B are illustrated in the following figures and detailed further in Appendix 2.

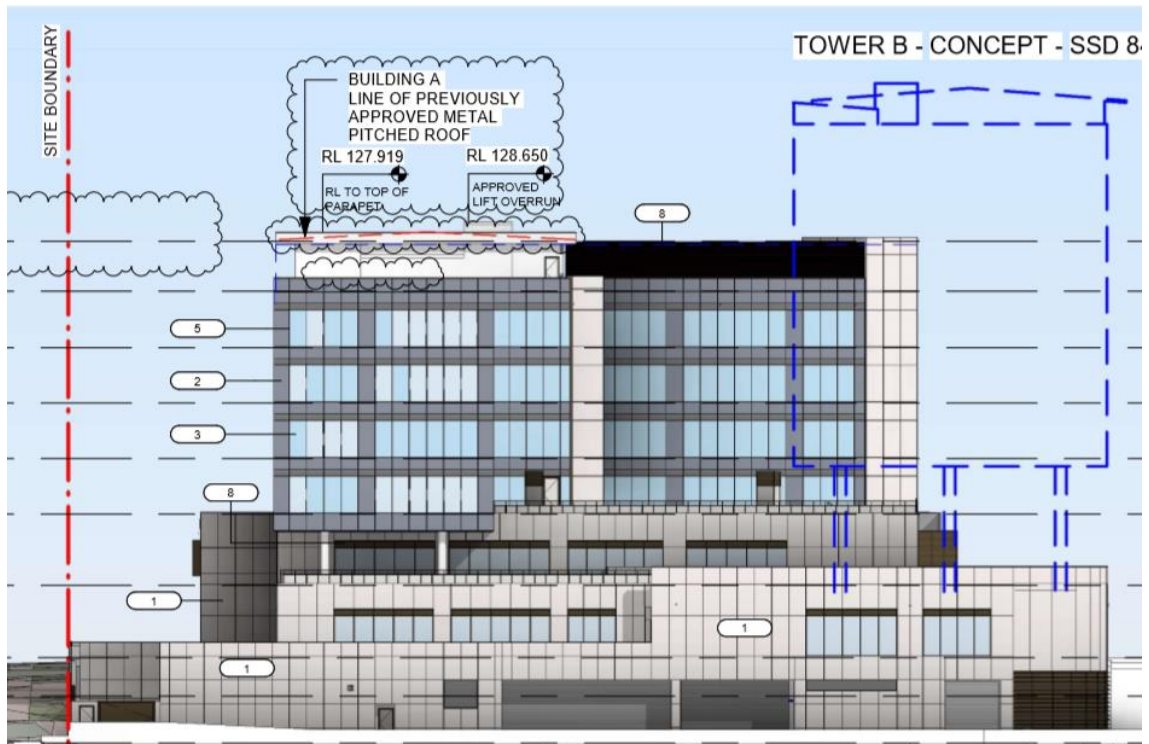


Figure 2: Proposed changes to Tower A – Eastern Elevation (SSD 7543) (Source: Billard Leece Partnership)

