

SSDA Civil Engineering Report

Project Legacy Pacific Highway

Prepared for Legacy Property / 02 July 2025

241956

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Rev	Date	Prepared By	Approved By	Remarks
A	28/02/2025	SH	GC	Draft DA
B	04/04/2025	SH	GC	Draft SSDA
C	20/06/2025	ML	GC	SSDA
D	02/07/2025	ML	GC	SSDA

1.0 Executive Summary

This civil engineering report has been prepared by TTW (NSW) Pty Ltd to accompany a State Significant Development Application for the construction of a mixed-use development with associated works at 253-265 Pacific Highway, North Sydney.

This report concludes that the proposed mixed-use development is suitable and warrants approval subject to the implementation of the following mitigation measures.

- A site wide stormwater network.
- On-site stormwater detention tank to reduce the discharge from the site to below the permissible site discharge allowed in North Sydney Council Development Control Plan 2013.
- An erosion and sediment control plan to manage stormwater quality and quantity on site during the construction phase of the development.

Following the implementation of the above mitigation measures, the remaining impacts are appropriate.

2.0 Introduction

This report has been prepared to accompany a detailed SSDA for the proposed Legacy Pacific Highway mixed-use development at 253-265 Pacific Highway, North Sydney.

The application seeks consent for the demolition of existing structures on the site, excluding the heritage building and the construction of a mixed-used development and includes site preparation works, bulk earthworks, and associated site works.

Specifically, the project comprises the redevelopment of the site as summarised below:

- Site preparation works, including bulk earthworks and demolition of existing structures on the site, excluding the heritage building
- Construction of a mixed-used development of 13 storeys over a 4-level basement car park, including residential, commercial, and retail floors, and a laneway and waste collection area
- Associated and ancillary on-site facilities, civil and stormwater works, including new stormwater drainage collection of the site, including extension of council's existing drainage

2.1 SEARS Requirements

The Secretary's Environmental Assessment Requirements (SEARs) for the proposal were issued on 29 May 2025. This report addresses the Water Management and Flood Risk items of the SEARs. Refer **Table 1** below.

Table 1: SEARs Compliance

Ref No	SEARs Requirement	Response
Water Management	• Detail the proposed drainage design and servicing infrastructure to be incorporated as part of the development (stormwater and wastewater). Demonstrate how the development complies with council's drainage requirements and identify proposed stormwater treatment and water quality management measures to minimise adverse environmental impacts.	Refer to Section 5.0
Flood Risk	• Identify the flood planning area and level as set out in the relevant EPI and other supporting documents to determine; ○ The flood extent and velocity up to the Probable Maximum Flood and risk on-site having regard to adopted flood studies and, floodplain risk management studies and plans ○ The site access and egress routes ○ the potential effects of climate change, ○ any relevant provisions of the NSW Flood Risk Management Manual, ○ and any other relevant guidelines	Refer to Flood Risk Assessment report issued by TTW

Flood Risk (cont.)	• Where the development is occurring on flood prone land a flood impact and risk assessment (FIRA) must be prepared having regard to the Flood Impact and Risk Assessment – Flood Risk Management Guide LU01. When determining the scope and category of the FIRA the requirements outlined in the FIRA guide must be considered. Detail any flood risk management measures that are to be incorporated as part of the development having regard to relevant guidelines (including any design solutions, flood modification measures, property modification measures, operational procedures or Flood Emergency Response Plan).	
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3.0 The Site

The site is located at 253-265 Pacific Highway within the suburbs of North Sydney and the North Sydney Local Government Area (LGA). The suburb is in close proximity and highly accessible to the commercial centres of St Leonards, Chatswood and Macquarie Park. The aerial image of the subject site is shown in **Figure 1**.

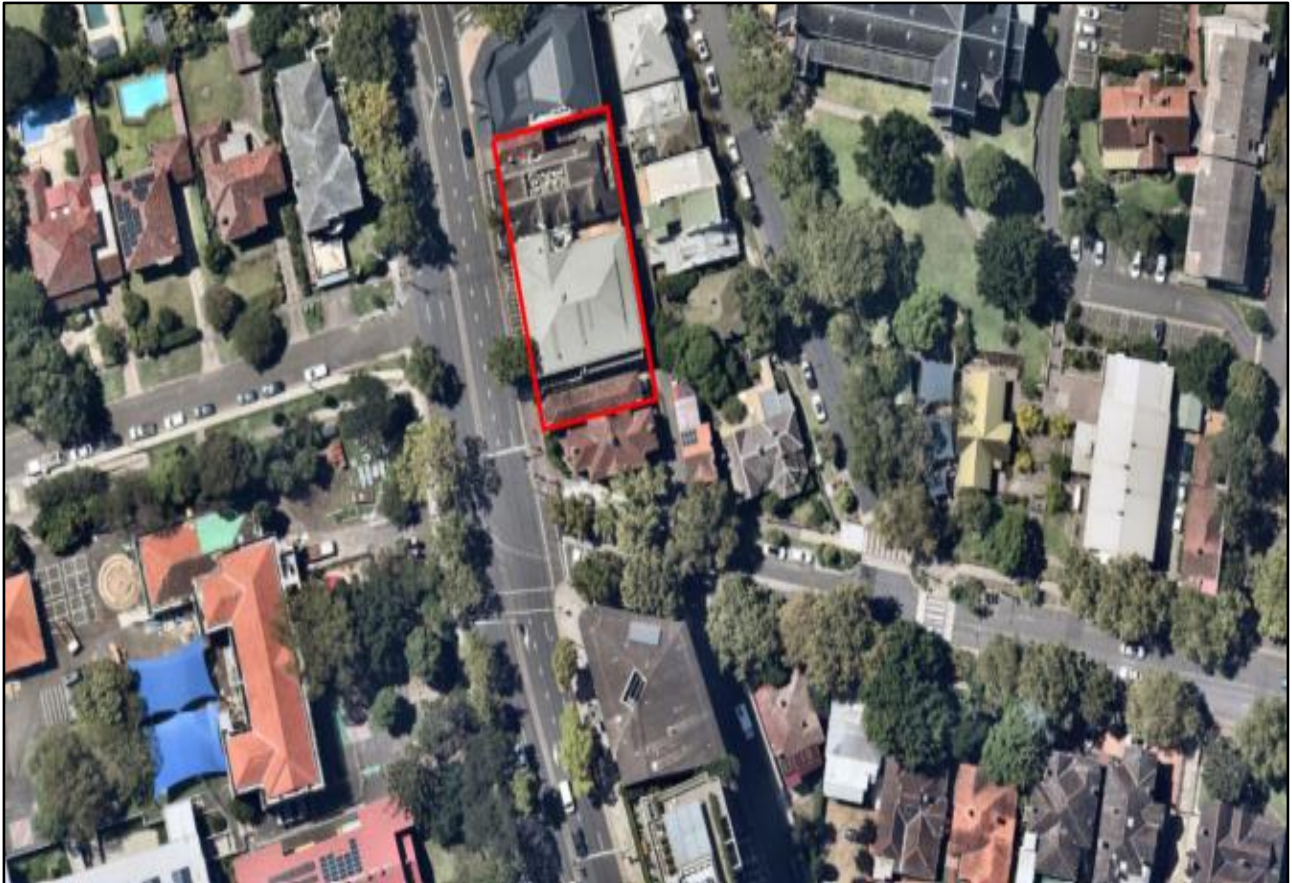


Figure 1 – Aerial Image of the Subject Site

The site has a primary frontage to the Pacific Highway and secondary frontages to Church Lane and West Street. Church Lane provides access to the individual lots and ranges in width from 3-4.5m due to the existing uneven boundary alignments of the subject properties.

Surrounding land uses of adjacent properties or properties across adjacent roads are summarised below:

- North – The Site is bound to the north by West Street and then numerous commercial premises including a restaurant/pub, police station and a multistorey office building.
- East – The Site is bound to the east by Church Lane. Between Church Lane and Church Street, a combination of low- and high-density residential structures existed. Further to the east a religious centre, parkland/recreational area and community centres were observed.
- South – Two properties immediately south of the Site (6 and 8 McLaren Street) were occupied by a townhouse-type residential building with a front yard/garden. Further south, was McLaren Street, following which were several multi-storey commercial office-type structures with ground floor retail comprising boutique stores and cafes; and
- West – The Site is bound to the west by the Pacific Highway, then numerous low-density residential houses and a school.

3.1 Existing services

A Before You Dig Australia (BYDA) as well as a site survey have been assessed to identify known in ground assets that may impact development of the site.

Based on the BYDA, an underground high-voltage and low-voltage power cables belonging to Ausgrid runs along the Pacific Highway and McLaren streets. NBN cables exist on site across the northern, eastern and southern boundaries. As demonstrated in the survey plan in **Figure 2**, the site also contains water sewer infrastructure within the laneway, with pipes ranging in diameter from 150 mm to 225 mm.

