



## Crime Prevention Report

105 FOREST ROAD & 1A HILL  
STREET, HURSTVILLE

November 2025

Prepared for TQM Design & Construct  
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# 1. Introduction

This Crime Prevention Through Environment Design (CPTED) assessment accompanies an Environmental Impact Statement (EIS) pursuant to Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act) in support of an application for a State Significant Development Application (SSDA).

The SSDA is for the construction of a shop top housing at 105 Forest Road & 1A Hill Street, Hurstville (the site). Specifically, this CPTED report refers to application number SSD-84552728 and it is associated with SEARs item number 7.

## 1.1 Applicant Details

The applicant details for this SSD are listed below.

Table 1 Proponent details

Details	
Applicant Name	TQM Design & Construct

## 1.2 What is a crime risk assessment?

This Crime Risk Assessment report has been prepared by Principle Planning and Urban Design (PPUD) on behalf of TQM Design & Construct to accompany a State Significant Development Application (SSDA) for the development of a shop top housing of approximately 187 dwellings at 105 Forest Road & 1A Hill Street, Hurstville.

This report has been prepared to satisfy the requirements of the Secretary's Environmental Assessment Requirement no. 7. Public Space. This document sets out measures to demonstrate how Crime Prevention through Environmental Design (CPTED) principles are to be integrated into the development, in accordance with *Crime Prevention and the Assessment of Development Applications Guidelines*.

In April 2001 the NSW Department of Infrastructure, Planning and Natural Resources introduced "Crime prevention and the assessment of development applications" guidelines under Section 4.15 of the *Environmental Planning and Assessment Act, 1979*. Those guidelines require consent authorities to ensure that development provides safety and security to users and the community.

The NSW Police Service has produced a document titled 'Safer by Design - A Practical Guide to Crime Prevention Through Environmental Design'. The guidelines contain two parts. Part A details the need for a formal crime risk assessment (Safer by Design Evaluation) to be done in conjunction with trained Police, and Part B outlines basic crime prevention through environmental design (CPTED) principles and strategies that can be used by consent authorities to justify proposals to minimise risk. The above guidelines have been considered in conjunction with the *Georges River Development Control Plan 2021* (GRDCP 2021) to assess crime risk and prevention for the proposed development.

A Crime Risk Assessment is an evaluation of the potential for crime in an area. It provides an indication of both the likely magnitude of crime and likely crime type. The consideration of these dimensions will determine the choice and appropriate mix of CPTED strategies.

The structure of this report responds to the guidelines as follows:

- **Section 2** identifies the methodology used to prepare this report;
- **Section 3** provides details of the site and its setting;
- **Section 4** describes the proposed development;

- **Section 5** addresses Part A of the guidelines by providing crime statistics and socio-economic data for the locality;
- **Section 6** identifies the CPTED principles;
- **Section 7** addresses Part B of the guidelines by evaluating the proposal against CPTED principles and identifying opportunities to introduce measures to minimise the risk of crime; and
- **Section 8** provides our conclusions.

## **2. Methodology**

### **2.1 Overview**

The “Crime prevention and the assessment of development applications” guidelines identify that there are two important steps when assessing crime risk:

- Obtain an understanding of the crime risk of the area, and if required;
- Apply (CPTED) treatments that correspond with levels of risk present in the area.

A profile of the crime risk of the locality is provided at Section 5, while an evaluation of the project against CPTED principles, and measures to implement those principles, is provided at Section 7.

### **2.2 Methodology**

This report has been prepared utilising the following approach:

- Understanding the site, its setting and context;
- Review of community profile and local crime statistics;
- Review of the architectural drawings;
- Review of Council's planning controls relative to crime prevention and safety;
- Assessment of the proposal against the CPTED principles taking into consideration the local context, community profile and local crime occurrence; and
- Identification of measures to enhance safety, security and crime prevention consistent with CPTED principles.

### **2.3 Authorship**

The report has been prepared by Carlo Di Giulio (Director) who has completed the Safer By Design training course conducted by NSW Police.

### 3. Site Details

#### 3.1 Site Description

The site is located within the Georges River Local Government Area (LGA) and is located at the corner of Forest Road and Hill Street, Hurstville. The site comprises two adjoining land parcels that are irregular in shape. It is legally known as 1A Hill Street (Lot A DP 421265) and 105 Forest Road (Lot B DP 421265). The total site area is approximately 2,634 sqm. The site is bordered by Forest Road due north and Hill Street due west, then adjoins with Jack Brabham Drive due south with a train line. The site is surrounded by several 10-storey residential flat buildings due west and east and a few worn-down single storey retail premises due north.

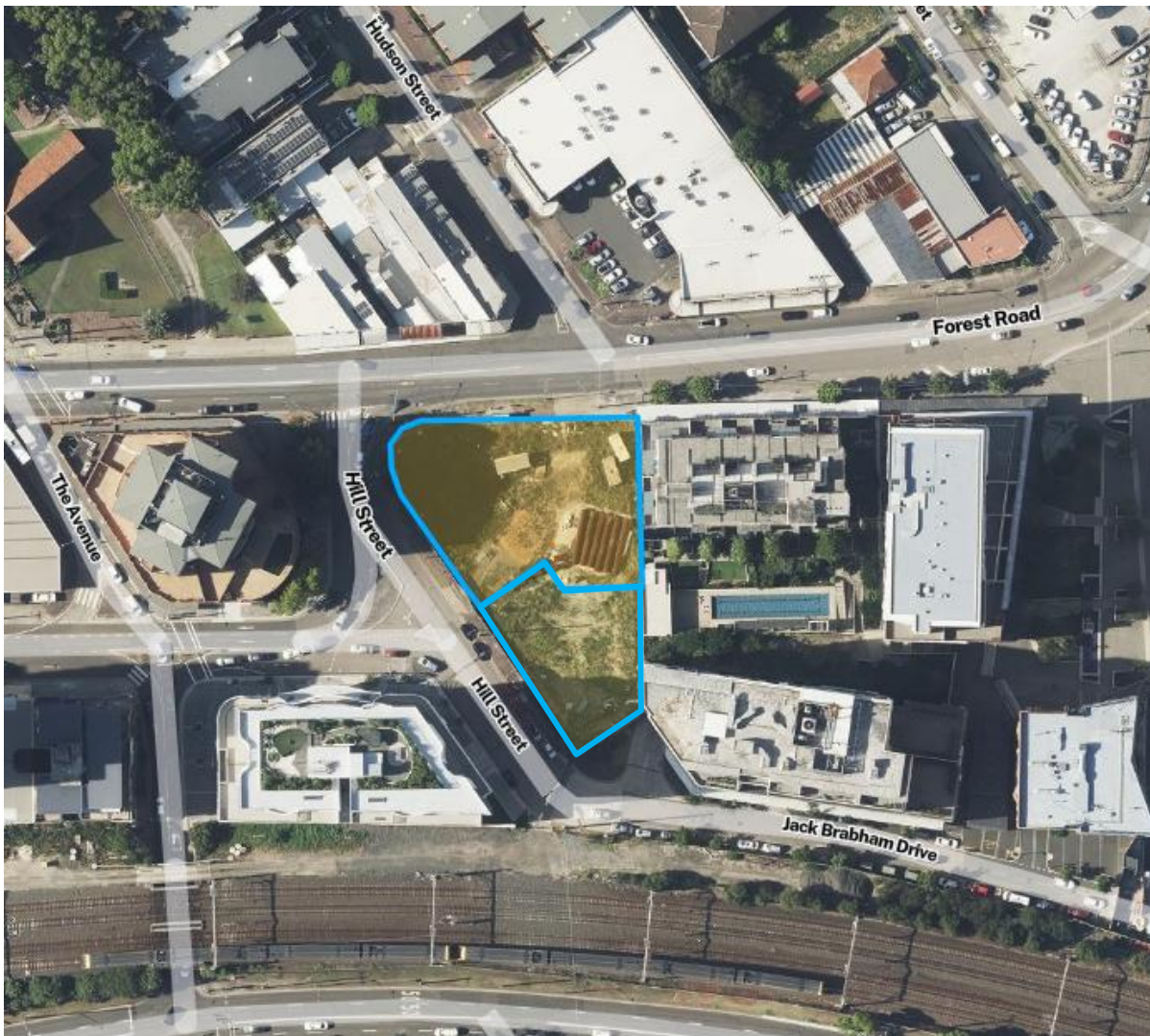


Figure 1: Aerial map, site highlighted yellow (Source: SDT Explorer 2025)

### 3.2 Local Context

The site is located in a convenient location with walking distance of approximately 550m from Hurstville Westfield and 600m east of Hurstville train station. The proposed development is submitted in the form of a HDA Housing with In-fill Affordable Housing which encourage an uplift to the proposed. The site is also surrounded by education, healthcare and recreational facilities such as Hurstville Public School due northeast of site, Sarah's Aged Care Services and Little Winners Childcare Centre due north of site and Kempt field due east of site.



