



Architectural Projects'

2249

122-130 Pymont Bridge Rd and 206

Parramatta Rd Annandale

Heritage Impact Statement for State

Significant Development

Prepared by: Architectural Projects

Prepared for: PWD Camperdown Pty Ltd

ATF PWD CD Health Trust

October 2025

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2249 – 122-130 PYRMONT BRIDGE RD AND 206 PARRAMATTA RD ANNANDALE – HERITAGE IMPACT STATEMENT

Document Control

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1. INTRODUCTION

1.1. BACKGROUND

Architectural Projects were commissioned by PWD Camperdown Pty Ltd ATF PWD CD Health Trust to prepare this Heritage Impact Statement (HIS) in July 2025 in association with a State Significant Development (SSDA) and Planning Secretary's Environmental Assessment Requirements (SEARs) for a 22-storey residential development (Application No. SSD-84024470). This satisfies the SEARs requirements needed for the proposed State Significant Development.

The site is not listed as a Heritage Item, nor is it located within a current or proposed Heritage Conservation Area listed in Schedule 5 Environmental Heritage of Inner West Local Environmental Plan 2022 (LEP). The site is not located directly adjacent to a Heritage Item. The extent of heritage impacts therefore, relate only to the proposal's relationship with heritage items in the neighbourhood.

The report aims to address the Planning Secretary's Environmental Assessment Requirements under Section 4.12(8) of the Environmental Planning and Assessment Act 1979 Part 8 of the Environmental Planning and Assessment Regulation 2021.

In addition, this HIS is prepared in accordance with the NSW Department of Planning and Environment "Guidelines for preparing statement of heritage impact", 2023.

1.2. SITE DESCRIPTION

The site is identified as Lot 3/1/DP976387, Lot 4/1/DP976387, Lot 5/1/DP976387, Lot 6/1/DP976387 & Lot 12/1/DP976387 located at 122-128 Pyrmont Bridge Road Annandale, Lot 100/-/DP1101482 located at 130 Pyrmont Bridge Road Annandale and Lot 1/-/DP539271 located at 206 Parramatta Road Annandale as indicated in the aerial photograph.

Refer Figure 1.1 Location Plan and Figure 1.2 Aerial Photograph.

The site of 122-130 Pyrmont Bridge Road and 206 Parramatta Rd, Annandale is located in the vicinity of:

- C32 Camperdown Park Heritage Conservation Area – 1 block behind Parramatta Road
- I26 Kerb and Gutter – Guihen Street – not in close vicinity
- I75 Former Police Station - 210 Parramatta Road Camperdown
- I79 Warehouse, including interiors – 52-54 Pyrmont Bridge Road Annandale
- I940 Australia Street Industrial Group, including interiors – screened by A9 27, 29, 31, 33, 35 and 43 Australia Street and 32, 34 and 36 Denison Street and part of 143 Parramatta Road Camperdown
- I941 Cranbrook Group, including interiors – 10 & 14 Australia Street Camperdown
- I942 Camperdown Park - Mallett St, Camperdown, 1 block behind Parramatta Road
- I943 Kerb and Gutter – Chester Street
- I945 Bridge Road School, (Former Camperdown Public School), including interiors 127 Parramatta Rd, Camperdown
- I946 Federation warehouse, including interiors - 187 Parramatta Road Camperdown

The site is physically separated and does not have a direct visual relationship to these Heritage Items. It sits within a backdrop of high-rise buildings.

Refer to Figure 1.3 Heritage Map and 1.4 Heritage Map detail.

This increases of the height from the previously 9-storey height to the 22-storey height. The previous 9 storey height has the heritage sites identified. The 22-storey is beyond the zone of a backdrop to the heritage sites identified.

2. PHYSICAL ANALYSIS

2.1.1. THE CONTEXT

The site is located within the Camperdown Precinct of the Parramatta Road Corridor Urban Transformation Study (PRUTS) and the Camperdown health education, research and innovation node of the Tech Central Precinct.

2.1.2. THE SITE AND SETTING

The site is identified as the following:

Lot 3/1/DP976387, Lot 4/1/DP976387, Lot 5/1/DP976387, Lot 6/1/DP976387 & Lot 12/1/DP976387 located at 122-128 Pyrmont Bridge Road Annandale.

Lot 100/-/DP1101482 located at 130 Pyrmont Bridge Road Annandale.

Lot 1/-/DP539271 located at 206 Parramatta Road Annandale.

The total site area is approximately 2,570m².

The main frontage of the site is to Parramatta Road and Pyrmont Bridge Road in Annandale. The northern and southern frontages is to Cahill Street and Mathieson Street.

2.1.3. DESCRIPTION OF THE BUILDING

The site is currently occupied by three adjoining 2-storey commercial buildings which are largely built to their site boundaries, with a small at grade car park to the east at 130 Pyrmont Bridge Road.

The site is located opposite a 7-Eleven Petrol Station to the southeast across Pyrmont Bridge Road. The site is also close to the Transport for NSW acquired WestConnex Dive site which is earmarked for redevelopment as a health, research and education building following completion of WestConnex.

The areas to the north and west are a mix of 3 single storey residential cottages at 13 – 17 Mathieson Street), two and three storey commercial and light industrial warehouse buildings and a three-storey residential live-work warehouse conversion on the eastern leg of Cahill Street.

The existing car park has a three-storey modern retail/ commercial building to the east.

(From Inner West Planning Proposal Attachment 1 - Council Planning Proposal dated Sept 2021)

3. SIGNIFICANCE

3.1. STATEMENT OF SIGNIFICANCE

The site does not have Statement of Significance which exists for the subject site.

3.2. SIGNIFICANCE OF HERITAGE ITEMS IN THE VICINITY

The proposed works will not have any direct or indirect impacts to the significance of the heritage items in the vicinity because the area of the proposed works is beyond the visual curtilage of the heritage items.

C1 – Annadale Heritage Conservation Area

The majority of the building lots were generous, directed again to a middle-class market: 66ft frontages with depths of about 90ft, ideal for freestanding houses. Most of the allotments sold up to 1881 were in Johnston and Annandale Streets. Allotments on the slopes above the creeks were largely ignored. Though extension of the tram track along Parramatta Road reached the junction of Annandale's main artery in 1883, the track was not built along Johnston Street. Land sales were sluggish and in 1882 the company was forced to revise its original policy on lot sizes. Though Johnston and Annandale Streets remained typical of the kind of middle-class suburb the company originally envisaged, elsewhere a proliferation of small lots were created by resubdivisions. The company began with land on the creek slopes near Parramatta Road, re-subdividing sections 26 and 30 (creating Mayes Street), 34 (Ferris Street) and 37 on the western side, and eastern sections 28 and 33. The smaller lots did attract working class buyers, largely missing before 1882.

Response:

Annadale Heritage Conservation Area lies behind the site and lies in a decline terrain which provides no visual connection.

C32 – Camperdown Park Heritage Conservation Area

The Camperdown Park Estate Heritage Conservation Area is of aesthetic significance for demonstrating the pattern and growth of the terrace-house typology in Sydney during the mid-late 19th Century with a small group of shops integrated into the terrace group near the intersection of Gibbens and Fowler St. The Park was formerly part of the Fowlers Pottery works and provides evidence of the adaptive reuse of industrial sites for civic beautification. The contemporary Park demonstrates high aesthetic values within the context of the local area and it demonstrates the principles of early 20th-century urban park design, including the alienation of areas of the park for specialised recreational activities. The horse and dog watering trough is rare surviving evidence of 19th Century infrastructure, as is sandstone kerbing and guttering. It represents the principal characteristics of the development of the Marrickville Council area from an early Estate to urban cultural landscape. The area provides valuable evidence of substantially intact and differently detailed groups of terrace housing in an unusual setting overlooking a major park which allows them to be read as a whole.

Response:

Camperdown Park Heritage Conservation Area is on the other side of Parramatta Road and screened by Bridge Road School. The proposed development results in some minor overshadowing to Camperdown Park. The proposal will be visible from Camperdown Park, but it forms part of a backdrop of high-rise.

C88 – Cardigan Street Heritage Conservation Area

The Cardigan Street Heritage Conservation Area is a predominantly residential area. The precinct is a small one, consisting of the Cardigan Street streetscape and the contributory buildings at the entry point from Salisbury Road. It is surrounded by industrial development and terminates at the very busy Parramatta Road. The contrast between the utilitarian character of the surrounding development and that of the high-quality residential streetscape of the area upon entry is notable. The impact of these surrounding uses has been to focus the character of Cardigan Street inwards to the streetscape created by a consistency of scale and building style and enhanced by the high-

quality street planting of avenue-forming trees such as Brush Box and Jacarandas with some eucalypts. The prevailing building typology is the single fronted detached Federation cottage, with occasional examples of late Victorian cottages which reinforce the fluidity of architectural fashion at the turn of the 20th century.

Response:

Cardigan Street Heritage Conservation Area is on the other side of Parramatta Road and screened by Bridge Road School. There is no visual connection.

1940 – Australia Street Industrial Group, including interiors

This is an attractive and relatively intact avenue illustrating the large scale industrial/ warehouse development which took place around the former Johnstons Creek (stormwater channel) in the early part of the 20th century.

The site (but not the buildings) at 139-143 Parramatta Road, Camperdown was the site of the former Fowler's Pottery during their period of rapid expansion and development of new glazes and products. It is associated with the commercial development of Fowler's Pottery and Sydney's early commercial development. It is also associated with Robert Fowler a prominent political and public figure in the late 19th century and early 20th century.

Response:

Australian Street Industrial Group are on the other side of the Parramatta Road and screened by Parramatta Road and a building. There is no visual connection.

