



beam

State Significant Development Application Environmental Impact Statement

On-Campus Student Accommodation at UNSW
39 Barker Street, Kensington

Prepared for the University of New South Wales

14.01.26
24206

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D. Community Consultation Table	<i>Beam Planning</i>
E. Survey Plan	<i>Project Surveyors</i>
F. Architectural Plans	<i>Bates Smart</i>
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H. Clause 4.6 Variation Request - Height	<i>Beam Planning</i>
I. Connecting with Country Strategy	<i>Yerrabingin</i>
J. Landscape Plans	<i>Aspect Studios</i>
K. Landscape Report	<i>Aspect Studios</i>
L. Operational Management Plan	<i>UNSW</i>
M. Engagement Report	<i>Colliers Urban Planning</i>

Appendix	Prepared by
N. Environmental Wind Report	<i>Arup</i>
O. Aboricultural Impact Assessment	<i>Canopy Consulting</i>
P. Traffic Impact Assessment	<i>JMT Consulting</i>
Q. ESD Report	<i>Atelier Ten</i>
R. Nosie and Vibration Impact Assessment	<i>Arup</i>
S. Integrated Water Management Plan	<i>Arup</i>
T. Flood Impact and Risk Assessment	<i>Arup</i>
U. Geotechnical Report	<i>Douglas Partners</i>
V. Preliminary Site Investigation	<i>Douglas Partners</i>
W. Detailed Site Investigation	<i>Douglas Partners</i>
X. Hazardous Building Materials Survey	<i>Douglas Partners</i>
Y. Biodiversity Development Assessment Report Waiver	<i>Evolve Ecology & Department of Planning, Housing and Infrastructure</i>
Z. Waste Management Plan	<i>MRA Consulting Group</i>
AA. Aboriginal Cultural Heritage Assessment Report	<i>Urbis</i>
BB. Aeronautical Impact Assessment	<i>Avlaw Aviation</i>
CC. BCA and Accessibility Report	<i>Steve Watson & Partners</i>

Under Separate Cover:

- EDC Report, prepared by WT Partnership
- Owners Consent

EIS Declaration

Project Details	
Project name	UNSW Barker Street Development
Application number	SSD-84220206
Address of the land in respect of which the development application is made	39 Barker Street, Kensington
Applicant Details	
Applicant name	The University of New South Wales
Applicant address	F23314, Gate 11, Botany Street, Rm314, L3, F23 Matthews, UNSW Sydney
ABN	57 195 873 179
Details of person by whom this EIS was prepared	
Name	Chris Forrester
Organisation	Beam Planning Pty Ltd
Address	7.01, 60 Carrington Street, Sydney
Professional qualifications	BPlan (Hons 1), UNSW
Declaration by registered environmental assessment practitioner	
Name	Chris Forrester
Registration number	11203
Organisation registered with	Planning Institute of Australia
Declaration	<p>The undersigned declares that this EIS:</p> <ul style="list-style-type: none"> • Has been prepared in accordance with the Environmental Planning and Assessment Regulation 2021; • Contains all available information relevant to the environmental assessment of the development, activity or infrastructure to which the EIS relates; • Does not contain information that is false or misleading; • Addresses the Planning Secretary's environmental assessment requirements (SEARs) for the project; • Identifies and addresses the relevant statutory requirements for the project, including any relevant matters for consideration in environmental planning instruments; • Has been prepared having regard to the Department's State Significant Development Guidelines - Preparing an Environmental Impact Statement; • Contains a simple and easy to understand summary of the project as a whole, having regard to the economic, environmental and social impacts of the project and the principles of ecologically sustainable development; • Contains a consolidated description of the project in a single chapter of the EIS; • Contains an accurate summary of the findings of any community engagement; and • Contains an accurate summary of the detailed technical assessment of the impacts of the project as a whole.
Signature	
Date	9 December 2025

Executive Summary

This Environmental Impact Statement (EIS) has been prepared by Beam Planning on behalf of The University of New South Wales (UNSW) in support of a State Significant Development Application made to the Department of Planning, Housing and Infrastructure for the redevelopment of 39 Barker Street, Kensington (the Site). This State Significant Development Application seeks development consent for campus student accommodation.

This Environmental Impact Statement responds to the Secretary's Environmental Assessment Requirements issued by the Department of Planning, Housing and Infrastructure. It provides the context of the Site, the consistency of the proposal with strategic plans and planning guidelines, the applicable statutory context, the community/ stakeholder engagement undertaken for the project, and the anticipated environmental impacts of the proposed development, with mitigation measures to reduce any potential adverse impacts.

Where is the site?

39 Barker Street, Kensington



Lot 3 in DP1264172 The Site

NOT TO SCALE 

What is this SDDA for?

UNSW seeks consent for the construction of three buildings, delivering 732 on-campus student accommodation beds across 5 colleges, together with 30 non-student accommodation units (Dean's accommodation and short-stay accommodation), communal services and shared amenities.

Why is it being lodged?

The application is being lodged to deliver contemporary, purpose-built student accommodation that responds to clear strategic need within the Randwick Health and Education Precinct. Strategic planning at State, regional and local levels identify the UNSW Kensington Campus as a priority location for growth in higher education infrastructure and highlights the acute undersupply of dedicated student housing in accessible, well-serviced areas. The existing on-site accommodation is at the end of its functional life and no longer meets current standards for safety, inclusivity, amenity or environmental performance.

Lodging this application enables UNSW to replace outdated buildings with a high-quality, higher-yielding development that supports the University's long-term operational requirements, reduces pressure on the private rental market and aligns with planning objectives to locate additional housing close to public transport, employment and education facilities. The proposal advances the precinct's strategic role, addresses a demonstrated demand for student beds and contributes to broader public interest outcomes by improving affordability, accessibility and sustainability.

What is the development's strategic context?

The development sits within the Randwick Health and Education Precinct, a regionally significant hub identified in state, regional and local strategies as a priority location for investment in higher education, research, innovation and supporting accommodation. Strategic documents consistently emphasise the need to concentrate student housing in accessible, well-serviced locations to relieve pressure on surrounding rental markets, support equitable access to education and reinforce the role of key institutions such as UNSW.

<p>Does it comply with the relevant planning controls?</p>	<p>The Kensington Campus is designated as a major anchor within the precinct, with planned growth in academic, residential and research functions. The site is directly connected to high-frequency public transport, established open space networks and essential services, making it a preferred location for additional student accommodation. Strategic planning frameworks promote urban renewal, improved campus integration, sustainable design and high-quality built form, all of which are advanced through the proposed redevelopment.</p> <p>Overall, the project aligns with and supports the strategic vision for a compact, integrated and highly accessible education precinct that provides diverse housing choices and strengthens the long-term functioning of UNSW and its surrounding community.</p> <p>The proposed development is permissible with consent under <i>State Environmental Planning Policy (Transport and Infrastructure) 2021</i> and largely complies with the relevant statutory requirements of the <i>Randwick Local Environmental Plan 2013</i>. A variation is proposed to the maximum height of building control which affects part of the Site. This variation has been supported by a Clause 4.6 Variation Request attached at Appendix H.</p>
<p>What are the key findings of the preliminary stakeholder engagement?</p>	<p>Consultation has been undertaken with various stakeholders including relevant government agencies and the public. The key issues raised during the consultation process included tree impacts and public domain design, inclusivity and affordability, design and amenity and construction impacts. These concerns have been considered and addressed throughout the design of the project, as detailed in the Engagement Outcomes Report (Appendix M). Refer to Section 6.0 for more detail on stakeholder engagement.</p>
<p>What are the key impacts and how will they be managed?</p>	<p>A detailed assessment of the project has been undertaken in accordance with the Secretary's Environmental Assessment Requirements (SEARs). The assessment has found that where there are potential impacts, they can be appropriately mitigated and managed to ensure a suitable and appropriate outcome for the Site. A summary of the relevant environmental assessment is provided in Section 7.0 of this report.</p>
<p>Who is responsible for approving it?</p>	<p>The development is declared SSD pursuant to State Significant Development Declaration Order 2025 (No 7) Part 2, section 4(a). The Minister for Planning and Public Spaces, or their delegate will be the consent authority for the SSDA.</p>
<p>Why should it be approved?</p>	<p>The proposed development should be approved for the following reasons:</p> <ul style="list-style-type: none"> • It is permissible with consent and meets the relevant statutory requirements of the relevant environmental planning instruments, including the State Environmental Planning Policy (Transport and Infrastructure) 2021 and the Randwick LEP 2013; • It will support the development of a world-class education precinct and strengthen UNSW's presence within the Randwick Health and Education Precinct in accordance with the Randwick City Local Strategic Planning Statement and Randwick City Council Vision 2040: Draft Housing Strategy; • It is of a high quality architectural and landscape design and will positively contribute to the renewal of Barker Street; • It directly responds to the critical shortage of student accommodation by providing a substantial number of purpose-built beds in a central campus location and support safe, inclusive and affordable accommodation through diverse accommodation types, improved amenities and strong connections to open space; • It will be integrated with the surrounding context and provides a high level of pedestrian amenity and permeability at ground level with high quality public domain and landscaping treatments; • The Site is extremely well serviced by public transport infrastructure. The development will therefore support the strategic imperative of delivering high quality development in conjunction with public transport capacity and bicycle parking; • It will concentrate impacts within the campus, in an area already utilised for the purpose and which optimises the use of existing infrastructure. It will therefore not result in any unreasonable adverse environmental impacts that cannot be appropriately managed through provided mitigation measures; and • It is suitable for the Site and is in the public interest. <p>A detailed justification of the proposed development is provided within Section 8.0.</p>

1.0 Introduction

This Environmental Impact Statement (EIS) has been prepared on behalf of University of New South Wales (UNSW) (the applicant) to assess the economic, environmental and social impacts of a State Significant Development Application (SSDA) for the development of three (3) buildings comprising on-campus student accommodation at 39 Barker Street, Kensington (the Site).

The project has been identified by the NSW Housing Delivery Authority (HDA) as a key development to help accelerate the delivery of well-located, diverse and affordable housing in metropolitan Sydney. It was declared to be State Significant Development under Declaration Order (No 7) 2025, dated 13 May 2025. The redevelopment of the Site will deliver significant community benefits through the provision of a high-quality on-campus student accommodation development, with public domain upgrades and the provision of communal spaces for the college residents.

UNSW is recognised as an Australian University under Schedule 1 of the *Higher Education Act 2001* and, therefore, the proposal is 'Crown Development' pursuant to Division 4.6 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and Clause 294(b) of the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulations).

The EIS has been prepared in accordance with the requirements under Division 5 of the EP&A Regulations and having regard to the SSD Guidelines and Industry-Specific SEARs. It is submitted to the NSW Department of Planning, Housing and Infrastructure (the Department) pursuant to Part 4 of the EP&A Act. This EIS is based on the Architectural Drawings prepared by Bates Smart (refer to **Appendix F**) and other technical studies appended to this report (see Appendices List).

1.1 Applicant Details

Table 1 Applicant details

Applicant Details	
Applicant name	University of New South Wales (UNSW)
Applicant address	F23314, Gate 11, Botany Street, Rm314, L3, F23 Matthews, UNSW Sydney
ABN	57 195 873 179

1.2 Project Overview

The proposed redevelopment of the existing Barker Street student accommodation represents a substantial opportunity to provide much-needed on-campus student accommodation, in response to strong and growing student demand. The development will deliver approximately 762 beds across three buildings containing five separate colleges and non-student residences, as well as high quality communal spaces and shared facilities.

The increased provision of purpose-built student housing directly aligns with the strategic vision for the Randwick Health and Education Precinct and supports a number of planning policies at a local and state level that emphasise the delivery of housing in well-connected and well-serviced areas. Importantly, UNSW must expand its on-campus accommodation to support broader university growth, particularly given the continued expansion of the international tertiary education sector which is Australia's largest export-service industry in NSW.

The redevelopment of the underutilised Barker Street student accommodation has been identified as a critical development opportunity to meet this need. The project is a critical priority for UNSW given the shortage of dedicated student accommodation in the area and the impending changes to Federal migration policy which will cap enrolments unless adequate student accommodation is in place.

Delivering additional on-campus accommodation will meet immediate demand while also easing pressure on the private rental market, which is already strained by the broader housing shortage. By enabling more students to reside in dedicated student housing, the proposal reduces competition for rental apartments in surrounding suburbs and contributes to broader housing affordability. The project will be developed and operated by the University and its affiliates whose primary focus is on the welfare of students. Accordingly, it will provide safe, affordable and appropriately managed housing, in contrast to off-site accommodation where the primary emphasis is often commercial return.

Overall, the proposal will make a significant contribution to housing diversity, provide essential infrastructure to support UNSW's growth, and strengthen the broader Health and Education Precinct. Subject to planning approval, construction is anticipated to commence in January 2027 and conclude by December 2029 which is a critical date to align with the start of the 2030 academic calendar.

1.3 Project Objectives

As noted above, the principal objective of the project relates to the redevelopment of the existing underutilised Barker Street student accommodation to meet the significant demand for new on-campus student housing. Specifically, the project objectives include:

- Deliver a sustainable, inclusive, and socially engaging student accommodation facility on the N13 Site at UNSW Kensington to relieve the PBSA undersupply (forecast shortfall of 4,857 beds in 2025), support the University's Progress for All strategy by promoting safety, accessibility, and environmental responsibility, and help ease pressure on the local housing market through the creation of high-quality, affordable student beds. Strong connection to Bidjigal Country that provides an inclusive and culturally safe place where Indigenous residents are supported emotionally and academically, and where Indigenous culture can be experienced and celebrated by residents from all nations.
- A facility with strong appeal to students that enhances the on-campus university experience, promotes academic success and assists in attracting and retaining students at UNSW.
- An innovative, visually appealing and highly functional facility that creates a legacy of sustainable living, represents the values, aspirations and identity of UNSW and positively contributes to the on-campus and surrounding environment.
- Seamless integration of life and learning by adopting a comprehensive and integrated approach to design, support services, activation, sustainability and digital connectivity to support residents' health, mental wellbeing and enjoyment of UNSW university life.

1.4 Project Background

1.4.1 SSD Declaration

The project has been identified by the NSW HDA as a key development to help accelerate the delivery of well-located, diverse and affordable housing in metropolitan Sydney.

Following the Applicant's expression of interest (EOI) application 239947, the HDA considered and recommended to the Minister that the project be declared SSD under section 4.36(3) of the EP&A Act on 2 May 2025. Following this recommendation, the Minister declared the project as SSD on 13 May 2025 under the *State Significant Development Declaration Order 2025 (No 7)*.

The inclusion of the Site within the HDA program reflects:


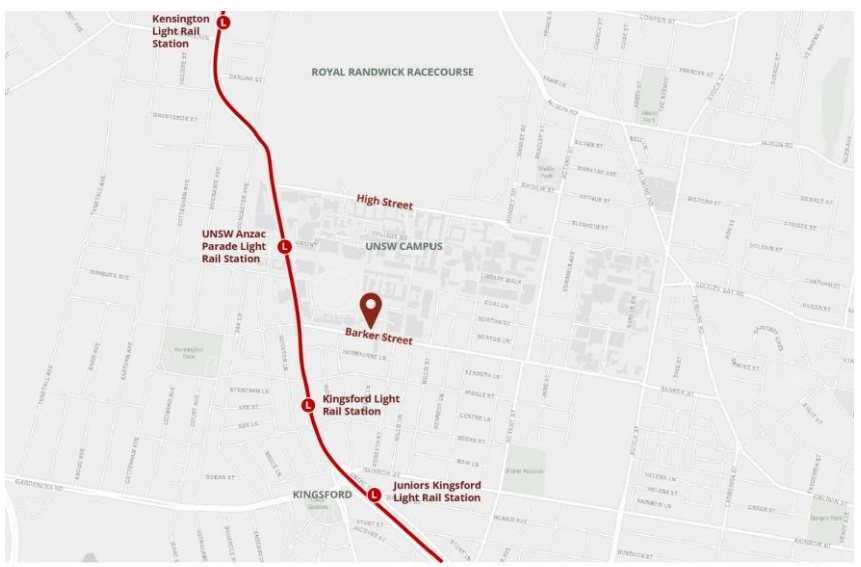



- The Site's strategic location within the UNSW campus;
- The Site's close proximity to public transport, existing infrastructure and services; and
- The alignment with State priorities, including the delivery of housing in well-located area.

This EIS has been prepared to support the SSDA, consistent with the project's nomination under the HDA framework.

2.0 Site Analysis

This chapter of the EIS identifies the key features of the Site and surrounds pertinent to the development and which the design of the proposal responds to.

2.1 About the Site

 Address	39 Barker Street, Kensington	 <p style="text-align: center;">Figure 1 Location plan</p>
 Legal Description	A portion of Lot 3 in DP1264172	
 Site Area	8,905m ² (approx.) Survey Plan at Appendix E.	
 Owner	UNSW	

2.2 Locational Context

The UNSW campus is located within the City of Randwick Local Government Area (LGA) at High Street, Kensington. The Site is located on the traditional lands of the Bidjigal Peoples. Situated within the UNSW Kensington campus, the Site is in close proximity to public transport. An aerial image of the Site is shown below in **Figure 2**.



Figure 2 Aerial image of the Site

2.3 Key Information about the Site

Table 2 below provides a summary of the key characteristics of the Site.

Table 2 Site characteristics

The Site is located within the UNSW Kensington campus, and is currently occupied by existing student accommodation known as the Barker Street Apartments, as shown in **Figure 3** to **Figure 6**. The Site is located on the lower side of the UNSW campus, along the southern boundary, and is south of the main university mall.

The existing building is arranged in a staggered formation, between 3 and 5 storeys in height, and is used for student accommodation. The buildings feature a pale yellow brick materiality, complemented by pitched angular roofs. The buildings have internal communal courtyards that provide shared outdoor spaces for student residents. The Site has a frontage of 143m along Barker Street, and 50m from the campus perimeter (including Southern Drive).



Figure 3 View of the Site from within UNSW



Figure 4 Apartment entrance



Figure 5 View of apartments from Barker Street

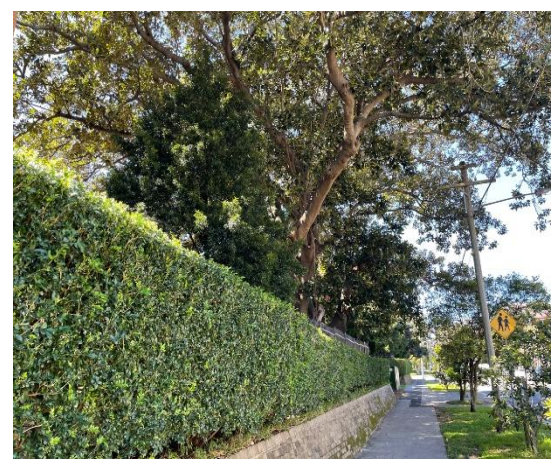


Figure 6 View of fig trees from Barker Street



Pedestrians: The Site can be accessed by pedestrians via Barker Street and from within the UNSW campus via Southern Drive.

Bicycle: Separated bicycle paths are located on Doncaster Avenue and Houston Road, which provides a north-south bicycle route connecting Kingsford and Kensington to the Anzac Parade bicycle route at Centennial Park. A shared path (shared by pedestrians and cyclists) on Alison Road and Wansey Road provides a connection between the campus, Randwick Racecourse and Centennial Park.

Light Rail: The UNSW Anzac Parade Light Rail Station is located 500m from the Site, which is directly accessed via the University Mall.

Bus: Bus stops are located on Barker Street, immediately adjacent to the Site, as well as along Anzac Parade. These stops connect UNSW to Sans Souci, Little Bay and Central Sydney.

Vehicles: Vehicular access to the Site is gained via Gate 14 (along Barker Street) which provides vehicular access to the northern side of the building via Southern Drive.

There are several significant trees on the Site, illustrated in **Figure 7**. The most significant trees are located around the perimeter of the Site, comprised primarily of *Ficus* species (*Ficus rubiginosa*, *Ficus macrophylla*, *Ficus macrocarpa* (hillii)). Importantly, there is a *Ficus macrophylla* located on the southern boundary of the Site, which stands out for its size and prominence. The design of the development has ensured the retention and protection of this tree (refer to **Section 7.4**).

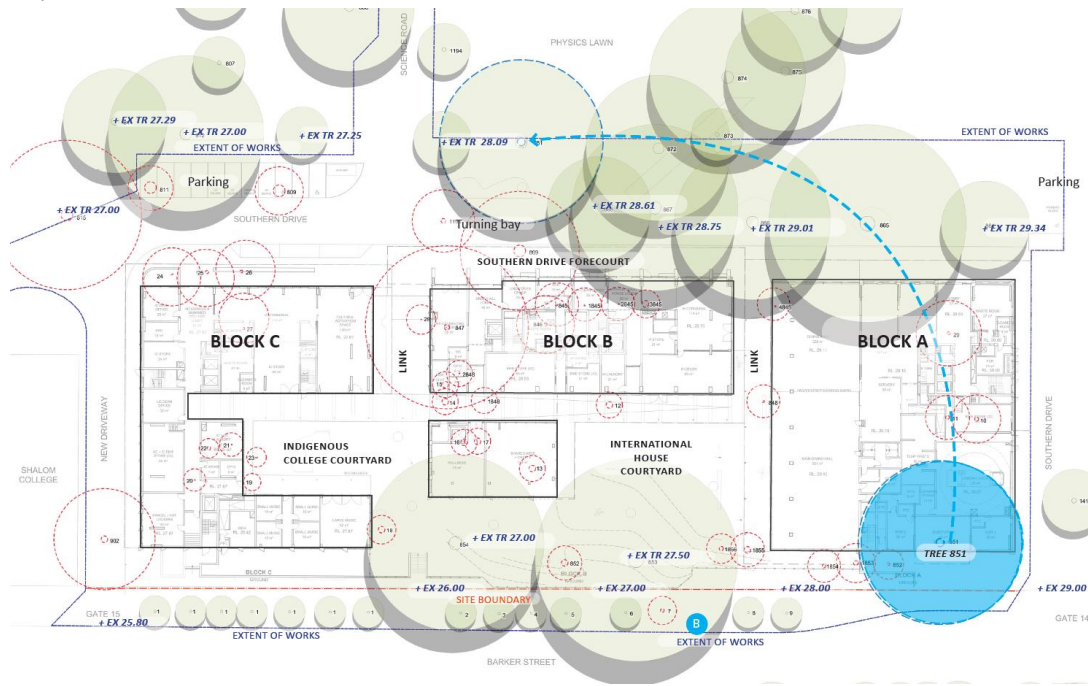


Figure 7 Existing trees on the Site

Source: Aspect Studio

The UNSW Kensington Campus contains the C2 'Old Tote & Figtree Theatre' General Conservation Area, as seen in **Figure 8**. This conservation area is located on the opposite side of the campus, some 300m+ from the Site and with other significant developments in between.

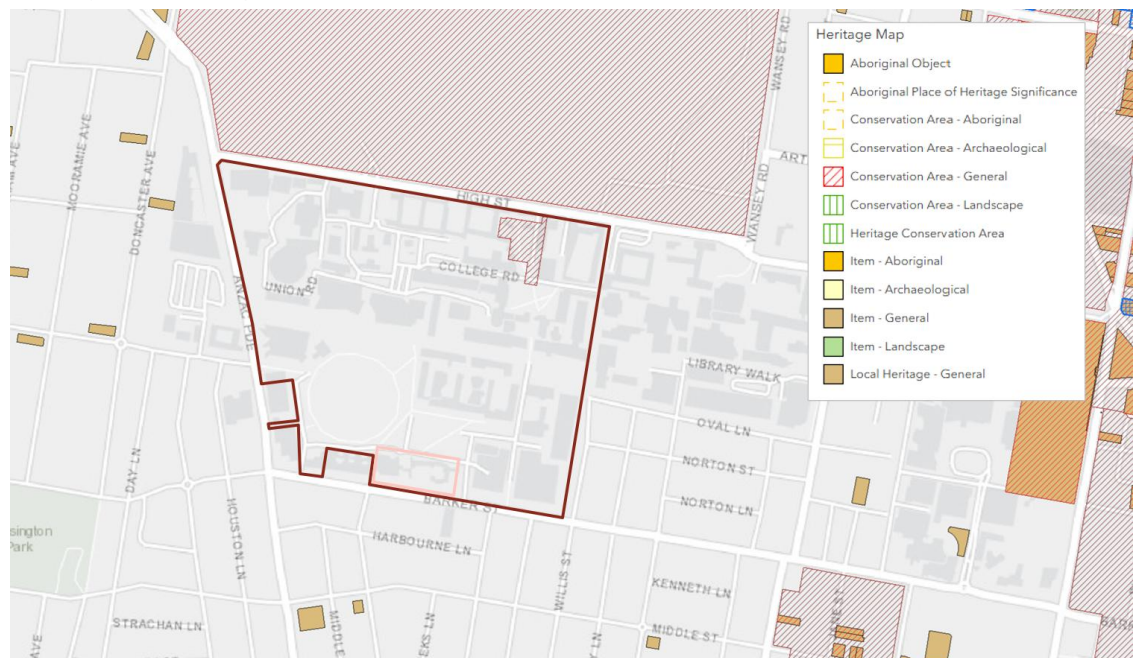


Figure 8 Heritage mapping (approximate Site outlined in red and pink) NOT TO SCALE

 Topography

The Site is regular in shape, and is sloped towards the west of the Site, from RL 29.5m in the northeastern corner, to RL 25.8m in the southwestern corner. The eastern side of the Site has a brick retaining wall, approximately 0.9m in height, that extends along the southern boundary, with the Barker Street Apartments and landscaped area above the street level of Barker Street.

 Flooding

The south western portion of the Site is subject to flooding, as identified under the Kensington - Centennial Park Flood Study. Barker Street is identified as a flood prone area (refer to **Figure 9**), due to the low point within Barker Street, with flooding occurring in storm events including the 1% Annual Exceedance Probability (AEP) and the 10% AEP.

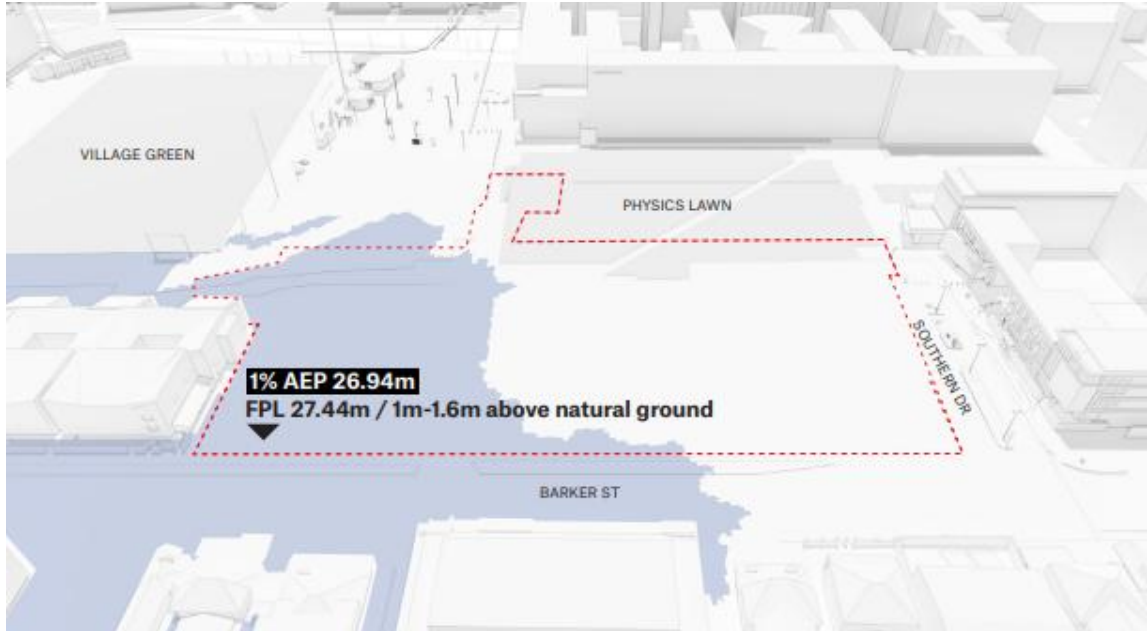


Figure 9 Portion of the Site subject to flooding

Source: Bates Smart

 Easements and Covenants

A detailed survey plan was prepared by Project Surveyors (refer to **Appendix E**). The survey identifies that the Site currently includes a number of easements, covenants and leases, however these apply to the entire UNSW Campus, and do not affect the proposed development.

 Geotechnical Conditions

A geotechnical report, prepared by Douglas Partners (refer to **Appendix U**) found various subsurface conditions across the Site, with fill soils consisting of silty sand, clayey sand, sandstone of gravel and cobble. Underlying natural soils further identified non-plastic, fine to medium grained sand, initially loose and becoming very dense with depth. Groundwater was encountered during on-site testing (however attributed to the rainfall experienced during monitoring). For further details, refer to **Section 7.9** of this report.

2.4 Surrounding Context

2.4.1 Existing Context

Table 3 Surrounding development context

A large public open space, named the 'Physics Lawn' is located immediately north of the subject Site (**Figure 10**). Beyond this are several university buildings, and education facilities including classrooms, laboratories, communal space and student accommodation (**Figure 11**). High Street is the northern boundary of the campus, and Royal Randwick Racecourse is located immediately adjacent to the northern campus boundary.



Figure 10 Physics lawn



Figure 11 Buildings within the university campus

The Site is located along the southern boundary of the UNSW Campus. Immediately opposite the Site is the start of the residential area of Kingsford (refer to **Figure 12**) and the Kingsford Early Learning Centre (childcare centre). The area is characterised by low and medium density housing, including detached dwellings, and 3-4 storey apartment buildings and townhouses, as seen in **Figure 13**. The residential area transitions into higher density buildings, closer to the Kingsford Town Centre.



Figure 12 Kingsford residential area



Figure 13 Opposite apartment building at 32 Barker Street



North



South

To the east of the Site is the UNSW School of Optometry and Vision Science building (refer to **Figure 14**), and the Barker Street carpark, which is located at the eastern boundary of the campus. Further east is the low-medium density residential neighbourhood of Kingsford, as seen in **Figure 15**. This residential area continues through to Coogee Beach.

>
East



Figure 14 UNSW School of Optometry and Vision Science



Figure 15 Low density residential neighbourhood

Immediately west of the Site is the Shalom Residential College (refer to **Figure 16**), followed by the 'House at Pooh Corner' children education and care centre. Continuing west is Anzac Parade, a major classified road which services vehicles and light rail services (refer to **Figure 17**). Anzac Parade connects the Kensington and Kingsford town centres, which comprise high density residential and co-living developments.

<
West



Figure 16 Shalom residential college



Figure 17 Anzac parade

2.4.2 Future Context

The future context of the areas surrounding the UNSW campus will likely evolve over the coming years as a result of the NSW Government's Low and Mid Rise Housing Reforms (LMR). The LMR forms part of a statewide strategy to address housing supply and affordability by enabling a greater diversity of housing typologies within established, well-located areas.

The UNSW Anzac Parade and Juniors Kingsford light rail station have both been identified as LMR stations under Stage 2 of the LMR reforms. This extends the LMR framework to enable terraces, townhouses and low- to mid-rise apartment buildings (up to six storeys) within an 800-metre walking catchment of nominated town centres and railway or light rail stations. These provisions override inconsistent Local Environmental Plan (LEP) controls through the application of non-discretionary development standards relating to building height, floor space ratio, setbacks, lot sizes and parking.

As illustrated in **Figure 18**, the areas surrounding the UNSW campus highlighted in yellow permit residential buildings up to six storeys in height. We note that some developments will likely also take advantage of the in-fill affordable housing

bonus available under Chapter 2 of the *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which will provide for buildings of up to eight storeys.

Over time, the application of these provisions to surrounding land will facilitate a gradual transformation of the broader UNSW campus context from predominantly low-density streetscapes to cohesive mid-rise residential neighbourhoods. This transformation will support the NSW Government's strategic objectives for housing diversity and supply, while concentrating growth in areas with established infrastructure and services.

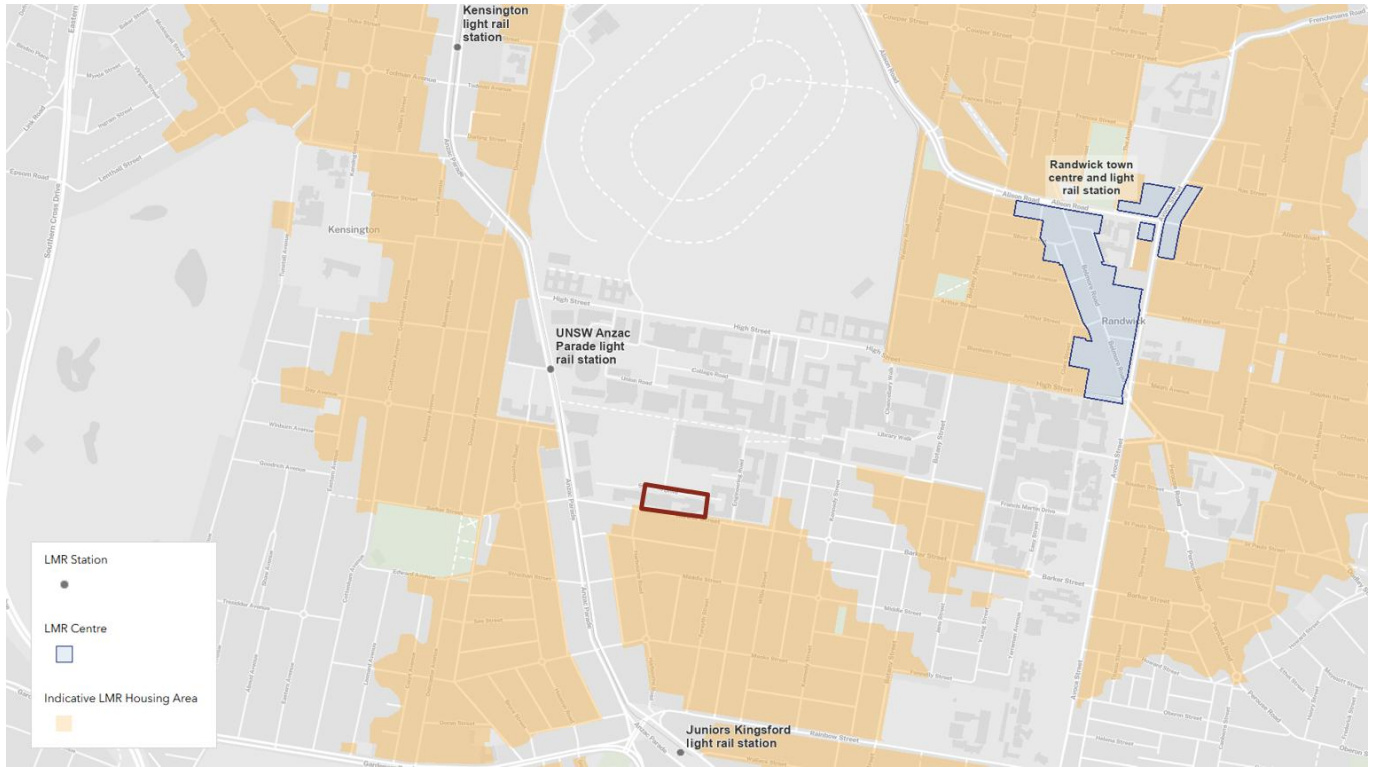


Figure 18 Low and mid rise housing policy context (approximate Site outlined in red)

3.0 Strategic Planning Context

This chapter identifies the key strategic issues that are relevant to the assessment of the project, including the projects consistency with relevant Government policies, the strategic planning framework, the relationship with other surrounding development and any planning agreements. The chapter also analyses the alternative development options explored and justifies the current proposal in context of the strategic planning framework.

3.1 Strategic Planning Framework

This section identifies the key strategic issues that are relevant to the assessment of the project, including the projects consistency with relevant Government policies, the strategic planning framework, the relationship with other surrounding development and any planning agreements, set out in **Table 4**.

