



ABE
CONSULTING

Accessibility Review Report – DA

Project Title: Wollongong Private Hospital Extension
360-368 Crown Street & 15-23 Urunga Parade, Wollongong

Job Number: 24465

Date: 16 December 2025

Prepared For: AA Crown Holdings
C/- 360 Property Agency

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Report	Revision	Date	Details
Draft	1.0	21 February 2025	For review and comment
Draft Updated	1.1	08 October 2025	Updated for review
Draft Updated	1.2	07 November 2025	Updated for review
Final	1.3	11 December 2025	For Submission
Final	1.4	16 December 2025	For Submission

ACCESSIBILITY DESIGN REVIEW

PROJECT: Wollongong Private Hospital Extension

ADDRESS: 360-368 Crown Street & 15-23 Urunga Parade, Wollongong

1.0 INTRODUCTION

This report provides an Accessibility Design Review of the proposed Wollongong Private Hospital Extension located at 360-368 Crown Street & 15-23 Urunga Parade, Wollongong.

1.1 Project Information & Classification

The proposed development consists of a multi-storey building extension which incorporates basement carparking areas, retail tenancy spaces, an emergency department (including ambulance parking), a refurbishment on Level 1 of the existing building and retail tenancies on the ground floor and 11 Levels of healthcare related services at the subject site.

It is understood the following Building Code of Australia 2022 Amendment 2 building classification(s) apply to the subject building / building part (to be confirmed by the BCA Consultant / PCA) –

Level/Building Part	Building Classification	Use
MAIN BUILDING		
Basement 4	Class 9a	Hospital
Basement 2 – 3	Class 7a	Carpark
Lower Ground Floor	Class 6/ Class 7a/ Class 9a	Retail/ Loading dock/ Hospital lobby
Ground Floor	Class 6/ Class 7a/ Class 9a	Retail/ Ambulance Bay/ Hospital
Level 1 – Level 11	Class 9a	Resid Hospital
Level 12	Class 9a	Plant room

1.2 Purpose of the Report

AA Crown Holdings C/- 360 Property Agency engaged the services of ABE Consulting as Accessibility Consultants for this project to undertake an assessment of the proposed design documentation in relation to the accessibility related requirements as identified in Part 1.3 of this report for submission to the Principal Certifying Authority as part of the Development Application documentation.

1.3 Report Scope

This report provides an Accessibility Design Review of the relevant project architectural documentation in the context of the following –

- Part D4, Clause E3D7, E3D8, F4D5, F4D6, F4D7 & F4D12 ‘deemed-to-satisfy’ (DtS) requirements of Building Code of Australia 2022 Amendment 2 (BCA);
- The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024.

This Accessibility Design Review is based on –

- Architectural design documentation prepared by Health Projects International, Project No. WGP20 as follow –

Dwg#	Title	Date – Issue
P-S1	SITE PLAN	04.12.2025 – G
MP-B6	BASEMENT 6	08.12.2025 – 4
MP-B5	BASEMENT 5	08.12.2025 – 5
MP-B4	BASEMENT 4	08.12.2025 – 11
MP-B3	BASEMENT 3	08.12.2025 – 11
MP-B2	BASEMENT 2	12.12.2025 – 13
MP-LG	LOWER GROUND	08.12.2025 – 13
MP-G	GROUND FLOOR	08.12.2025 – 15
MP-1	LEVEL 1	08.12.2025 – 8
MP-2	LEVEL 2	08.12.2025 – 9
MP-3	LEVEL 3	08.12.2025 – 9
MP-4	LEVEL 4	08.12.2025 – 8
MP-5	LEVEL 5	08.12.2025 – 8
MP-6	LEVEL 6	08.12.2025 – 8
MP-7	LEVEL 7	08.12.2025 – 12
MP-8	LEVEL 8	08.12.2025 – 9
MP-9	LEVEL 9	08.12.2025 – 12
MP-10	LEVEL 10	08.12.2025 – 6
MP-11	LEVEL 11	08.12.2025 – 6
MP-12	LEVEL 12	08.12.2025 – 4

- The Building Code of Australia 2022 Amendment 2 prepared by the Australian Building Codes Board.
- The Guide to the BCA 2022 Amendment 2, prepared by the Australian Building Codes Board.
- The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024.
- Australian Standards AS 1428.1-2021 - Design for Access and Mobility - Part 1: General requirements for access - New building work.
- Australian Standards AS/NZS 2890.6-2009 – Off-street parking for people with disabilities.
- Australian Standards AS/NZS 1428.4.1-2009 - Design for Access and Mobility - Part 4.1: Means to assist the orientation of people with vision impairment – Tactile ground surface indicators.

1.4 Limitations of the Report

The Disability Discrimination Act (DDA - 1992) is Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional, equitable and independent accessibility. The DDA is complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equity and independence of movement by people with disabilities, their companions, family and carer givers.

A key component of compliance to the DDA is the use of the The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024., Part D4, Clause E3D7, E3D8, F4D5, F4D6, F4D7 & F4D12 of the Building Code of Australia 2022 Amendment 2 (BCA) and the relevant referenced standards primarily being Australian Standards Suite AS1428 and Australian Standards AS2890.6 – Off-street parking for people with disabilities. The AS 1428 series details technical requirements related to design for access and mobility.

The Building Code of Australia adopted key accessibility and DDA legislation into the 2011 BCA. In particular adherence to the Access to Premises Standard (2010); AS1428.1 2009; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. However, compliance with these elements does not necessarily result in compliance with the Disability Discrimination Act if the elements of equality, independence and functionality remain compromised within an environment.