1941 – Cranbrook Group, including interiors

The Cranbrook Group is of State historic significance as part of the last portion of the once-extensive Fowler estate, which at one time covered most of Camperdown. It is associated with Enoch Fowler and was the home of Robert Fowler, owner of Fowler Pottery and Lord Mayor of Sydney and Camperdown. The Fowler family were early pioneers of the pottery industry in NSW producing pipes, tiles, chimney pots and items for residential and industrial use. The group is of aesthetic significance as they retain most of their original Italianate features.

Response:

Cranbrook Group is on the other side of Parramatta Road and screened by buildings and A9 HCA. There is no visual connection.

1942 – Camperdown Park

An important area of open space within a closely settled residential area. The bandstand, war memorial, low stone walling and large trees are important elements of the site.

Camperdown Park is a highly significant nineteenth century park, associated with a number of prominent people. The park has exceptional historic significance as part of the 1000 acres reserved on 20 August 1789 by Governor Phillip.

Camperdown Park is one of a group of parks resumed under the Lands for Public Purposes Act 1880, and set aside specifically for recreation purposes.

The Bandstand is a reminder that the Park was once under the control of Sydney City Council. Camperdown Park is a landmark within the suburb of Camperdown, providing an open landscaped area within a densely populated area. It is held in high esteem by residents, workers and sports people as a place for active community use.

The inclusion of Camperdown Park as a heritage item on the Marrickville LEP underscores its acceptance as an important heritage item and public amenity.

The Park is important for exhibiting a richness of cultural features as follows: remnants of stone plinth associated with the original iron palisade fence, stone steps; bandstand; War Memorial; Morton Bay and Port Jackson fig trees, other early plantings; pattern of early paths; and Camperdown Park Oval.

Response:

Camperdown Park is on the other side of Parramatta Road and screened by Camperdown Park Heritage Conservation Area, therefore there is no visual connection.

1943 – Kerb and Gutter – Chester Street

The trachyte and stone kerb and gutters in Chester Street and Guihen Street are of local historic and aesthetic and technological significance as relatively intact examples of late 19th century road construction and improvements. The integrity of the items, however, have been affected by the addition of concrete infill and elements and general wear and tear.

Response:

The Kerb and Gutter in Chester Street and Guihen Street occur at ground and lies beyond the visual catchment of site.

1945 – Bridge Road School (Former Camperdown Public School), including interiors

This is one of a number of large public schools built in the district in response to the increased enrollments caused by the NSW Public Instruction Act of 1880. It illustrates the large suburban population which had been established in this area by the early 1880's.

Response:

Bridge Road School is on the other side of the Parramatta Road and screened by Parramatta Road, there is no visual connection.

1946 – Federation warehouse, including interiors

This warehouse building is of historical significance for its association with Frederick Kilner (whose name is commemorated in Kilner Lane adjacent to the building) who operated in Parramatta Road Camperdown as "Kilner's removal contactors, furniture dealers & storers" from 1904, and moved to its new building on this site in 1922. This warehouse is of historical significance as evidence of the widening of Parramatta Road circa 1913, as the building was built in 1922 following this road widening. The building illustrates the increasing industrial/commercial activity in Camperdown in the early 20th century. The building is of aesthetic significance as a landmark Federation warehouse style building, representative of the style.

Response:

The warehouse is located at a significant distance there is no visual connection.

I26 – Kerb and Gutter – Guihen Street

The trachyte and stone kerb and gutters in Chester Street and Guihen Street are of local historic and aesthetic and technological significance as relatively intact examples of late 19th century road construction and improvements. The integrity of the items, however, have been affected by the addition of concrete infill and elements and general wear and tear.

Response:

The Kerb and Gutter in Guihen Street occur at ground and lies beyond the visual catchment of site.

I75 – Former Police Station

The former Police Station at No. 210 Parramatta Road is of historic and aesthetic significance as a relatively rare example of a stone suburban police station and lock-up constructed inc.1881. The additions and change of use of the buildings reflects the changes in the provision of law and order and development of the local area. The buildings significantly retain a sense of their original form, fabric and character; however, their significance is diminished by the relocation of police services and unsympathetic additions and elements to the front of buildings and context which impact on their interpretation and presentation to Parramatta Road.

Response:

Former Police Station is surrounded by buildings that are significantly higher, therefore there is no visual connection.

I79 – Warehouse, including interiors

No. 52-54 Pyrmont Bridge Road is of local historic and aesthetic significance as a good and relatively intact representative example of a Federation period warehouse constructed in the early decades of the 20th century that retains its original scale and distinctive face brick character and details. The building occupies a prominent corner site and makes a positive contribution to the Pyrmont Bridge Road and Booth Street corner and streetscapes.

Response:

The warehouse is located at a significant distance therefore there is no visual connection.

4. THE PROPOSAL

The current proposal is described in the Design Report and Architectural Plans for Pyrmont Bridge Road prepared by SJB.

The architectural plans prepared by SJB in October 2025 outlines the following scope of works:

- A 6-metre ground floor setback along Mathieson Street.
- A podium level provided at Level 03 with communal outdoor space.
- A 2-metre setback from Cahill Street to improve the public realm.
- A 4-metre setback from the eastern boundary, dedicated as a pedestrian through-site link to enhance permeability.
- Orientation of the tower in a north-south configuration to minimise overshadowing and support compliance with ADG solar access requirements.
- A 3-metre upper-level setback from podium level on Cahill St, 19.5-metre setback from adjacent building, 4.5-metre setback from Pyrmont Bridge Road and 7.5-metre setback from Mathieson St (Level 03-21).
- A 43 car-space underground carpark including disability parking.

5. ASSESSMENT OF HERITAGE IMPACT

5.1. ASSESSMENT OF HERITAGE IMPACT USING THE DPE (2023) GUIDELINES

The Department of Planning, Housing and Infrastructure provides the following guidelines as a prompt to assess the impact of a proposed development.

Matters for Consideration

5.1.1. Fabric and spatial arrangements

The proposed new development will not impact on the significant fabric as it relates to an adjoining site. The scale of the proposal is greater than the relationship of development on this site to adjacent and is one of street alignment. A scheme of 9 storeys is already approved. The increase in scale does not impact on the relationship of the Heritage Item. It is a part of a high-rise backdrop to the Heritage Item.

5.1.2. Setting, views and vistas

The proposed works will not impact on the heritage items and Conservation Area in the vicinity. The proposal will be visible from Camperdown Park, but it forms part of a backdrop of high-rise.

The proposal will not impact on significant views and vistas, including views to, from and within the heritage item in the vicinity including streetscape views and the vicinity of Heritage Conservation Area.

5.1.3. Landscape

The proposal retains landscape elements that contribute to the setting of the streetscape.

5.1.4. Use

The proposal changes the existing commercial use to residential use.

5.1.5. Demolition

The proposed demolition will not have a major detrimental effect on the heritage significance of the heritage items in the vicinity.

5.1.6. Curtilage

The site is not a heritage item. While the site sits within the vicinity of heritage items and Heritage Conservation Area it is physically and visually separate.

5.1.7. Moveable heritage

No moveable heritage has been identified.

5.1.8. Aboriginal cultural heritage

The heritage listing of the item does not identify Aboriginal cultural heritage values. Refer Aboriginal Heritage report for an assessment of impacts to these values.

5.1.9. Historical archaeology

The proposed works will not impact on the archaeological potential of the site.

5.1.10. Natural heritage

The heritage listing does not identify the heritage item as a place of natural heritage values.

5.1.11. Conservation areas

The proposed works is not located within a Heritage Conservation Area.

5.1.12. Cumulative impacts

The proposed works represents the full Scope of Works.

5.1.13. The Conservation Management Plan

A conservation management plan has not been required or prepared for the site.

5.1.14. Other heritage items in the vicinity

The proposed works will not have any direct or indirect impacts to the significance of the heritage items in the vicinity because the area of the proposed works is beyond the visual curtilage of the heritage items.

5.1.15. Commonwealth/National heritage significance

Not applicable.

5.1.16. World Heritage significance

Not applicable.

5.2. ASSESSMENT OF HERITAGE IMPACT AGAINST THE RELEVANT HERITAGE POLICIES IN THE CMP

A conservation management plan has not been required or prepared for the site.

5.3. ASSESSMENT OF HERITAGE IMPACT USING COUNCIL HERITAGE CONTROLS

The proposed scope of works is well within the relevant Inner West Council Heritage LEP (2022) and Leichhardt DCP (2013). The proposed scope of works does not cause a significant impact upon the heritage significance of the heritage item and its setting.

Inner West Local Environmental Plan 2022

5.10 Heritage conservation

Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5.

(1) Objectives The objectives of this clause are as follows—

- (a) to conserve the environmental heritage of Inner West,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Response: Complies, the development does not impact upon the Heritage significance of listed heritage items in the Inner West LEP 2022.

The Fine Grain Study sets the following Objectives:

Ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.

New development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the: (a) building envelope; (b) proportions; (c) materials, colours and finishes; and (d) building and street alignment.

Development in the vicinity of a heritage item is to minimise the impact on the setting of the item

Preserve the eclectic mix of large industrial warehouses, scattered with terrace houses and low scale apartment buildings

Response: Complies, the development does not impact upon the Heritage significance of listed heritage items in the Inner West LEP 2022. It merges with the high-rise backdrop.

Leichhardt Development Control Plan 2013

C1.4 HERITAGE CONSERVATION AREAS AND HERITAGE ITEMS

Objectives

O1 Development:

- a. does not represent an unsympathetic alteration or addition to a building;*
- b. encourages the protection, restoration, continued use and viability of buildings for their original purpose;*
- c. encourages the removal of unsympathetic elements;*
- d. is compatible with the setting or relationship of the building with the Heritage Conservation Area in terms of scale, form, roof form, materials, detailing and colour of the building and conforms with the Burra Charter (Refer to: <http://australia.icomos.org/publications/charters/>;*
- e. conserves and enhances the fabric and detail of a building that contributes to the cultural significance of the building in its setting;*
- f. maintains the visual unity of groups of buildings, in particular semi-detached and attached terraces;*
- g. makes an appropriate visual and physical distinction between the existing building and new parts of the building;*
- h. protects and enhances views of the existing building from the public domain; and*
- i. new buildings are sympathetic in scale, form, architectural detail, fenestration and siting to the Heritage Conservation Area or Heritage Item and conforms with the Burra Charter.*

Response:

Complies. The proposed development does not impact on the views of the existing Heritage items in the vicinity.

