



Planning,
Industry &
Environment

Issued under the Environmental Planning and Assessment Act 1979

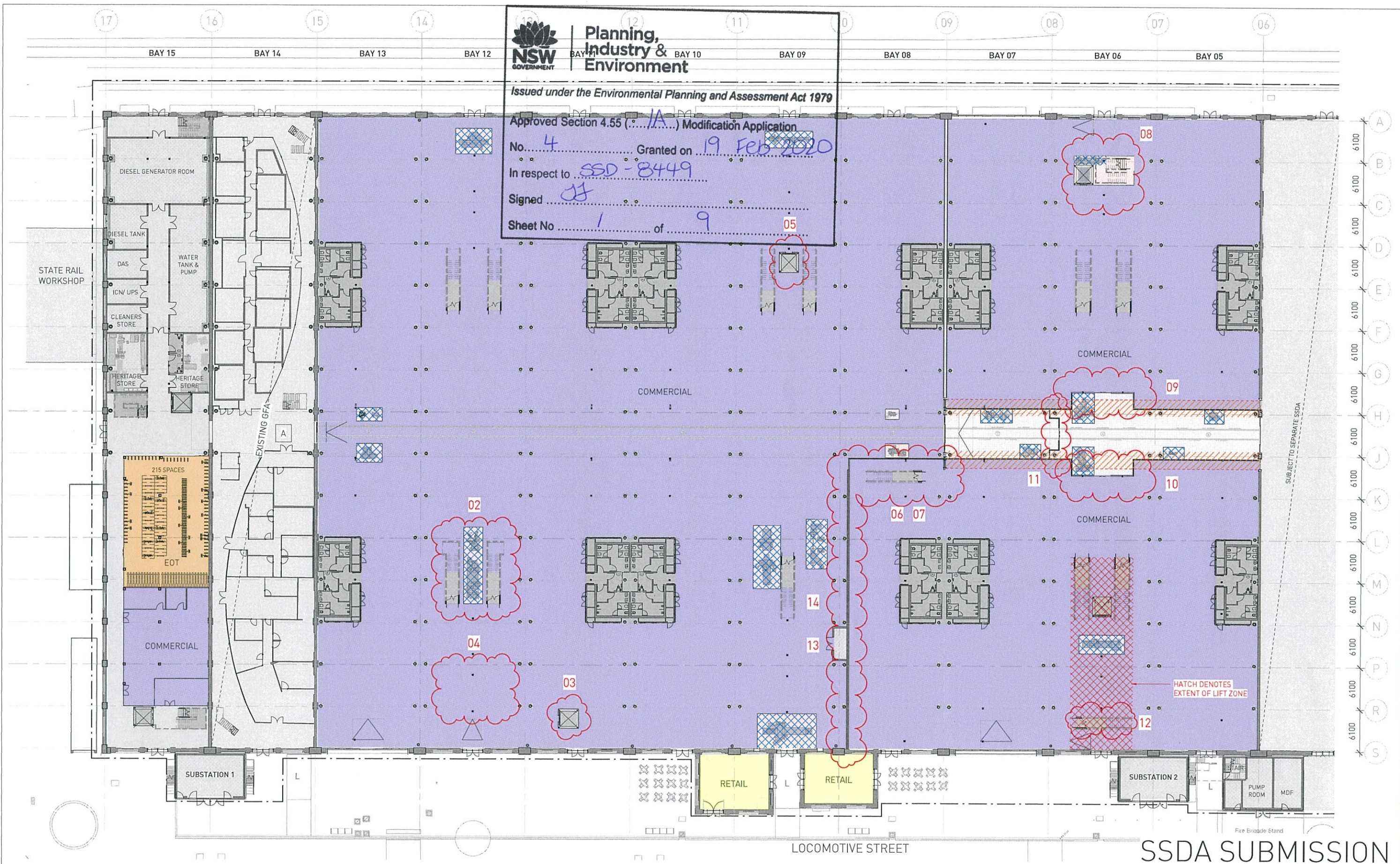
Approved Section 4.55 (...../A.....) Modification Application