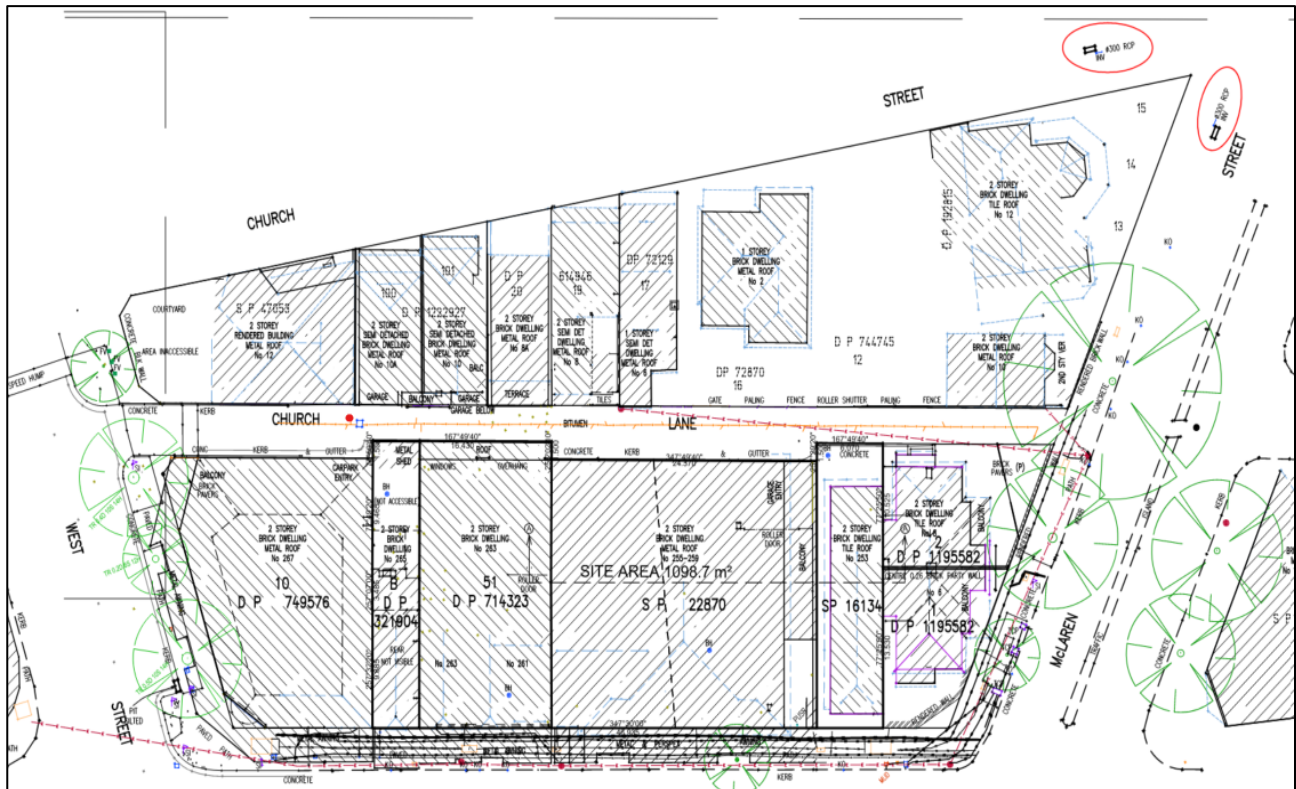


Figure 2 – Site Survey Plan (Source: Linker Survey dated 12/02/2025)

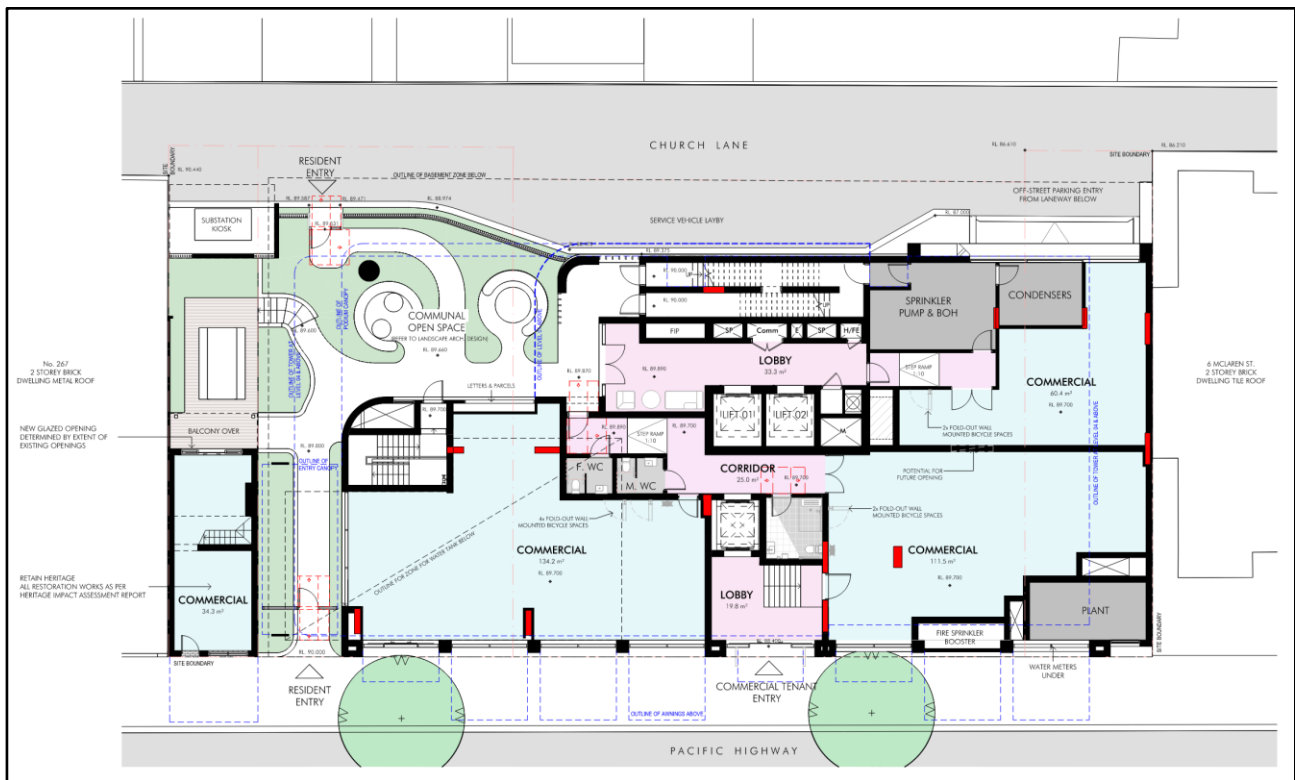
4.0 Proposed Development

The SSDA (SSD – 84416958) seeks approval for: the demolition of existing buildings at 253-265 Pacific Highway, and the retention and reuse of the existing local heritage item building at 265 Pacific Highway; the construction of a part 10, part 13 storey, mixed use, shop top housing development including: a 2 storey podium consisting of ground and first storey commercial tenancies, ground level communal open space and deep soil landscaping at 265 Pacific Highway; a tower above consisting of 35 residential apartments and communal roof garden; excavation of four levels of basement level car parking and servicing; and the stratum and strata subdivision of the building.

As part of the proposed residential component, 10 affordable housing apartments are proposed to be provided under Chapter 2 – Infill Affordable Housing under the State Environmental Planning Policy (Housing) 2021 (Housing SEPP).

The civil works required for the development include:

- New stormwater drainage collection of the site including extension of council's existing drainage
- Civil aspects of pavement work; and
 - Laneway construction
 - Waste collection area
- Onsite detention and water quality treatment to comply with Development Control Plan requirements.



5.0 Stormwater Methodology

The Secretary's Environmental Assessment Requirements (SEARs) for the proposal were issued on 29 May 2025. This section addresses Item 11 of the SEARs.

5.1 Stormwater Quantity

5.1.1 Existing Stormwater

The site is located at 253-265 Pacific Highway, North Sydney with a 5-10% slope towards the south/southeast. The local stormwater system is owned and operated by North Sydney Council. **Figure 4** shows the existing local council drainage pit and drainage pipe located at the southeast corner

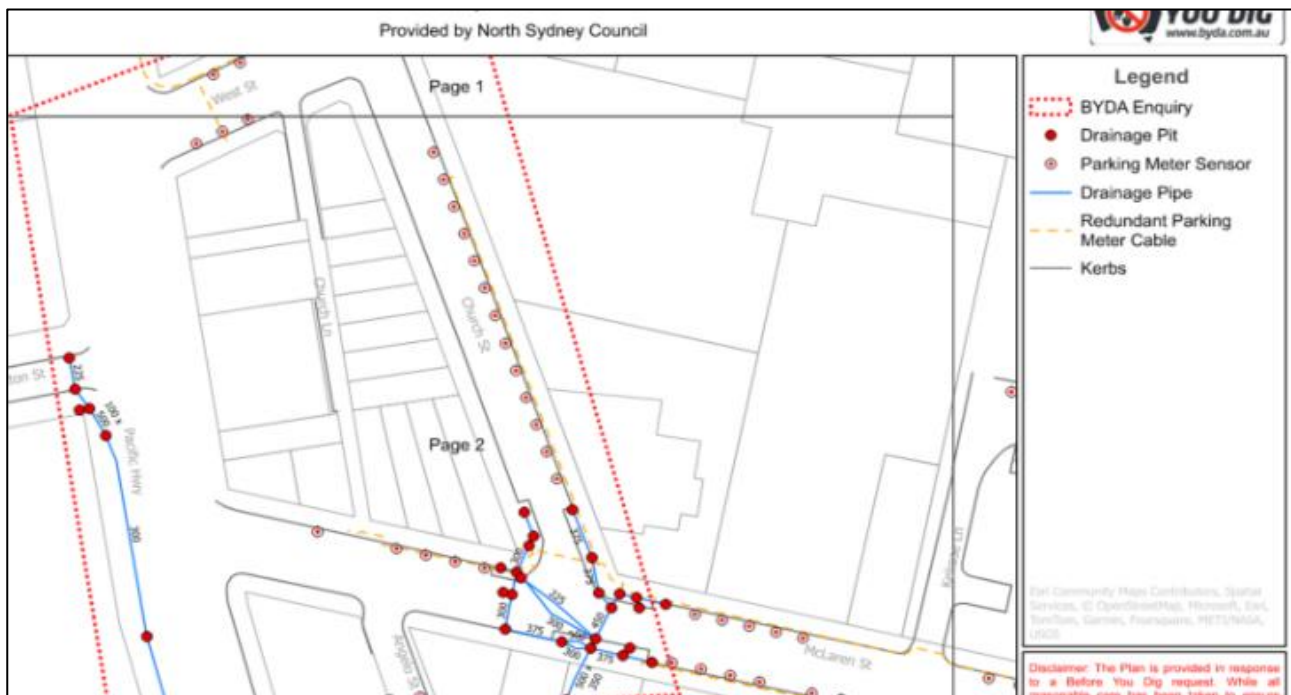


Figure 4 – Existing connection pit location (Source: North Sydney Council drawings, DBYD)

The existing site discharges all surface runoff directly into the Church Lane kerb and gutter via kerb outlets, which then flows into the McLaren Street kerb and gutter. Ultimately, the water is directed to Council's pit at the corner of Church Street and McLaren Street

5.1.2 Proposed Stormwater Design

Stormwater has been designed in accordance with the North Sydney Council Development Control Plan 2013-part B Section 18 and the Infrastructure Specification Manual for Road Works, Drainage, and Miscellaneous Works. All new stormwater is required to be conveyed by gravity as discharge from the site to the Council's existing drainage system, ensuring efficient and reliable water flow. As outlined in Section 2.6.7, Provision 5 of the North Sydney Development Control Plan as shown in **Figure 5**, that as a minimum, post-development stormwater discharge rates should be less than pre-development stormwater discharge rates.