Controls General

C1 Development maintains the characteristics and is consistent with the objectives and controls for the relevant building type contained in Appendix B – Building Typologies of this Development Control Plan.

Response:

Complies. The proposal is consistent with the objectives and controls for the relevant building type.

C2 The fabric of an existing building is to be the subject of appropriate conservation practices including:

- a. retention of original detail and finishes such as:
 - i. original face brick which should not be painted over or rendered;*
 - ii. original decorative joinery and iron work which is not to be removed;**
- b. conservation of original elements;*
- c. reconstruction or restoration of original elements where deemed appropriate;*
- d. retention of the original cladding material of original roofs where viable;*
- e. consideration of suitable replacement materials should be based on original material, and where a property is part of a group or row, replacement materials should have regard to the integrity of the group.*

Response:

Complies. The building is not a heritage item.

C3 Development of dwellings within Heritage Conservation Areas must:

- a. not include the demolition of the internal walls and roof form, including any existing chimneys, of the front two rooms of the dwelling;*
- b. retain the major form, scale and materials of the existing structure as described in (a);*
- c. be for a rear addition which does not dominate the existing building or substantially change the relationship of the building to the street when viewed from the street; and*
- d. retain significant, established gardens and plantings including early fences.*

Response:

Complies. The site does not lie within a Heritage Conservation Area.

C4 Demolition of dwellings in Heritage Conservation Areas or Heritage Items is subject to the provisions of Part C Section 1.2 – Demolition within this Development Control Plan.

Response:

Complies. The building is not a heritage item or in a Heritage Conservation Area.

Roof forms and materials

C5 Consideration of roofing materials for additions should have regard for compatibility with the original roof, as well as for the context of the setting (such as if a dwelling is part of a group of similar dwellings).

Response:

Complies. The proposal is compatible with the existing and desired future context of the setting.

C6 Within Heritage Conservation Areas, whole roof forms should be retained where possible and roofs of additions should be subservient to the main roof (in scale, form, location and materials). Changes to the form of the existing roof or extension of the ridge cannot be supported.

Response:

Complies. The site is not within a Heritage Conservation Area.

C7 Where roof links are proposed to connect the original roof space to the new addition, they are to:

a. be of minimal scale and proportion (up to a maximum of 50% of the rear roof plane) and are to provide a link only. Roof links which span the whole rear roof plane will not be supported;

b. preserves the unity of the row, preserve chimneys and traditional scale and proportion in the street; and

c. not be used to raise the ridge or be for the purpose of creating a viable roof space where roof space meets the requirements of the Building Code of Australia.

Clerestory roofs are not considered an appropriate form of roof addition to traditional ridge lines.

Response:

Complies. This existing building does not relate to the development in the vicinity of the Heritage Item.

New buildings

C8 New development need not seek to replicate period details of original buildings in proximity to the site, but rather, demonstrate respect for the form, scale and sitting of the immediate area.

Response:

Complies. The proposal demonstrate respect for the form, scale and sitting of the immediate area.

C09 New development will comply with Part C Section 1.0 – General provisions and all other relevant controls within the Development Control Plan.

Response:

Complies. The proposal is consistent with the objectives and controls for the relevant provisions in Part C Section 1.0 with the DCP.

6. CONCLUSION

The proposed SSDA envelope, bulk and scale forms part of an existing high-rise backdrop to the Heritage Item.

This report indicates that while the development can be seen, there is no visual connection to the Heritage item. As a result, there is no immediate impact on the Heritage Items and Conservation Area in the vicinity.

Further, the scheme prepared by Mathieson Property Pty Ltd & SJB for the site demonstrates design excellence, is consistent with the PRUTS desired future character for the area.

7. **BIBLIOGRAPHY**

Apperley, Richard Irving, Robert and Reynolds, Peter, *A Pictorial Guide to Identifying Australian Architecture Styles and Terms from 1788 to the Present*, 1989

Department of Planning and Environment, *Guidelines to preparing statement of heritage impact*, 2023

Sands Sydney Directory, online at City of Sydney Archives

9. LIST OF ILLUSTRATIONS

FIGURE NO.	DATE	DESCRIPTION	SOURCE
1.1	2025	Location Map	SIXMaps
1.2	2025	Aerial Map	SIXMaps
2.1	2022	Detailed Heritage Map	IWLEP
2.2	2022	Heritage Map	IWLEP
3.1	1943	Historic Aerial Map	NSW Spatial Viewer
3.2	1953	Historic Aerial Map	NSW Spatial Viewer
3.3	1971	Historic Aerial Map	NSW Spatial Viewer
3.4	1975	Historic Aerial Map	NSW Spatial Viewer
3.5	1999	Historic Aerial Map	NSW Spatial Viewer
3.6	2005	Historic Aerial Map	NSW Spatial Viewer
4.1	2025	South facade of site (260 Parramatta Road)	Google Maps
4.2	2025	Southwest facade of site (130-122 Prymont Bridge Road)	Google Maps
4.3	2025	1175 Former Police Station (210 Parramatta Road Camperdown) looking northeast to site & CBD	Google Maps
4.4	2025	179 (52-54 Pyrmont Bridge Rd) looking southwest to site	Google Maps
4.5	2025	1940 (27-43 Australia St) Heritage item in the vicinity	Google Maps
4.6	2025	1941 (10 & 12 Australia St) Heritage item in the vicinity	Google Maps
4.7	2025	1945 (Bridge Road School, 127 Parramatta Rd) looking west to subject site	Google Maps
4.8	2025	1946 (187 Parramatta Road) looking east to subject site & CBD	Google Maps
4.9	2025	10 Mallett St, Sydney - higher scale buildings in the vicinity	Google Maps
4.10	2025	Gantry Apartments (139-143 Parramatta Rd) - 6 storey scale opposite of site (looking west)	Google Maps
4.11	2025	MH Franks (2 Kilner Ln) - 6 storey scale beyond vicinity	Google Maps
5.1	2025	Conceptual design and principles of subject proposal	SJB
5.2	2025	Preliminary Scheme of subject proposal	SJB
5.3	2025	Strategic context of surrounding vicinity of subject site	SJB