Table 4 Summary of strategic context

Strategic Plan	Strategic Context
National Housing Accord 2022	<p>The National Housing Accord (the Accord) is a housing initiative that aims to increase affordable housing supply by 1.2 million over a 5-year period from mid-2024. Supported by all levels of Government, investors and the construction sector, the Accord includes federal funding of \$3.5 billion to States, Territories and Local Government to deliver housing targets, including \$350 million to deliver 10,000 affordable homes. State and Territory Governments have agreed to an additional 10,000 affordable homes, increasing the total of up to 20,000 affordable homes. Under the Accord, NSW has agreed to build 377,000 new homes and 3,100 affordable homes. The Accord outlines that housing be well-located and situated within areas that offer pre-existing infrastructure capacity and continuing investments.</p> <p>In this context, the proposed development will contribute to broader housing supply objectives by providing 732 on-campus student accommodation units within a key education precinct in Sydney, reducing reliance on the private rental market for students and supporting efficient use of existing infrastructure in a well-located area.</p>
Housing 2041 – NSW Housing Strategy	<p>Housing 2041 is the NSW Government’s 20-year vision for the delivery of housing across the state. The strategy reiterates the Government’s 20-year commitment to achieving secure, comfortable, diverse, affordable and resilient housing. Housing 2041 establishes four pillars which underpin the future of housing, and the proposed development is closely aligned with each of these pillars in the following manner:</p> <ul style="list-style-type: none"> • Supply: The proposed development will provide on-campus student accommodation for 732 students, increasing the supply of on-campus accommodation for domestic and international students. • Diversity: The provision of on-campus student accommodation contributes to the diverse range of housing types currently being provided across Sydney, and will reduce rental pressure on existing short-term rentals and student accommodation within the Randwick/ Kingsford area. Importantly, the proposed development increases the diversity of student accommodation, providing a unique experience of on-campus student accommodation, managed by UNSW. • Affordability: The on-campus student accommodation model proposed in this project offers students affordable options, encompassing accommodation and meal fees for the different colleges. A variety of housing types are provided at different levels of affordability for a range of students. These forms of accommodation are typically lower than the current private market for co-living/ off-campus student accommodation. • Resilience: The development of the Site will align with the principles of ecologically sustainable development, contributing to a highly sustainable development outcome.
Greater Sydney Region Plan: A Metropolis of Three Cities	<p>The Greater Sydney Region Plan is the overarching strategy for growing and shaping the Greater Sydney Area. It sets a 40-year vision (to 2056) and establishes a 20-year plan to manage growth and change for Greater Sydney in the context of social, economic and environmental matters. The Plan provides housing targets to inform the District Plans for a 0–5-year timeframe, as well as Council specific 6–10-year targets for LGAs. The 0–5-year housing target for Randwick LGA is 4,000 new houses, however, it is noted this is likely to increase with the release of the next iteration of strategic plans for Sydney. The consistency of the proposed development with the directions of the Greater Sydney Region Plan is outlined below.</p> <ul style="list-style-type: none"> • A city supported by infrastructure: The proposed development supports integrated land use and infrastructure planning by concentrating student housing within an existing precinct, designed to accommodate growth in population, services and employment. The proposed development leverages existing infrastructure investments, including the Light Rail, to provide student housing in a well-located and serviced area. • A city for people: The proposal seeks to provide campus student accommodation on the UNSW campus, addressing the specific needs of domestic and international students whilst contributing to the required

Strategic Plan	Strategic Context
	<p>725,000 new homes by 2036 to meet demand based on current population projections. This additional housing supply relieves pressure on surrounding residential areas and ultimately promotes housing diversity within the City of Randwick LGA.</p> <ul style="list-style-type: none"> • Jobs and skills for the city: The proposed development strengthens the Randwick Health and Innovation Precinct as a globally competitive hub, attracting talent, supporting workforce development and encouraging collaboration between students, researchers, clinicians and industry professionals.
<p>Eastern City and Northern District Plan</p>	<p>The Eastern City District Plan underpins the Greater Sydney Region Plan and sets out the 20-year vision for the district through 'Planning Priorities' that are linked to the Region Plan. Under this Plan, the Site and the UNSW campus is located within the Randwick Health and Education Precinct, which is an identified collaboration area.</p> <p>The proposed development aligns with Planning Priority E1 – Planning for a city supported by infrastructure, by concentrating housing in areas which have benefitted from significant infrastructure investment. The Randwick Health and Education Precinct is serviced by the Light Rail, Prince of Wales Hospital and UNSW Health Hub. Providing student housing in this well-serviced location optimises the use of existing infrastructure and supports continued investment into these areas.</p> <p>The proposed development is directly in response to Planning Priority E5 – Providing housing supply, choice and affordability with access to jobs, services and public transport. The provision of campus student accommodation increases the diversity of housing within the LGA and reduces pressure on other residential typologies through 'right-sizing'. The Site is strategically located close to public transport services and is within a health and education precinct, offering job opportunities to students. Randwick is identified as one of the key housing markets within the Eastern City District.</p>
<p>Randwick City Local Strategic Planning Statement</p>	<p>The Randwick City Local Strategic Planning Statement (LSPS) provides a 20-year vision for the land use planning with the City of Randwick LGA, outlining the desired future direction for housing, employment, transport, recreation, environment and infrastructure. The proposed development is consistent with the following LSPS planning priorities:</p> <p>Planning priority 1: Provide diverse housing options close to transport, services and facilities</p> <p>The proposed development directly responds to this planning priority, seeking to increase the provision of campus student accommodation within the UNSW campus. This will ease pressure for existing student accommodation, and short term rental accommodation within the LGA. The Site is strategically located within the UNSW campus, close to light rail and bus services as well as the Kingsford Town Centre.</p> <p>Planning priority 9: Focus economic development, innovation and job creation in our strategic centres</p> <p>The proposed development seeks to increase the provision of, and improve access to campus student accommodation, allowing increased opportunities for domestic and international students. The integration of student housing with the education and health hub at UNSW and Randwick Hospitals aligns with the intent to create 'hubs' of education, health and housing.</p>
<p>Randwick City Council Vision 2040: Draft Housing Strategy</p>	<p>The Randwick City Council Vision 2040: Draft Housing Strategy (Housing Strategy) establishes the strategic framework for residential growth within Randwick City to 2040. The Housing Strategy responds to Council's Local Strategic Planning Statement and details where additional housing will be provided and how Council will ensure appropriate infrastructure provisions and high quality design.</p> <p>The proposed development is consistent with the following priorities:</p> <ul style="list-style-type: none"> • Diverse housing to meet the needs of our community: The proposed development will increase the proportion of campus student accommodation available in the Randwick area, surrounding UNSW. This will reduce existing pressures on short-term rental housing that is currently occupied by students. • Focus growth in and around town and strategic centres close to transport, jobs and services: The proposed development concentrates growth on the UNSW campus, which is close to bus and light rail services. Additionally, it is close to the Kingsford town centre, and provides students with job opportunities within the Randwick Health and Education Hub.
<p>Future Transport 2056</p>	<p>The Future Transport 2056 Strategy (FTS) sets out the NSW Government's vision for transport in a growing and changing state. It guides the community on strategic directions for future planning integrated with evolving transport networks throughout the Sydney metropolitan area and the state. The FTS delivers a framework that informs place-based planning and policy decisions to achieve successful outcomes, aiming to connect NSW through a world-class, safe, accessible, efficient and reliable transport system.</p>

Strategic Plan	Strategic Context
	<p>The proposed development aligns with the following objectives of the FTS:</p> <ul style="list-style-type: none"> • C1.1 Enhance 30-minute metropolitan cities: The proposed development directly aligns with this objective, as it seeks to provide campus student accommodation on a world class university campus that is well connected to the rest of Sydney. The accommodation is located in proximity to a number of town centres, as well as the Randwick Health Hub. Importantly, the development will enable a greater number of students to reside on campus, meaning they do not have to travel from other centres for study. • C2.1 Support car-free, active, sustainable transport options: The proposed development seeks to encourage sustainable transport options and public transport, over car dependency. The campus student accommodation is extremely well located, in proximity to light rail services and bus routes that provide easy access to coastal suburbs of Sydney, as well as the CBD. Accordingly, the development does not seek to provide parking for its residents.
<p>Better Placed</p>	<p><i>Better Placed</i> is a design policy that aims to improve the quality of the built environment. It promotes and supports better outcomes for places and spaces in response to the challenges faced in NSW including health, growth and urban renewal. Ultimately, the policy prioritises the community to ensure that all future development improves quality of life.</p> <p>The proposed development satisfies the following objectives:</p> <ul style="list-style-type: none"> • Better fit: The proposed development is consistent with the local context and character of the area, contributing to the overall character of Randwick/ Kingsford as a Health and Education Hub with prominent student housing. The scale of the development is consistent with the existing buildings within the UNSW Campus, and the developments being constructed in the Kensington and Kingsford town centres. • Better performance: The proposed development aligns with environmental sustainability measures by using sustainable materials and incorporating green space into the design to contribute to local ecology. • Better for community: The Site's proximity to various public transport nodes and routes will encourage active transport and reduce private car usage and transport costs. • Better for people: The proposed development will be a safe, liveable space that is catered to student's lifestyles. The proposal also provides non-student accommodation, enabling family members, visitors and academics to enjoy the communal spaces, and the high-quality design of the proposal. • Better working: The proposed development utilises the Site efficiently, ensuring the Site is well-designed to increase liveability and evolving lifestyles on the UNSW campus. • Better value: The proposed development will offer spaces that are socially and environmentally beneficial to students and the broader university campus. • Better look and feel: The proposed development has been carefully designed and will deliver a high-quality development that is accessible and attractive. The development has been designed to positively contribute to the streetscape of Barker Street, as well as within the UNSW campus.
<p>Connecting with Country</p>	<p>The <i>Connecting with Country</i> framework is essential in maintaining and protecting Aboriginal heritage and uniting Aboriginal and non-Aboriginal people to work together in project development. In alignment with international and domestic laws and policies, the framework aims to remedy the continuous impacts of colonisation and provide a voice to Aboriginal people in development. The framework encourages reliance on local Aboriginal knowledge of Country to preserve and care for the land, along with supporting the local Aboriginal community. Community consultation with key First Nations stakeholders has informed the design of this proposed development, with key design elements incorporating and reflecting the local Aboriginal history, ecology and cultural values (refer to Section 4.4).</p>

3.2 Cumulative Impacts

A review of other significant developments currently being undertaken or planned in the vicinity of the Site has identified the following projects, outlined in **Table 5**, which have been considered in the environmental impact assessment for this proposal (refer to **Section 7.0**).

Importantly, there are a number of other developments currently being prepared or assessed within the UNSW Campus which need to be assessed in regard to the cumulative impacts of this project. These developments include:

- **SSD-79257208:** Alterations and additions to the existing Barker Street car parking building (N18);
- **SSD-73456206:** Upgrade and extension of the UNSW Biolink building (E25);
- **SSD-74670005:** The construction and operation of a teaching and learning facility (G25); and
- **SSD-78270959:** The construction of a multi-storey aquatic and fitness centre (B21).

As the proposed development will likely have overlapping construction timeframes to the abovementioned SSDs, the relevant subconsultant reports have considered the cumulative impacts of these developments for students and surrounding residents. A Detailed Construction Management Plan will be prepared and will be developed in consideration of these overlapping projects.

In particular, the N18 Barker Street Carparking Development will have cumulative impacts for the proposed development. Within the N18 SSDA, Southern Drive is proposed to become a signalised intersection. Whilst this will have beneficial impacts to the proposed development, this SSDA does not rely on the proposed alterations and additions within SSD-79257208.

The cumulative impacts assessment recognises that the character of the Kensington/ Kingsford area has been subject to change in recent years, with a significant number of purpose-built student accommodation developments being approved and constructed. The Draft Randwick Development Control Plan 'E7 Housing Investigation Areas' has highlighted Kensington North, and Kingsford South among other areas as key housing investigation areas. These areas have been targeted as opportunities for developments to *'provide quality affordable housing to meet local housing needs, particularly for key workers, essential workers and students'*. These housing investigation areas have resulted in the character of these suburbs, and overall LGA changing, encouraging higher density developments to be built across the area.

Where relevant, these developments have been considered in the environmental impact assessment for this proposal in **Section 7.0**.

Table 5 Developments in proximity to the subject site

Project name	Description	Timing (at the time of writing)	Proximity to subject Site
SSD-79257208 8 High Street, Kensington	The SSDA seeks consent for alterations and additions to the existing Barker Street Car Parking Station Building (N18). Specifically, the proposal will include: <ul style="list-style-type: none"> • Two (2) full additional levels and a further two (2) part additional levels, to provide a total of approximately 500-550 parking spaces. • New vehicle exit to align with the existing pedestrian access to Willis Street. • New end-of-trip facilities. • Solar panels to the roof. 	Preparation of EIS.	Within the UNSW Campus
SSD-74670005 8 High Street, Kensington	The SSDA seeks approval for the construction and operation of a teaching and learning facility at the G25 site, within the upper campus of UNSW. The proposal is for a new, purpose built education building providing flexible and adaptable teaching and learning spaces. Specifically, the proposed works include the construction of an eleven (11) storey (plus roof plant/services) teaching and learning building with approximately 20,200m ² of gross floor area, comprising: <ul style="list-style-type: none"> • Basement including plant/services, bike storage, End of Trip facilities and staff amenities, ancillary service areas such as Mail and Print rooms. • Ground level Food and Beverage premises and informal educational spaces. • Teaching and Learning spaces and workspaces for UNSW Faculties for other levels. • Rooftop level including landscaping outdoor terrace, multifunctional space, mechanical plant and services. 	Response to Submissions Stage.	Within the UNSW Campus
SSD-78270959 High Street, Kensington, NSW 2052	The project comprises the demolition of the existing Building B21, earthworks, and construction of a multi-storey aquatic and fitness centre and the construction of an indoor sports facility within the Village Green precinct, including the internalisation of the existing basketball court within the site.	Preparation of EIS.	Within the UNSW Campus

Project name	Description	Timing (at the time of writing)	Proximity to subject Site
SSD-73456206 356 Anzac Parade, Kensington	Partial demolition of the existing building, minor earthworks, extension of the existing building, internal and external alterations and facade works including the following key components: <ul style="list-style-type: none"> • Maximum building height of approx. RL 88.16 metres (or 6 storeys plus roof plant). • Minor excavation to a depth of approximately RL 50.85. • Total GFA of 7,620m² for use as University teaching and research spaces and the potential for laboratory spaces. 	Currently under assessment.	Within the UNSW Campus
DA/242/2025 229 Anzac Parade, Kensington NSW 2033	Integrated development application for demolition of existing structures and the construction of a part seven (7) / part eight (8) storey mixed-use co-living development comprising of ground floor retail/commercial tenancy, and 70 self-contained accommodation rooms on upper levels, communal living areas and central courtyard, roof top communal space, and lower ground level containing plant and service areas, waste rooms, bicycle storage, motorbike parking and car parking spaces and substation, ancillary, landscaping and associated site works.	Refused on 10/07/2025 by Randwick Local Planning Panel.	300m west of the Site
DA/415/2022 229 Anzac Parade, Kensington NSW 2033	Integrated development application for demolition of existing structures and construction of a part nine (9) part six (6) mixed use development comprising 1 retail premises, 20 residential apartments, and 15 car parking spaces.	Refused by the Randwick Local Planning Panel on 09/02/2023. Approved by Land and Environment Court on 11/08/2023.	300m west of the Site
DA/168/2023 215B Anzac Parade, Kensington NSW 2033	Demolition of 250 space car park and the construction and use of five(5) buildings for mixed uses including student accommodation, UNSW university space, retail, communal and publicly accessible open space (West Mall), and basement car parking.	Approved on 11/05/2023. No appeared construction.	650m west of the Site
DA/630/2021 203-207 Anzac Parade, Kensington NSW 2033	Demolition of existing structures and construction of a six-storey shop-top housing development comprising ground floor retail with five (5) levels above containing 31 boarding rooms and one (1) manager's room, communal areas, four(4) car parking spaces (including 1 carshare space), six (6) motorbike spaces, six (6) bicycle spaces, landscaping and associated works.	Approved on 13/10/2021. No appeared construction.	950m north of the Site
DA/20/2021 177-197 Anzac Parade, Kensington NSW 2033	Construction of a 10-storey mixed-use development comprising ground floor retail/café, a boarding house for student accommodation comprising 601 boarding rooms, rooftop open space, basement carparking, landscaping and associated works.	Approved by the Land and Environment Court on 03/12/2021. Final construction stages.	1km north of the site
DA/414/2020 172 Anzac Parade, Kensington NSW 2033	Integrated Development Application for demolition of existing structures and construction of an 18 storey mixed-use development comprising basement, ground / first floor commercial, a boarding house comprising 175 boarding rooms with a manager's room and communal facilities, provision of ground level courtyard and pedestrian through-sitelink, earthworks, landscaping, signage, and associated works.	Approved on 20/08/2020. Under construction.	1km north of the Site

Project name	Description	Timing (at the time of writing)	Proximity to subject Site
DA/810/2021 137 Anzac Parade, Kensington NSW 2033	Integrated development application for demolition of existing structures, site remediation, and construction of a 9 storey mixed use development comprising ground floor commercial/retail premises and 142 dwellings on floors above, 2 levels of basement parking with vehicular access from Anzac Parade, tree removal, associated landscape and public domain works (variation to building height).	Approved on 13/07/2022 by the Sydney Eastern City Planning Panel. Under construction.	1.3km north of the Site
DA/395/2022 77-79 Anzac Parade, Kensington NSW 2033	Integrated development for demolition of all structures on site, construction of new shop top housing development comprising four distinct buildings having 9 storey fronting Anzac Parade and 4 storey fronting Boronia Street with 2 basement levels for 245 parking spaces, ground level retail premises including a supermarket, a total of 197 dwellings including 6 affordable dwellings, communal open spaces, removal of trees, amalgamation of existing lots, associated site and landscape works.	Approved on 31/01/2024 by the Sydney Eastern City Planning Panel. No appeared construction.	1.6km north of the Site

3.3 Project Agreements

There are no Voluntary Planning Agreements that currently apply to the Site, nor are there any proposed as part of this application.

3.4 Analysis of Alternatives

The project team has explored a number of alternative development options to achieve the project objectives. An analysis of the key options considered is provided below.

3.4.1 Option 1 – Existing Site Remains Unchanged

Under the ‘do nothing’ scenario, the Site would continue its current use as underutilised Barker St student accommodation. This option does not provide a desirable outcome as it fails to contribute towards addressing the student housing demands and needs within metropolitan Sydney. According to the Australian Bureau of Statistics (ABS), the number of international students studying in Australia has more than tripled over the past 20 years, increasing from 182,137 students in June 2004, to 566,006 students in June 2024.

Doing nothing on this Site would not only contradict the reasoning for the project being accepted into the HDA (including that the project can be realised quickly and deliver housing before 2029), but it would also increase supply pressures on existing student accommodation developments and competition in the private rental market with other demographics. The Australian Student Accommodation 2024 Report, prepared by CBRE estimates that there is an acute undersupply of student accommodation within Australia, with the current student accommodation ratio equating to 1 bed per 15 students. Therefore, it is extremely important that the development of student accommodation through the proposed development is realised, to relieve housing stress for students and the broader community.

3.4.2 Option 2 – Develop the Site for a Different Purpose

This option involves the consideration of alternative uses for the Site. However, the development of the Site for campus student accommodation is considered to be the most appropriate use, as it replaces existing accommodation and supports the strategic plans for UNSW and will support current and future students. This offers the opportunity for students to be close to learning facilities, recreational spaces, shops, services and public transport.

3.4.3 Option 3 – Alternative Designs

The proposed development has undergone an extensive design process, ensuring that the final design meets the functional requirements of the UNSW campus, the amenity needs of students and academics, whilst recognising the surrounding context and site constraints. Massing options for the Site were developed with key considerations including the bulk and scale of the surrounding developments, the Randwick LEP 2012 height control and the need to retain as many of the high-value fig trees on the Site.

The detailed design of the proposed development is a high-quality, sustainable scheme, that ensures a comfortable and healthy environment for residents. The development significantly improves the public domain and communal open space of the existing building on the Site, and optimises the yield offered by the Site. The visual interest of the building has been considered and has been designed to complement the existing university buildings on the southern portion of the campus, whilst minimising any impacts on the adjacent residential properties.

3.4.4 Option 4 – Proposed Development

The proposed development provides the best possible outcome for the Site and will deliver an enhanced campus student accommodation development that supports UNSW and the broader Kensington/ Randwick Health and Education Hub. The location of the development ensures that a range of student, visitor and academic accommodation is provided in proximity to public transportation, services and public open space. The high-quality design of the development will create a vibrant space and streetscape, improving the visual and environmental amenity of the Site. In addition, the proposed development:

- Strategically aligns with the housing needs of the Randwick LGA and relevant policy objectives;
- Will increase the supply of student housing in the Randwick area, freeing up market housing in the surrounding areas;
- Will provide a range of accommodation spaces for students, visitors, deans and international students;
- Offer high-quality communal space that will benefit students and the broader UNSW community; and
- Is well-located, in close proximity to a range of public transportation options.

3.5 Project Justification

In consideration of the Site's strategic context and the analysis of alternative options available, the current proposal is the most appropriate to achieve the objectives of the project. This is because the proposed development:

- The proposal is permissible with consent and demonstrates compliance with the *Transport and Infrastructure SEPP* and the *Randwick LEP 2012*. The development meets applicable built form, environmental and infrastructure controls and responds appropriately to relevant planning framework and the unique site context. A variation is proposed to the maximum height of building control which has been supported with a Clause 4.6 Variation request.
- The proposal aligns with State, regional and local strategies that prioritise well-located higher education infrastructure, improved housing diversity and increased student accommodation capacity in accessible precincts.
- The redevelopment of the Barker Street precinct will deliver three new buildings comprising 732 student accommodation beds across five colleges, communal services and enhanced shared amenities. The design replaces ageing stock with contemporary, high-quality buildings and integrated landscaping that significantly elevates campus amenity and supports liveability for future residents.
- The development directly responds to the critical shortage of student accommodation by providing a substantial number of purpose-built beds in a central campus location. The proposal supports safety, inclusion and wellbeing through diverse accommodation types, improved amenities and strong connections to open space. Cultural values have been embedded through engagement with Traditional Owners.
- The project aligns with the strategic direction for the Randwick Health and Education Precinct, supporting UNSW's role as a major educational institution. It contributes to the delivery of well-located, purpose-built student housing close to transport, employment, learning facilities and services, consistent with regional and local strategic planning objectives.
- The development will not result in unacceptable environmental impacts on other surrounding land uses.
- The Site is highly suitable for redevelopment, being already used for student housing, well-serviced by transport and campus facilities, and located within a major education precinct. The project delivers clear public interest benefits through the renewal of essential university infrastructure, increased housing supply, sustainable design outcomes and improved campus amenity.

Refer to **Section 7.0** of this report for a detailed justification of the proposed development.

4.0 The Proposed Development

This chapter sets out the intended uses proposed for the Site and the associated works that consent is being sought for, under this SSDA.

4.1 Project Summary

Pursuant to Division 4.7 of the EP&A Act, UNSW seeks consent for the construction of three buildings, delivering 732 on-campus student accommodation beds across five colleges, together with 30 non-student accommodation units (Dean's accommodation and short-stay accommodation), communal services and shared amenities. Specifically, the development comprises the following:

- Site preparation and excavation works, including demolition of all structures on the Site, tree removal and relocation.
- Construction of three buildings for the purpose of campus student accommodation, known as Block A, B and C, with a shared ground floor and courtyard space. Specifically, the following is proposed:
 - 8,708m² of GFA in Block A, across a 4-storey podium and 10-storey tower.
 - 7,773m² of GFA in Block B, across a 4-storey podium and 8-storey tower.
 - 6,285m² of GFA in Block C, across a 4-storey podium and 7-storey tower.
- Provision of 3,967m² of internal communal space, and 6,350m² of external communal space, across the three blocks.
- Reconfiguration of Southern Drive, including its partial closure and redirection to the western boundary of the Site, to provide driveway access.
- Associated landscaping and public domain works.
- Extension and augmentation of physical infrastructure utilities as required.

Architectural Plans and an Architectural Design Report prepared by Bates Smart illustrating the proposed development are included at **Appendix F** and **Appendix G**. An artist impression of the proposed development is shown at **Figure 19** and **Figure 20**. A summary of the key development metrics is provided in **Table 6** and a detailed description of the proposal is provided in the following sections of the EIS.



Figure 19 Artist impression of the proposed development viewed from Barker Street

Source: Bates Smart



Figure 20 Artist impression of the proposed development viewed from Physics Lawn

Source: Bates Smart

Table 6 Summary of key development metrics

Component	Proposal
Site Area	8,905m ² (approx.)
Maximum Height	RL 79.70m (Block A)
Gross Floor Area (GFA)	23,045m ²
On-campus student accommodation units	732
Non-student accommodation units	30
Setback to Barker Street	6m
Tree removal	44
Vehicular Access	Barker Street, via Gate 14 and proposed Gate 15
Parking	14 general UNSW community use spaces (including 3 accessible spaces)
Construction jobs	448 FTE
Operational jobs	20
Estimated cost of development	268,200,000 (excl. GST)

4.2 Project Area

As detailed within **Section 2.0**, the subject Site is part of the broader allotment that comprises part of the UNSW Kensington Campus. **Figure 21** provides a detailed site plan, confirming the project site area in relation to the broader UNSW site. This SSDA relates to the Site, as shaded in red, despite the State Significant Development Declaration Order (No 7) 2025 declaring the entire allotment as being SSD.

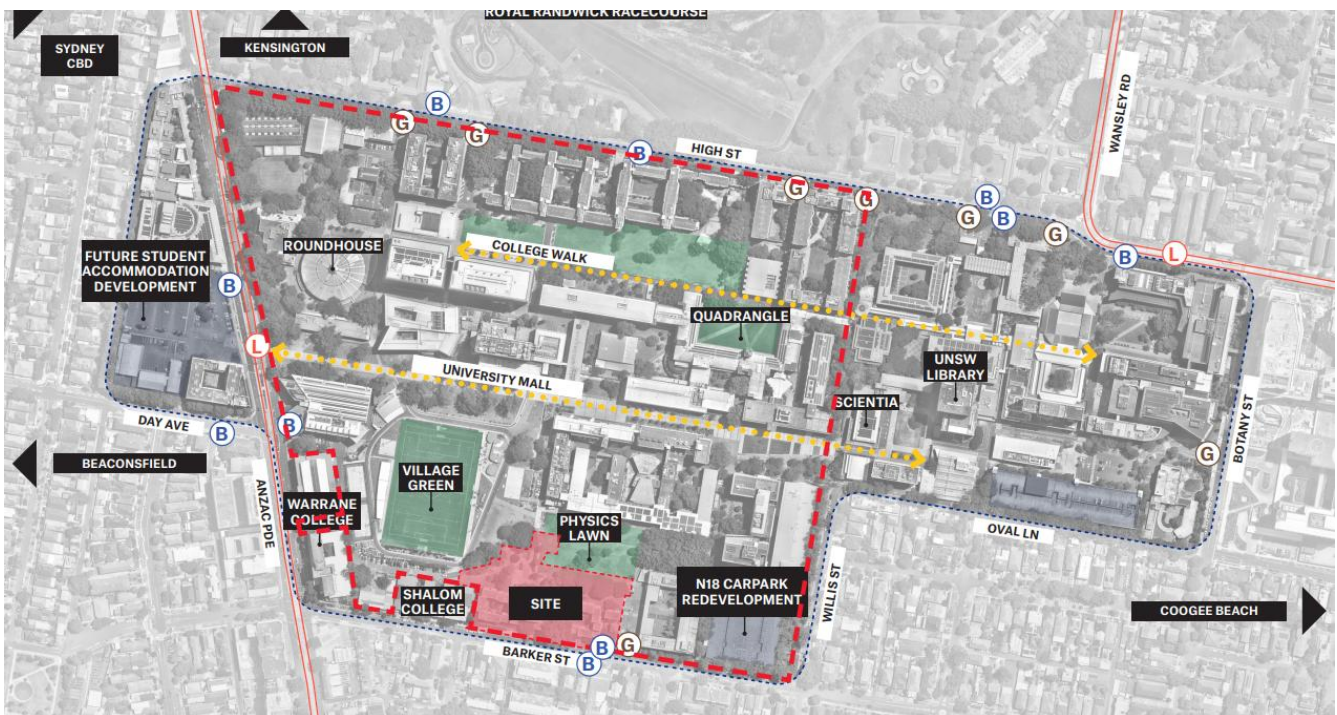


Figure 21 Project works area diagram

Source: Bates Smart

4.3 Design Principles

Bates Smart, in collaboration with UNSW and the broader project team has developed three key design principles for the project. These design principles, illustrated in **Figure 22** have guided the overall massing, design and architecture of the proposed development. They have been informed by key concepts such as Connecting with Country, landscape, public domain and amenity. Further detail of these principles and their influence on the overall approach to built form and urban design is provided in the Architectural Design Report, included at **Appendix G**.



STUDENT EXPERIENCE

Creating a home away from home, with high-quality amenities and communal spaces that foster an enriched, connected student community.



COLLEGE IDENTITY

The built form, materiality, and interconnected spaces are designed to express the identity of each individual college while contributing to the character of this unique new student housing village.



CONNECTING WITH COUNTRY + CAMPUS

Opportunities to connect with Country, as identified by the local community, are woven into the design while integrating seamlessly with the university's built form and overall sense of place.

Figure 22 Design principles

Source: Bates Smart

4.4 Connecting with Country

The Site sits on Bidjigal Country, part of a broader Dharawal-speaking region in Sydney's east. The project team have worked closely with Yerrabingin, an Indigenous Design Consultant and Traditional Custodians and Elders, to ensure Aboriginal knowledge is integrated into the built environment and landscape of the proposed development. Yerrabingin, in collaboration with Traditional Custodians and Elders, has integrated the findings from the place analysis, collaborative design workshops and ideation workshop into the following key opportunities for the project.



*A Hearth, A Home
Tending to Enduring Legacy*

By embedding the gathering, ceremonial, and symbolic functions of the hearth into the design, the proposed development becomes a place that honours culture, nurtures relationships, and invites all students and visitors into a meaningful connection with Country.



*Watermark
Sensing Ripples of Saltwater Country*

Watermark is guided by the memory and movement of Saltwater Country - a place shaped by waves, stories, and deep cultural presence. This approach honours the living legacy embedded in the ground, air, and people, recognising that true design emerges through balance, not dominance.



*First Light
Nurturing Emerging Connections*

This approach to design honours light as both symbol and source - of knowledge, belonging, and renewal. First Light envisions a campus where students from diverse backgrounds find unity under the same sky. It supports choice, inclusion, and a sense of belonging, creating an environment where people feel seen, safe, and part of something larger.



*Knowledge Tree
Celebrating Bidjigal Wisdom*

Knowledge Tree honours Bidjigal Country as a living archive, where knowledge lives in roots, rocks, and relationships not only in books. Drawing on the idea of the tree, grounded, connected, and ever-growing, this design approach envisions student colleges as living systems of learning.

4.5 Site Preparation Works

Site preparation works will include the demolition of existing buildings and structures and the removal of 44 trees, retention of 29 trees and the relocation of one (1) tree. Only minimal excavation works are proposed as a result of the building not requiring a basement.

A Construction Management Plan (CMP) will be prepared prior to commencing construction works. The CMP will provide details on the proposed construction methodology and management practices, with regards to workplace risk, site management, soil/ water/ groundwater, construction waste, traffic, noise and vibration, air quality and dust control, management of hazardous materials, dispute resolution and complaint handling.

Demolition Plans detailing the above works have been prepared and are provided at **Appendix F** with excerpts provided within **Figure 23**.

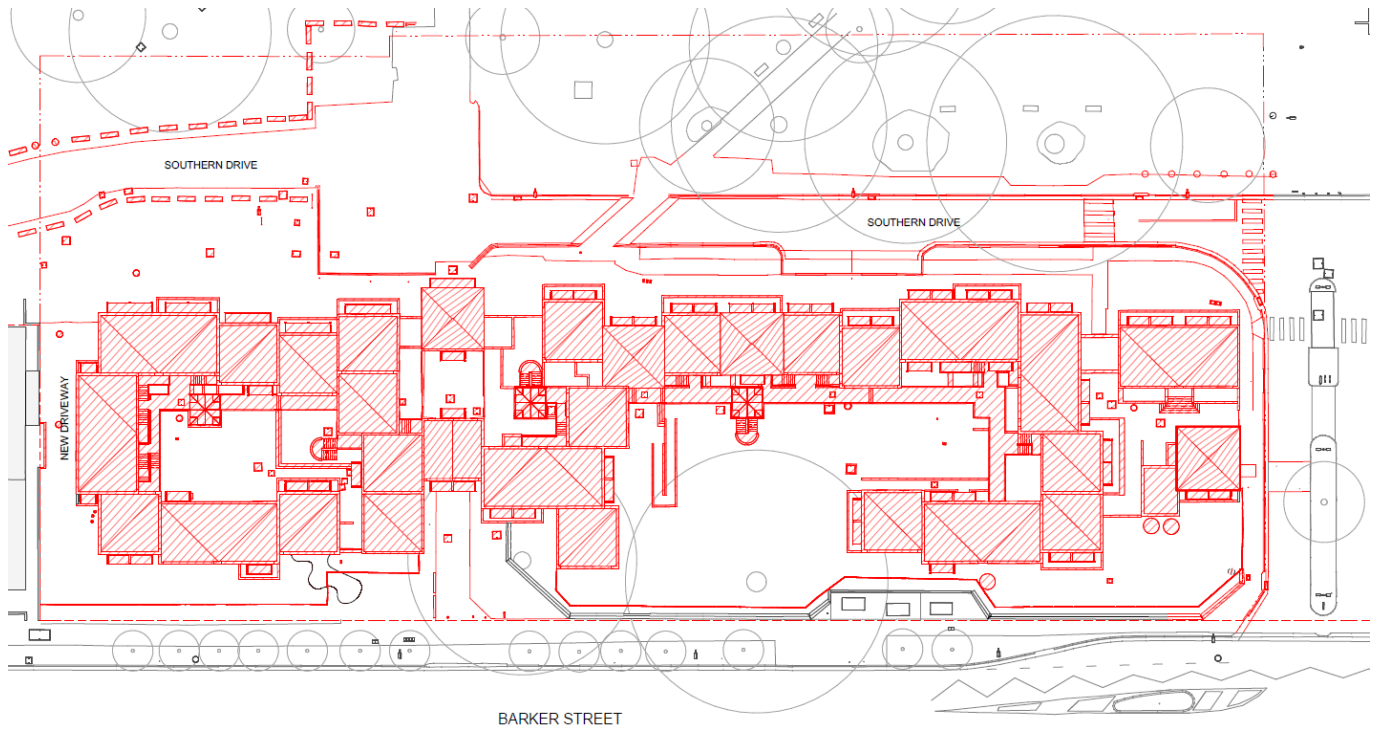


Figure 23 Excerpt of demolition plans
 Source: Bates Smart

4.6 Site Servicing and Utilities

Required infrastructure and services for the proposed development including electrical, communications, water, gas and sewer are available on, or in proximity to the Site. Infrastructure will be augmented as required to accommodate and service the proposed development.

4.7 Land Use

The proposed development seeks consent for 'campus student accommodation' as defined under Chapter 3, section 3.3 of the Transport and Infrastructure SEPP, comprising a number of colleges, various types of accommodation for students and non-students and student amenities.

The on-campus student accommodation model proposed by UNSW comprises a variety of different colleges, catering to a wide range of students, who require different levels of support and facilities for their university experience. The different college, and accommodation types are discussed in the below sections, and shown in context of their locations across the Blocks in **Figure 24**.

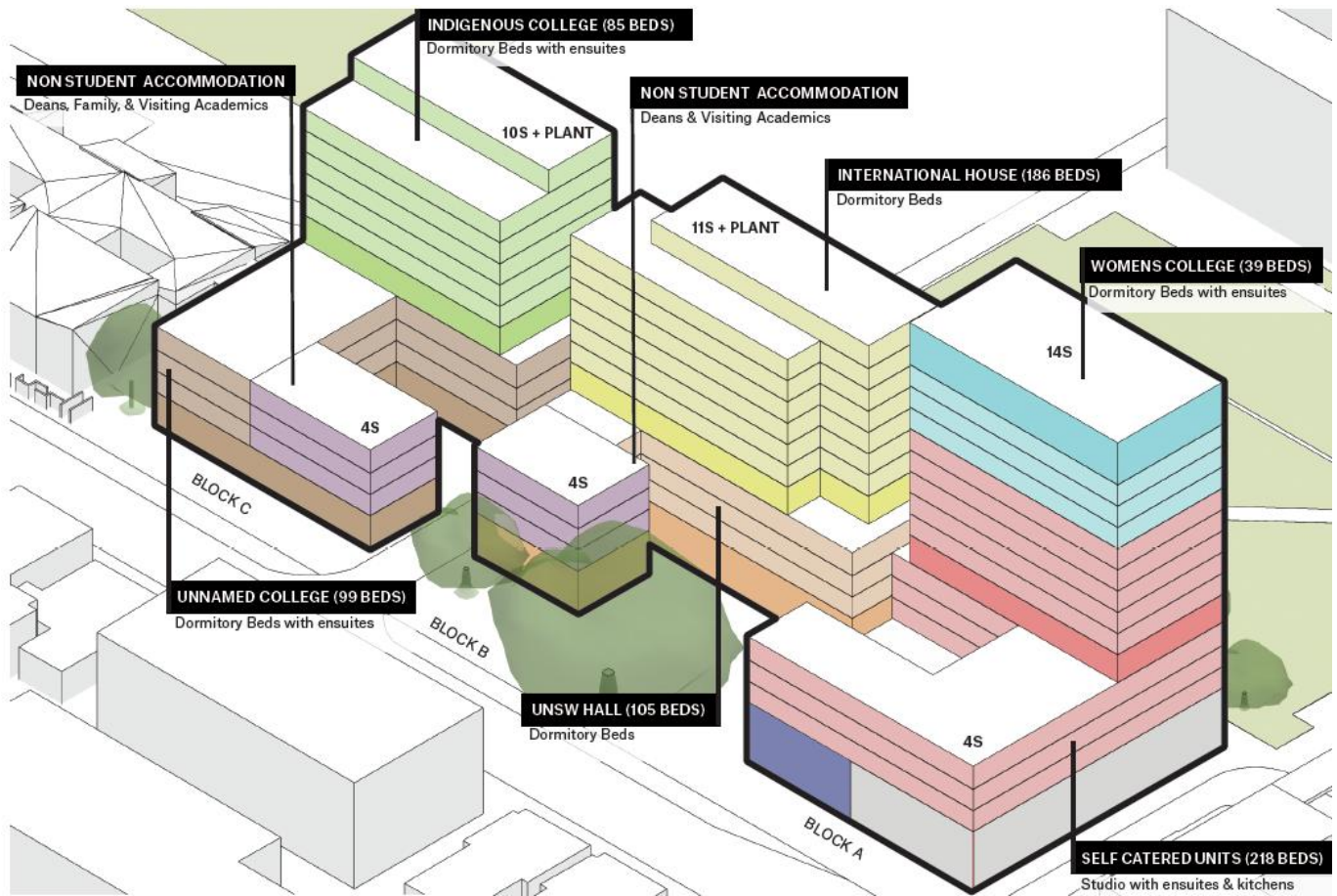


Figure 24 Proposed college types and locations

Source: Bates Smart

Self-Catered Units

215-225 units are proposed in Block A, which are an independent and self-catered residential typology, allowing students more flexibility to choose how they want to live and study. There is a strong emphasis on independent living, whilst accessing the same safety and security benefits of all other accommodation typologies across the development. The self-catered units comprise approximately 92% studios (73.2% standard, 10.5% premium and 8.2% micro studios), and 8% 2-bed units.