2.6.7 Stormwater management

Objectives

- O1 To mimic pre-development or natural drainage systems through the incorporation of WSUD on-site.
- O2 To protect watersheds by minimising stormwater discharge and maximising stormwater quality.
- O3 To minimise off-site localised flooding or stormwater inundation.

Provisions

- P1 An *Erosion and Sediment Control Plan* for the construction of the building is required in accordance with Part B: Section 17 - *Erosion and Sedimentation Control* of the DCP.
- P2 A *Stormwater Management Plan* for the operation of the building is required demonstrating compliance with this subsection as well as Part B: Section 18 - *Stormwater Management* of the DCP.
- P3 Demonstrate how run-off from the site will be minimised and the quality of water leaving the site will be improved.
- P4 Rainwater tanks should be installed for all developments, including major alterations and additions and mixed-use developments. Rainwater tanks should be plumbed to appropriate end uses, including toilet flushing, water features, car washing and garden irrigation, to ensure sufficient use of tank water so that capacity exists to accommodate rainwater from storm events.
- P5 As a minimum, post-development stormwater discharge rates should be less than pre-development stormwater discharge rates.
- P6 As a minimum, post-development stormwater quality should be improved from pre-development levels.

Figure 5 - Stormwater Management Provisions (Source: North Sydney Council DCP)

As the existing site is already 100% impervious, correspondence with Council has been initiated to confirm the DCP requirements regarding OSD. Council's response is provided in **Figure 6** below. OSD is required to reduce all post-development discharge to a maximum PSD of the pre-development 20% AEP (1 in 5 year ARI storm) during the 1-hour design storm event. As the site is already 100% impervious area, OSD will only be required to cater to storms including and exceeding the 20% AEP.

As the site is proposed to discharge to Council kerb and gutter on McLaren Street, the maximum allowable discharge is limited to 20 L/s per correspondence with Council. As this rate is below the pre-development 20% AEP 1-hour design storm PSD, this rate will therefore govern the OSD design of the site.

Roof catchments are to be collected in roof gutters and conveyed by downpipes to the proposed OSD. Surface stormwater flows have been conveyed by site grading and collected by Surface Inlet Pits (SIP). In-ground stormwater is further conveyed to the OSD via gravity connection prior to discharge to Church Lane.

When it comes to **OSD requirement** you must apply as per below:

“On site detention must be provided to ensure that the maximum discharge of stormwater collected from the undeveloped site, which would occur during a 1 in 5-year storm of 1-hour duration is not exceeded. All other stormwater run-off from the site for all storms up to a 1 in 100-year storm event is to be retained on the site for gradual release to the kerb and gutter or piped drainage system. Provision is to be made for satisfactory overland flow should a storm in excess of the above parameters occur.”

**** We would just like to confirm that the undeveloped site means the site in its current condition.

The maximum kerb discharge rate per street frontage must not exceed 20 l/s.

Figure 6 – Council Correspondence Regarding OSD Requirements

The rational method has been used for the preliminary sizing of the OSD, with the predevelopment condition of the site considered entirely impervious. Modelling has been performed in the hydraulic analysis program DRAINS and tabulated in **Table 2** below. Modelling for the 20% AEP pre-development storm event has been performed using the 1-hour design storm only as requested by Council, whilst the post-development PSD has assumed the full design suite of storm events to ensure post-development flows are limited to the maximum 20L/s for kerb and gutter discharge per Council guidelines.

Screenshots of the schematic DRAINS model and results has been provided in **Figure 7** through **Figure 10**.

Table 2: Pre vs Post Development Site Discharge

Storm Event	Pre-Development Discharge (1-hour Storm only)	Pre-Development Discharge (All Design Storms)	Post-Development Discharge with OSD (All Design Storms)
20% AEP	30 L/s	46 L/s	14 L/s
1% AEP	NA	81 L/s	20 L/s ^[1]

^[1] Post-development PSD limited to 20L/s to comply with Council kerb and gutter discharge requirements.

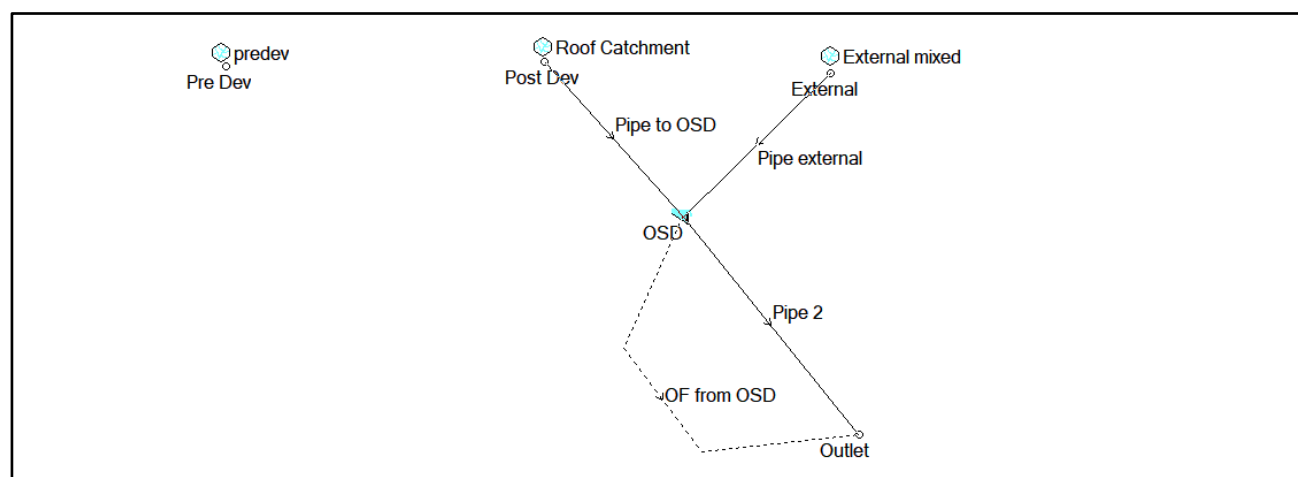


Figure 7 – DRAINS Schematic Model

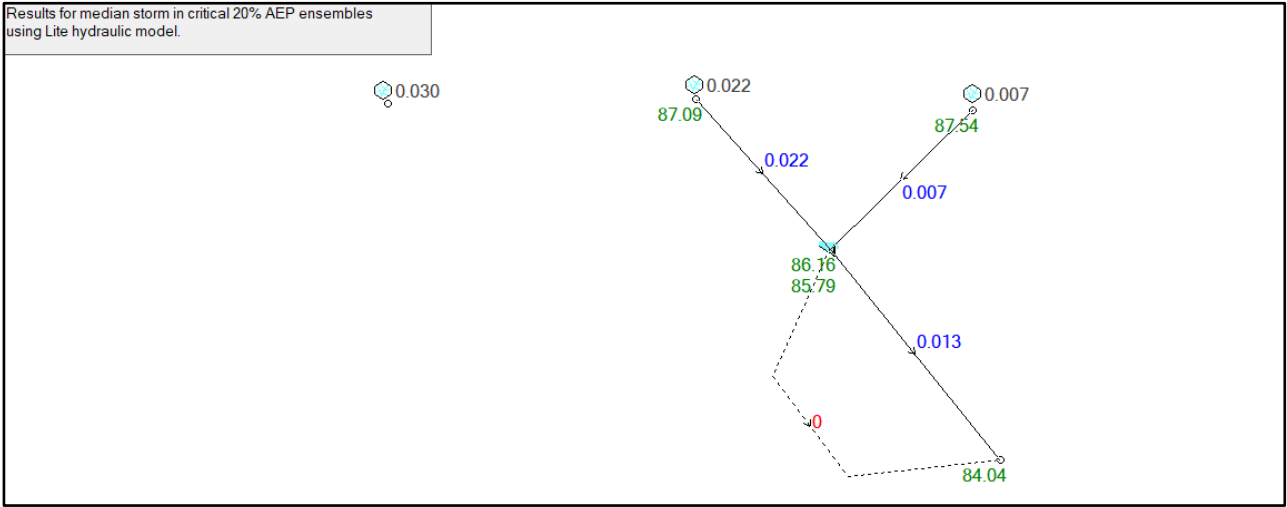


Figure 8 – 20% AEP Minor Design Storm Event Model Results (1-hour Design Storm Event)