9. LIST OF APPENDICES

APPENDIX A Architectural Drawings prepared by SJB 2025

Figure no. 1.1 | 2025 | Location Map | SIXMaps

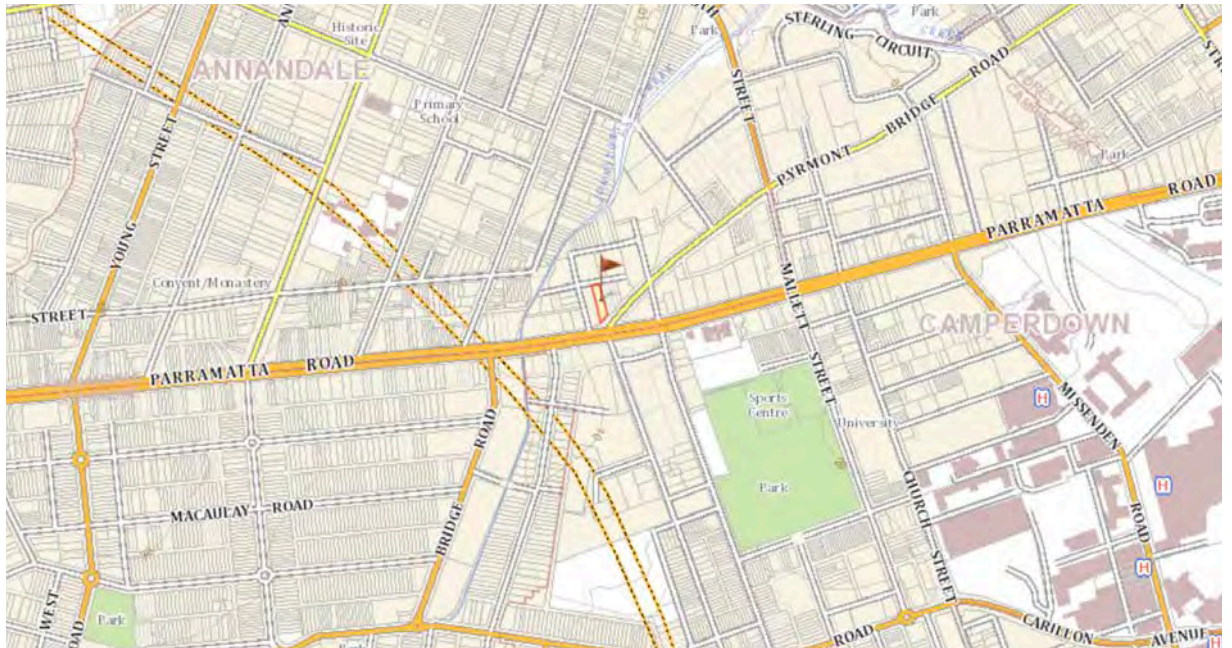


Figure no. 1.2 | 2025 | Aerial Map | SIXMaps

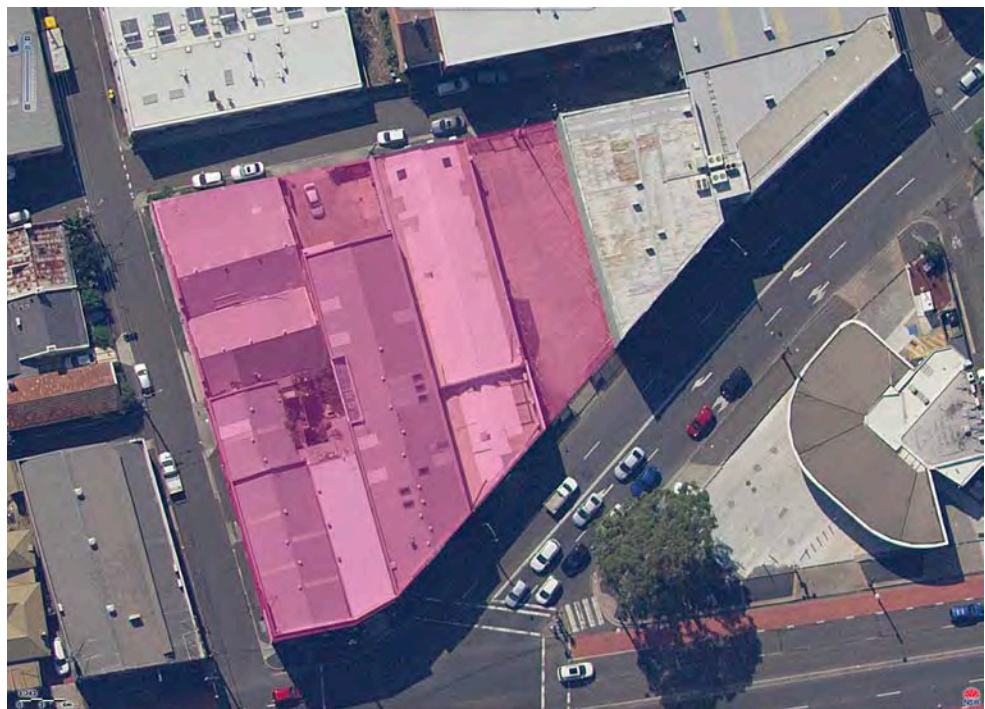


Figure no. 2.1	2022	Detailed Heritage Map	IWLEP
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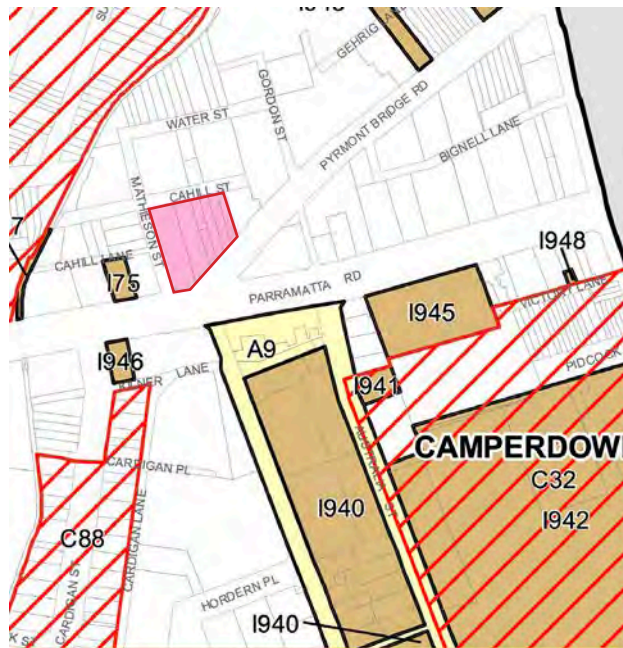


Figure no. 2.2	2022	Heritage Map	IWLEP
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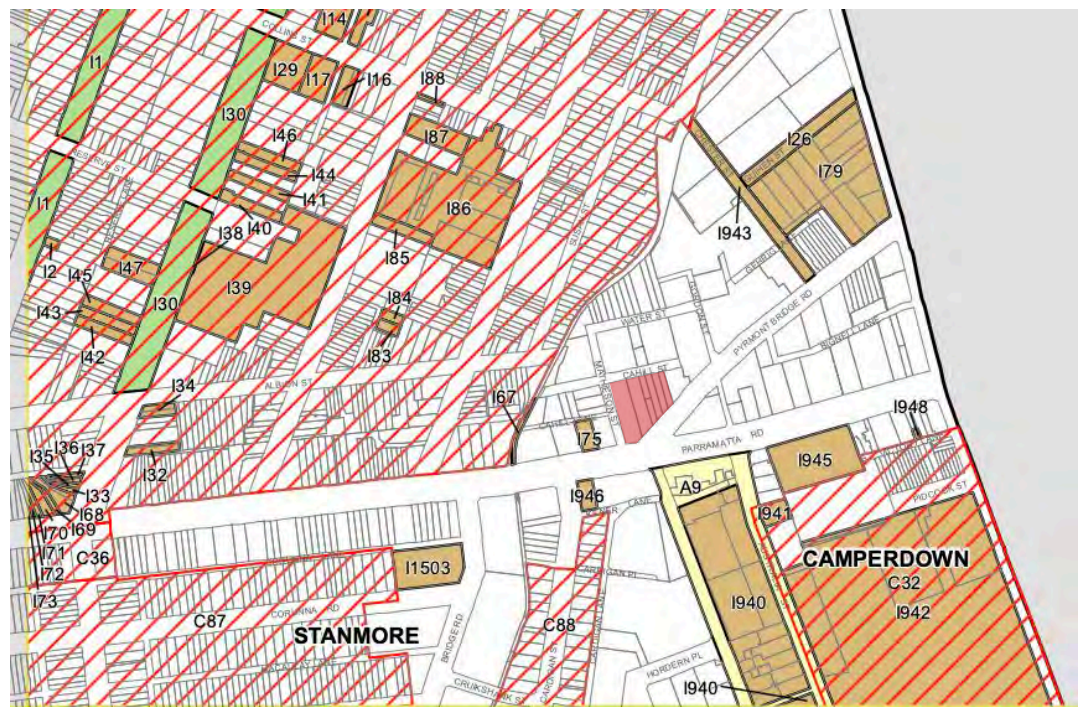


Figure no. 3.1 | 1943 | Historic Aerial Map

NSW Spatial
Viewer



Figure no. 3.2 | 1953 | Historic Aerial Map

NSW Spatial
Viewer



Figure no. 3.3

1971

Historic Aerial Map

NSW Spatial
Viewer



Figure no. 3.4

1975

Historic Aerial Map

NSW Spatial
Viewer



2249 | 122-130 PYRMONT BRIDGE RD AND 206 PARRAMATTA RD ANNANDALE

Figure no. 3.5 | 1999 | Historic Aerial Map

NSW Spatial
Viewer



Figure no. 3.6 | 2005 | Historic Aerial Map

NSW Spatial
Viewer



2249 | 122-130 PYRMONT BRIDGE RD AND 206 PARRAMATTA RD ANNANDALE

Figure no. 4.1 | 2025 | South facade of site (260 Parramatta Road) | Google Maps

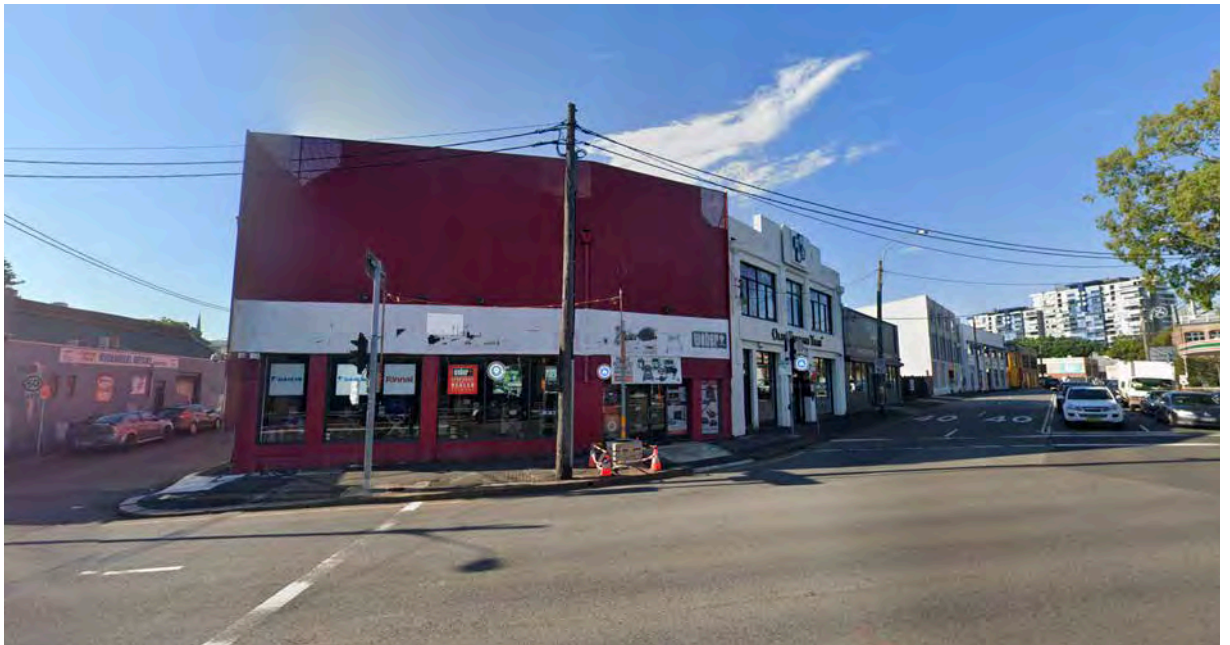
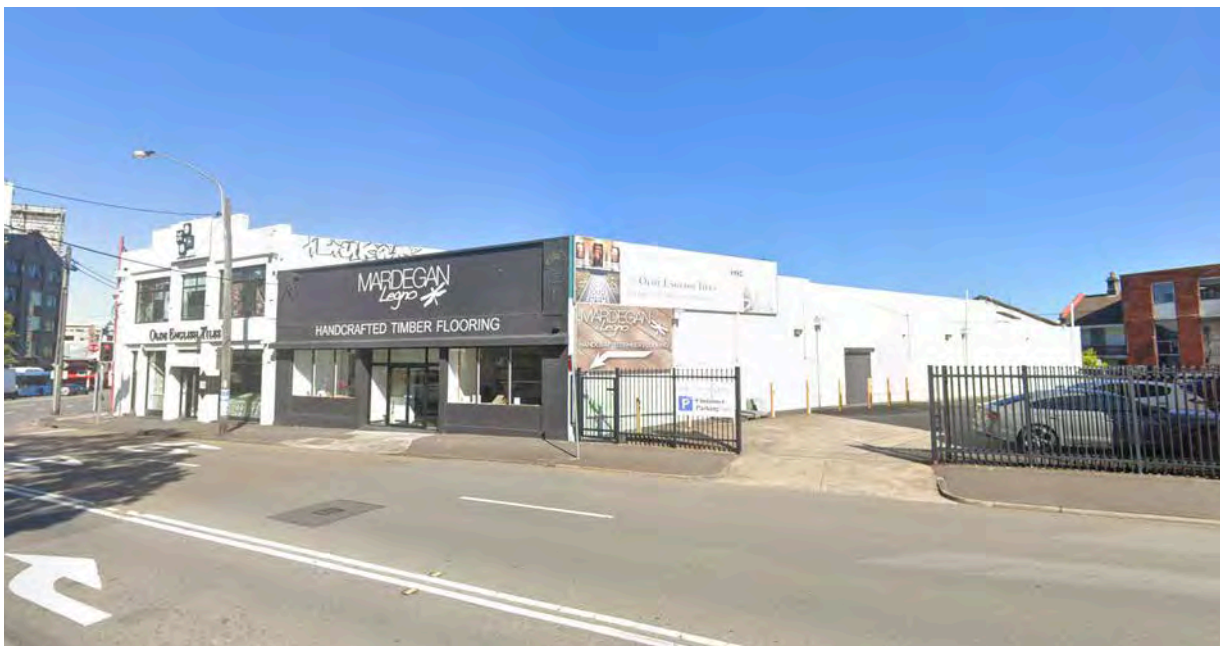