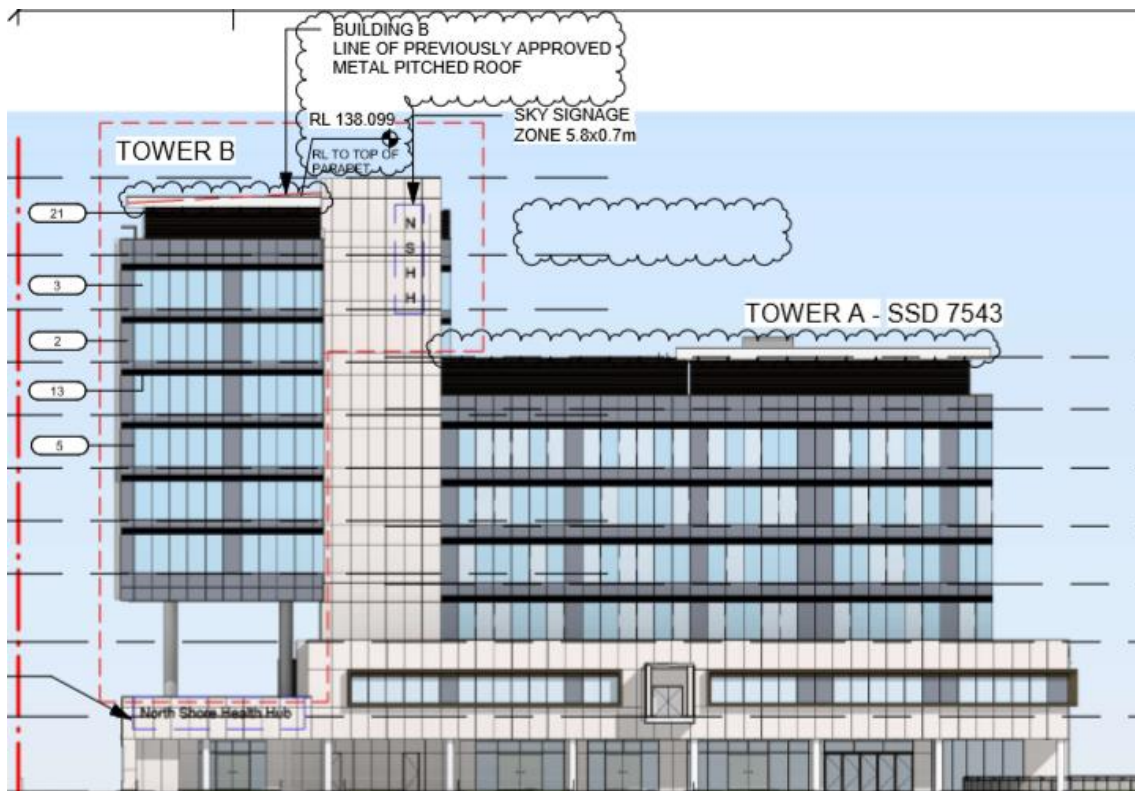


Figure 3: Proposed changes to Tower B - Western Elevation (SSD 8499 and SSD 8894) (Source: Billard Leece Partnership)

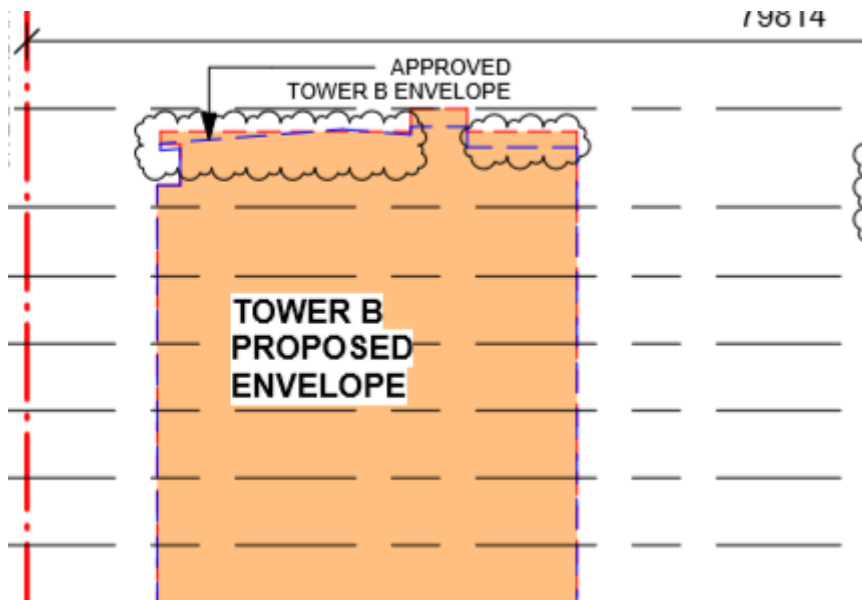


Figure 4: Proposed changes to the Tower B approved building envelope – Section A (Base source: Billard Leece Partnership)

The proposed modifications described above necessitate amendments to the Development Consents as outlined in the following sections.

The words proposed to be inserted are shown in **bold underline** and words proposed to be deleted are shown in **~~bold strikethrough~~**.