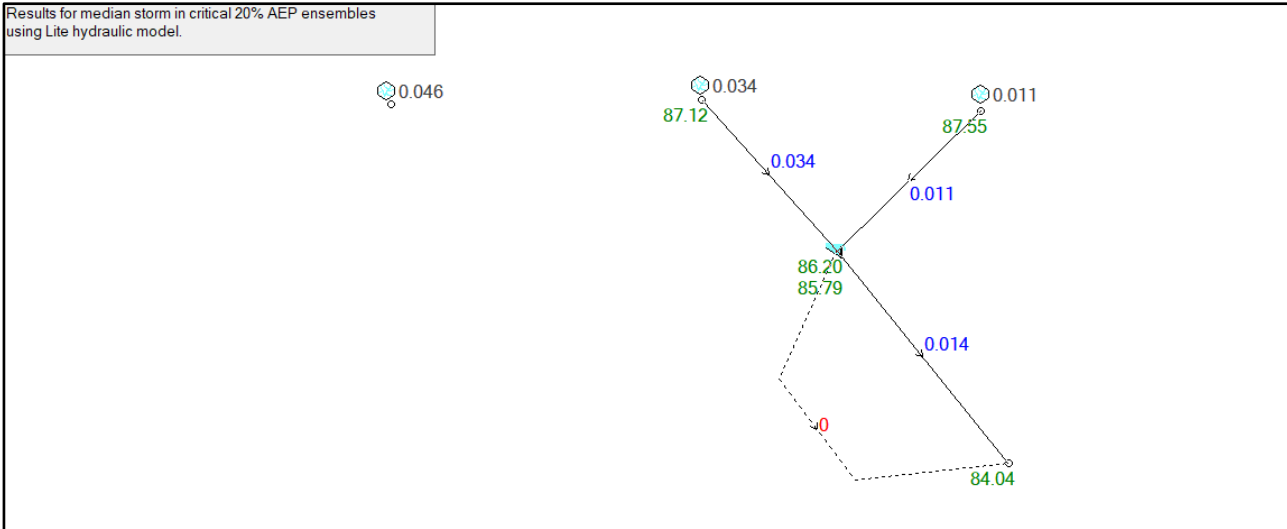


Figure 9 – 20% AEP Minor Design Storm Event Model Results (Full Design Suite)

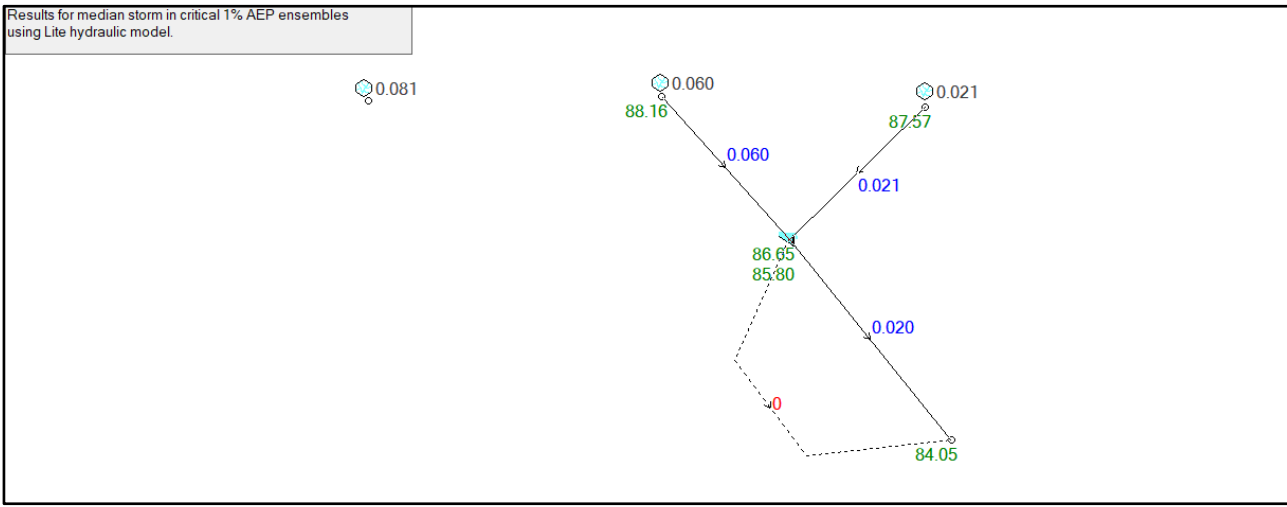


Figure 10 - 1% AEP Major Design Storm Event Model Results (Full Design Suite)

5.2 Stormwater Quality

Stormwater quality treatment is required to comply with the requirements outlined in the North Sydney Development Control Plan 2013 Part 2.6.7 - Stormwater Management for Commercial & Mixed-use Development, specifically Section P11 (WSUD Controls), refer **Figure 11**. Since the development area is less than 2000m², no MUSIC modelling is required as part of the proposed development to comply with Councils' guidelines.

- P11 All developments with a gross floor area greater than 2000m² are to undertake a stormwater quality assessment to demonstrate that the development will achieve the post-development pollutant load standards indicated below:
- (a) Litter and vegetation larger than 5mm: 90% reduction on the Baseline Annual Pollutant Load;
 - (b) Total Suspended Solids: 85% reduction on the Baseline Annual Pollutant Load;
 - (c) Total Phosphorous: 65% reduction on the Baseline Annual Pollutant Load;
 - (d) Total Nitrogen: 45% reduction on the Baseline Annual Pollutant Load.

Figure 11 - Water Quality Targets (Source: North Sydney Development Control Plan, 2013)

5.3 Erosion and Sediment Control

During the construction stages of project, an erosion and sediment control plan is to be implemented to prevent sediment laden stormwater from flowing into adjoining properties, roadways or receiving water bodies. Stormwater controls onsite are detailed in erosion and sediment control plans which is in accordance with relevant regulatory authority guidelines including Landcom NSW's Managing Urban Stormwater, Soils and Construction ("Blue Book").

6.0 Site Works Methodology

6.1 Bulk Earthworks

Bulk earthworks on the site will be required to facilitate the development of the site for the proposed mixed used development of 13 storeys, 4 basement and surrounding roads and landscapes. The earthworks will be undertaken to provide the lowest basement level at finished floor level (FFL) of RL 74.6m AHD and RL 76.1m AHD for the northern and southern half of the development respectively. Batter and shoring advice provided by Douglas Partners in the geotechnical investigation dated 21 February 2025 is as follows:

Table 6: Recommended Batter Slopes for Exposed Material			
Unit	Material	Maximum Temporary Batter Slope (H : V)	Maximum Permanent Batter Slope (H : V)
1	Existing Filling	1.5 : 1	2 : 1**
2	Residual Clay	1 : 1	2 : 1**
3	Siltstone (VL-L)	0.75 : 1*	1 : 1*
4	Siltstone (M-H)	0.5 : 1*	0.75 : 1*
5	Sandstone (M-H)	Vertical*	Vertical*

Note: * Subject to jointing assessment by experienced Geotechnical Engineer/Engineering Geologist.
** Permanent batters in soil may need to be reduced to 3H:1V to facilitate maintenance of grassed slopes.

Figure 12 - Geotechnical Batter Slopes (Source: Douglas Partners Geotechnical Investigated, dated 21.02.25)

A high-level cut and fill estimate has been completed for the site and is shown in Appendix A on drawing sheet 02011. Overall, the balance totals an approximate net cut of 12,600m³.

Note, the bulk earthworks plan excludes detailed excavation including lift pit, footings and services. It is a preliminary estimate which is subject to adjustment to allow for variances in geotechnical conditions, final building layout and drainage conditions.

6.2 Pavement Design

Pavement design of external surfaces within the site will be undertaken by TTW to ensure sufficient strength and safety of pavements for pedestrian and vehicular movement. Further investigation is required by the Geotechnical engineer to assess the required CBR % requirement for the site.

6.3 Groundwater Consideration and Integration with Stormwater Management

A detailed Groundwater Impact Assessment (GIA) prepared by Douglas Partners (233323.00.R.002.Rev0, June 2025) was completed for this project in accordance with the NSW DPE Groundwater Guidelines, the Aquifer Interference Policy (AIP), and North Sydney Council planning provisions. This assessment included hydrogeological testing, groundwater level monitoring and numerical modelling of drawdown impacts due to the proposed excavation. Refer to the GIA report by Douglas Partners for a full breakdown of findings.

Key outcomes relevant to the civil and stormwater design are discussed below. The proposed measures align with the requirements of the SEPP (Resilience and Hazards) 2021, the North Sydney DCP and Council's stormwater policies.

1. Groundwater levels and dewatering:

- The existing groundwater table across the site was measured between RL 80.5 m AHD and RL 82.1 m AHD, which is approximately 4.5 m to 6 m above the base of the proposed lowest basement level (RL ~74.6 m AHD).
- Construction dewatering is expected to be required during excavation, with estimated inflows of up to 2.5 ML/year. This remains below the 3 ML/year threshold under the Water Management Act 2000 for water access licensing.

2. Groundwater discharge and water quality:

- The GIA identified groundwater with generally neutral pH, low salinity, and no acid sulphate risk, meeting ANZG (2018) water quality objectives for discharge to receiving waters.
- A groundwater management plan recommends treatment measures as required to maintain discharge quality to Council's stormwater infrastructure.

3. Integration with OSD design:

- Dewatering discharge (subject to sediment control and any required polishing) will be directed to the OSD system, to ensure the combined flow regime remains within the design PSD limits already adopted (maximum discharge of 20 L/s to McLaren Street kerb and gutter).
- Additional flows from the dewatering discharge will be negligible to the modelled PSD and SSV rates calculated as part of Section 5.1.2 of this report.
- The combined design of stormwater detention and potential temporary groundwater discharge will ensure compliance with North Sydney Council DCP (2013) Part B Section 18 and Part 2.6.7 Water Sensitive Urban Design objectives.

4. Drawdown impacts:

- The GIA concluded that predicted groundwater drawdown impacts to adjoining properties and infrastructure are minimal (<0.5 m beyond the excavation footprint), with no anticipated settlement or adverse interaction with surrounding drainage systems

7.0 Conclusions

The following provides a summary of the proposed concept civil engineering and stormwater management for this development.

- Stormwater on-site detention has been designed in order to satisfy the design requirement for post discharge and therefore adheres to the DCP guidelines.
 - PSD is governed by the maximum Council discharge to kerb and gutter of 20L/s per street frontage as this is more restrictive than the maximum allowable Council OSD PSD rate.
 - DRAINS modelling has been performed and demonstrates that post-development discharge has been restricted for all design storms up to, and inclusive of, the 1% AEP storm event.
 - Modelling has been performed using the full design suite of storm events.
- Stormwater quality controls are not required for implementation on site per Council's DCP requirements.
- A high-level cut and fill estimate has been completed for the site with an overall balance totalling a net cut of 12,600m³.
- Public domain works are required to facilitate widening of the Church Lane laneway.
- An extension to Council's stormwater connection is required to accommodate the proposed development.
- Groundwater dewatering discharge will be directed to the OSD system and will have no tangible impact to the proposed OSD regime, including minimum PSD and SSV requirements.
- Groundwater findings are provided in a detailed Groundwater Impact Assessment (GIA) prepared by Douglas Partners. Refer to the GIA report titled 233323.00.R.002-Rev0 and dated June 2025.