Figure 2: Local Context (Source: SDT Explorer 2025)

## 4. The Proposal

### 4.1 Proposed Development

The proposed development is the construction of two residential towers that are 11 and 22-storeys shop-top housing with basement parking, ground level retail/commercial premises and a mix of residential units. The proposal includes in-fill affordable housing and associated works. The proposal will include:

- 5 levels of basement car parking including retail/commercial, visitor and bicycle parking
- Two residential towers that are 11 and 22-storeys shop-top housing including a mix of 1-, 2- and 3-bedroom apartments; and 19 affordable units
- Communal open spaces on Level 1, Level 7 and roof
- Landscaping works including placement of trees
- 6 retail/commercial premises on ground level

Table 2 Development Statistics (105 Forest Road & 1A Hill Street, Hurstville)

ELEMENT	PROPOSAL
Site Area	2,634 sqm
Gross Floor Area	16,828 sqm
FSR	6.39:1
Maximum Height	75 metres
Total number of storeys	22 storeys 5 levels of basement car parking
Total dwellings	187 dwellings: <ul style="list-style-type: none"> <li>• 60 x 1-bedroom apartments</li> <li>• 95 x 2-bedroom apartments</li> <li>• 32 x 3-bedroom apartments</li> </ul>
Basement Carparking	Five levels of basement carparking with 272 car spaces: <ul style="list-style-type: none"> <li>• 219 residential spaces</li> <li>• 38 visitor spaces</li> <li>• 15 retail/commercial spaces</li> </ul> 3 loading bay 1 car wash bay
Proposed Bicycle Spaces	88 spaces: <ul style="list-style-type: none"> <li>• 63 residential</li> <li>• 5 commercial</li> <li>• 20 visitor</li> </ul>
Landscape Area	1,551sqm (58.8%)

## 5. Crime Risk Assessment

### 5.1 Overview

Part A of the "Crime prevention and the assessment of development applications" guidelines detail the need for a crime risk assessment when considering development applications.

A crime risk assessment is an evaluation of the potential for crime in an area. It provides an indication of both the likely magnitude of crime and likely crime type. The consideration of these dimensions (crime amount and type) will determine the choice and appropriate mix of CPTED strategies.

Those guidelines note that when conducting an individual crime risk assessment, the consequences and likelihood of crime are identified and measured using recorded crime statistics, and socio-economic data. This section provides a brief summary of the local community profile and crime occurrence based on publicly available data from websites including the Australian Bureau of Statistics and NSW Bureau of Crime Statistics.

### 5.2 Georges River Local Government Area

The Georges River Council is a Local Government Area (LGA) located in Sydney's southern district, approximately 17 kilometres from the Sydney CBD. The Georges River LGA is bounded by the Canterbury-Bankstown LGA due north, Salt Pan Creek due west, Sutherland LGA due south, and Bayside LGA due east.

The Georges River LGA is predominantly residential, with southern suburbs bordered by the Georges River. The LGA encompasses a total land area of 38.35 square kilometres, of which a small proportion contains public parks, bushlands or reserves. There is very little commercial or industrial land use.

The Georges River LGA is served by the South Western Motorway, the Princes Highway, Forest Road, King Georges Road and the Airport and Eastern Suburbs & Illawarra railway lines. Major features of the LGA include Kogarah Town Centre, Westfield Hurstville Shopping Centre, Georges River National Park, St George Hospital, Hurstville Museum & Gallery, Oatley Park, Hurstville Oval, Hurstville Gold Club, Carrs Bush Park, Kogarah Park, Moore Reserve & Wetlands, Beverley Park Gold Club, Georges River Cruises and various wharves and marinas.

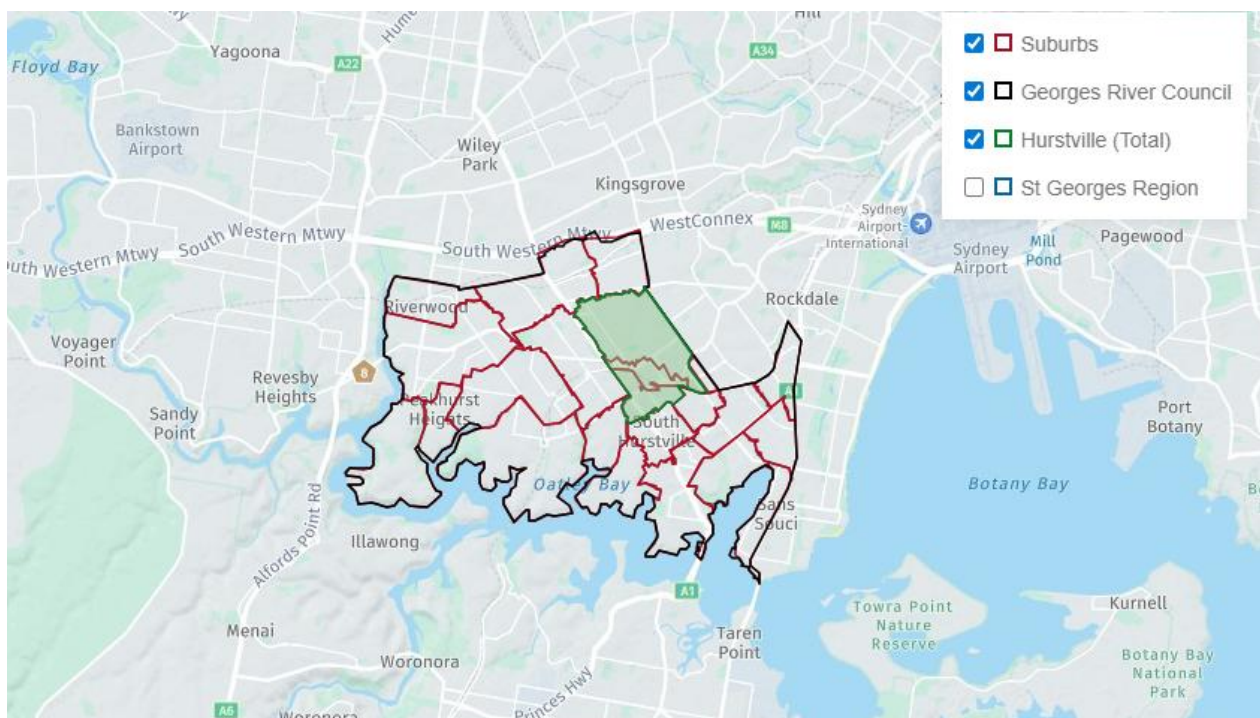


Figure 3: Georges River LGA outlined in black (Source: Profile ID)

### 5.3 Georges River Profile Area

Georges River LGA comprises of twenty-four suburbs, including Allawah, Beverley Park, Beverly Hills (part), Blakehurst, Carlton (part), Carss Park, Connells Point, Hurstville, Hurstville Grove, Kingsgrove (part), Kogarah (part), Kogarah Bay, Kyle Bay, Lugarno, Mortdale, Narwee (part), Oatley, Peakhurst, Peakhurst Heights, Penshurst, Ramsgate (part), Riverwood (part), Sans Souci (part) and South Hurstville.

The subject site is situated in the suburb of Hurstville, generally bordered by Stoney Creek Road due north-west, King Georges Road due south-west and the boundary of Hurstville and Allawah due south-east, Croydon Road due north-east.