No. 4 Granted on 19 Feb 2020

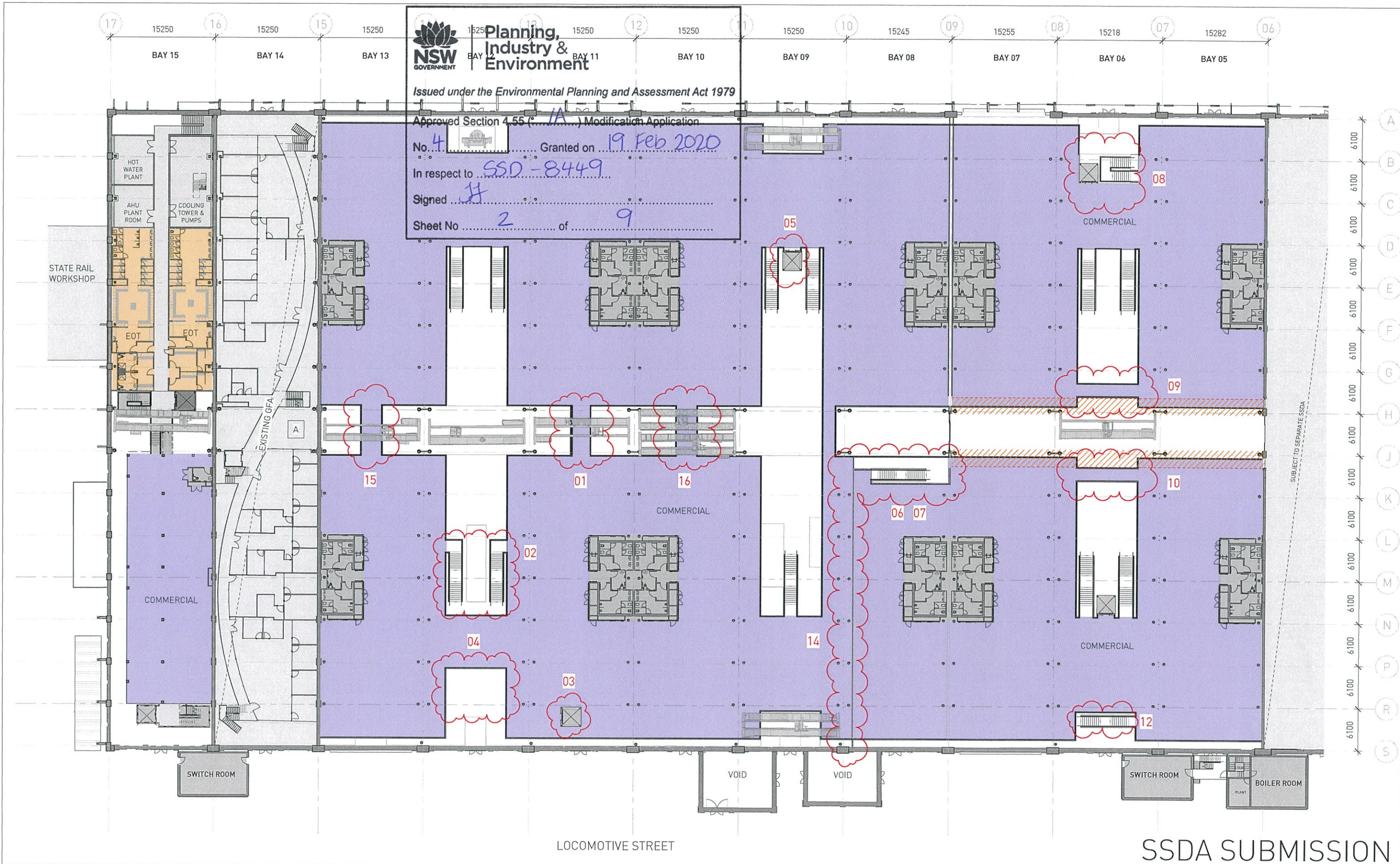
In respect to SSD - 8449

Signed JJ

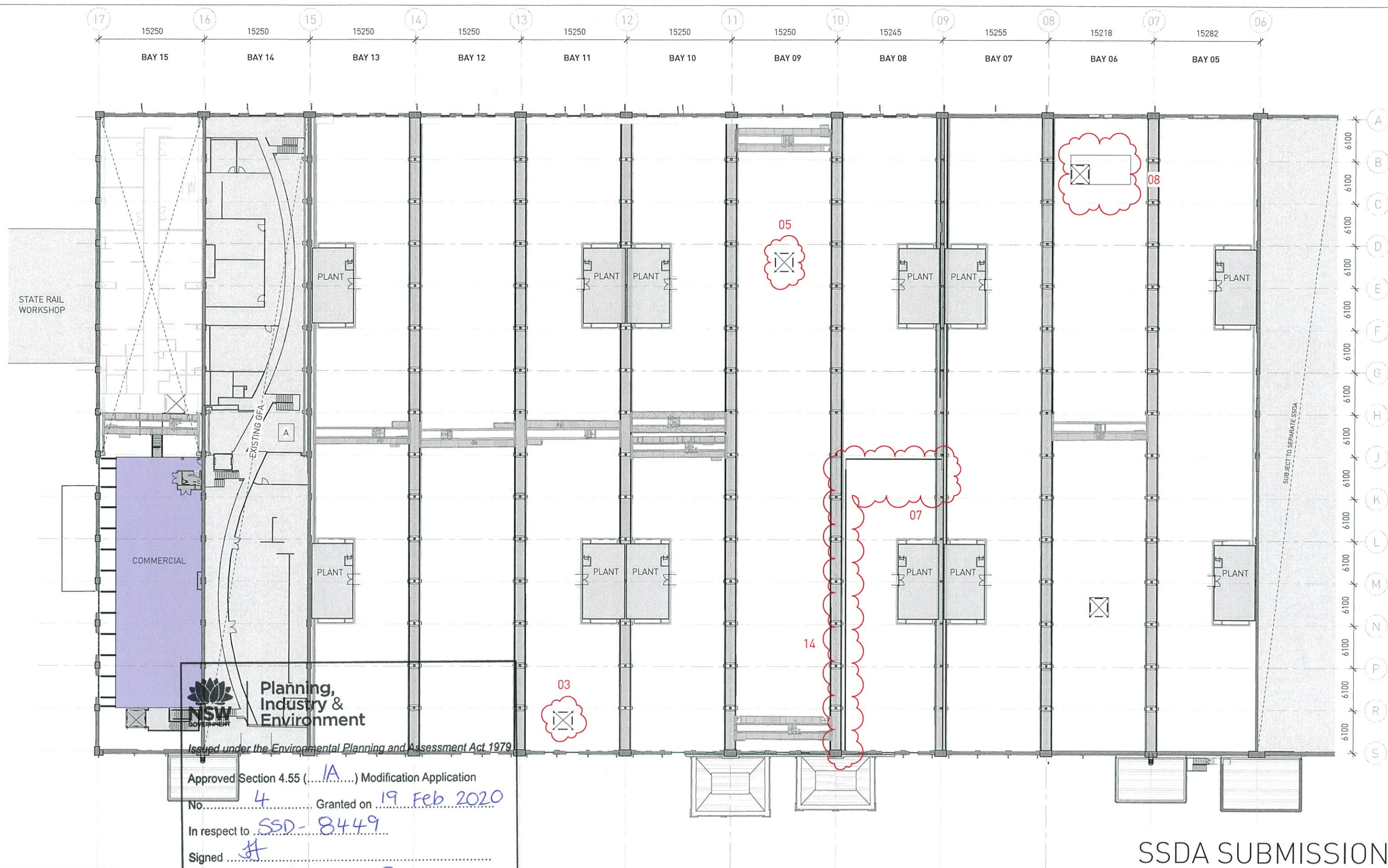
Sheet No 1 of 9



Architect SISSONS ARCHITECTS Suite 5.01, 53 Berry Street North Sydney NSW 2060 Australia Tel: +61 2 8904 1853 ABN: 31 621 375 129 www.sissonsarchitects.com	DRAWING NOTES A Bay 14 lease expiry 2019 to 2023 (options). B Removal of existing roof sheeting for proposed cooling tower plant below. C Removal of existing roof sheeting to create opening for proposed sky lights. D Removal of existing roof access systems. E Refurbishment and upgrade of existing metal roof sheeting. F Removal of polycarbonate roof material. G Existing heritage timber doors to be retained internally in open position, new external door to opening. H Existing metal profile sheet cladding to be upgraded. J Remove external wall cladding to plant annexes prior to upgrade, retain blockwork behind. K Reinstate window where bricked in. L Proposed lift / travelator service pit. M Proposed skylight. N Proposed roof access system.			LEGEND  Visual Sight Line Zone - 1200mm maximum height allowed  Heritage Item  Site Boundary			Client MIRVAC Scale 1 : 250 @A1 (Half Scale @ A3)		Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015	Drawing Title PROPOSED PLAN - GROUND FLOOR Project No. 16-002 Drawing No. SA-AR-DWG-BB-B4-0230 Rev DD		



Architect SISSONS ARCHITECTS Suite 5.01, 53 Berry Street North Sydney NSW 2060 Australia Tel: +61 2 8904 1853 ABN: 31 621 375 129 www.sissonsarchitects.com		DRAWING NOTES A Bay 14 lease expiry 2019 to 2023 (options). B Removal of existing roof sheeting for proposed cooling tower plant below. C Removal of existing roof sheeting to create opening for proposed sky lights. D Removal of existing roof access systems. E Refurbishment and upgrade of existing metal roof sheeting. F Removal of polycarbonate roof material. G Existing heritage timber doors to be retained internally in open position, new external door to opening. H Existing metal profile sheet cladding to be upgraded. J Remove external wall cladding to plant annexes prior to upgrade, retain blockwork behind. K Reinstate window where bricked in. L Proposed lift / travelator service pit. M Proposed skylight. N Proposed roof access system.		LEGEND Visual Sight Line Zone - 1200mm maximum height allowed Heritage Item Site Boundary		Client MIRVAC Scale 1 : 250 @A1 (Half Scale @ A3)		Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015 Rev Date 19/08/19 North		Drawing Title PROPOSED PLAN - FIRST FLOOR Project No. 16-002 Drawing No. SA-AR-DWG-BB-B4-0231 Rev AA		
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NSW
Planning,
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Approved Section 4.55 (.....) Modification Application

No. 4 Granted on 19 Feb 2020

In respect to SSD-8449

Signed #

Sheet No. 3 of 9

- DRAWING NOTES**
- A Bay 14 lease expiry 2019 to 2023 (options).
 - B Removal of existing roof sheeting for proposed cooling tower plant below.
 - C Removal of existing roof sheeting to create opening for proposed sky lights.
 - D Removal of existing roof access systems.
 - E Refurbishment and upgrade of existing metal roof sheeting.
 - F Removal of polycarbonate roof material.
 - G Existing heritage timber doors to be retained internally in open position, new external door to opening.
 - H Existing metal profile sheet cladding to be upgraded.
 - J Remove external wall cladding to plant annexes prior to upgrade, retain blockwork behind.
 - K Reinstate window where bricked in.
 - L Proposed lift / travelator service pit.
 - M Proposed skylight.
 - N Proposed roof access system.

LEGEND

- Visual Sight Line Zone - 1200mm maximum height allowed
- Heritage Item
- Site Boundary

Client
MIRVAC

Scale
1 : 250 @A1

(Half Scale @ A3)

Rev Date
19/08/19

North



Project

LOCOMOTIVE WORKSHOP - BAYS 5-15
2 Locomotive St, Eveleigh NSW 2015

Drawing Title

PROPOSED PLAN - SECOND FLOOR

Project No.

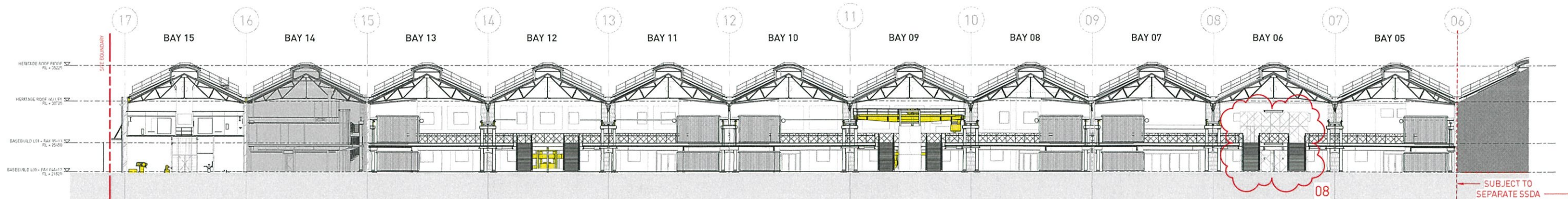
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Drawing No.