Prepared by
TTW (NSW) PTY LTD



MITCHELL LEIGHTON
Engineer

Authorised By
TTW (NSW) PTY LTD



GRACE CARPP
Associate

Appendix A

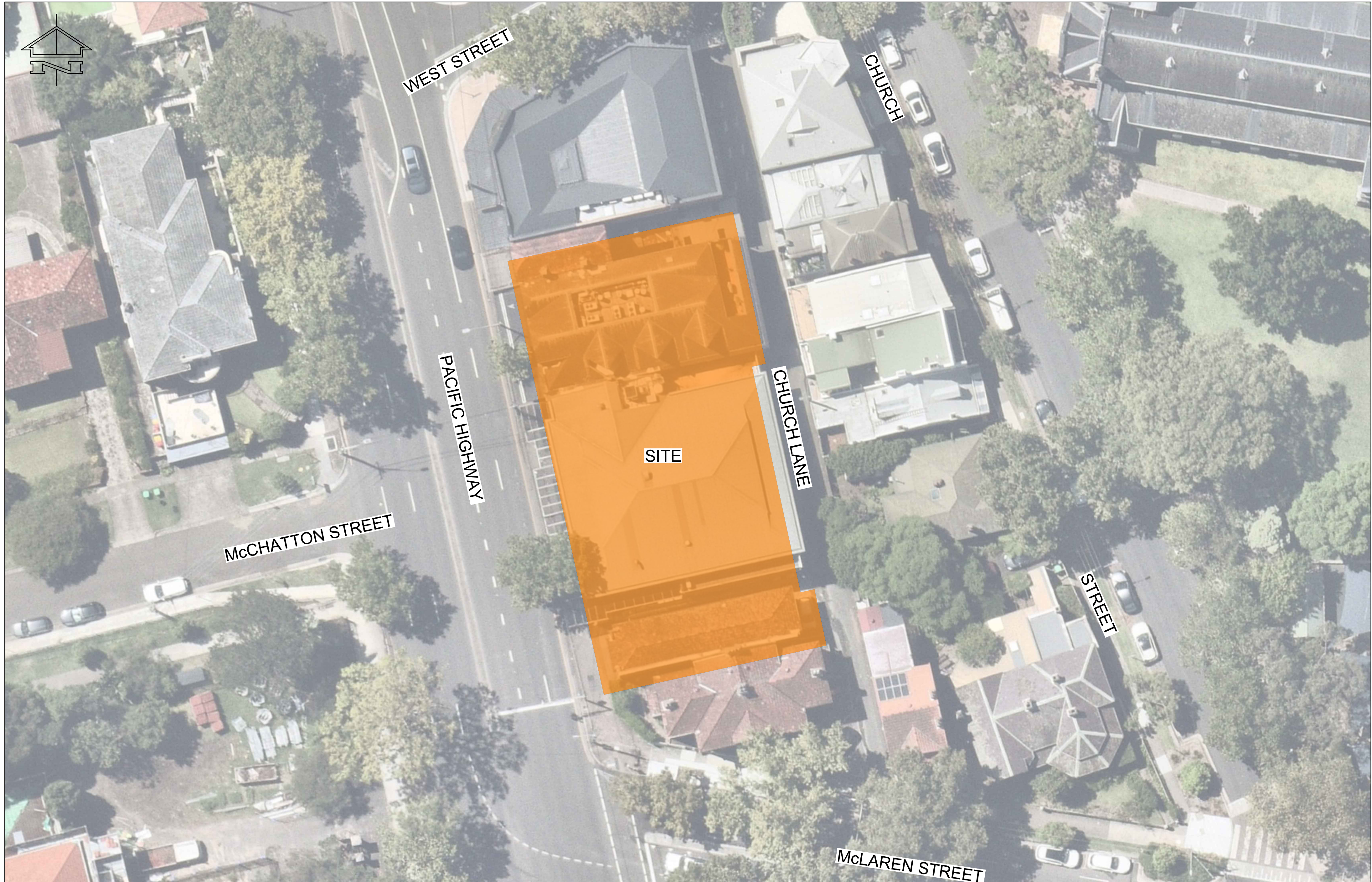
Civil SSDA Drawings

LEGACY PACIFIC HIGHWAY

253-265 PACIFIC HIGHWAY, NORTH SYDNEY, NSW 2060

DEVELOPMENT APPLICATION

This drawing is copyright and is the property of TTW
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THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL RELEVANT NOTES AND LEGENDS

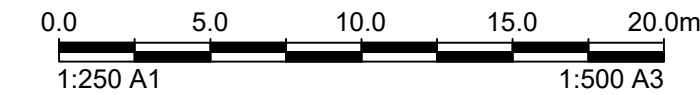


SITE LOCATION
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DRAWING INDEX

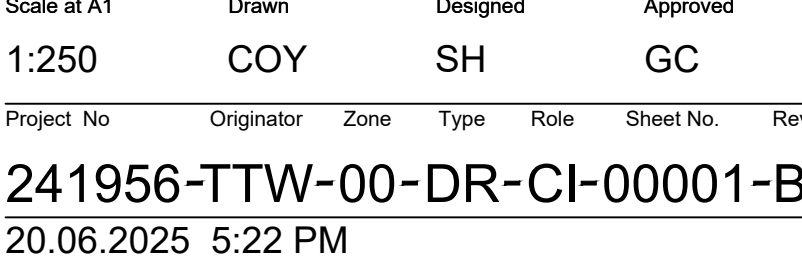
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SITEWORKS 241956-TTW-00-DR-CI-01101	SITEWORKS ALIGNMENT CONTROL AND GRADING PLAN
EARTHWORKS 241956-TTW-00-DR-CI-03101	EARTHWORKS CUT AND FILL VOLUMES PLAN
STORMWATER 241956-TTW-00-DR-CI-04101	STORMWATER & SUBSOIL DRAINAGE PLAN

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GENERAL

- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REPORTED TO THE STRIP ALL TOPSOIL FROM THE CONSTRUCTION AREA. ALL STRIPPED TOPSOIL SHALL BE DISPOSED OF OFF-SITE UNLESS DIRECTED OTHERWISE.
- MAKE SMOOTH CONNECTION WITH ALL EXISTING WORKS.
- COMPACT SUBGRADE UNDER BUILDINGS AND PAVEMENTS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.1.1. COMPACTION UNDER BUILDINGS TO EXTEND 2M MINIMUM BEYOND BUILDING FOOTPRINT.
- ALL WORK ON PUBLIC PROPERTY, PROPERTY WHICH IS TO BECOME PUBLIC PROPERTY, OR ANY WORK WHICH IS TO COME UNDER THE CONTROL OF THE STATUTORY AUTHORITY; THE CONTRACTOR IS TO ENSURE THAT THE DRAWINGS USED FOR CONSTRUCTION HAVE BEEN APPROVED BY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT SITE.
- ALL WORK ON PUBLIC PROPERTY, PROPERTY WHICH IS TO BECOME PUBLIC PROPERTY, OR ANY WORK WHICH IS TO COME UNDER THE CONTROL OF THE STATUTORY AUTHORITY IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITY. THE CONTRACTOR SHALL OBTAIN THESE REQUIREMENTS FROM THE AUTHORITY. WHERE THE REQUIREMENTS OF THE AUTHORITY ARE DIFFERENT TO THE DRAWINGS AND SPECIFICATIONS, THE REQUIREMENTS OF THE AUTHORITY SHALL BE APPLICABLE.
- FOR ALL TEMPORARY BATTERS REFER TO GEOTECHNICAL RECOMMENDATIONS.

REFERENCE DRAWINGS

- THESE DRAWINGS HAVE BEEN BASED FROM, AND TO BE READ IN CONJUNCTION WITH THE FOLLOWING CONSULTANTS DRAWINGS. ANY CONFLICT TO THE DRAWINGS MUST BE NOTIFIED IMMEDIATELY TO THE ENGINEER.

CONSULTANT	DRAWING TITLE	DRAWING NUMBER	REVISION	DATE
LINKER SURVEYING	DETAIL & LEVELS	241956	4	12.02.25
NETTLETON TRIBE	GROUND FLOOR PLAN	DA105B	P11	13.06.25

BOUNDARIES AND EASEMENTS

- THE PROPERTY BOUNDARY AND EASEMENT LOCATIONS SHOWN ON TAYLOR THOMSON WHITTING DRAWING'S HAVE BEEN BASED ON INFORMATION RECEIVED FROM :
- TAYLOR THOMSON WHITTING MAKES NO GUARANTEES THAT THE BOUNDARY OR EASEMENT INFORMATION SHOWN IS CORRECT. TAYLOR THOMSON WHITTING WILL ACCEPT NO LIABILITIES FOR BOUNDARY INACCURACIES. THE CONTRACTOR/BUILDER IS ADVISED TO CHECK/CONFIRM ALL BOUNDARIES IN RELATION TO ALL PROPOSED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. BOUNDARY INACCURACIES FOUND ARE TO BE REPORTED TO THE SUPERINTENDENT PRIOR TO CONSTRUCTION STARTING.

SURVEY

- ORIGIN OF LEVELS:
DATUM OF LEVELS:
COORDINATE SYSTEM:
SURVEY PREPARED BY:
SETOUT POINTS:

PM 35782, R.L.91.661
A.H.D AUSTRALIAN HEIGHT DATUM
GRID
LINKER SURVEYING
CONTACT THE SURVEYOR
- TAYLOR THOMSON WHITTING DOES NOT GUARANTEE THAT THE SURVEY INFORMATION SHOWN ON THESE DRAWINGS IS ACCURATE AND WILL ACCEPT NO LIABILITY FOR ANY INACCURACIES IN THE SURVEY INFORMATION PROVIDED TO US FROM ANY CAUSE WHATSOEVER.

