

LANDSCAPE REPORT

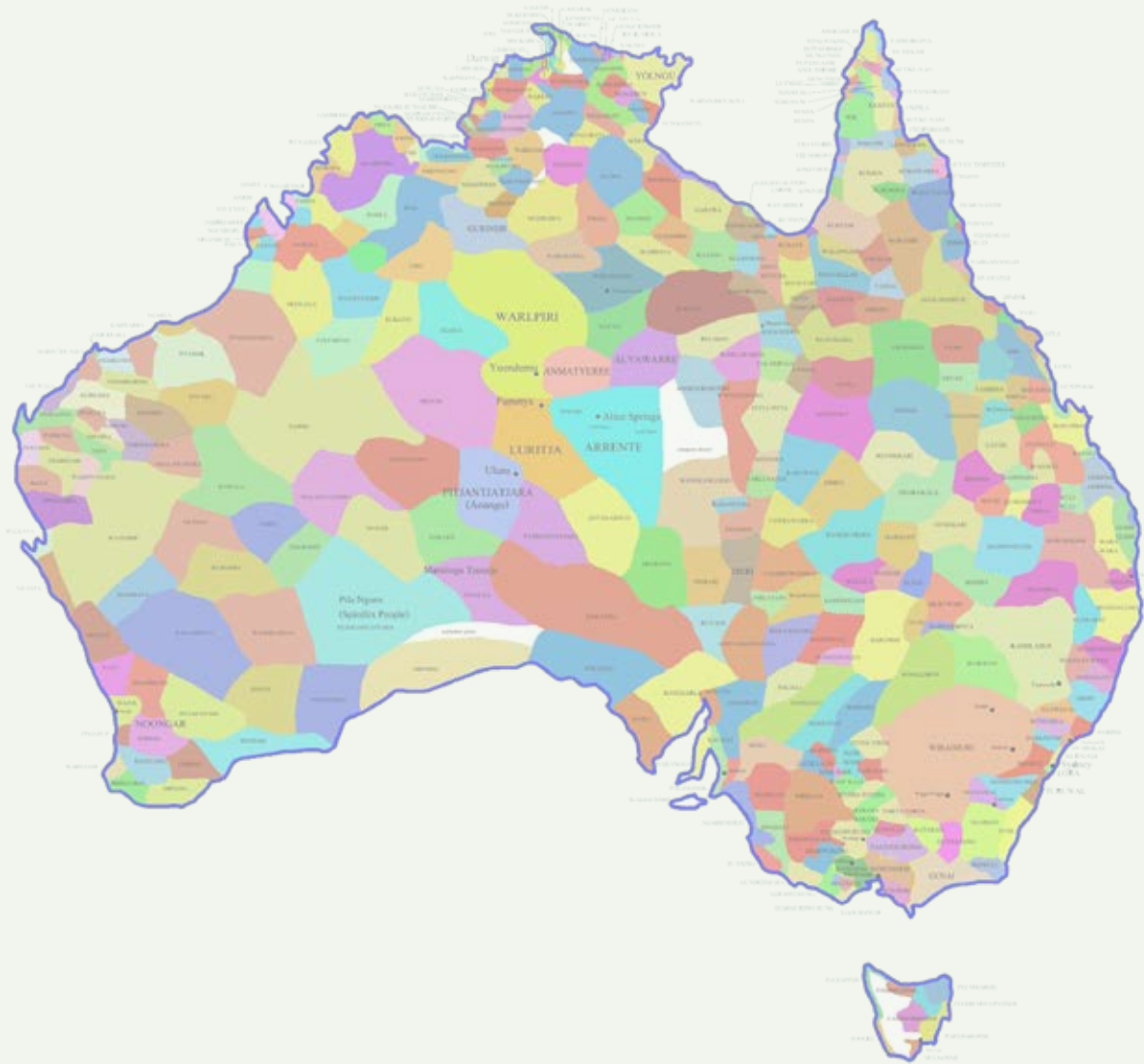
43-45 BEANE STREET & 2
KEEVERS LANE,
GOSFORD, NSW 2250

March 2026



ACKNOWLEDGEMENT OF COUNTRY

We wish to acknowledge the Traditional Custodians of the Land on which we work and pay our respects to the Elders both past, present and emerging, and extend that respect to all Aboriginal and Torres Strait Islander peoples.



CREATIVE PLANNING SOLUTIONS

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LANDSCAPE CONCEPT PACKAGE



PROPOSED MIXED-USE DEVELOPMENT
43-45 BEANE STREET & 2 KEEVERS LANE,
GOSFORD, NSW 2250

LANDSCAPE CONCEPT PACKAGE
August 2025

DRAWING LIST -

SHEET:	TITLE:
G981_LP_00	COVER SHEET
G981_LP_01	DESIGN ADVISORY PANEL COMMENTARY
G981_LP_02	LANDSCAPE CONCEPT PLAN - GROUND FLOOR
G981_LP_03	LANDSCAPE CONCEPT PLAN - 1ST FLOOR
G981_LP_04	LANDSCAPE CONCEPT PLAN - 5TH FLOOR
G981_LP_05	SECTIONS AND ELEVATIONS
G981_LP_06	OPEN SPACE DIAGRAMS
G981_LP_07	CHARACTER IMAGES
G981_LP_08	PLANTING PALETTE IMAGES
G981_LP_09	NOTES & PRELIMINARY SPECIFICATION
G981_LP_10	CONSTRUCTION DETAILS



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DIMENSIONS : All dimensions are in millimetres unless otherwise noted. Do not scale from this drawing. Verify all dimensions on site prior to construction. CIVIL, STRUCTURAL, HYDRAULIC, ELECTRICAL AND SPECIALIST WATER FEATURE WORKS : Refer to specialist and consultant's drawings for all information contained within these documents relating to and nominated as specialist and consultant work. Specialist and consultant drawing information contained in the landscape documents are indicative only and not for construction or certification purposes.					
Issue	Code	Issue Description	By	Chk	Date
E	CA	FOR INFORMATION	SZ	TP	26.08.25
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PRE - Preliminary CA - Council Approval T - Tender CON - Construction					

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
43-45 BEANE STREET &
2 KEEVERS LANE,
GOSFORD

DRAWING TITLE

COVER SHEET

CLIENT

Drawn : SZ
Designed : SZ
Project No. : G981



SHEET NUMBER
G981_LP_00

REVISION
E

CITY OF GOSFORD DESIGN ADVISORY PANEL COMMENTS: LANDSCAPE

ITEM

1. Tree Coordination with Architectural Elements

CPS RESPONSE

1.1 Interaction Between Tree Plantings & Proposed Built Form

As demonstrated in Section E-E and West Elevation on LP_05, tree pits and plantings along Keevers Lane have been strategically co-ordinated with the balcony and awning designs to ensure no conflicts arise. Specifically, shifting/sliding balconies at Level 1 and above create widened voids to accommodate the height and canopy spreads of the proposed tree species. Additionally, the ground floor awning extents narrow at the tree pit locations to ensure sufficient growing dimensions for the tree plantings. The proposed tree species mature heights of 8m (*Elaeocarpus eumundii*) and 10 metres (*Waterhousia floribunda* 'Sweeper') have been strategically coordinated with the architectural form to ensure clear space for the trees to develop vertically and laterally, establishing to their full dimensions with no requirement for ongoing pruning and no future building conflict.