Women's College

The Women's College is located above the self-catered units within Block A and provides 40 beds. These are purpose-built college units to accommodate and empower female students. The vision for this college is to create a transformative, values-driven residence for women, where leadership, growth, and community can flourish. The Women's College has been designed at an intimate scale, creating a tight-knit residential community with nurturing communal spaces.

International House

The International House is a long-standing and globally recognised College, first established at UNSW in 1968. International House has a long history of promoting diversity and inter-cultural exchange, beginning in New York (1909) as essential accommodation for international students. 170 beds are provided within the upper levels of Block B, and the model caters towards a mature, non-school leavers demographic. There is an emphasis on resident wellbeing, and the key principles of the International House movement, including cultural diversity, respect and friendship.

UNSW Hall

UNSW Hall is a casual and affordable residential college, providing 100 beds and shared common living spaces and activities that encourage social interaction without sacrificing student's privacy and independence. It is located between the international hall rooms and communal areas in Block B.

Indigenous College

The Indigenous College provides 90 beds and is dedicated to providing accommodation and support for Indigenous and First Nations students. Spaces are provided to accommodate community and nurture cultural connections, with a focus on safety and inclusion. The expression and materiality of the College reflects local Country and First Nations cultural nuances in the design. Family accommodation is also included in this College, ensuring that resident's family and friends can visit and support the students if necessary.

Un-named College

The fifth college included in the proposed development is an un-named college, which provides space for 100 student beds. This space has not been allocated to a college, but has been co-located in Block C, alongside the Indigenous College, and can be integrated into the Indigenous College, if they wish to expand in the future.

4.8 Built Form and Urban Design

The proposed development seeks consent for the redevelopment of the Site into a high-quality campus student accommodation development, comprising three buildings referred to as Blocks A, B and C. The proposal will provide six different colleges within the three buildings, which are connected via a shared ground plane, with associated services, lobbies, communal facilities and which interfaces to the public domain.

Block A comprises an 11-storey tower above a 4-storey podium, with a maximum building height of RL 79.70. Block B comprises a 7-storey tower above a 4-storey podium, with a maximum building height of RL 67.70m. Block C comprises a 6-storey tower above a 4-storey podium, with a maximum building height of RL 64.40m.

Blocks A, B and C all provide a 6m setback to Barker Street, in accordance with the setbacks provided for the Site under the Randwick DCP 2013. A 2.5m setback is provided to the eastern boundary of the Site, parallel to Southern Drive. An 8.5m setback to the western boundary of the Site is provided, to accommodate the proposed driveway and pedestrian footpath.

Figure 25 illustrates the proposed built form and massing of the building.



Figure 25 Artist impression of the proposed built form and massing

Source: Bates Smart

4.8.1 Ground Floor

The ground plane is designed as a series of communal, student-focused spaces that activate the frontages to the main campus, Physics Green, and Village Green. Entrances to the colleges and dining halls is primarily accessed from the university campus frontage, with secondary entrances provided from the internal corridors and courtyards. An excerpt of the architectural plans, illustrating the proposed ground floor is provided in **Figure 26**.

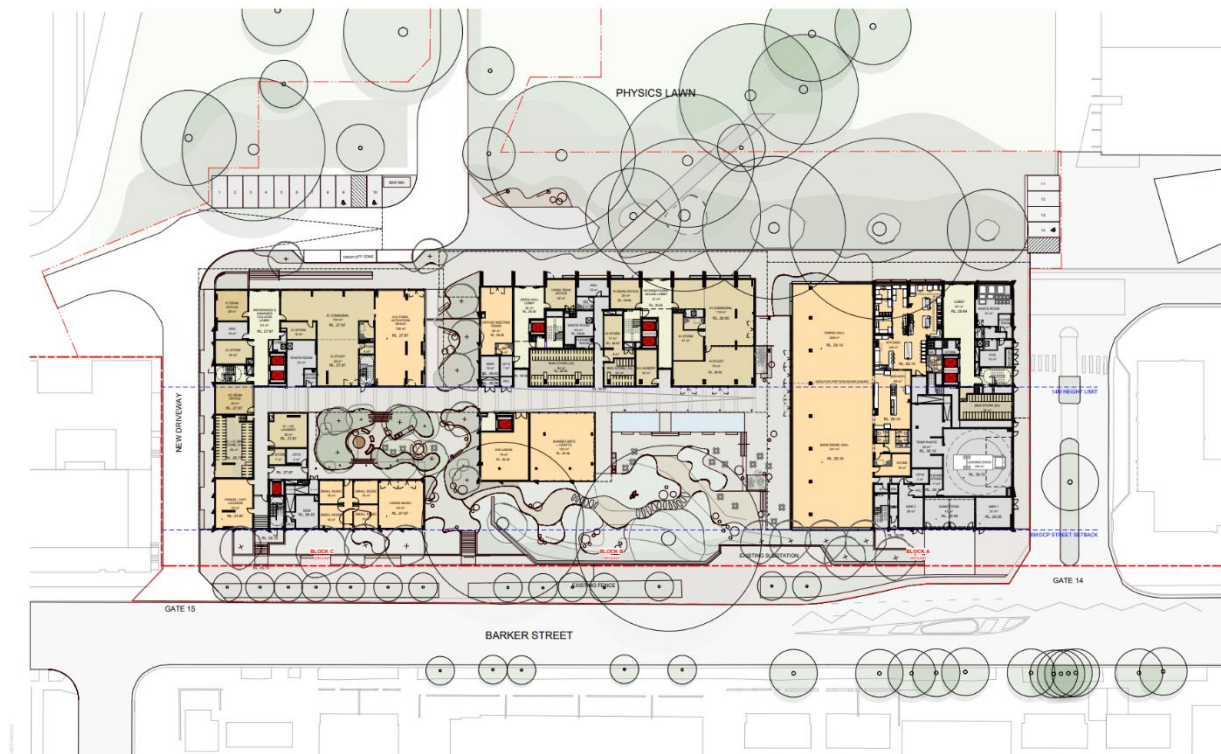


Figure 26 Ground floor plan

Source: Bates Smart

The dining halls, kitchen, services and loading dock is located on the ground floor of Block A. The college lobby provides an entrance for the women's college and the self-catered units. A main dining hall is provided, as well as one dedicated to International House. The servery is connected to the kitchen and serves both dining halls.

The ground floor of Block B provides space for International House communal spaces, which connects to their dedicated dining hall in Block A. Shared arts and crafts spaces, and wellness rooms are located in the south wings of Block B, providing direct access to the adjacent courtyard and landscaping. Lobbies and offices for the respective Deans are provided for UNSW House and International House, which can be accessed from the university campus frontage, or Barker Street.

A shared lobby on the ground floor of Block C is provided for the Indigenous college and unnamed college, allowing flexibility for the potential expansion of the Indigenous College in the future. Communal spaces for the Indigenous College are also located on the ground floor, in close proximity to the yarning circle, located in the courtyard. Offices for the respective deans can be accessed from the university campus frontage, or Barker Street.

4.8.2 Podium

The layout and design of the podium levels of Blocks A, B and C are generally similar, with college accommodation occupying Block B and C and the self-catered units occupying Block A. Lifts and amenities are strategically located across the floorplates of all levels, for easy movement and visibility, with dedicated student lounges, pastoral care rooms and the respective college dean's accommodation.

Levels 2 and 3 of Block C (accommodating the Indigenous College) and Level 3 of Block B (accommodating International House) provide visiting accommodation, for friends and families who visit the university, or need to visit to support students. An excerpt of the proposed floor plan of Level 2 is provided in **Figure 27**.

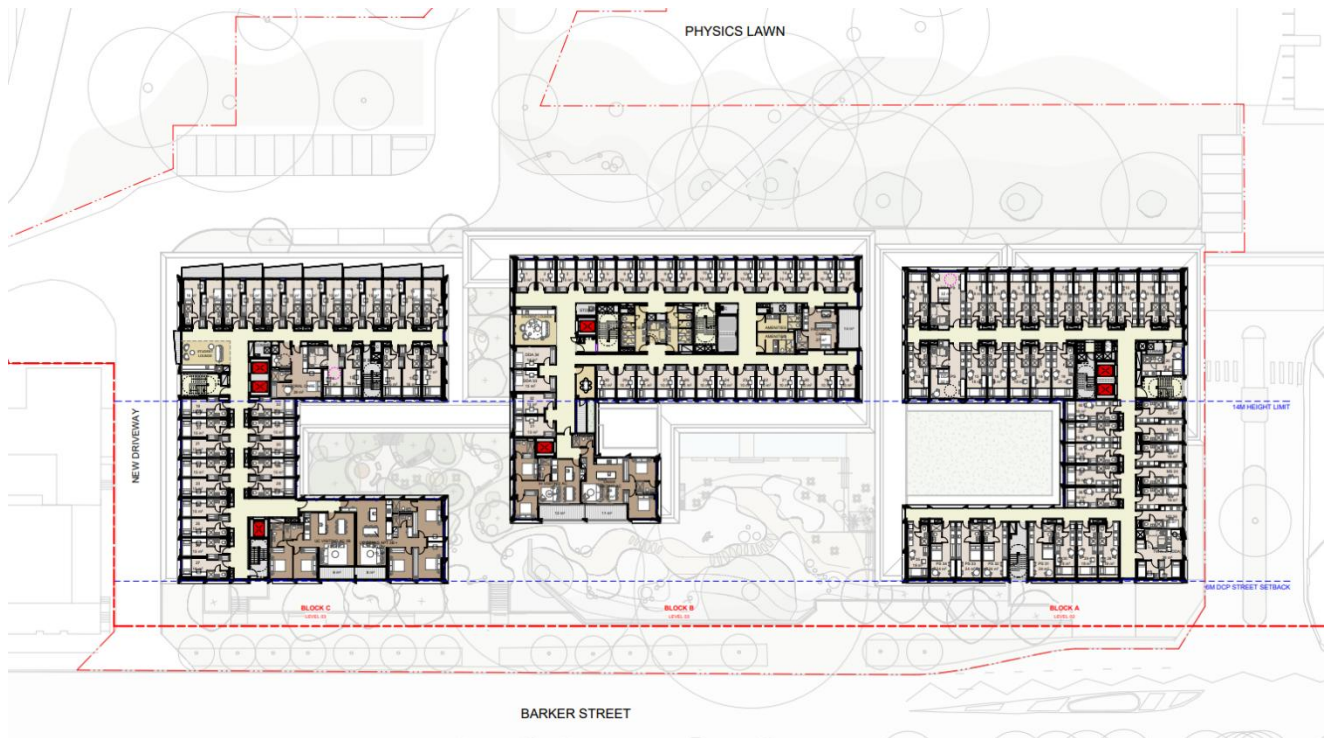


Figure 27 Level 2 floor plan

Source: Bates Smart

Level 4 of each Block comprises communal amenities, and outdoor terraces. These spaces are discussed in detail in **Section 4.8.4**.

4.8.3 Towers

The self-catered units extend up from levels 1-9 of Block A. International House accommodation occupies the tower levels (levels 5-10) of Block B, whilst Indigenous College occupies the tower levels (levels 5-9) of Block C. Shared facilities, stairs and lifts are centrally located within each Block for easy access across the floorplate. The location of these facilities maximises visibility and access to natural light, encouraging use and interaction between floors. All floorplates benefit from north and south-facing outlooks, with corridors receiving natural light from either end. These colleges are all supported by amenities as described in **Section 4.8.4**. An excerpt of the typical floor plate plan for each tower is provided in **Figure 28**.

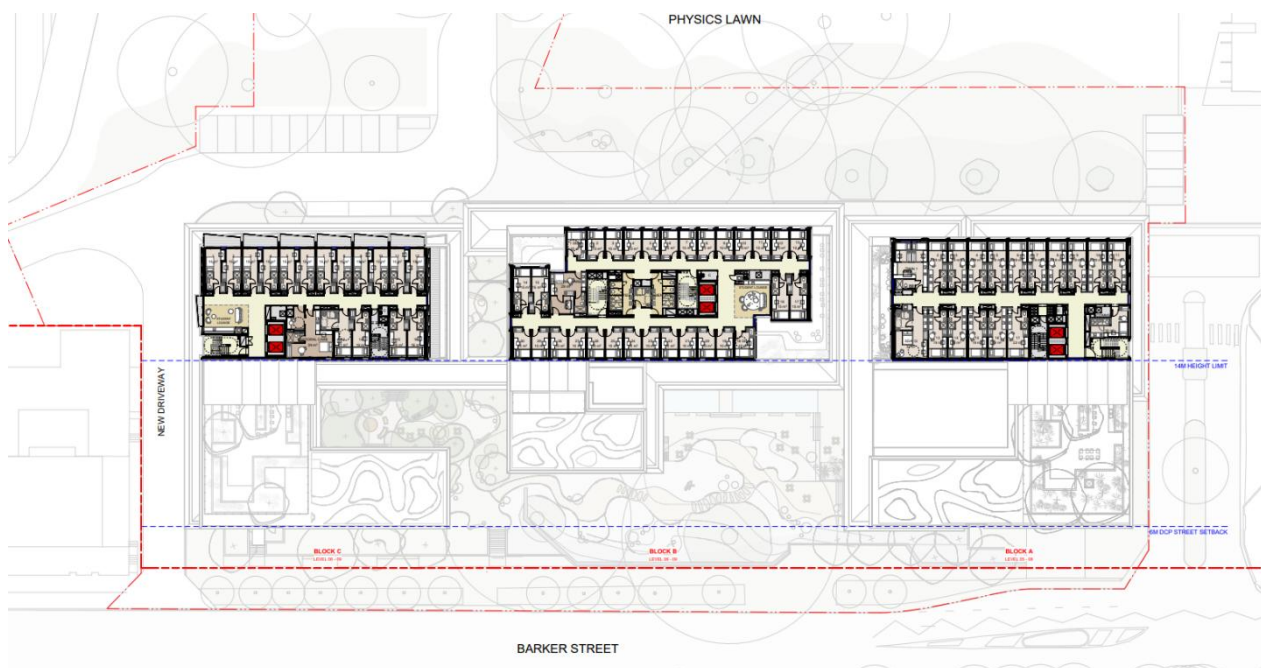


Figure 28 Typical floor plan for levels 5-8

Source: Bates Smart

The Block A tower extends above level 9, accommodating four levels (10-13) dedicated to the Women’s College, providing a private, elevated residential experience for female students. These levels include shared facilities and a communal outdoor terrace that is oriented north to maximise solar access. An excerpt of the level 11 floor plan is provided in **Figure 29**.

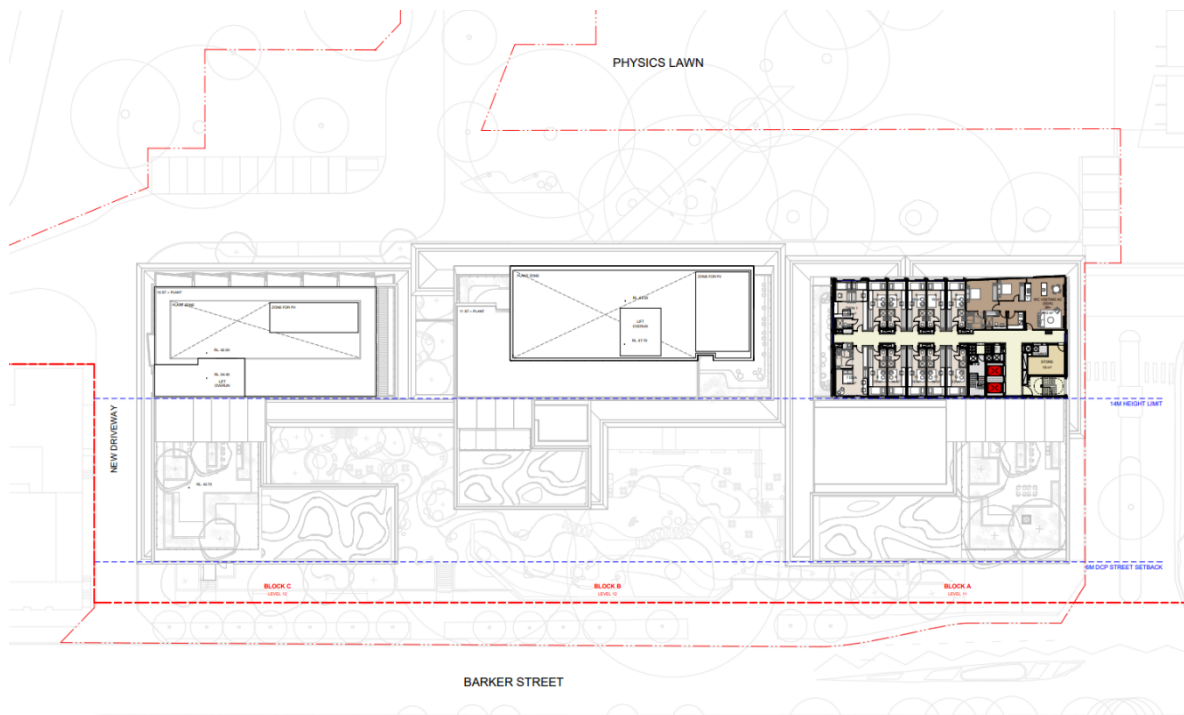


Figure 29 Level 11 floor plan

Source: Bates Smart

4.8.4 Communal Amenities

Communal Spaces

A variety of private communal spaces are provided throughout the three blocks, with larger spaces provided on the ground floor of the buildings, and more private, intimate spaces within the podiums and towers. These communal spaces have been provided in quantities in excess of the required minimums recommended in the planning framework, and are tailored to the needs of the different colleges and students occupying the buildings. A breakdown of the proposed communal spaces and their locations throughout the three blocks is outlined in **Table 7**.

Table 7 Communal spaces

Block	Level	Use
Block A	Ground Floor	<ul style="list-style-type: none"> • Dining Hall (refer to Figure 31) • Main Dining Hall (refer to Figure 31) • Kitchen and servery
	Level 5	<ul style="list-style-type: none"> • Self-catered units communal space • Outdoor terrace
	Level 13	<ul style="list-style-type: none"> • Women’s college lounge and study space
	Level 14	<ul style="list-style-type: none"> • Women’s college kitchen and dining • Outdoor terrace
Block B	Ground Floor	<ul style="list-style-type: none"> • International House communal space and study area • Office/ meeting room • Shared arts room (refer to Figure 30) • Wellness room
	Level 1-3	<ul style="list-style-type: none"> • Student lounge

Block	Level	Use
	Level 4	<ul style="list-style-type: none"> UNSW House common area, kitchen and study Outdoor terrace
	Level 5-10	<ul style="list-style-type: none"> Student lounge
Block C	Ground Floor	<ul style="list-style-type: none"> International College communal space and study area (refer to Figure 30) Cultural activation space Small and large music rooms
	Level 1-3	<ul style="list-style-type: none"> Student lounge
	Level 4	<ul style="list-style-type: none"> Un-named college common area, kitchen and study Outdoor terrace
	Level 5-9	<ul style="list-style-type: none"> Student lounge



Block C Common Room

Figure 30 Artist impressions of communal spaces

Source: Bates Smart



Shared Arts Room

Dining Hall

The dining hall comprises of a main dining hall, and a dedicated dining hall for International House as required by the Trust. This space has been designed to allow the dining halls to either be separate, or joined together, for larger functions and events. The spaces together have capacity to hold 400 seats at one time. Artist impressions of these layouts are shown in **Figure 31** below.



Split Dining Hall

Figure 31 Artist impression of the dining hall

Source: Bates Smart



Combined Dining Hall

4.9 Landscaping and Public Domain

Landscape Plans and a Landscape Design Report has been prepared by Aspect Studios and are provided at **Appendix J** and **Appendix K**. The ground plane of the campus student accommodation has been designed as a series of communal, student-focused spaces that activate the frontages to the main campus, Physics Lawn and Village Green. The design of the ground plane has been split into four key spaces, the Dining Hall Courtyard, the Indigenous College Courtyard and Link, the Physics Lawn Interface, and the Block A, B and C Terraces. These spaces are outlined below.

4.9.1 Dining Hall Courtyard

The Dining Hall Courtyard has been designed as a communal outdoor space, centred around the retained fig trees. Additional terrace space has been provided adjacent to the Dining Hall, allowing students to 'spill out' from the Dining Hall into the seating areas around the perimeter of the courtyard. The pond is located along the main corridor connecting Block A, B and C, carrying the Indigenous significance of water through the design of the buildings and landscaped areas. **Figure 32** illustrates the proposed landscape plan for the Dining Hall Courtyard.

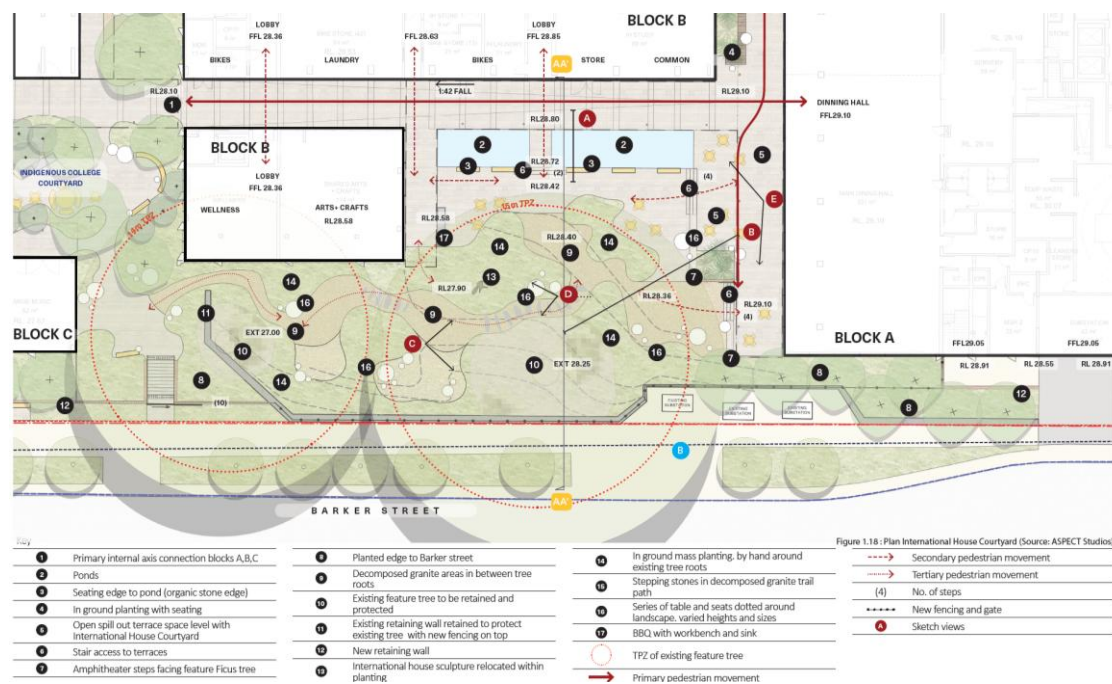


Figure 32 Dining hall courtyard landscape plan

Source: Aspect Studios

4.9.2 Indigenous College Courtyard and Link

The Indigenous College Courtyard is located at the centre of the corridor connecting Block A, B and C, and the north-south connection, between Barker Street and the Physics Lawn. A yarning circle is located in the centre of the courtyard, representing a place of connection, cultural exchange and celebration of Country. Dense native planting lines the footpaths throughout the space, drawing residents and resident visitors from Barker Street up to the courtyard and through to Physics Lawn. Landscape plans for the Indigenous College Courtyard and Link are illustrated in **Figure 33**.

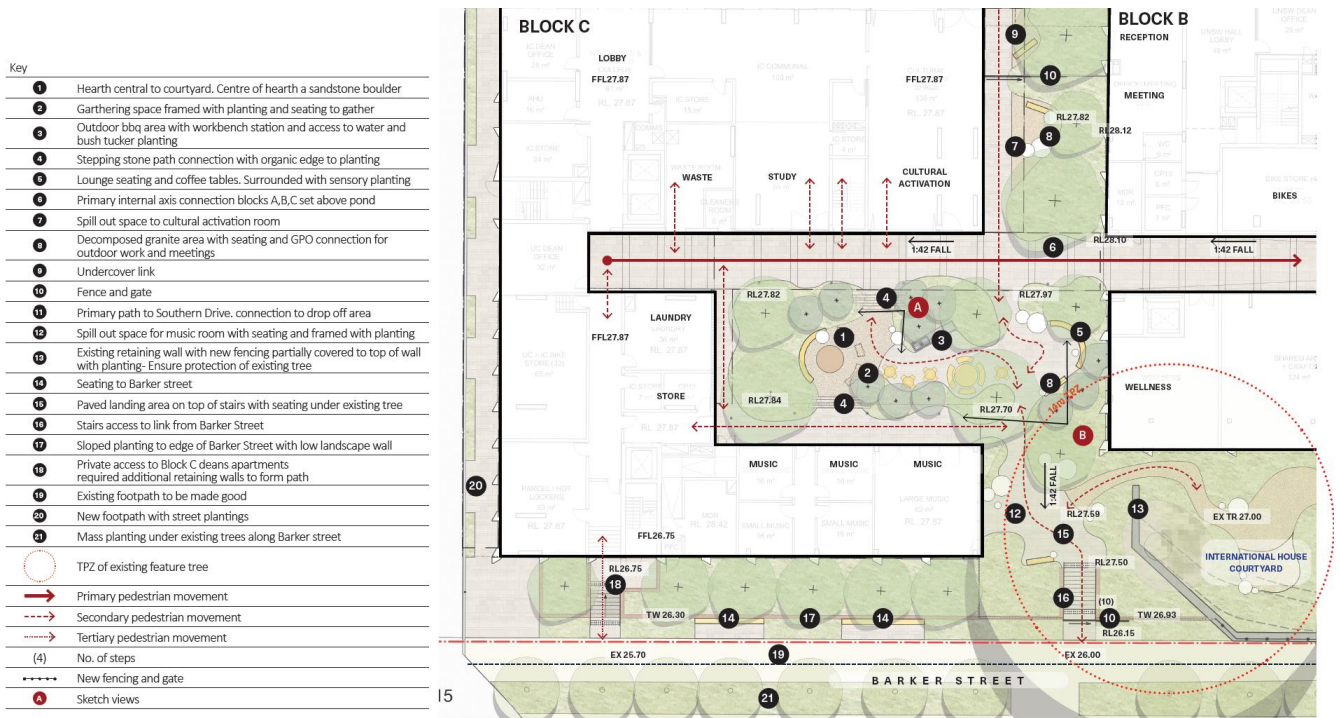


Figure 33 Indigenous college courtyard and link landscape plan
 Source: Aspect Studios

4.9.3 Physics Lawn Interface

The various footpaths and corridors between Blocks A, B and C meet at the Physics Lawn Interface, integrating the Site into the broader UNSW campus. Existing trees located on the southern boundary of the Physics Lawn are proposed to be retained, with additional tree planting proposed along the northern boundary of the development Site. Fixed seating is located at the corner of Science Road, creating a gathering area adjacent to parking, and drop off zones. Southern Drive is proposed to be pedestrianised, with seating and planter boxes located along the Physics Lawn frontage of Blocks A, B and C. This is illustrated in **Figure 34**.

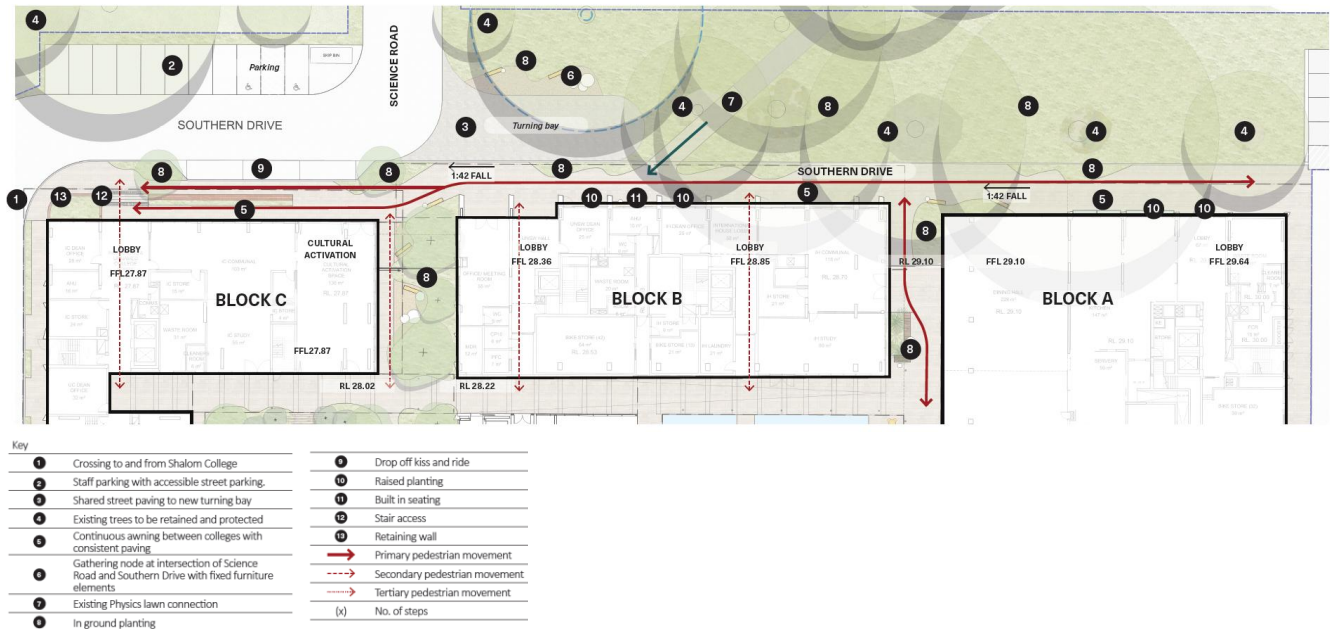
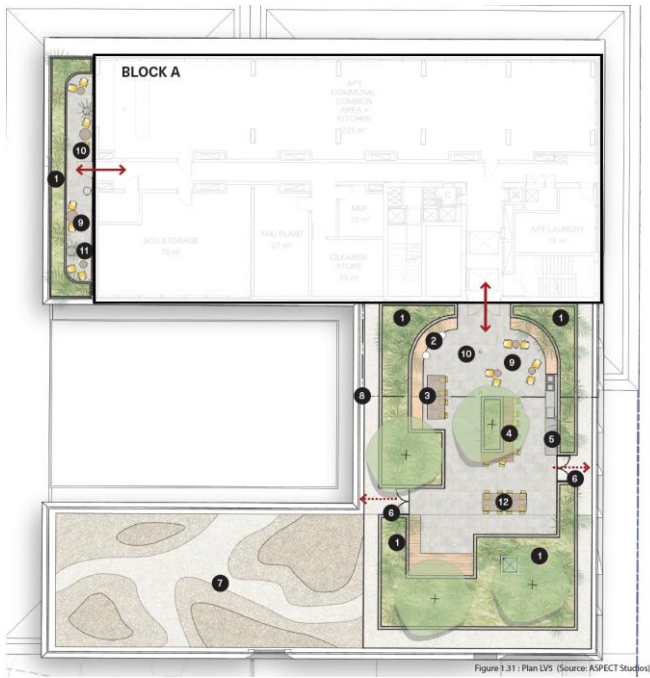


Figure 34 Physics Lawn interface landscape plan
 Source: Aspect Studios

4.9.4 Block A, B and C Terraces

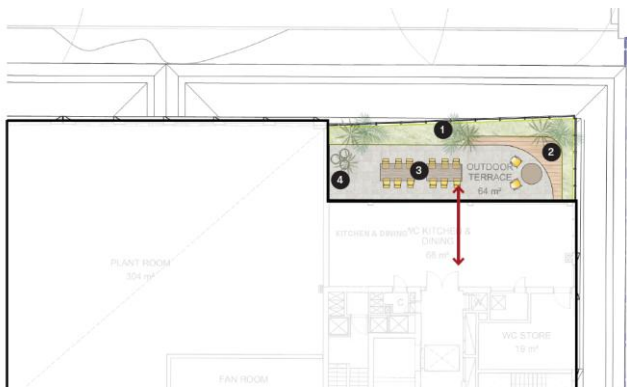
The terrace proposed on Level 4, and Level 13 of Block A and Level 4 of Blocks B and C provide outdoor seating and gathering areas for the respective colleges occupying that part of the building. Dense native planting is provided along the perimeters of the terraces, screening surrounding buildings from have direct views into the terraces, and screening surrounding residential developments. Excerpts of the landscape plans for the terraces are provided in **Figure 35**.



Key

1	Raised planter framing terrace edge. Feature terrace lighting
2	Bench seat with built in cafe tables
3	Bench seat with 8-10 seater table
4	High bench with stool seating + GPO
5	Outdoor kitchen bench with BBQ facilities and sink
6	Maintenance gate access only
7	Gravel rooftop- Pattern to be determined
8	Shelter dashed above
9	Loose furniture
10	Paving on pedestal
11	Pots with planting
12	8-10 seater table
→	Primary pedestrian movement
→	Primary maintenance movement

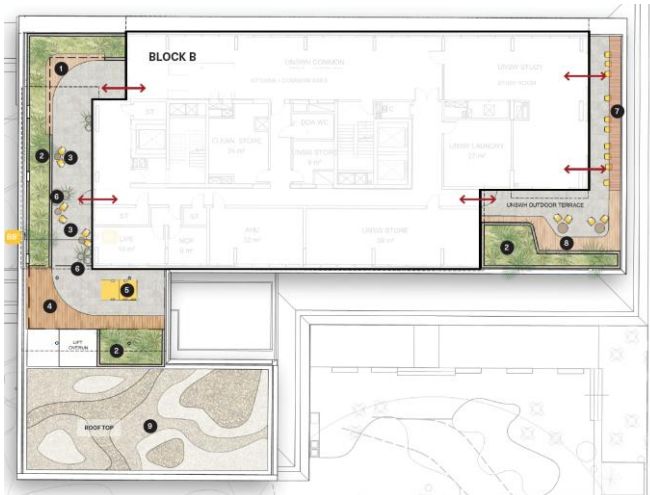
Block A - Level 4 Terrace



Key

1	Raised planter framing terrace edge. Feature terrace lighting
2	Platform lounging bench with built in cafe tables
3	Large shared outdoor dining table
4	Pots with planting
→	Primary pedestrian movement

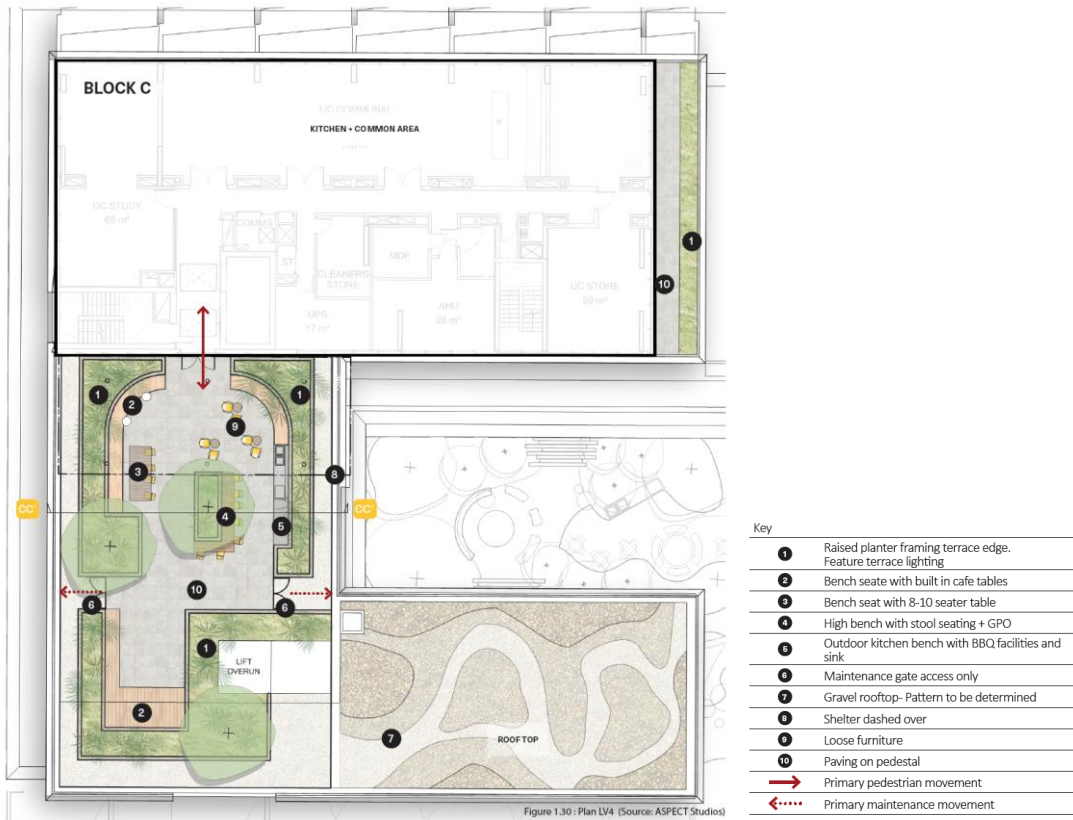
Block A - Level 13 Terrace



Key

1	Seating built in bench. Located on prioritise sunny aspect
2	Raised planter framing terrace edge. Feature terrace lighting
3	Loose furniture
4	Platform lounging bench
5	Ping Pong table
6	Pots with planting
7	High bench with stool seating + GPO
8	Built in bench seating with table and loose chairs
9	Gravel rooftop- Pattern to be determined
→	Primary pedestrian movement

Block B - Level 4 Terrace



Block C – Level 4 Terrace

Figure 35 Block A, B and C terrace landscape plans

Source: Aspect Studios

4.10 Façade and Materiality

The concept of the façade draws inspiration from the textured, layered quality of the paperbark tree, whilst the façade detailing draws on traditional timber-like construction, referencing shiplap cladding and finely crafted timber-like components used for shading. Each college is distinguished through variations in tone and colour (refer to **Figure 36**), using a soft, natural palette that subtly references Country while enhancing warmth and tactility.