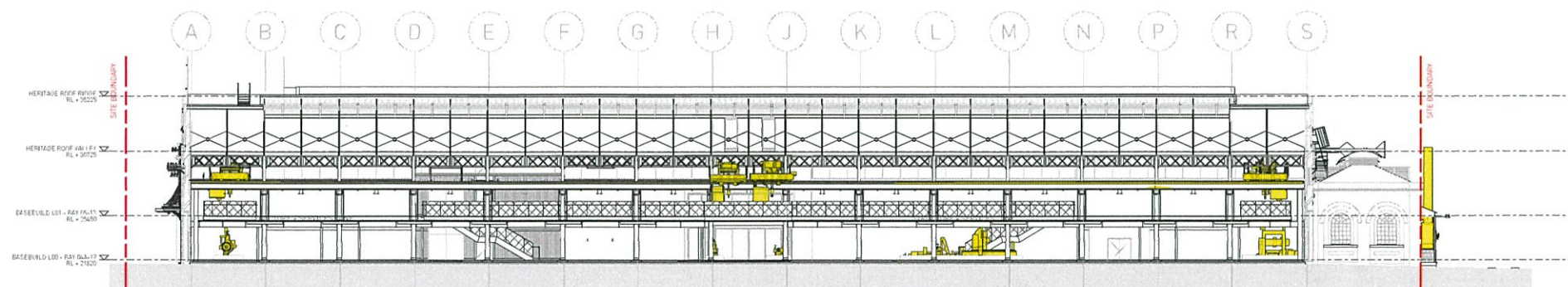
SA-AR-DWG-BB-B4-0232

Rev

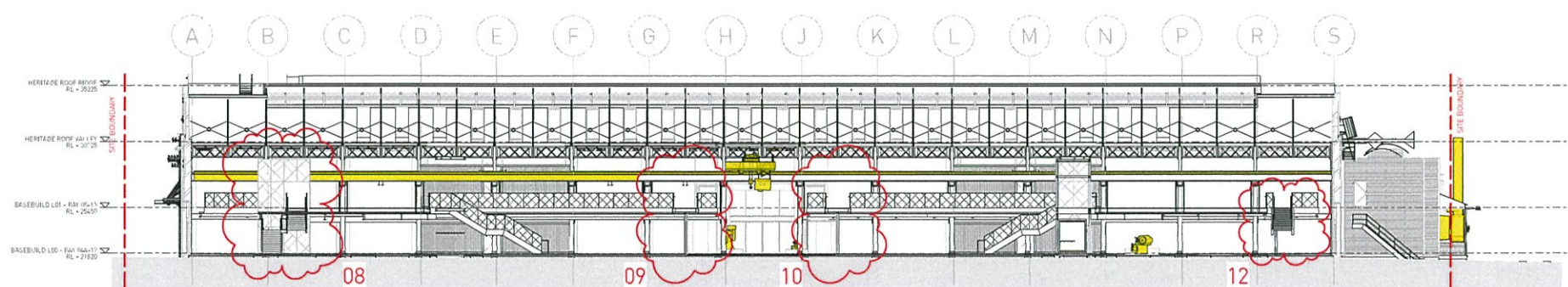
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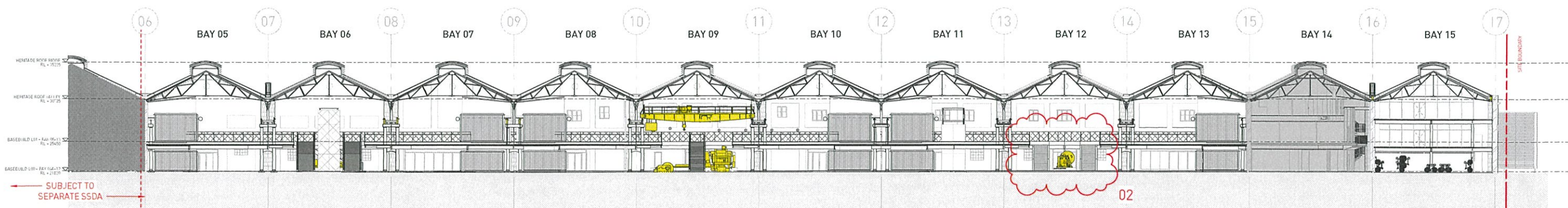
1 LONG SECTION A - COMMERCIAL - PROPOSED
1 : 250



2 CROSS SECTION - BAY 09 - PROPOSED
1 : 250



3 CROSS SECTION - BAY 06 - PROPOSED
1 : 250



4 LONG SECTION B - COMMERCIAL - PROPOSED
1 : 250



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Approved Section 4.55 (....1A....) Modification Application

No. 4 Granted on 19 Feb 2020

In respect to SSD-8449

Signed [Signature]

Sheet No 4 of 9

SSDA SUBMISSION

Architect
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Suite 5.01, 53 Berry Street
North Sydney NSW 2060
Australia
Tel: +61 2 8904 1853
ABN: 31 621 375 129
www.sissonsarchitects.com

Client
MIRVAC

Scale
1 : 250 @A1
[Half Scale @ A3]

Rev Date
19/08/19

North



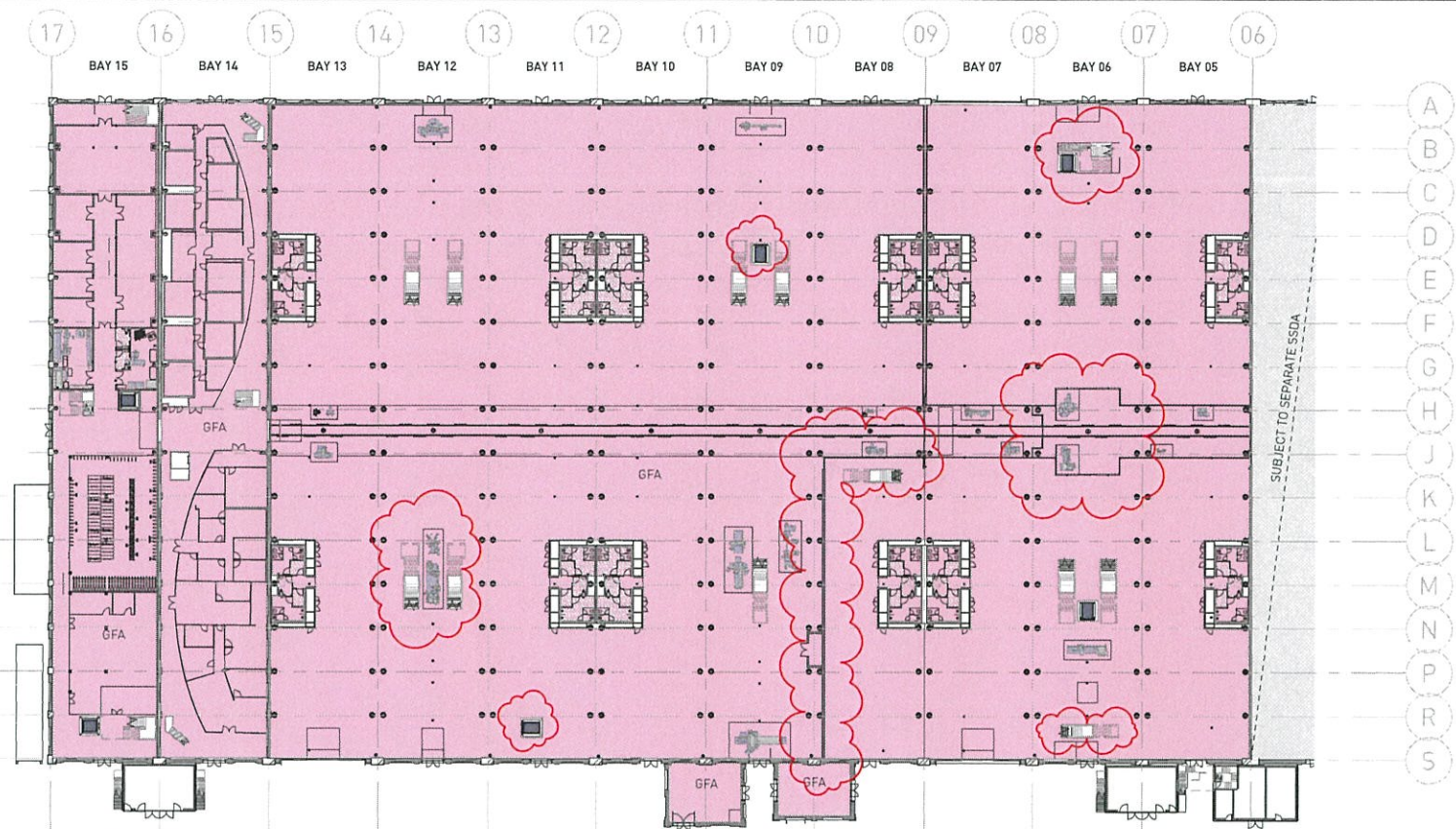
Project
LOCOMOTIVE WORKSHOP - BAYS 5-15
2 Locomotive St, Eveleigh NSW 2015