This report does not include or assess the following –

- The provisions of the BCA not directly referenced in Part 1.3 of this report;
- Standards not directly referenced in this report; including AS4299-1995 (Adaptable Housing) unless otherwise explicitly specified in Part 1.3 of this report;
- Disability Discrimination Act 1992 (as explored earlier);
- Federal / State / Local planning policies and/or guidelines unless otherwise explicitly specified in Part 1.3 of this report;
- Work Health & Safety considerations or Work Cover Authority requirements;
- This report does not provide any performance based assessments (Performance Solutions) of the BCA;
- This report does not provide any exemptions from the requirements of the BCA.
- This report is not a Part 4A compliance certificate under the Environmental Planning & Assessment Act 1979 or Regulation 2000;
- Review or specification of slip-resistance classification(s) for floor surface finishes / materials. We recommend surface finish advice be sought from an independent specialist slip safety consultant.

1.5 The Disability (Access to Premises – Building) Standards Amendment (2024 Measures No. 1) Standards 2024

The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 provides the prescriptive requirements set out regarding the upgrade of an existing building where works are being undertaken.

The Premises Standards apply to:

- a new building
- a new part of an existing building
- the *affected part* of an existing building.

The new parts of a building and any subsequent affected part are outlined as per the below extracts of The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 –

New Part:

A part of a building is a **New Part** of the building if it is an extension to the building or a modified part of the building about which:

- *An application for approval for the building work is submitted, on or after 1 May 2011, to the competent authority in the state or territory where the building is located; or*
- *All of the following apply:*
 - The building work is carried out for or on behalf of the Crown;*
 - The building work commences on or after 1 May 2011;*
 - No application for approval for the building work is submitted, before 1 May 2011, to the competent authority in the state or Territory where the building is located.*

Affected Part:

- *the principal pedestrian entrance of an existing building that contains a new part and*
- *any part of an existing building that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

Furthermore, Part 4 of the Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 sets out applicable exceptions and concessions. In this instance the following lessee concession is provided –

Lessees:

If the lessee of a *new part* of a building submits an application for approval for the building work, the following people do not have to ensure that the *affected part* of the building complies with these Standards:

- The building Certifier;
- The building developer;
- The building manager.

It is understood that the proposed works are being undertaken by the building owner/whole building lessee and as such an ‘affected part’ upgrade is triggered. New works and the subsequent ‘affected part’ are required to comply with the current accessibility provisions of the BCA.

The “Affected Part”

The following plan extracts are provided as an indication of the new works, including the subsequent potential ‘affected part’, and should be viewed in conjunction with the remainder of the report.

It is noted that the Level 1 area of works located along the affected part is proposed to be upgraded as part of the new building works.

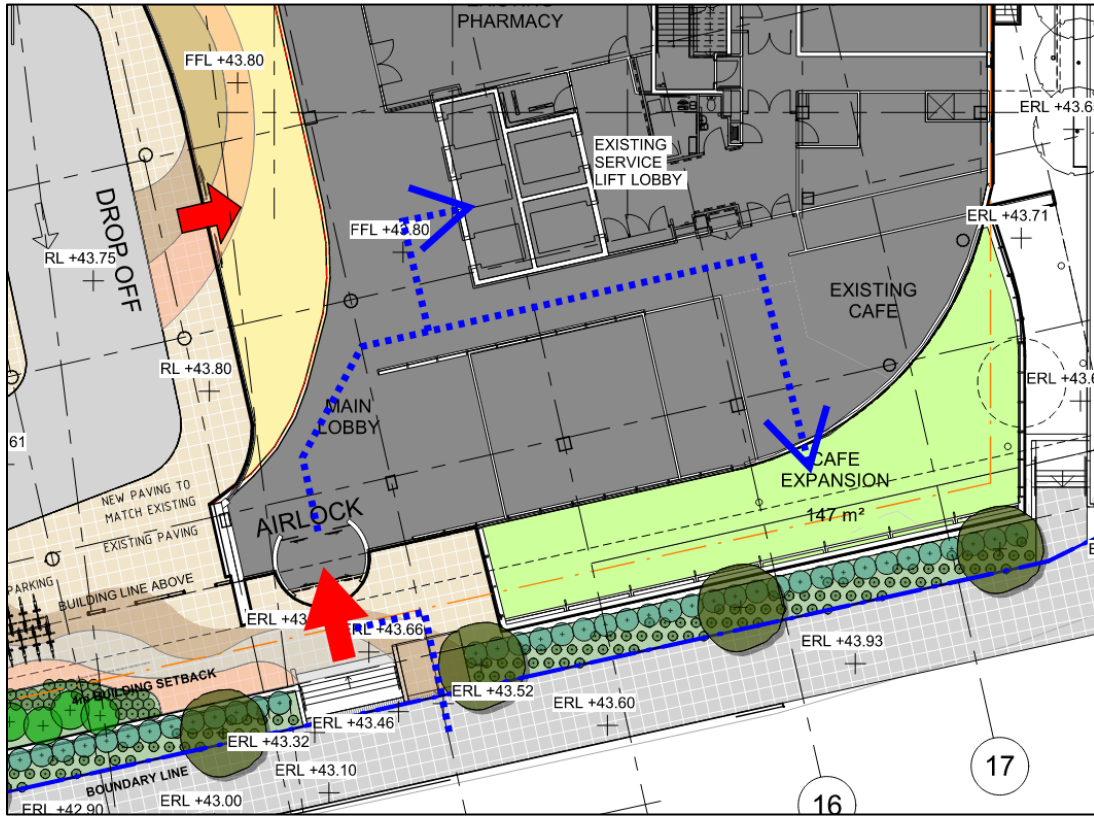


Figure 1 – Ground Floor Plan Extract

Highlighted Green – New works within existing building on Ground Floor

Red Arrow – Location of Principal Pedestrian Entry to the Building Part

Blue Arrow – Direction of the “affected part” located on Ground Floor between the Existing Entry & New works/
lifts to Level 1