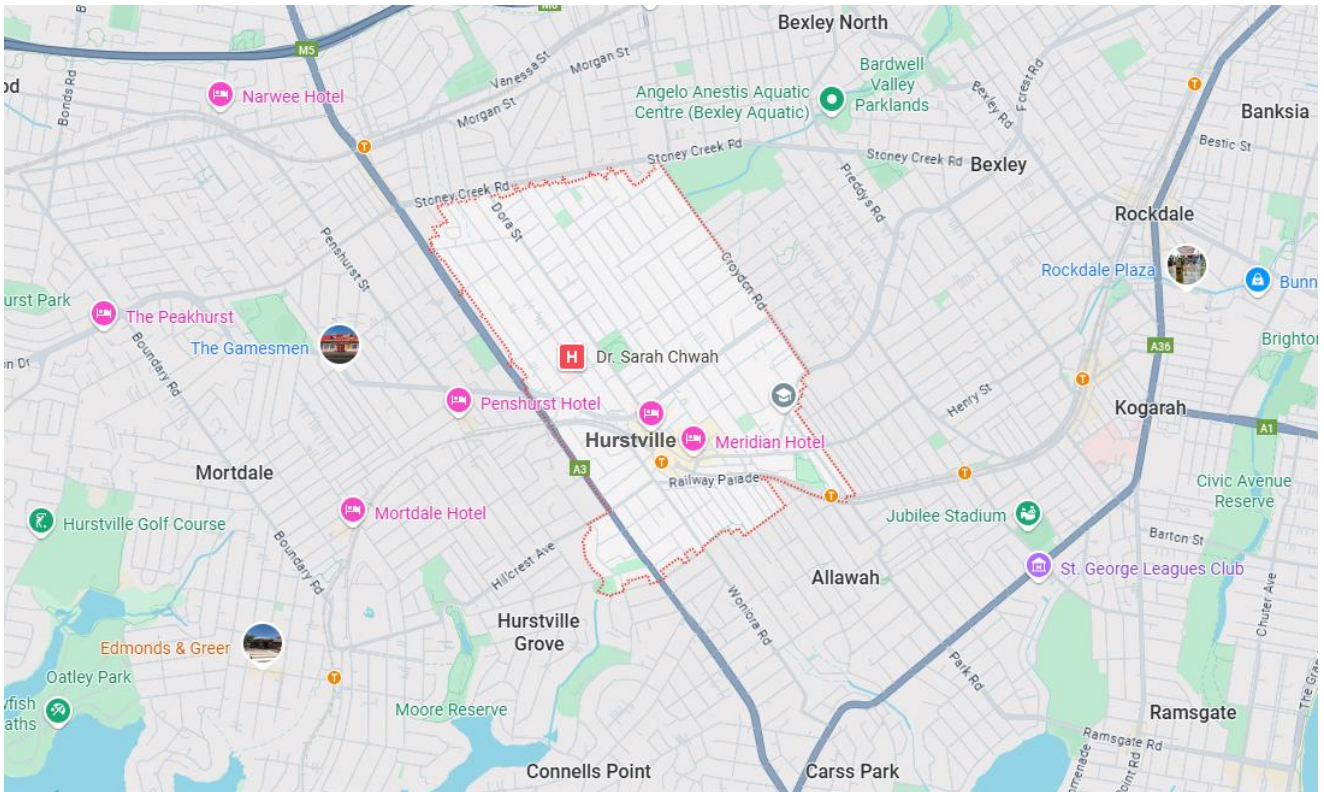


Figure 4: The suburb of Hurstville and the Hurstville profile area (Source: Google Maps)

### 5.4 Demographic Profile

The community profile provides secondary data that creates a greater understanding of the characteristics of communities potentially impacted by the project. With the addition of community engagement inputs and research from the literature review including technical reports, the demographic profile informs the social baseline.

The primary source of data for the community profile is the Australian Bureau of Statistics (ABS) 2021 Census. Additional data from other sources has been collected as necessary to provide a commentary on the social locality.

Selected community profile characteristics are presented below.

## 5.4.1 Population

In 2021, there was a population of 31,162 usual residents living in 11,985 dwellings with an average household size of 2.82 in Hurstville. The population was projected to increase to 34,153 in 2024.

Household type								
Hurstville (total) - Total households (Enumerated)								
		2021			2011			Change
Households by type	Number	%	Georges River Council area %	Number	%	Georges River Council area %	2011 to 2021	
<b>a</b> Couples with children	3,337	30.5	36.2	3,045	34.4	37.9	+292	
<b>a</b> Couples without children	2,886	26.4	23.7	2,034	23.0	23.0	+851	
<b>a</b> One parent families	1,214	11.1	10.8	1,125	12.7	10.8	+88	
Other families	302	2.8	1.7	218	2.5	1.6	+83	
<b>a</b> Group household	842	7.7	3.8	667	7.5	3.5	+175	
<b>a</b> Lone person	1,953	17.9	20.4	1,459	16.5	20.1	+494	
Other not classifiable household	327	3.0	3.0	229	2.6	2.6	+98	
Visitor only households	66	0.6	0.5	74	0.8	0.6	-9	
<b>Total households</b>	<b>10,927</b>	<b>100.0</b>	<b>100.0</b>	<b>8,854</b>	<b>100.0</b>	<b>100.0</b>	<b>+2,073</b>	

Figure 5: Hurstville household type data from ABS (source: Profile ID)

## Change in household type, 2011 to 2021

Hurstville (total)

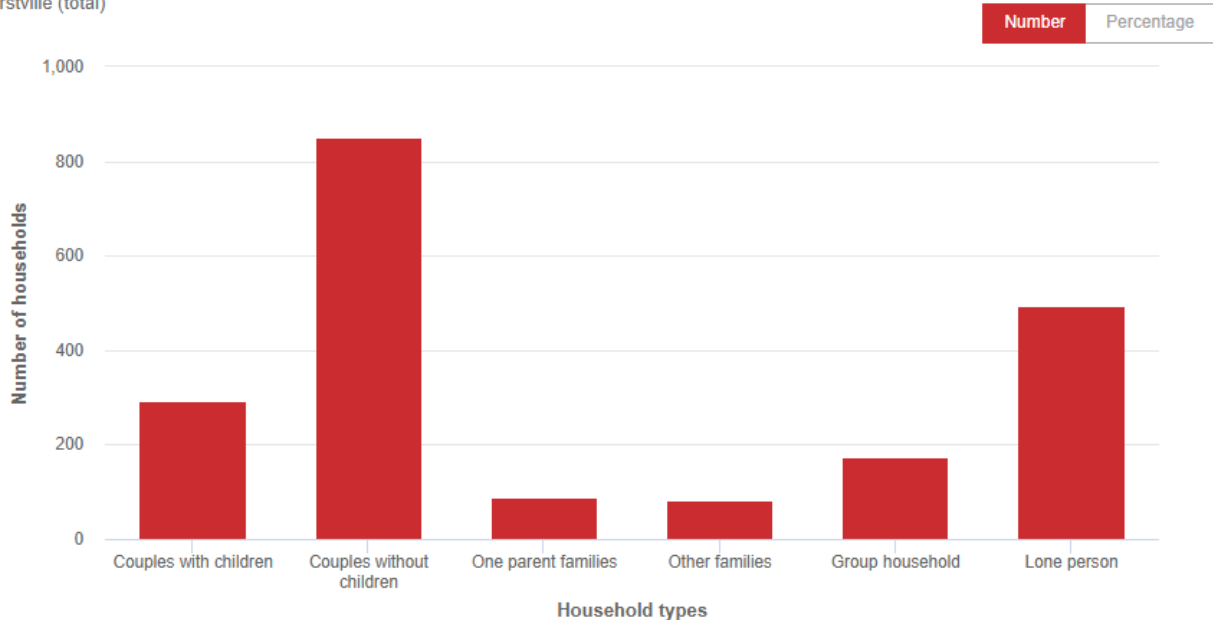


Figure 6: change in household type from 2011 to 2021 from ABS (source: Profile ID)

Couples without children is the dominant household type from 2011 to 2021. All households are increasing except for visitor only households shown in **Figure 5**.

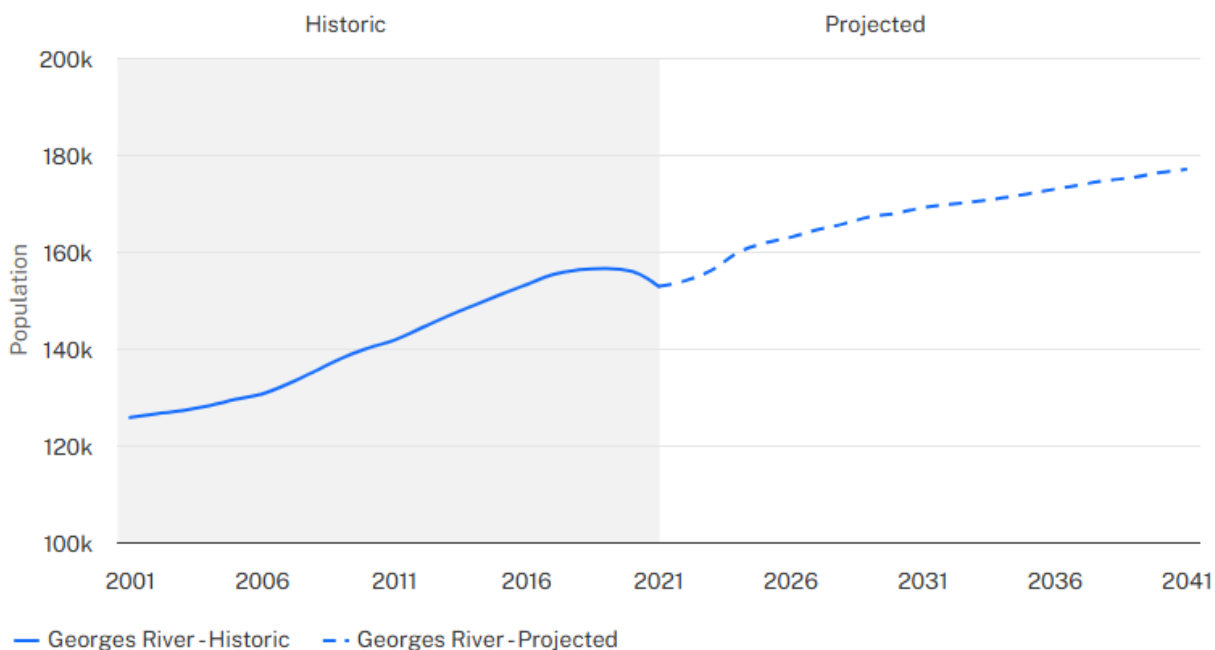


Figure 7: Georges River LGA Population Projections 2041 (source: Department of planning, Housing and Environment)

As shown in **Figure 7**, the population growth from 2001 to 2016 gradually increased, however, it dropped during 2021. It is expected that there will be significant rapid growth from 2026 to 2041 in the Georges River LGA.