UNDERGROUND SERVICES - WARNING

- THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON TAYLOR THOMSON WHITTINGS DRAWINGS HAVE BEEN PLOTTED FROM DIAGRAMS PROVIDED BY SERVICE AUTHORITIES. THIS INFORMATION HAS BEEN PREPARED SOLELY FOR THE AUTHORITIES OWN USE AND MAY NOT NECESSARILY BE UPDATED OR ACCURATE.
- THE POSITION OF SERVICES AS RECORDED BY THE AUTHORITY AT THE TIME OF INSTALLATION MAY NOT REFLECT CHANGES IN THE PHYSICAL ENVIRONMENT SUBSEQUENT TO INSTALLATION.
- THE CONTRACTOR MUST CONFIRM THE EXACT LOCATION AND EXTENT OF SERVICES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICT WITH THE DRAWINGS IMMEDIATELY TO THE ENGINEER/SUPERINTENDENT.
- THE CONTRACTOR IS TO GET APPROVAL FROM THE RELEVANT STATE SURVEY DEPARTMENT, TO REMOVE/ADJUST ANY SURVEY MARK. THIS INCLUDES BUT IS NOT LIMITED TO; STATE SURVEY MARKS (SSM), PERMANENT MARKS (PM), CADASTRAL REFERENCE MARKS OR ANY OTHER SURVEY MARK WHICH IS TO BE REMOVED OR ADJUSTED IN ANY WAY.
- TAYLOR THOMSON WHITTING PLANS DO NOT INDICATE THE PRESENCE OF ANY SURVEY MARK. THE CONTRACTOR IS TO UNDERTAKE THEIR OWN SEARCH.

DIAL BEFORE YOU DIG (DBYD)

- PUBLIC SERVICE UTILITY INFORMATION SHOWN ON PLAN HAS BEEN COMPLIED FROM INFORMATION RECEIVED FROM DIAL BEFORE YOU DIG INQUIRY, REFERENCE NUMBER 38466580 OBTAINED ON 22.01.25 UNLESS SPECIFICALLY SHOWN OTHERWISE, THIS LOCATION AND DEPTH OF SERVICES SHOWN ON THIS PLAN HAVE NOT BEEN VERIFIED.
- THE LOCATION OF SERVICES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED AS ACCURATELY AS POSSIBLE FROM DIAGRAMS PROVIDED BY SERVICE AUTHORITIES AND SHOULD BE CONFIRMED BY SITE INSPECTION.*

SITE WORKS

- ALL BASECOURSE MATERIAL TO COMPLY WITH RMS SPECIFICATION NO 3051 AND COMPACTED TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH AN APPROVED SELECT MATERIAL AND COMPACTED TO A MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1

PUBLIC DOMAIN WORKS

- PUBLIC DOMAIN WORKS ARE NOT TO COMMENCE UNTIL THESE DRAWINGS ARE STAMPED AS APPROVED.

TENDER DOCUMENTATION

- THESE DRAWINGS ARE PRELIMINARY DRAWINGS ISSUED FOR TENDER AS AN INDICATION OF THE EXTENT OF WORKS ONLY. THEY ARE NOT A COMPLETE CONSTRUCTION SET OF DRAWINGS.
- TO DETERMINE THE FULL EXTENT OF WORK, THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS. ALLOW FOR ALL ITEMS SHOWN ON ARCHITECTURAL AND OTHER DRAWINGS AS NOT ALL ITEMS ARE SHOWN ON THE STRUCTURAL/CIVIL WORKS DRAWINGS.
- SHOULD ANY AMBIGUITY, ERROR, OMISSIONS, DISCREPANCY, INCONSISTENCY OR OTHER FAULT EXIST OR SEEM TO EXIST IN THE DOCUMENTS, IMMEDIATELY NOTIFY IN WRITING TO THE SUPERINTENDENT.
- RATES SHOWN ON THE DRAWINGS ARE FOR THE FINAL STRUCTURE/CIVIL WORKS IN PLACE AND DO NOT ALLOW FOR ANY WASTAGE, ROLLING MARGINS, OVER SUPPLY OR FABRICATION REQUIREMENTS. ETC.

DESIGN AND CONSTRUCT DOCUMENTATION

- THE LEVEL OF DETAIL / DESIGN REFLECTED IN THESE DOCUMENTS IS BASED ON THE UNDERSTANDING THIS WILL BE BUILT AS PART OF A DESIGN & CONSTRUCT CONTRACT.
- THE CONTRACTOR SHALL RETAIN THE RESPONSIBILITY TO UNDERTAKE DETAILED DESIGN, CONFIRM COMPLIANCE WITH RELEVANT STANDARDS, CONSENT CONDITIONS & THE SPECIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE FINAL DESIGN IS CO-ORDINATED FULLY WITH OTHER CONSULTANTS.
- NO VARIATION WILL BE ACCEPTED FOR DESIGN AMENDMENTS REQUIRED TO MEET THE FUNCTIONAL OBJECTIVE OF THIS DOCUMENTATION.

SAFETY IN DESIGN

CONTRACTOR TO REFER TO APPENDIX B OF THE CIVIL SPECIFICATION FOR THE CIVIL RISK AND SOLUTIONS REGISTER.

- EXISTING SERVICES
CONTRACTOR TO BE AWARE EXISTING SERVICES ARE LOCATED WITHIN THE SITE. LOCATION OF ALL SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORKS. CONTRACTOR TO CONFIRM WITH RELEVANT AUTHORITY REGARDING MEASURES TO BE TAKEN TO ENSURE SERVICES ARE PROTECTED OR PROCEDURES ARE IN PLACE TO DEMOLISH AND/OR RELOCATE.
- EXISTING STRUCTURES
CONTRACTOR TO BE AWARE EXISTING STRUCTURES MAY EXIST WITHIN THE SITE. TO PREVENT DAMAGE TO EXISTING STRUCTURE(S) AND/OR PERSONNEL, SITE WORKS TO BE CARRIED OUT AS FAR AS PRACTICABLY POSSIBLE FROM EXISTING STRUCTURE(S).
- EXISTING TREES
CONTRACTOR TO BE AWARE EXISTING TREES EXIST WITHIN THE SITE WHICH NEED TO BE PROTECTED. TO PREVENT DAMAGE TO TREES AND/OR PERSONNEL, SITE WORKS TO BE CARRIED OUT AS FAR AS PRACTICABLY POSSIBLE FROM EXISTING TREES. ADVICE NEEDS TO BE SOUGHT FROM ARBORIST AND/OR LANDSCAPE ARCHITECT ON MEASURES REQUIRED TO PROTECT TREES.
- GROUNDWATER
CONTRACTOR TO BE AWARE GROUND WATER LEVELS ARE CLOSE TO EXISTING SURFACE LEVEL. TEMPORARY DE-WATERING MAY BE REQUIRED DURING CONSTRUCTION WORKS.
- EXCAVATIONS
DEEP EXCAVATIONS DUE TO STORMWATER DRAINAGE WORKS IS REQUIRED. CONTRACTOR TO ENSURE SAFE WORKING PROCEDURES ARE IN PLACE FOR WORKS. ALL EXCAVATIONS TO BE FENCED OFF AND BATTERS ADEQUATELY SUPPORTED TO APPROVAL OF GEOTECHNICAL ENGINEER.
- GROUND CONDITIONS
CONTRACTOR TO BE AWARE OF THE SITE GEOTECHNICAL CONDITIONS. REFER TO GEOTECHNICAL REPORT BY
 - DOUGLAS PARTNERS
 - PROPOSAL FOR GEOTECHNICAL INVESTIGATION - 253-265 PACIFIC HIGHWAY, NORTH SYDNEY NSW, DATED 10.12.24
- HAZARDOUS MATERIALS
EXISTING ASBESTOS PRODUCTS & CONTAMINATED MATERIAL MAY BE PRESENT ON SITE. CONTRACTOR TO ENSURE ALL HAZARDOUS MATERIALS ARE IDENTIFIED PRIOR TO COMMENCING WORKS. SAFE WORKING PRACTICES AS PER RELEVANT AUTHORITY TO BE ADOPTED AND APPROPRIATE PPE TO BE USED WHEN HANDLING ALL HAZARDOUS MATERIALS. REFER TO GEOTECHNICAL/ENVIRONMENTAL REPORT BY
 - DOUGLAS PARTNERS
 - PROPOSAL FOR GEOTECHNICAL INVESTIGATION - 253-265 PACIFIC HIGHWAY, NORTH SYDNEY NSW, DATED 10.12.24
- CONFINED SPACES
CONTRACTOR TO BE AWARE OF POTENTIAL HAZARDS DUE TO WORKING IN CONFINED SPACES SUCH AS STORMWATER PITS, TRENCHES AND/OR TANKS. CONTRACTOR TO PROVIDE SAFE WORKING METHODS AND USE APPROPRIATE PPE WHEN ENTERING CONFINED SPACES.
- MANUAL HANDLING
CONTRACTOR TO BE AWARE MANUAL HANDLING MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ENSURE MANUAL HANDLING PROCEDURES AND ASSESSMENTS ARE IN PLACE PRIOR TO COMMENCING WORKS.
- WATER POLLUTION
CONTRACTOR TO ENSURE APPROPRIATE MEASURES ARE TAKEN TO PREVENT POLLUTANTS FROM CONSTRUCTION WORKS CONTAMINATING THE SURROUNDING ENVIRONMENT.
- SITE ACCESS/EGRESS
CONTRACTOR TO BE AWARE SITE WORKS OCCUR IN CLOSE PROXIMITY TO FOOTPATHS AND ROADWAYS. CONTRACTOR TO ERECT APPROPRIATE BARRIERS AND SIGNAGE TO PROTECT SITE PERSONNEL AND PUBLIC.
- VEHICLE MOVEMENT
CONTRACTOR TO SUPPLY AND COMPLY WITH TRAFFIC MANAGEMENT PLAN AND PROVIDE ADEQUATE SITE TRAFFIC CONTROL INCLUDING A CERTIFIED TRAFFIC MARSHALL TO SUPERVISE VEHICLE MOVEMENTS WHERE NECESSARY.