Drawing Title
PROPOSED SECTIONS

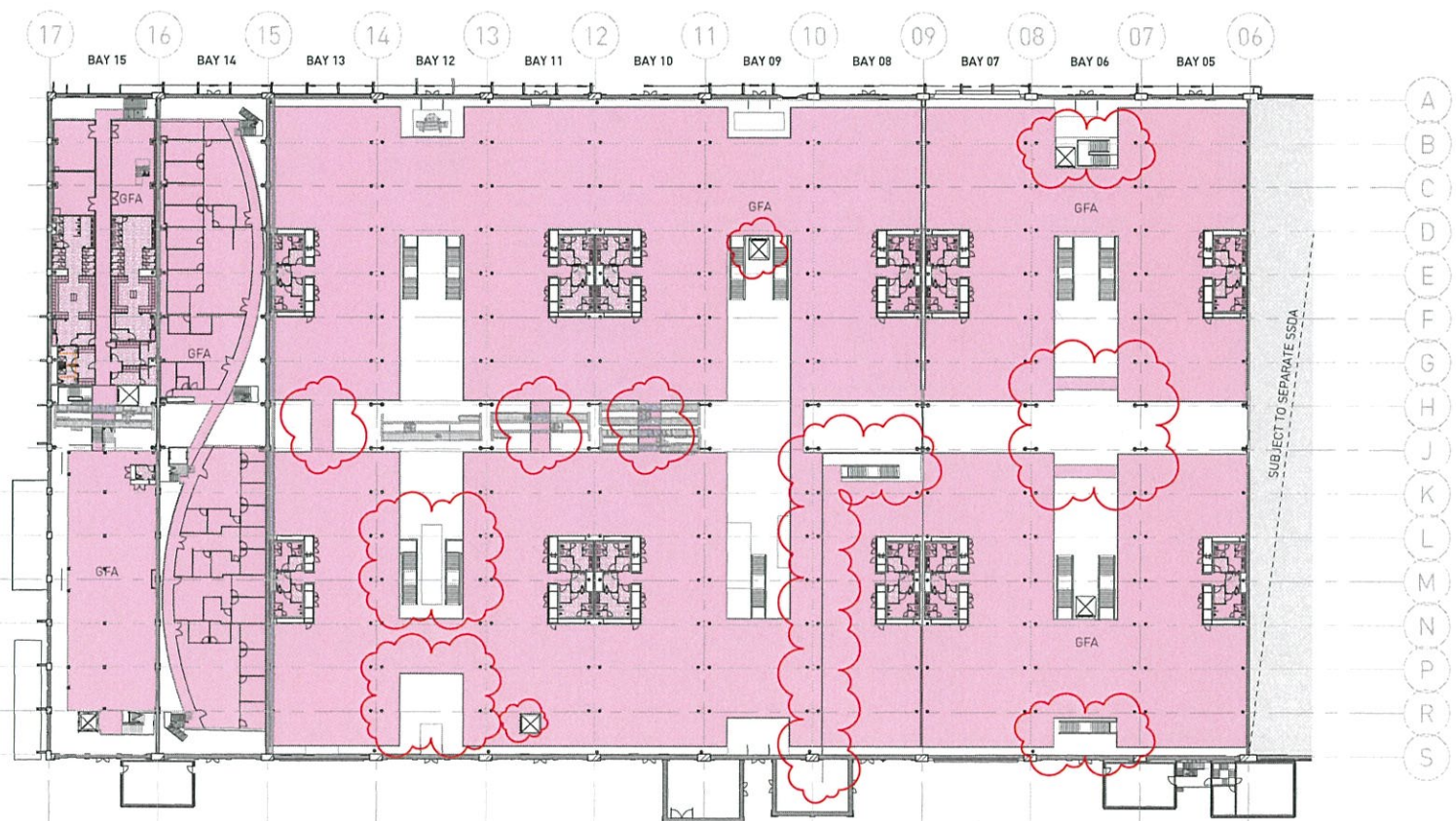
Project No.
16-002

Drawing No.
SA-AR-DWG-BB-B4-0245

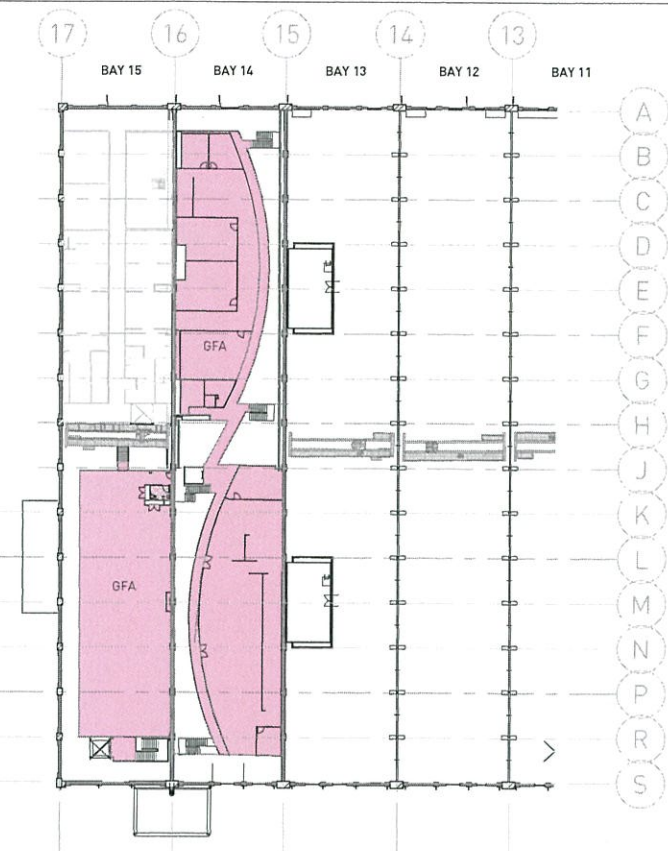
Rev
U



1 L0 - GFA - BAYS 5-15
1:500



2 L1 - GFA - BAYS 5-15
1:500



3 L2 - GFA - BAYS 5-15
1:500

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Approved Section 4.55 (.....1A.....) Modification Application

No.4..... Granted on19 Feb 2020.....

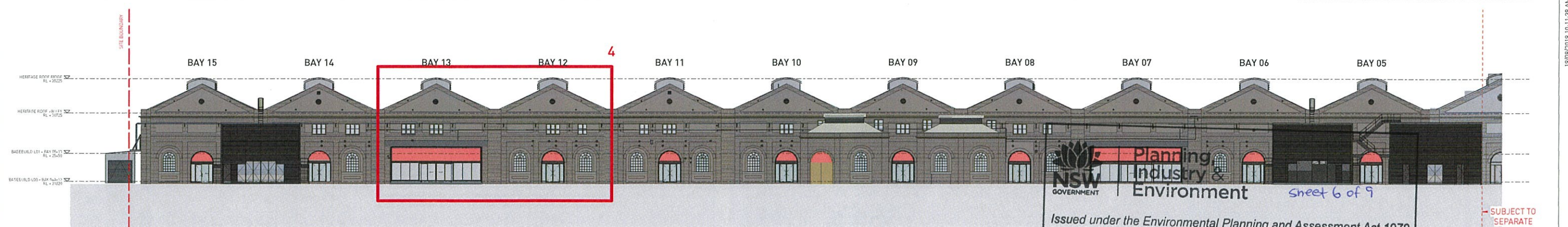
In respect toSSD-8449.....

SignedH.....

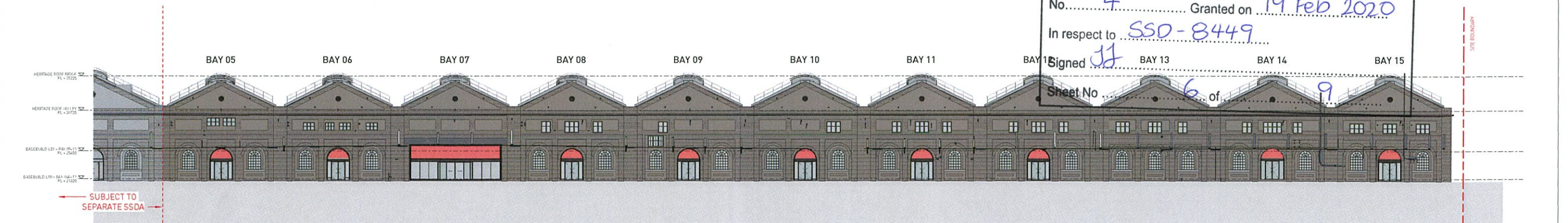
Sheet No5..... of9.....

SSDA SUBMISSION

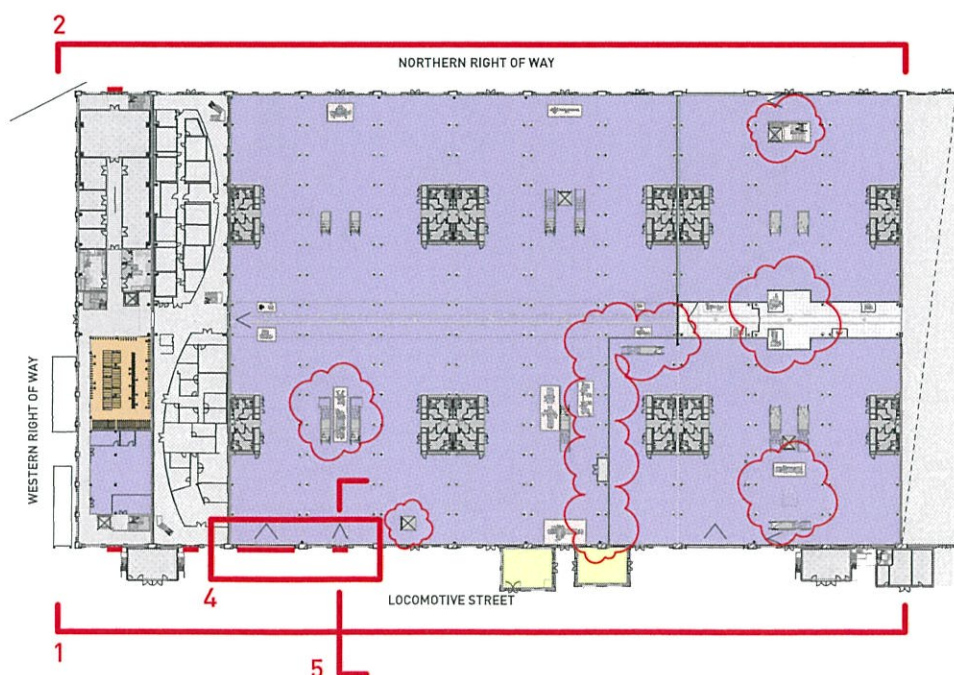
Architect SISSONS ARCHITECTS Suite 5.01, 53 Berry Street North Sydney NSW 2060 Australia Tel: +61 2 8904 1853 ABN: 31 621 375 129 www.sissonsarchitects.com			TOTAL GFA AREAS BAYS 5-15 BY USE (sq.m) COMMERCIAL 27,302 RETAIL 156 TOTAL 27,458			TOTAL GFA AREAS BAYS 5-15 BY LEVEL (sq.m) LEVEL 02 1,348 LEVEL 01 11,518 LEVEL 00 14,592 TOTAL 27,458			Client MIRVAC Scale 1 : 500 @A1 (Half Scale @ A3)			Rev Date 19/08/19	North 	Project LOCOMOTIVE WORKSHOP 2 Locomotive St, Eveleigh NSW 2015		Drawing Title GFA PLANS BAYS 5-15 Project No. 16-002 Drawing No. SA-AR-DWG-BB-B4-0250 Rev U		
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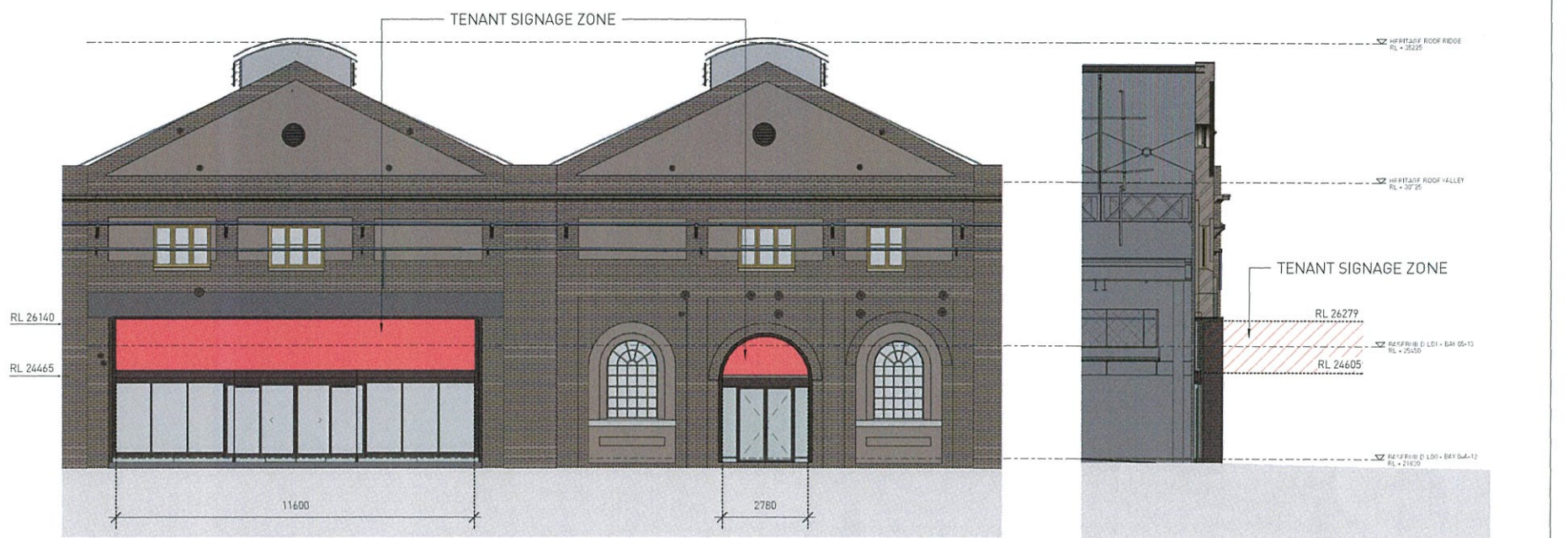
1 SOUTH ELEVATION - PROPOSED
1:250