Grey/ White areas are existing parts of the building not proposed with any works

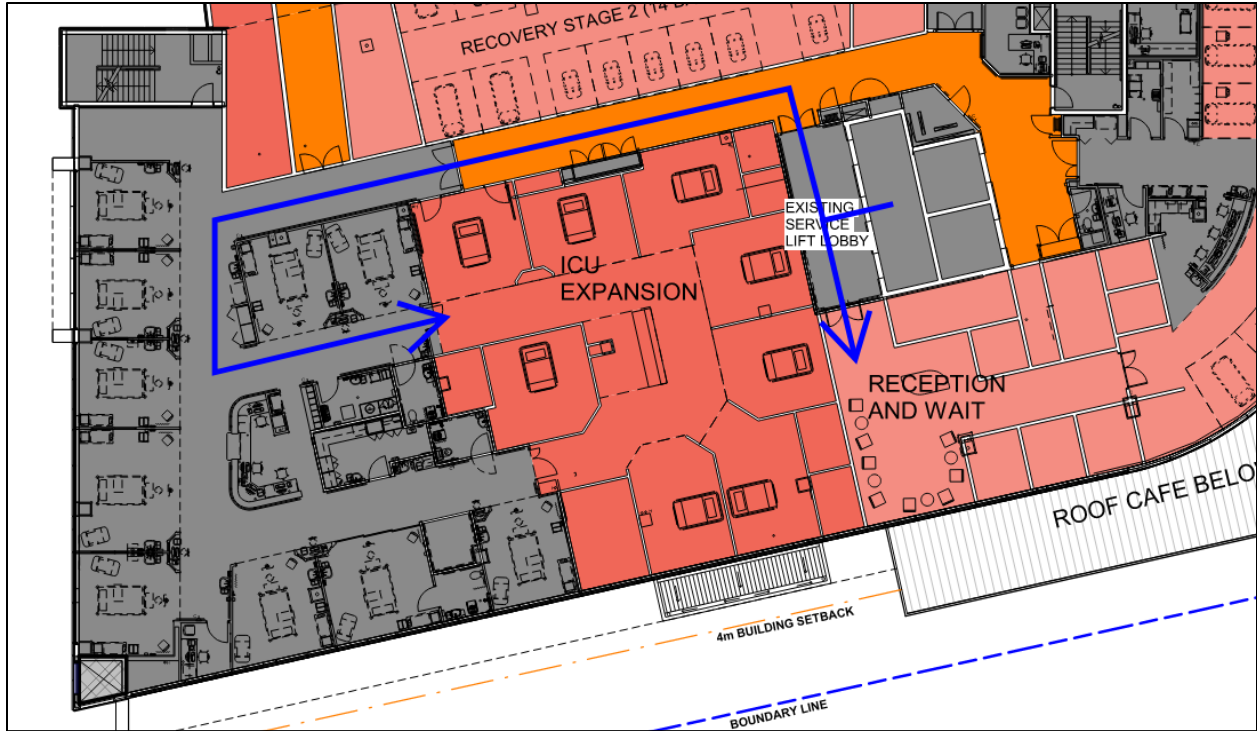


Figure 2 – First Floor Plan Extract

Highlighted Green – New works within existing building on Level 1

Highlighted Orange – Part of Level 1 expansion

Blue Arrow – Direction of the “affected part” located on Level 1 between the expansion & refurbishment

Grey/ White areas are existing parts of the building not proposed with any works

2.0 ACCESSIBILITY DESIGN REVIEW

The following tables provide an assessment of the architectural design documentation in relation to the DtS provisions of the BCA / Premises Standards in the context as outlined in Part 1 of this report.

The tables identify each of the relevant assessment outcomes into six (6) main categories, as follows –

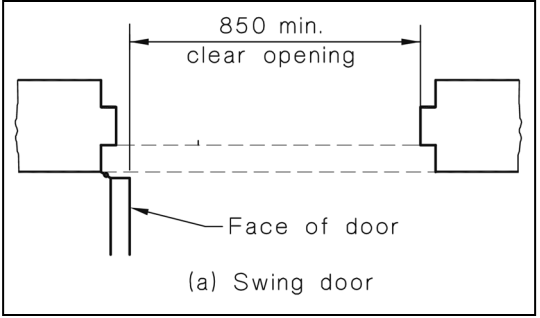
<u>Capable of Complying (CoC)</u> –	Spatial allowance has been made to accommodate compliance where the specification provided has been satisfied.
<u>Compliance Departure (CD)</u> –	A compliance departure with the DtS provisions of the BCA.
<u>Design Detail (DD)</u> –	A detail commentary/specification is offered within the report.
<u>Performance Solution (PS)</u> –	A Performance Solution Report is being pursued to justify the compliance departures
<u>Not Applicable (N/A)</u> –	Not applicable or not relevant to the project. Commentary provided.
<u>Informational (Info)</u> –	Provided for informational purposes

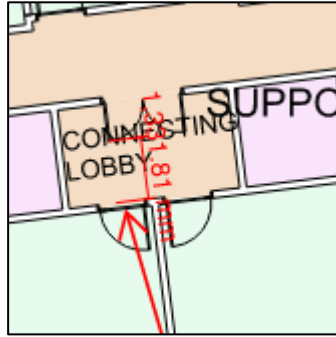
Interpretation Note(s) –

- Readily moveable furniture has been treated as indicative only unless otherwise noted within the report as it is not considered to form part of the building as addressed by the BCA.
- It is assumed that 2x houses located along Crown Street are Class 5 consulting buildings with no new works proposed. There are no access requirements associated within the Class 5 buildings as no new works are proposed within the building – as such, new external pedestrian pathways and parking spaces are required to meet AS1428.1-2021 & AS2890.6-2009 compliance.