Figure no. 4.2 | 2025 | Southwest facade of site (130-122 Pyrmont Bridge Road) | Google Maps



2249 | 122-130 PYRMONT BRIDGE RD AND 206 PARRAMATTA RD ANNANDALE

Figure no. 4.3	2025	1175 Former Police Station (210 Parramatta Road Camperdown) looking northeast to site & CBD	Google Maps
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Figure no. 4.4	2025	179 (52-54 Pyrmont Bridge Rd) looking southwest to site	Google Maps
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2249 | 122-130 PYRMONT BRIDGE RD AND 206 PARRAMATTA RD ANNANDALE

Figure no. 4.5 | 2025 | 1940 (27-43 Australia St) Heritage item in the vicinity | Google Maps



Figure no. 4.6 | 2025 | 1941 (10 & 12 Australia St) Heritage item in the vicinity | Google Maps



Figure no. 4.7	2025	1945 (Bridge Road School, 127 Parramatta Rd) looking west to subject site	Google Maps
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Figure no. 4.8	2025	1946 (187 Parramatta Road) looking east to subject site & CBD	Google Maps
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Figure no. 4.9	2025	10 Mallett St, Sydney - higher scale buildings in the vicinity	Google Maps
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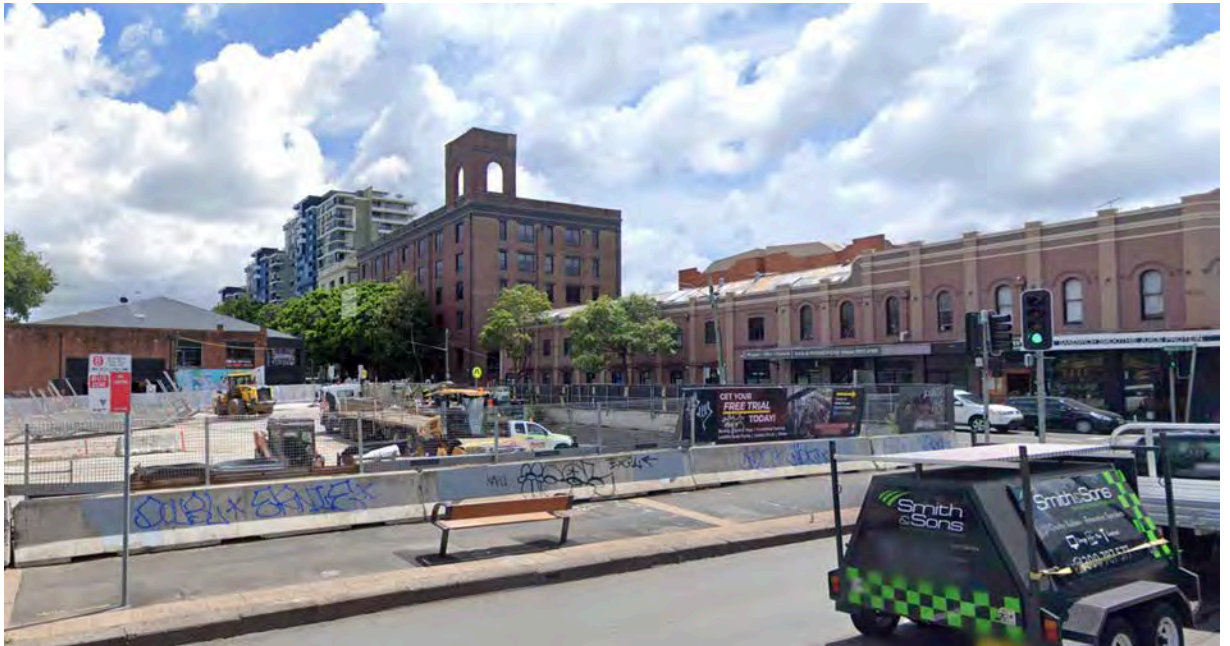


Figure no. 4.10	2025	Gantry Apartments (139-143 Parramatta Rd) - 6 storey scale opposite of site (looking west)	Google Maps
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Figure no. 4.11 | 2025 | MH Franks (2 Kilner Ln) - 6 storey scale beyond vicinity | Google Maps



Figure no. 5.1 | 2025 | Conceptual design and principles of subject proposal | SJB