2 NORTH ELEVATION - PROPOSED
1:250



3 SIGNAGE KEY PLAN - BAYS 5-15
1:750

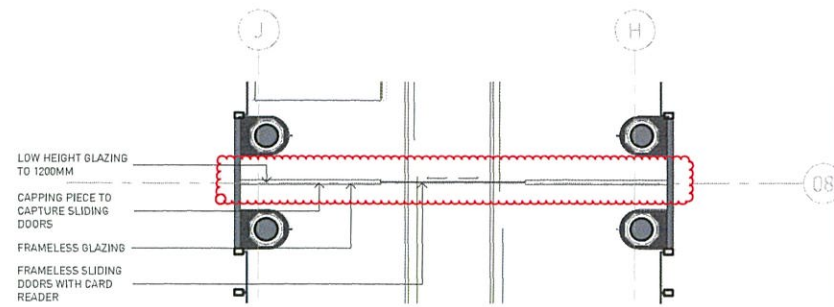


4 TYPICAL BAY SIGNAGE
1:100

5 CROSS SECTION - BAY 12 - SIGNAGE
1:100

SSDA SUBMISSION

Architect SISSONS ARCHITECTS Suite 5.01, 53 Berry Street North Sydney NSW 2060 Australia Tel: +61 2 8904 1853 ABN: 31 621 375 129 www.sissonsarchitects.com	SIGNAGE LEGEND Denotes Proposed Signage Locations - Zone of Signage Behind Glazing	Client MIRVAC Scale As indicated @A1 (Half Scale @ A3) Rev Date 19/08/19 North N	Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015	Drawing Title SIGNAGE ELEVATIONS Project No. 16-002 Drawing No. SA-AR-DWG-BB-B4-0261 Rev T
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③ SK_0851 GRID 8 GLAZING - GROUND FLOOR PLAN
1:50

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Approved Section 4.55 (.....*1A*.....) Modification Application

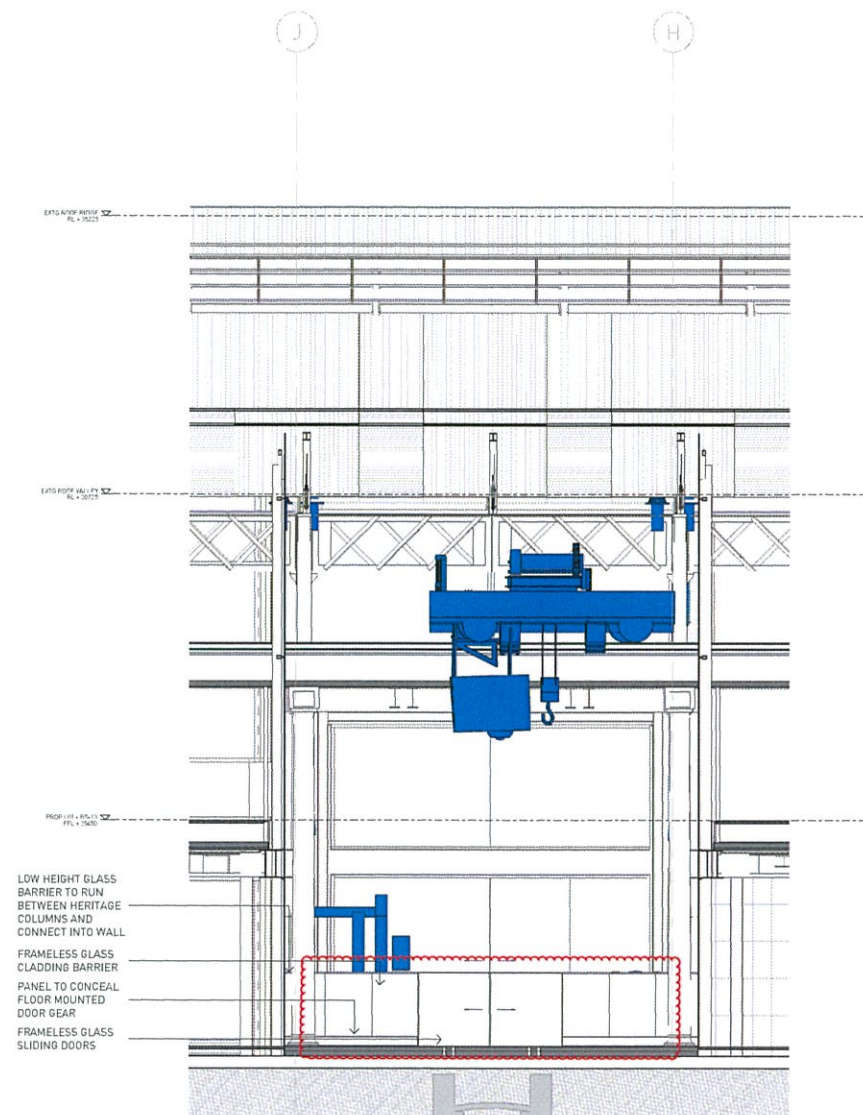
No.....*4*..... Granted on *19 Feb 2020*

