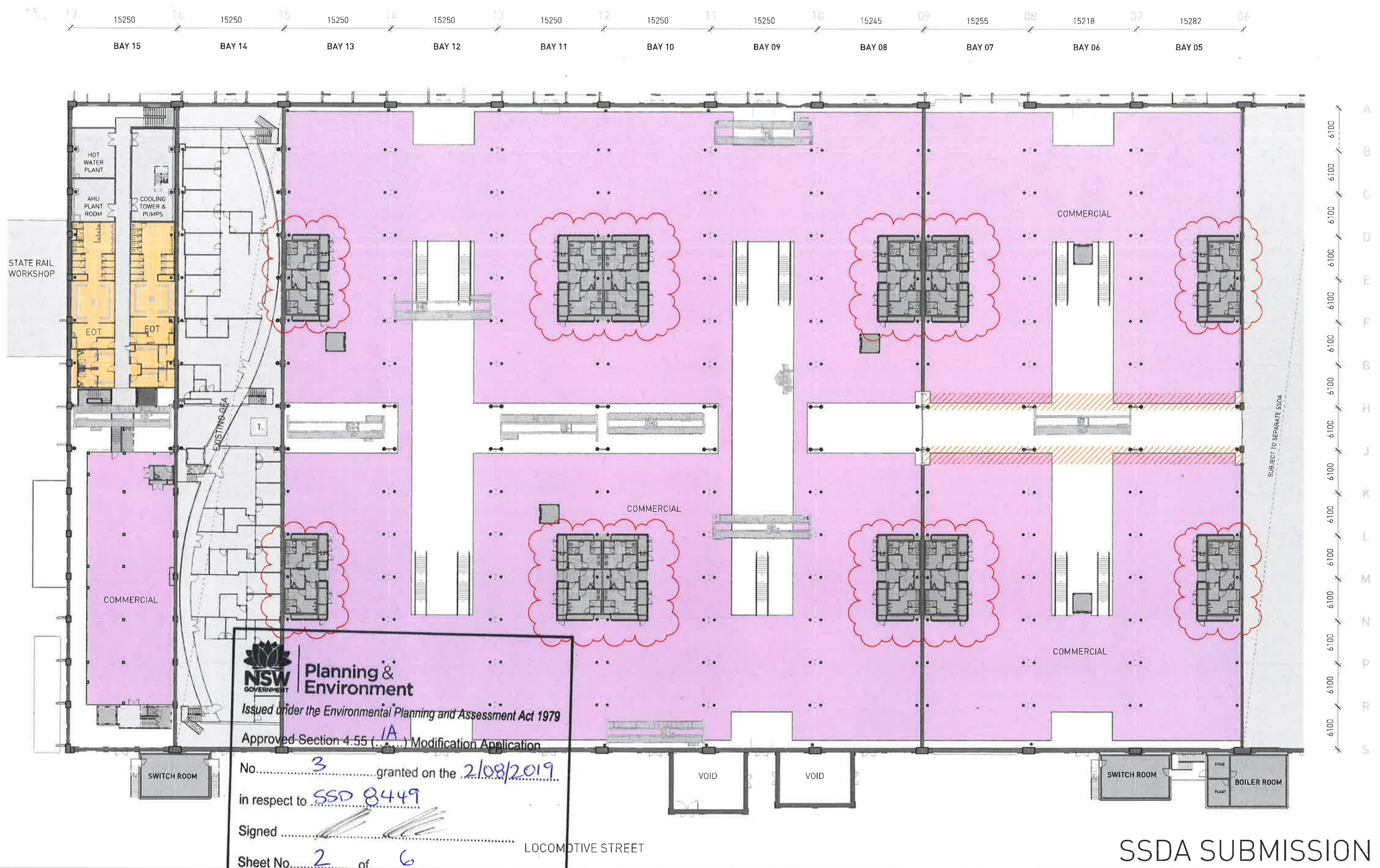


15/07/2019 11:31:41 AM



NSW GOVERNMENT Planning & Environment
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Approved Section 4.55 (1A) Modification Application
No. 3 granted on the 2/08/2019
in respect to SSD 8449
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Sheet No. 2 of 6

SSDA SUBMISSION

Architect
SISSONS ARCHITECTS
Studio 5, 81 Alexander St. Crows Nest, NSW 2065
Tel. 02 9460 8002

DRAWING NOTES		
1. Bay 14 lease expiry 2019 to 2023 (options).	5. Refurbishment and upgrade of existing metal roof sheeting.	9. Remove external wall cladding to plant annexes prior to upgrade, retain blockwork behind.
2. Removal of existing roof sheeting for proposed cooling tower plant below.	6. Removal of polycarbonate roof material.	10. Reinstate window where bricked in.
3. Removal of existing roof sheeting to create opening for proposed sky lights.	7. Existing heritage timber doors to be retained internally in open position, new external door to opening.	11. Proposed lift / translator service pit.
4. Removal of existing roof access systems.	8. Existing metal profile sheet cladding to be upgraded.	12. Proposed skylight.
		13. Proposed roof access system.