Figure 36 Façade viewed from Physics Lawn

Source: Bates Smart

4.11 Transport, Access and Parking

4.11.1 Access

Vehicular access to the Site will remain via the existing Gate 14 on Barker Street, while a secondary driveway is proposed at the relocated Gate 15 on the western end of the Site to maintain access to other buildings currently served. Critical infrastructure, servicing and loading facilities for the proposed development are accessed via the existing Gate 14, as all these services are located within Block A.

The proposed development seeks to close Southern Drive in front of the Physics Lawn and provide new road access to the west of the Site, referred to as 'New Science Road, Gate 15'. This road redirection allows for an improved and safer interface between the proposed development and Physics Lawn, with a pedestrian pathway, seating and shade provided.

The central circulation spine will be accessible from the footpath adjacent to New Science Road, providing pedestrian access into the buildings.

Pedestrians can access the Site and proposed development via all frontages, including Barker Street, New Science Road, and Southern Drive (to the north and the east). The colleges and dining hall are fully integrated with the existing campus pedestrian network, ensuring seamless internal connectivity. A central ground floor circulation spine links the college lobbies with the dining hall, offering a covered and activated route designed to encourage social interaction among students. Separate, clearly defined access points are provided for specific uses, including an entry off Barker Street for the Family, Visiting Academics and Dean's accommodation within Blocks B and C, and a dedicated entrance from New Science Road to Block C for parcel and food deliveries. This arrangement ensures convenient and safe pedestrian movement throughout the Site, while maintaining clear separation between residential and service functions.

Bicycles can access the Site from any frontage, with clear, secure bicycle parking provided on the ground floor of each Block. **Figure 37** provides an illustration of the access points into the Site.

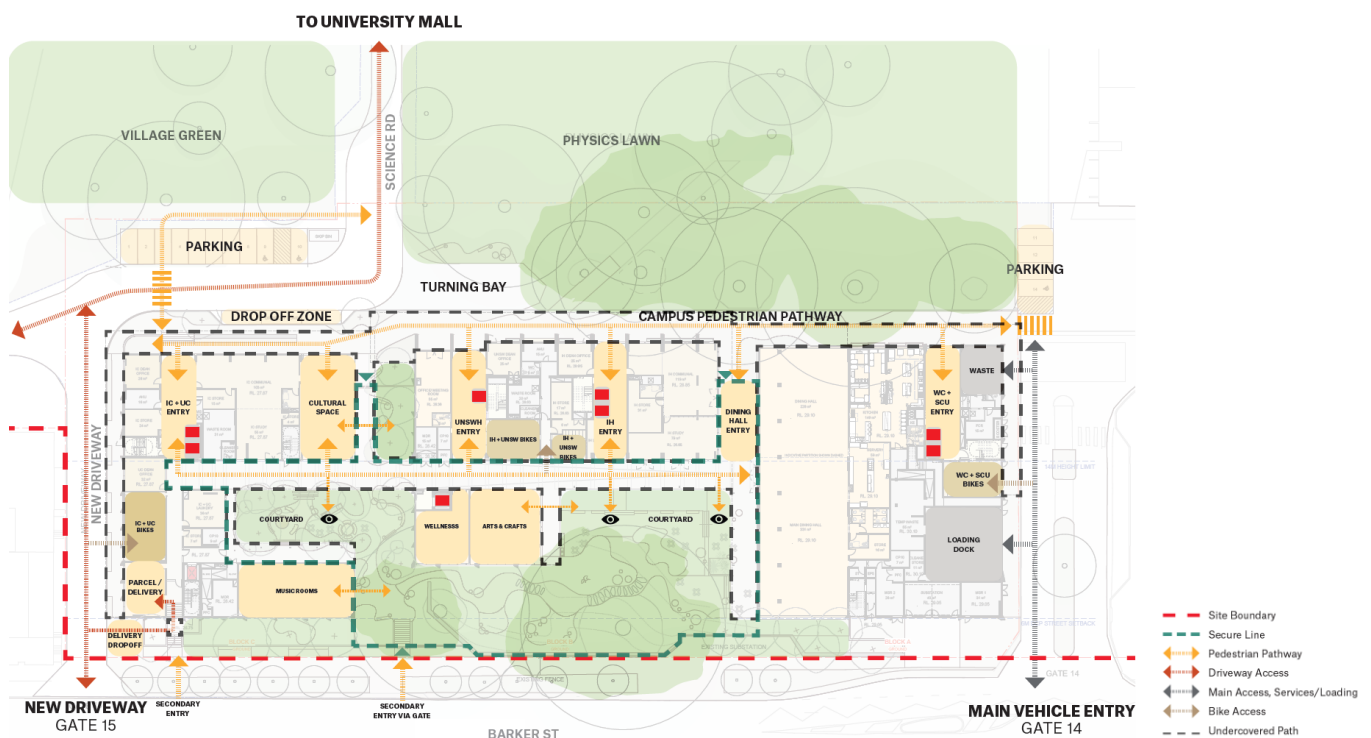


Figure 37 Access points into the Site

Source: Bates Smart

4.11.2 Parking

No student car parking or motorcycle spaces are proposed as part of the development. 14 car parking bays are proposed, inclusive of 3 accessible spaces for general UNSW community use. 3 drop-off bays are proposed to be located along the northern boundary of the Site along Southern Drive. 116 bicycle parking spaces are provided within the proposed development, which is equivalent to a rate of approximately 1 space per 5.8 rooms.

4.11.3 Loading Arrangements

The loading dock is located on the ground floor of Block A, accessible via Southern Drive (Gate 14). The loading dock accommodates 1 x medium rigid vehicle (MRV), which can enter and exit the Site in a forward direction, through the provision of a turntable.

4.12 Stormwater Management

A stormwater management system has been designed by ARUP for the development, incorporating both conveyance and water quality treatment measures. The system comprises the following key elements:

- **Building hydraulic design:** Roof, terrace and awning runoff will be collected and conveyed via four connection points to the northern side of the development, discharging into a percolation tank located along the northern boundary of the Site. Overflow from the tank will be directed to a downstream connection beneath Shalom College, ultimately draining into the Barker Street system.
- **Public domain drainage:** A network of pits and pipes within the landscaped areas and internal road network will capture surface runoff and convey it to the existing pipe system running beneath Shalom College, which then connects to the Barker Street drainage network.

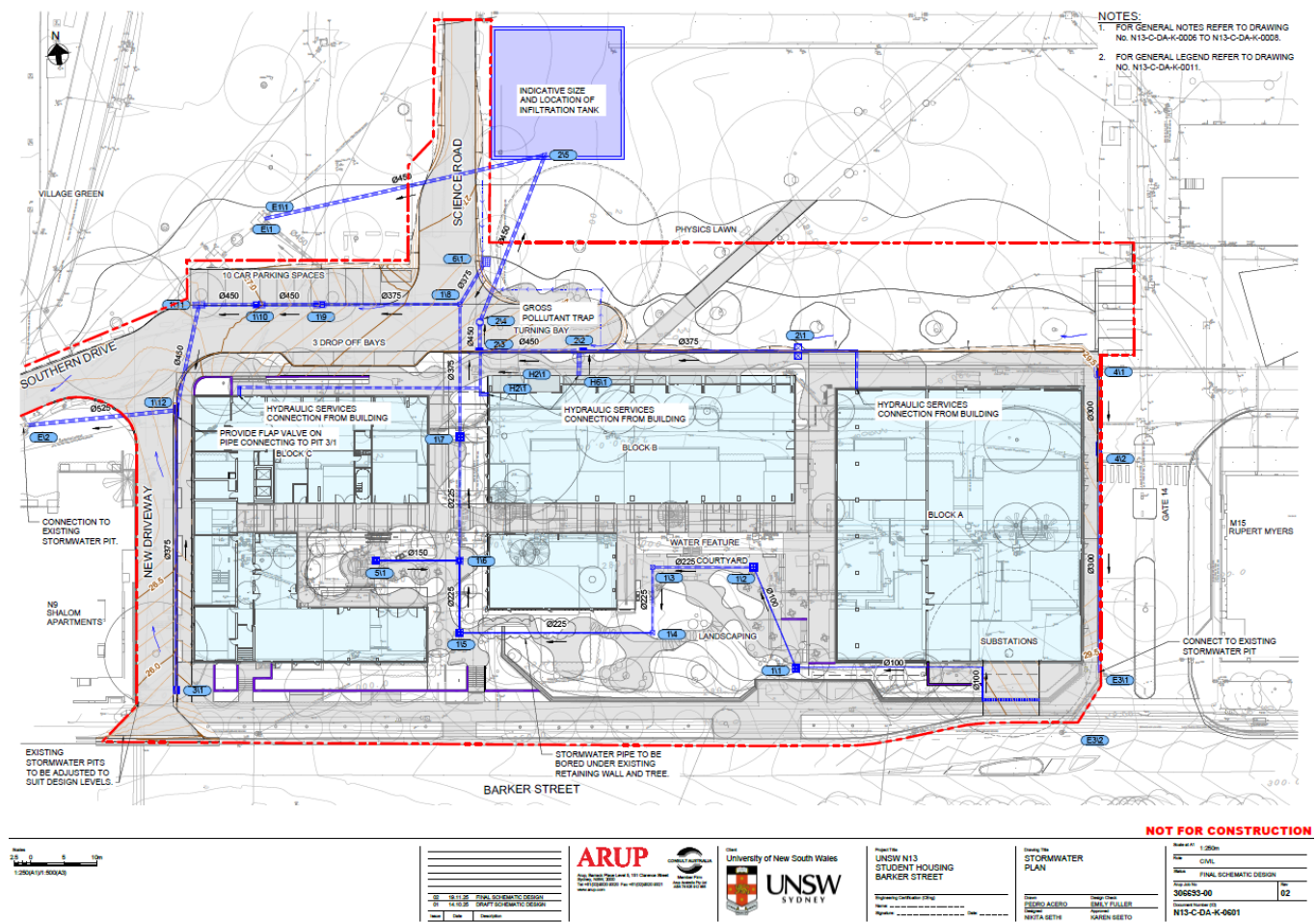


Figure 38 Stormwater plan

Source: Arup Integrated Water Management Plan

4.13 Waste Management

Waste rooms are provided on the ground floor of Block A, B and C, with a temporary waste holding room also provided on the ground floor of Block C, in proximity to the loading dock. Bins will be spread across the Site in appropriate, high traffic areas in the form of 240L bins or split receptable bins. A breakdown of the proposed waste storage is provided below:

Block A

- 3 x 1,100L general waste bins
- 3 x 660L commingled recycling bins

8 x 240L food organics and garden organic bins

Block B

3 x 1,100L general waste bins

3 x 660L commingled recycling bins

9 x 240L food organics and garden organics bins

Block C

2 x 1,100L general waste bins

2 x 660L commingled recycling bins

6 x 240L food organics and garden organics bins

4.14 Sustainability

UNSW is committed to continuously improving environmental performance across all operations of the university campus. UNSW's Environmental Sustainability Plan 2022-2024 deepens UNSW's commitment to environmental sustainability. Key environmental sustainability plan themes include climate action, living campuses and resource efficiency. In response to the Environmental Sustainability Plan 2022-2024, the proposed development (refer to **Figure 39**) has been designed to:

- Prioritise on-site solar PV capacity to maximise renewable energy generation;
- Enhance biodiversity plant species in landscaping to support local biodiversity;
- Sustainable materials approach which provides, subject to final selections and procurement, reduced embodied emissions, healthy indoor environment and enhanced circularity;
- Host sustainability events in accommodation to educate students on the importance of sustainability, such as host-led workshops and clothes swaps;
- High-performance façades and well-shaded façade promoting indoor comfort and balancing solid façade panels and transparent glazing to effectively ensure comfort, energy efficiency and natural light performance;
- Maximise on-site cycling infrastructure to promote sustainable travel modes; and
- Colour coded waste streams to ensure staff and students maximise waste segregation.

The sustainability initiatives implemented into the proposed development are discussed in more detail in **Section 7.6**, and the ESD Report, prepared by Atelier ten (refer to **Appendix Q**).

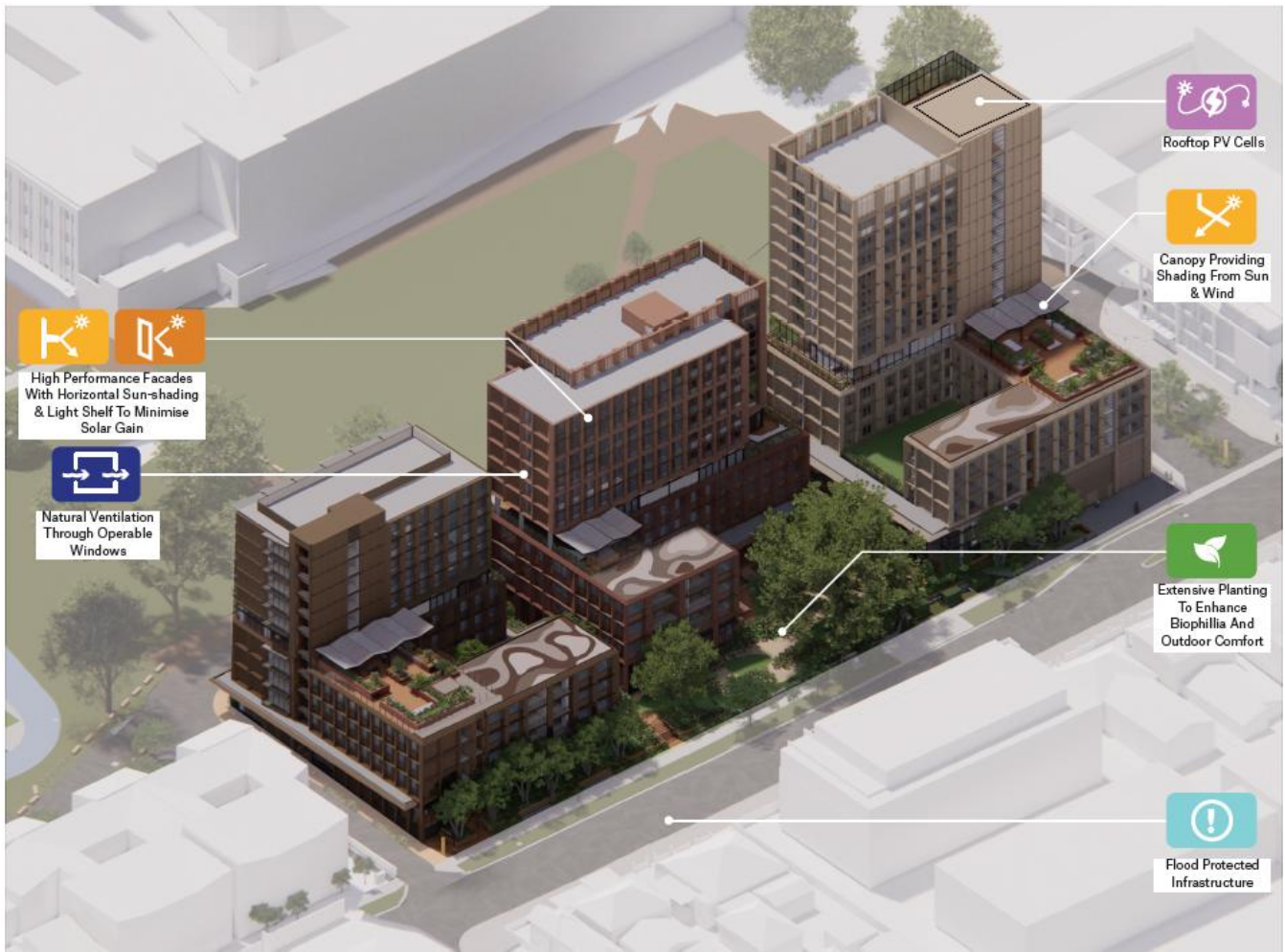


Figure 39 Sustainability initiatives for the proposed development

Source: Bates Smart

4.15 Signage

Consent is also sought for 13 signage zones across the development, which will be designated for wayfinding and college identification uses. **Table 8** provides a summary of the proposed signage zones, including the type of sign, location and dimensions of each.

Table 8 Details of proposed signage zones

Location	Typology (indicative)	Dimensions
Block A		
Northern elevation	Top of building sign	7900mm x 1670mm
Northern elevation	Top hamper sign	5000mm x 300mm
Southern elevation	Top of building sign	4800mm x 1670mm
Block B		
Northern elevation	Top of building sign	7900mm x 1670mm
Northern elevation	Top hamper sign – International House Entry	4000mm x 300mm
Northern elevation	Top hamper sign – UNSW Hall Entry	4000mm x 300mm
Southern elevation	Top of building sign	7900mm x 1670mm
Block C		

Location	Typology (indicative)	Dimensions
Northern elevation	Top of building sign	7900mm x 1670mm
Northern elevation	Top hamper sign	4950mm x 300mm
Southern elevation	Top of building sign	4000mm x 1670mm
Southern elevation	Wall sign	6200mm x 2900mm
Western elevation	Top of building sign	5000mm x 1670mm
Western elevation	Wall sign	5700mm x 2900mm

Details of the exact content, materiality and illumination of the signs within the signage zones is sought to be the subject of approval prior to the issue of the relevant construction certificate. Signage zones are illustrated on the elevation drawings prepared by Bates Smart and provided within the Design Report and Architectural Plans at **Appendix F** and **Appendix G**.

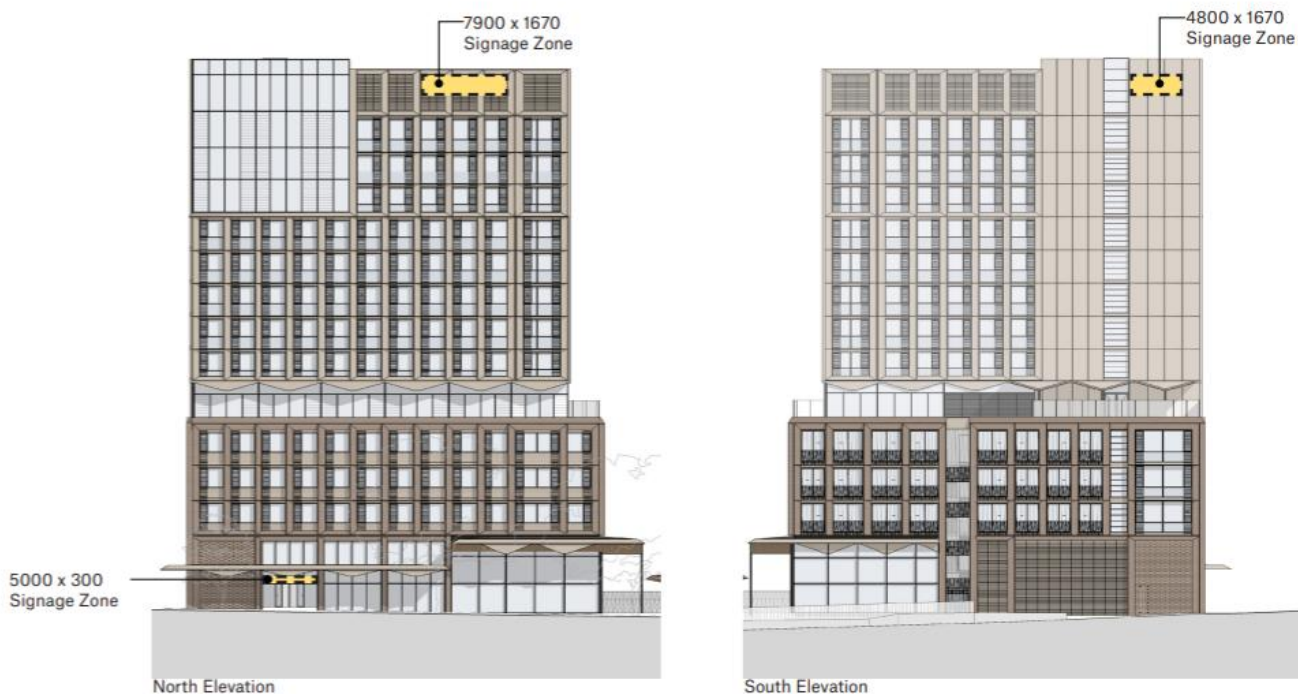


Figure 40 Block A signage strategy

Source: Bates Smart Design Report



Figure 41 Block B signage strategy
 Source: Bates Smart Design Report

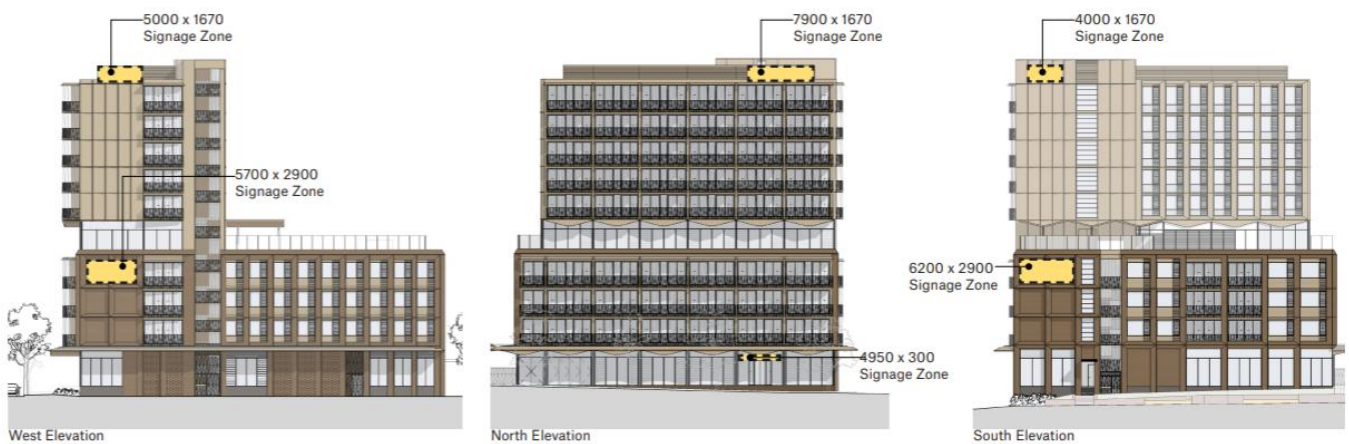


Figure 42 Block C signage strategy
 Source: Bates Smart Design Report

4.16 Operational Details

The proposal will be managed in accordance with the Operational Management Plan prepared by UNSW and attached at **Appendix L**, UNSW Student Accommodation will be responsible for managing the Colleges.

All colleges will operate 24 hour a day, seven day a week. Administrative and reception staff will be available during business hours 8am to 6pm Monday to Friday, with on-site Deans, Deputy Deans and Residents Mentors providing after hours support.

The Colleges are fully staffed, with each college including a live-in Dean, resident mentors' residential wellbeing officers, administrative staff, security personnel and maintenance and cleaning contractors.

Residency is open to currently enrolled UNSW students, with priority to be given to students demonstrating financial need, accessibility requirements or distance from home.

To manage safety and security will be managed on-site through electronic key care access which will controls access to bedrooms, college buildings and shared facilities. Visitor access will be managed through registration and time-limited access credentials. CCTV will also be installed in strategic locations.

4.17 Construction Staging

The proposed development is anticipated to be delivered in a single consolidated construction stage. This approach ensures efficiency in delivery, minimises prolonged disruption to campus operations, and supports alignment with UNSW's strategic objectives.

The construction program is critical to achieving the targeted operational commencement for Semester 1, 2030. This timeline underpins UNSW's academic scheduling and student accommodation planning. Any deviation from this program could impact teaching and learning outcomes, as well as broader campus integration.

Delivering the project within the agreed timeframe is essential to:

- Align with UNSW's academic calendar and strategic growth plans.
- Avoid disruption to adjacent facilities and campus operations.
- Ensure commissioning and fit-out activities are completed well ahead of Semester 1, 2030.

5.0 Statutory Context

This section provides an assessment of the matters the consent authority must consider when determining a development application under section 4.15(1) of the EP&A Act.

5.1 Power to Grant Approval

Table 9 identifies the legal pathway under which consent for the project is sought, its permissibility and any other approvals that are required to carry out the project.

Table 9 Power to grant approval

Consideration	Assessment
Declaration of SSD	The development is declared SSD pursuant to State Significant Development Declaration Order 2025 (No 7) Part 2, section 4(a).
Consent Authority	Pursuant to section 4.5(a) of the EP&A Act, the Minister for Planning and Public Spaces, or their delegate will be the consent authority for the SSDA. It is noted that UNSW has not made any reportable political donations.
Crown Development	<p>The proposed development is classified as Crown Development, under section 294 of the EP&A Regulations: 294 Crown development—the Act, s 4.32(2)(a)</p> <p>The following persons are prescribed as the Crown—</p> <ul style="list-style-type: none"> (a) a public authority, other than a council, (b) an Australian university, within the meaning of the <i>Higher Education Act 2001</i>, (c) a TAFE establishment, within the meaning of the <i>Technical and Further Education Commission Act 1990</i>, (d) without limiting paragraph (a), a Crown cemetery operator, within the meaning of the <i>Cemeteries and Crematoria Act 2013</i>. <p>The University of New South Wales is identified as an Australian university, within the meaning of the higher Education Act 2001, and subsequently, section 1.4 of the EP&A Act, and section 4.33 of the EP&A Act applies: 4.33 Determination of Crown development applications (cf previous s 89)</p> <p>(1) A consent authority (other than the Minister) must not—</p> <ul style="list-style-type: none"> (a) refuse its consent to a Crown development application, except with the approval of the Minister, or (b) impose a condition on its consent to a Crown development application, except with the approval of the applicant or the Minister.

5.2 Permissibility

The proposed development is entirely permissible with consent, as detailed in **Table 10** below.

Table 10 Permissibility of the proposed development

Consideration	Assessment
Zoning	The Site is zoned SP2 Educational Establishments under the <i>Randwick Local Environmental Plan 2012</i> .
Proposed uses	<p>The Site is located within the boundaries of UNSW, an existing educational establishment. The proposed development seeks consent for 'campus student accommodation', as defined in part 3.3 of the <i>State Environmental Planning Policy (Transport and Infrastructure) 2021</i> (Transport and Infrastructure SEPP):</p> <p>campus student accommodation, in relation to a school, university or TAFE establishment, means residential accommodation that is—</p> <ul style="list-style-type: none"> (a) associated with the school, university or TAFE establishment, and (b) principally for students enrolled at the school, university or TAFE establishment, and (c) not located on land outside the boundaries of the school, university or TAFE establishment, and (d) designed primarily for shared living with common spaces and shared facilities provided for residents.

Consideration	Assessment
Permissibility	<p>In accordance with the provisions of Chapter 3, Part 3.5, section 3.45 of the Transport and Infrastructure SEPP, the proposed campus student accommodation is permissible as:</p> <ul style="list-style-type: none"> • It is associated with UNSW (a recognised University); • It will be carried out within the boundaries of an existing university; • It will principally accommodate students enrolled at the university; • Has been designed primarily for shared living with generous common spaces and shared facilities (including dining halls, common rooms, study rooms, music room, cultural activation space, arts and crafts room, courtyards terraces) and • Will not involve the subdivision of land. <p>Specifically, the proposed development seeks consent for the construction of three buildings, delivering 732 campus student accommodation beds across 5 colleges, together with non-student accommodation (Dean's accommodation and short-stay accommodation which is intended to be used for visiting academics and families), communal services and shared amenities. The non-student accommodation is an ancillary use to the campus student accommodation development.</p>

5.3 Other Approvals

Table 11 outlines other approvals that are required to carry out the proposed development under Division 4.7 of the EP&A Act.

Table 11 Other approvals

Consideration	Assessment																
Approvals not required for SSDA	<table border="1"> <thead> <tr> <th>Act</th> <th>Authorisation Otherwise Required?</th> </tr> </thead> <tbody> <tr> <td>Fisheries Management Act 1994 - section 201, 205 or 219</td> <td>No</td> </tr> <tr> <td>Heritage Act 1977 - section 139</td> <td>No</td> </tr> <tr> <td>National Parks and Wildlife Act 1974 - section 90</td> <td>No</td> </tr> <tr> <td>Rural Fires Act 1997 - section 100B</td> <td>No</td> </tr> <tr> <td>Water Management Act 2000 - section 89, 90 or 91</td> <td>No</td> </tr> </tbody> </table>	Act	Authorisation Otherwise Required?	Fisheries Management Act 1994 - section 201, 205 or 219	No	Heritage Act 1977 - section 139	No	National Parks and Wildlife Act 1974 - section 90	No	Rural Fires Act 1997 - section 100B	No	Water Management Act 2000 - section 89, 90 or 91	No				
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Consideration	Assessment
Environmental Protection and Biodiversity Conservation Act 1999	<p>The <i>Environmental Protection and Biodiversity Conservation Act 1999</i> (EPBC Act) is a federal legislation with an aim to protect and manage significant flora, fauna, ecological communities and heritage places that are identified as Matters of National Environmental Significance (MNES). If the proposed development results in any impacts to any MNES, it must be referred to the Federal Department of the Climate Change, Energy, the Environment and Water (DCCEE) to undertake an assessment to determine whether the development is a 'controlled action', which would then require an approval under the EPBC Act.</p> <p>A Biodiversity Development Assessment Report (BDAR) waiver request was prepared and submitted to DCCEE on 27 November 2025. On the 9 December 2025 a BDAR waiver was granted by DCCEE for the development and is included at Appendix Y.</p> <p>The BDAR Waiver concludes that the proposed development is not expected to have any significant impacts on biodiversity values at the site and that a BDAR is not required for the proposed.</p>

5.3.1 Pre-Conditions to Exercising the Power to Grant Consent

Table 12 identifies any pre-conditions for the consent authority in exercising their power to grant approval for the project.

Table 12 Pre-conditions for the consent authority

Statutory Reference	Assessment
Biodiversity Conservation Act 2016	<p>Section 7.9(2) of the <i>Biodiversity and Conservation Act 2016</i> (BC Act) requires that an SSD application be accompanied by a Biodiversity Development Assessment Report (BDAR) unless the Planning Agency Head and the Environmental Agency Head determine that the proposed development is not likely to have any significant impact on biodiversity values.</p> <p>As outlined above, a BDAR Waiver has been issued by DCCEE for this SSDA, which is provided at Appendix Y. The BDAR Waiver demonstrates that the proposed development is not expected to have any significant impacts on biodiversity values at the site.</p>
State Environmental Planning Policy (Transport and Infrastructure) 2021	<p>Section 2.48 Determination of development applications – other development</p> <p>Section 2.48 of the Transport and Infrastructure SEPP requires the consent authority to give written notice to the electricity supply authority for the area, and take into consideration any response to that notice before granting consent to a development likely to affect an electricity transmission or distribution network. The SSDA will be referred to the electricity supply authority for comments, as the proposed development is located immediately adjacent to an electricity substation (located on Barker Street).</p> <p>Section 2.122 Traffic-generating development</p> <p>The development does not trigger 'traffic-generating development' under section 1.22 of the Transport and Infrastructure SEPP. As such, the SSDA will not be referred to Transport for NSW (TfNSW) for comments.</p>
State Environmental Planning Policy (Resilience and Hazards) 2021	<p>Chapter 4 of the <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i> (Resilience and Hazards SEPP) aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment.</p> <p>Specifically, section 4.6(1)(b) requires the consent authority to be satisfied that the land is suitable in its contaminated state, or will be suitable after remediation, for the purpose for which the development is proposed to be carried out.</p> <p>A Detailed Site Investigation (DSI) has been prepared by Douglas Partners and is included at Appendix W. The DSI concludes that the Site can be made suitable for the proposed development, subject to implementing an Unexpected Finds Protocol and disposal of waste with assessment and testing. Additionally, it is recommended that a Hazardous Building Materials Survey is prepared, which has been included at Appendix X.</p>

5.3.2 Mandatory Matters for Consideration

Table 13 provides an assessment of the mandatory matters the consent authority is required to consider in deciding whether to grant approval for the project. A Statutory Compliance Table is provided at **Appendix B**.

Table 13 Summary of mandatory matters for consideration

Plan	Comments
<p>Environmental Planning & Assessment Act 1979</p>	<p>The development is consistent with the objects of the EP&A Act for the following reasons:</p> <ul style="list-style-type: none"> • The proposal will promote and facilitate the delivery of high-quality on-campus student accommodation. • The proposal is of a high-quality design in a strategic location and will provide amenity to the built environment. • ESD has been considered throughout the design of the building, integrating relevant economic, environmental and social considerations into the design to promote sustainable development; and • Community and stakeholder engagement has been undertaken by the Project Team in preparation of the SSDA, as detailed in Section 6.0. Throughout the assessment period, there will be another opportunity for the community and stakeholders to respond to the proposed development. <p>The proposed development is consistent with Division 4.7 of the EP&A Act, particularly for the following reasons:</p> <ul style="list-style-type: none"> • The development has been declared to be SSD; • It is not prohibited by an environmental planning instrument; and • It has been evaluated and assessed against the relevant matters for consideration under Section 4.15(1) as outlined in this EIS.
<p>State Environmental Planning Policy (Transport and Infrastructure) 2021</p>	<p>Section 3.45 Development for purposes of campus student accommodation</p> <p>Section 3.45 of the Transport and Infrastructure SEPP relates to development for the purpose of campus student accommodation that is carried out on land within the boundaries of a university. This section requires that:</p> <p>(2) <i>Development consent must not be granted if the development involves the subdivision of land.</i></p> <p>(3) <i>Development consent must not be granted unless the consent authority has considered the design quality of the development, evaluated in accordance with the design quality principles set out in Schedule 8.</i></p> <p>(4) <i>For the purposes of subsection (3), a reference in Schedule 8 to a school is taken to include a reference to campus student accommodation.</i></p> <p>The proposed campus student accommodation will not involve the subdivision of land. An assessment of the proposed development against the design quality principles in Schedule 8 has been provided in Table 14.</p>
<p>State Environmental Planning Policy (Industry and Employment) 2021</p>	<p>Chapter 3 of the <i>State Environmental Planning Policy (Industry and Employment) 2021</i> (Industry and Employment SEPP) provides the requirements for developments that include signage. Under section 3.6 of the Industry and Employment SEPP, the consent authority must not grant development consent to any application to display signage unless the consent authority is satisfied that the signage is consistent with the objectives of Chapter 3, and that the signage satisfies the assessment criteria outlined in Schedule 5.</p> <p>Signage zones are proposed as part of the development (refer to Section 4.15). The signage zones have been assessed against Schedule 5 of the Industry and Employment SEPP (refer to Table 15).</p>
<p>State Environmental Planning Policy (Housing) 2021</p>	<p>This SEPP is not applicable to the proposed development.</p>
<p>State Environmental Planning Policy (Resilience and Hazards) 2021</p>	<p>The Site is not located within a coastal zone, and therefore, Chapter 2 of the <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i> (Resilience and Hazards SEPP) does not apply.</p> <p>Chapter 4, section 4.6(2) requires that the consent authority must consider a report specifying the findings of a preliminary investigation of the concerned land. The Site is considered to be suitable for the proposed development, subject to the implementation of the recommendations provided within the Detailed Site Investigation, prepared by Douglas Partners included as Appendix W.</p>
<p>State Environmental Planning Policy (Biodiversity and Conservation) 2021</p>	<p>Chapter 2 of the <i>State Environmental Planning Policy (Biodiversity and Conservation) 2021</i> (Biodiversity and Conservation SEPP) relates to vegetation management in non-rural areas. As outlined above, the Department has issued a BDAR Waiver, confirming that the proposed development will not result in any adverse impacts on biodiversity values.</p> <p>Chapter 6 of the Biodiversity and Conservation SEPP provides provisions for land situated within water catchments. The Site is not located within any water catchment and therefore the provisions of Chapter 6 do not apply to the proposed development.</p>

Plan	Comments
State Environmental Planning Policy (Sustainable Buildings) 2022	<p>The <i>State Environmental Planning Policy (Sustainable Buildings) 2022</i> (Sustainable Buildings SEPP) was adopted as part of the NSW Government's commitment to delivering sustainable and resilient buildings, to contribute to the target for net zero emissions by 2050.</p> <p>Through the implementation of multiple ecologically sustainable development (ESD) initiatives, the development will meet and exceed industry benchmarks and schemes, as well as reduce emissions and consumption of energy. An ESD Report has been prepared by Atelier Ten and is included at Appendix Q.</p>
Randwick Local Environmental Plan 2012	An assessment of the proposed development against the provisions of the <i>Randwick Local Environmental Plan 2012</i> (Randwick LEP 2012) is provided within Table 16 .
Randwick Development Control Plan 2013	By virtue of section 2.10 of the Planning Systems SEPP, ' <i>Development Control Plans...do not apply to... State Significant Development</i> ', and therefore an assessment against the provisions of the Randwick DCP 2013 has not been undertaken. Notwithstanding, key principles of the DCP have been used to inform a merit assessment of the proposal including in relation to setbacks and solar access.