BCA Part D4 – ACCESS FOR PEOPLE WITH DISABILITIES

Cl. D4D2: General building access requirements

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Buildings and parts of the building must be accessible as required by D4D2 (Table D3.1 - 2019), unless exempted by D4D5. D4D2 requires that access is provided –</p> <p><u>Class 5, 6, 9a –</u></p> <ul style="list-style-type: none"> To and within all areas normally used by the occupants. <p><u>Class 7a –</u></p> <ul style="list-style-type: none"> To and within any level containing accessible carparking spaces. 	<p>Access is generally proposed throughout the required portions of the building as prescribed by Cl. D4D2 of the BCA. Further review of detailed building elements will be required as the design progresses.</p> <p><u>Doorways</u></p> <p>All doorways along an accessway are required to have a clear door opening width no less than 850mm clear and be provided with door circulation spaces as prescribed by AS1428.1-2021.</p>  <p>Generally common use doorways are afforded with a minimum 850mm clear door opening width.</p> <p>Further review of doorways will occur at detail design stage.</p> <p><u>Detail Design:</u></p> <p>Clearance within connecting airlock on Levels 9 – 11 is not proposed with a minimum 1450mm clearance between consecutive door leaves.</p>	<p>CoC & DD</p>



Extending the lobby may result in reduced studio sizes.

Detail Design:

Generally, compliance is capable of being achieved, however on levels doorways are yet to be indicated as part of the works. It is noted that there is sufficient space to incorporate compliant door circulation spaces as part of the works as prescribed in AS1428.1-2021.

Design Detail:

The following items shall be specified and installed to comply with AS1428.1-2021 –

- All floor surface materials comply with the material, profile, abutment and design tolerances of AS1428.1-2021 including BCA Cl. D4D4 (g) & (h) for carpets.
- All doorways along an accessway are required to have a clear door opening width no less than 850mm clear and be provided with door circulation spaces as prescribed by AS1428.1-2021.
- The passenger lift access is required to be available for use by all occupants of the building.
- All accessways will need to have the prescribed circulation and landing areas as outlined in AS1428.1-2021.
- Walkways are to have a complying abutment as prescribed in AS1428.1-2009.

	<ul style="list-style-type: none"> Ramps and stairways are to comply with clause D4D4 of the BCA and AS1428.1-2021. 	
	<p><u>Access between areas</u></p> <p>Access is required to and within all areas normally used by the occupants (excluding areas that are unsafe or unsuitable for everyday access, refer D4D5 exemptions).</p> <p><u>Detail Design:</u></p> <p>Ensure <u>level</u> transitions or compliant threshold ramp/ ramps with landings are provided at doorways between internal and external floor areas, this includes hobless doorways. The following areas are to achieve compliance:</p> <ul style="list-style-type: none"> - Lower Ground Floor entrances - Ground Floor building entrances & external café area - Level 2 landscaped area & balcony spaces - Level 7 Sky Garden <p>Further review of these features will be reviewed during detail design stage.</p>	CoC & DD
	<p><u>Paths of travel</u></p> <p>All pathways require a minimum unobstructed width of 1000mm. Pathways shall not include impediments such as steps or turnstiles without an accessible alternative provided.</p> <p>Circulation spaces prescribed by AS1428.1-2009 are required at changes in direction and other circumstances may require a greater width than 1000mm.</p> <p>Drawings indicate corridors and pathways to be >1600mm in width which is sufficient in achieving compliance with AS1428.1-2009.</p> <p>Further review of these features will be reviewed during detail design stage.</p>	CoC & DD

	<p><u>Design Detail:</u></p> <p>Verification of slip resistant surface finishes on all accessways should be provided prior to OC sign off. It is recommended to refer to HB-198 for area ratings and test in accordance with AS4586-2013.</p>	
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Cl. D4D3: Access to Buildings

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>An accessway must be provided to a building required to be accessible –</p> <ul style="list-style-type: none"> • from the main points of pedestrian entry at the allotment boundary; and • from another accessible building connected by a pedestrian link; and • from any required accessible carparking space on the allotment. <p>In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and –</p> <ul style="list-style-type: none"> • through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and • in a building with a floor area more than 500m², a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance. <p>except for pedestrian entrances serving only areas exempted by D4D5.</p>	<p>As the proposed works are within the existing building, some of the provisions in D4D3 are not applied as there are no new associated pedestrian accessways proposed under this approval.</p> <p><u>Allotment Boundary</u></p> <p>The building is provided with multiple pathways off the allotment boundary. These include the following:</p> <ul style="list-style-type: none"> • <u>Hospital – Crown Street:</u> <p>From the Crown Street building frontage there is stairway and walkway access.</p> <p>Refer to Table D4D4 for an assessment on the ramps leading from the allotment boundary to the building.</p> <p>Further review of accessways will occur at detail design stage.</p> <ul style="list-style-type: none"> • <u>Hospital – Urunga Parade:</u> <p>From the Urunga Parade building frontage there are multiple pedestrian openings from the street.</p> <p>Refer to Table D4D4 for an assessment on the ramps leading from the allotment boundary to the building.</p> <p>Further review of accessways will occur at detail design stage.</p> <ul style="list-style-type: none"> • <u>Existing Dwellings (Class 5) – Crown Street:</u> <p>Existing houses are Classed 5 under the BCA, the new external pathway as identified red</p>	<p></p> <p>CoC</p>

in the figure below is achieve compliance with the requirements of AS1428.1-2021.