BOUNDARIES

EXISTING	REMOVED	PROPOSED	
			BLOCK BOUNDARY
			BLOCK BOUNDARY EXTINGUISHED

BUILDINGS

EXISTING	REMOVED	PROPOSED	
			BUILDING ENVELOPE
			FUTURE BUILDING ENVELOPE
			BASEMENT OUTLINE
			BUILDING AWNING
			BUILDING DOUBLE DOOR ENTRY
			BUILDING SINGLE DOOR ENTRY
			BUILDING SLIDING DOOR ENTRY

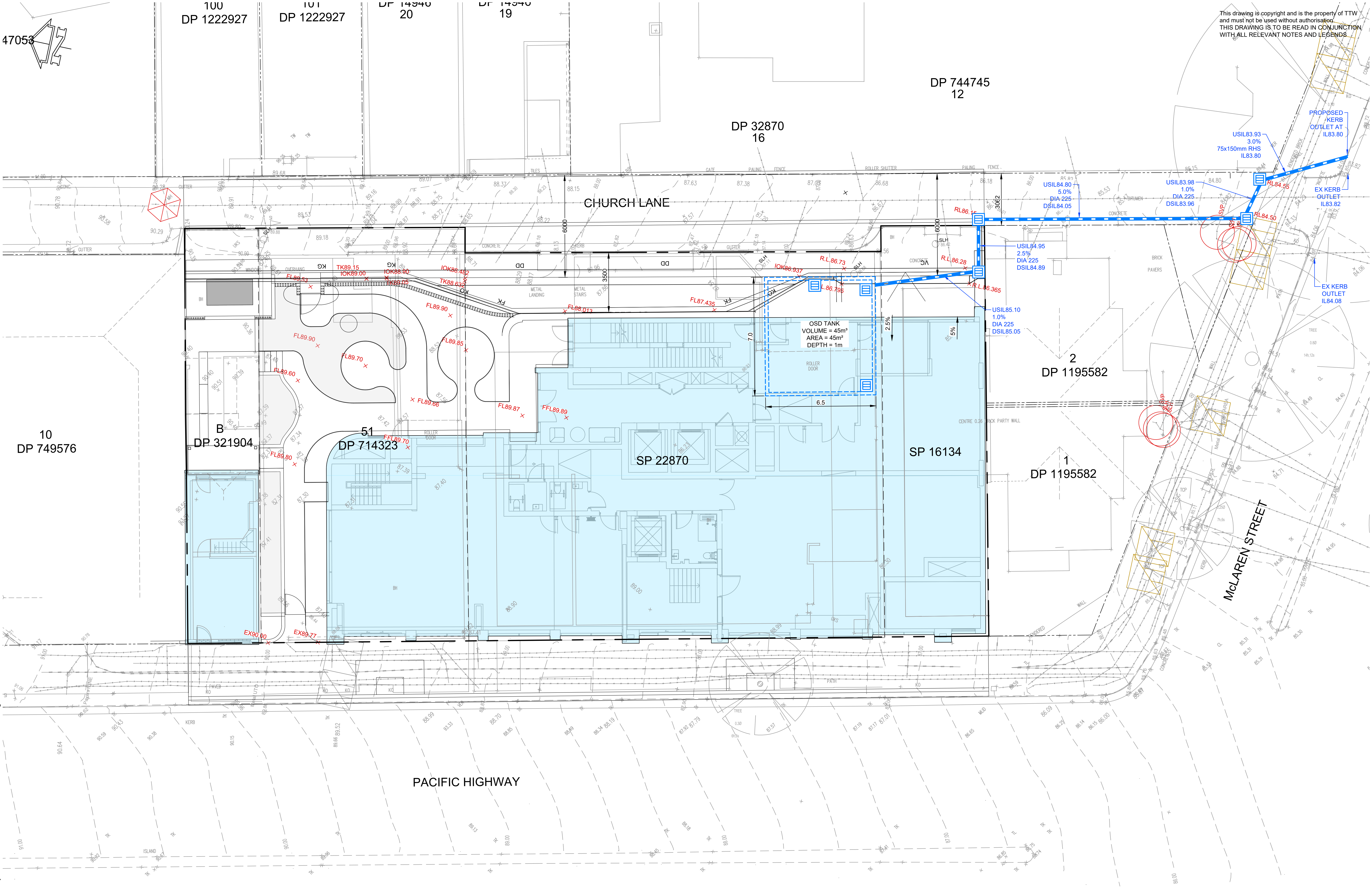
LANDSCAPE

EXISTING	REMOVED	PROPOSED	
			FENCE LINE
			FENCE LINE ON BOUNDARY
			PROPERTY ACCESS GATE
			TREES TREE REPRESENTATION MAY VARY BASED ON LANDSCAPE CONSULTANT OR SURVEY INFORMATION
			PAVEMENT
			SOFT LANDSCAPE
			TREE PROTECTION ZONE
			STRUCTURAL ROOT ZONE

NOT FOR CONSTRUCTION

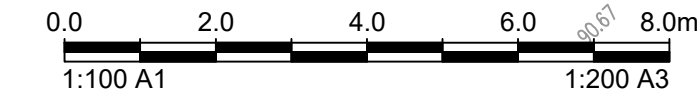
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												Project: LEGACY PACIFIC HIGHWAY 253-265 PACIFIC HIGHWAY NORTH SYDNEY, NSW 2060			Drawing Title: GENERAL NOTES AND LEGEND SHEET 1			Scale at A1 NTS			Drawn COY			Designed SH			Approved GC					
B SSDA SH COY 20.06.2025																																
A DRAFT SSDA SH JT 28.02.2025																																
Rev Description Eng Draft Date			Rev Description Eng Draft Date			Rev Description Eng Draft Date																										



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B	SSDA	SH COY 20.06.2025						
A	DRAFT SSDA	SH JT 28.02.2025						
Rev	Description	Eng Draft	Date	Rev	Description	Eng Draft	Date	Rev

Client:


LEGACYPROPERTY

Engineer:


www.ttweengineers.com

Project:

LEGACY PACIFIC HIGHWAY
253-265 PACIFIC HIGHWAY
NORTH SYDNEY, NSW 2060

Drawing Title:

SITEWORKS
ALIGNMENT CONTROL
AND GRADING PLAN

Scale at A1

1:100

Drawn

COY

Designed

SH

Approved

GC

Project No

241956-TTW-00-DR-CI-01101-B

Type

Zone

Role

Sheet No.

Rev

20.06.2025 5:19 PM

1. ALL BULK EARTHWORKS SETOUT FROM GRID LINES U.N.O.
2. ALL BATTERS AT A SLOPE OF 2 (H) : 1 (V) U.N.O.
3. EXCAVATED MATERIAL MAY BE USED AS STRUCTURAL FILL PROVIDED,
 - (i) IT COMPLIES WITH THE SPECIFICATION REQUIREMENTS FOR FILL MATERIAL,
 - (ii) THE PLACEMENT MOISTURE CONTENT COMPLIES WITH THE GEOTECHNICAL CONSULTANTS REQUIREMENTS, AND ALLOWS FILLING TO BE PLACED AND PROFFROLLED IN ACCORDANCE WITH THE SPECIFICATION. WHERE NECESSARY THE CONTRACTOR MUST MOISTURE CONDITION THE EXCAVATED MATERIAL TO MEET THESE REQUIREMENTS.

Location	Standard dry density (AS 1289 5.1.1.)	Moisture (OMC)
----------	--	-------------------

Under building slabs on ground:	98%	±2%
Under roads and carpark:	98%	±2%
Landscaped areas:	95%	±2%

5. BEFORE PLACING FILL, PROOF ROLL EXPOSED SUBGRADE WITH A 12 TONNE MINIMUM ROLLER TO TEST SUBGRADE AND THEN REMOVE SOFT SPOTS (AREAS WITH MORE THAN 3mm MOVEMENT UNDER ROLLER).
SOFT SPOTS TO BE REPLACED WITH GRANULAR FILL U.N.O.
6. CONTRACTOR SHALL PLACE SAFETY BARRIERS AROUND EXCAVATIONS IN ACCORDANCE WITH RELEVANT SAFETY REGULATIONS.
7. FOR INTERPRETATION OF BULK EARTHWORKS FOOT PRINT LINE SHOWN ON THE BULK EARTHWORKS DRAWINGS REFER TO THE BULK EARTHWORKS CONSTRUCTION LEGEND.
8. BULK EARTHWORK DRAWINGS ARE NOT TO BE USED FOR DETAILED EXCAVATION.
9. REFER TO GEOTECHNICAL REPORT PREPARED BY DOUGLAS PARTNERS
-233323.00.R.001.Rev 0. DATED- 21 FEBRUARY 2025.
10. DETAILED EARTHWORKS SUCH AS PILING, PILE CAPS, GROUND BEAMS, LIFT PITS, SERVICE TRENCHING & LANDSCAPE MOUNDING ETC IS EXCLUDED.