5.3.3 State Environmental Planning Policies

The Transport and Infrastructure SEPP is relevant to the proposed development and is assessed in **Table 14**.

Table 14 Assessment against State Environmental Planning Policy (Transport and Infrastructure) 2021

Clause	Standard	Comment
Part 3.5 Universities		
3.45 Development for purposes of campus student accommodation	(1) Despite section 3.44(2), development for the purposes of campus student accommodation may be carried out by a person with development consent on land within the boundaries of the university.	The proposed development seeks consent for development for the purposes of campus student accommodation within the boundaries of the existing UNSW Kensington campus.
	(2) Development consent must not be granted if the development involves the subdivision of land.	The proposed development does not involve the subdivision of land.
	(3) Development consent must not be granted unless the consent authority has considered the design quality of the development, evaluated in accordance with the design quality principles set out in Schedule 8.	The design quality of the development has been considered below, concluding that the proposed development aligns with the design quality principles for schools.
	(4) For the purposes of subsection (3), a reference in Schedule 8 to a school is taken to include a reference to campus student accommodation.	Noted. An assessment of the proposed development against the design principles within Schedule 8 has been undertaken below.
Schedule 8 Design quality principles in schools—Chapter 3		
1 Responsive to context	Schools should be designed to respond to and enhance the positive qualities of their surroundings.	The proposed development has been designed with consideration to the key qualities of the surrounding area. In particular, the development has been designed to preserve and retain the significant trees on Site, fronting Barker Street and directly north of the Site.
	In designing built forms and landscapes, consideration should be given to a Country-centred approach and respond to site conditions such as orientation, topography, natural systems, Aboriginal and European cultural heritage and the impacts of climate change.	Bates Smart have worked in collaboration with Yerrabingin to develop the design of the proposed development. Due to the significance of the Site for Country, and connection to country people, the project team has undergone significant consultation with Indigenous communities, to ensure the development responds appropriately to the site conditions and history. The Country-centred approach to design is outlined in Section 4.4 .

Clause	Standard	Comment
	Landscapes should be integrated into the overall design to improve amenity and to help mitigate negative impacts on the streetscape and neighbouring sites.	Various landscape typologies have been provided across the Site, enhancing the overall amenity of the Site. These areas are discussed in Section 4.9 , and include the ground floor courtyards, and upper level podium and tower terraces.
2 Sustainable, efficient and resilient	Good school design combines positive environmental, social and economic outcomes and should align with the principles of caring for Country.	The proposed development consolidates the provision of on-campus student accommodation near educational buildings, and is in close proximity to public transport, reducing reliance on private vehicles (refer to Section 7.5). Social outcomes are improved through high-quality shared spaces, fostering a sense of community. The proposal integrates energy-efficient systems, biodiversity and passive designs to improve environmental outcomes.
	Schools should be designed to be durable and resilient in an evolving climate.	The materials selected as part of the proposed development are high-quality and designed to withstand weather impacts, and withstand potential flooding. Refer to Section 7.8 for a detailed assessment of the proposed developments response to flooding on the Site.
	Schools and their grounds should be designed to minimise the consumption of energy, water and other natural resources and reduce waste.	The proposed development encompasses a range of sustainability measures to minimise the environmental impacts of the development. Refer to the ESD Report, prepared by Atelier Ten and Section 7.6 for more detail.
3 Accessible and inclusive	School buildings and grounds should be welcoming, easy to navigate and accessible and inclusive for people with differing needs and abilities.	The proposal includes a number of signage zones, which will provide a legible wayfinding system suitable for all users. As detailed in the BCA and Accessibility Report (refer to Appendix 7.16), the proposed development is capable of meeting all relevant accessibility requirements.
	Schools should be designed to respond to the needs of children of different ages and developmental stages, foster a sense of belonging and seek to reflect the cultural diversity of the student body and community.	A range of accommodation types are proposed within the development, including undergraduate students, postgraduate students, international students, academics and visitors. Communal areas, social lounges, study areas and outdoor gathering areas are distributed across the Site to foster belonging and inclusive socialising.
	Schools should be designed to enable sharing of facilities with the community and to cater for activities outside of school hours.	Ground-floor common rooms, study areas, landscaped courtyards and meeting rooms are designed for extended hours use, supporting typical student living patterns. The layout and orientation of the Site ensures safe access after dark with lighting, surveillance and legible circulation.
4 Healthy and safe	Good school design should support wellbeing by creating healthy internal and external environments.	Internal environmental amenity is maximised through sufficient natural light, ventilation and acoustic separations between quiet and active zones. Landscaped courtyards and terraces promote physical activity, informal learning and social connection (refer to Section 7.4). The provision of adequate greenery and shaded environments improves the mental health of residents and provides restorative spaces.

Clause	Standard	Comment
	The design should ensure safety and security within the school boundaries, while maintaining a welcoming address and accessible environment.	The proposed development has been designed to ensure building entries are clearly visible, circulation paths and wide and well-lit, common rooms overlook shared courtyard spaces and access is secure for residential colleges.
	In designing schools, consideration should be given to connections, transport networks and safe routes for travel to and from school.	The broader UNSW campus plan focuses on minimising vehicular-pedestrian conflict, particularly in high-activity zones by reducing vehicle intrusion and creating more pedestrian-only spaces. Gate 14 and Southern Drive serve as the main vehicle access routes into the campus, providing access to the existing car parking on Barker Street and facilitating servicing. Loading to N13 Development will be integrated along this existing road, in alignment with the campus development plan. The relocated Gate 15 will serve as a vehicle driveway into Science Road. It is expected to have low-traffic volume and accommodates pedestrian footpath on both sides.
5 Functional and comfortable	Schools should have comfortable and engaging spaces that are accessible for a wide range of formal and informal educational and community activities.	The internal layouts of Blocks A, B and C include a variety of spatial typologies which support individual and group socialisation, wellbeing and long-term residential comfort. Spaces are sized to accommodate the relevant college and the intended use by students.
	In designing schools, consideration should be given to the amenity of adjacent development, access to sunlight, natural ventilation, proximity to vegetation and landscape, outlook and visual and acoustic privacy.	The proposed development has been designed with consideration for the amenity of adjacent developments. The development provides a staggered built form, which reduces privacy, overshadowing (refer to Section 7.3) and visual impacts to adjacent residential properties.
	Schools should include appropriate indoor and outdoor learning and play spaces, access to services and adequate storage.	The buildings have been designed to provide communal kitchens, laundries, study rooms, lounges and flexible common areas across all colleges. Outdoor spaces are both active and passive, suitable for study and socialising. Adequate storage, secure bicycle parking, waste rooms and services are provided on site, without comprising residential amenity.
6 Flexible and adaptable	In designing schools, consideration should be given to future needs and take a long-term approach that is informed by site-wide strategic and spatial planning.	The proposed development is aligned with UNSW's broader strategic masterplan for the Kensington Campus, which identifies the southern portion of the campus, along Barker Street as an area for student housing, supporting surrounding student service hubs, library and education spaces.
	Good design for schools should deliver high environmental performance and ease of adaptation, and maximise multi-use facilities.	The range of communal facilities and areas outlined in Section 4.8.4 have been designed to be multi-purpose, depending on the college using them.
	Schools should be adaptable to evolving teaching methods, future growth and changes in climate, and should minimise the environmental impact of the school across its life cycle.	The proposed development encompasses a range of sustainability measures to minimise the environmental impacts of the development. Refer to the ESD Report, prepared by Atelier Ten and Section 7.6 for more detail.
7 Visually appealing	School buildings and their landscape settings should be aesthetically pleasing by achieving good proportions and a balanced composition of built and natural elements.	The architectural composition of the proposed development emphasises vertical articulation, the depth of the façades and the use of high quality

Clause	Standard	Comment
		materials, complemented by existing mature trees and terrace landscaping. This is discussed in more detail in Section 7.1 .
	Schools should be designed to respond to and have a positive impact on streetscape amenity and the quality and character of the neighbourhood.	The Barker Street streetscape is defined by a four-storey street wall with landscaped setbacks, creating a human-scaled frontage. The façades of bedroom modules and balconies evoke a residential typology, while both the podium and tower forms are set back from the street, softening the building's presence and celebrating the existing fig trees that give Barker Street its character. Additional street planting enhances the green canopy, and Level 4 rooftop balustrades are recessed to limit visibility, ensuring the building integrates harmoniously with its context.
	The identity and street presence of schools should respond to the existing or desired future character of their locations.	The future character of the UNSW campus precinct intends for this part of the UNSW university campus to be defined by the student housing villages centred around generous outdoor spaces and supported by student focused services. These villages will provide students with access to both day and night activities on campus, fostering a sense of community and engagement while supporting their academic and social needs.
	The design of schools should reflect the school's civic role and community significance.	The play of scale, the orientation and proportion of façade fins, and subtle shifts in colour between colleges work together to break down the scale of the forms, reinforce individual college identity, and create a rhythm that responds to Country and the surrounding context.

The Industry and Employment SEPP is relevant to the proposed development and is assessed in **Table 15**. Consent is sought for signage zones only. The content and design of the signage will be assessed under future DAs.

Table 15 Assessment against State Environmental Planning Policy (Industry and Employment) 2021

Clause	Provision/ Standard	Proposal
Schedule 5 Assessment Criteria		
1 Character of the area	Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	The proposed signage zones have been designed to a scale that is consistent with the desired future character of the Site. The zones ensure that future signage in these locations will be compatible with the built form of the Site.
	Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	There is no particular theme for signage in the wider area. Notwithstanding this, the detailed design of these signage zones will seek to address and remain consistent with the signage context of the UNSW Campus.
2 Special areas	Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	The signage zones ensure that future signage will not detract from the amenity or visual quality of any environmentally sensitive area, heritage area, natural or other conservation area, open space areas, waterways, rural landscapes or residential areas.
3 Views and vistas	Does the proposal obscure or compromise important views?	The location of the signage zones ensures that future signage does not obstruct any important views.


Clause	Provision/ Standard	Proposal
	Does the proposal dominate the skyline and reduce the quality of vistas?	The location of the signage zones ensures that future signage does not dominate the skyline and reduce the quality of vistas. No signage will protrude above the skyline.
	Does the proposal respect the viewing rights of other advertisers?	Signage at the Site will not obstruct any other signage in the area.
4 Streetscape, setting or landscape	Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	The signage zones ensure that the scale, proportion and form of all future signage is appropriate with regards to the relevant streetscape setting.
	Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	Signage on the proposed development will contribute towards visual interest on the Site, while serving the purpose of wayfinding and university college identification.
	Does the proposal reduce clutter by rationalising and simplifying existing advertising?	No existing advertising is currently located on the site.
	Does the proposal screen unsightliness?	The signage zones ensure that future signage will be located appropriately to improve visual interest and assist with identification and wayfinding.
	Does the proposal protrude above buildings, structures or tree canopies in the area or locality?	Some of the signage zones are located near the top of the buildings and will protrude above tree canopies.
	Does the proposal require ongoing vegetation management?	Future signage is not likely to require vegetation management.
5 Site and building	Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	The location of the signage zones have been carefully designed to ensure that all future signage is compatible with the scale, proportions and presentation of the development.
	Does the proposal respect important features of the site or building, or both?	The location of the signage zones ensures that future signage is respectful in the design, and will not dominate the surrounding locality or detract from any of the important features of the Site.
	Does the proposal show innovation and imagination in its relationship to the site or building, or both?	Future signage will be designed to be functional and meet the requirements of the intended purpose, which is for university college identification and wayfinding signage.
6 Associated devices and logos with advertisements and advertising structures	Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	The future signage may incorporate logos and other safety/ maintenance measures. These will be designed to read as an integral part of the signage and building façade.
7 Illumination	Would illumination result in unacceptable glare?	If illuminated signage is provided, it will not result in unacceptable glare.
	Would illumination affect safety for pedestrians, vehicles or aircraft?	If illuminated signage is provided, it will not affect pedestrian or vehicular safety.
	Would illumination detract from the amenity of any residence or other form of accommodation?	If illuminated signage is provided, it will not detract from the amenity of any residence.

Clause	Provision/ Standard	Proposal
	Can the intensity of the illumination be adjusted, if necessary?	If illuminated signage is provided, it will be designed in accordance with the relevant Australian Standards to prevent adverse impacts.
	Is the illumination subject to a curfew?	The curfew for signage will be confirmed if illuminated signage is provided.
8 Safety	Would the proposal reduce the safety for any public road?	The location of the signage zones ensures future signage will have no impact on the safety of road users.
	Would the proposal reduce the safety for pedestrians or bicyclists?	The location of the signage zones ensures future signage will have no impact on the safety of pedestrians or cyclists.
	Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	The location of the signage zones ensures future signage will not obscure sightlines from public areas.

5.3.4 Randwick Local Environmental Plan 2012

An assessment against the relevant clauses of the Randwick LEP 2012 is provided in **Table 16**.

Table 16 Assessment against Randwick Local Environmental Plan 2012

Clause	Standard	Comment
Clause 2.1 Land Use Zones	SP2 Educational Establishment	Campus student accommodation is permissible in the SP2 zone, under section 3.45 of the Transport and Infrastructure SEPP.
Clause 4.3 Height of Buildings	Partial 14m building height, shown in Figure 43 .  Figure 43 Height of buildings mapping	As outlined in Figure 43 , the Site has a partial 14m building height. The proposed development exceeds this building height in isolated locations and therefore a Clause 4.6 Variation Request has been prepared to justify the exceedance. Refer to Appendix H and Section 7.1.4 for a detailed assessment.
Clause 4.4 Floor Space Ratio	N/A	The Site is not subject to a maximum FSR control.
Clause 4.6 Exceptions to Development Standards	A Clause 4.6 Variation Request has been prepared and included in this EIS, to provide justification for the proposed building height breach, beyond the 14m building height applying to part of the Site. Refer to Appendix H and Section 7.1.4 for a detailed assessment.	
Clause 5.10 Heritage Conservation	Whilst the Site contains the C2 'Old Tote & Figtree Theatre' heritage conservation area, the portion of land being developed under this SSDA is not located within or in proximity to the heritage conservation area. The impacts of the proposed development on European heritage is assessed in Section 7.14 , however as the proposed development is not visible from the heritage conservation area, the impact is considered to be negligible.	
Clause 5.21 Flood Planning	The Site is subject to flooding, under the Kensington - Centennial Park Flood Study. Barker Street is identified as a flood prone area, due to the low point within Barker Street, with flooding occurring in storm events including the 1% Annual Exceedance Probability (AEP) and the 10% AEP. An Integrated Water Management Plan has been prepared and is included in this application (refer to Appendix S) to ensure the proposed development adequately addresses the flooding risks for the Site. Refer to Section 7.8 for a detailed assessment.	

Clause	Standard	Comment
<p>Clause 6.2 Earthworks</p>	<p>Before granting development consent for earthworks, the consent authority must consider the effect of the development on the likely future use or redevelopment of the land and the effect of the development on the existing and likely amenity of adjoining properties.</p> <p>The proposed development includes minor cut, and fill works up to approximately 1m in height, and localised excavation to support lifts shaft to a depth of 2m.</p>	
<p>Clause 6.8 Airspace Operations</p>	<p>If an application is received, and the consent authority is satisfied that the proposed development will penetrate the Limitation or Operations Surface, the consent authority must not grant development consent unless it has consulted with the relevant Commonwealth Body about the application. All three of the buildings as well as all cranes will intrude into the Conical Surface of the Sydney Airport Obstacle Limitation Surfaces (OLS). Controlled activity approvals are therefore required, and the application will be referred to CASA. As discussed in Section 7.15, an Aeronautical Impact Assessment (refer to Appendix BB) has been prepared by Avlaw Aviation to ensure that the safety, efficiency and regularity of aircraft operations is protected by ensuring necessary safety clearances are maintained. Avlaw Aviation confirms that the built structures and temporary crane activity at the Site will not adversely affect the safety, efficiency or regularity of aircraft operations at Sydney Kingsford Smith Airport, or helicopter operations at the Prince of Wales Hospital, and therefore the necessary controlled activity approvals should be granted .</p>	
<p>Clause 6.9 Development in Areas Subject to Aircraft Noise</p>	<p>The Site is not identified on the Noise Exposure Forecast Contour Map for the Sydney Kingsford Smith Airport and, therefore, this clause does not apply.</p>	
<p>Clause 6.11 Design Excellence</p>	<p>Clause 6.11 applies to the following development that involves the construction of a new building, or external alterations to an existing building:</p> <p>(a) On a site that has an area of 10,000m² or greater, or</p> <p>(b) On land for which a development control plan is required to be prepared under clause 6.12, or</p> <p>(c) That is, or will be, at least 15 metres in height.</p> <p>(4) In considering whether the development exhibits design excellence, the consent authority must have regard to the following matters—</p> <p>(a) whether a high standard of architectural design, materials and detailing appropriate to the building type and location will be achieved,</p> <p>(b) whether the form and external appearance of the development will improve the quality and amenity of the public domain,</p> <p>(c) how the proposed development responds to the environmental and built characteristics of the site and whether it achieves an acceptable relationship</p>	<p>As the proposed development has a maximum building height of RL80m, Clause 6.11 applies. The matters outlined above which the consent authority must have regard for are discussed below, and the Architectural Design Report, prepared by Bates Smart and included as Appendix G.</p> <p>As outlined in Section 7.1, the proposal has been designed by Bates Smart in collaboration with Yerrabingin to ensure the development is of high standard of architectural design, that will complement the existing and future character of the area. The design and materiality of the development, as addressed in Section 7.1 will improve the existing condition of the Site both in terms of visual appeal as well as through improved environmental performance.</p> <p>The proposed development is designed to improve the quality and amenity of the public domain by activating key frontages and integrating with surrounding public spaces. The ground-level design includes communal and student-focused spaces that activate the frontages along Barker Street, Physics Lawn, and the Village Green, creating a vibrant interface between the campus and the street. This thoughtful integration contributes positively to the public realm, enhancing the pedestrian experience and promoting engagement with the surrounding community.</p> <p>The design of the project is highly responsive to the environmental and built characteristics of the Site:</p> <ul style="list-style-type: none"> • Site Context: It is sited to retain significant on-site trees, including mature fig trees, and respects the 6m landscape setback control along Barker Street.

Clause	Standard	Comment
	<p>with other buildings on the same site and on neighbouring sites,</p> <p>(d) whether the building meets sustainable design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security, resource, energy and water efficiency, renewable energy sources and urban heat island effect mitigation,</p> <p>(e) whether the proposed development detrimentally impacts on view corridors and landmarks.</p>	<p>The surrounding urban context, including low to mid-rise residential buildings and educational facilities, has been carefully considered to ensure the development integrates harmoniously with its environment.</p> <ul style="list-style-type: none"> • Built Form and Massing: It has been designed with step-back podiums and modulated tower forms to reduce visual bulk and ensure an appropriate scale transition from the UNSW campus to the residential area to the south. This approach ensures that the building mass is well integrated into the broader urban fabric while maintaining the sunlight access and privacy of surrounding buildings. • Landscape Integration: The proposed landscaping respects the natural environment, featuring native vegetation and sustainable landscaping practices that enhance the overall biodiversity and aesthetic value of the Site. • The four-storey street wall along Barker Street, complemented by landscaped setbacks, ensures a comfortable, human-scaled environment while softening the built form. These design elements ensure that the development not only integrates with the campus but also enhances the streetscape and public domain. <p>The project demonstrates a strong commitment to sustainable design principles across various aspects including:</p> <ul style="list-style-type: none"> • Energy Efficiency: The building has been designed to optimise solar access and natural ventilation for all student rooms and communal spaces, reducing reliance on mechanical systems. Shading devices and high-performance glazing help reduce heat gain while ensuring optimal daylight penetration. • Water and Resource Efficiency: The development incorporates water-sensitive urban design (WSUD) strategies, such as stormwater management systems and infiltration tanks, to improve water efficiency and reduce the impact of the urban heat island effect. • Renewable Energy: Provisions for renewable energy sources are integrated into the design, ensuring the development aligns with sustainability goals. Additionally, the building is designed with energy-efficient systems, contributing to the green building standards. • Wind and Thermal Comfort: The design also incorporates strategies for wind mitigation and thermal comfort. By integrating stepped podiums and careful placement of terraces, the development minimises adverse wind effects while ensuring the safety and comfort of residents. <p>As is outlined in Section 7.3.2 the development will not adversely impact on view corridors or landmarks. Given the evolving character of Baker Street, which is expected to accommodate higher density development, the design considers the visual impact on both existing and future buildings. The design ensures compatibility with surrounding UNSW</p>

Clause	Standard	Comment
		buildings, reflecting the existing height of key structures like the June Griffith Building. The towers are set back from the public domain and are articulated in a way that respects both the scale of nearby buildings and the wider context of the campus. The four-storey podium aligns with existing development along Barker Street, providing a gradual transition in height and massing.

5.3.5 Applicable Contributions

Table 17 below provides an overview of the applicable contributions, and exemptions as a result of the nature of the proposed development.

Table 17 Contributions relevant to the proposed development

Contribution	Comment
Housing and Productivity Contributions	Given campus student accommodation is not identified as a type of residential or commercial development in Schedule 2 of the Ministerial Order for the Housing and Productivity Contributions (HPCs), this contribution does not apply to the proposed development.
Randwick City Section 7.12 Plan 2024	<p>The relevant contributions plan for the Site is the Randwick City Section 7.12 Plan 2024. Exemptions from the payment of section 7.12 contributions may be considered by the relevant consent authority for the following development:</p> <ul style="list-style-type: none"> • <i>Works proposed to be undertaken for charitable purposes by, or on behalf of, a not-for profit charity in cases where the development is of a small scale with minimal floor space intensification, and where Council considers that there will not be an increase in the demand for public works or infrastructure as a result of the development.</i> <p>The underlying purpose of Council's Contributions Plan is to raise funds from private, commercially driven developments to be put towards the cost of public facilities and infrastructure which are burdened by those developments.</p> <p>An exemption from local contributions is considered appropriate as UNSW is a registered not-for-profit public institution which often relies on government grants, donations and community funding to provide new facilities for the University community and the broader public. The levying of a development contribution would divert a portion of these public funds, which have been specifically provided for an educational purpose, to local services without any direct connection to the impact on those services. UNSW and its functions are inherently of a public nature, providing educational and employment opportunities to the State. The proposed campus student accommodation development is part of the University's core functions, providing academic functions, accommodation, and non-academic functions.</p> <p>UNSW is recognised as Crown Development under Part 15, section 294 of the EP&A Regulations. Section 4.6 of the EP&A Act provides that in relation to Crown Developments, a consent authority is unable to impose a condition of consent without the approval of the University or the Minister.</p> <p>It is noted that Council does not automatically grant exemptions to Crown Developments, however, the Department's website guidance on <i>Exempting certain development from contributions</i> sets out the reasons why Crown developers should be able to seek exemptions from developer contributions payments.</p> <p>While this guidance website specifically relates to the payment of section 7.11 contributions, the principles remain relevant in relation to Crown developments subject to section 7.12 contributions. The effect of this guide is, that where the applicant is a Crown authority, and the development is for educational establishments, no contributions should be collected for open space, community facilities, parking or roads. Contributions may be levied for drainage works and to upgrade local roads and local area traffic management.</p> <p>The exemption from payment of contributions relating to community facilities, open space, parking or roads is considered appropriate, as the UNSW campus provides significant areas of accessible public open space which can be accessed by the general public, as well as a range of community facilities, including:</p> <ul style="list-style-type: none"> • Childcare centres; • Fitness and aquatic centre;

Contribution	Comment
	<ul style="list-style-type: none">• Library, performance venues, and medical services; and• Kingsford Legal Centre offering pro bono advice. <p>The availability of these amenities and services, which are maintained by UNSW, reduces the demand on public amenities outside the campus.</p>

6.0 Stakeholder Engagement

Preliminary stakeholder engagement has been undertaken for the project in accordance with the project SEARs and the principles of the *Department's Undertaking Engagement Guidelines for State Significant Development*, including being proportionate to its scale and likely level of community interest.

This chapter provides a summary of the engagement undertaken, initial feedback received and how the development responds to this. Ongoing engagement with the community and other stakeholders will also be carried out through the assessment of the SSDA. An Engagement Outcomes Report has been prepared by Colliers Urban Planning and is provided at **Appendix M**.

6.1 Pre-Lodgement Engagement Undertaken

6.1.1 Identified Stakeholders for Engagement

The following key stakeholder groups were identified as potentially having an interest in the proposal:

- Surrounding Residents and Businesses;
- UNSW Students and Staff;
- Government Agencies; and
- Randwick City Council.

6.1.2 Engagement Methodology

Various methods for consultation and engagement have been used to engage with the abovementioned stakeholders. These methods are summarised in **Table 18**.

Table 18 Summary of engagement methodology

Activity	Stakeholder	Purpose
Project Notification Letters – Letterbox Drop	<ul style="list-style-type: none"> • Local residents and businesses 	Notified local residents and businesses about the project and opportunities to learn more and provide feedback.
Email Outreach to Stakeholders	<ul style="list-style-type: none"> • Key local stakeholders, industry and interest groups 	Ensured key local stakeholders were informed of the proposal and opportunities to provide feedback.
Project Website	<ul style="list-style-type: none"> • All stakeholders 	Provided accessible project information, available to all community members and stakeholders.
Display Boards	<ul style="list-style-type: none"> • Attendees of the drop-ins and pop-up sessions 	Provide visual aids to support the drop-in and pop-up sessions, ensuring project information is clear and accessible.
Project Presentations	<ul style="list-style-type: none"> • All stakeholders 	Provide information with visual aids to the community and stakeholders during consultation events.
Additional Door Knocking Flyers	<ul style="list-style-type: none"> • Residents and businesses surrounding the site on Barker Street, Willis Street and Norton Street 	Proactive communications to demonstrate a strong commitment to engaging neighbours who are most impacted by the project.
Social Media Posts	<ul style="list-style-type: none"> • Students • Staff • General Community 	Raised awareness about the projects and sought feedback from students and staff.
Staff and Student Newsletters	<ul style="list-style-type: none"> • Students • Staff 	Raised awareness about the projects and sought feedback from students and staff.

6.2 Preliminary Feedback and Responses

6.2.1 The Department and Council Feedback

The proposed development was presented to the Department on 29 July 2025, with a follow up meeting on 27 August 2025 to provide feedback on the proposal. The proposed development was presented to Randwick City Council on 8 October 2025. This meeting was held concurrently with the N18 Barker Street Carpark Redevelopment, however, focused on the proposed campus student accommodation development. A summary of the feedback received by these stakeholders is provided in **Table 19**.

Table 19 Summarised responses to the Department and Council Feedback

Feedback	Response
<p>Consistency with the EOI and Height</p> <ul style="list-style-type: none"> The recent presentation showing the general design of the proposal does not raise concerns in terms of EOI consistency. It is expected that there will be further design improvements and the project presented so far is generally in keeping with the original EOI concept. Having regard to the height of the buildings and achieving Design Excellence, it was recommended that a maximum RL80 be set and the remaining towers variable and lower in height. Ideally stepping down in height to better align with existing buildings on campus. 	<p>In response to feedback from the Department and Council, the development has been designed to maintain consistency with the EOI. A maximum height of RL 80 was respected, with the towers stepping to better align with existing buildings on the campus and the surrounding context.</p>
<p>Driveway Location</p> <ul style="list-style-type: none"> The second driveway located at the boundary between Shalom College and Block C (Option 2), is the preferred location for a vehicular driveway. There was general agreement with this option and recognition of better pedestrian links between the proposed cluster of buildings that this option would achieve. 	<p>This option has been implemented into the design of the development. The proposal, including the proposed driveway location is discussed in Section 7.5.</p>
<p>Tree Removal Strategy</p> <ul style="list-style-type: none"> Discuss tree removal with Randwick Council and the potential for additional street trees and related landscaping on Barker Street. 	<p>Tree removal and retention have been a key design driver of the proposed development, and is discussed in Section 7.4. Several new trees are proposed to be planted along Barker Street to improve the condition of the streetscape and to complement existing planting.</p>
<p>University Campus Masterplan</p> <ul style="list-style-type: none"> Randwick City Council sought more clarity around UNSW's broader masterplan for the campus which would help them understand the broader intent and how this project fits into their own planning agenda. 	<p>Internally, UNSW is preparing a holistic, staged plan for the campus. This will be released externally when it is finalised.</p>

6.2.2 Community Feedback

Table 20 provides a summary of the key issues raised by the community throughout the engagement process and how this has been responded to within the proposal.

Table 20 Summary of engagement feedback

Theme	Feedback	Response
Design and Amenity	Feedback emphasised the importance of high-quality design that supports everyday comfort and usability. There was strong support for natural light, good ventilation, and flexible room layouts that can adapt to different student needs.	This feedback has been incorporated into the design of the development, as discussed in Section 7.2 .
Public Domain	Participants expressed interest in the public spaces being welcoming, safe, and well-connected with landscaping and sustainability front of mind. There was support for places to socialise that facilitate connection to reduce isolation among students living on campus.	As discussed in Section 4.9 , the public spaces on site have been designed to be welcoming, safe and well-connected to landscaping and sustainability.
Neighbour Impacts	Concerns were raised about potential impacts on neighbouring properties, including overshadowing, privacy, and increased traffic. Respondents also raised concerns about the increase in	These concerns have been heard and taken on board. In particular, consideration has been given to the

Theme	Feedback	Response
	student population on-campus and how that would impact street parking.	potential impacts on neighbouring properties as outlined in Section 7.3).
Inclusivity and Affordability	There were multiple requests to ensure campus accommodation is affordable and accessible, particularly for first-year and international students. The proposal was seen as a positive step towards improving the local affordability of housing more broadly.	This proposal is for on-campus student accommodation, offering a variety of types of accommodation, providing affordable and accessible options for students, depending on their needs and requirements. This typology of student housing is all-inclusive, meaning that meals, internet and communal amenities are all included within the fees. This is a significant benefit to the private rental market.
Construction Impacts	Participants raised concerns about potential construction impacts, particularly for residents living on Norton and Barker Streets. Key issues included noise and traffic disruptions, with multiple community members raising concerns around traffic and parking issues during the construction phase.	The construction impacts of the proposal have been initially considered in Section 7.7 and Section 7.5 , and will be managed through a Detailed Construction Management Plan, which will be prepared prior to construction commencing.

6.3 Future Engagement

Statutory Exhibition

In accordance with Division 2, Section 9 of the EP&A Act, the application will be publicly exhibited for a minimum of 28 days following its submission to the Department. The project team will then prepare a Submissions Report which responds to any further matters raised by the community and Government agencies during this period.

Ongoing Stakeholder Engagement

The project team will continue to consult and engage with key stakeholders throughout the exhibition and assessment phases, and beyond, for the duration of the project. Key next steps include:

- Submission of the SSDA, incorporating feedback.
- The Department will place the SSDA on exhibition for public and agency commentary.
- Preparation of a Response to Submissions Report following exhibition.
- Continued briefings/ liaison with key stakeholders where required.
- Development of a process to manage ongoing communication with neighbours during construction.

It is anticipated that the conditions of approval will require a Construction Environmental Management Plan to be prepared which will include provision for ongoing community consultation throughout the construction of the project and any other post-approval stakeholder consultation strategies.

7.0 Assessment of Impacts

This section of the EIS assesses and responds to the environmental impacts of the proposed SSDA. It addresses the matters for consideration set out in the SEARs (**Appendix A**).

7.1 Built Form and Urban Design

Architectural drawings and an architectural design report have been prepared by Bates Smart and are located at **Appendix F** and **Appendix G**, respectively. The design report outlines the built form, design principles and key qualities of the proposal, all of which have informed a design that achieves a high standard of architectural and urban design merit. The proposal has been guided by the design quality principles in Schedule 8 of the *Transport and Infrastructure SEPP*, with an assessment against each principle provided in **Section 5.3.3** of this EIS.

7.1.1 Design Quality

In accordance with Clause 6.11 of the Randwick LEP, the consent authority must be satisfied that the development demonstrates design excellence. To achieve this, a range of design strategies have been embedded from the earliest stages of concept development. A complete assessment against the requirements of Clause 6.11 of the Randwick LEP has been undertaken in **Section 5.3.4**, with the key design strategies outlined in this section.

In addition to the design principles outlined in **Section 4.3**, a core aspect of the design process has been collaboration with Yerrabingin, whose overarching approach seeks to create a place that brings together Country and diverse communities. The resulting design expresses a woven and connected framework, where built form and landscape integrate to provide spaces for gathering, learning and connection, as illustrated in **Figure 44**.

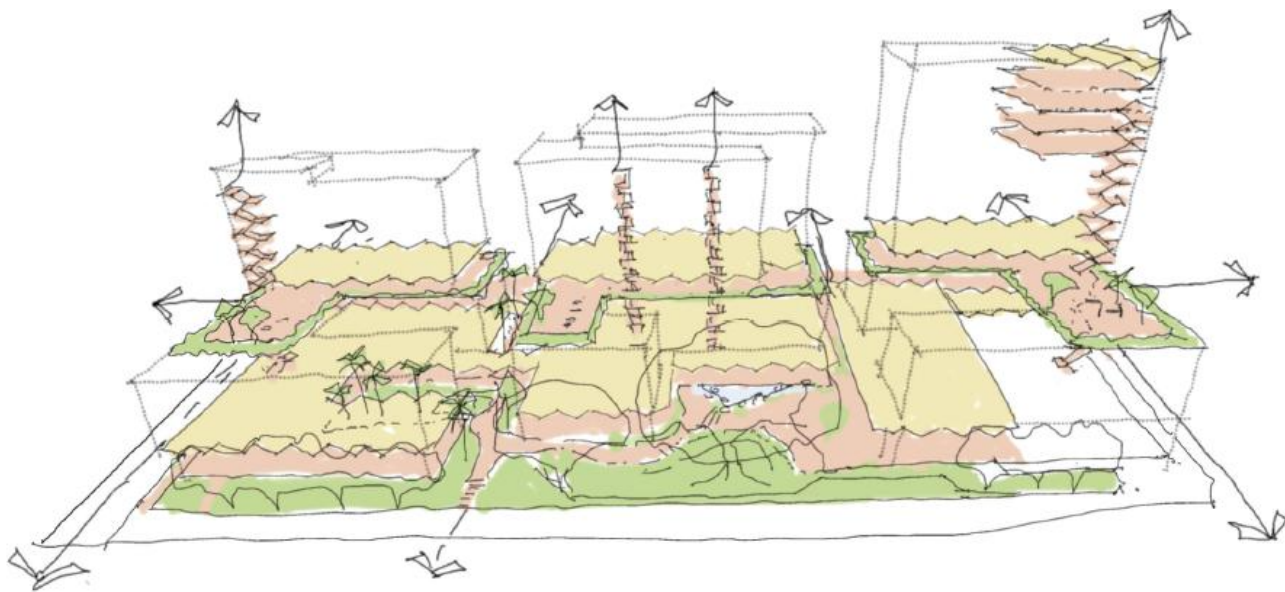


Figure 44 Interconnected built form and landscaping design of the Site

Source: Bates Smart in collaboration with Yerrabingin

At ground level, the development is designed to foster connection with nature and enhance student wellbeing. At the heart of the design, the retained fig tree anchors an intimate shared courtyard, creating a calming natural focal point that encourages social interaction and a sense of community.

Along Barker Street, the streetscape is defined by a four-storey street wall with landscaped setbacks that create a comfortable, human-scaled environment. The façades of the bedroom modules and balconies evoke a residential character which mirror the built form on the southern side of Barker Street. Both podium and upper-level forms step back from the street, softening the building's presence and celebrating the established fig trees that define the Barker Street character. This is illustrated in **Figure 45**.



Figure 45 Photomontage of the development viewed from Barker Street
Source: Bates Smart Design Report

On the northern elevation, the design is characterised by volumetric college forms set above the podium levels. Scale is moderated through recessed communal levels that step down to the west and correspond with the stepped forms of the towers (refer to **Figure 46**). This modulation, combined with lighter tones on the taller elements, visually reduces built form massing and expresses the distinct identity of each college.



Figure 46 Photomontage of development viewed from Physics Lawn
Source: Bates Smart Design Report

7.1.2 Layout and Siting

The proposed development occupies a prominent position along Barker Street, forming the southern boundary of the UNSW Kensington Campus. Given its strategic location, the design has been crafted to respond to the surrounding context, aligning with both the identity of the university and the character of the local environment. The following key design strategies have been implemented to ensure the development is contextually appropriate:

- The development is sited to retain significant on-site trees, including established fig trees and mature paperbark trees, which are integral to the overall design (refer to **Figure 47**). The 6m landscape setback control along Barker Street has also been maintained.
- The southern side of the development proposes a four-storey podium that aligns with the existing Barker Street apartments and the uses opposite the Site. These buildings range in height from single-storey to five-storey structures. Notably, the land opposite Barker Street is designated under the low and mid-rise housing provisions, which permit development up to six storeys. This, coupled with the in-fill affordable housing bonus, potentially allows for development up to eight storeys on the opposite side which will result in a change in the character of Barker Street overtime.
- The proposed development largely respects the 14m height limit that applies to the 30m perimeter of the Site. This ensures an appropriate street wall height and a smooth transition to the public domain and neighbouring residential areas. There is no LEP height limit within the core of the campus, which impacts the northern aspect of the development. The height of the building in this area has therefore been designed in consideration of the Sydney Airport OLS and PANS-OPS, as well as to maintain a consistent form with other key buildings on the campus, such as the June Griffith Building.