Due to a lack of information on the drawings including RL's and gradients a full assessment of this pathway is unable to be completed at this stage.

Design of this pathway will be further reviewed at detail design stage ensuring compliance with AS1428.1-2021 is met.



Other Accessible Buildings

Each building is located on individual lots without a pedestrian link between.

Dwellings along Crown Street are Class 5 – therefore, linked via a shared pathway.

It is noted that the dwelling are not provided with a pathway linking the private hospital.

CoC

Accessible Parking

Plans propose accessible parking spaces on the Ground Floor and Basement parking areas.

Ensure the pathway between them and the entry has a smooth/traversable surface at 1:40/2.5% gradient or AS1428.1 compliant ramping.

Further review of accessways will occur at detail design stage.

CoC & DD

Detail Design:

A lack of detail is currently provided regarding the external pathway between the accessible parking space and the 2x Class 5 buildings.

The external pathway is required to meet AS1428.1-2021.



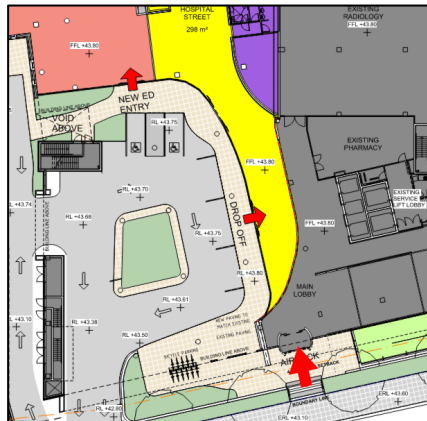
Principal Pedestrian Entrances (Building)

CoC

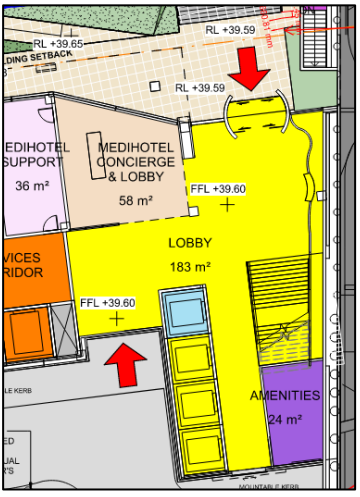
- **Hospital – Ground Floor:**

Multiple building entrances are indicated throughout the Ground Floor.

Automatic sliding doors are indicated at each entry point. Ensure a level landing is provided at each of the entry doorways.



Further review of entrances will occur at detail design stage.

	<ul style="list-style-type: none"> • <u>Hospital – Lower Ground Floor:</u> <p>The lower ground floor area is identified with an entry into the lobby space and end of trip.</p> <p>Entry points are capable of achieving compliance with AS1428.1-2021. Ensure a level landing is provided at each of the entry doorways.</p>  <p>Further review of accessways will occur at detail design stage.</p>	
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Cl. D4D4: Parts of buildings to be accessible

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>In a building required to be accessible every ramp and stairway, except for ramps and stairways in areas exempted by D4D5, must comply with –</p> <ul style="list-style-type: none"> • for a ramp, except a fire-isolated ramp, Clause 7 of AS 1428.1; and 	<p>All non-fire-isolated ramps are required to comply with AS1428.1-2021.</p> <p>Drawings indicate a number of walkways (a gradient of 1:20 or shallower) as part of the works located on the Lower Ground Floor off Urunga Parade & Ground Floor off Crown Street.</p> <p><u>Detail Design:</u></p> <p>An external walkway at the Crown Street boundary indicates a walkway.</p> <p>Design, gradient and is to be no steeper than 1:20.</p>	<p>CoC & DD</p>

The following items will affect gradients:

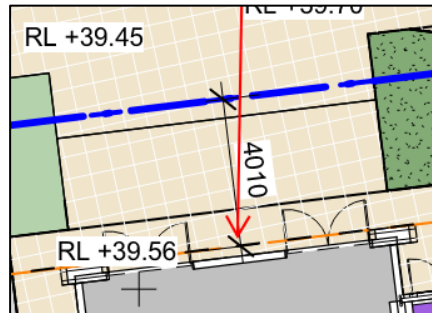
- Clear width of the walkway (graded area), and
- Fall across Crown Street.

The gradient of the pathway is defined based on the worst case scenario.

Further review of this feature will occur at detail design stage.

Detail Design:

Upper landing of walkway in front of substation opening is required to achieve a minimum 1500mm clearance for a 90 degree turn.