In respect to *SSD - 8449*

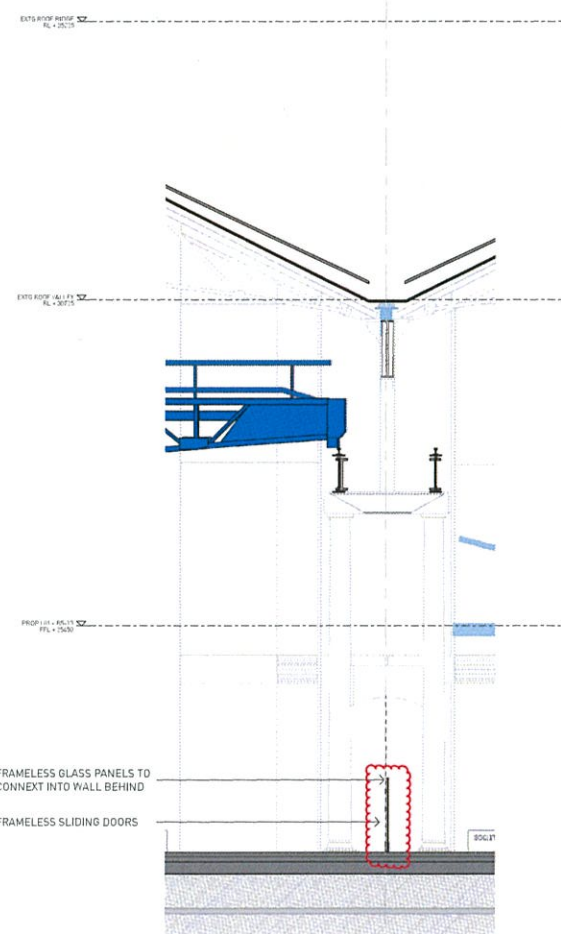
Signed *[Signature]*

Sheet No *7* of *9* 08

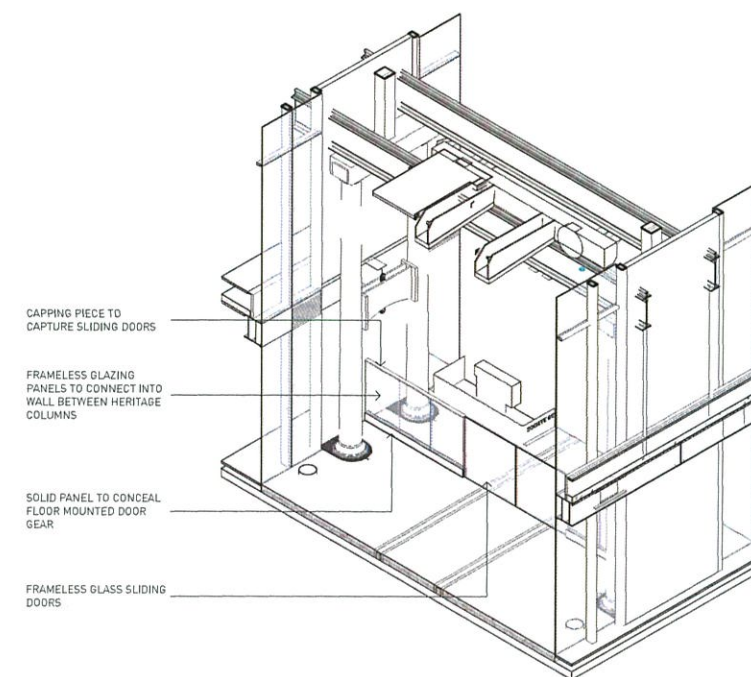
NOTE: ONLY CLOUDED AREAS APPROVED UNDER MODIFICATION SSD8449 4



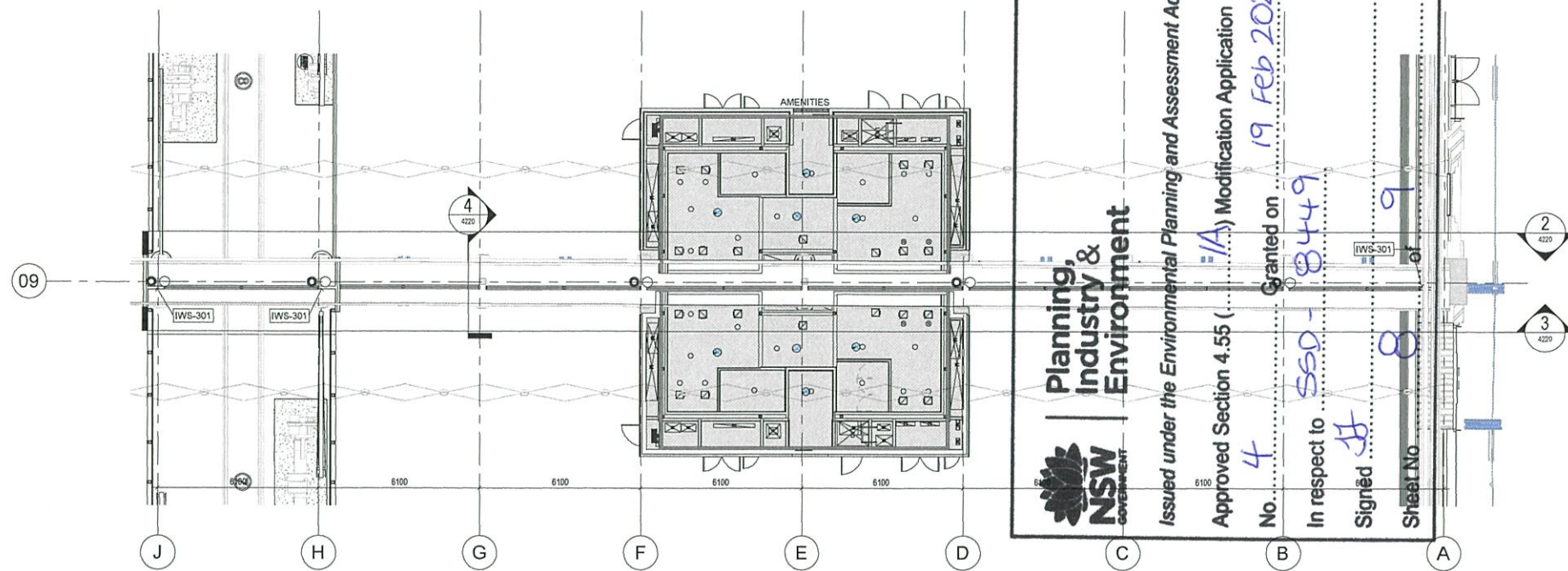
① SK_0851 ELEVATION - GRID 8 GLAZING
1:50