2. Tree Species Suitability in Shaded Environments

2.1 Species Performance Within Shade

The trees selected within the Keevers Lane frontage (*Elaeocarpus eumundii* & *Waterhousia floribunda*) are both highly adaptable species which are suitable and grow well in partial-shade and low light conditions within urban environments. It is not expected that overshadowing, both current and future, would result in the trees failure or reduced mature size. It may however influence the growth rate, slowing the rate of growth if sunlight exposure continues to diminish in the future. Based on the generous dimensions of the deep soil tree pits and the species being suited to urban environments, it is anticipated that tree plantings will be capable of reaching their full mature dimensions in the context of the site.

3. Planter Capacity and Growth Potential

3.1 Planter Dimensions & Proposed Soil Volumes

The plant species for the Level 1 and Level 5 podiums have been carefully selected to establish and thrive in the proposed soil volumes, with the specific aim of creating a positive and sustainable long-term landscape outcome for the development.

3.2 Environmental Influence on Plant Growth

Based on the site specific environmental factors, trees plantings are likely to reach 5-8 metres in height. Bamboo plantings are likely to reach 8-10 metres in height. All shrubs, grasses and groundcovers will grow to full dimensions as indicated in the plant schedules provided.

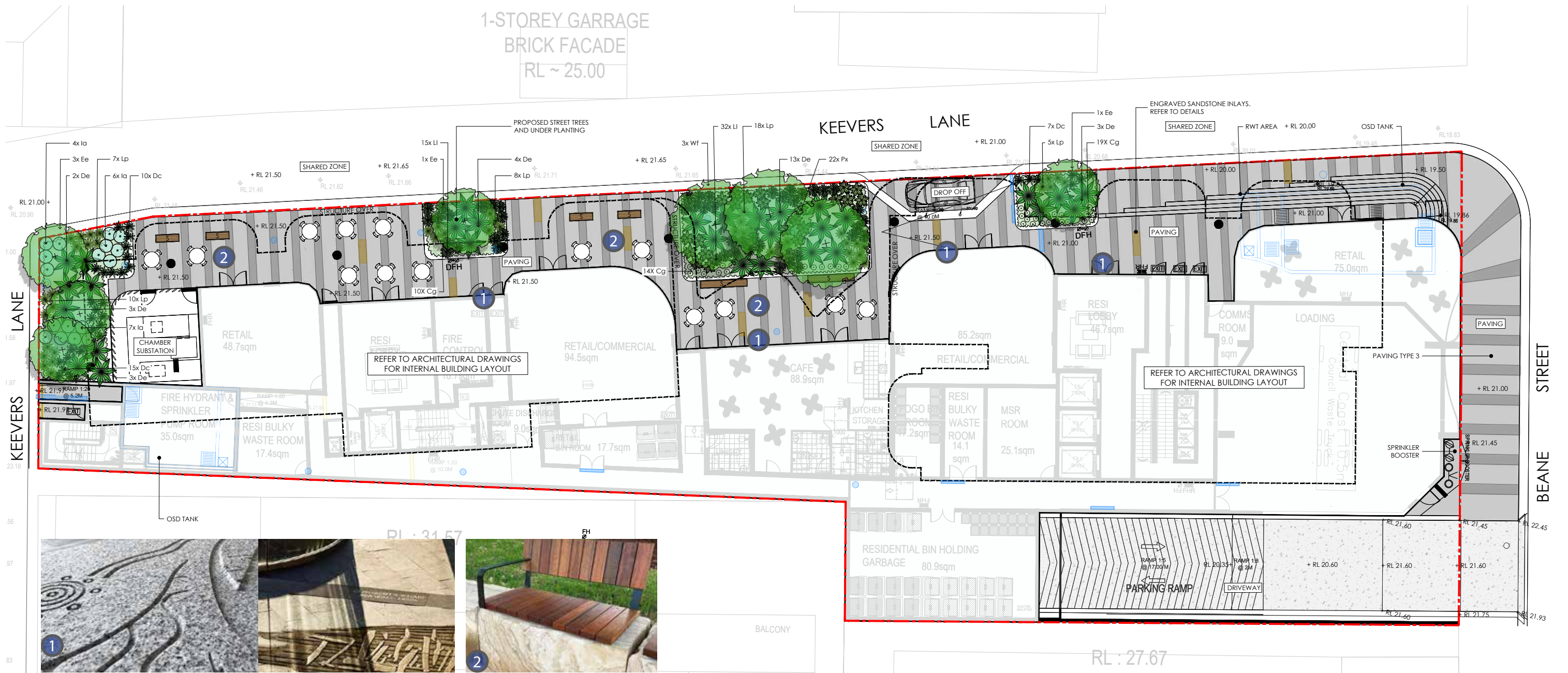
4. Public Domain Coordination – Keevers Lane & Forecourt

4.1 Central Coast Council Street Design Guideline - Paving Materials & Landscape Treatments

The paving treatment to Beane Street is consistent with the Central Coast Council Street Design Guideline - 'Gosford CBD Materials & Finishes Schedules'. In this regard, Paving Type 3 'Bluestone Paver and Concrete' has been selected and shown on the plans. It is noted that there is no opportunity for the provision of street tree planting to the Beane Street frontage.

4.2 Central Coast Council Public Domain Team - Consultation

Council's public domain team have not been consulted at this point in time. Notes have been included on the landscape plans that materials, finishes and details are to be in accordance with Council's specifications. It is anticipated that these requirements would form part of development consent conditions to be satisfied at Construction Certificate stage.