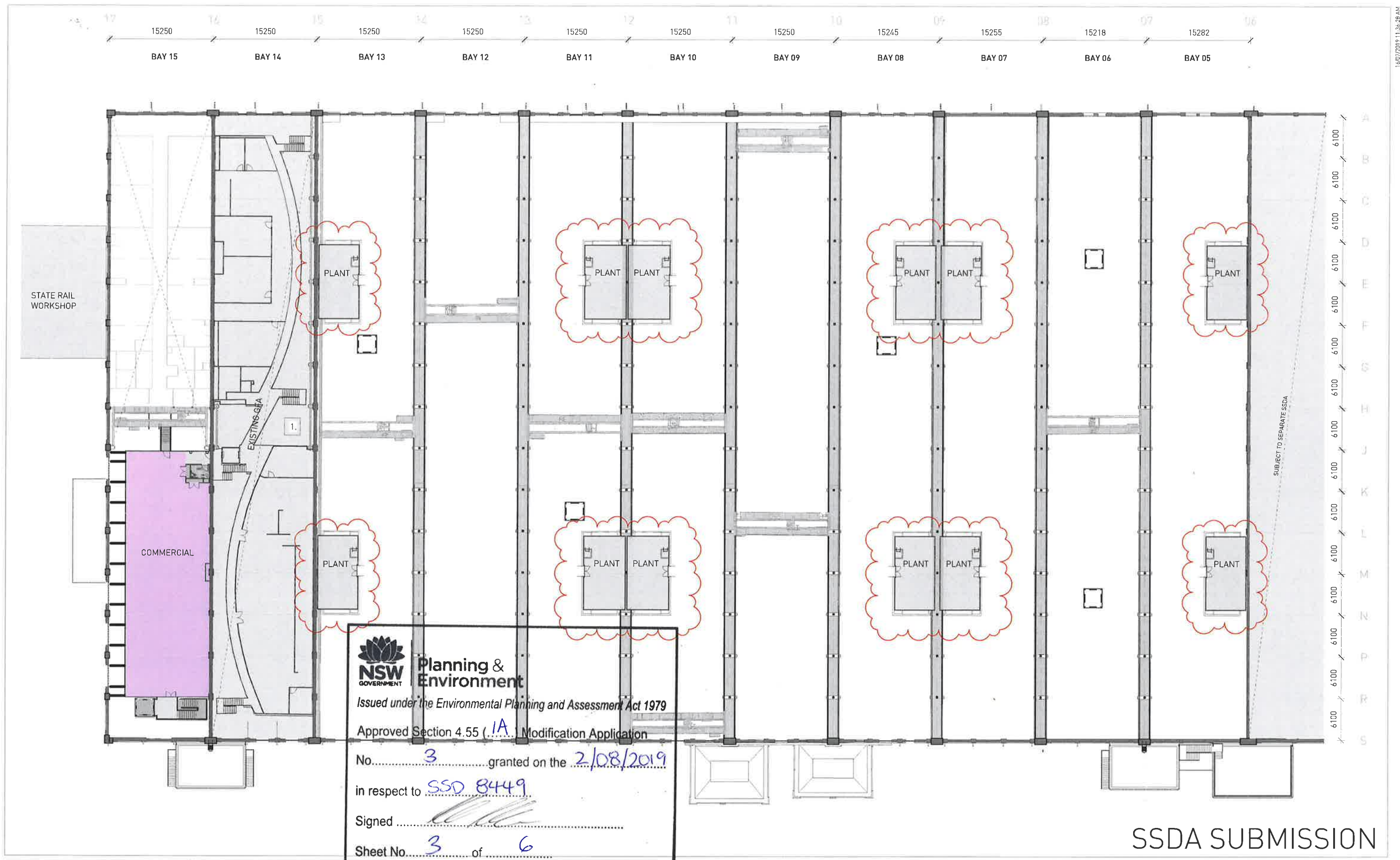
LEGEND

Visual Sight Line Zone - 1200mm maximum height allowed

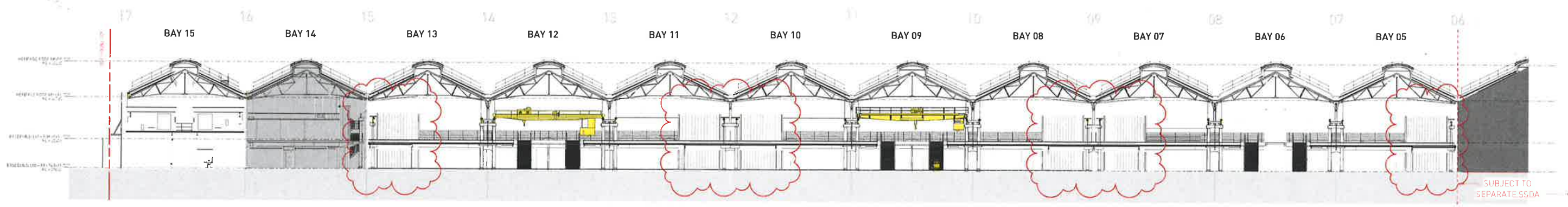
Heritage Item

Site Boundary

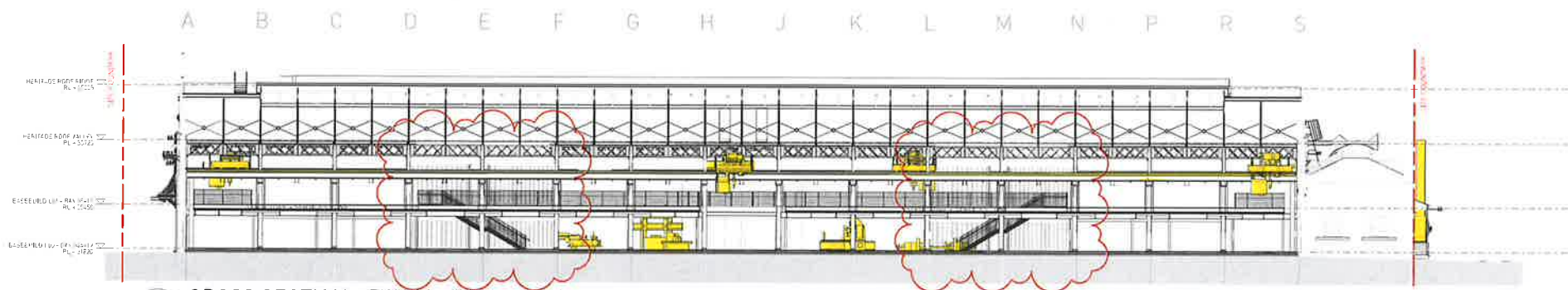
Client MIRVAC			Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015		Drawing Title PROPOSED PLAN - FIRST FLOOR		
Scale 1 : 250 @A1 [Half Scale @ A3]	Rev Date 12/07/19	North 	Project No. 16-002	Drawing No. SA-AR-DWG-BB-B4-0231	Rev Y		