### Age structure - service age groups, 2021

export

Total persons

■ Hurstville (total) ■ Georges River Council area

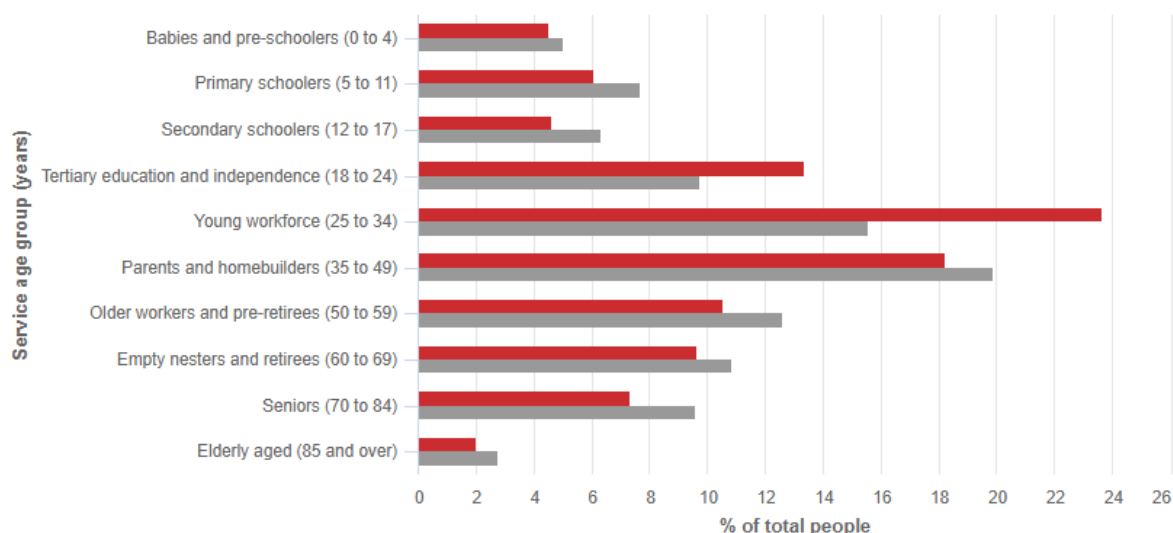


Figure 8: Service age groups in Hurstville and Georges River Council area (source: Profile ID)

As shown in **Figure 8**, the largest percentage of the age structure in Hurstville is ‘Young workforce’ (age from 25 to 34) and the largest percentage in Georges River Council area is ‘Parents and homebuilders’ (age from 35 to 49).

## Change in age structure - service age groups, 2011 to 2021

Hurstville (total) - Total persons

export

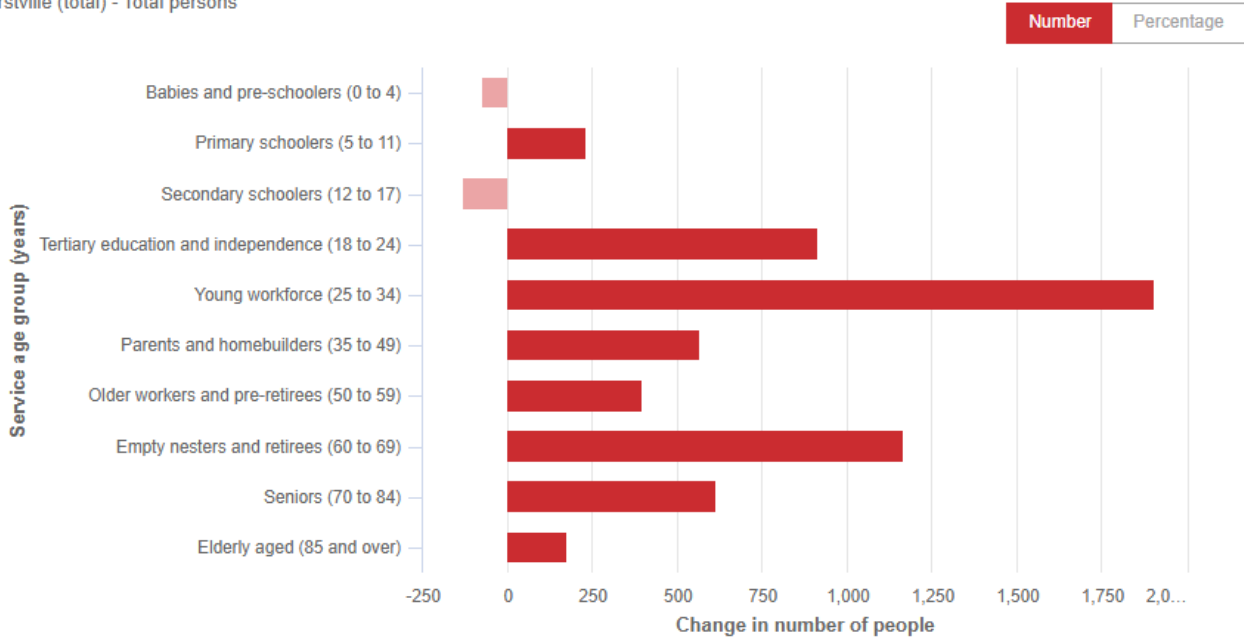


Figure 9: percentage of change in age structure in Hurstville from 2011 to 2021 (source: Profile ID)

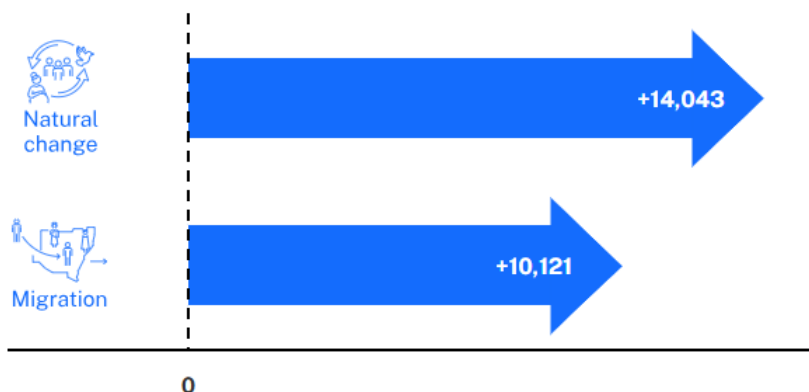
As shown in **Figure 9**, 'Young workforce' (25-34 years) have the largest growth as well as 'Empty nesters and retirees' (60-69 years) between 2011 and 2021. However, 'Babies and pre-schoolers' (0-4 years) and 'Secondary schoolers' (12-17 years) has decreased.

Relative social disadvantage in Hurstville is low, with the largest proportion obtaining a university qualification (9.5%) compared to the Georges River Council area (6.6%).

In 2021, the dominant weekly household income range was \$2,000-\$2,499. Within Hurstville, there was 12.6% of the population falling in that range, well above the Georges River Council area which was 11.6%.

68% of people in Hurstville were born overseas, compared with 46% in Georges River Council area. The largest non-English speaking country of birth in Hurstville was China, consisting 28.6% of the population.

## Georges River



### Definitions

Natural change = births - deaths

Migration = migration in - migration out

Figure 10: Drivers of change 2022 to 2041 in Georges River LGA (source: Department of planning, Housing and Environment)

As shown in **Figure 10**, there will be a significant spike in natural change, which is well above the increase of migration in the Georges River LGA from 2022 to 2041.

The Socio-Economic Indexes for Areas (SEIFA) Advantage and Disadvantage for Georges River Council in 2021 was 1,048. It indicates that Georges River LGA has high levels of advantage, and low levels of disadvantage.

## 5.5 Local Crime Profile

The NSW Bureau of Crime Statistics and Research (BOCSAR) is a statistical and research agency within the Department of Attorney General and Justice. The Bureau maintains a data base which consists of criminal incidents reported to police and recorded on the NSW Police Force's Computerised Operational Policing System (COPS). The selection of BOCSAR crime statistics for Hurstville for the period April 2024 to March 2025 is presented below. Data for NSW is provided for benchmarking purposes.