Figure 47 Existing Site conditions

Source: Bates Smart

7.1.3 Massing and Built Form

The proposed built form massing results from an extensive design analysis undertaken by Bates Smart, aimed at achieving an optimal urban design outcome for both the Site and the surrounding area. The development is composed of three distinct building forms (Blocks A, B, and C), each with subordinate podium structures that front Barker Street (refer to **Figure 48**). The massing strategy deliberately locates the density away from the public domain and towards the existing university campus.

The tower elements are positioned approximately 30 metres from the street frontage and are separated by 12 metres from each other. This arrangement has been carefully designed to break up the built form, enhance visual permeability, and meet the building separation objectives of the Apartment Design Guide (ADG). These setbacks ensure a high level of internal amenity for residents and maintain appropriate solar access to properties located to the south.

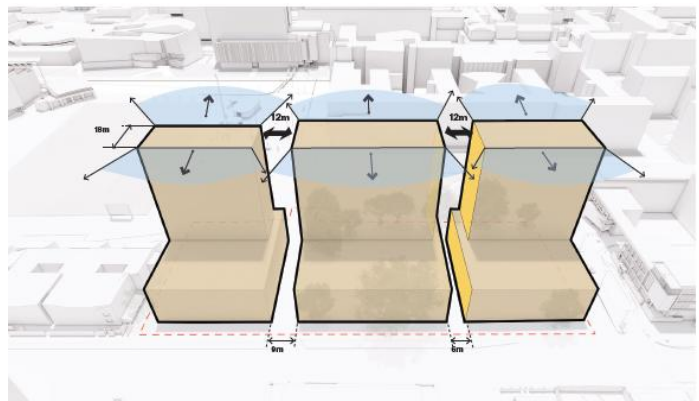
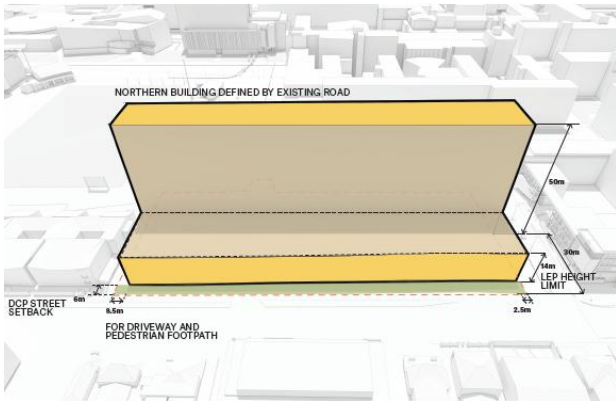


Figure 48 Site built form strategy

Source: Bates Smart

The towers are designed with floorplates that support double-loaded accommodation, optimising floorplate efficiency and improving solar access to rooms. To minimise the visual impact, building heights are reduced, and the roof forms are stepped down to the south, maintaining solar access to the neighbouring residential properties across Barker Street. Each tower has been carefully articulated to reduce the perceived bulk of the buildings, ensuring that no individual building exceeds 35m in length.

At the southern side of the development, three podium forms are introduced to maintain a four-storey built form, which scales down to respect the existing context of Barker Street and surrounding medium-density residential uses. Block B has been set further back to preserve the significant fig trees in the area and to enhance the entry experience to the Site, as illustrated in **Figure 49**. This thoughtful design ensures that the development is both contextually appropriate and sensitive to the surrounding environment.

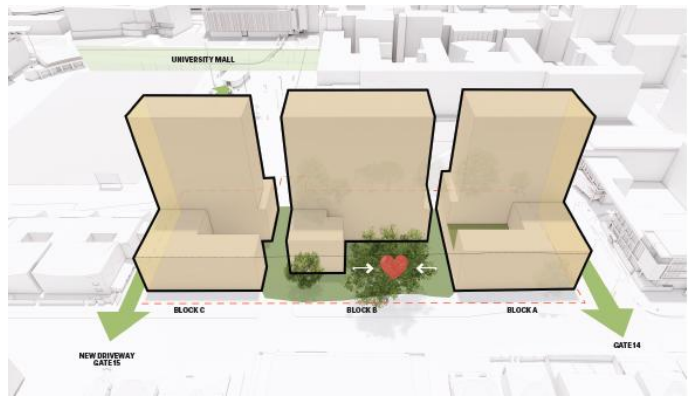


Figure 49 Urban form diagrams

Source: Bates Smart

7.1.4 Building Height

The maximum building height for the Site is part 14m, under the Randwick LEP 2012. The 14m height limit extends into the Site to a depth of 30m from the Barker Street frontage. The proposed development has been designed so that the three podiums are located within the first 30m of the Site, and the towers are setback within the campus, where no building height control applies, as illustrated in **Figure 50**.

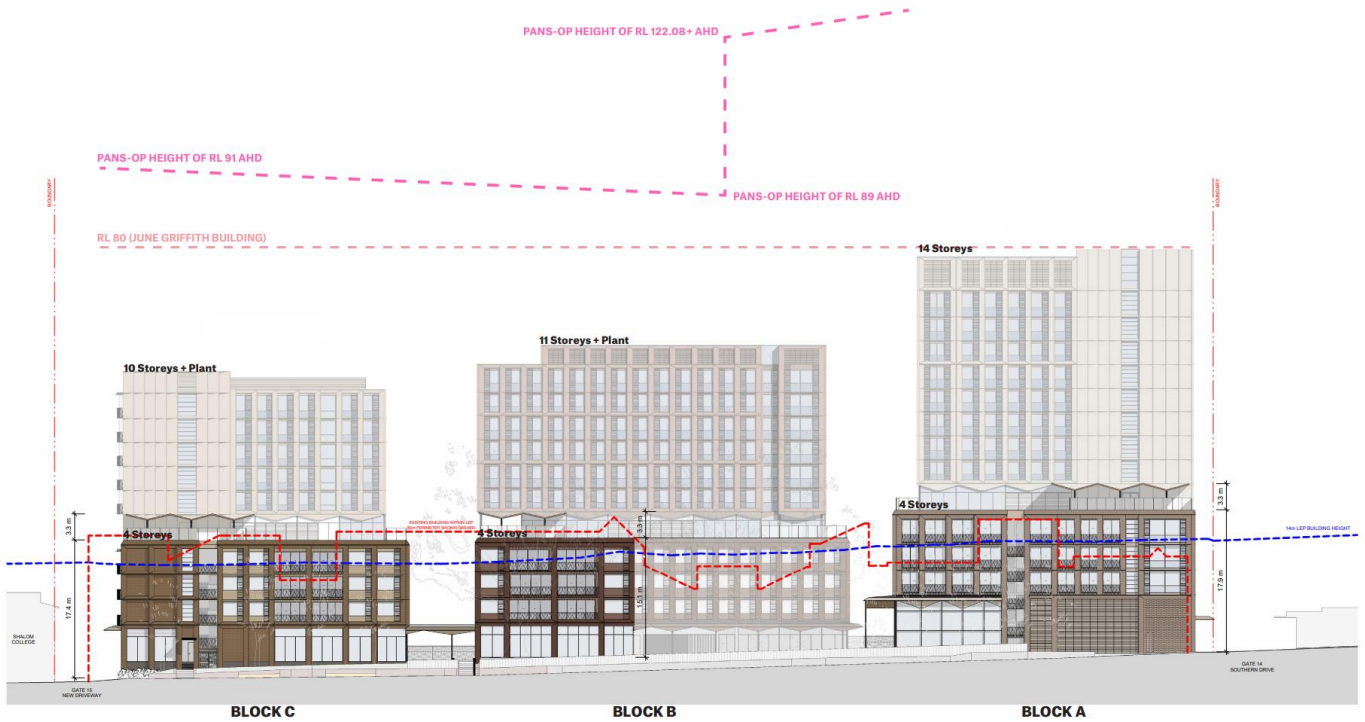


Figure 50 Proposed building height

Source: Bates Smart

The maximum building heights of the podiums are as follows:

- Block A has a maximum building height of 17.9m (3.9m or 27.8% variation)
- Block B has a maximum building height of 15.1m (1.1m or 7.8% variation)
- Block C has a maximum building height of 17.4 (3.4m or 24% variation)

Additionally, each podium contains a lightweight shade structure which extends from the main tower. These shade structures have been setback from the front of the podium and are largely imperceptible from the public domain. These structures reach a height of:

- Block A shade structure has a maximum building height of 3.3m (51.4% total variation)
- Block B shade structure has a maximum building height of 3.3m (31% total variation)
- Block C shade structure has a maximum building height of 3.3m (47% total variation)

An axonometric drawing illustrating the proposed variations to the height is provided in **Figure 51**.



Figure 51 Axonometric drawing of the proposed height variation
 Source: Bates Smart

As the height of the podium for all three blocks exceed the 14m height limit, a Clause 4.6 Variation Request has been prepared (refer to **Appendix H**) to determine that the proposed development, despite the variation in height, meets the established criteria under clause 4.3 of the Randwick LEP 2012. As detailed within **Appendix H**, the proposed development has been designed and scaled appropriately and can be supported by the consent authority, notwithstanding the non-compliance with the height of building development standard. Key reasons for this are summarised below:

- The proposal achieves the objectives of the Height of Buildings development standard under clause 4.3 of the Randwick LEP 2012, notwithstanding the non-compliance as:
 - Objective (a): The Site is located within the UNSW Kensington Campus, which is characterised by high-density educational and student-related developments. The height of the podium is reflective of the evolving urban context of the area, where future development will accommodate greater density and scale, particularly along Barker Street and in surrounding streets.
 - Objective (b): The design of the development is considerate of the surrounding built environment, including nearby educational buildings and residential development.
 - Objective (c): The proposed development has been designed to minimise adverse impacts on the amenity of adjoining and neighbouring properties in terms of visual bulk, loss of privacy, overshadowing and views.
- The environmental planning grounds to justify contravention of the Height of Buildings development standard are:
 - The proposed podium heights are generally consistent with the maximum heights of the existing building. The Block A podium is only slightly higher than the existing building that the development will replace, whilst both the Block B and C podiums are generally lower than the existing buildings.

- The topography of the Site results in Block A having a greater variation than Block B and C, in order to provide a consistent 4-storey built form along the Barker Street frontage (which is consistent with the scale of the existing development).
- Due to the western portion of the Site being subject to flooding in the 1% annual exceedance probability flood event, the finished floor level of Block B and C are between 1m and 1.6m above the natural ground floor of the Site, resulting in a minor exceedance to the 14m height control.
- The proposed development, inclusive of the height exceedance, achieves a high level of amenity for residents and students. The majority of the height exceedance is located in Block A, comprising the fourth level of the podium and the rooftop open space, which do not adversely impact surrounding properties.

7.1.5 Building Façade and Materiality

As detailed within the Architectural Design Report (refer to **Appendix G**), the façade and materiality of the proposed development have been carefully considered to reflect the character of the UNSW Campus, and the surrounding residential context. The built form, materiality and interconnected spaces are designed to express the identity of each individual college while contributing to the character of this on-campus student accommodation development.

The façade concept, shown in **Figure 52** draws inspiration from the layered textures of Saltwater Country, with variations in colour and tone across the colleges. At the ground plane, brickwork and a ribbed metal spandrel complements the double-storey communal spaces, grounding the buildings between the fig trees and surrounding landscaping. The towers comprise a varied scale of shading devices which break down the building's mass and introduces a subtle rhythm between the buildings.



Figure 52 Façade concept design

Source: Bates Smart

7.2 Residential Amenity

The proposal seeks to foster a sustainable and comfortable living environment for students. To meet the needs of a range of students, diverse array of accommodation typologies are to be provided across the 5 colleges. These colleges will each provide a unique residential experience while encouraging community interaction and engagement:

- Self-catered Units: A total of 220 beds will be provided in self-catered units which include a kitchenette and ensuite and, which offer a greater degree of independence for residents.
- Women's College: 40 beds will be dedicated to the Women's College, offering a supportive environment for female students.
- International House: 170 beds will cater to mature, non-school leavers, reflecting the college's long-standing tradition of fostering cultural exchange and diversity.
- UNSW Hall: 100 beds will be provided in UNSW Hall, promoting casual living while offering a plethora of communal facilities.
- Indigenous College: The Indigenous College provides 90 beds dedicated to Indigenous and First Nations Students. The College focuses on safety and inclusions and nurturing cultural connections.

The colleges have each been designed primarily for shared living with generous common spaces and shared facilities (including dining halls, common rooms, study rooms, music room, cultural activation space, arts and crafts room, courtyards terraces) which all contribute to the positive social interaction and engagement this development will provide.

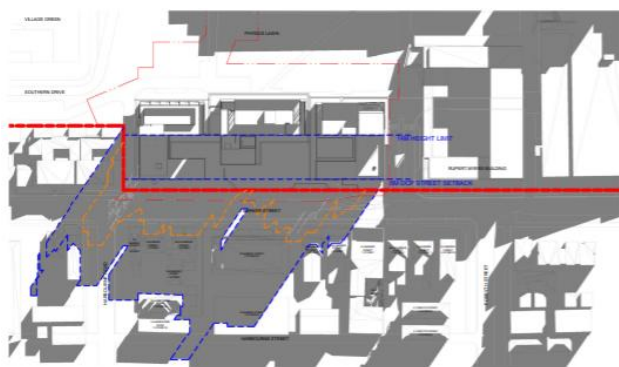
Residential amenity will be further enhanced through cross ventilated corridors which have been strategically positioned on every level of the buildings to facilitate adequate airflow. The building design seeks to utilise the external fire stairs and communal spaces around the lift corridor to maximise air flow through each level. This in turn, reduces the buildings reliance on mechanical systems improving the energy efficiency and environmental sustainability.

Natural light and ventilation are key design priorities, achieved through generously sized windows and the use of transparent materials in corridors and communal areas. This approach not only improves comfort and wellbeing for students but also reinforces a commitment to sustainability and an environmentally conscious campus experience. Each student room is designed to maximise natural light through carefully positioned glazing. Integrated shading devices help diffuse and redirect sunlight deeper into the space, ensuring a bright, comfortable environment while managing glare and heat.

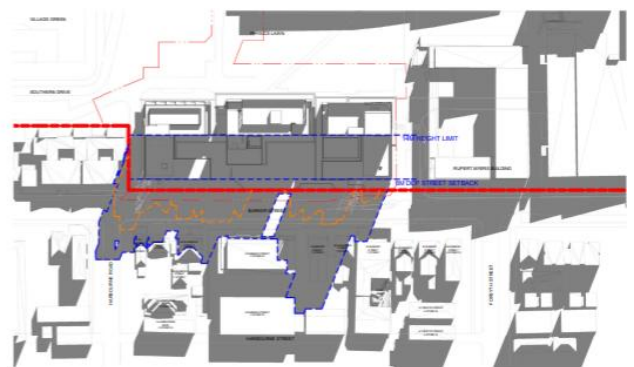
7.3 Environmental Amenity

7.3.1 Overshadowing

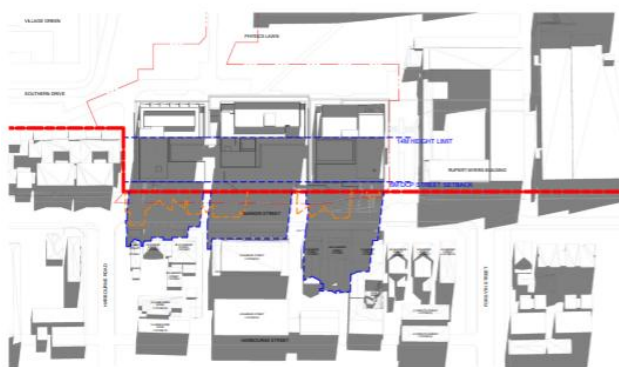
Detailed shadow diagrams have been prepared by Bates Smart and are included within the Architectural Plans at **Appendix F**. Overshadowing has been assessed across key time periods, with a particular focus on understanding potential impacts to the residential properties located to the south of Barker Street. The analysis shows that the greatest extent of shadowing occurs during the winter solstice, when shadows cast by the proposed development reach properties along Barker Street, as illustrated in **Figure 53**.



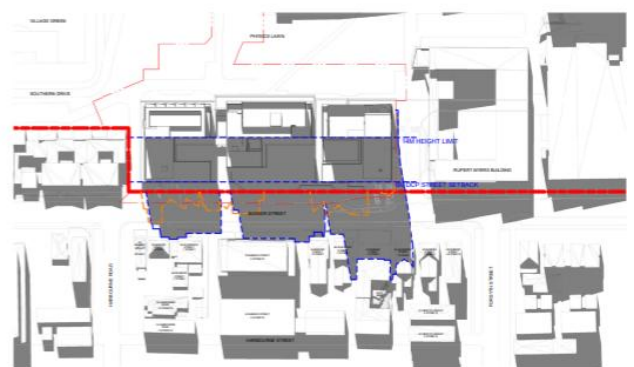
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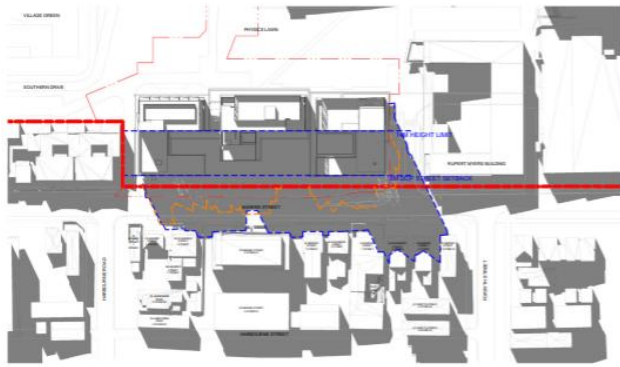
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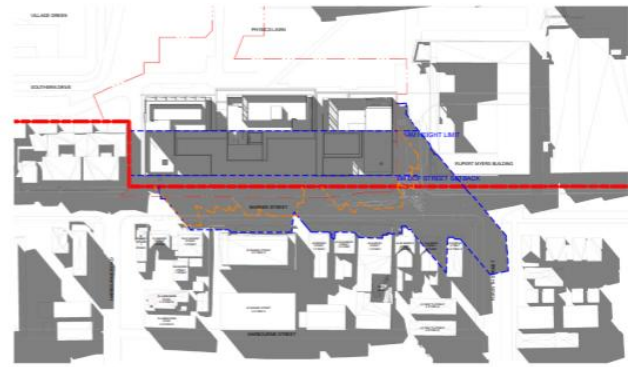
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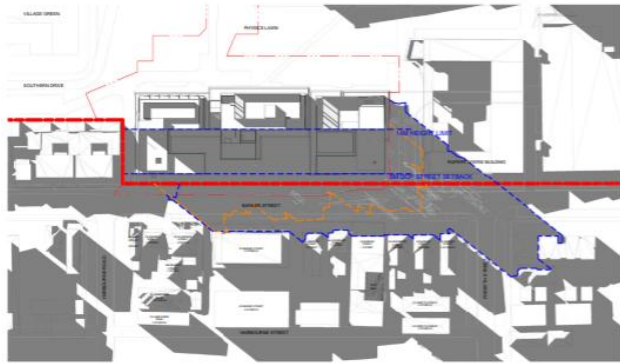
21/06/25 - 12PM



21/06/25 - 1PM



21/06/25 - 2PM



21/06/25 - 3PM

LEGEND

- Existing Site Shadows
- Proposed Development Shadows

Figure 53 Shadow diagrams (winter solstice)

Source: Bates Smart

To confirm the extent of impact on solar access to these dwellings, Bates Smart carried out detailed modelling for the winter solstice between 9am and 3pm, presented in **Figure 54**. The Barker Street frontage comprises a mix of dwelling types, including single-storey homes, townhouses, and apartment buildings up to five storeys, as well as a childcare centre at 52–54 Barker Street. The analysis confirms that all affected residential properties achieve the recommended two 2 hours of solar access during the winter solstice assessment period in accordance with the ADG.

Furthermore, the low density residential developments continue to achieve solar access in accordance with the DCP which requires a minimum of (3 hours to living areas and private open spaces between 8am and 3pm).

In respect of the childcare centre, the N13 development does not overshadow the outdoor play area. Overshadowing to the play area is caused by the existing childcare shade structure as confirmed by Bates Smart in their detailed assessment.

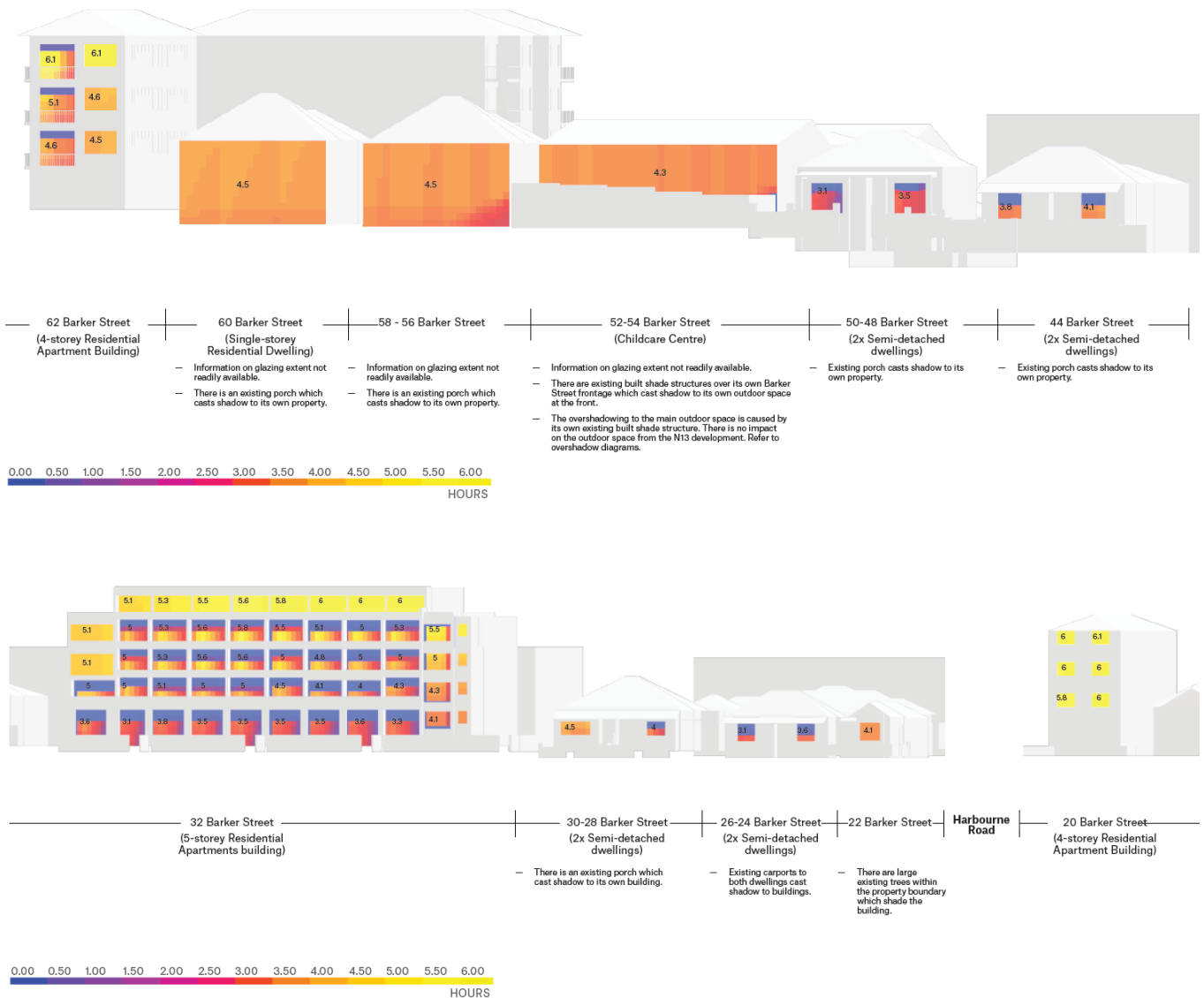


Figure 54 Detailed solar access analysis

In addition to assessing impacts on existing buildings, Bates Smart also modelled overshadowing to future potential development scenarios along Barker Street, noting that these properties could be redeveloped to 4–6 storeys under the Low and Mid-Rise Housing policy. This modelling indicates that the majority of future developments would be capable of achieving more than three hours of solar access during mid-winter. While the eastern façade of 54 Barker Street is expected to experience the highest level of impact overall, future development is likely able to achieve the minimum 2 hours of solar access to 70% of the apartments (noting that this would be subject to amalgamation patterns and detailed design analysis that would take this into consideration).

Overall, it has been demonstrated that the development preserves appropriate levels of solar access to existing development to the south and will not significantly impact the ability for future development (refer to **Figure 55**) to also achieve solar access in accordance with the ADG.

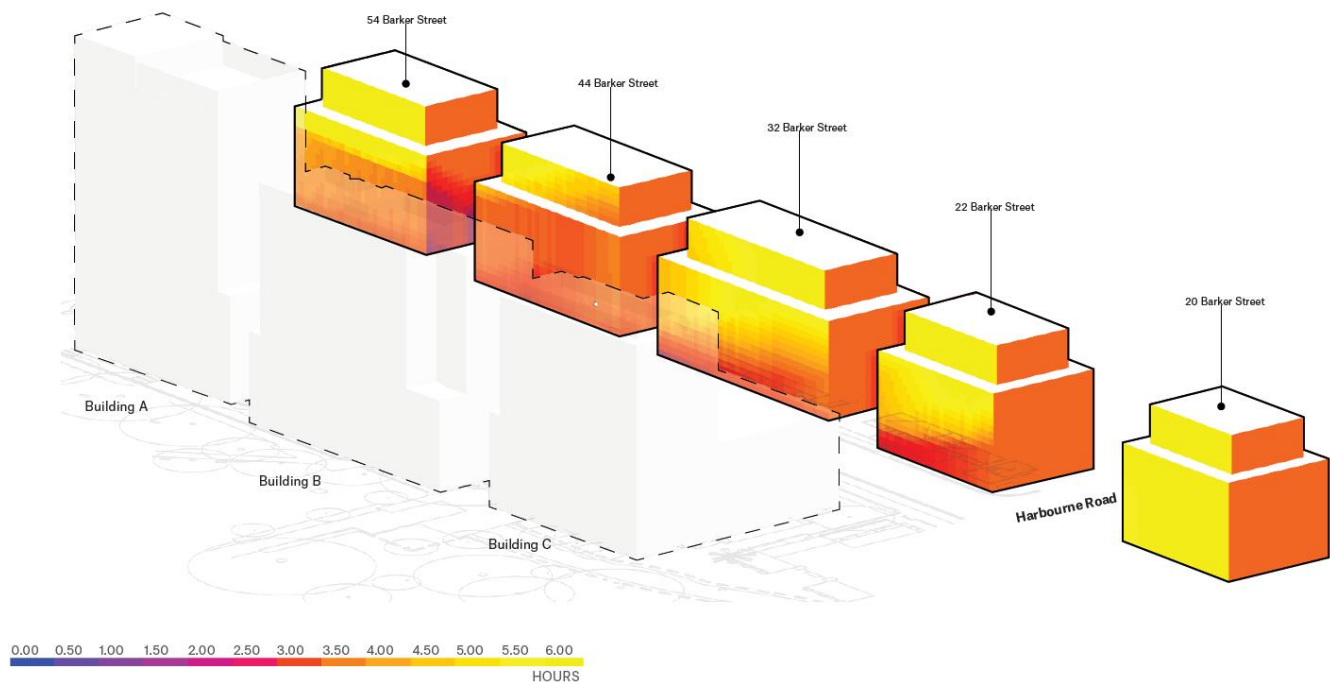


Figure 55 Future development potential - solar access

Source: Bates Smart Design Report

7.3.2 Visual Impacts

The proposed development has been designed with a staggered built form, ensuring that the transition in building height is gradual and compatible with the surrounding environment. The podium heights are consistent with the street wall height of Barker Street and has been designed to provide a gradual height transition from the university campus, through to the residential neighbourhoods located to the south of the site.

There are no significant view corridors around the Site which will be impacted by the proposed development. Nor were any significant views from private properties identified that would be impacted by the proposal, noting surrounding development is generally of a lower scale than the existing accommodation building the proposal seeks to replace. Accordingly, the assessment of visual impacts has focused on views from the surrounding public domain and from within the campus itself.

As illustrated in **Figure 56**, the design of the podiums are consistent with surrounding development along Barker Street, presenting as a similar scale to existing development (noting that shade structures above the podium have been further setback to minimise the scale of the development from the adjacent public domain). Generous tree planting along the Site's Barker Street frontage creates a green, landscaped edge that softens the built form and enriches the streetscape. This verdant buffer enhances visual amenity for pedestrians and passers-by and reinforces the campus's connection to nature, contributing to a welcoming and vibrant public realm. The proposed development has been designed to cohesively sit within the existing UNSW campus, as seen in **Figure 57**. The towers have been designed with consideration for the surrounding educational buildings, whilst providing a high level of amenity for residents. The maximum building height of Block A is consistent with the adjacent taller buildings across the lower UNSW Campus, including the June Griffith building, which has a maximum building height of RL 80.0m.



Figure 56 View from upper Barker Street looking west

Source: Bates Smart



Figure 57 View from University Mall looking south

Source: Bates Smart

7.3.3 Wind Impacts

An Environmental Wind Report has been undertaken by Arup (refer to **Appendix N**) to provide a qualitative assessment of the proposed works on the pedestrian level wind conditions for comfort and safety in and around the site.

Local Wind Climate

As the Site is located in an area of low to mid-rise buildings and open spaces, it is exposed to prevailing winds from the north-east, south and north-west directions.

Predicted Wind Conditions

Given the size and built form of the proposed development, it is expected that the building will have an impact on the pedestrian level wind conditions surrounding the Site. Arup anticipates that wind speeds may increase at the outer corners and along the northern edge of the Site, influenced by the prevailing wind direction.

The through-site links are also expected to experience elevated wind activity due to pressure-driven and channelled flows. Where these links are intended to support activities beyond transient movement, additional mitigation measures will be required to enhance comfort.

The building's overall mass and exposure to prevailing winds make it challenging to achieve optimal wind conditions across all areas of the Site. While the stepped podiums assist in shielding the ground plane by redirecting wind above the roofline, they introduce complexities for managing conditions on the podium-level communal spaces. As these terraces serve as private areas for individual colleges, their use can occur at residents' discretion and in accordance with their comfort preferences.

Overall, when the Site's expected wind patterns are considered in the local wind climate, most ground-level areas are expected to achieve conditions suitable for pedestrians sitting or standing. Higher activity thresholds (walking or above) are anticipated at the Site corners and within the through-site links. At terrace level, areas near balustrades and wind screens should be comfortable for sitting, while the more exposed areas will be better suited for standing or walking.

All areas around the development are expected to meet the pedestrian safety criterion.

Mitigation Measures

Based on the qualitative wind assessment undertaken by Arup, the following mitigation measures have been recommended to ensure that the pedestrian wind environment surrounding the building and the Site is appropriate. These measures can all be further investigated at detailed design stage.

- Vertical barriers are recommended to be installed around any proposed seating areas at ground level in the north-south through-site links between Buildings A/B and B/C to at least seated head-height (for immediately adjacent seated protection) or higher for protection beyond/standing. Barriers can take the form of screens and/or landscaping (recommend at least 70% solidity).
- There are a number of ground floor internal volumes with entries on opposite sides, which has the potential for internal flow issues if concurrently open, depending on pedestrian traffic. Arup recommends that consideration is given to separating the volume with additional internal doors and/or ensure operational management strategies are put in place to manage, depending on the wind conditions.
- Building A Dining Hall swing doors (west façade, ground level) are recommended to open inwards due to likelihood of horizontal flow in this zone catching door edges and potentially causing serviceability issues.
- Any opportunities to add additional vertical barriers (screens/planters) along Building A Dining Hall façade close to seating areas would be beneficial to continue to interrupt and slow the flow. It is recommended to maximise the width and height of the proposed planter.
- Incorporate increased balustrade height / screen to meet the awning height at the east of Building A, Level 4 terrace and west of Building C, Level 3 terrace. This would assist with providing more protection for winds from the north-east and north-west having the potential to cut across these terraces.

To qualify the qualitative advice provided by Arup (refer to **Appendix N**), numerical or physical modelling of the development would be required. Given the sensitivity of some of the areas to wind impacts, it is recommended that a quantitative assessment is conducted in the detailed design phase, so that the above mitigation measures can be incorporated into the design.

7.3.4 Reflectivity

Reflectivity has been considered in the design of the built form to contribute to the retention of a safe and comfortable environment. The northern and southern façade design features a combination of vertical and horizontal fins, which serve a dual purpose of providing shading to each room whilst also minimising glare. The development will also incorporate high performance glazing design to comply with the relevant guidelines and to ensure reflectivity remains below 20%.

7.4 Landscaping and Trees

As described in **Section 4.9**, the proposed landscaping scheme has been designed to complement the design integrity of the development and contribute to residential amenity whilst celebrating a rich connection to Country. An Aborigicultural Impact Assessment and Tree Protection Management Plan (TPMP) has been prepared by Canopy Consulting (2025) to evaluate the condition, significance and retention viability of all trees located within and immediately adjacent to the N13 Barker Street Site.

7.4.1 Landscaping

The landscaping vision for the Site is to create a unified landscape that supports student life, cultural connection and ecological care. The ecology of the Site will reflect the layered ecologies of Bidjigal Country. The design sensitively balances private and public interfaces to create safe and comfortable environment. The objectives and visions are further detailed in the Landscape Design Report (refer to **Appendix K**).

The proposed landscape design for the Site incorporates the following key components to achieve the overall vision of the Site:

- **Urban Tree Canopy Cover:** The development proposes to retain 29 existing trees on site and relocate 1 existing tree, which will contribute to a canopy cover of 34.8%. This will provide a high level of amenity and shade for students and visitors, and will provide increased privacy for students on the lower levels of the building.
- **Urban Heat Island Effect:** The retention of mature trees across the Site, as well as replacement tree planting, to reduce solar impacts to the lower levels of the buildings and the open space. The integration of water sensitive urban design principles to support overland flow and flooding which will contribute to minimising the impacts of the urban heat island effect on the proposed development.
- **Green Infrastructure:** The use of native vegetation species has been implemented across the Site to significantly increase the plant density and diversity. This will provide a high level of outdoor amenity and contribute to the overall biodiversity of the UNSW Campus.

7.4.2 Tree Impacts

An Aborigicultural Impact Assessment and Tree Protection Management Plan (TPMP) has been prepared by Canopy Consulting (refer to **Appendix O**) to evaluate the condition, significance and retention viability of all trees located within and immediately adjacent to the N13 Barker Street Site. The assessment included ground-based inspection of 79 trees recorded under 74 tree tags, preparation of root protection zones in accordance with AS4970, and a detailed review of potential construction impacts on canopy, trunk and root zones.

The assessment confirms that the proposed redevelopment will require the removal of a number of trees within the project footprint, while also retaining several high-value specimens along the campus interface through tailored protection measures.

Existing Vegetation

The Site contains a mixture of small ornamental plantings, palms, developing street trees along Barker Street, and a group of larger mature Ficus species located toward the northern and western campus edges. The highest-value trees, based on size, form, amenity and longevity, include several large Ficus rubiginosa, Ficus macrophylla and Ficus microcarpa 'Hillii' trees. In particular, Tree 853 located along the Barker Street frontage, has been identified as a prominent and desirable specimen for retention due to its scale and visibility.

Many smaller trees within the existing residential complex consist of juvenile or repetitive plantings with limited landscape contribution, while the street trees have been repeatedly pruned for overhead clearances and display constrained growth.

A qualified arborist inspected all trees on the Site and assigned each a "retention value" using an industry-standard system that considers health, structure, amenity and expected useful life. The retention values help guide which trees are a priority to keep and which may be removed due to low condition or limited significance. Across the 79 trees inspected:

- 21 are high retention value – generally mature, healthy, high-amenity trees that should be retained where possible.
- 39 are medium retention value – desirable to retain but not essential if they conflict with necessary works.
- 13 are low retention value – typically small, poor-condition or short-lived species.
- 1 tree is recommended for removal due to its existing poor condition.

Several trees (e.g. Trees 853, 854, 864–868) are high-value specimens retained through targeted design modifications and the application of specific tree protection measures.

Proposed Impacts

Impacts arise from building footprints, the realignment of Southern Drive, excavation for services and stormwater infrastructure, public domain works and hardscape upgrades. **Figure 58** identifies the trees proposed to be retained, removed and transplanted as part of the development.