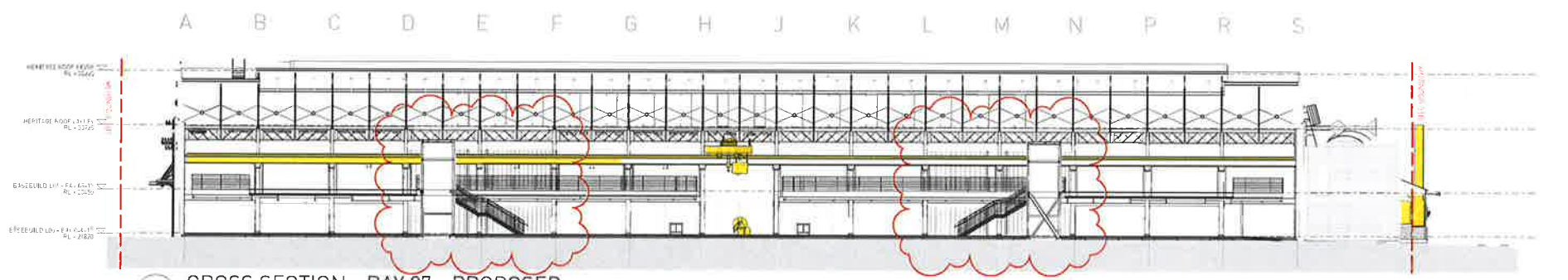
Architect SISSONS ARCHITECTS Studio 5, 81 Alexander St, Crows Nest, NSW 2065 Tel. 02 9460 8002		DRAWING NOTES 1 Bay 14 lease expiry 2019 to 2023 (options). 2 Removal of existing roof sheeting for proposed cooling lower plant below. 3 Removal of existing roof sheeting to create opening for proposed sky lights. 4 Removal of existing roof access systems. 5 Refurbishment and upgrade of existing metal roof sheeting. 6 Removal of polycarbonate roof material. 7 Existing heritage timber doors to be retained internally in open position, new external door to opening. 8 Existing metal profile sheet cladding to be upgraded. 9 Remove external wall cladding to plant annexes prior to upgrade, retain blockwork behind. 10 Reinstate window where bricked in. 11 Proposed lift / travelator service pit. 12 Proposed skylight. 13 Proposed roof access system.			LEGEND Heritage Item Site Boundary Visual Sight Line Zone - 1200mm maximum height allowed		Client MIRVAC Scale 1 : 250 @A1 (Half Scale @ A3)		Rev Date 16/07/19	North 	Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015	Drawing Title PROPOSED PLAN - SECOND FLOOR Project No. 16-002 Drawing No. SA-AR-DWG-BB-B4-0232 Rev P		
--	--	--	--	--	---	--	---	--	-----------------------------	------------------	---	--	--	--



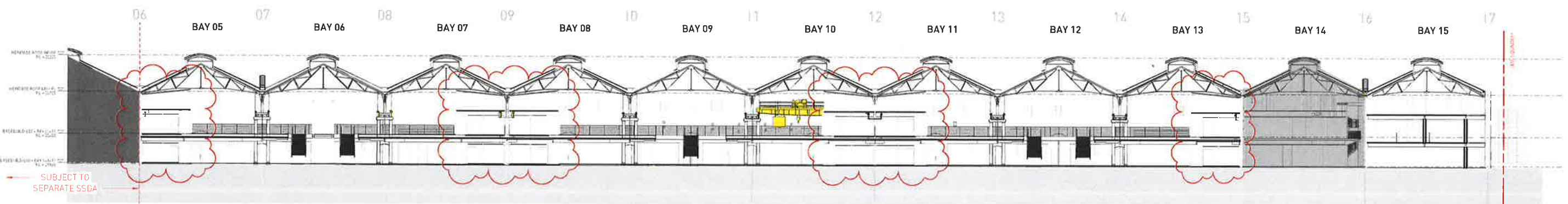
1 LONG SECTION A - COMMERCIAL - PROPOSED
1 : 250



2 CROSS SECTION - BAY 11 - PROPOSED
1 : 250



3 CROSS SECTION - BAY 07 - PROPOSED
1 : 250



4 LONG SECTION B - COMMERCIAL - PROPOSED
1 : 250

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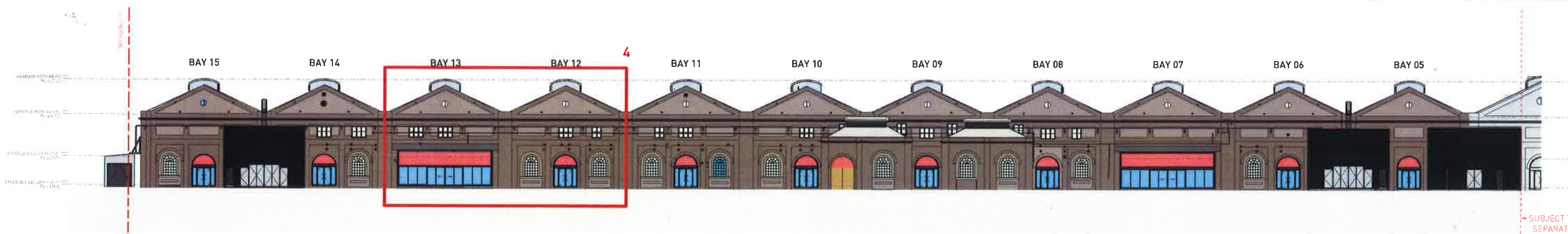
in respect to SSD 8449

Signed [Signature]