4.1 SSD 7543

Schedule 1

It is recommended that Schedule 1 Development of SSD 7543 be amended as follows:

Development

Construction and operation of new seven storey building, known as 'Tower A', comprising:

- *site preparation works, including remediation and bulk excavation works;*
- *construction and operation of a new seven storey building with 11,702 sqm of gross floor area supporting a surgery facility, a cancer care facility, specialist operating rooms, specialist medical suites, a medical centre, medical imaging, pathology, pharmacy, and convenience retail uses;*
- *construction of a base car park to accommodate 340 car parking spaces;*
- *construction of an elevated pedestrian bridge to the adjacent North Shore Private Hospital; and*
- *landscaping and public domain works.*

Schedule 2 Condition A2

It is recommended that Schedule 2 Condition A2 of SSD 7543 be amended as follows:

Terms of Consent

A2. The development may only be carried out:

- a) in compliance with the conditions of this consent;*
- b) in accordance with all written directions of the Planning Secretary;*
- c) generally in accordance with the EIS as amended by the RtS; **and***

- d) generally in accordance with the North Shore Health Hub Statement of Environmental Effects Section 4.55(1A) Modification (SSD 7543, 8499 and 8894) and accompanying appendices, prepared by Keylan Consulting Pty Ltd, dated May 2019; and

[SSD-7543-Mod-1 – 25.07.19]

generally in accordance with the North Shore Health Hub Statement of Environmental Effects Section 4.55(1A) Modification (SSD 7543, 8499 and 8894) and accompanying appendices, prepared by Keylan Consulting Pty Ltd, dated May 2019; and generally in accordance with the Tower A, North Shore Health Hub Statement of Environmental Effects Section 4.55(1A) Modification and accompanying documents, prepared by Keylan Consulting Pty Ltd, dated August 2019;

[SSD-7543-Mod-2 – 01.12.19]

generally in accordance with the North Shore Health Hub Tower A Statement of Environmental Effects Section 4.55(1A) Modification and accompanying documents, prepared by Keylan Consulting, dated December 2019; and

[SSD-7543-Mod-3 – 03.03.20]

generally in accordance with the North Shore Health Hub Tower A Statement of Environmental Effects Section 4.55(1A) Modification and accompanying documents, prepared by Keylan Consulting, dated May 2020; and

[SSD-7543-Mod-4 – 23.04.20]

- e) *in accordance with the approved plans in the table below:*

Architectural (or Design) Drawings prepared by Billard Leece Partnerships Pty Ltd			
Drawing No.	Issue	Name of Plan	Date
A-P-LG5	2	LOWER GROUND LG5 FLOOR PLAN	30/11/17
A-P-LG4	2	LOWER GROUND LG4 FLOOR PLAN	30/11/17
A-P-LG3	5	LOWER GROUND LG3 FLOOR PLAN	30/11/17
A-P-LG2	7	LOWER GROUND LG2 FLOOR PLAN	01/03/2019
A-P-LG1	5	LOWER GROUND LG1 FLOOR PLAN	30/11/17
A-P-G	6	GROUND FLOOR PLAN	30/11/17
A-P-1	6	PODIUM LEVEL PLAN	30/11/17
A-P-2	6	LEVEL 1 PLAN	30/11/17
A-P-3	6	LEVEL 2 TO 4 PLAN	30/11/17
A-P-6	5 7	LEVEL 5 PLAN	30/11/17 23/04/2020
A-P-R	5 8	ROOF PLAN	30/11/17 23/04/2020
A-E-N	7 11	ELEVATION NORTH	01/03/2019 23/04/2020
A-E-E	7 10	ELEVATION EAST	01/03/2019 23/04/2020
A-E-S	8 11	ELEVATION SOUTH	01/03/2019 23/04/2020
A-E-W	7 10	ELEVATION WEST	01/03/2019 23/04/2020
A-E-ST	3	STREET ELEVATIONS	30/11/17
A-SE-1	8	SECTION 1	01/03/2019
A-SE-2	8	SECTION 2	01/03/2019
A-E-LB	1	ELEVATIONS – LINK BRIDGE	28/03/2018
A-P-LB	1	LINK BRIDGE PLAN	28/03/2018
A-P-LBR	1	LINK BRIDGE ROOF	28/03/2018