PAVER ETCHING FOR CULTURAL RECOGNITION

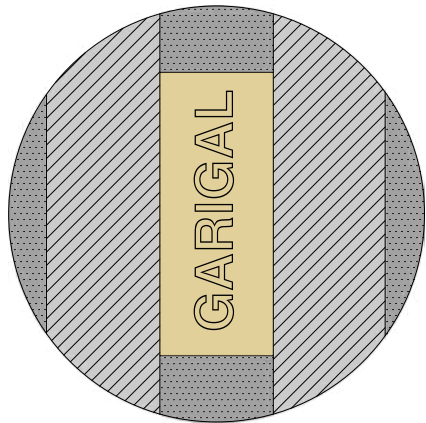
SANDSTONE LOGS WITH TIMBER TOPS

LEGEND:

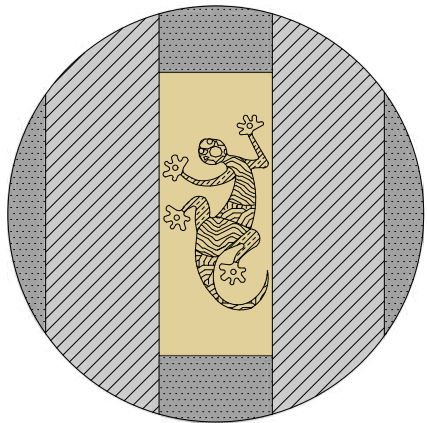
- PROPOSED CANOPY PLANTING
- PROPOSED HEDGE, ACCENTS AND GRASSES - REFER PLANTING SCHEDULE
- CONCRETE DRIVEWAY
- BANDED UNIT PAVING
- SANDSTONE LOGS WITH TIMBER TOPS
- INLAY
- PROPOSED LEVEL + RL 20.58
- STORMWATER INFRASTRUCTURE
- PAVING TYPE 3 * AS PER CENTRAL COAST COUNCIL STREET DESIGN GUIDELINE

PLANT SCHEDULE						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES						
Wf	* <i>Waterhousea floribunda</i> 'Sweeper'	Weeping Lilly Pilly	10m	As Shown	45L	3
Ee	* <i>Elaeocarpus eumundi</i>	Elaeocarpus eumundi	8m	As Shown	45L	5
LOW SHRUBS & ACCENTS						
De	* <i>Doryanthes excelsa</i>	Gynea Lily	2m	As Shown	300mm	28
Px	<i>Philodendron</i> 'Xanadu'	Xanadu Philo	1m	As Shown	200mm	22
la	* <i>Indigofera australis</i>	Austral Indigo	2m	As Shown	200mm	17
GRASSES, GROUNDCOVERS & CLIMBERS						
Li	<i>Liriope</i> 'Evergreen Giant'	Lilyturf	0.6m	4/m²	140mm	47
Dc	* <i>Dianella caerulea</i>	Blue Flax Lilly	0.5m	4/m²	140mm	25
Lp	* <i>Libertia paniculata</i>	Libertia	0.7m	3/m²	140mm	48
Cg	* <i>Carpobrotus glaucescens</i>	Pigface	0.2m	4/m²	140mm	43

* INDIGENOUS PLANT SPECIES



INLAY EXAMPLE 1 (CLAN NAME)



INLAY EXAMPLE 2 (LOCAL FAUNA)



SHEET METAL TO BBQ TO REFLECT INDIGENOUS MOTIFS

GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	* <i>Dianella caerulea</i>	Blue Flax Lilly	0.5m	4/m ²	140mm	33
LOt	* <i>Lomandra longifolia</i> 'Tanika'	Matt Rush	1m	4/m ²	140mm	14
LJ	Liriope 'Evergreen Giant'	Lilylurf	0.6m	4/m ²	140mm	26
Cg	* <i>Carpobrotus glaucescens</i>	Pigface	0.2m	4/m ²	140mm	6
Cc	* <i>Casuarina glauca</i> 'Cousin It'	She-oak	0.2m	4/m ²	140mm	10

* INDIGENOUS PLANT SPECIES

Drawn: SZ
 Designed: SZ
 Project No.: G981
 Bar Scale: 

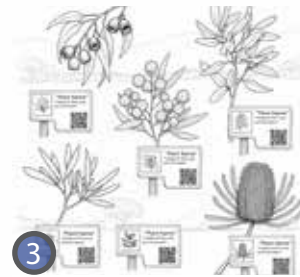
1:125 @ A1 / 1:250 @ A3
 SHEET NUMBER: G981_LP_03
 REVISION: E