Sheet No. 4 of 6

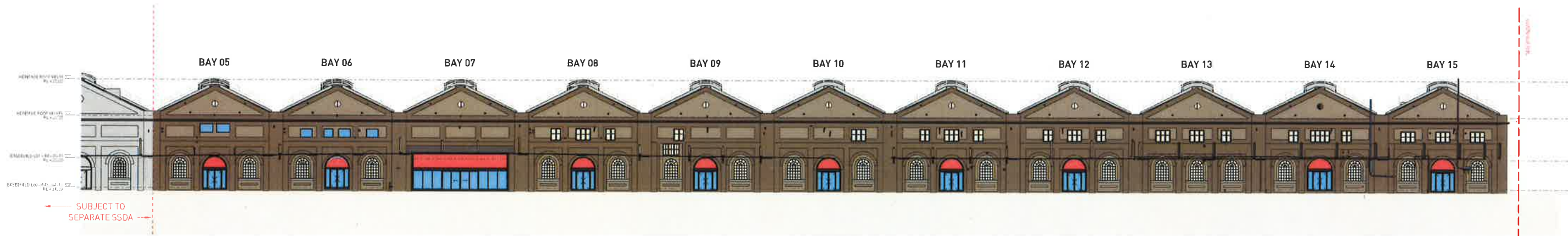
SSDA SUBMISSION

Architect SISSONS ARCHITECTS Studio 5, 81 Alexander St, Crows Nest, NSW 2065 Tel. 02 9460 8002		Client MIRVAC		Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015		Drawing Title PROPOSED SECTIONS		
Scale 1 : 250 @A1 (Half Scale @ A3)		Rev Date 29/05/19		North 		Project No. 16-002	Drawing No. SA-AR-DWG-BB-B4-0245	Rev T