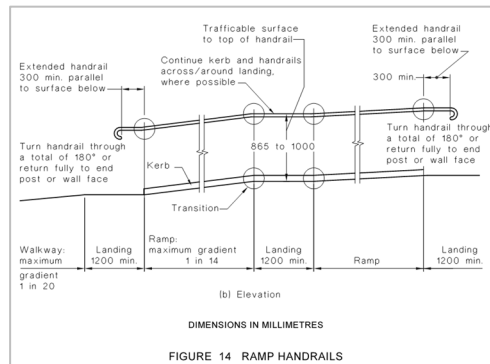


Design Detail:

- Ramp construction – **key** details from AS1428.1-2009:
 - Ramps to be setback from boundary lines – minimum 900mm;
 - Ramps to be setback from internal corridor junctions – minimum 400mm;
 - Ramp gradient to be consistent throughout the ramp (1:14-1:19 for access ramps). Note step ramps gradients are permitted to be 1:10 and kerb ramps 1:8 as per AS1428.1-2021;
 - Ramp width must be a minimum 1m (note additional width is required for landings and turning/circulation areas);
 - Ramps must have sharp transitions at the landings;

- Landings to be provided at the top and bottom of the ramp (1200mm if in the direction of travel or 1500mm if there is a change in direction);
- Mid-landings to be provided at the specified internals (min 1200mm long in the direction of travel or 1540mm wide to allow a 180 degree turn).
- Maximum run for a 1:14 ramp is 9m before a mid-landing is required;
- Ramps and landings must be slip resistant as per clause D3D14 of the BCA;
- Handrails and kerb rails to be provided as per AS1428.1-2021;
- Handrails must not encroach into circulation areas; and
- Tactile indicators to be provided as per clause D4D9 of the BCA and AS/NZS1428.4.1-2021.

Refer to figure below from AS1428.1-2021 (Figure 14):

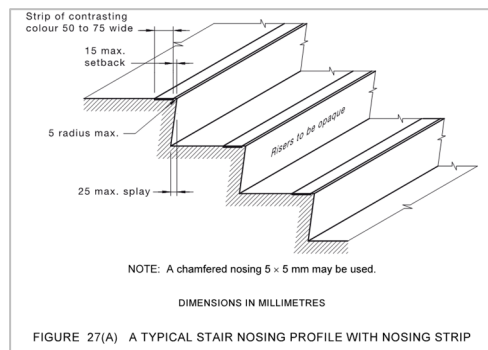
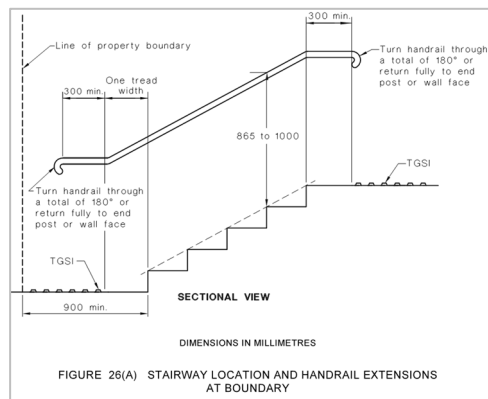


- Walkway construction – **key** details from AS1428.1-2021:
 - Walkways must be a minimum 1m wide (note additional wide is required for turning and passing spaces);
 - Curved walkways must be a minimum 1500mm wide;
 - Allowance for passing bays, 180 and 90 degree turning space is required as per the clause D4D4 of the BCA and AS1428.1-2021.

	<ul style="list-style-type: none"> ○ Walkway gradient to be consistent throughout (1:20-1:33). ○ Walkways must have sharp transitions at the landings; ○ Landings to be provided at the top and bottom of the walkways (1200mm if in the direction of travel or 1500mm if there is a change in direction); ○ Mid-landings (min 1200mm long) to be provided at the specified internals. Maximum run for a 1:20 walkway is 15m before a mid-landing is required; and ○ Compliant walkway abutment to be provided as prescribed in AS1428.1-2021. <p>Further review of external ramps are to be developed as the design progresses.</p>	
<ul style="list-style-type: none"> • for a stairway, except a fire-isolated stairway, Clause 8 of AS 1428.1; and 	<p>All non-fire-isolated stairways are required to comply with AS1428.1-2021. The following stairways are identified as being subject to this requirement:</p> <ul style="list-style-type: none"> - All External Stairways - Internal communication stairways <p><u>Design Detail:</u></p> <ul style="list-style-type: none"> - Single steps are not 'stairways'. Discuss the provision of a single step and any features required with the PCA/BCA Consultant. - Stairway construction – key details from AS1428.1-2021: <ul style="list-style-type: none"> ○ Stairway width must be a minimum 1m (note additional width must be required for egress/fire safety); ○ Stairway to have complying and consistent goings and risers are per clause D3D14 of the BCA; ○ Stairways must be setback a minimum 900mm from the boundary or 400mm from an intersection of a corridor – refer to markup below: 	<p>CoC & DD</p>

- Risers must be opaque;
- Goings must not overhang the riser;
- Goings to be provided with 50-75mm non-slip strip which achieves a minimum 30% contrast to the going;
- Handrails to be provided as per AS1428.1-2021;
- Handrails must not encroach into circulation areas; and
- Tactile indicators to be provided as per clause D4D9 of the BCA and AS/NZS1428.4.1-2021.

Refer to figures below from AS1428.1-2021 (Figures 26A and 27A):

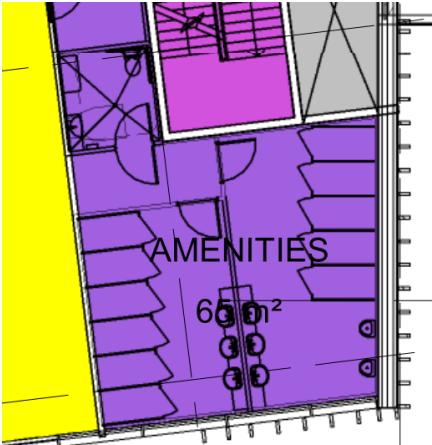


- for a fire-isolated stairway, Clause 8.1(f) and (g) of AS 1428.1; and

30% luminance contrasting nosing strips are capable of being provided in accordance with AS1428.1-2021 to the fire-isolated stairways.