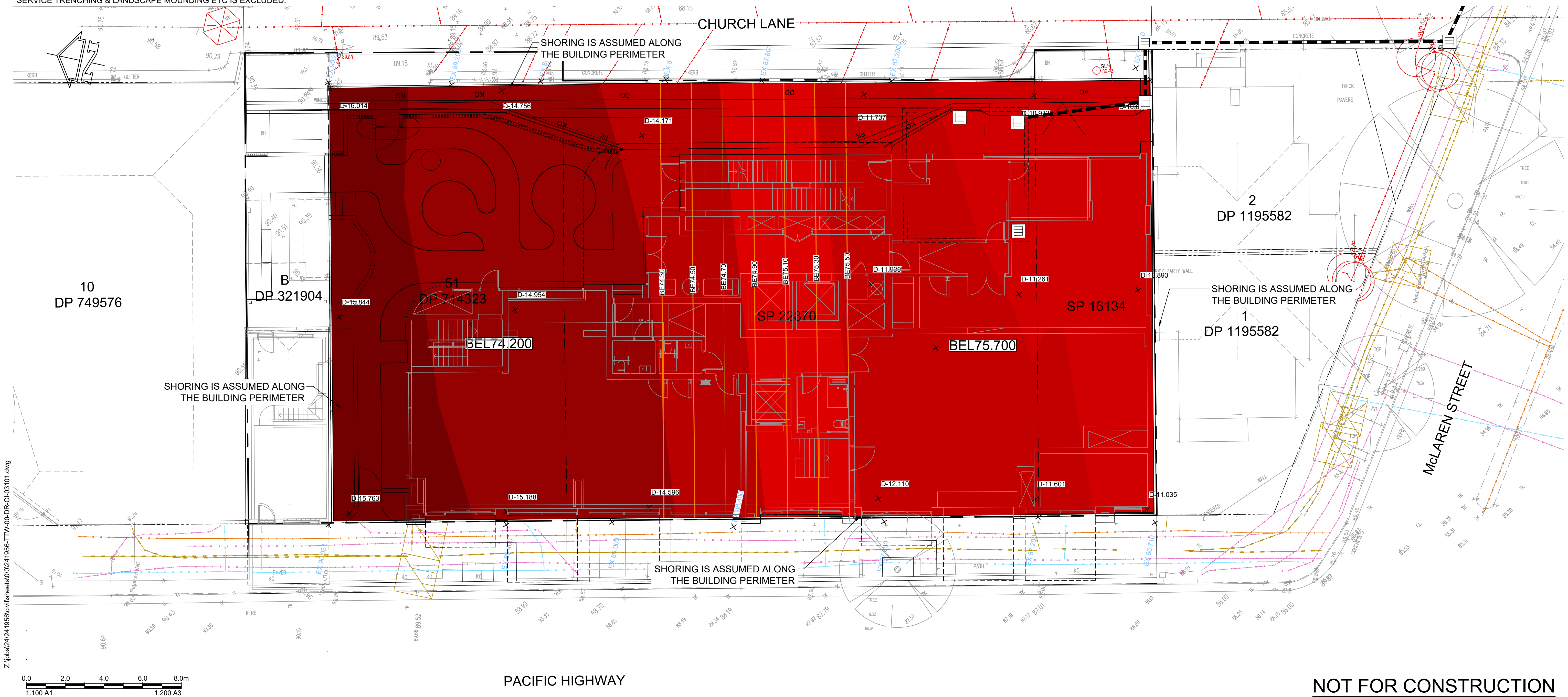
NOTE:

- 1.BULK QUANTITIES REPRESENT DIFFERENCE BETWEEN EXISTING LEVELS (EX) AND BULK EARTHWORKS LEVELS (BEL).
2. STRUCTURAL SET DOWN OF BUILDINGS ASSUMED TO BE 400mm PER STRUCTURAL ADVICE.
- 3.SHORING WALL ASSUMED ON ALL SIDES.
- 4.BULK EARTHWORKS DOES NOT INCLUDED DETAIL EXCAVATION FOR LIFT PITS, FOOTINGS, SERVICES ETC.

Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
241956- Cut and Fill	1.000	1.000	950.30sq.m	12598.58 Cu. M.	0.00 Cu. M.	12598.58 Cu. M.<Cut>
Totals			950.30sq.m	12598.58 Cu. M.	0.00 Cu. M.	12598.58 Cu. M.<Cut>

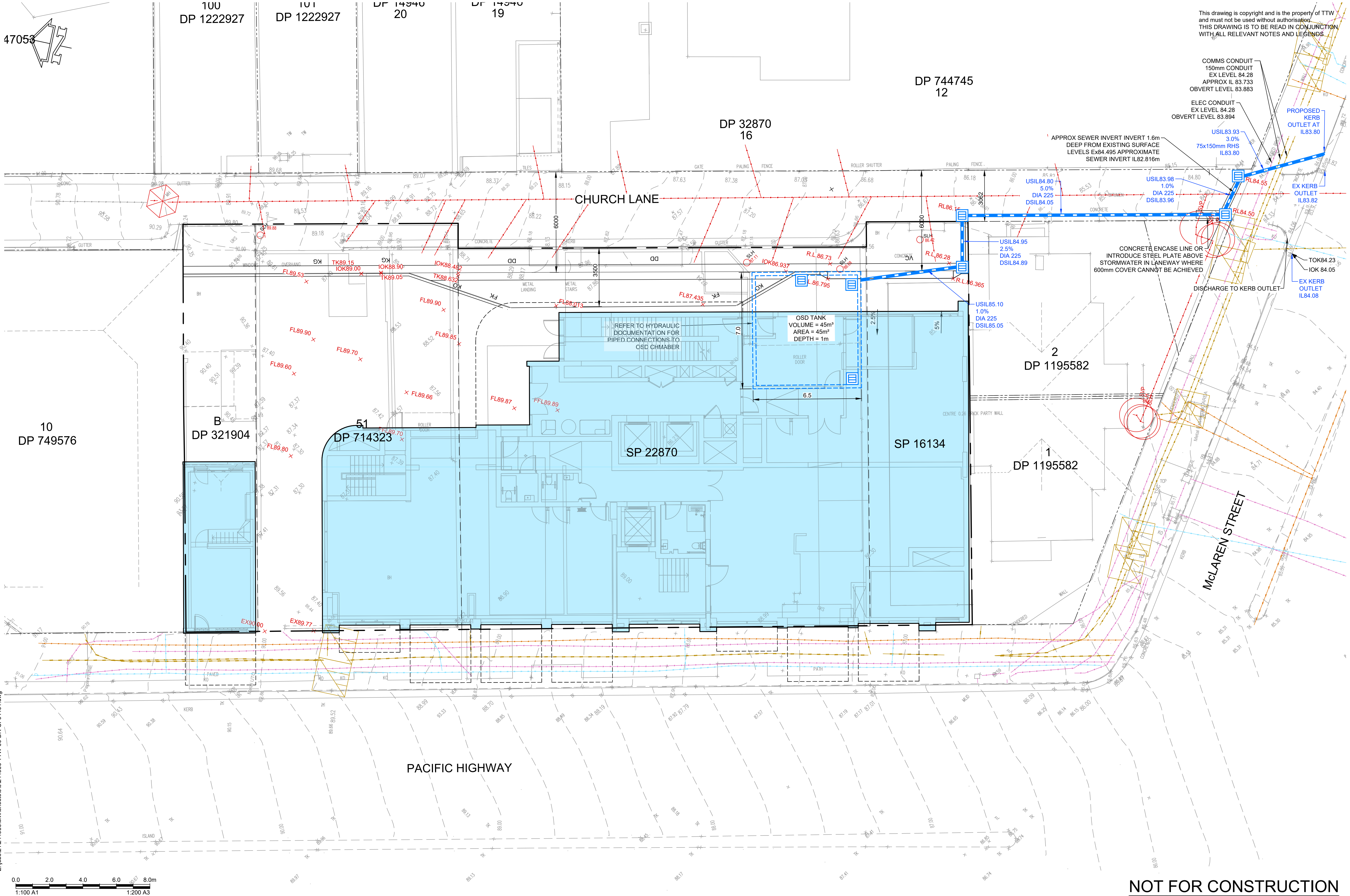
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WITH ALL RELEVANT NOTES AND LEGENDS

No.	FROM LEVEL (m)	TO LEVEL (m)	COLOUR
1	-16.00	-15.00	
2	-15.00	-14.00	
3	-14.00	-13.00	
4	-13.00	-12.00	
5	-12.00	-11.00	
6	-11.00	-10.00	
7	-10.00	-9.00	
8	-9.00	-8.00	
9	-8.00	-7.00	
10	-7.00	-6.00	
11	-6.00	-5.00	
12	-5.00	-4.00	
13	-4.00	-3.00	
14	-3.00	-2.00	
15	-2.00	-1.00	
16	-1.00	0.00	



NOT FOR CONSTRUCTION

[illegible]



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COMMS CONDUIT
150mm CONDUIT
EX LEVEL 84.28
APPROX IL 83.733
OBVERT LEVEL 83.883

ELEC CONDUIT
EX LEVEL 84.28
OBVERT LEVEL 83.894

APPROX SEWER INVERT 1.6m
DEEP FROM EXISTING SURFACE
LEVELS EX84.495 APPROXIMATE
SEWER INVERT IL82.816m

USIL83.93
3.0%
75x150mm RHS
IL83.80

USIL83.98
1.0%
DIA 225
DSIL83.96

USIL84.80
5.0%
DIA 225
DSIL84.05

USIL84.95
2.5%
DIA 225
DSIL84.89

USIL85.10
1.0%
DIA 225
DSIL85.05

CONCRETE ENCASE LINE OR
INTRODUCE STEEL PLATE ABOVE
STORMWATER IN LANEWAY WHERE
600mm COVER CANNOT BE ACHIEVED

DISCHARGE TO KERB OUTLET

EX KERB
OUTLET
IL84.08

EX KERB
OUTLET
IL83.82

PROPOSED
KERB
OUTLET AT
IL83.80

CHURCH LANE

PACIFIC HIGHWAY

McLAREN STREET

NOT FOR CONSTRUCTION

B SSSA		SH COY 20.06.2025				
A DRAFT SSSA		SH JT 28.02.2025				
Rev	Description	Eng	Draft	Date	Rev	Description
		Eng	Draft	Date		
		Eng	Draft	Date		
		Eng	Draft	Date		

Client:



LEGACYPROPERTY

Engineer:



www.ttwenr.com

Project:

LEGACY PACIFIC HIGHWAY
253-265 PACIFIC HIGHWAY
NORTH SYDNEY, NSW 2060

Drawing Title:

STORMWATER
AND SUBSOIL DRAINAGE
PLAN

Scale at A1
1:100

Project No
241956-TTW-00-DR-CI-04101-B

20.06.2025 5:21 PM

Drawn	COY	Designed	SH	Approved	GC
Originator	Zone	Type	Role	Sheet No.	Rev