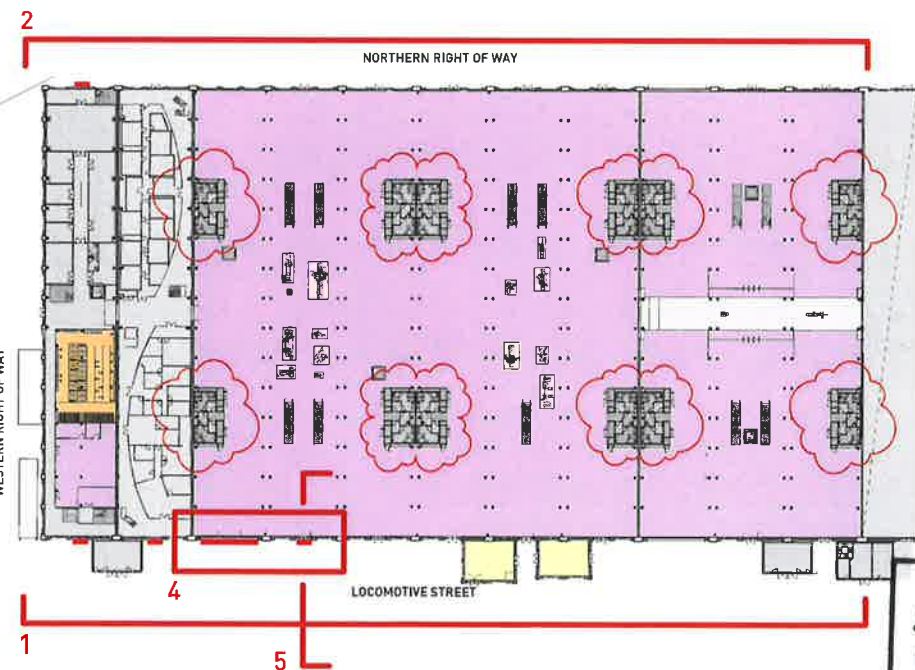


1 SOUTH ELEVATION - PROPOSED
1:250

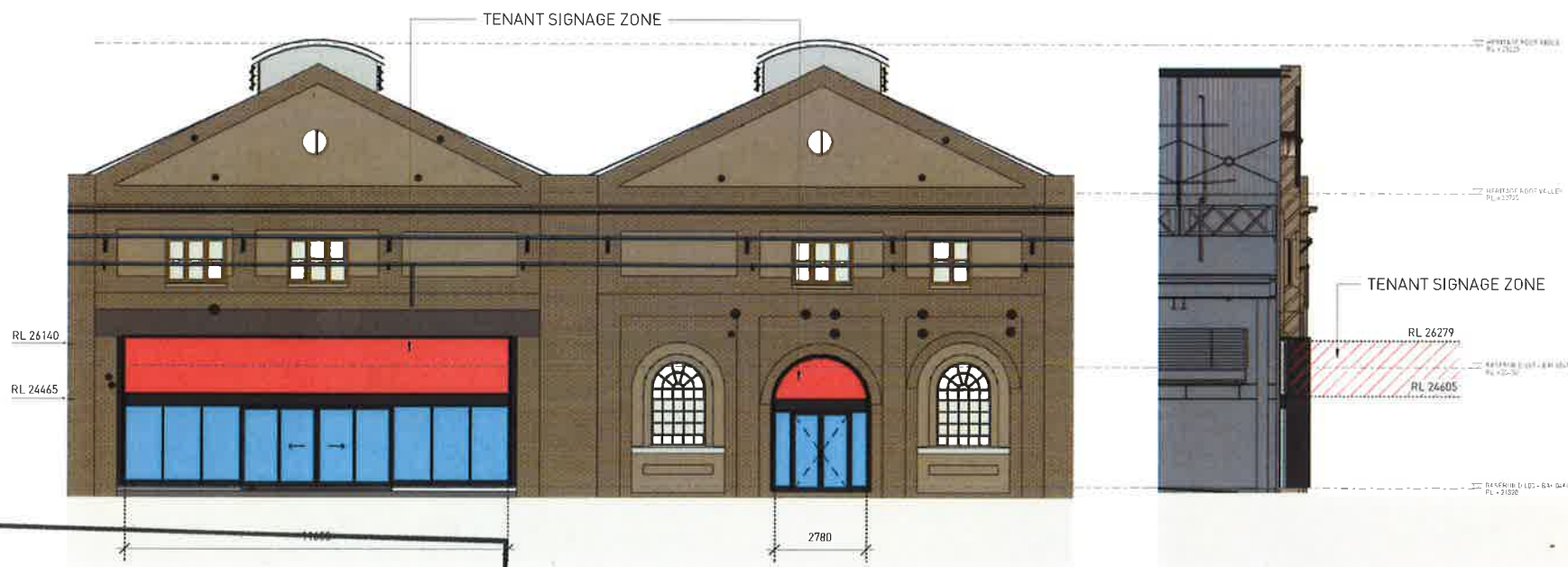
SUBJECT TO
SEPARATE
SSDA



2 NORTH ELEVATION - PROPOSED
1:250



3 SIGNAGE KEY PLAN - BAYS 5-15