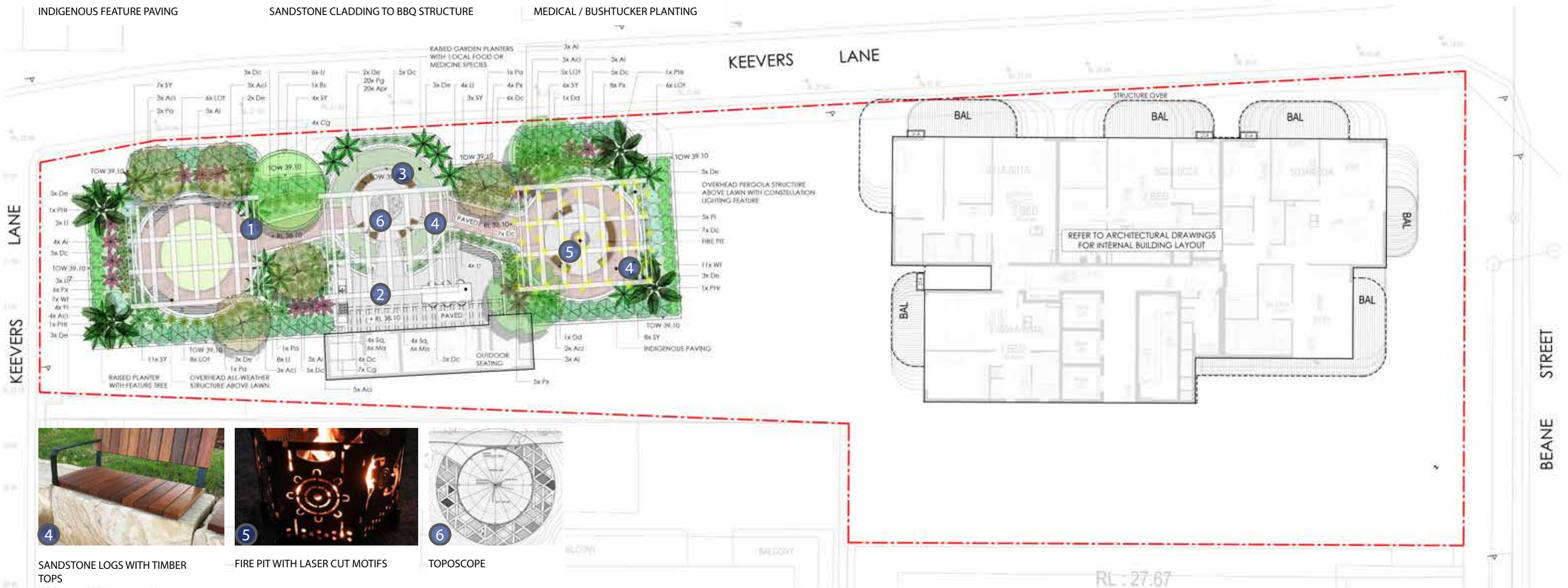
INDIGENOUS FEATURE PAVING



SANDSTONE CLADDING TO BBQ STRUCTURE



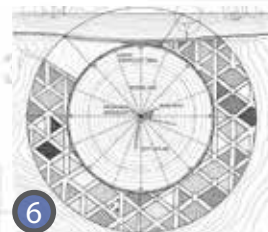
MEDICAL / BUSHTUCKER PLANTING



SANDSTONE LOGS WITH TIMBER TOPS



FIRE PIT WITH LASER CUT MOTIFS



TOPOSCOPE

LEGEND:

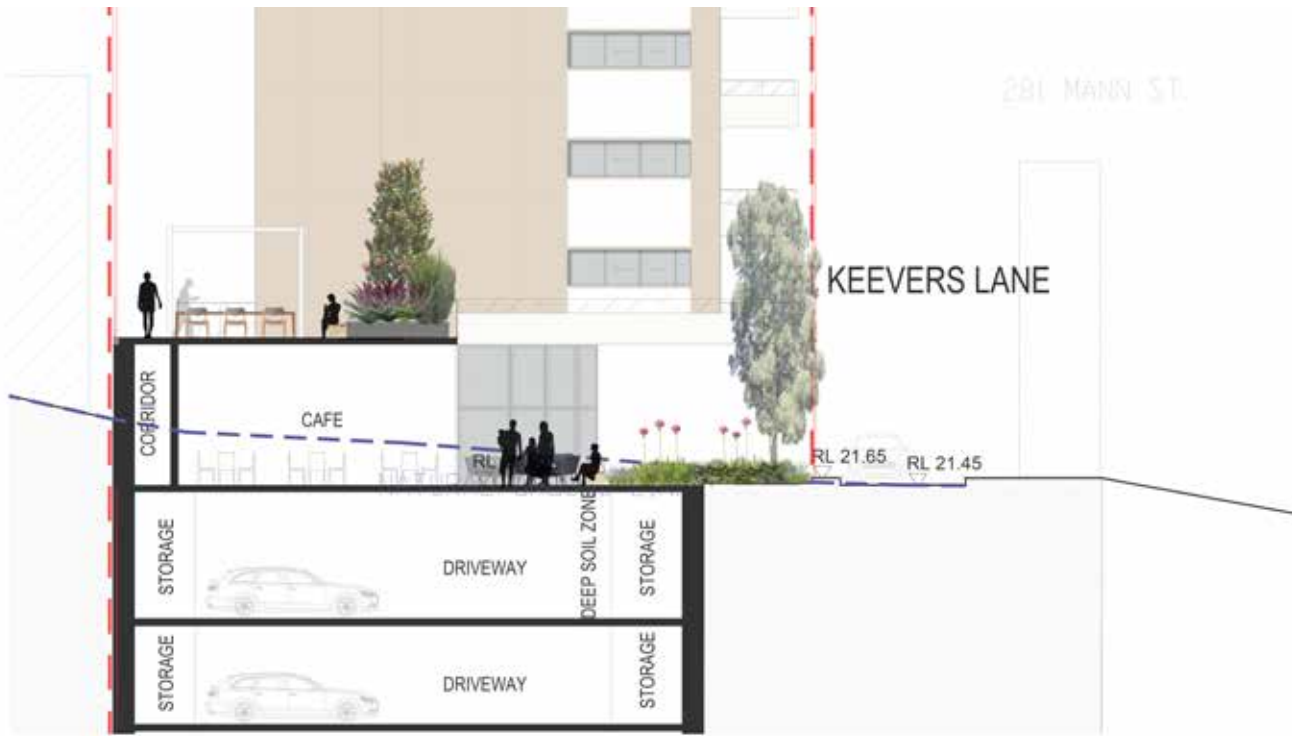
	PROPOSED CANOPY PLANTING		INDIGENOUS FEATURE PAVING
	PROPOSED HEDGE, ACCENTS AND GRASSES - REFER PLANTING SCHEDULE		SANDSTONE LOGS WITH TIMBER TOPS
	PAVING UNITS - COMMUNAL OPEN SPACE		PROPOSED LEVEL
	LAWN		TIMBER SEATING

PLANT SCHEDULE						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES						
Bs	*Banksia serrata	Old Man Banksia	10m	As Shown	45L	1
Ph	Phoenix roebelenii	Dwarf Date Palm	3m	As Shown	45L	4
Dd	*Dracaena draco	Dragon Tree	8m	As Shown	200L	2
Pa	Plumiera acutifolia	Frangipani Tricolour	6m	As Shown	45L	5
HEDGES AND SCREENING PLANTS						
SY	*Syzium 'Cascade'	Lilly Pilly	3m	1/Lm	200mm	39
LOCAL FOOD OR MEDICINE SPECIES						
Apr	*Apium prostratum	Sea Parsley	0.4m	4/m ²	140mm	20
Ma	*Mentha australis	River Mint	0.5m	4/m ²	140mm	12
Sq	*Sarcocornia quinqueflora	Samphire	0.5m	4/m ²	140mm	8
Pg	*Plectranthus graveolens	Bush Basil	0.5m	4/m ²	140mm	20

LOW SHRUBS & ACCENTS						
Ac	*Atriplex cinerea	Coastal Saltbush	2m	As Shown	200mm	23
Al	*Alcantarea impenalis 'Rubra'	Giant Bromeliad	1.5m	As Shown	200mm	19
De	*Doryanthes excelsa	Gymea Lily	2m	As Shown	300mm	22
Wl	*Westringia fruticosa	Coastal Rosemary	2m	As Shown	200mm	18
Ph	*Philodendron 'Xanadu'	Xanadu Philo	1m	As Shown	200mm	23
Pl	*Prostanthera incise	Native Thyme	2m	As Shown	200mm	9
GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	*Dianella caerulea	Blue Flax Lily	0.5m	4/m ²	140mm	50
Lt	*Lomandra longifolia 'Tanika'	Matt Rush	1m	4/m ²	140mm	25
Li	*Liriope 'Evergreen Giant'	Lilyturf	0.8m	4/m ²	140mm	28
Cg	*Carpobrotus glaucescens	Pigface	0.2m	4/m ²	140mm	11