BOCSAR's crime statistics consist of criminal incidents reported to or detected by police and recorded on the NSW Police Force's Computerised Operational Policing System (COPS). While this system is used for recordkeeping for all police operations, not just for criminal matters, BOCSAR only reports on criminal incidents and selected policing activities. BOCSAR's crime statistics therefore do not capture crimes that are not recorded on COPS. The Australian Bureau of Statistics conducts regular crime and victim surveys which attempt to capture a snapshot of both reported and unreported crimes. BOCSAR's standard quarterly publications report on 13 major offence categories, which include serious personal violence and property offences.

In this CPTED, BOCSAR's 'crime mapping tool' has been used to provide a table and visual representation of data on criminal incidents in Hurstville.

The incidents of crime presented for this CPTED include:

- Assault
- Robbery
- Sexual Offences
- Theft (including theft from dwelling, steal from person)
- Malicious damage to property.

The 2024 Estimated Resident Population for Hurstville was 34,153, with a population density of 8,301 persons per square km.

The following table provides statistical data for Hurstville during the period of April 2023 to March 2025. Also included for that same period is the equivalent statistics for the whole of NSW, allowing for a degree of comparison to enable the local statistics to be placed in a broader context.

**Table 3 NSW BOCSAR Crime Statistics for April 2023 to March 2025 (2-year trends\*)**

Incident (rate per 100,000 persons)	Hurstville		Georges River LGA		New South Wales	
	April 2023 to March 2025	2 Years Trend	April 2023 to March 2025	2 Years Trend	April 2023 to March 2025	2 Years Trend
<b>Assault</b>	689.8	Up 67.3% per year	534.6	Up 18.5% per year	899.3	Up 0.9% per year
<b>Robbery</b>	9.1	Not calculated*	7.6	Not calculated*	22.8	Stable
<b>Sexual offences</b>	154.3	Stable	112.6	Stable	240.3	Up 6.1% per year
<b>Theft</b>	2729	Stable	1547.6	Up 10.8% per year	2208.6	Stable
<b>Malicious damage to property</b>	526.4	Up 67.3% per year	345.5	Stable	576.7	Stable

\* A trend is not calculated if at least one 12-month period in the selected timeframe had less than 20 incidents.

Source: NSW Bureau of Crime Statistics and Research

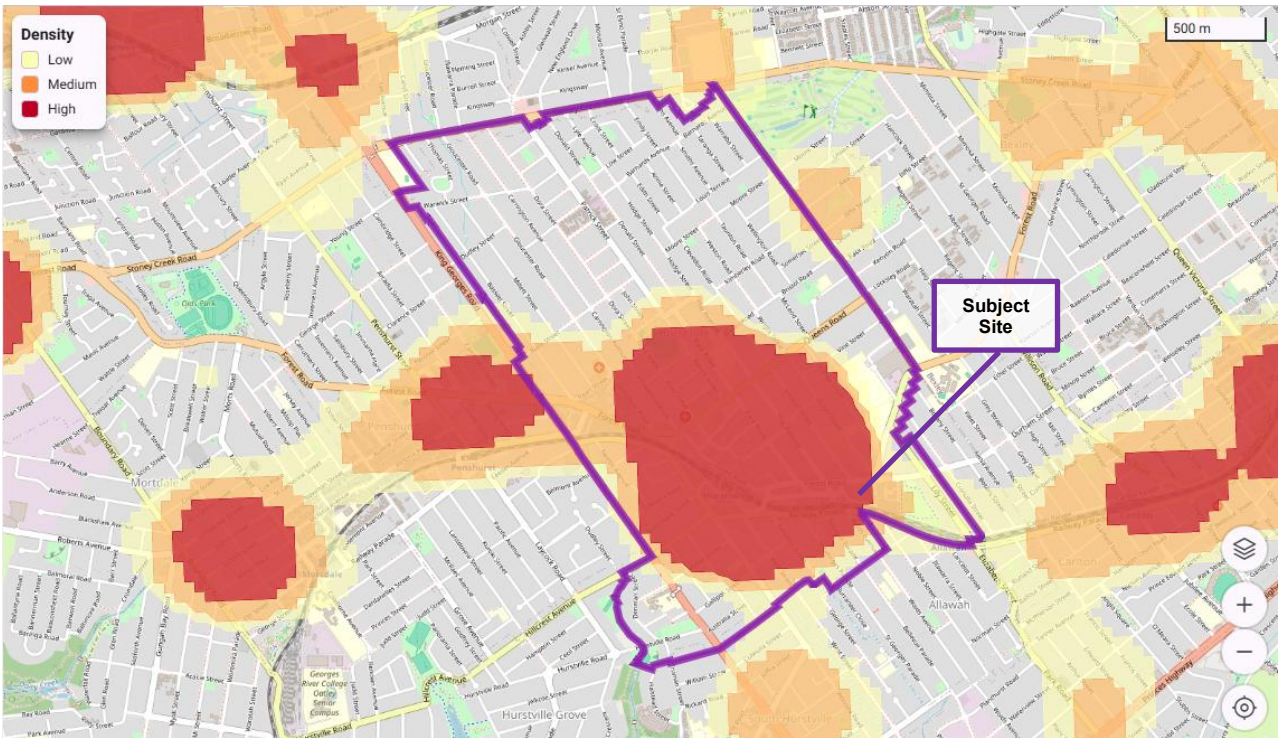


Figure 11: Hot Spot Map – malicious damage to property in Hurstville (source: BOCSAR)

Figure 11 shows that in Hurstville, most incidents of malicious damage to property occur in the station precinct and Hurstville Town Centre. The subject site is within the medium to high density zone where malicious damage to property occurs.

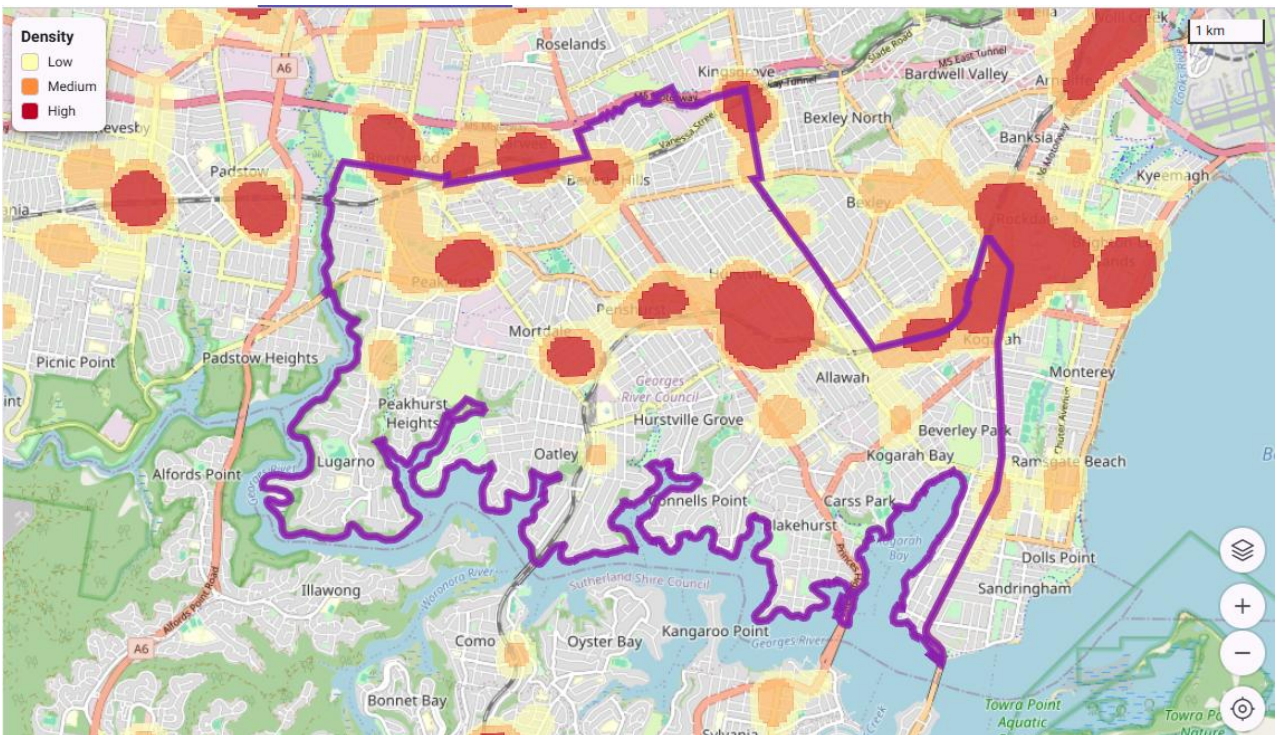


Figure 12: Hot Spot Map – malicious damage to property in the Georges River LGA (source: BOCSAR)

Figure 12 indicates that in the Georges River LGA, high density of malicious damage to property occurs in the station precinct of each suburb.