1:750



5 CROSS SECTION - BAY 12 - SIGNAGE
1:100

SSDA SUBMISSION

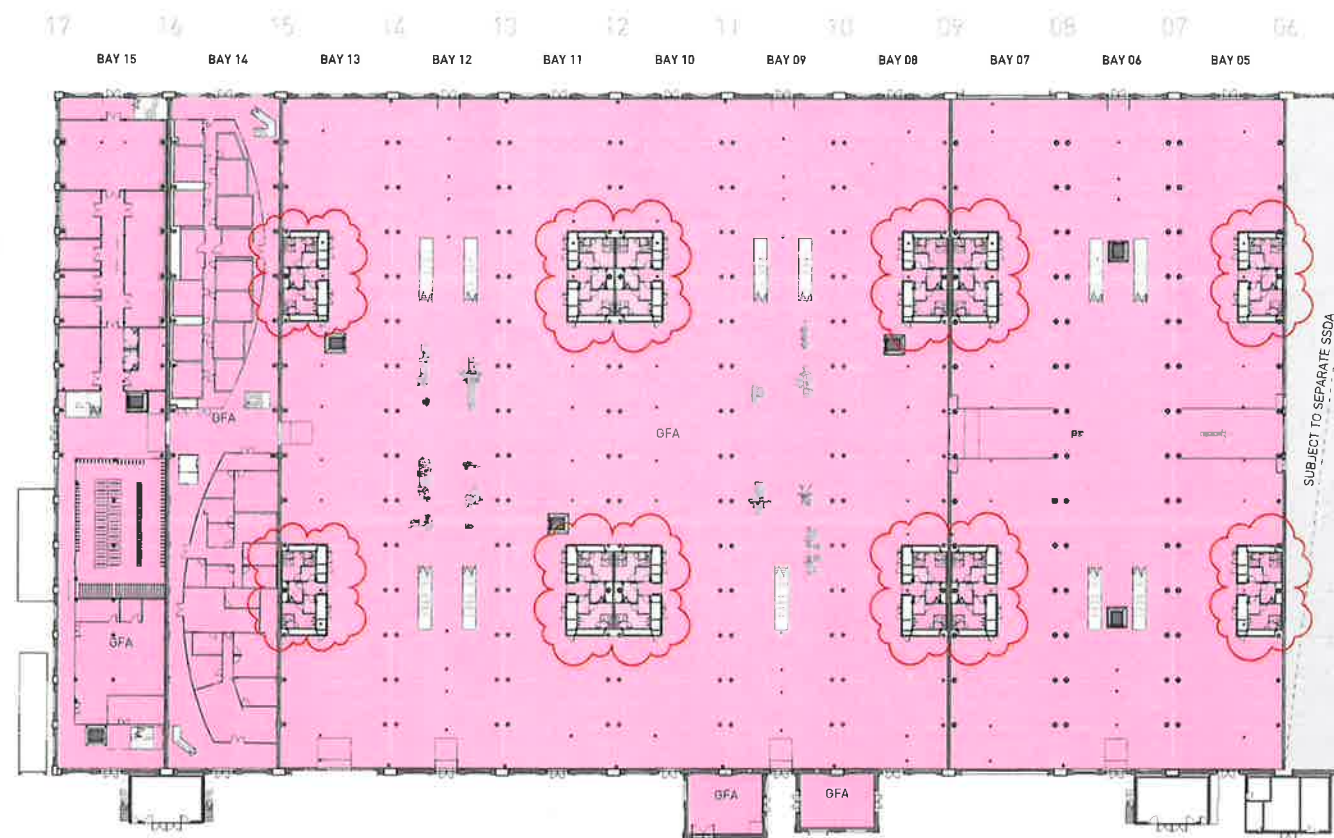
Architect
SISSONS ARCHITECTS
Studio 5, 81 Alexander St, Crows Nest, NSW 2065
Tel. 02 9460 8002