* INDIGENOUS PLANT SPECIES

SECTION AA

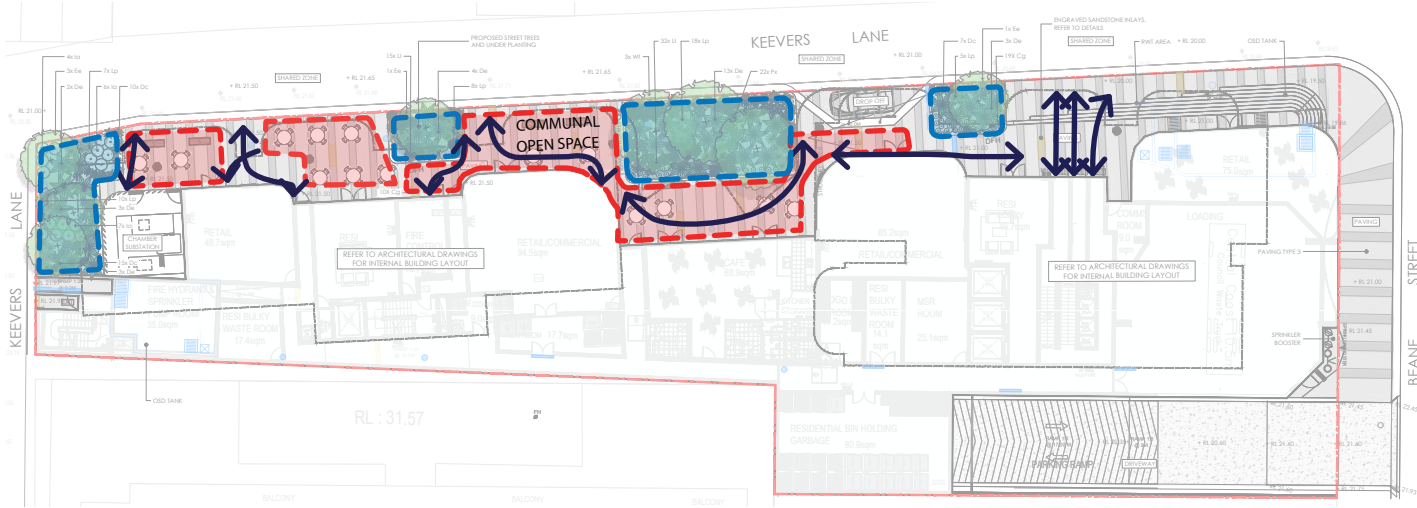


WEST ELEVATION BB



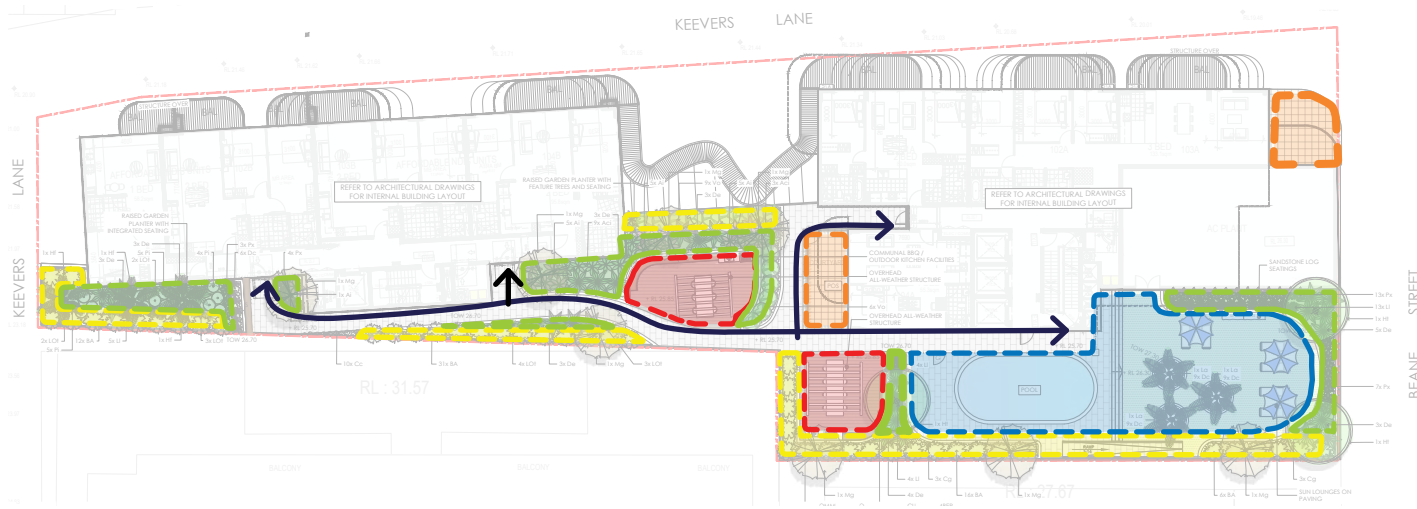
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GROUND FLOOR