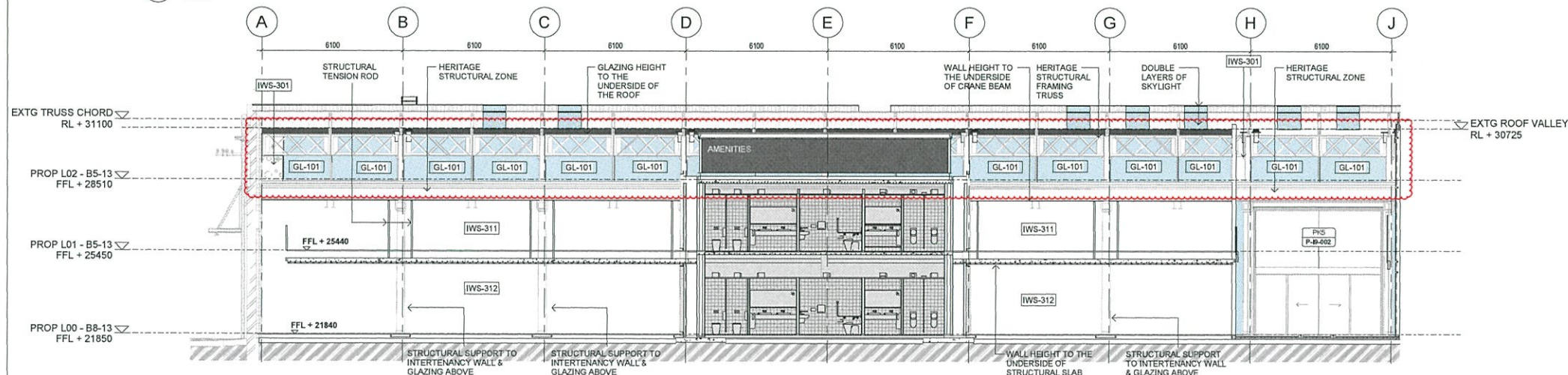
② SK_0851 SECTION - GRID 8 GLASS
1:50



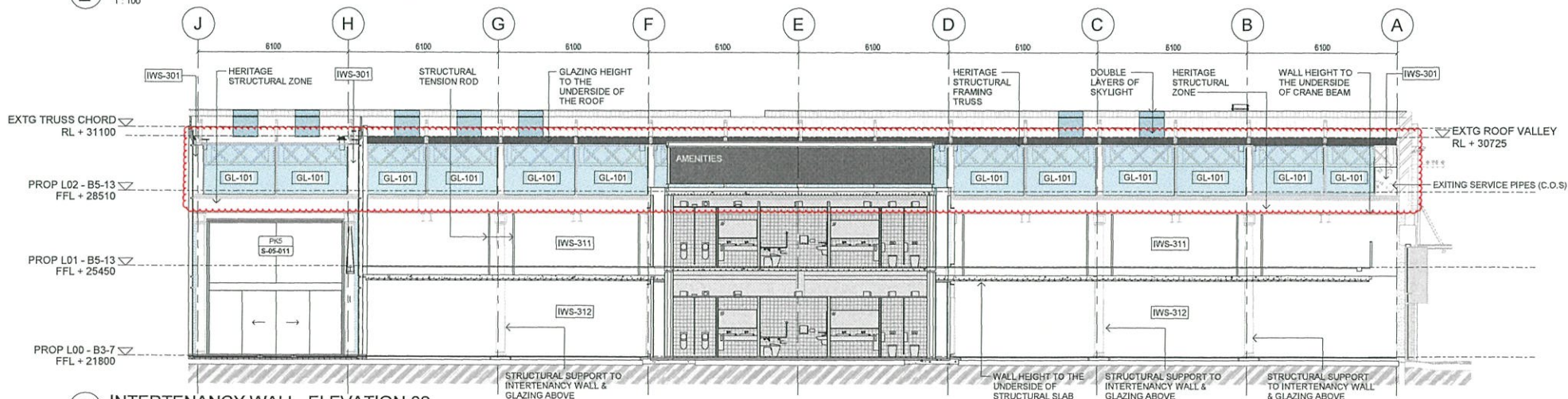
⑤ SK_0851 GRID 8 GLAZING - ISO



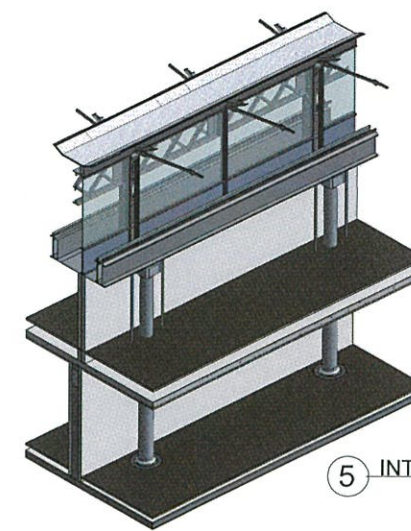
1 INTERTENANCY WALL PLAN
1:100



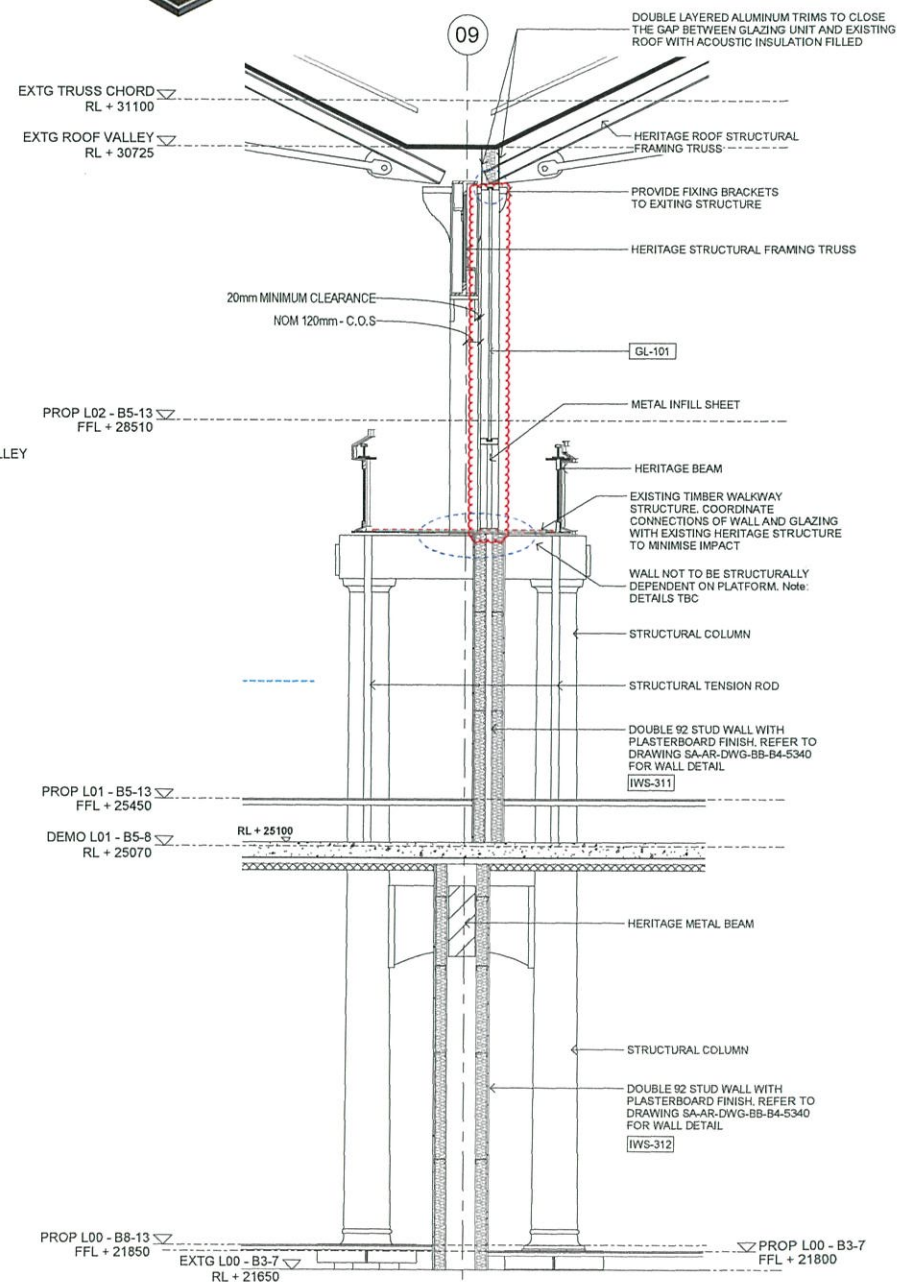
2 INTERTENANCY WALL - ELEVATION 01
1:100



3 INTERTENANCY WALL - ELEVATION 02
1:100



5 INTERTENANCY WALL - PERSPECTIVE

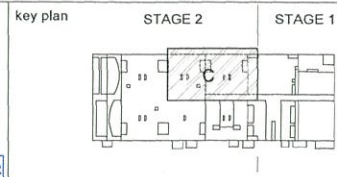


4 INTERTENANCY WALL SECTION
1:25

notes
ALL EXISTING CONDITIONS TO BE CHECKED ON SITE.
ALL DIMENSIONS AND SETOUTS TO BE VERIFIED PRIOR TO COMMENCEMENT ON SITE.
ALL OMISSIONS OR DISCREPANCIES TO BE NOTIFIED TO THE ARCHITECT.

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DRAWING MUST BE PRINTED IN COLOUR



GENERAL NOTES:
1. Existing Information
The Contractor must refer to other relevant documents including but not limited to the following:
Refer to 2000 series drawings for GFA, Elevations & Sections
Refer to 2000 series drawings for Full details
2. Other Information
Structural Adequacy Compliance: refer to Consultants and report and structural performance brief
Design Compliance: refer to relevant Australian Standards and specifications
Material Selection: refer to material schedule
Installation Compliance: refer to manufacturer's specifications
Acoustic Compliance: refer to Acoustic Consultant report
Thermal Compliance: refer to EBC (NAB) report
Product Specific Compliance: refer to Manufacturer's recommendation and required FRL
3. Dimensions, scale, and dimensions
3.1 Actual dimensions related to the face of brick (planed and/or dressed) and not the face of framing
3.2 In setting out walls give preference to alignment of structural walls with floor elements such as masonry walls, concrete columns or glazing
3.3 In setting out walls give preference to alignment of structural walls with floor elements such as masonry walls, concrete columns or glazing
3.4 In setting out walls give preference to alignment of structural walls with floor elements such as masonry walls, concrete columns or glazing
3.5 In setting out walls give preference to alignment of structural walls with floor elements such as masonry walls, concrete columns or glazing

rev	date	description	by	chk
A	12.03.18	TYPE C/D COST PLAN ISSUE	LVC	CC
B	13.04.18	TYPE C/D COST PLAN ISSUE FOR TENDER	LVC	CC
C	01.05.18	TYPE C/D COST PLAN ISSUE FOR TENDER	AR	CC
D	02.11.18	ISSUED FOR TENDER - GA PACKAGE	LVC	CC
E	23.11.18	ISSUED FOR TENDER - FACADE	AC	CC
F	07.11.19	ISSUED FOR INFORMATION	HY	RD

mirvac
Level 28, 200 George St,
Sydney, NSW 2000 Tel: +61 2 9080 8000
LOCOMOTIVE WORKSHOP
2 Locomotive St, Eveleigh NSW 2015

project architect
Mirvac Design
Level 28, 200 George St,
Sydney NSW, 2000
tel. 02 9080 8000
fax. 02 9080 8181
architects
planners
interior
designers
Mirvac Design Pty. Ltd
ABN 78 003 359 153

design architect
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53 Berry St,
North Sydney
NSW 2060
Tel. 02 8904 1853
retail architect
BUCHAN
Level 1, 7 Kelly St, Ultimo
NSW 2007
Tel. 02 9566 1611

drawing title
**INTERTENANCY WALLS
INTERNAL - ELEVATIONS /
SECTION
(QUANTUM & HOIST)**

status
PRELIMINARY
project no. 16-002
scale As indicated @B1
date
drawing no. SA-AR-DWG-BB-B4-4220
rev F



Issued under the Environmental Planning and Assessment Act 1979

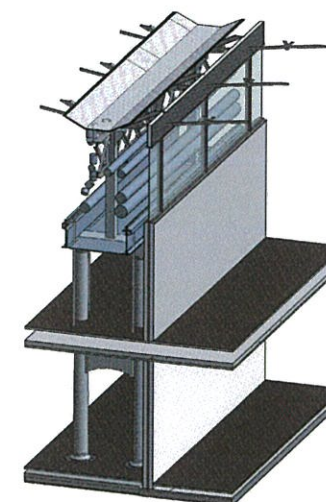
Approved Section 4.55 (.....1A.....) Modification Application