Figure no. 5.2 | 2025 | Preliminary Scheme of subject proposal | SJB

Preliminary scheme

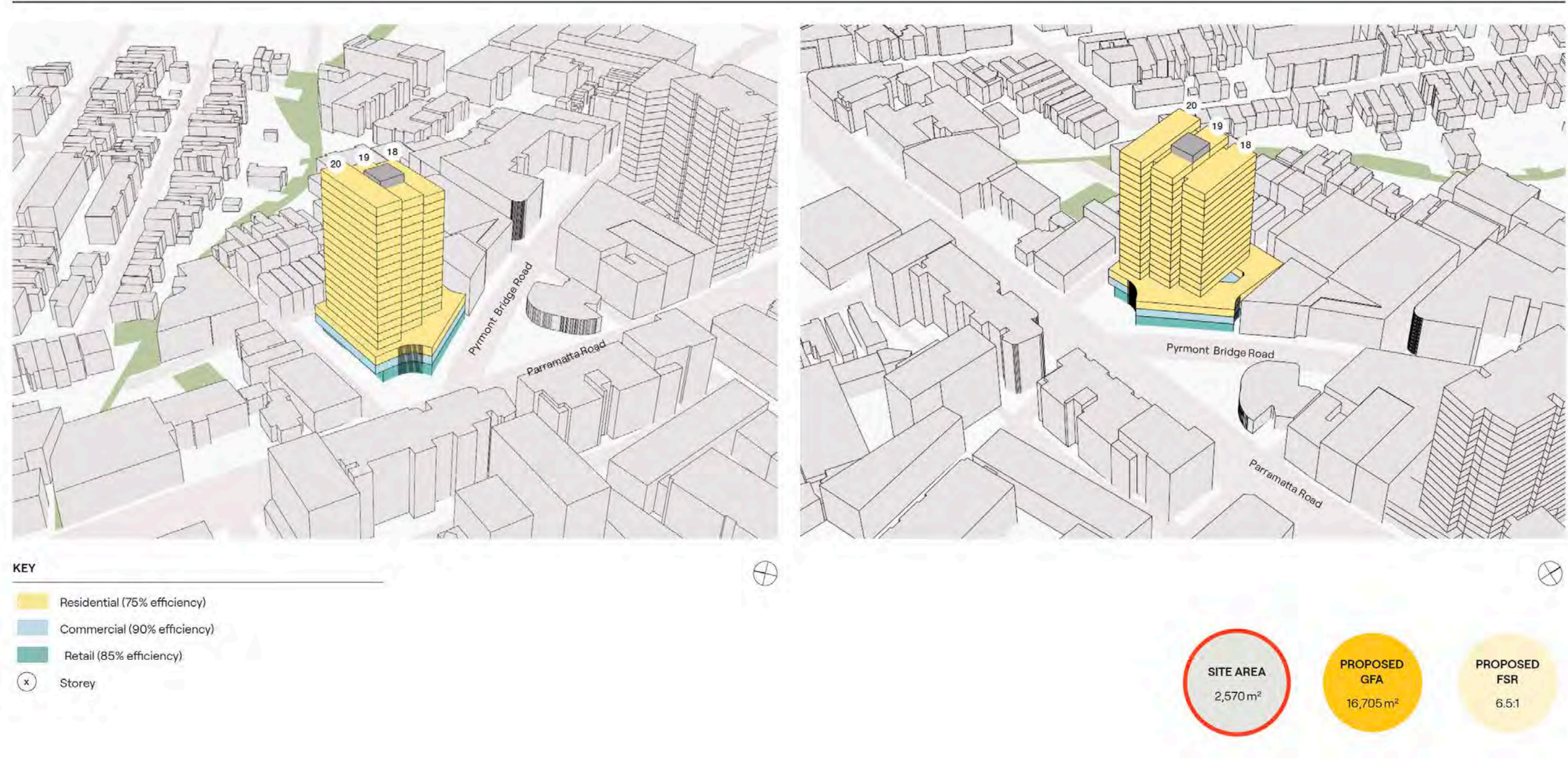
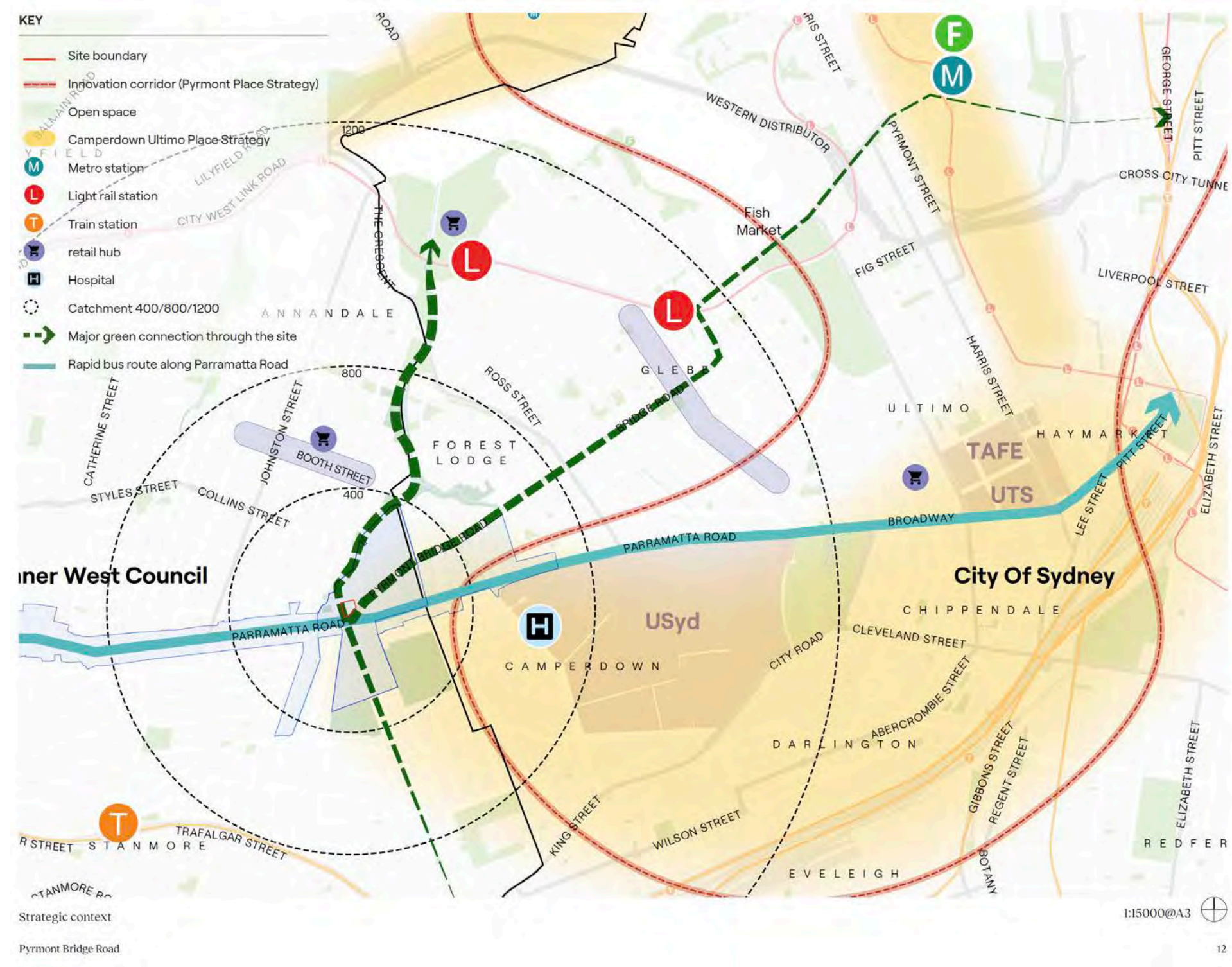
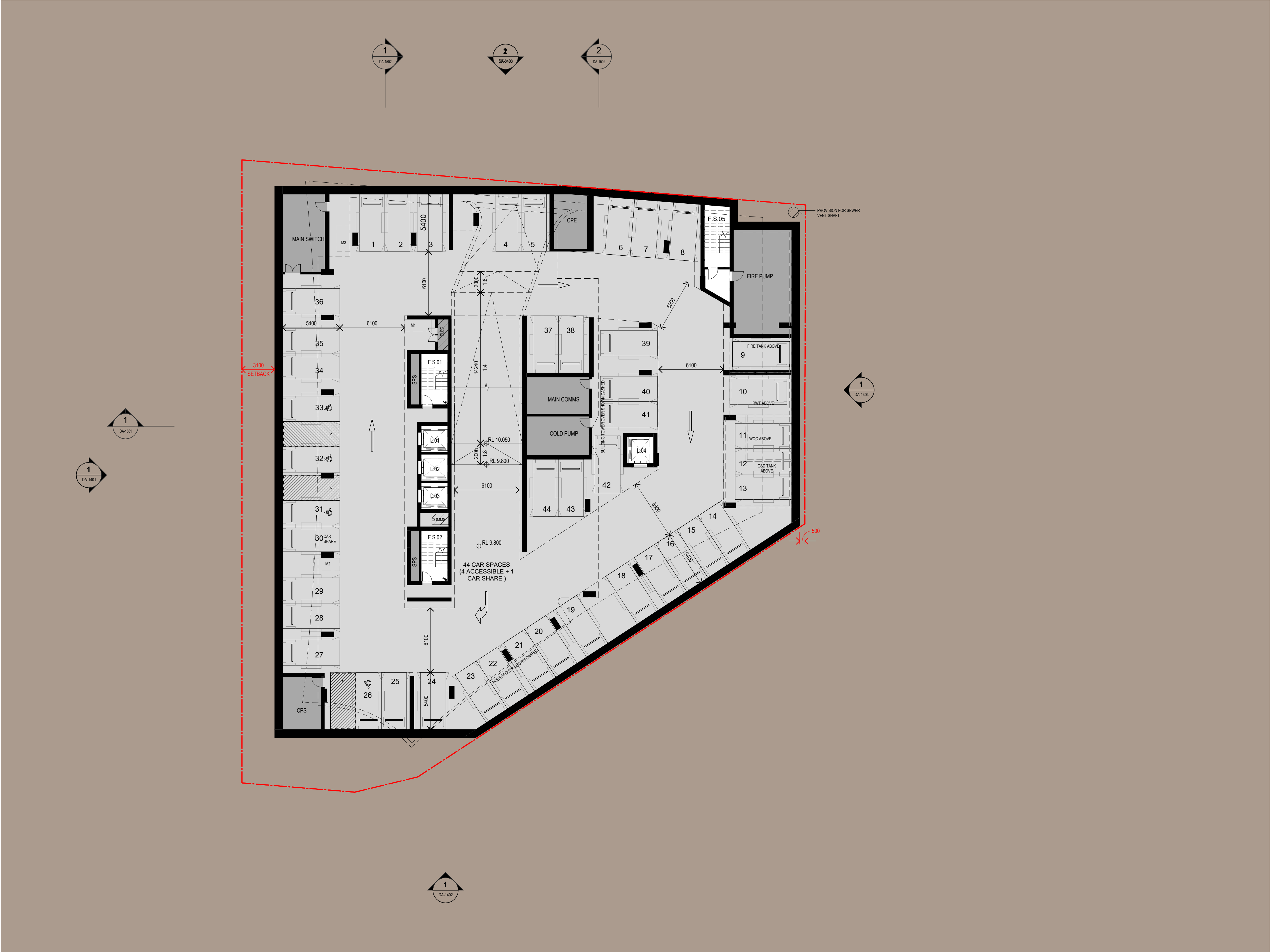


Figure no. 5.3 | 2025 | Strategic context of surrounding vicinity of subject site | SJB



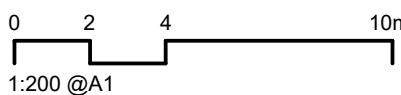
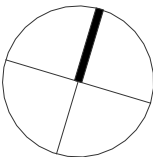
9. LIST OF APPENDICES

APPENDIX A Architectural Drawings prepared by SJB 2025



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Client



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY
Drawing Name
FLOOR PLAN - BASEMENT 01

Date Scale Sheet Size

24.10.2025 1 : 200 A1

Drawn Chk. Job No.

MA WG 7134

Drawing No. Revision

DA-1001 / 10

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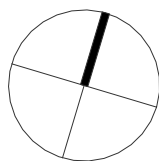




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PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY
Drawing Name
FLOOR PLAN - GROUND FLOOR

Date

24.10.2025 1 : 200

Sheet Size

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Drawn

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Chk.

WG

Job No.

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Drawing No.