Index of Relative Socio-economic Advantage and Disadvantage export reset

Local Government Areas in New South Wales

2021 Local Government Area	2021 Index
Woolahra	1,176
Mosman	1,169
Ku-ring-gai	1,165
North Sydney	1,164
Waverley	1,163
Lane Cove	1,162
Hunters Hill	1,156
Willoughby	1,142
The Hills Shire	1,136
Sydney	1,129
Northern Beaches	1,125
Inner West	1,118
Canada Bay	1,116
Hornsby	1,116
Randwick	1,113
Ryde	1,099
Sutherland Shire	1,090
Parramatta	1,070
Strathfield	1,066
Yass Valley	1,062
Queanbeyan-Palerang Regional	1,062
Kiama	1,061
Burwood	1,050
Camden	1,050
Georges River Council area	1,048
Georges River	1,048
Bayside (NSW)	1,045
Blue Mountains	1,042

Figure 13: Index of Relative Socio-economic Advantage and Disadvantage of LGAs in NSW (source: Australian Bureau of Statistics)

Index of Relative Socio-economic Advantage and Disadvantage export reset

Georges River Council's small areas and benchmark areas

Area	2021 Index	Percentile
Oatley	1,126.8	98
Connells Point - Kyle Bay	1,124.7	98
Lugarno	1,115.8	97
Hurstville Grove	1,111.0	97
Blakehurst	1,103.2	96
Kogarah Bay - Cars Park	1,094.4	95
Sans Souci	1,089.0	94
Peakhurst Heights	1,077.5	92
Beverley Park - Ramsgate	1,076.4	92
SRROC	1,069.9	90
Mortdale	1,060.8	87
Georges River Council area	1,048.4	83
Kogarah	1,047.9	83
Greater Sydney	1,045.0	82
St George Region	1,043.6	81
Kingsgrove	1,043.1	81
Penshurst	1,035.0	77
Peakhurst	1,034.4	77
Beverly Hills - Nanwee	1,024.6	72
Carlton	1,021.7	70
South Hurstville	1,021.6	70
Hurstville (City Centre)	1,019.4	69
New South Wales	1,016.0	67
Allawah	1,013.4	66
Hurstville (total)	1,012.0	65
Hurstville (Remainder)	1,008.7	63
Australia	1,002.6	60
Riverwood	993.7	49

Figure 14: Index of Relative Socio-economic Advantage and Disadvantage of Georges River Council's small areas (source: Australian Bureau of Statistics)

Figure 13 indicates that Georges River LGA ranks 25th in terms of the most advantaged LGAs in NSW. The ranking is based on the Census data of relative socio-economic advantage. In Figure 14, Hurstville is ranked 25th in terms of the most advantaged suburb within the Georges River Council.

In conclusion, the Georges River LGA has an above average SEIFA (Socio-Economic Indexes for Areas) amongst the LGAs of NSW. This is demonstrated through young workforce and high education attainment. However, amongst the profile areas of the Georges River LGA, Hurstville has the highest level of disadvantage.

Crime rates in the Georges River LGA and Hurstville are average as illustrated in Figure 12. While any crime is unwanted, malicious damage to property is considered the most common crimes in Hurstville as illustrated in Figure 11. The hot spot maps indicate that most incidents occur within the Hurstville train station precinct.

The demographic characteristics and crime rates in the area would indicate that the proposed development is at a relatively higher risk of attracting criminal activity or incidents of crime due to its proximity to the Hurstville train station. Strategies to prevent crime through environmental design will be discussed further in the next sections of the report.

## 6. Principles of CPTED

Crime Prevention through Environmental Design (CPTED) is a crime prevention strategy that focuses on the planning, design and structure of cities and neighbourhoods. Such strategy seeks to reduce opportunities for crime by using design and place management principles that reduce the likelihood of essential crime ingredients (law, offender, victim or target, opportunity) from intersecting in time and space.

CPTED seeks to influence the design of buildings and places by:

- Increasing the perception of risk to criminals by increasing the possibility of detection, challenge and capture;
- Increasing the effort required to commit crime by increasing the time, energy or resources to successfully commit the crime;
- Reducing the potential rewards of crime by minimising, removing or concealing 'crime benefits'; and
- Removing conditions that create confusion about required norms of behaviour.

There are four principles that need to be used in the assessment of development applications to minimise the opportunity for crime:

- Surveillance;
- Access control;
- Territorial reinforcement; and
- Space management.

These principles are identified in the "Crime prevention and the assessment of development applications Guidelines under section 4.15 of the *Environmental Planning and Assessment Act 1979*" issued by the (former) Department of Urban Affairs and Planning, and as noted in Table 4 below:

**Table 4 CPTED Principles**

Principle	Intent
<b>Surveillance</b>	The attractiveness of crime targets can be reduced by providing opportunities for effective surveillance, both natural and technical. Good surveillance means that people can see what others are doing. People feel safe in public areas when they can easily see and interact with others. Offenders are often deterred from committing crime in areas with high levels of surveillance.
<b>Access control</b>	Physical and symbolic barriers can be used to attract, channel or restrict the movement of people. They minimise opportunities for crime and increase the effort required to commit crime. By making it clear where people are permitted to go or not to go, it becomes difficult for potential offenders to reach and victimise people and their property. Illegible boundary markers and confusing spatial definition make it easy for criminals to make excuses for being in restricted areas. However, care needs to be taken to ensure that the barriers are not tall or hostile, creating the effect of a compound.
<b>Territorial reinforcement</b>	Community ownership of public space sends positive signals. People often feel comfortable in, and are more likely to visit places which feel owned and cared for. Well maintained places also reduce opportunities for crime and increase risk to criminals. If people feel that they have some ownership of public space, they are more likely to gather and to enjoy that space. Community ownership also increases the likelihood that people who witness crime will respond by quickly reporting it or by attempting to prevent it.
<b>Space management</b>	Popular public space is often attractive, well maintained and well used space. Linked to the principle of territorial reinforcement, space management ensures that space is appropriately utilised and well cared for. Space management strategies include activity coordination, site cleanliness, rapid repair of vandalism and graffiti, the replacement of burned-out pedestrian and car park lighting and the removal or refurbishment of decayed physical elements.

## 7. CPTED Evaluation

### 7.1 Overview

Part B of the "Crime prevention and the assessment of development applications" guidelines addresses the application of CPTED principles to ensure new development does not create or exacerbate crime risk.

This section of the report provides an evaluation of the key elements of the development against the CPTED principles identified at section 6:

- Surveillance
- Access control
- Territorial reinforcement
- Space management.

In general, the proposal has been designed to take into consideration these principles described below. This approach will allow people to feel safer and more comfortable in the new public space and are therefore more likely to use it on a regular basis and increase the sense of community by getting to know their neighbours and fellow users of the spaces.