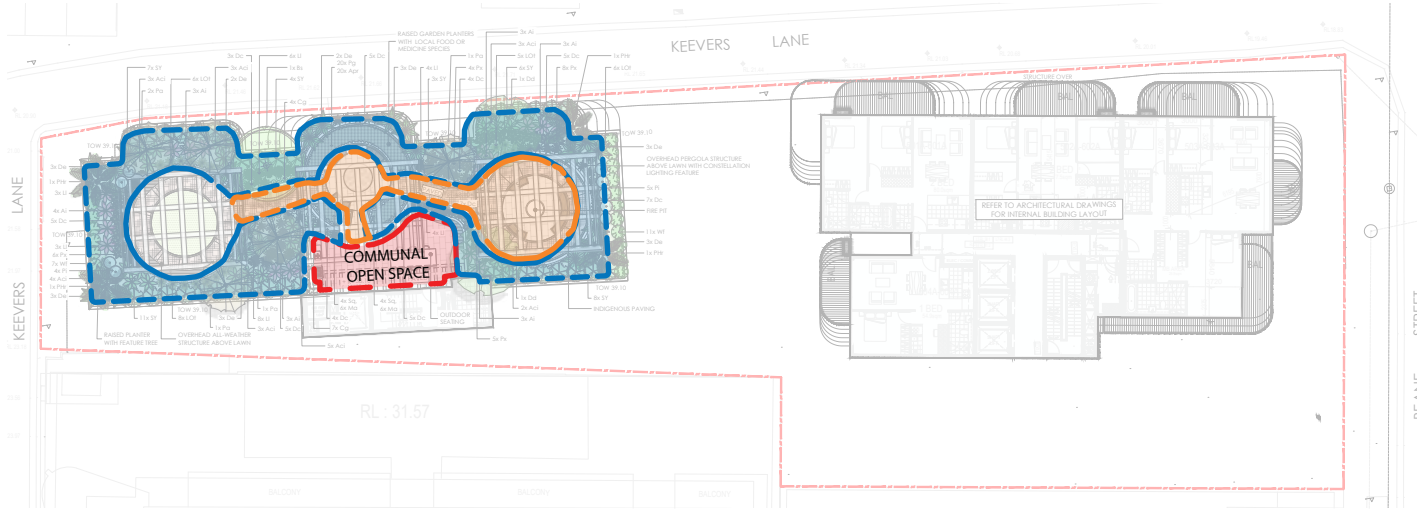
- PLANTING AREAS
- SEATING AND OUTDOOR DINING AREA
- PEDESTRIAN CIRCULATION

LEVEL 1



- POOL AND RECREATION AREA
- ALFRESCO DINING AREA
- BUFFER PLANTING
- ACCENT PLANTING AREA
- PRIVATE OPEN SPACE
- PEDESTRIAN CIRCULATION

LEVEL 5



- PLANTING AREAS
- ALFRESCO DINING AREA
- SEATING & PASSIVE RECREATION AREA
- CHILDREN PLAY AREA

Issue	Code	Issue Description	By	Chk	Date
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Trees and Palms





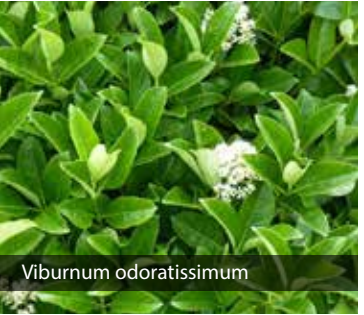








Hedges


Shrubs & Accents









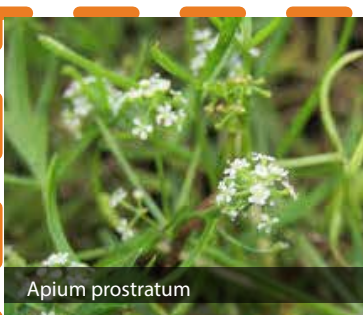
Grasses, Groundcovers & Climbers








Local Food or Medicine Species






Indigenous Plant Species

Note: Partial planting palette shown. For full planting list, refer to Planting Schedule

PRELIMINARY SPECIFICATION

SERVICES

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND ENSURE TREE PLANTING IS CARRIED OUT A SUFFICIENT DISTANCE AWAY FROM THESE SERVICES TO AVOID CONFLICT. SERVICE LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PTL LIDS.

ARBORIST MANAGEMENT OF TREE PROTECTION

AN ARBORIST WITH MINIMUM AQF5 QUALIFICATIONS IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

PODIUM PLANTING

ENSURE AN ADEQUATE WATERPROOFING MEMBRANE TO ENGINEER'S DETAIL TO HAS BEEN APPLIED ALL PODIUM PLANTERS ON SITE. FOLLOWING APPLICATION OF THE MEMBRANE, CORFLUTE SHEETING IS TO BE APPLIED TO THE BOTTOM AND SIDES OF ALL PLANTERS TO PREVENT FUTURE RUPTURING. PODIUM PLANTERS ARE TO THEN INCLUDE AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF THE STRUCTURE, OVER THE DRAINAGE CELL, A GEOTEXTILE LINING IS TO BE INSTALLED, TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES. INSTALL MIN. 50MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF A SUITABLE PLANTER SOIL MIX.

EXISTING SUB-GRADE IN PLANTING AREAS

TEST SUBSOIL DRAINAGE TO ALL TREE PLANTING POSITIONS AND PLANTING AREAS. IF NECESSARY EXCAVATE UNDER TREE PLANTING POSITION DOWN THROUGH IMPERMEABLE MATERIAL TO A PERMEABLE SUB-GRADE DEPTH. REMOVE EXCAVATED MATERIAL FROM SITE AND REPLACE WITH A POROUS MATERIAL AND SUITABLE GROWING MEDIUM FOR NOMINATED SPECIES. SETTLE BACKFILL TO PREVENT SUBSIDENCE.

FINISHED LEVELS AND GRADES

CONSTRUCT FINISHED GRADES TO THE FINISHED LEVELS SHOWN ON THE CIVIL DRAWINGS. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS, PLANTED AREAS AND PATHWAYS ARE TO DRAIN TO SPECIFIED DRAINAGE COLLECTION POINTS AS INDICATED ON THE HYDRAULIC ENGINEER'S DRAWINGS. ENSURE A MAXIMUM GRADE OF 1:4 TO ALL PLANTED AND TURFED AREAS.

DRAINAGE PITS

INSTALL METAL GRATE, PVC BODY DRAINAGE PITS AS INDICATED ON THE HYDRAULIC ENGINEER'S DRAWINGS. CONNECT PITS TO STORMWATER SYSTEM - BY PLUMBER.

PAVING

PAVEMENT SETOUT AS PER SETOUT PLAN, FINISHED LEVELS, MATERIALS AND PAVING INSTALLATION TO ARCHITECT'S SPECIFICATION.

SOIL

CULTIVATE ALL PLANTING AREAS AND SET DOWN SUB-GRADE TO ACCOMMODATE IMPORTED TOPSOIL TO BE INSTALLED TO A MINIMUM 300MM DEPTH. IF DEEMED SUITABLE BY THE LANDSCAPE ARCHITECT, IMPROVED SITE SOIL MAY BE USED IN PLACE OF IMPORTED TOPSOIL PENDING COMPLIANCE WITH THE PROVISIONS OUTLINED IN AS4419.

MULCH

APPLY APPROVED ORGANIC MULCH (ANL 'FOREST FINES' OR SIMILAR) TO A DEPTH OF 75MM TO ALL PLANTED AREAS. ENSURE CLEARANCE TO PLANT STEMS AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN DURING INSTALLATION.

FERTILISER

FOR GENERAL PLANTED AREAS; APPLY APPROVED FERTILISER INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE (9) MONTHS. THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE AND IN ACCORDANCE WITH RECOGNISED HORTICULTURAL PRACTICE PRIOR TO INSTALLING PLANTS. FOR LAWN AREAS; APPROVED 'LAWN FOOD' OR EQUIVALENT SHALL BE THOROUGHLY MIXED THROUGH TOPSOIL PRIOR TO PLACING TURF. FOR ESTABLISHED TREE PLANTING; AGRIFORM PLANTING TABLETS OR EQUIVALENT ARE TO BE APPLIED AT THE RECOMMENDED RATE WITHIN THE PLANTING MEDIUM ADJACENT TO THE BASE OF THE ROOT BALL AT TIME OF PLANTING.