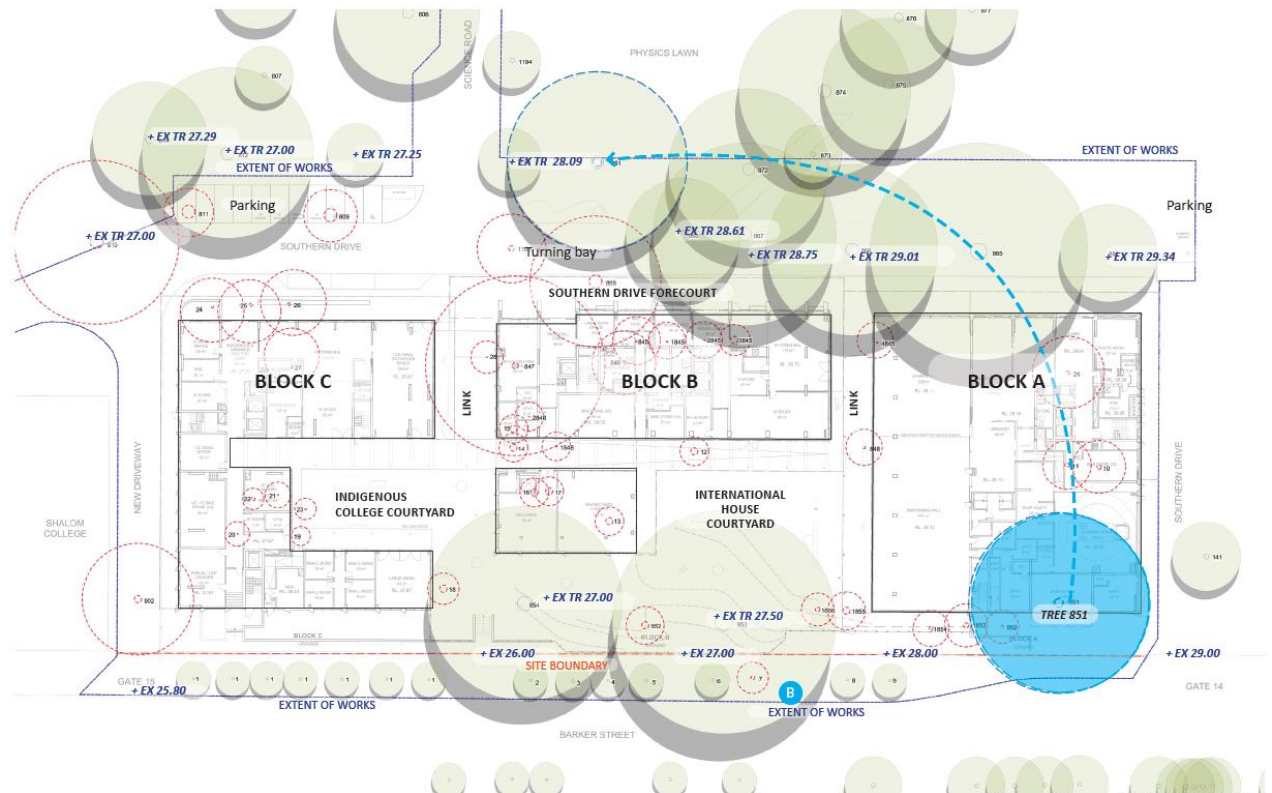


Figure 1.6 : Existing tree plan (Source: ASPECT Studios)

Key	
	Extent of works
	Site boundary
	Bus stop
	+ EX TR 0.00 Existing tree level
	+ EX 0.00 Existing relative level
	Existing tree to be retained and protected
	Existing tree to be removed
	Existing tree to be transplanted

Notes Refer to Arborist report and landscape Documentation for further information

Figure 58 Tree retention and removal plan

Source: Aspect and Canopy Consultation

The majority of the trees required to be removed (27 trees) are located fully within the footprints of Buildings A, B or C. These trees cannot reasonably be retained without substantial design changes that would compromise building layout, accessibility and yield.

Seven (7) trees are affected by the reconfiguration of Southern Drive. These works generate unavoidable encroachments into Structural Root Zones (SRZs) arising from excavation and pavement construction intended to accommodate vehicle movement and maintain campus access.

Conflicts with path alignments, level changes and open-space structures result in cumulative root impacts exceeding acceptable thresholds for 10 trees. These impacts cannot be mitigated without compromising necessary pedestrian circulation and accessibility outcomes.

Installation of new stormwater drainage, pits and the infiltration tank affect 7 trees, with trench depths and fixed invert levels necessitating removal where encroachments exceed AS4970 tolerances.

Mitigation Measures

Despite the footprint constraints, all feasible opportunities to retain high-value trees have been incorporated into the design. The following key retention strategies apply:

- Retention of nine high-value trees through “generic plus” protection measures, including non-destructive excavation, pier-and-beam supports, controlled pruning and enhanced root protection.
- Detailed root investigations to refine construction methods near Trees 853, 854 and 864–867.
- Crown conflict analysis using point-cloud modelling to avoid unnecessary pruning and confirm scaffold and crane clearance.
- Specific protection requirements such as static bracing, aerial-root promotion and adjusted hardscape methodologies for trees 853, 854 and 865.

These measures ensure that the most significant Ficus specimens at the campus edge continue to contribute to landscape character.

Tree 851 (*Ficus rubiginosa*) has been assessed as a viable transplant candidate and will be relocated to Physics Lawn by a specialist contractor. This approach ensures the retention of a high-value specimen that would otherwise be impacted by the development footprint.

For trees that will remain, the TPMP specifies protection measures consistent with AS4970, including:

- Establishment of Tree Protection Zones (TPZs) and Structural Root Zones (SRZs);
- Fencing and ground protection during construction;
- Non-destructive excavation within the TPZ;
- Supervision by a qualified Project Arborist for all works within or near TPZs; and
- Controlled pruning under AS4373.

To offset the removal of the 44 trees, replacement planting will be provided throughout the Site which prioritises locally appropriate species such as *Angophora*, *Banksia*, *Corymbia* and *Eucalyptus* species. All replacement stock will comply with AS2303 Tree Stock for Landscape Use and be planted to industry-standard installation specifications. The proposed landscape strategy provides a significantly enhanced canopy structure over time, strengthening the long-term green character of the campus edge.

Conclusion

The arboricultural assessment demonstrates that the proposed development has been carefully designed to retain the most significant vegetation on the Site while enabling essential campus improvements. Tree removal is limited to those that present unavoidable conflicts with the building layout or critical servicing infrastructure. High-value trees are retained through targeted protection measures, and compensatory planting will ensure a net improvement in long-term canopy outcomes.

On this basis, the arboricultural impacts are considered acceptable and appropriately managed through the implementation of the TPMP.

7.5 Traffic, Transport and Access

A Transport Impact Assessment (**TIA**) has been prepared by JMT Consulting (refer to **Appendix P**). The TIA determines that the proposal will not have any adverse impacts on the public transport, vehicular traffic and the cycling/ pedestrian network surrounding the Site.

7.5.1 Existing Traffic and Transport Conditions

The Site is located within the southern part of the UNSW Kensington Campus and is well connected to public and active transport networks. Barker Street functions as a major east–west corridor, carrying approximately 12,000 vehicles per day, while Southern Drive is a low-volume internal road supporting access to campus parking areas with around 600 vehicles per day.

The campus benefits from strong public transport accessibility, including the UNSW Anzac Parade light rail stop approximately 400m from the Site and frequent bus services along Anzac Parade and Barker Street. Recent UNSW travel surveys show consistently low private vehicle use and high public transport uptake, supported by the introduction of the L2 and L3 light rail lines. The existing student accommodation buildings on the Site do not provide on-site resident parking, consistent with campus-wide practice.

Pedestrian movement through the precinct is well established via internal campus pathways, and cycling connectivity is supported by nearby separated cycleways on Doncaster Avenue, Houston Road and High Street.

7.5.2 Assessment Methodology

The TIA considered:

- Existing traffic, parking and access conditions;
- The design of the proposed vehicle access arrangements, including the relocation of Gate 15;
- Pedestrian and cyclist connectivity;
- Servicing and waste collection requirements;
- Intersection performance using SIDRA modelling; and

- Cumulative impacts from nearby UNSW developments.

Assessment outcomes were informed by observed traffic volumes, available public transport, UNSW mode-share data and applicable road safety and access standards.

7.5.3 Operational Traffic and Parking Impacts

The operational traffic impacts of the proposed student accommodation have been assessed with regard to the Site's strategic location within the UNSW Kensington Campus, its proximity to high-frequency public transport, and UNSW's demonstrated low reliance on private vehicle travel. Given the proposal provides no on-site car parking, the development will not generate measurable additional vehicle trips during operation. As such, the assessment focuses primarily on access management, pedestrian and cyclist movements, and the performance of the surrounding road network following the relocation of Gate 15.

Traffic Generation

The development provides no resident parking, and as a result, is not expected to generate additional daily vehicle trips. Students will continue to rely predominantly on public transport, walking and cycling. Operational traffic impacts are therefore minimal.

Access and Circulation

The proposal introduces a new vehicular access point through the relocated Gate 15 on Barker Street (refer to **Figure 59**). The location provides appropriate separation from the Anzac Parade/Barker Street intersection and the future signalised Gate 14 access. SIDRA modelling confirms the new access will operate efficiently at Level of Service A during peak periods. Servicing vehicles for the development will enter and exit via Gate 14, utilising a dedicated on-site loading dock equipped with a turntable to ensure forward-only movements.

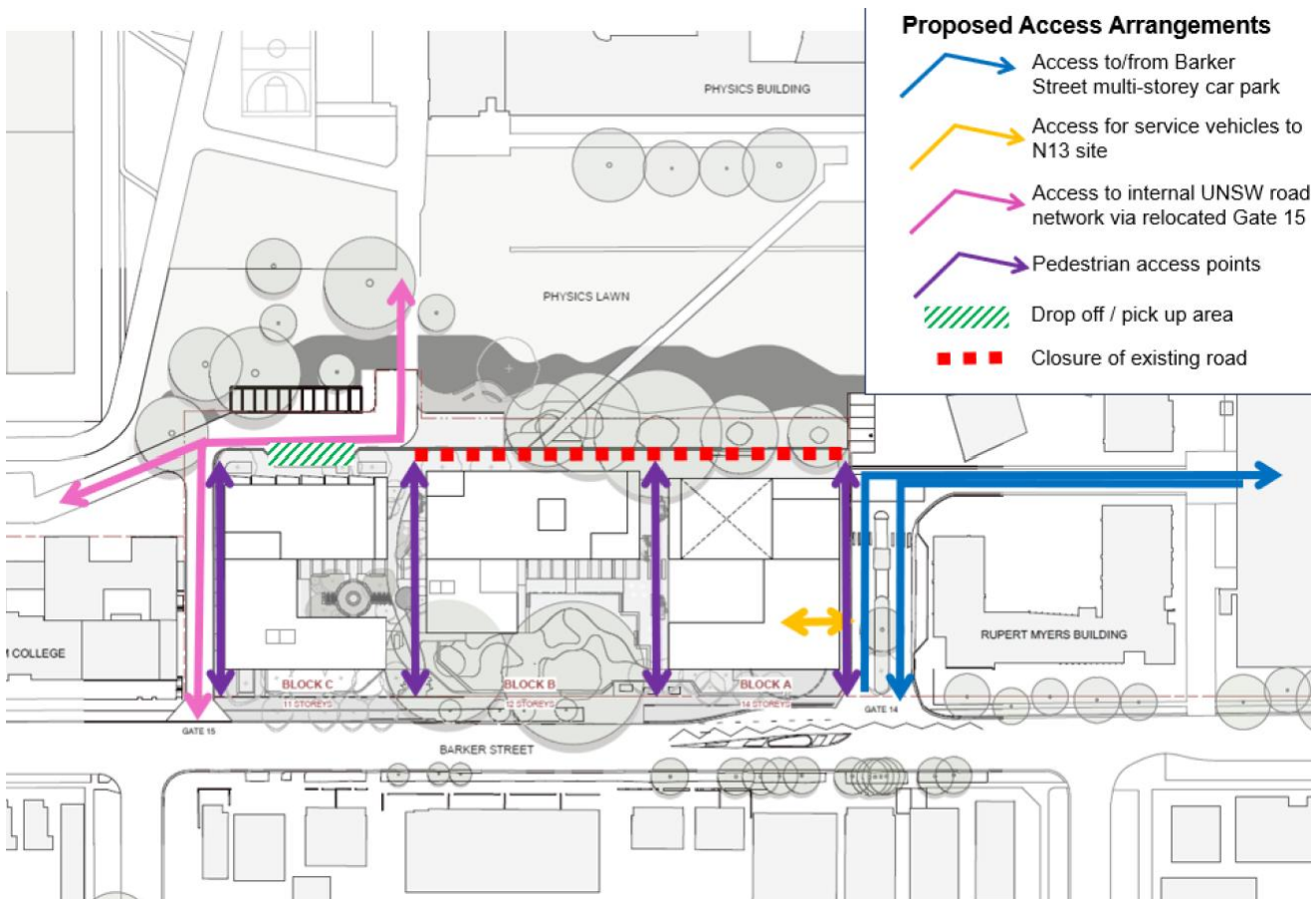


Figure 59 Proposed access arrangements

Source: JMT Consulting

Parking

No parking is proposed for residents. The development will not increase demand for surrounding on-street parking. 14 car parking spaces, including 3 accessible spaces have been provided at the Site for general UNSW community use.

Active Transport

The proposal enhances pedestrian access through new connections and a low-speed shared zone at Gate 15. It also delivers 116 bicycle parking spaces, exceeding Randwick DCP 2013 requirements and supporting cycling uptake.

7.5.4 Mitigation Measures

To ensure safe and efficient operation, the following measures will be implemented:

Access and Movement

- Maintain clear, legible pedestrian routes during and after construction.
- Incorporate a 10 km/h shared zone at Gate 15 to manage the interaction between pedestrians arriving or leaving the UNSW Campus and low-volume service vehicles; and
- Retain Gate 14 as the primary access point for servicing and parking areas to minimise conflicts on Barker Street.

Servicing Management

- Schedule servicing activities outside high pedestrian movement periods.
- Require all deliveries and waste collection to occur within the on-site loading dock with forward entry and exit.

Sustainable Transport Support

- Provide high-quality bicycle parking and connections to campus cycle routes.
- Maintain strong pedestrian links to nearby light rail stops and bus routes.
- Support UNSW's broader travel demand initiatives.

Green Travel Plan

UNSW will implement a Green Travel Plan (GTP) for the student accommodation to actively manage travel demand, support mode shift and minimise reliance on private vehicles. Key features will include:

- Information for residents on local public transport options, cycling routes and campus walking paths;
- Promotion of active transport, including secure bicycle parking, maps and safety resources;
- Travel behaviour campaigns delivered through campus communications;
- Integration with UNSW's broader sustainable transport programs; and
- Monitoring and review mechanisms to track travel patterns and adjust initiatives as required.

The GTP will form part of ongoing campus sustainability commitments and ensure continued uptake of low-emission transport modes.

Construction Traffic

As part of the TIA, a Preliminary Construction Pedestrian and Traffic Management Plan (CPTMP) has been prepared, which assesses the safety and capacity of the proposed access arrangements and construction traffic associated with the proposed development. Construction vehicle access will be provided via Barker Street, with the potential for a work zone to be established on the northern side of Barker Street, adjacent to the Site.

Construction vehicles accessing the Site will generally include vehicles up to 12.5m heavy rigid vehicles (HRVs), 8.8m medium rigid vehicles (MRVs) and 6.5m small rigid vehicles (SRVs). It is anticipated that up to 20 vehicles per day will access the Site. Routes have been provided in **Appendix P** for heavy vehicles, ensuring access to the Site whilst minimising the impact of heavy vehicles on local and arterial roads.

A Detailed Construction Traffic Management Plan will be prepared prior to any works commencing on the Site.

7.6 Sustainability

An ESD Report has been prepared by Atelier Ten (refer to **Appendix Q**). The ESD Report provides an overview of how the proposed development responds to sustainable planning and design through the design development, construction and operation stages. The proposed development will meet and exceed industry recognised building sustainability and environmental performance standards and has been benchmarked against a 5-star Green Star Buildings rating and WELL Gold rating.

The following provides a summary of the key ESD initiatives that will be implemented to allow the development to achieve the performance targets:

- Achieve at least 20% upfront carbon reduction through material selection, material efficiency and hybrid structures;
- Solar PV panels will be installed to provide renewable energy that further reduces greenhouse gas emissions;
- Achieve at least 90% construction and demolition waste diversion;
- Energy efficient lighting and mechanical plant will be designed to reduce the peak demand for electricity;
- Facades have been designed to reduce reliance on mechanical heating and cooling systems through rationalised window to wall ratios, high performance glazing and rationalised shading to facades; and
- Future proofing to enable net-zero carbon operations through 100% energy and electricity via renewable sources.

7.7 Noise and Vibration

A Noise and Vibration Assessment has been prepared by Arup (refer to **Appendix R**) which considers the likely noise and vibration impacts to and from surrounding land uses. The noise and vibration sensitive receivers include residential receivers to the south and west of the Site, active and passive recreation receivers to the north and northwest of the Site, educational receivers to the northeast of the Site, and childcare receivers to the south of the Site. The Site monitoring and receiver locations are illustrated in **Figure 60** and a summary of the assessment undertaken for the site is provided in the following sections. Arup have identified sensitive receivers located in proximity to the proposed development however focuses their assessment on sensitive receiver locations external to the university campus.



Figure 60 Noise sensitive receivers

Source: Arup

Applicable Noise Criteria

To determine appropriate noise assessment criteria, Arup has drawn from the relevant NSW Requirements, Australian Standards and local guidelines and policies. Operational noise impacts from building services have been assessed against the NSW EPA Noise Policy for Industry. The NPI is concerned with controlling intrusive noise impacts in the short-term for residences and maintaining long-term noise level amenity for residences and other land uses.

The NPI outlines the procedure to determine project noise trigger levels, which is a noise level that would constitute a noise impact to a community. The NPI also recommends additional noise levels which would likely impact sleep disturbance.

Noise generated by increased traffic generated on the surrounding road network, due to either construction activities or by the operation of the development, is assessed in accordance with the NSW EPA Road Noise Policy. Road traffic will be the primary source of noise impacts to the proposed development. The relevant noise criteria to assess this impact is the Transport and Infrastructure SEPP and the associated NSW Department of Planning 'Development Near Rail Corridors and Busy Roads – Interim Guideline'. However, this guideline only applies to roads which have an Annual Average Traffic Volume (AADT) of greater than 20,000 vehicles which does not apply to Barker Street and so is not relevant to the project.

Operational Noise

Arup has undertaken an assessment against the noise generating uses proposed within the development, which is summarised below:

- **Building services:** The design of the development has not progressed enough for building services equipment selections to be made and, therefore, during the ongoing design of the development, the mitigation measures summarised in **Appendix R** should be considered when selecting the building services equipment.
- **Outdoor communal terraces:** The development includes communal terraces at the podium levels of each of the buildings. As the proposed use of these areas is expected to be occasional and will constitute a small congregation of people at any one time, no adverse noise impacts are expected. Specific events or amplified music will not be permitted within these areas. On this basis, operational noise emissions to neighbouring noise sensitive receivers is expected to be well within the operational criteria.
- **Traffic Noise Generation:** The Site is currently used for student accommodation with only minor increases to serving requirements expected based on increased density. The N13 Barker Street College development incorporates no provision for additional parking or vehicular access above and beyond the existing operation of the university campus. Therefore, no additional noise impacts are expected from operational traffic.
- **Sound separation:** within the development, sound separation strategies have been implemented to preserve the amenity of the residents. These elements will be designed to satisfy the requirements of the National Construction Code.

In summary, the proposed noise generating uses on the Site are considered acoustically acceptable, subject to the implementation of the mitigation measures summarised within **Appendix R**.

7.7.1 Construction Noise

Construction noise and vibration impacts have been assessed against the noise criteria established in accordance with the NSW EPA Interim Construction Noise Guideline. The assessment demonstrates that exceedances of noise management levels are anticipated at nearby residential receivers, external to the university campus during all stages of construction. This excludes R2 and CC1 receiver locations during piling, foundations and civil and landscaping stages of construction. This is on the basis that bored piling will be required as a construction methodology to minimise impacts to vibration sensitive equipment on campus.

The most significant exceedances are expected during demolition of the existing buildings, with all receivers having the potential to experience 'highly affected' noise levels. These exceedances are predominantly due to the proposed use of multiple 30t excavators. It is noted that all predictions are considered to be representative of worst case conditions and times within each construction phase. Arup has detailed a number of mitigation measures for construction equipment and stages that should be implemented to minimise impacts on nearby sensitive receivers, which are consolidated in **Appendix R**. These mitigation measures are expected to be incorporated into a Detailed Construction Noise and Vibration Management Plan (CNVMP). The CNVMP will also contain relevant mitigation measures and staging approaches to construction-related road traffic, which will be a temporary source of noise for surrounding receivers.

7.8 Stormwater and Flooding

7.8.1 Flooding

Arup has prepared a Flood Impact and Risk Assessment, (refer to **Appendix T**). A detailed assessment of the stormwater and flooding components of the proposal has been undertaken, as the Site is subject to flooding in the 1% AEP, and Peak Maximum Flood event.

Existing Environment

The N13 Student Accommodation Site is located within the Kensington-Centennial Park catchment and is positioned in a localised trapped sag, which is prone to flooding when surface flows exceed the capacity of the underground stormwater network. The area is recognised as flood-prone, and as such, the development is subject to flood risks, which are managed through existing comprehensive flood response plans.

The existing UNSW Emergency Response Plan for the Kensington Campus outlines the flood emergency procedures, including the roles and responsibilities of all relevant personnel. During a flood, the plan mandates that all persons remain indoors, and evacuation procedures will be activated if appropriate, depending on the severity of the flood.

The existing flood modelling provides a detailed analysis of how flooding may behave. The findings highlight both flood levels and hazard classifications that are critical for understanding potential risks to the Site.

- Existing Flood Conditions (Present Day):
 - 1% AEP Event: Peak flood levels at Barker Street are around 26.44 m AHD, with depths in the Barker Street sag of approximately 0.75 m. The northern side of the development has localised flooding of 0.12 m, not impacting the building. The flood hazard in the Barker Street sag is classified as H3 (unsafe for vehicles, children, and the elderly), while the northern side is H1 (safe for people and vehicles).
 - PMF Event: Peak flood levels at Barker Street are 28.08 m AHD, with depths of 2.39 m in the Barker Street sag. On the northern side, flood depths are 1.28 m, and the hazard is H4 (unsafe for vehicles and people).
- Proposed Flood Conditions (Year 2100)
 - 1% AEP Event (SSP2 4.5 and SSP3 7.0): Peak flood levels at Barker Street are expected to rise to 26.92 - 27.12 m AHD. Depths in the Barker Street sag are projected to increase to 1.23 m - 1.43 m, and on the northern side to 0.35 m - 0.52 m. The hazard in the Barker Street sag will remain H3, but the extent of H4 will increase. On the northern side, the hazard increases to H2 under the moderate scenario and H3 under the high scenario.
 - PMF Event (SSP2 4.5 and SSP3 7.0): Peak flood levels at Barker Street will rise to 28.37 - 28.52 m AHD. Depths in the Barker Street sag will increase to 2.67 m - 2.83 m, and on the northern side, flood depths will rise to 1.52 m - 1.66 m. The hazard at Barker Street will shift from H5, with a larger extent than present, and H5 will also extend on the northern side.

In summary, flood levels and depths are expected to rise significantly by 2100, with increased flood hazards, especially in the Barker Street sag. These changes underline the need for updated flood risk management for the Site.

Flood Planning Level and Compliance

The proposed N13 development has been assessed according to the floodplain management controls set out in the Randwick Development Control Plan (DCP) 2013, as well as the specific provisions for the UNSW Kensington Campus detailed in Part E2 of the DCP. These planning documents provide guidelines for managing flood risks, including the need for compliance with the 1% AEP flood event plus additional freeboard to account for climate change.

The Randwick DCP defines an overland flow path and flood conditions that must be adhered to for the development to meet necessary flood resilience standards. Specifically:

- The maximum depth of flow through and upstream of the Site should be less than 0.25 m for the 1% AEP event (or the PMF for critical facilities).
- Surface levels must be above the required floor levels, and any blockage upstream should not increase the depth of flow to more than 0.25 m.
- Areas that do not meet these criteria are considered subject to flooding. For the N13 development, the 1% AEP flood event is the primary reference for determining flood planning levels, factoring in climate change effects as per the SSP2 4.5 scenario for Year 2100.

The flood planning level compliance assessment confirms that all habitable floor entrances comply with the Randwick DCP requirement of 1% AEP + 0.5 m (inclusive of climate change for the Year 2100, SSP2 4.5 scenario). Additionally, the floor levels for the development are set above this level, using the Year 2100 SSP5 8.5 scenario to meet Green Star requirements, providing additional freeboard beyond the minimum required by the Randwick DCP.

The bike store area in Block C is situated at the lowest point of the Site. This non-habitable area is set at RL 26.75 m, which is 0.16 m above the 1% AEP flood level of 26.91 m AHD. Future design stages will assess grading and levels to further improve flood resilience, possibly incorporating a threshold ramp or step to mitigate flood risk.

Post-development Flood Impacts

The updated TUFLOW model used to assess the post-development flood impacts incorporates changes to the Site layout, civil works, landscaping, and stormwater drainage improvements, including:

- The introduction of a new driveway;
- Filling along the northern frontage;
- The installation of an infiltration tank in Physics Lawn; and,
- Enhancements to the stormwater network, including new inlet pits and larger pipes.

The results indicate that the N13 development does not cause significant adverse flood impacts. Flood levels at key locations are reduced due to improved drainage, while any minor increases in flood levels are confined to areas within the development Site and do not affect external properties or the broader campus. Importantly, the development does not result in significant changes to flood hazard or velocity, ensuring that flood risks are effectively managed.

7.8.2 Stormwater Management

An Integrated Water Management Plan has been prepared by Arup (refer to **Appendix S**) to assess the proposed drainage design and servicing infrastructure against the relevant Randwick City Council requirements. The requirements for stormwater management for the Kensington Campus are outlined in UNSW's *2025 Stormwater Strategy Masterplan*, which has been agreed upon by UNSW and Randwick City Council.

Existing Environment

The existing stormwater infrastructure at the Site comprises two sub-catchments, area C1 and D1 as described in **Figure 61**. The stormwater infrastructure includes:

Catchment C1:

- A pit and pipe stormwater network drains the existing apartments and connects into a Ø1200 pipe in Southern Drive. This Ø1200 pipe traverses beneath N9 Shalom College to connect with Council's network in Barker Street.
- The east-west section of Southern Drive is drained by a series of kerb inlet pits which also connect to the Ø1200 pipe upstream of N9 Shalom College.
- The north-south section of Southern Drive at Gate 14 is drained by a series of kerb inlet pits which discharge directly to the RCC network in Barker Street at Gate 14.

Catchment D1:

- This is a narrow, landscaped catchment fronting Barker Street. Surface runoff discharges to Barker Street with flows entering the RCC stormwater network.

Sub-Catchment	Total Catchment Area (ha)	N13 Site Area (ha)	Existing Development Discharge	Future Development Requirements
C1	2.01	1.070	Connects to existing Ø1200 which discharges to Barker Street via connection below N9 Shalom College.	Future development must ensure that the flow conditions are not altered. Roof drainage shall be directed to percolation trenches. Flows between 5 and 20yr ARI shall be diverted via piped drainage to Council kerb.
D1	4.39	0.070	Overland flow to Barker Street	Future development must ensure that the flow conditions are not altered. Roof drainage shall be directed to percolation trenches designed for 20yr ARI. Other flows up to 20yr ARI shall be diverted via piped drainage to Council kerb.

Figure 61 Sub-catchment discharge summary

Source: Arup Integrated Water Management Plan

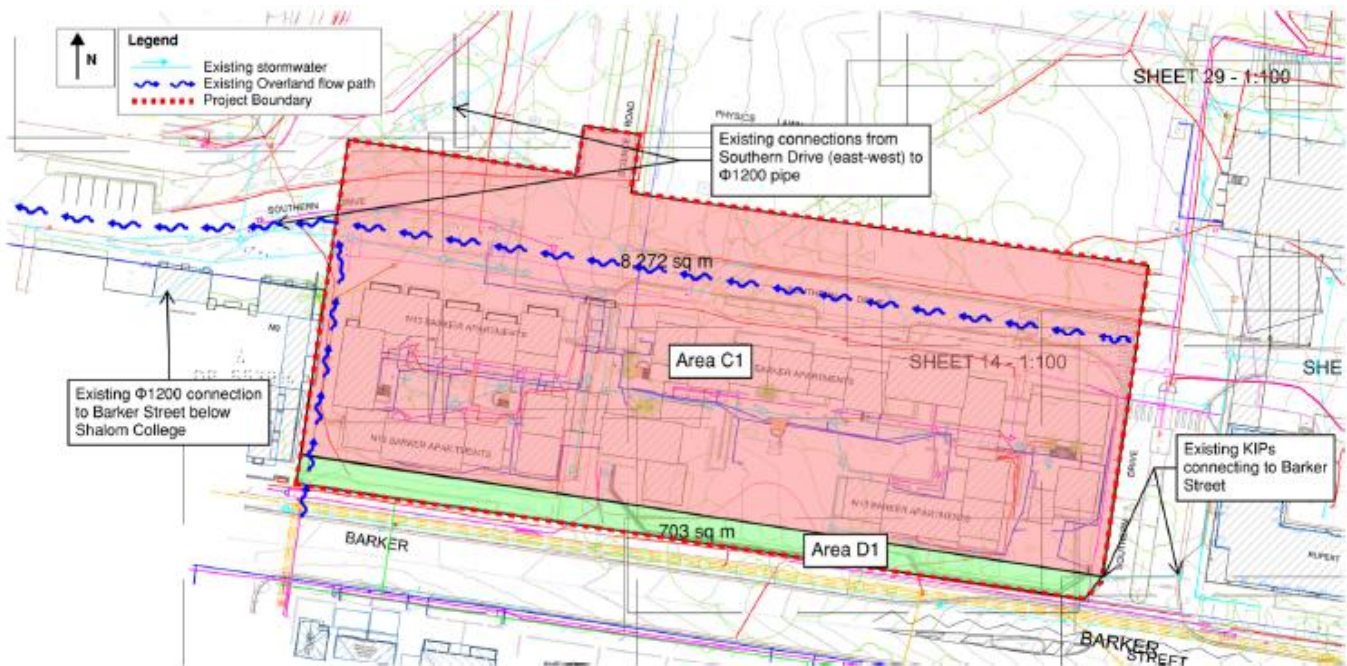


Figure 62 Existing stormwater infrastructure

There are two existing overland flow paths at the Site, being:

- An overland flow path which runs along the western side of the Site between the existing Barker Street apartments and the N9 Shalom College; and
- An overland flow path which runs east to west along the existing southern drive.

Proposed Stormwater Drainage

The proposed development incorporates a comprehensive stormwater management system designed in accordance with the UNSW 2025 Stormwater Strategy Master Plan and campus-wide drainage requirements. The system includes:

- A new civil stormwater network designed for the 5% AEP + 20% climate change (CC) event;
- Four building hydraulic connections that collect roof, terrace and awning runoff, directing flows to a percolation tank located along the western boundary of Physics Lawn;
- A percolation tank sized to provide infiltration for roof catchments up to the 20% AEP + CC event, with overflow conveyed to the existing Ø1200 pipe beneath Shalom College and ultimately to the Barker Street drainage network;
- Public domain pits and pipes within landscaped areas and internal roads, capturing surface runoff and discharging to the existing UNSW drainage system; and
- Removal of redundant stormwater infrastructure and integration of water sensitive urban design measures, including passive irrigation where feasible.

Stormwater Impacts

The primary stormwater-related impacts associated with the development include:

- Changes to Site hydrology through increased impervious areas and altered flow pathways;
- Potential for surcharge or flooding at critical low points if downstream drainage capacity is exceeded;
- Risk of reduced water quality from roof and hardstand runoff entering the campus drainage system; and
- Localised effects on existing sub-catchment boundaries if drainage is not appropriately managed.

Mitigation measures

To mitigate these impacts the strategy embeds several measures to ensure these impacts are appropriately managed:

- The design maintains the two existing sub-catchment and discharge locations, preserving current flow distribution across the campus;
- The civil system has capacity for the 5% AEP + CC event and includes sealed puts and a flap valve in areas affected by high tailwater to prevent surcharge. Overland flow paths are contained safely within rood corridors where necessary;
- Roof catchments are treated through infiltration via the percolation tank, reducing peak discharge and supporting water quality outcomes;

- A gross pollutant trap is provided upstream of the percolation tank and is supplemented by passive irrigation of landscaped areas, to filter pollution; and
- Tailwater conditions and pipe capacities have been informed by the flood risk assessment to ensure no adverse off-site flooding.

Overall, the proposed stormwater management system ensures that the development will not result in adverse flooding, hydrological or water quality impacts and maintains a drainage performance consistent with campus-wide strategies.

7.8.3 Wastewater Management

A 'Before You Dig Australia' (BYDA) inquiry identified a Sydney Water Corporation owned sanitary 225mm sewer main running from north to south adjacent to the Site (refer to **Figure 63**). The existing 225mm sewer pipe has a design flow of 15.16L/s with sewer flow capacity of 48.51L/s. The proposed development is anticipated to generate an additional 10.05L/s of wastewater into the existing system. Therefore, Arup has determined that the additional wastewater generated can likely be accommodated within the existing sewer system. This will be confirmed upon receipt of the Section 73 application from Sydney Water post lodgement.

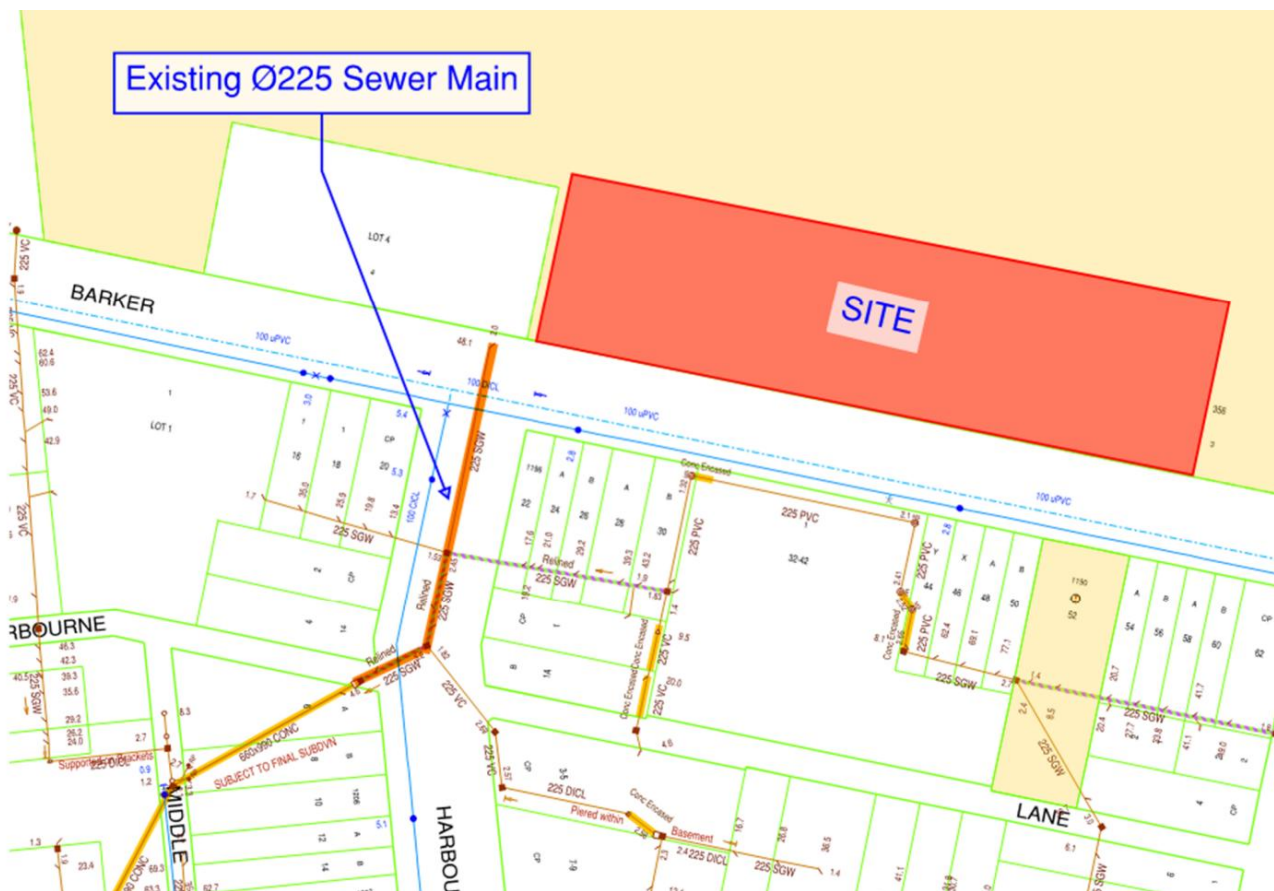


Figure 63 Existing wastewater infrastructure

Source: Arup

7.9 Ground and Water Conditions

A Preliminary Geotechnical Investigation (refer to **Appendix U**) has been undertaken by Douglas Partners to characterise the soil, rock and groundwater conditions across the Site and to provide advice relevant to the construction and long-term performance of the proposed student accommodation buildings. The investigation included two deep cored boreholes, 16 shallow boreholes, groundwater monitoring across four wells, permeability testing and laboratory analysis of soil aggressivity. The findings are summarised below and inform the assessment of soil stability, groundwater behaviour and potential construction impacts.

Soil Conditions

The Site presents typical UNSW lower-campus geotechnical conditions comprising shallow fill, deep natural sands and underlying sandstone bedrock, as follows:

- The Site is underlain by a shallow layer of sandy fill (typically 0.6–1.0 m thick) with local inclusions of sandstone fragments, anthropogenic materials and occasional construction debris. Beneath the fill, the profile transitions into natural aeolian sands which range from loose to medium dense in the upper horizons and become dense to very dense with depth. These sands extend to the top of the Hawkesbury Sandstone bedrock.
- Rock was encountered at depths of approximately 11.5–13.7 m below ground level (reduced levels RL 17.1–13.1 m) depending on location, consistent with a westward and southward dip in the rock profile.
- The upper sandstone presents variable strength (very low to medium), grading with depth into consistent medium- and high-strength sandstone. Rock classifications (based on Pells et al. 2019) range from Class V and IV in the weathered upper bands to Class III and II in the competent sandstone below.
- No acid sulfate soil risk is mapped for the Site, and aggressivity testing of sands indicates low corrosivity across all samples analysed.
- Fill material includes occasional anthropogenic inclusions and any excavated material will be classified and managed in accordance with EPA Waste Classification Guidelines and the findings of the associated contamination investigations.