*N.B. – Cl. D3D22 (1)(f) of the BCA is generally assessed by the PCA / BCA Consultant.
Where assessment of this Clause is required*

CoC

	<p><i>by this office please confirm and provide detail.</i></p>	
<p>Accessways must have—</p> <ul style="list-style-type: none"> • passing spaces complying with AS 1428.1 at maximum 20 m intervals where a direct line of sight is not available • turning spaces complying with AS 1428.1 at 20m intervals or within 2m of the termination of an accessway. 	<p>Corridors are indicated with clear widths of >1600mm, capable of wheelchair turning spaces.</p> <p><u>Detail Design:</u></p> <p>Amenities corridors between Levels 2 – 8 are indicated with a clear width of less than 1540mm.</p>  <p>Corridors are to be provided with a wheelchair turning spaces within 2m of the end of the accessway.</p> <p><u>Detail Design:</u></p> <p>As the design progresses ensure the following circulation spaces are incorporated into the design.</p> <p>Ensure 180° turning (2070mm x 1540mm) space and is provided within 2m of a termination or at maximum 20m intervals along any new or altered accessways.</p> <p>Ensure passing (2000mm x 1800mm) space and is provided at maximum 20m intervals along any accessways where there are obstructed lines of sight along any new or altered accessways.</p>	<p>CoC & DD</p>

Cl. D4D5: Exemptions

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>The following areas are not required to be accessible –</p> <ul style="list-style-type: none"> An area where access would be inappropriate because of the particular purpose for which the area is used. An area that would pose a health or safety risk for people with a disability. Any path of travel providing access only to an area exempted by (a) or (b). 	<p>Exemptions are to be reviewed on a case by case basis. We highlight that the following parts of the building have been offered an access exemption (not exhaustive) –</p> <ul style="list-style-type: none"> Plant & equipment room(s) Loading Dock Storage rooms Commercial kitchen 	Info

Cl. D4D6: Accessible carparking

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Accessible carparking spaces are to be provided in accordance with Cl. D4D6 of the BCA in a Class 7a building and a carparking area on the same allotment as a building required to be accessible.</p> <p>Accessible carparking spaces –</p> <ul style="list-style-type: none"> are to comply with AS2890.6-2009. need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public need not be designated where there is a total of not more than 5 carparking spaces, so as to restrict the use of the carparking space only for people with a disability <p><u>Class 6 – Retail</u></p> <p>1x space for every 50 carparking spaces or part thereof.</p> <p><u>Class 9a – Hospital</u></p> <p><i>Hospital (outpatient area) –</i></p> <p>Up to 1000 carparking spaces;</p> <ul style="list-style-type: none"> 1x space for every 50 carparking spaces or part thereof. <p>For each additional 100 carparking spaces or part thereof in excess of 10000 carparking spaces;</p>	<p><u>Dwellings (Class 5):</u></p> <p>A total of 5x carparking spaces are proposed.</p> <p>BCA requires a minimum of 1x accessible carparking space.</p> <p>Drawings indicate 1x accessible parking space.</p> <p><u>Hospital (Class 9a):</u></p> <p>A total of 278x carparking spaces are proposed.</p> <p>BCA requires a minimum of 6x accessible carparking spaces are to be indicated as part of the new works on plan.</p> <p>6x accessible parking spaces have been shown on the proposed drawings.</p> <ul style="list-style-type: none"> ➤ 4x Accessible parking spaces B2 ➤ 2x Accessible parking spaces GF <p><u>Design Detail:</u></p> <p>Ensure the prescribed minimum 2.2m head height clearance from the entrance to the accessible carparking spaces and 2.5m at the accessible carparking spaces & shared zones is provided.</p>	CoC

<ul style="list-style-type: none"> • 1x space 	<p>Bollards are to be centred in the width of the shared zone, 800mm +/-50mm from the entry of the space.</p> <p>Ensure accessible parking spaces and shared zones are 5400mm long x 2400mm wide and provided on a gradient of 1:40 or shallower in all directions.</p> <p>Unmarked circulation space of 2400mm x 2400mm is required at either the front or back of the accessible space.</p>	
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Cl. D4D7: Signage

DtS Provision	Status
<p>In a building required to be accessible signage complying with Spec. 15, AS1428.1-2021 and incorporating the appropriate recognised symbol (as appropriate) for persons with disability must be provided as follows —</p> <ul style="list-style-type: none"> • braille and tactile signage must identify each sanitary facility and space with hearing augmentation; • braille and tactile signage must identify each door required by E4D5 to be provided with an exit sign and state “Exit” and “Level” followed by the floor level number; • signage must be provided within a room containing a hearing augmentation system identifying; the type of system, the area covered within the room and if receivers are being used and where the receivers can be obtained; • signage must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; • signage to identify an ambulant accessible sanitary facility must be located on the door of the facility; • directional signage where a pedestrian entrance is not accessible. • directional signage where a bank of sanitary facilities are not provided with an accessible sanitary facility. <p>Signage shall be installed in accordance with and a design/install certificate is to be provided to confirm compliance with the relevant provisions of the BCA and Australian Standards.</p>	CoC