PLANT MATERIAL

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE LANDSCAPE DRAWINGS. GENERALLY PLANTS SHALL BE: VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR PESTS, HAVE LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT. IMMEDIATELY REJECT DIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE.

STAKING AND TYING

STAKES SHALL BE STRAIGHT, UNPAINTED HARDWOOD FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO SIZE OF PLANTS TO BE STAKED.

A. 5 - 15 LITRE SIZE PLANT 1 x (1200X25X25MM)

B. 35 - 75 LITRE SIZE PLANT 2 x (1500X38X38MM)

C. 100 - 200 LITRE 3 x (1800X50X50MM)

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH (AVOIDING DAMAGE TO THE ROOT SYSTEM) ON THE WINDWARD SIDE OF THE PLANT.

TURF

TURF IS TO BE OF A SPECIES CONSISTENT WITH THAT SHOWN ON THE LANDSCAPE DRAWINGS AND IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM. OBTAIN TURF FROM AN APPROVED GROWER. DELIVER TO SITE WITHIN TWENTY FOUR (24) HOURS OF BEING CUT, AND LAY WITHIN TWENTY FOUR (24) HOURS OF BEING DELIVERED. TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPROVING OF 100MM OF TURF UNDERLAY SOIL. REMOVE ALL STONES OVER 20MM Ø AS WELL AS ALL WEEDS AND FOREIGN MATTER. SPREAD TURF UNDERLAY SOIL TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS. TURF AREAS ARE TO HAVE MINIMUM 1:50 CROSSFALL TO ENSURE MINIMUM DRAINAGE REQUIREMENTS. TURF IS TO BE LAID ALONG RESOLVED LAND CONTOURS WITH STAGGERED, CLOSE BUTTED, JOINTS SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH. WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED. TWO (2) WEEKS AFTER INSTALLATION, APPLY APPROVED ORGANIC TOP DRESSING SOIL (ANL 'ORGANIC TOP DRESSING' OR SIMILAR) TO A DEPTH OF 15MM TO ALL TURFED AREAS. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

TREATED PINE TIMBER EDGING

TIMBER EDGE: 100 X 25MM H4 TREATED PINE.

TIMBER STAKES: 50 X 50 X 300MM H4 TREATED PINE SHARPENED AT ONE END.

INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TREES TO BE RETAINED

MARK TREES AND SHRUBS TO BE RETAINED WITH SUITABLE NON-INJURIOUS, EASILY VISIBLE AND REMOVABLE MEANS OF IDENTIFICATION CONSISTENT WITH THE TREE NUMBERING SYSTEM INDICATED ON THE LANDSCAPE DRAWINGS.

LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO; WATERING, MOWING, FERTILISING, RESEEDING, RETURFING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:

GENERAL

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL ATTEND TO THE SITE ON A FORTNIGHTLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

WATERING

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

RUBBISH REMOVAL

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT FORTNIGHTLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

REPLACEMENTS

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE MAINTENANCE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS, NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING, UNTIL THE END OF THE MAINTENANCE PERIOD.

STAKES AND TIES

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

PRUNING

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT AND PROJECT ARBORIST. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

MULCHED SURFACES

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

PEST AND DISEASE CONTROL

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY AS THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

GRASS AND TURF AREAS

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH 'DYNAMIC LIFTER' (OR SIMILAR) FOR LAWNS AT A RATE OF 20KG PER 100M². FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS Sward. MOWING HEIGHT: 30-50MM.

WEED ERADICATION

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE. AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND. WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

SOIL SUBSIDENCE

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.

IRRIGATION SYSTEM

IRRIGATION SYSTEM: SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO' IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH AREA-SPECIFIC SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION TO INCLUDE FILTERS, BENDS, JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY A SUITABLY QUALIFIED IRRIGATION CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION.

THE IRRIGATION CONTRACTOR IS TO LIAISE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

THE IRRIGATION SYSTEM IS TO INCLUDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR CUSTOMIZABLE SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL FEATURE A MANUAL OVERRIDE FUNCTION AND PROGRAMMING SHALL BE UNDERTAKEN BY THE IRRIGATION CONTRACTOR WHO SHALL ADVISE ALL RELEVANT PARTIES ON THE OPERATION OF THE SYSTEM. PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER IS TO BE POSITIONED IN A LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS ARE TO BE SUPPLIED BY THE BUILDER.

IT SHALL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM. AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

GENERAL TREE PROTECTION NOTES*

*PLEASE NOTE: THE FOLLOWING INFORMATION IS FOR GUIDANCE PURPOSES ONLY. WHERE EXISTING TREES ARE TO BE RETAINED, IT IS RECOMMENDED THAT A PROJECT ARBORIST WITH MINIMUM AQF5 QUALIFICATIONS BE ENGAGED TO PREPARE A DEDICATED TREE PROTECTION SPECIFICATION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR LANDSCAPE WORKS.

PROTECTION AND REPAIR: PROTECT TREES AND SHRUBS TO BE RETAINED FROM DAMAGE, INCLUDING THOSE BEYOND THE SITE AREA, BOTH ABOVE AND BELOW GROUND. REPAIR ANY DAMAGE TO THE TREES DURING THIS WORK.

TREE PROTECTION FENCING: PROVIDE TEMPORARY PROTECTIVE FENCING TO THE TREE DRIP LINE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR LANDSCAPE WORKS. FENCING IS TO BE OF CHAIN WIRE MESH PANELS WITH SHADE CLOTH ATTACHED AND IS TO BE HELD IN PLACE WITH CONCRETE FEET.