Architectural (or Design) Drawings prepared by Billard Leece Partnerships Pty Ltd			
Drawing No.	Issue	Name of Plan	Date
<i>Landscape drawings prepared by Taylor Brammer</i>			
Drawing No.	Issue	Name of Plan	Date
LC01	B	Landscape Concept Plan	15/06/16
Drawing No.	Issue	Name of Plan	Date
C4.01	B	Stormwater Drainage Plan	09/05/16
C4.02	A	Stormwater Drainage Details	09/05/16
C2.01	A	Sediment and Erosion Control Plan	09/05/16

4.2 SSD 8499

Schedule 2 Condition A4

It is recommended that Schedule 2 Condition A4 of SSD 8499 be amended as follows:

Development in Accordance with Plans and Documents

A4. The development may only be carried out:

- in compliance with the conditions of this consent;*
- generally in accordance with the EIS as amended by the RtS; and previous modification approvals to SSD 8499*
- generally in accordance with the North Shore Health Hub Statement of Environmental Effects Section 4.55(1A) Modification (SSD 7543, 8499 and 8894) and accompanying appendices, prepared by Keylan Consulting Pty Ltd, dated May 2020; and*

[SSD-7543-Mod-1 – 25.07.19]

generally in accordance with the North Shore Health Hub Tower A Statement of Environmental Effects Section 4.55(1A) Modification and accompanying documents, prepared by Keylan Consulting, dated May 2020; and

[SSD-7543-Mod-4 – 23.04.20]

- in accordance with the approved plans in the table below:*

Architectural (or Design) Drawings prepared by Billard Leece Partnerships Pty Ltd			
Drawing No.	Rev	Name of Plan	Date
DA 001	G	SITE PLAN	31/10/17
DA 0060	J	PROPOSED ENEVELOPE PLAN	01/03/2019
DA 1600	J <u>M</u>	ENEVELOPE – EAST ELEVATION	01/03/2019 <u>23/04/20</u>
DA 1601	I <u>K</u>	ENEVELOPE – SOUTH ELEVATION	01/03/2019 <u>23/04/20</u>
DA 1602	J <u>M</u>	ENEVELOPE – WEST ELEVATION	01/03/2019 <u>23/04/20</u>
DA 1603	J <u>M</u>	ENEVELOPE – NORTH ELEVATION	01/03/2019 <u>23/04/20</u>
DA 1660	J <u>K</u>	INDICATIVE – SECTION A	01/03/2019 <u>23/04/20</u>
DA 1920	H	INDICATIVE SCHEME – GFA CALCULATIONS	17/12/18
DA 1950	G	ENVELOPE PRESPECTIVES – SHEET 01	31/10/17

4.3 SSD 8894

Schedule 2 Condition A2

It is recommended that Schedule 2 Condition A2 of SSD 8894 be amended as follows:

Terms of Consent

A2. The development may only be carried out:

- a) in compliance with the conditions of this consent;
- b) in accordance with all written directions of the Planning Secretary;
- c) generally in accordance with the EIS as amended by the RtS; and **previous modification approvals to SSD 8894**
- d) **generally in accordance with the North Shore Health Hub Statement of Environmental Effects Section 4.55(1A) Modification (SSD 7543, 8499 and 8894) and accompanying appendices, prepared by Keylan Consulting Pty Ltd, dated May 2019; and**

[SSD-7543-Mod-1 – 25.07.19]
generally in accordance with the North Shore Health Hub Tower A Statement of Environmental Effects Section 4.55(1A) Modification and accompanying documents, prepared by Keylan Consulting, dated May 2020; and

- [SSD-7543-Mod-4 – 23.04.20]**
- e) in accordance with the approved plans in the table below:

Architectural drawings and plans prepared by Billard Leece Partnerships Pty Ltd			
Drawing No.	Rev.	Name of Plan	Date
DA-101	B E	SITE PLAN	19/12/17 23/04/20
DA-103A	A	LEVEL 2A & 3B	18/04/18
DA-103B	A	LEVEL 4A & 5B	18/04/18
DA-103C	A	LEVEL 6B	18/04/18
DA-103D	A	LEVEL 7B	18/04/18
DA-103E	A	LEVEL 8B	18/04/18
DA-105	D F	LEVEL 9 PLAN	18/04/18 23/04/20
DA-106	B F	ROOF LEVEL PLAN	19/12/17 23/04/20
DA-110	B	STREET ELEVATIONS	19/12/17
DA-111	E H	ELEVATION - NORTH	01/03/2019 23/04/20
DA-112	E H	ELEVATION - SOUTH	01/03/2019 23/04/20
DA-113	E H	ELEVATION - EAST	01/03/2019 23/04/20
DA-114	E H	ELEVATION - WEST	01/03/2019 23/04/2020
DA-115	E H	ELEVATION - SOUTH COURTYARD	01/03/2019 23/04/2020
DA-120	E	SECTION 1	01/03/2019
DA-121	E H	SECTION 2	01/03/2019 23/04/2020

5 Section 4.55 Assessment

5.1 Section 4.55(1A) of the EP&A Act

Section 4.55(1A) of the EP&A Act states:

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

Section 4.55(1A) Provision	Response
(a) <i>it is satisfied that the proposed modification is of minimal environmental impact, and</i>	The proposed modifications are substantially the same development as the development for which consent was originally granted (SSD 7543, 8499 and 8894). The modifications seek minor amendments to the approved DA plans which have arisen from detailed design to increase efficiency and safety during construction. On this basis, the proposal would result in development that is substantially the same as the originally approved development under the 3 Development Consents.
(b) <i>it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and</i>	The development, as proposed to be modified, is considered substantially the same development as the developments for which consent was originally granted. The modification seeks minor amendments to roof form of Tower A and Tower B and a general rooftop reconfiguration.
(c) <i>it has notified the application in accordance with:</i> <i>i. the regulations, if the regulations so require, or</i> <i>ii. a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and</i>	DPIE will notify the modification application in accordance with the regulations, as required.
(d) <i>it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.</i>	Consideration will be given to any submissions (if required) to the application should DPIE deem it necessary to advertise and/or notify the proposal in accordance with its notification requirements.

Table 3: Response to section 4.55(1A) Provisions

5.2 Section 4.55(3) of the EP&A Act

Section 4.55(3) of the EP&A Act states:

In determining an application for modification of a consent under this section, the consent authority must take into consideration of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.

The planning assessment of the proposed development remains generally consistent with the matters considered in the Environmental Impact Statements (EIS) submitted with all 3 SSD applications as well as subsequent approved modifications.

The following assessment considers the relevant matters under section 4.15(1) and demonstrates that the development, as proposed to be modified, will be of minimal environmental impact.

The proposal is consistent with the objects of the EP&A Act as it is considered to promote the orderly and economic use and development of land without resulting in an adverse impact on the environment.

The following section of the report provides the planning assessment against the key statutory environmental planning instruments relevant to the development. The section also includes discussion and assessment of the key issues and matters for consideration pursuant to section 4.15 of the EP&A Act.

5.3 Section 4.15(1)(a) Planning Instruments

The original applications addressed the development's level of compliance against relevant planning instruments, including:

- *State Environmental Planning Policy (State and Regional Development) 2011*
- *State Environmental Planning Policy (Infrastructure) 2007*
- *State Environmental Planning Policy No. 55 Remediation of Land*
- *State Environmental Planning Policy No. 64 Signage*
- *Draft State Environmental Planning Policy (Remediation of Land)*
- *Willoughby Local Environmental Plan 2012*

The proposed modification will not affect the consistency of the proposed development with the relevant planning instruments.

5.4 Environmental Planning and Assessment Regulations

There are no known matters prescribed by the Regulations that are relevant to the consideration of this application.

6 Likely impacts of the development

The development, as proposed to be modified, remains generally consistent with the conclusions of the assessments submitted with the original application (SSD 7543, SSD 8499 and SSD 8894).