Cl. D4D8: Hearing augmentation

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed —</p> <ul style="list-style-type: none"> • in a room in a Class 9b building; 	<p>If an inbuilt amplification systems (other than one used solely for emergency warning) is provided within the building; suitable hearing augmentation systems are to be provided in these areas.</p>	CoC

<ul style="list-style-type: none"> • in an auditorium, conference room, meeting room or room for judicatory purposes; • at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider. <p>Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning purposes only.</p>	<p>The detail of AV involvement within parts of the buildings is not yet known.</p> <p>Further review of these features will occur at detail design stage.</p>	
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Cl. D4D9: Tactile indicators

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Tactile ground surface indicators complying with sections 1 and 2 of AS/NZS 1428.4.1:2009 must be provided to warn people who are blind or have a vision impairment that they are approaching –</p> <ul style="list-style-type: none"> • a stairway, other than a fire-isolated stairway; • an escalator/moving walk; • a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; • in the absence of a suitable barrier an overhead obstruction less than 2 m and where an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building. 	<p>TGSI's</p> <p><u>Class 9a Buildings:</u></p> <p>Class 9a buildings are capable of installing domed buttons on handrails of ramps and stairways in lieu of installing TGSI's.</p> <p><u>External Areas & Basements:</u></p> <p>Ensure TGSIs are provided in the following areas:</p> <ul style="list-style-type: none"> - External communication stairways - External ramps, and - Where a building entry meets a carriage way in accordance with AS1428.4.1-2009 if there is no kerb or kerb ramp at that point. <p>Further review will occur at detail design stage.</p> <p><u>Design Detail:</u></p> <p>TGSIs are required at every stairway/ ramp landing where either 1 or both handrails are not continuous. Either provide continuous handrails or TGSIs at all landings with a discontinuous handrail.</p>	<p>CoC & DD</p>

	Stairways and ramps located externally are to be setback 900mm from the allotment boundary to allow for TGSI installation.	
	<p>Suitable Barrier</p> <p>Where there is a 2m or less head height clearance to the underside of a stairway or the like, a suitable barrier is to be introduced to provide protection from the hazard.</p> <p>Further review at detail design stage.</p>	CoC

Cl. D4D10: Wheelchair seating spaces in Class 9b assembly buildings

N/A – No fixed seating is proposed.

Cl. D4D11: Swimming pools

N/A – No swimming pool with a perimeter >40m is proposed.

Cl. D4D12: Ramps

DtS Provision	Comment(s)/Recommendation(s)	Status
On an accessway; a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and a landing for a step ramp must not overlap a landing for another step ramp or ramp.	Drawings do not indicate step ramp or pedestrian ramps with a vertical height difference exceeding 3.6m.	CoC

Cl. D4D13: Glazing on an accessway

DtS Provision	Comment(s)/Recommendation(s)	Status
Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.		CoC
Glazing indicators shall be installed in accordance with and a design/install certificate is to be provided to confirm compliance with the relevant provisions of the BCA and Australian Standards.		

BCA Part E3 – LIFT INSTALLATIONS

Cl. E3D7: Passenger lifts

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Every passenger lift must –</p> <ul style="list-style-type: none"> • be one of the types identified in Cl E3D7, subject to the limitations on use specified in the Table; and • have accessible features in accordance with Cl. E3D8; and • not rely on a constant pressure device for its operation if the lift car is fully enclosed. 	<p>5x building passenger lifts are indicated as part of the new works.</p> <p>Passenger lifts are indicated as electric type which have no limitations.</p>	CoC

Cl. E3D8: Accessible features required for passenger lifts

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Passenger lifts shall have the following features –</p> <ul style="list-style-type: none"> • Handrail complying with the mandatory handrail provisions of AS1735.12, • Lift floor dimensions not less than 1,100mm x 1,400mm where the lift vertical travel is less than 12m, OR Lift floor dimensions not less than 1,400mm x 1,600mm where the lift vertical travel is more than 12m, • Minimum clear door opening complying with AS1735.12, • Passenger protection system complying with AS1735.12, • Lift landing doors at the upper landing, • Lift car and landing control buttons complying with AS1735.12, • Lighting in accordance with AS1735.12, • Automatic audible/visual information within the lift car and at the landings as prescribed, • Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received. 	<p>5x passenger lifts are proposed as part of the works.</p> <p>A design compliance certificate is to be obtained from the lift designer to confirm compliance with the relevant provisions of the BCA and Australian Standards at detail design stage.</p> <p><u>Design Detail:</u></p> <p>Ensure lift landing controls are provided no less than 500mm from an internal corner.</p>	CoC & DD

Cl. F4D12: Accessible adult change facilities

N/A – Accessible adult change facilities are not required as part of the works.

3.0 ACCESSIBILITY COMPLIANCE STATEMENT

This report has provided a review of the relevant project design documentation to determine the compliance status of the proposed development against Part D4, Clause E3D7, E3D8, F4D5, F4D6 ,F4D7 & F4D12 'deemed-to-satisfy' (DtS) requirements of the Building Code of Australia 2022 Amendment 2 (BCA), The Disability (Access to Premises - Buildings) Standards Amendment (2024 Measures No. 1) Standards 2024 and the pertinent Australian Standards.

Following this review and with the adoption of the recommendations/Performance Solutions proposed, ABE Consulting are able to confirm that at the Development Application stage of design, the development can readily achieve compliance with the aforementioned BCA provisions.

4.0 REVIEW PROVIDED BY

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