No. 4 Granted on 19 Feb 2020

In respect to SSD - 8449

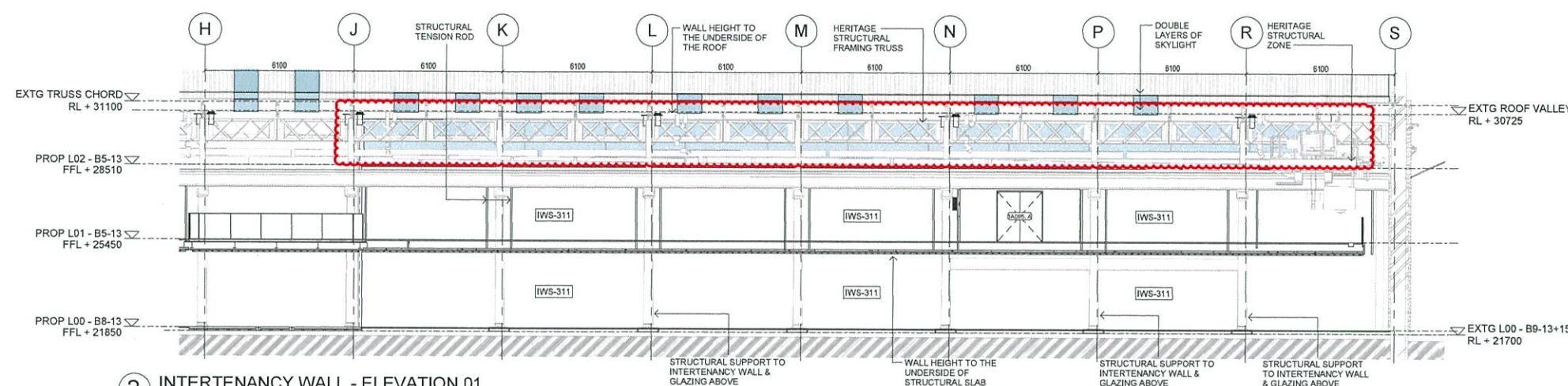
Signed

SHEET 1 of 9
INTERFINANCY WALL - PERSPECTIVE

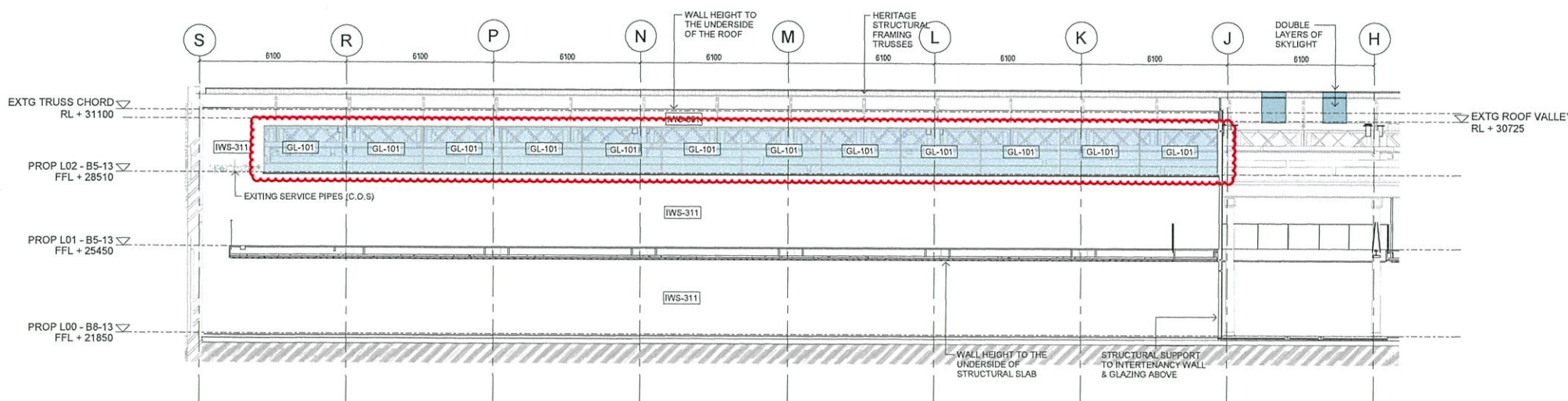


⑤

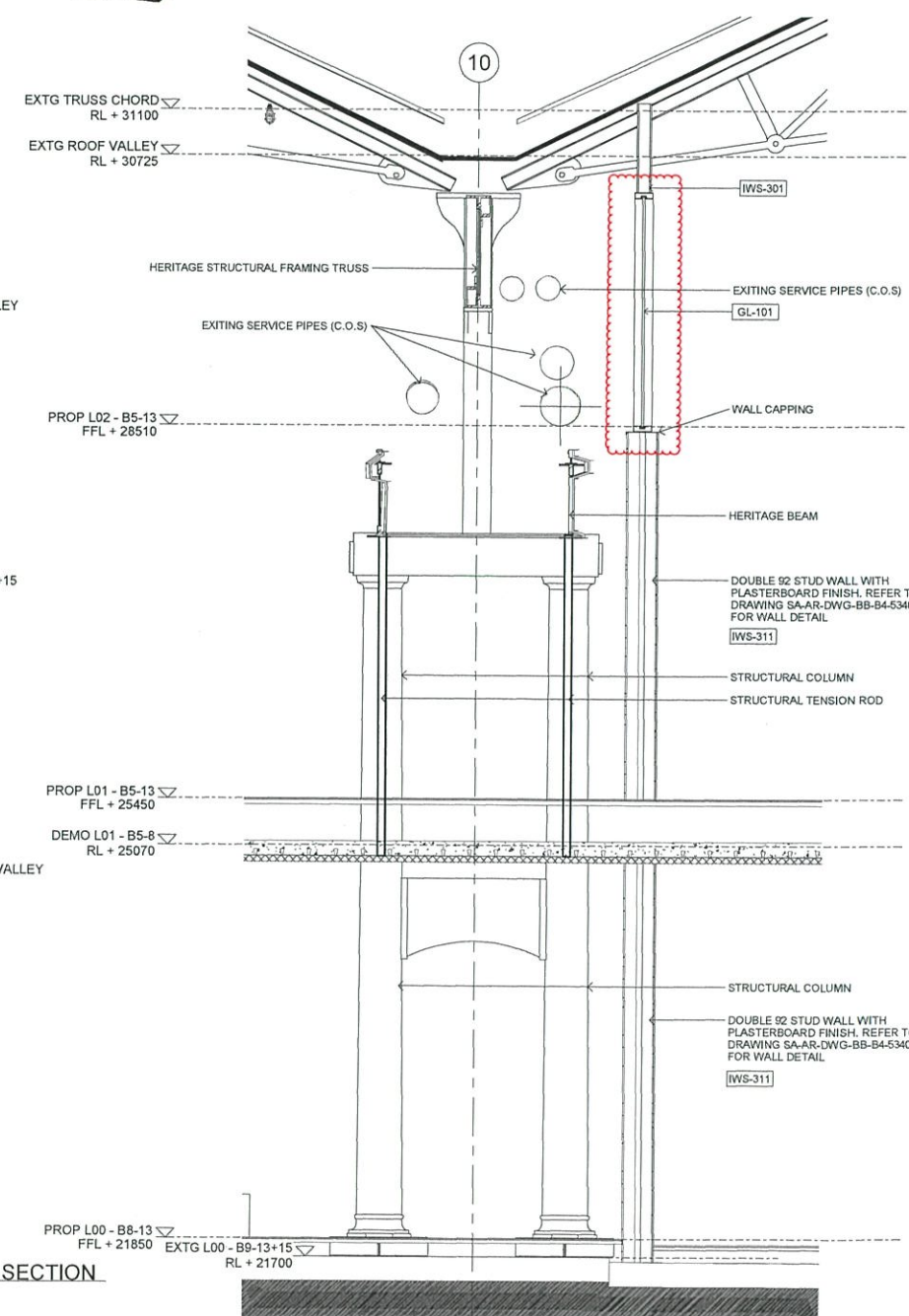
1 INTERTENANCY WALL PLAN.
1 : 100



2 INTERTENANCY WALL - ELEVATION 01
1 : 100



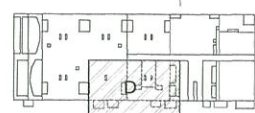
3 INTERTENANCY WALL - ELEVATION 02
1:100



4 INTERTENANCY WALL - SECTION
1:25

key plan

STAGE 2	STAGE 1
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GENERAL NOTES

1. Drawing References
The Contractor must refer to other relevant documents including but not limited to the following:
Refer to 2000 series drawings for GA Plans, Elevations & Sections
Refer to 1300 series drawings for Wall details

2. Other Reference

- Structural Adequacy Compliance: refer to Consultants wind report and structural performance
- Design Compliance: refer to relevant Architectural for Consultant specification
- Material Selection: refer to finishes schedule
- Installation Compliance: refer to Manufacturers specification
- Acoustic Compliance: refer to Acoustic Consultant report
- Thermal Compliance: refer to ESD / BASIX report
- Product Specific Compliance: refer to Manufacturers recommendation and required FRL

3. Drawing rules, setoff and dimensioning

3.2.2 In setting out walls give preference to alignment of stud walls with fixed elements such as
 frames, where the dimension indicates this intent. Where extent dimension does not agree with

[illegible]

LOCOMOTIVE WORKSHOP
2 Locomotive St, Eveleigh NSW 2015

project architect

**Mirvac
Design**

architects
planners
interior
designers

Level 28, 200 George
St.
Sydney NSW, 2000
tel. 02 9090 8000
fax. 02 9080 8181

Mirvac Design Pty. Ltd.
ABN 78 003 359 153

design architect	SISSONS
retail architect	BUCHAN

Suite 5.01,
53 Berry St.
North Sydney
NSW 2060
Tel. 02 8904 1853

Level 1, 7 Kelly St, Ultimo
NSW 2007
Tel. 02 9566 1611

drawing title	INTERTENANCY WALLS INTERNAL - ELEVATIONS / SECTION (QUANTIUM & M&C SAATCHI)
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status	PRELIMINARY
--------	-------------

project no.	scale	date
16-002	As indicated @B1	11/04/19

drawing no.	rev
SA-AR-DWG-BB-B4-4221	A

B

1

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

DO NOT SCALE DIMENSIONS FROM DRAWING

original sheet size B1 = 1000 x 707mm