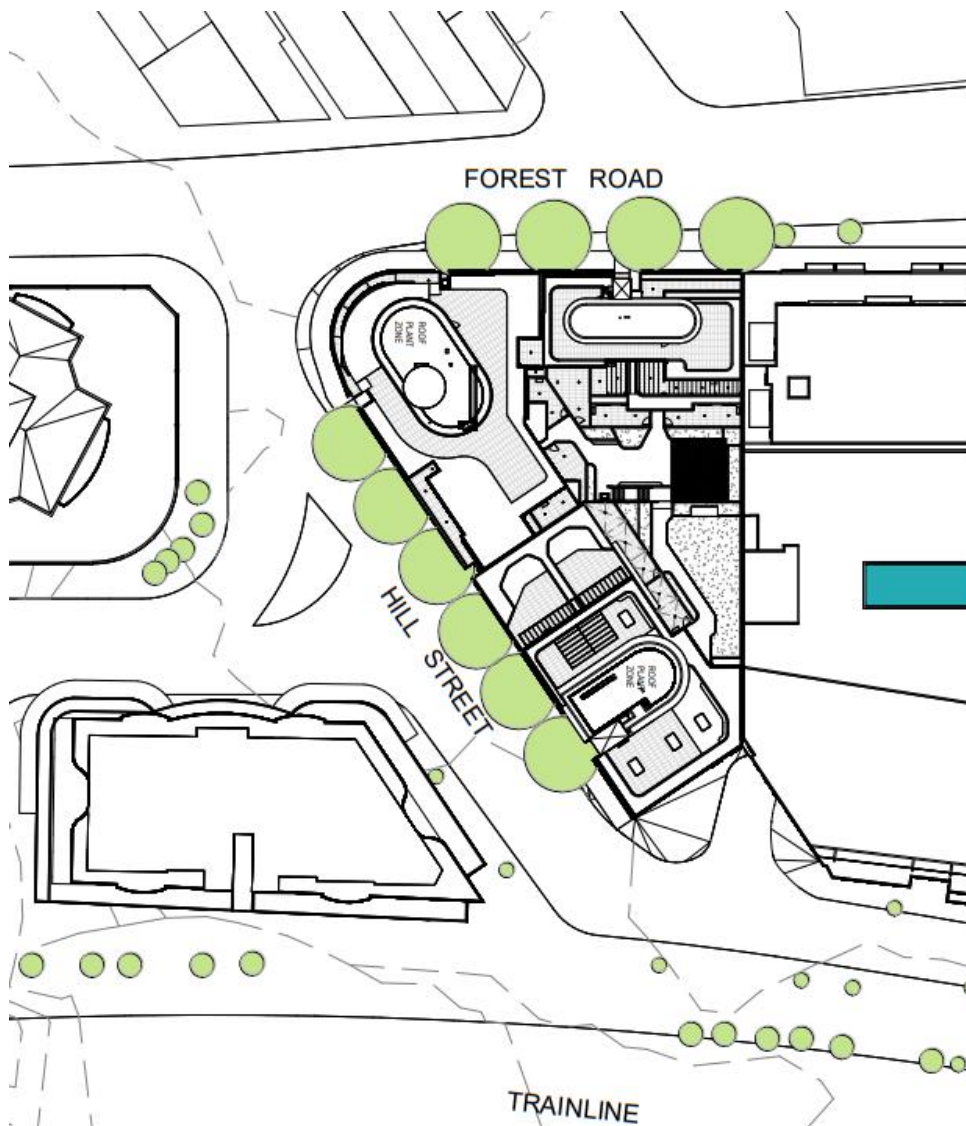


Figure 15: Proposed Site Plan (Source: DWA)

## 7.2 Surveillance

This principle provides that crime targets can be reduced by effective surveillance, both natural (passive) and technical. The surveillance principle indicates that offenders are often deterred from committing a crime in areas with high levels of natural surveillance. Surveillance relates to the internal and external layout of a building.

### 7.2.1 Evaluation

- The current proposal consists of two main access points via Hill Street which is a relatively quiet local road shown in **Figure 16** and **Figure 17**. No access points are located along Forest Road due to the nature of being a local main road with high pedestrian and vehicle volumes (**Figure 18**).
- The building is bordered by two residential flat buildings due east which minimises the risk of crime at the rear of the building shown in **Figure 19**.
- The proposal has a strong street frontage with balconies and windows along Forest Road and Hill Street providing high levels of passive surveillance.
- Surveillance is required for both the dog park and the gym on Level 1 to mitigate crime targets and increase user safety. In addition, sensor lights will be installed in the gym.
- The proposed development will provide surveillance for all communal open space on Level 1, Level 7 and roof to increase public safety and awareness.
- The proposed development enables effective surveillance through the provision of clear sightlines throughout the internal areas of the residential spaces, as well as through lobbies and communal areas.



Figure 16: Residential access to the subject site from Hill Street (Source: Google Maps)



Figure 17: Residential access to the subject site from Hill Street (Source: Google Maps)



Figure 18: Northeastern view of the site along Forest Road (Source: Google Maps)



Figure 19: Southwestern view of the site looking at Hill Street frontage (source: Google Maps)

## 7.2.2 Recommendations

### Lighting:

- Ensure all external and internal lighting meets the minimum Australian and New Zealand Standards and in particular the objectives for crime and fear reduction as outlined in Australian Lighting Standard AS/NZ 1158 for public streets and pedestrian areas.
- Install adequate lighting at all entry / egress especially main residential entries from street frontages. Lighting shall focus on pedestrian links to the building, and the open space throughfare.
- The pedestrian thoroughfare shall be suitably lit between sunset and dawn 7 days a week.
- Ensure lighting is not concealed or screened out by landscaping, and ensure trees are maintained to preserve appropriate site lines.
- Ensure lighting is provided in the vicinity of the entrance to the right of way in the northeastern corner of the site. Such lighting should be enabled between sunset and sunrise each day.
- Lighting shall be provided in communal open spaces such as the dog park, communal open space in Level 7 and roof top. Sensor lights shall be provided for the gym.

**Natural Surveillance:**

- Promote natural surveillance via balconies overlooking building entries, and over the Ground Floor communal open space.

**CCTV:**

- Ensure building and vehicle entries, lift lobbies, and mail areas are monitored via CCTV.
- Ensure the car parking area, including lift lobbies and basement levels are monitored by CCTV.
- Ensure all communal open spaces such as the dog park and gym on Level 1, communal open space on Level 7 and roof top are monitored by CCTV.
- Signage should be present to identify permanent surveillance of these areas.

**Landscaping:**

- Ensure regular maintenance of landscaping.
- Avoid the inclusion of high walls that may create concealed or recessed areas.
- Ensure landscaping maintains effective sight lines through the site by allowing low height shrubs or high canopy trees only.

**Concealment:**

- Reduce the opportunity for hiding in bushes and landscaping in secluded areas via low planting or taller trees and canopies.
- Concave mirrors will be installed at the driveways for the safety of both pedestrians and drivers.

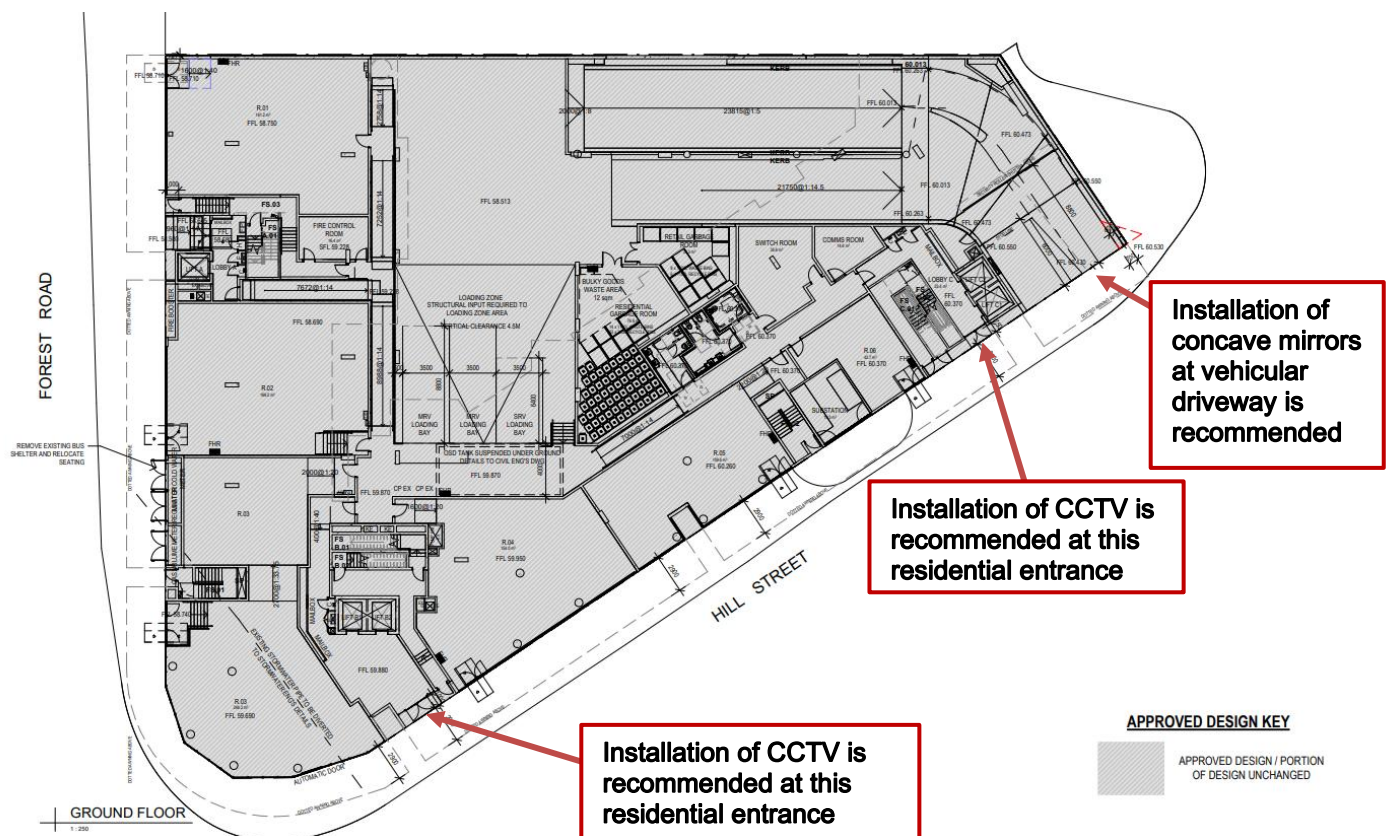


Figure 20: Proposed ground floor plan (Source: DWA)