Groundwater Conditions

Groundwater monitoring from four wells (BH1, BH2, EH05 and EH08) over the period May–August 2025 recorded groundwater levels between RL 21.3 m and 24.3 m, equivalent to approximately 4–7 m below ground level depending on location. These levels rose 0.5–1 m during the monitoring period following significant rainfall, consistent with historic monitoring from 2019–2022 which identified rises of up to 3–4 m in response to major rainfall events.

Groundwater occurs within the natural sand profile and generally flows south and west in alignment with surface and bedrock gradients. Levels are also influenced by UNSW's operational groundwater pumping network, which extracts approximately 0.8–1.3 ML/day from boreholes across the lower campus, resulting in localised drawdown effects. Hydraulic conductivity testing indicates moderate permeability.

Importantly, all proposed building excavation depths, including lift pits and services, are anticipated to remain above the groundwater table under normal and wet-weather conditions. The PMF level (RL 28.4 m) lies above the finished floor levels of Blocks A and B, and therefore shallow footings and below-ground structures will be designed to accommodate this as an upper-bound groundwater scenario. On this basis and given excavations will remain above the measured groundwater table, a formal Groundwater Impact Assessment is not required for the development.

Overall ground conditions are considered suitable for the proposed development, with standard excavation, dewatering contingency measures and footing design approaches readily addressing anticipated geotechnical constraints.

7.10 Contamination

A Preliminary Site Investigation, and subsequent Detailed Site Investigation was undertaken by Douglas Partners which confirmed that, subject to the implementation of the recommendations (refer to **Appendix V**), the Site can be considered suitable for the proposed development.

The PSI identified that the Site was likely used for recreational purposes associated with the Kensington Racecourse until the 1940's, until it was then redeveloped into an open space as part of the UNSW campus development. In around 2000 the Site was redeveloped to accommodate the existing Barker Street apartments.

Soil and groundwater samples were collected from boreholes (BH1 to BH6 for soil and BH1 and BH2 for groundwater) as part of the PSI. The assessment found that at all locations except one, the contamination concentrations were suitable to support the proposed land use. No asbestos was detected during the investigation however Douglas and Partners do not consider boreholes to be an efficient method of assessing for asbestos. Further, the limited number of test locations did not rule out the possibility of asbestos in fill. Therefore, further detailed recommendations were required to confirm.

The Detailed Site Investigation (**Appendix W**) comprised further testing of soil from boreholes (BH101 to BH112). All analysed contaminant concentrations reported for the tested soil samples were within the adopted criteria except at three locations. Non-friable asbestos was detected at BH102; however, the results were not considered to pose an unacceptable risk to the proposed land use. The DSI provides the following recommendations, to ensure the Site remains suitable for the proposed development:

- Complete a data gap assessment in the current building footprints following demolition, primarily for asbestos waste classification purposes;

- Implementation of an Asbestos Removal Control Plan (ARCP) for any soils excavated / disposed from BH102 where asbestos was detected which should include procedures to validate the removal of asbestos (if removed);
- Implementation of an Unexpected Finds Protocol (UFP) outlining the procedures that would be undertaken in the event unexpected contamination is encountered during excavation works;
- All waste to be disposed off-site must be assessed, managed and disposed of in accordance with the Protection of Environment Operations (POEO) Act and associated regulations. Further testing and assessment are required to classify soils at the Site for off-site disposal;
- A hazardous building material survey is required for the current buildings to assess the presence of hazardous building material prior to demolition and to inform management requirements. This has been prepared and is attached as **Appendix X**; and
- If the asbestos impacted soils detected in soil at BH102 are retained, its presence should be recorded on an asbestos register to document the presence of asbestos in the fill at that location.

Based on the findings of this Detailed Site Investigation, Douglas Partners confirms that gross, or widespread contamination is not present within the Site, and therefore is deemed suitable for the proposed development, in accordance with the requirements of the Resilience and Hazards SEPP.

7.11 Biodiversity

A Biodiversity Development Assessment Report (BDAR) Waiver request (refer to **Appendix Y**) was prepared by Evolve Ecology, and submitted to the Department. A BDAR Waiver was granted for the proposed development, under section 7.9(2) of the Biodiversity Conservation Act, confirming that the proposed development is unlikely to have any significant impact on biodiversity values.

7.12 Waste Management

A Waste Management Plan (**WMP**) has been prepared by MRA Consulting Group (refer to **Appendix Z**). The WMP addresses waste generation, and storage associated with the demolition and construction works of the proposed development, and the ongoing waste management for the operation of the on-campus student accommodation.

7.12.1 Demolition and Construction Waste Management

The Demolition and Construction Waste Management Plan (**DCWMP**) details the volumes of the different waste materials anticipated to be generated during the demolition and construction stages of the development. **Appendix Z** details how the various streams of waste will be recycled or disposed of off-site. The specific bin locations will be confirmed once construction methodology and techniques are finalised. This will be addressed prior to the issuances of a Construction Certificate (CC) and further details will be provided within the Construction Environmental Management Plan (**CEMP**) prior to works commencing.

7.12.2 Operational Waste Management

The Operational Waste Management Plan (OWMP) identifies all potential waste generation streams resulting from the operational stage of the project and outlines how waste is to be handled, processed and disposed of, reused or recycled. The OWMP has been prepared in accordance with the Randwick DCP 2013.

Residential Waste Generation

Residential waste generation rates have been established in accordance with advice received from Randwick City Council, and are as follows:

- **General waste:** 9L/occupant/day
- **Recycling:** 3L/occupant/day

The residential component of the proposed development will provide various waste streams including general waste, commingled recycling and FOGO waste. 660L and 1,110L bulk bins are considered to be the most suitable option for the management of general waste and recycling for the proposed development. These bin sizes allow for greater consolidation of waste and efficiency in servicing. 240L bins are appropriate for the collection of food organics, to allow for easier manoeuvrability and servicing.

On-site chute systems will be implemented in each building as it is the most efficient collection method for high-rise residential accommodation, including the proposed on-campus student accommodation. Each building will incorporate a

dual waste chute system to manage residential general and recycling waste streams. A bin cupboard will be located on each residential floor to house the chute inlets. The dual chutes will be supported by automatic bin systems, such as linear tracks, to handle at least 2 days' worth of waste and recycling volumes generated by each building. Individual waste rooms will be provisioned at the ground-level of each building to capture the weekly waste volumes.

Waste storage areas are proposed as follows:

- Block A: 37m² area located on the ground floor.
- Block B: 20m² area located on the ground floor.
- Block C: 31m² area located on the ground floor.

Additionally, a temporary waste room (55m²) will be provided on the ground floor of Block A to serve as a centralised collection area. This space will be sized to accommodate all bins required for weekly collection. On collection days, bins from each waste room will be consolidated in this area. The waste rooms in Block A and Block C are adequately sized to accommodate the required volume-handling equipment and spare bins. Block B's waste room is designed to accommodate the volume-handling infrastructure only, with 240L food organics bins to be stored in the temporary waste holding room or Block A's waste room.

Commercial Kitchen Waste Generation

The waste generated from the kitchen servicing the Dining Halls will be collected by a private contractor, as follows:

- 2 x 1,100L general waste bins collected up to four times a week;
- 2 x 1,100L commingled recycling bins collected three times a week;
- 2 x 1,100L paper and cardboard bins collected three times per week; and
- 12 x 240L food waste bins collected up to three times per week.

Manoeuvrable 1,110L wheelie bins are proposed for the management of all waste streams for the kitchen. The temporary waste room located adjacent to the loading dock in Block A provides sufficient space (28m²) to service the predicted waste volumes from the kitchen. The back-of-house areas of the kitchen will hold bins for the temporary storage of waste. Bins for general waste, recycling, and food waste at minimum will be provided to allow easier source separation for staff. Bins will be transferred to the waste storage area at minimum once daily for emptying and cleaning and transferred back to the back-of-house.

There is adequate space located within the waste storage area for the storage of bulky waste items such as pallets and crates that are expected to be generated by the proposed development. Bulky waste will be stored within a designated caged area within the waste storage area. Bulky waste removal will be organised promptly with the nominated waste collection contractor to avoid overspill into common areas or corridors.

7.13 Social Impact

This Social Impact Assessment (**SIA**) has been prepared in accordance with the *Social Impact Assessment Guidelines for State Significant Projects (July 2025) - Social impact considerations for State significant housing projects*. The proceeding assessment outlines the baseline information and community and stakeholder engagement relevant to the project and uses this information to formulate an assessment of the positive and negative social impacts associated with the development.

Relevant Project Features

The development is for campus student accommodation, comprising three (3) new buildings within the UNSW Kensington Campus, along Barker Street. With a maximum height of 13 storeys (plus rooftop), the development provides a total of 762 beds for students, Dean's, visitors and families, and will provide significant public domain upgrades and communal indoor and outdoor spaces for students. Southern Drive is proposed to be partially closed, and redirected to the western boundary of the site, providing driveway access into the campus, through the proposed 'Gate 15'.

Social Context

The site is located within the UNSW Kensington Campus, specifically along the southern boundary of the site at Barker Street. The site is surrounded by various land uses, including educational establishments, research facilities, student accommodation and recreational spaces within the UNSW Campus, and low-density residential outside the UNSW Campus. Notably, the suburbs surrounding the site and UNSW Campus has been identified as a key area for

transformation by local and state governments, with surrounding properties being located within the Low and Mid-Rise Housing areas.

Bus stops are located on Barker Street, immediately adjacent to the site, and along Anzac Parade. The site is well-located to public transport services, including the UNSW Anzac Parade Light Rail station, which is located 500m walking distance from the site. Surrounding public transport connects the site to major and local centres, including Randwick and the Sydney CBD. The site is well serviced by social infrastructure with accessibility to open space, and sporting and leisure facilities within walking distance of the site. This includes Kensington Park, Anytime Fitness Kingsford and the UNSW Fitness and Aquatic Centre (located within the UNSW Campus).

Likely Future Residents

There will be 762 new beds provided for students, deans, visitors and family members, as a result of the proposed development. The majority of residents will be students who are undergraduates and wish to experience university by living on campus, or international students who have moved to Sydney to study. According to the ABS, the number of international students studying in Australia has more than tripled over the past 20 years, increasing from 182,137 students in June 2004, to 566,006 students in June 2024. The suburbs surrounding the UNSW Campus have undergone significant changes in recent years, accommodating the large number of university students living in Kensington, Kingsford and Randwick, in close proximity to the UNSW Campus.

7.13.1 Engagement Outcomes

Engagement with the local community has been undertaken and is addressed in **Section 6.0** of the EIS. The community provided commentary on the proposal, which has been considered in this SIA. Construction impacts were raised including noise impacts and impacts on the local community and property owners who wish to sell or lease their properties during construction. Given the site's location, construction activities will generate impacts on the surrounding community, however, these will be temporary in nature and can be appropriately managed through mitigation measures, as addressed in **Table 22**. Traffic impacts as a result of the development were also raised by the community, including traffic congestion and increased pressure on parking along Barker Street and Norton Street, which are addressed in **Table 22**.

7.13.2 Positive Social Impacts

The proposed development will provide several wide-reaching social benefits to the community, including:

- **Increased access to student accommodation:** the proposal will significantly expand access to high-quality student accommodation on the UNSW Kensington Campus by delivering a diverse range of living options across the five colleges and self-catered units. The accommodation model is designed to meet the needs of different student cohorts and provided a choice of residential experiences, while maintaining a strong focus on community, safety, inclusion and cultural connection. Each college offers a distinct living environment supported by shared communal spaces and facilities that encourage interaction, support learning, and enhance well-being. The new accommodation will enable more student to reside on campus, in proximity to their classes, the Sydney CBD, employment opportunities and the coast beaches of the Eastern Suburbs. The five accommodation types include:
 - Women's College – a women-only residential college offering a premium residential experience and a supportive collegiate environment.
 - International House – catered, quiet and independent living that fosters a strong sense of community and cross-cultural exchange for students from diverse backgrounds.
 - UNSW Hall – a more affordable on-campus option providing a relaxed atmosphere that balances independence with community life.
 - Indigenous College – culturally safe accommodation for Indigenous and First Nations students, with dedicated spaces for community, cultural connection and family visits to support inclusion and wellbeing.
 - Self-catered Units – self-contained accommodation with kitchenettes and private facilities for students seeking greater independence while retaining access to shared communal amenities.
- **Way of life improvements through communal areas and facilities provided:** the proposed development includes several high-quality, intentional spaces that foster community connection and socialisation. A variety of indoor and outdoor spaces are provided for the benefit of all students, as well as college-specific facilities that cater to the needs and requirements of different students.
- **Encouraging the use of public transport:** no student car parking is provided within the proposed development. Due to the site's strategic location in close proximity to public transport services, social infrastructure and public open space, students are encouraged to move to and from the site via public transport, or walking.
- **Increased activation of the UNSW campus:** through the relocation of Southern Drive, the public domain upgrades, and activation of the ground floor of the buildings, the proposed development will increase the vibrancy and activity

occurring on the UNSW campus. In particular, the number of colleges, and facilities available on the site will draw students and academics into the site, activating the southern portion of the UNSW campus, and surrounding public domain and open space.

7.13.3 Negative Social Impacts

Although the proposed development will deliver significant public benefits, temporary and perceived negative impacts may arise, including:

- **Construction phase:** the construction of the proposed development is anticipated to result in temporary disruptions to the surrounding area, which is a common and expected occurrence during development works. Anticipated disruptions may include construction traffic and limited pedestrian traffic (as addressed in **Section 7.5**), and noise and dust emissions (as addressed in **Section 7.7**).
- **Operational phase:** the operation of the proposed development will result in a positive transformation to the local area that may be perceived as negative. Increased noise impacts, and an increased strain on public recreation spaces and local services are anticipated to be the most significant impact for the local community.

7.13.4 Impact Assessment and Mitigation

To assess the positive and negative social impacts of the proposal, an impact assessment and mitigation matrix has been provided within **Table 22**. The matrix has provided a rating to each identified impact as identified in **Table 21**.

Table 21 Social impact assessment matrix rating

Positive Rating	Justification
High positive	Where the proposed development is expected to deliver significant social benefits.
Medium positive	Where the proposed development is expected to deliver moderate social benefits.
Low positive	Where the proposed development is expected to deliver minor social benefits.
Negative Rating	Justification
Low negative	Where the proposed development is expected to result in minor adverse impacts.
Medium negative	Where the proposed development is expected to result in noticeable adverse impacts.
High negative	Where the proposed development is expected to result in significant adverse impacts.

Table 22 Impact assessment and mitigation matrix

Impact and Mitigations (if required)	Residual Significance
Who will benefit?	
Way of life	
The proposed development will deliver 732 student beds, across 5 colleges, and self-catered units, contributing to the supply of on-campus student housing in the local area. This development significantly contributes to the undersupply of student housing, which is estimated to be a student accommodation ratio of 1 bed per 15 students.	High positive
Community	
The delivery of on-campus student accommodation will attract students from diverse demographics including age, culture and gender, and will contribute to the inclusivity, diversity and vibrancy of the UNSW student community. By providing a range of accommodation types including Indigenous College, Women's College and International College, the development supports social diversity and connection.	High positive
The proposed development will create a high-quality on-campus student accommodation precinct along the southern boundary of the UNSW campus, establishing a sense of place for the local community. Supported by significant trees, communal internal and outdoor space, the development will create a space that is interactive, social, safe and will create a sense of community across the colleges.	Low positive
Accessibility	

Impact and Mitigations (if required)	Residual Significance
<p>Future students and visitors will benefit from increased walkability across the site at a public and private level. The site is also within walking distance to key sites and infrastructure, including open space and shops, and will encourage active travel by providing sufficient bicycle parking spaces.</p>	<p>Medium positive</p>
Culture	
<p>The proposed development provides a high-quality on-campus student accommodation development that has been designed in consultation with Yerrabingin, an Indigenous Design Consultant who has provided their knowledge on the significance of the land for the Traditional Owners. The façade and landscape designs have been designed with connection to Country in mind, providing mindful spaces to celebrate and acknowledge Country.</p>	<p>High positive</p>
Health and wellbeing	
<p>The provision of communal open space between the different colleges will improve the mental wellbeing for students. The spaces provided throughout the buildings will foster social interaction for those vulnerable to social exclusion (particularly from the self-catered units), encouraging students to have a sense of community. This is enhanced by the inclusion of high-quality outdoor communal spaces, accessible by all colleges.</p>	<p>Medium positive</p>
<p>The provision of on-campus student accommodation within the development, and Kensington/ Randwick area generally will alleviate housing stress and financial burden for students, ultimately improving mental health. The revitalisation of the existing student housing, in response to significant demand for student housing provides an opportunity for students to live on campus and experience the social connection from students being on campus. This improves the overall mental health of students, particularly for those vulnerable to social exclusion.</p>	<p>High positive</p>
<p>The proposed development enables active modes of transport, by providing no student car parking, but sufficient bicycle parking that is easily accessible and convenient to use as well as enhancing walkability across and around the site. The site's accessibility will greatly benefit both students and visitors of the site.</p>	<p>Low positive</p>
Surroundings	
<p>The proposed development will significantly improve the existing conditions of the site, revitalising an under-utilised site into a high-quality on-campus student accommodation development, that is inviting for students, safe and fosters social connection. The design of the proposal enhances the aesthetic value of the site, with carefully selected materials and finishes to create a visual interest within the UNSW Campus.</p>	<p>Medium positive</p>
<p>With a key focus on the retention, and relocation of existing trees on the site, the proposal will improve ecosystem services such as shade and pollution control, greatly benefiting the local community and ecosystem. Additional measures to mitigate climate impacts will also be introduced on site, as detailed within the ESD Report (Appendix Q, discussed in Section 7.6).</p>	<p>High positive</p>
Who will be negatively impacted?	
<p>Accessibility: how people access and use infrastructure, services and facilities, whether provided by a public, private or non-for-profit organisation.</p>	
<p>The surrounding community will notice a minor increase in traffic during the construction of the proposed development (discussed in Section 7.5), however, will remain within acceptable levels of disruption. During construction, temporary disruptions to traffic, site access and pedestrian activity is expected.</p> <p>Mitigation:</p> <ul style="list-style-type: none"> • A detailed CPTMP will be prepared, subject to project approval. 	<p>Low negative</p>
<p>Surroundings: including ecosystem services such as shade, pollution control, erosion control, public safety and security, access to and use of the natural and built environment, and aesthetic value and amenity.</p>	
<p>Temporary noise emissions are expected during construction which may be disruptive to adjacent properties and the local community. The Noise and Vibration Assessment (Appendix R, discussed in Section 7.7) concludes that this can be appropriately managed.</p> <p>Mitigation:</p> <ul style="list-style-type: none"> • A Construction Noise and Vibration Management Plan (CNVMP) will be prepared to manage cumulative noise, and vibration impacts of the project. 	<p>Medium negative</p>

Impact and Mitigations (if required)	Residual Significance
<p>Increased strain on public recreation spaces, local services and infrastructure could occur as a cumulative impact of the proposed development, combined with the other developments currently being undertaken, to provide student housing in the area.</p> <p>Mitigation:</p> <ul style="list-style-type: none"> • The change to the character of the area, as a result of the large number of projects currently being undertaken, including the proposed development has been expected by the NSW Government, and accounted for, through the construction of the Light Rail. • Additionally, a number of projects are being undertaken within the UNSW Campus, which will provide additional services and facilities for the increase in students housed on campus, as a result of this project. 	Low negative
<p>An increase in anti-social behaviour may negatively impact community perceptions of safety. The proposed development has addressed this by implementing the following strategies:</p> <p>Mitigation:</p> <ul style="list-style-type: none"> • Passive surveillance • Lighting • Activated space • Security 	Low negative
<p>The proposal will result in overshadowing to neighbours to the south. The proposed development has addressed this by implementing the following strategies:</p> <p>Mitigation</p> <ul style="list-style-type: none"> • The built form has been articulated and steps from east to west to maximise solar access to the south. • Testing undertaken by Bates Smart, confirms that the residential uses to the south will maintain compliant solar access as per the ADG during mid-winter. • The childcare centre to the south will not be impacted by the overshadowing of the proposed development. 	Medium Negative
<p>The proposal is expected to impact the pedestrian wind conditions surrounding the site, especially at the corners of the development. The proposed development has addressed this by implementing the following strategies:</p> <ul style="list-style-type: none"> • The buildings stepped forms and recessed podium levels assist with redirecting down-washed wind from the towers. • Areas of higher wind activity have been designed to support active uses only, rather than passive areas. • Proposed landscaping and tree planting will reduce wind impacts at the ground floor. 	Low Negative
<p>The construction of the proposed development will likely cause harm to Aboriginal objects. The proposed development has addressed this impact by implementing the following strategies:</p> <p>Mitigation</p> <ul style="list-style-type: none"> • Further archaeological investigations will be undertaken at the commencement of the proposed works, prior to construction, comprising a subsurface Aboriginal archaeological excavation program; and • An Unexpected Finds Protocol for archaeological matter and human remains will be implemented if required. 	Medium Negative

Overall, the proposed N13 Student Accommodation development will generate significant positive social impacts by increasing access to high-quality, on-campus accommodation and enhancing student life at UNSW. The development promotes sustainable transport, fosters community connection through communal spaces, and contributes to the activation of the campus, particularly the southern portion. It will provide diverse accommodation options across five colleges, catering to a range of student needs, while also improving public domain spaces.

While there may be some temporary negative impacts during construction, such as disruptions from traffic, noise, and dust, these are common in large developments and can be effectively managed. In the operational phase, the development may place additional strain on local services and public spaces, but these impacts are minimal compared to the long-term benefits.

In summary, the N13 Student Accommodation project represents a transformative opportunity for UNSW. It will deliver lasting benefits by creating a vibrant, sustainable, and inclusive campus environment that supports student success and wellbeing. By providing high-quality, purpose-built accommodation and activating the southern campus with enhanced public spaces, the development strengthens UNSW's position as a world-class education precinct. The long-term social,

environmental, and economic advantages far outweigh any temporary construction impacts, making this project not only justified but essential for the future of the University and its community.

7.14 Heritage

7.14.1 Aboriginal Cultural Heritage

An Aboriginal Cultural Heritage Assessment Report (ACHAR) has been undertaken by Urbis (refer to **Appendix AA**) for the proposed development. This report provides an assessment of the potential impacts of the proposed development on Aboriginal archaeological and cultural heritage and provides recommendations for the management and mitigation of development impacts.

Consultation was undertaken between March and June 2025 with 6 Registered Aboriginal Parties (RAPs) who expressed the need for further investigation into the study area, due to its significance and sensitivity for Aboriginal parties. A site visit was held on 3 June 2025 to conduct a walkover of the subject area with the RAPs and to discuss potential archaeological mitigation strategies. Subsequently, a draft ACHAR was issued to all RAPs on 25 June 2025, where two (2) responses were received, agreeing and supporting the recommendations included within the report, and expressing interest in working alongside Urbis in further investigations.

An Aboriginal Heritage Information Management System (AHIMS) search was undertaken for an area of approximately 8km x 8km centred on the subject Site. The search identified a total of 60 Aboriginal sites, with 3 being confirmed to be 'not a site', reducing the total number of sites to 57. 1 Aboriginal site was identified as overlapping with the subject area. AHIMS ID# 45-6-3729 is a Potential Archaeological Deposit (PAD) that encompasses the Village Green and Physics Lawn spaces within the UNSW Campus. The PAD site extends into the northern part of the Site, at the intersection of Southern Drive and Science Road (refer to **Figure 64**).



Figure 64 Identified Aboriginal site in proximity to the subject Site

Source: Urbis

Figure 64 also identifies the nearest confirmed registered sites (excluding PADs), which include AHIMS ID# 45-6-2495 and AHIMS ID# 45-6-3727. Given their distance from the subject area and the small area occupied by hearths, neither site is likely to extend into the subject Site.

Urbis utilises a predictive model to confirm the Aboriginal archaeological potential of the area retaining material evidence of past Aboriginal land use. The predictive model follows the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW (2010)*. Utilising the landscape features and historical ground disturbance, it is confirmed that the subject area is located within a sand dune system (the Tuggerah soil landscape) and was formerly located within 200m of water (an isolated swamp), both of which are considered indicative of likely past Aboriginal land use. Natural aggradation through wind swept sand within the subject area is likely to have promoted accumulation of any deposited archaeological material. Historical ground disturbance is assessed to be moderate across the entire subject area due to land clearance, earthworks, construction and demolition of buildings and installation of underground utilities in the deep soils of the Tuggerah soil landscape. Owing to the presence of a sensitive landscape features, an aggraded landform and moderate ground disturbance, the Aboriginal archaeological potential of the area is assessed to be high across the entire the Site. As the proposed activity includes ground disturbing works that will be undertaken in an area of high archaeological potential and to depths at which intact A-Horizon soils are expected to occur, the proposal activity is likely to cause direct harm to Aboriginal objects, including subsurface deposits of discarded stone artefacts and subsurface hearths.

Mitigation Measures

As the proposed development includes the demolition of the existing building, and ground disturbing works within an area of high archaeological potential, the proposed development is likely to cause direct harm to Aboriginal objects. Consequently, the following recommendations are proposed:

- A copy of the ACHAR should be submitted with the SSDA (refer to **Appendix AA**);
- Further archaeological investigation should be undertaken at the commencement of the proposed works, prior to construction, comprising a subsurface Aboriginal archaeological excavation program; and
- Implement an Unexpected Finds Protocol for archaeological matter and human remains.

7.14.2 European Heritage

The Site is not a heritage item nor is it located within a Heritage Conservation Area (HCA). The UNSW Kensington Campus contains the C2 'Old Tote & Figtree Theatre' General Conservation Area, as seen in **Figure 8**. The conservation area is located on the opposite side of the campus, some 300m+ from the development Site and with other significant developments in between. The development will, therefore, not impact on the heritage significance of this area.

7.15 Aviation Impacts

Avlaw Aviation has undertaken an Aeronautical Impact Assessment (refer to **Appendix BB**) to ensure that the safety, efficiency and regularity of aircraft operations is protected, by ensuring necessary safety clearances are maintained. The proposed development seeks consent for the construction of three (3) residential buildings, reaching heights of 79.9m Australian Height Datum (AHD) (Block A), 67.427m AHD (Block B) and 64.4m AHD (Block C). Construction will commence with the installation of two (2) hammerhead cranes (TC1 and TC2) which will reach heights of 76.65m ADH and 83.49m AHD. TC2 will be relocated, becoming TC3 and will reach a height of 94.23m AHD. Aircraft operations at Sydney Kingsford Smith Airport, and the helicopter flight paths at the Prince of Wales Hospital have airspace restrictions which have the potential to be impacted by the Site.

Under clause 6.8 of the Randwick LEP 2012, development consent must not be granted to development that penetrates the Limitation of Operations Surface, unless it has consulted with the relevant Commonwealth body about the application. Under part 12 of the *Airports Act 1996*, any activity resulting in an intrusion into an airport's prescribed airspace is considered to be a "controlled activity" that cannot be carried out without approval from aviation stakeholders.

The lowest prescribed airspace protection surface covering the Site is the Conical Surface of the Sydney Airport Obstacle Limitation Surfaces (OLS), which ranges in height from 52.5m AHD to 58.5m AHD, rising to the east. All three (3) buildings, as well as the cranes required for construction will intrude this surface and will, therefore, each be considered controlled activities that require approval from aviation authorities prior to being erected.

Above the OLS, the next lowest airspace protection surfaces covering the Site relates to Instrument Flight Procedures (IFP) conducted at Sydney Airport. The IFP is commonly referred to as PANS-OPS. There are two (2) specific PANS-OPS that limit various portions of the Site, with the eastern portion limited by the RNP final approach, whereas the western portion of restricted by the runway 07 standard instrument departure (SID). The combined surfaces range in height from 89.0m AHD to 125.0m AHD. None of the proposed buildings or cranes will intrude these surfaces.

An assessment on the helicopter operations at the Prince of Wales Hospital has confirmed that the proposed development will not result in any adverse impacts through its built structures, or temporary crane activity.

In conclusion, Avlaw Aviation confirms that the built structures and temporary crane activity at the Site will not adversely affect the safety, efficiency or regularity of aircraft operations at Sydney Kingsford Smith Airport, or helicopter operations at the Prince of Wales Hospital, and therefore the necessary controlled activity approvals should be granted.

7.16 Building Code of Australia and Access

A Building Code of Australia (BCA) and Access Assessment Report has been prepared by Steve Watson and Partners (refer to **Appendix CC**) to review the capability of the proposed development to meet the requirements of the BCA 2022. This assessment confirms that the proposed development can comply with the requirements of the BCA, however, deviates from several 'deemed-to-satisfy' provisions and, therefore, requires performance-based solutions to be developed.

Performance solutions are required to be prepared by suitably qualified professionals, to resolve matters relating to fire safety, accessibility, architectural design and building façades. The performance-based solutions will be implemented prior to the issuance of an Occupation Certificate.

8.0 Project Justification

Considering the assessment of impacts above, this section provides an overarching justification and evaluation for the project as a whole, having regard to the economic, environmental and social impacts of the project and the principles of ecologically sustainable development.

8.1 Project Design

The proposed development seeks consent for the redevelopment of the Barker Street student accommodation buildings, constructing three (3) buildings, delivering 732 on-campus student accommodation beds, together with 30 non-student accommodation units (Dean's accommodation and short-stay accommodation), communal services and shared amenities. Further detail on the proposed development is provided in **Section 4.0** of this report, and in the Architectural Drawings and Design Report, prepared by Bates Smart at **Appendix F** and **Appendix G**, respectively.

8.2 Strategic Justification

The strategic context for the proposal has been discussed in **Section 3.0** of this EIS, and the proposal is considered to be consistent with the relevant strategic context.

8.3 Statutory Justification

A detailed assessment against the statutory planning context of the proposed development is provided in **Section 5.0** of this EIS, which confirms that the proposed development is permissible with consent and generally complies the relevant statutory requirements of the Transport and Infrastructure SEPP, the Randwick LEP 2012 and other relevant environmental planning instruments.

8.4 Community Views

The project has been subject to engagement with surrounding students and residents as well as key government agencies including Randwick City Council and the Department. The details of this engagement is provided within the Engagement Report (refer to **Appendix M**) as well as **Section 6.0** of this report.

The proposed development has considered the feedback received, and will continue consultation throughout the subsequent stages of the project.

8.5 Likely Impacts

In accordance with the SEARs, the EIS has undertaken a detailed assessment of the scale and nature of the likely environmental, social and economic impacts of the proposed development, including cumulative impacts.

Environmental Impacts

The EIS has considered all potential environmental impacts of the proposed development, including:

- Built Form and Urban Design;
- Visual Impacts;
- Wind Impacts;
- Public Domain and Landscaping;
- Tree Removal;
- Sustainability;
- Traffic, Transport and Accessibility;
- Social Impact;
- BCA and Accessibility;
- Noise and Vibration;
- Biodiversity;
- Water Management and Flooding;
- Contamination and Remediation;

- Aboriginal Cultural Heritage;
- Waste Management; and
- Built and Archaeological Heritage,

The assessment concludes that the proposed development will not result in any adverse impacts and where any impacts are posed, mitigation measures have been identified, which are summarised in **Appendix C**.

Social Impacts

Social impacts have been assessed in detail in **Section 7.13** of this report. There are a number of positive social impacts and benefits of the proposed development including:

- The proposal will deliver 732 beds across five colleges and self-catered units, making a substantial contribution to addressing the undersupply of student housing in the area. The design has been informed by consultation with Yerrabingin, ensuring cultural considerations and the significance of the land to Traditional Owners are respectfully incorporated;
- The development will enhance diversity and social inclusion by attracting students from a broad range of backgrounds and providing varied accommodation types that support social connection. By offering affordable on-campus living options, the proposal is expected to reduce housing stress, ease financial pressures and improve overall student wellbeing, including for those at risk of social isolation; and
- The project also prioritises tree retention, new landscaping and sustainable building features, contributing to an improved campus environment and supporting long-term environmental and social benefits.

Economic Impacts

A summary of the economic impacts of the proposed development is provided below:

- The development will generate 448 FTE construction jobs during the delivery phase;
- The project will create 20 FTE ongoing operational jobs once the accommodation becomes operational;
- The proposal will support and enhance the function of the UNSW Kensington Campus, contributing to the continued growth and performance of this key piece of educational infrastructure; and
- The investment will stimulate broader economic activity through increased demand for local services and long-term support for the university's role in the regional and state economy.

Principles of Ecologically Sustainable Development

The EP&A Regulation lists 4 key principles of ESD which must be considered in assessing a project. **Table 23** below provides an assessment of the proposal's impact against these principles. The assessment is informed by the ESD Report prepared by Atelier Ten, included in this EIS as **Appendix Q**.

Table 23 Assessment against ecologically sustainable development principles

Principle of ESD	Assessment
The Precautionary Principle	A detailed assessment of the environmental impacts has been undertaken, to identify potential risks and provide relevant mitigation measures (refer to Appendix Q). The proposed development will not have any adverse impacts on threatened species or threatened ecological communities as the Site is highly disturbed and no species were identified on the Site, which is confirmed by the BDAR Waiver (refer to Appendix Y). Accordingly, there are no unknown risks that would warrant implementing the precautionary principle.
Intergenerational Equity	The proposal has been designed to benefit existing and future generations by: <ul style="list-style-type: none"> • Incorporating a range of sustainability measures into the final design, to reduce the development's energy and water consumption, waste and greenhouse gas production; • Mitigation measures have been provided to protect the built and natural environment; and • The proposal has considered short and long-term social, financial and environmental considerations to ensure issues do not need to be addressed by future generations.
Conservation of Biological Diversity and Ecological Integrity	The proposed development demonstrates a commitment to the conservation of biodiversity and ecological integrity through initiatives that ensure sustainability, the protection of the local ecosystem and the preservation of the environment. Additionally, the proposed development will implement effective stormwater management practices to ensure that water quality is maintained.

Principle of ESD	Assessment
Improved Valuation, Pricing and Incentive Mechanisms	The project recognises the economic and social value of natural resources by integrating sustainable practices into its design and operation. The proposed development will rely on sustainable materials and equipment to achieve optimal efficiency whilst prioritising environmentally friendly resources.

8.6 Public Interest

The proposal will deliver significant public benefit that aligns with the public interest through the following outcomes:

- Renew existing student housing stock that is at its end of life and replace this with a high quality development with integrated landscaping and communal facilities;
- Deliver a significant portion of campus student accommodation in a central location that is in proximity to academic and education facilities which supports the function of the Randwick Health and Education Precinct;
- Provide purpose built housing containing a total of 762 beds which will in turn alleviate the pressure on existing student accommodation and reduce competition from students in the private rental market;
- Incorporate inclusive design that is suitable for all abilities and celebrates traditional Indigenous cultural stories and native ecologies;
- Support the principles of ecologically sustainable development by incorporating a range of measures to actively reduce energy and water consumption within the building and achieve a minimum 5 Star Green Star rating and WELL Gold rating; and
- Create new jobs during the construction and operational phases of the development.

8.7 Suitability of the Site

The Site is suitable for the proposed development for the following reasons:

- The Site is located on land within the existing UNSW Kensington Campus and will renew the existing student accommodation on the Site;
- The development is located within the Randwick Health and Education Precinct and is well-placed to address the growing need and demand for student accommodation;
- Services and facilities are located near the site to readily meet resident's needs;
- It is located near recreational assets, open space and areas of high amenity such as Physics Lawn and Village Green to promote the health and wellbeing of residents; and
- Its location will not result in any adverse or significant impact on surrounding developments or lands uses.

9.0 Conclusion

This EIS demonstrates that the proposed development at 39 Barker Street will deliver significant environmental, social, and economic benefits while meeting all statutory and strategic planning requirements. The project represents a critical investment in UNSW's future and the broader Randwick Health and Education Precinct. This EIS has addressed the issues outlined in the SEARs Compliance Table (refer to **Appendix A**) and is in accordance with Schedule 2 of the EP&A Regulations with regard to consideration of relevant matters.

Having regard to the biophysical, economic and social considerations, including the principles of ecologically sustainable development, the carrying out of this project is justified for the following reasons:

- The proposed development is permissible with consent and meets the relevant statutory requirements of the relevant environmental planning instruments, including the State Environmental Planning Policy (Transport and Infrastructure) 2021 and the Randwick LEP 2013;
- The proposed development will support the development world-class education precinct and strengthen the University's presence within the Randwick Health and Education Precinct in accordance with the Randwick City Local Strategic Planning Statement and Randwick City Council Vision 2040: Draft Housing Strategy;
- It directly responds to the acute shortage of student accommodation by delivering a substantial number of purpose-built beds in a central campus location. This will enhance safety, inclusion, and wellbeing through diverse housing options, improved amenities, and strong connections to open space. Cultural values have been embedded through engagement with Traditional Owners;
- The Site is extremely well serviced by public transport infrastructure. The development will therefore support the strategic imperative of delivering high quality development in conjunction with public transport capacity and bicycle parking;
- It will be integrated with the surrounding context and provides a high level of pedestrian amenity and permeability at ground level with high quality public domain and landscaping treatments;
- The development is of a high quality architectural and landscape design. The development will positively contribute to the renewal of Barker Street;
- The development will not result in any unreasonable adverse environmental impacts that cannot be appropriately managed through provided mitigation measures; and
- It directly responds to the acute shortage of student accommodation by delivering a substantial number of purpose-built beds in a central campus location. This will enhance safety, inclusion, and wellbeing through diverse housing options, improved amenities, and strong connections to open space.

Given the merits described above, it is recommended that the application is approved as proposed and subject to the mitigation measures listed at **Appendix C**.