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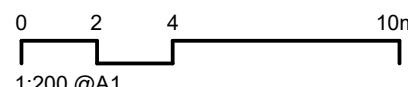
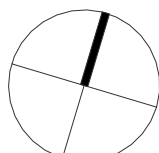




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PARRAMATTA ROAD, ANNANDALE
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Drawing Name
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Date Scale Sheet Size

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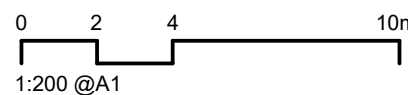
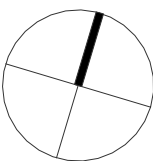
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PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY

Drawing Name
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Date Scale Sheet Size

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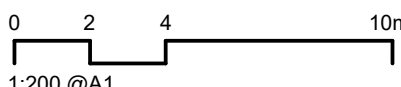
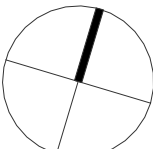
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Drawing Name
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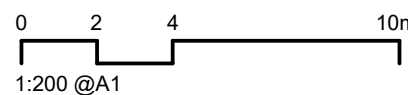
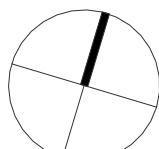


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Drawing Name

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Date

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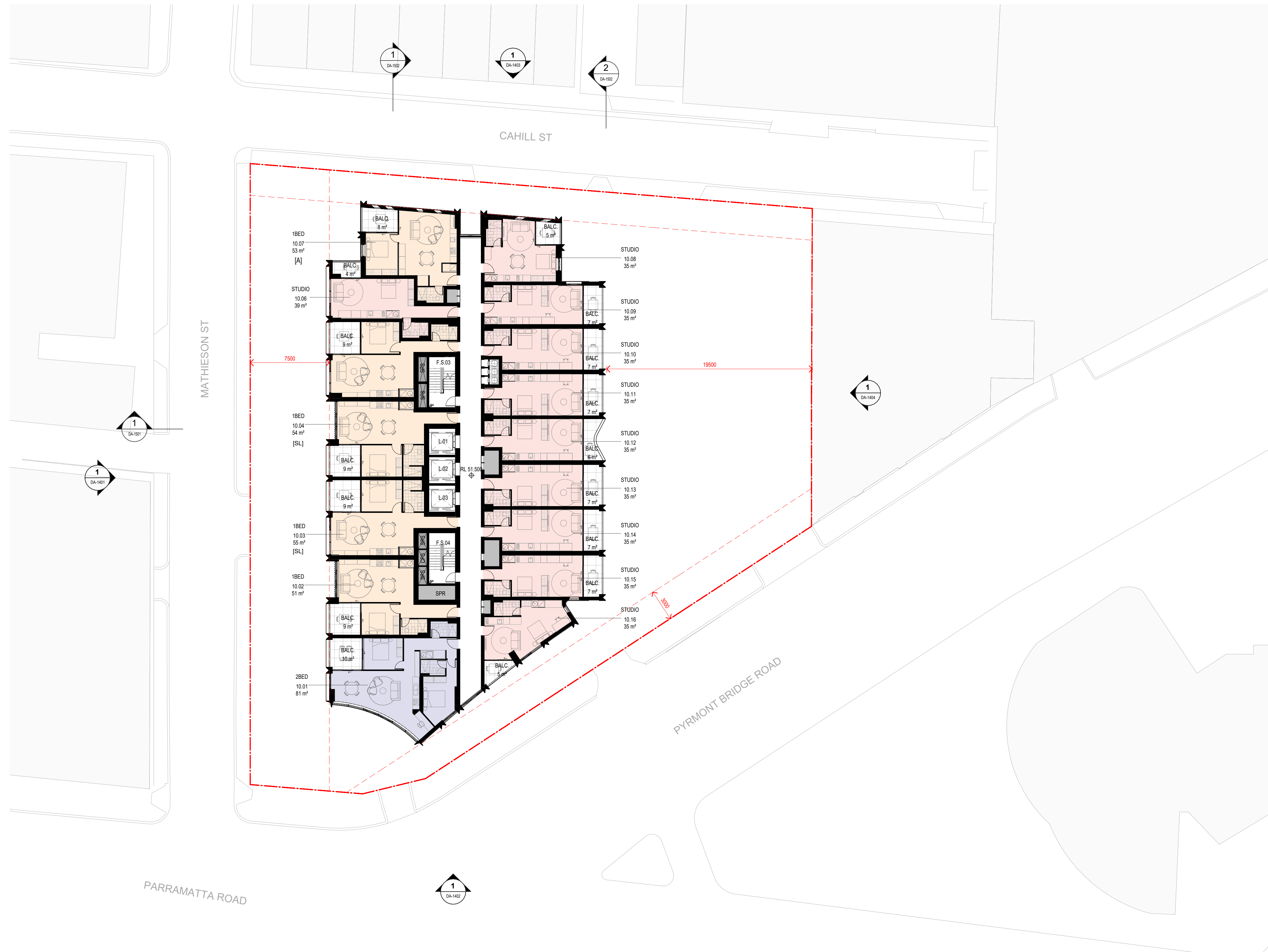
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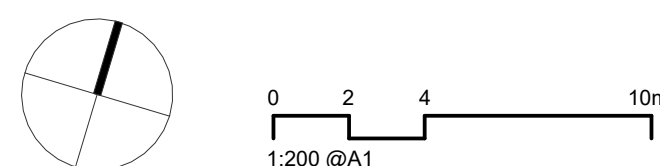


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PARRAMATTA ROAD, ANNANDALE
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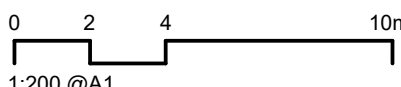
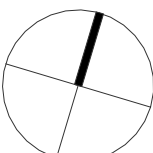
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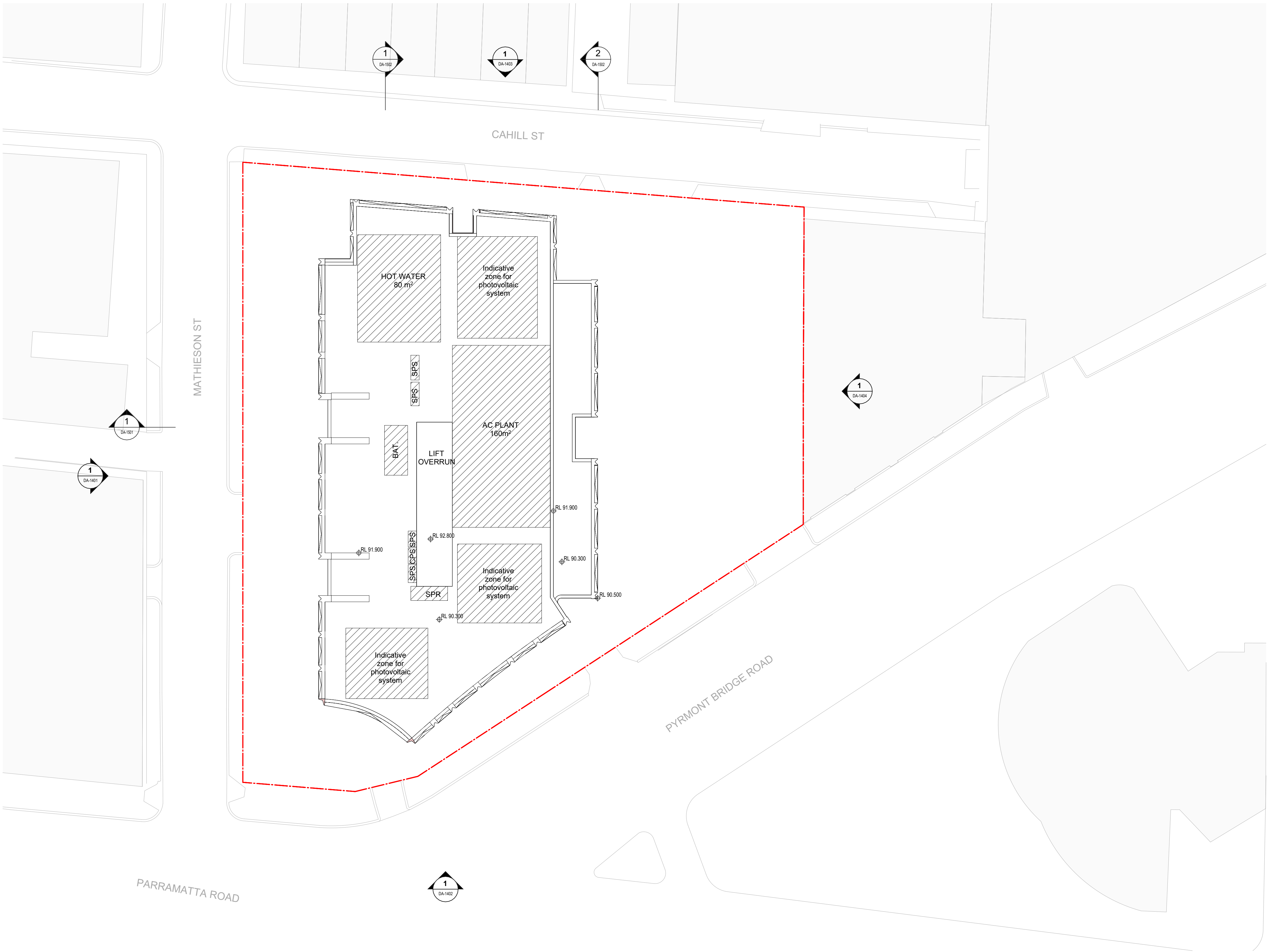
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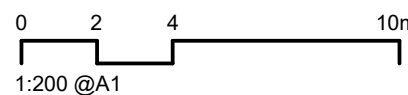
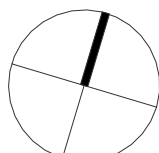




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5	19.09.2025	Consultant Co-ordination for SSDA	MQ	WG
6	03.10.2025	Consultant Co-ordination for SSDA	MQ	WG
7	24.10.2025	95% Issue for SSDA	MQ	WG

NOTE: MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT.