SIGNAGE LEGEND

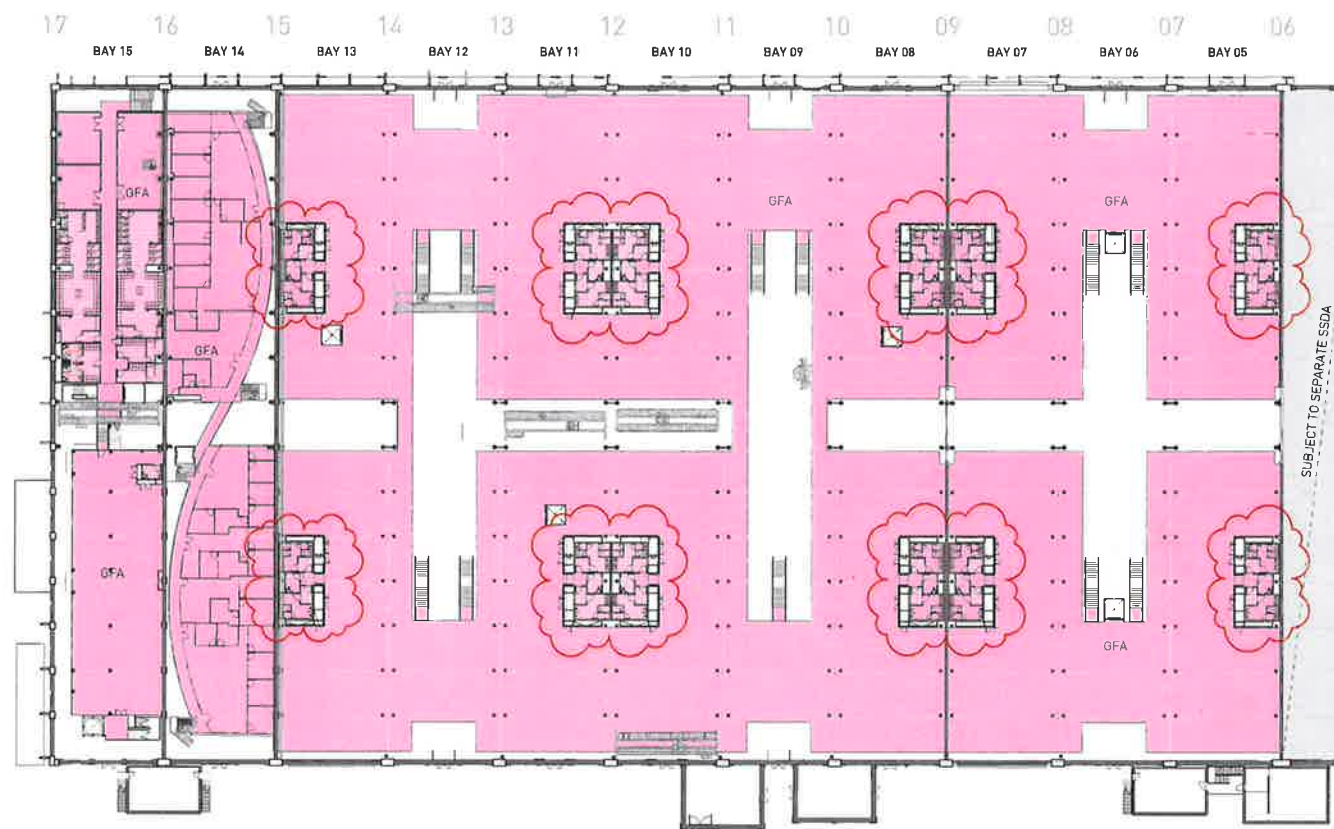
Denotes Proposed Signage Locations - Zone of Signage Behind Glazing