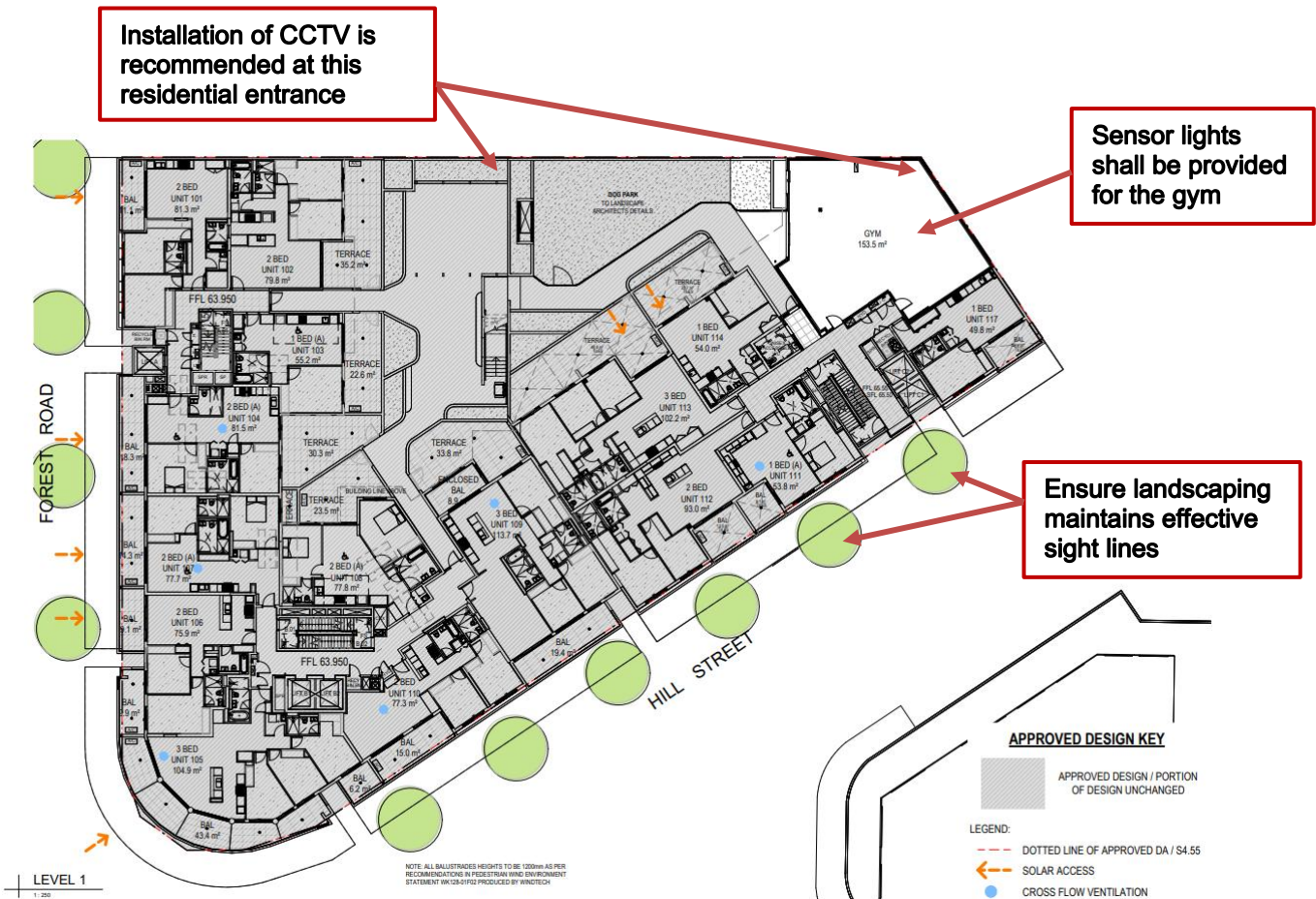


Figure 21: Proposed Level 1 plan (Source: DWA)

## 7.3 Access Control

Access control refers to interventions that improve the perimeter security of locations. Specific strategies can include installing or upgrading physical security (such as installing perimeter fencing or self-closing secure doors) or restricting access to an area during certain times. Natural strategies like gardening landscapes and access pathways can also be used to control access by restricting or directing the movement of people with barriers.

### 7.3.1 Evaluation

- The development provides entry / egress points of the building directly from Hill Street. All entries provide direct access to surrounding roads and pedestrian routes.
- Access points to the residential facility are positioned in areas where it is anticipated there will be the most available passive surveillance. Access controls will be required to demarcate entry and egress points, as well as the car park, into the development.
- Electronic security mechanisms will be provided to control access as appropriate to various building components including residential lobby entrances, communal areas, car parking facilities, stairways, lifts, the external entrance to the communal open space and the through site link.

### 7.3.2 Recommendations

Designated fob access:

- Fob access should enforce restricted access to residential lobbies and lifts, residential premises, basement car park and loading areas.
- Recode and reissue fobs once every 12 months for occupants who has ownership or occupation entitlements.

Landscaping:

- Large trees should not be planted immediately adjacent to balconies to prevent the vegetation being used as a “ladder”.

Communal open space areas:

- These areas should be clearly designated with signage to identify who should be using communal spaces and when the spaces are accessible.

Signage:

- Provide signage identifying restricted and monitored areas, including in the car park.
- Signage on the residential through link to advise of the times that access is available.
- Maximise the aesthetic quality of entry / egress points to ensure they are inviting and accessible.

Security:

- Access controls such as gates and doors must be designed and fitted to meet the relevant Australian Standards.
- Ensuring the building lobby, service areas, loading bays and car park entries including the residential car park entry are appropriately monitored and secured where necessary to prevent unauthorised access.
- Security shall be provided between the through site link. The gates shall be closed and locked between 10 pm and 7am 7 days a week. They shall be accessible by residents of the development, through the use of a security or ‘pass card’ during these hours.

## 7.4 Territorial Reinforcement

Well used places also reduce opportunities for crime and increase risk to criminals. Community ownership of public space sends positive signals. Ownership cues are heightened, and fear can be reduced amongst residents through the personalisation, marking, maintenance and decoration of a building. If people feel that they have some ownership of public space, they are more likely to gather and to enjoy that space.

Territorial reinforcement methods should be subtle and blend into facades and place. The high quality of the finishes, surveillance and well-maintained materials also help engender a feeling of safety and provide a level of community ownership.

### 7.4.1 Evaluation

- The design shall encourage people to gather in public space and feel some responsibility for its use and condition.
- The design shall portray clear transitions and boundaries between public and private space.
- Clear design cues on the user of the space and its purpose.

### 7.4.2 Recommendations

- Fencing:
  - Ensure fencing or other built forms that identify a clear distinction of areas within ground floor areas.
  - Include clear directional signage to the building entrance.
  - Include clear direction signage to and from the residential through-link.
- Car Park:

- Clearly delineate spaces through signage, physical separation and painted elements on the ground to identify walkways and direction cues.

## **7.5 Space Management**

Developments that are well managed and maintained are less likely to attract criminal activity. Space management ensures that space is appropriately utilised and well cared for, with strategies including activity coordination, site cleanliness, rapid repair of vandalism and graffiti, the replacement of burned out pedestrian lighting and the removal or refurbishment of decayed physical elements.

### **7.5.1 Evaluation**

- It is anticipated that the building representative body, inclusive social housing providers will include measures that enable management and maintenance.
- This should include a management / maintenance plan to ensure compliance with measures that reduce the potential for criminal activity.

### **7.5.2 Recommendations**

- regular maintenance of the premises, including cleaning up of litter or rubbish from the car parking areas and grounds
- regular waste removal
- CCTV monitoring and access control to reduce the potential for graffiti or vandalism including
  - rapid removal of any graffiti that may be undertaken on the site
  - regular checks of and rapid repairs to lighting and signage and any damage on the site

## 8. Conclusion

The proposal for the residential development at 105 Forest Road and 1A Hill Street, Hurstville has been assessed in terms of potential for crime and opportunities for the application of Crime Prevention Through Environmental Design Principles.

The design of the proposal included CPTED principles which outlined recommendations to mitigate potential crime risk for the proposed development. In this report, site evaluation and mitigation measures have been assessed and proposed. Those recommendations include:

- Access control measures to ensure only residents and their visitors access residential areas such as using a fob.
- Increased lighting for all entrances, exits, the pedestrian through link and in the car parking area as well as communal open spaces such as the dog park and the gym on Level 1
- Inclusion of security features such as increasing CCTV coverage of external areas, entrances and communal areas such as the dog park and the gym on Level 1.
- Territorial reinforcement through clear signage.
- Secure doors or gates.
- Regular maintenance and repairs on the buildings and grounds with any damage or graffiti removed promptly.

With the inclusion of the above and the implementation of the CPTED principles, the proposed development is unlikely to result in any unreasonable impacts in terms of crime rates in the area. Conversely, with the recommendations stated above, the proposed development will provide its best endeavours to discourage crime within the locality.