Client

COSGROVE
GROUP



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY

Drawing Name
FLOOR PLAN - ROOF

Date Scale Sheet Size

24.10.2025 1 : 200 A1

Drawn Chk. Job No.
MA WG 7134

Drawing No. Revision
DA-1009 / 7

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PRELIMINARY

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revision	By	Chk.
1	07.07.2025	Issued for Client Information	MQ	WG
2	18.07.2025	Issued for Client Information	MQ	WG
3	15.08.2025	Concept Issue	MQ	WG
4	05.09.2025	Consultant Co-ordination for SSDA	MQ	WG
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Client

COSGROVE
GROUP



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY

Drawing Name

ELEVATION - WEST

Date

24.10.2025

Scale

1 : 200

Sheet Size

A1

Drawn

MA

Chk.

WG

Job No.

7134

Drawing No.

DA-1401

Revision

/ 7

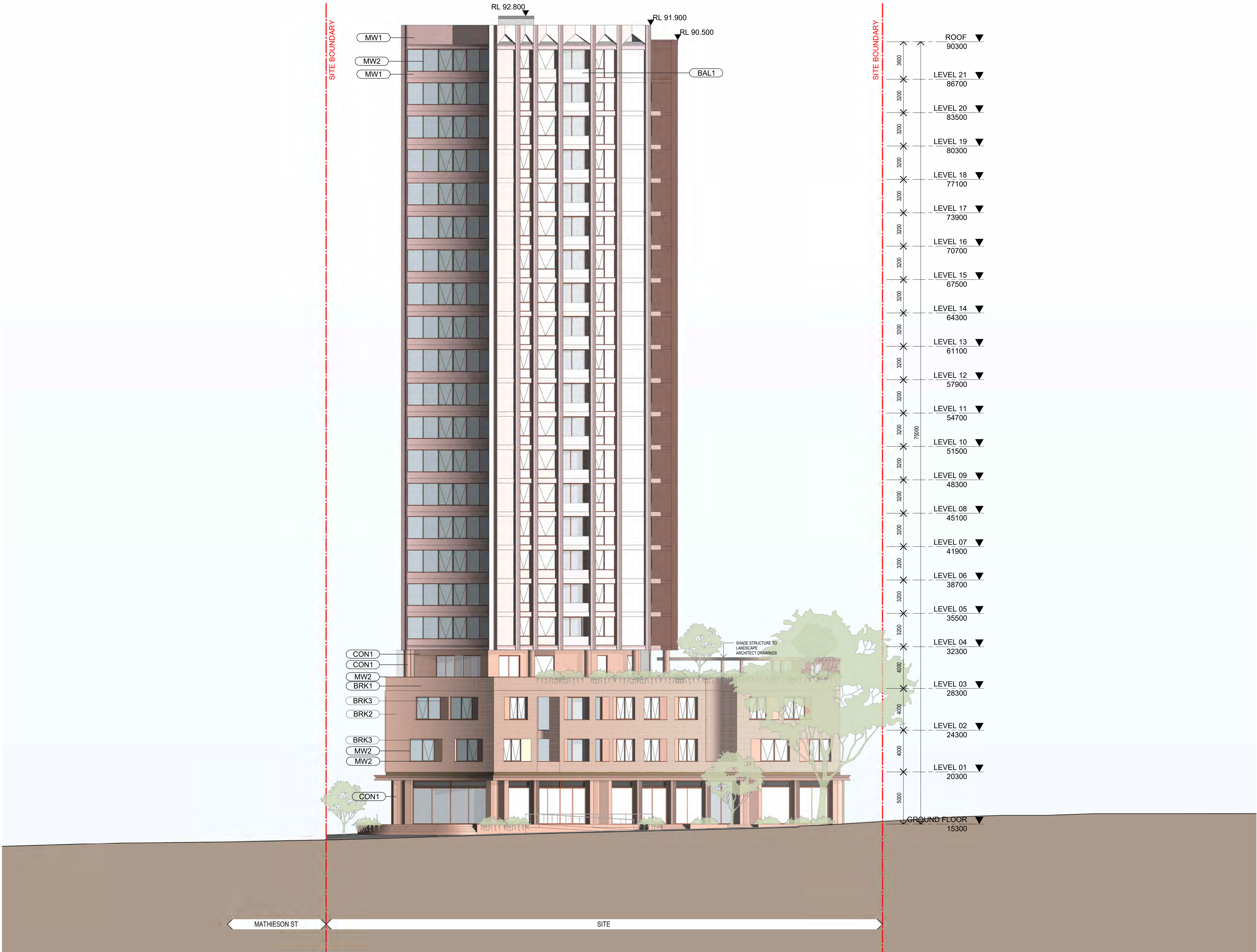
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PRELIMINARY

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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7	24.10.2025	95% Issue for SSDA	MQ	WG

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Client

COSGROVE
GROUP



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY
Drawing Name
ELEVATION - SOUTH

Date

24.10.2025 1 : 200

Drawn

MA

Drawing No.

DA-1402

Scale

WG

Sheet Size

A1

Job No.

7134

Revision

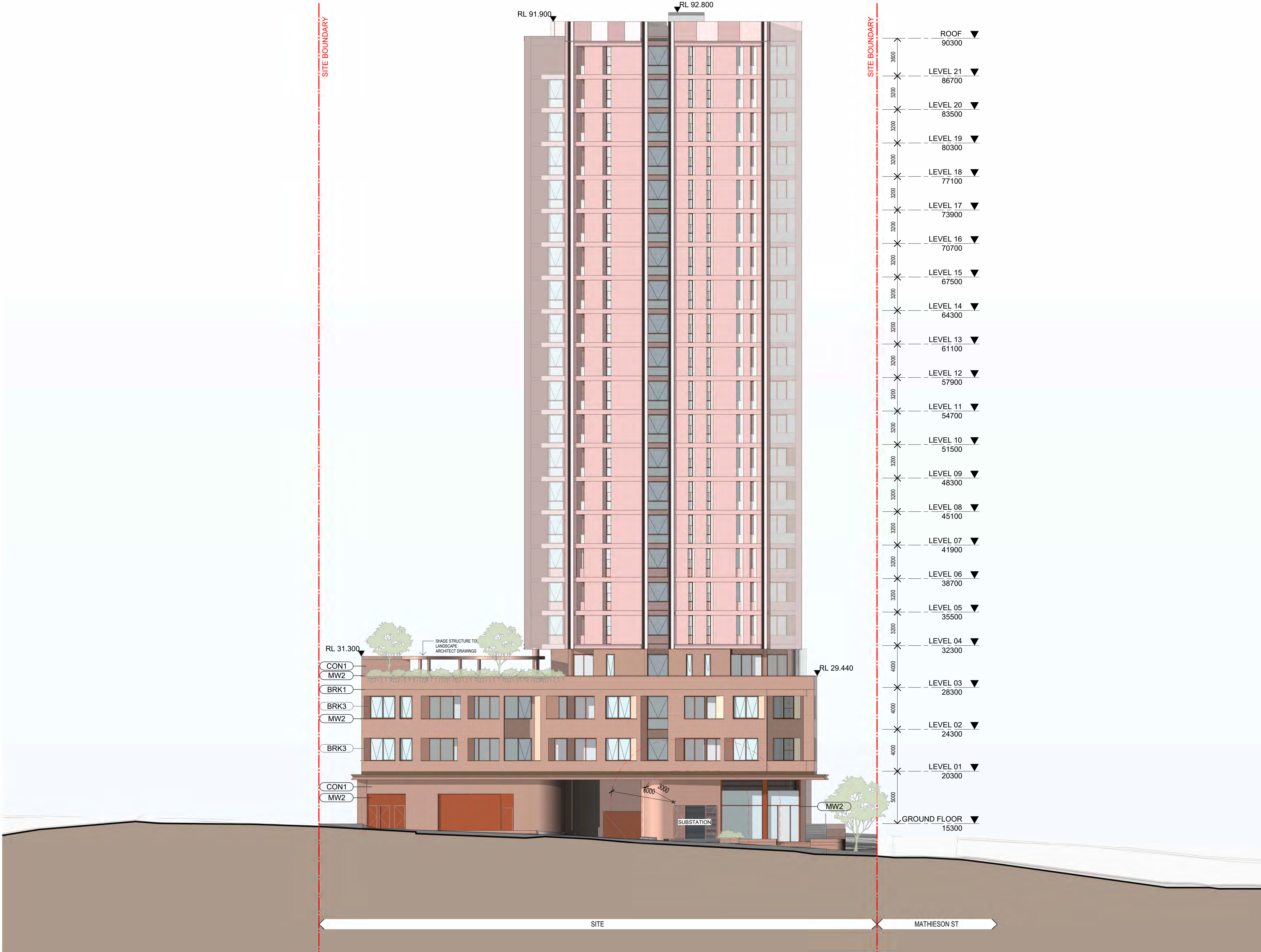
/ 7

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1 ELEVATION - NORTH
DA-1001 SCALE 1:200

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PRELIMINARY

Nominated Architects: Adam Haddow-7188 | John Pradel-7004

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7	24.10.2025	95% Issue for SSDA	MQ	WG

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Client

COSGROVE
GROUP



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY
Drawing Name
ELEVATION - NORTH

Date

24.10.2025 1 : 200

Drawn

MA

Drawing No.

DA-1403

Scale

1 : 200

Chk.

WG

Sheet Size

A1

Job No.

7134

Revision

/ 7

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Client

COSGROVE
GROUP



Project

122-130 PYRMONT BRIDGE ROAD, 206
PARRAMATTA ROAD, ANNANDALE
Country: GADIGAL COUNTRY
Drawing Name
ELEVATION - EAST

Date

24.10.2025 1 : 200

Drawn

MA

Drawing No.

DA-1404

Scale

Chk.

WG

Sheet Size

A1

Job No.

7134

Revision

/ 7

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