NSW GOVERNMENT Planning & Environment
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Sheet No. 5 of 6

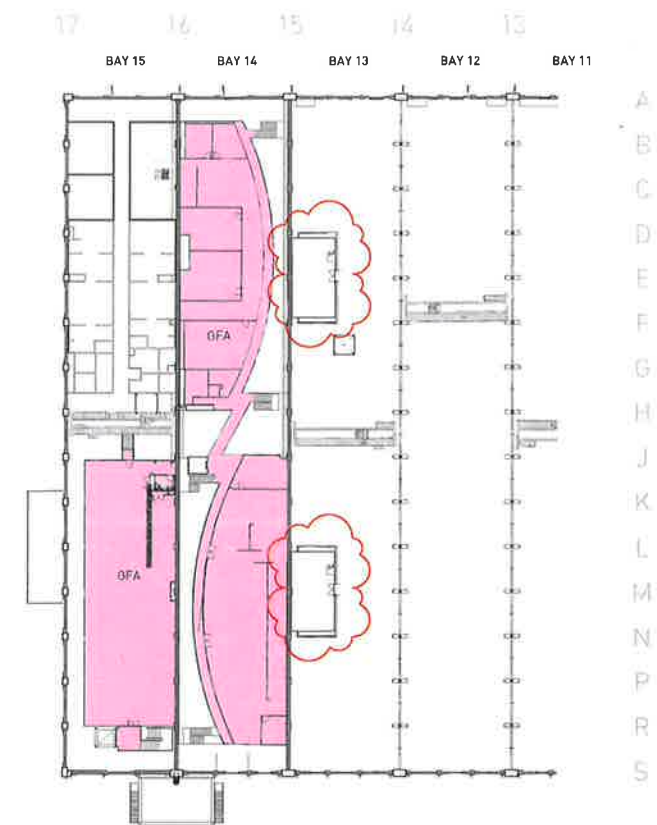
Client MIRVAC	Project LOCOMOTIVE WORKSHOP - BAYS 5-15 2 Locomotive St, Eveleigh NSW 2015	Drawing Title SIGNAGE ELEVATIONS
Scale As indicated (A1 Half Scale @ A3)	Rev Date 29/05/19	North
Project No. 16-002	Drawing No. SA-AR-DWG-BB-B4-0261	Rev R



1 L0 - GFA - BAYS 5-15
1:500



2 L1 - GFA - BAYS 5-15
1:500



3 L2 - GFA - BAYS 5-15
1:500

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Sheet No. 6 of 6

SSDA SUBMISSION

Architect
SISSONS ARCHITECTS
Studio 5, 81 Alexander St, Crows Nest, NSW 2065
Tel. 02 9460 8002

TOTAL GFA AREAS BAYS 5-15 BY USE (sq.m)		TOTAL GFA AREAS BAYS 5-15 BY LEVEL (sq.m)	
COMMERCIAL	27,275	LEVEL 02	1,348
RETAIL	156	LEVEL 01	11,505
		LEVEL 00	14,578
TOTAL	27,431	TOTAL	27,431

Client
MIRVAC

Scale
1 : 500 @A1
(Half Scale @ A3)

Rev Date
16/07/19



Project
LOCOMOTIVE WORKSHOP
2 Locomotive St, Eveleigh NSW 2015

Drawing Title
GFA PLANS BAYS 5-15

Project No.
16-002

Drawing No.
SA-AR-DWG-BB-B4-0250

Rev
T