Notwithstanding, section 4.15(1)(b) of the EP&A Act requires an assessment of the impact of development on environmental impacts (natural and built), and social and economic impacts. These are discussed in detail below.

6.1 Built form

Gross Floor Area

The proposed modifications will not increase the approved GFA of Towers A and B.

Setbacks

The proposed modification will not have any impacts on the approved setbacks of Towers A and B.

Height of Building – Tower A

The modification seeks to replace the approved metal pitched roof with a flat concrete roof. The new concrete roof will have a maximum RL of 127.570 (top of plant room roof slab). The proposed modification will not increase the approved overall height of Tower A and is sited below the approved lift overrun.

Height of Building – Tower B

The modification seeks to replace the approved metal pitched roof with a flat concrete roof with a maximum RL of 137.750 (top of plant room roof slab). The proposed modification will not increase the approved overall height of Tower B and is sited below the approved lift overrun.

These changes are minimal and will not have a negative impact on overshadowing or amenity to neighbouring properties or the streetscape, due to the location and orientation of the roof form and overall reduced height. In both Tower A and Tower B the RL to the new roof slab to the plant room does not exceed the approved metal roof or lift overrun RL.

6.2 Visual Impacts

The proposed flat concrete roof will have minimal to no visual impact when viewed from neighbouring properties due to the location and orientation of Tower A and Tower B.

The new roof will present a form that is not perceivable from the street level. There will be no impacts on the solar access of neighbouring properties.

The Architectural Design Statement (Appendix 4) prepared by Billard Leece states the modifications will have minimal to no visual impact on the development, precinct or neighbouring properties due to the location and orientation.

The images below show the proposed new concrete flat roof when viewed from nearby Reserve Road and Westbourne Street. It can be seen the proposed modification will not have any detrimental visual impacts and will not impact on the bulk and scale of Tower A and Tower B as approved.



Figure 5: View from corner of Reserve Road and Westbourne Street (Source: Billard Leece Partnership)



Figure 6: View from Reserve Road (Source: Billard Leece Partnership)

6.3 Construction Impacts

The proposed modification comprises of a detailed design that will improve safety and functionality during construction and is supported by a letter prepared by Roberts Pizzarotti (Appendix 3). In summary, the advice states the modification will have the following positive impacts from a buildability perspective:

- reduction in construction noise resulting from the construction of a concrete roof rather than the installation of a structural steel and metal roof to Tower A and Tower B
- coordination of trades and minimisation of the need for several different trades working concurrently in the same area
- safer working environment resulting from less subcontractors needing to work concurrently in the same area
- COVID-19 social distancing rules will be maintained during the construction period as less subcontractors will be required and less trades working concurrently
- concrete roofing eliminates the requirement for structural steel and metal shop drawing and review process and will therefore not require any prefabricated structural steel work offsite
- plantroom fit out works can commence sooner

6.4 Suitability of the site for the development

The site remains suitable for the proposed development for the reasons outlined in the EIS lodged in support of the original applications (SSD 7543, SSD 8499 and SSD 8894), and the proposed modifications do not alter these conditions.

6.5 Public interest

The development, as proposed to be modified, continues to be in the public interest as it will provide additional hospital and specialist medical uses and strengthen employment within the St Leonards Health and Education Precinct, without adversely impacting the surrounding environment.

7 Conclusion

It is concluded that the proposed modifications are in the public interest and warrant approval for the following key reasons:

- the proposal seeks minor modifications to approved DA plans and will result in development substantially the same as originally approved;
- the proposed built form, scale and design is considered appropriate and articulated to fit within the surrounding precinct;
- the modifications will result in minimal environmental impacts and will have no impact on overshadowing or visual amenity;
- the modified design will have positive impacts from a buildability and construction perspective;
- development of the site is complementary to the St Leonards Health and Education Precinct and will reinforce the role of the precinct as identified in the North District Plan;
- the development will facilitate additional employment opportunities and health services in a highly accessible area; and
- the proposal remains consistent with the conclusions of the original application (SSD 7543, SSD 8499 and SSD 8894).