WORK NEAR TREES: THE AREAS WITHIN THE DRIPLINE OF THE TREES ARE TO BE KEPT FREE OF CONSTRUCTION MATERIALS AND DEBRIS. DO NOT PLACE BULK MATERIALS AND HARMFUL MATERIALS UNDER OR NEAR TREES. DO NOT PLACE SPOIL FROM EXCAVATION WITHIN THIS AREA. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS. PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES. DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO THE AREAS WITHIN THE DRIPLINE OF THE TREES. IF EXCAVATION IS REQUIRED NEAR TREES TO BE RETAINED, GIVE NOTICE AND OBTAIN INSTRUCTIONS FROM A SUITABLY QUALIFIED AQF5 ARBORIST. OPEN UP EXCAVATIONS UNDER TREE CANOPIES FOR AS SHORT A PERIOD AS POSSIBLE. USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIPLINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED. DO NOT CUT TREE ROOTS EXCEEDING 50MM IN DIAMETER. WHERE IT IS NECESSARY TO CUT THESE ROOTS, USE MEANS SO TO NOT UNDULY DISTURB THE REMAINING ROOT SYSTEM. BACKFILL TO EXCAVATIONS NEAR TREE ROOTS WITH A MIXTURE CONSISTING OF 3 PARTS BY VOLUME OF TOPSOIL AND 1 PART OF WELL ROTTED COMPOST WITH A NEUTRAL PH VALUE. FREE FROM WEED GROWTH AND HARMFUL MATERIALS. PLACE THE BACKFILL LAYERS, EACH OF 300MM MAXIMUM DEPTH COMPACTED TO A DRY DENSITY, SIMILAR TO THAT OF THE ORIGINAL STATE. DO NOT BACKFILL AROUND TRUNKS TO A EIGHT GREATER THAN 300MM ABOVE THE ORIGINAL GROUND SURFACE. IMMEDIATELY AFTER BACKFILLING THOROUGHLY WATER THE ROOT ZONE SURROUNDING THE TREE. DO NOT COMPACT THE GROUND UNDER TREES - IF COMPACTION OCCURS, GIVE NOTICE AND OBTAIN INSTRUCTIONS. WATER THE TREES AS NECESSARY INCLUDING WHERE ROOTS AREA EXPOSED AT AN AMBIENT TEMPERATURE.

COMPLIANCE WITH AUSTRALIAN STANDARDS: ALL TREE PROTECTION WORKS ARE TO BE COMPLIANT WITH THE PROVISIONS OUTLINED WITHIN AS4970-2009 - PROTECTION OF TREES ON DEVELOPMENT SITES



LEVEL 3
397 RILEY STREET
SURREY HILLS NSW 2010
PO BOX 1074 BROADWAY NSW 2007
TEL: + (61) 2 8039 7461
INFO@CPSPLANNING.COM.AU
CPSPLANNING.COM.AU

DIMENSIONS :

All dimensions are in millimetres unless otherwise noted. Do not scale from this drawing. Verify all dimensions on site prior to construction.

CIVIL, STRUCTURAL, HYDRAULIC, ELECTRICAL AND

SPECIALIST WATER FEATURE WORKS :

Refer to specialist and consultant's drawings for all information contained within these documents relating to and nominated as specialist and consultant work. Specialist and consultant drawing information contained in the landscape documents are indicative only and not for construction or certification purposes.

Issue	Code	Issue Description	By	Chk	Date
E	CA	FOR INFORMATION	SZ	TP	26.08.25
D	CA	FOR INFORMATION	SZ	TP	21.08.25
C	CA	FOR DAP MEETING	SZ	TP	16.05.25
B	CA	FOR DAP MEETING	SZ	TP	12.05.25
A	CA	FOR DA	SZ	GT	06.03.25
PRE - Preliminary CA - Council Approval T - Tender CON - Construction					

PROJECT

PROPOSED MIXED-USE DEVELOPMENT 43-45 BEANE STREET & 2 KEEVERS LANE, GOSFORD

DRAWING TITLE

NOTES & PRELIMINARY SPECIFICATION

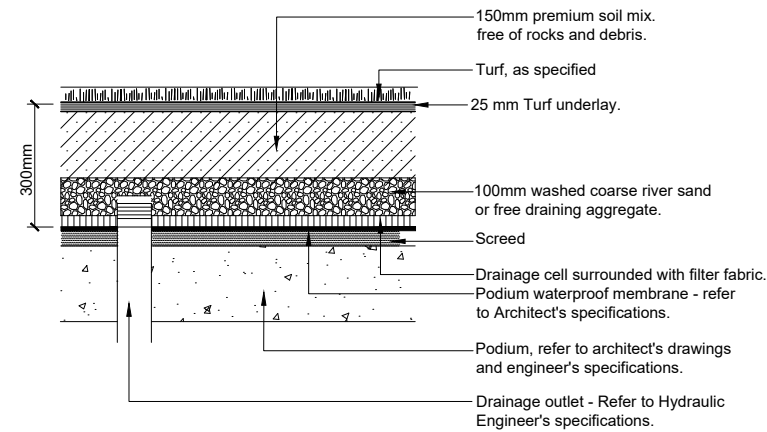
CLIENT



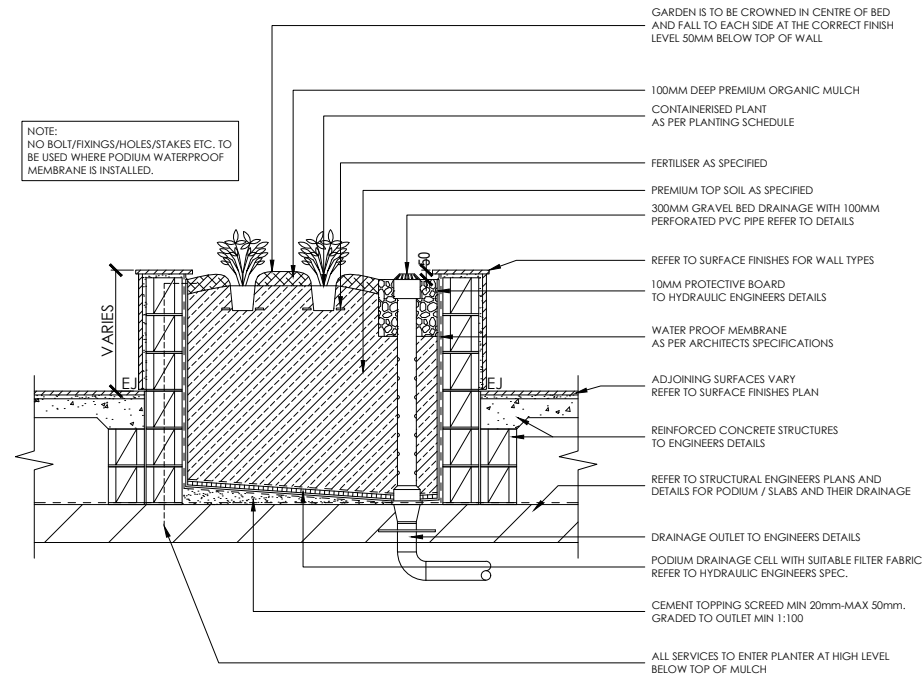
Drawn : SZ
Designed : SZ
Project No. : G981

SHEET NUMBER
G981_LP_09

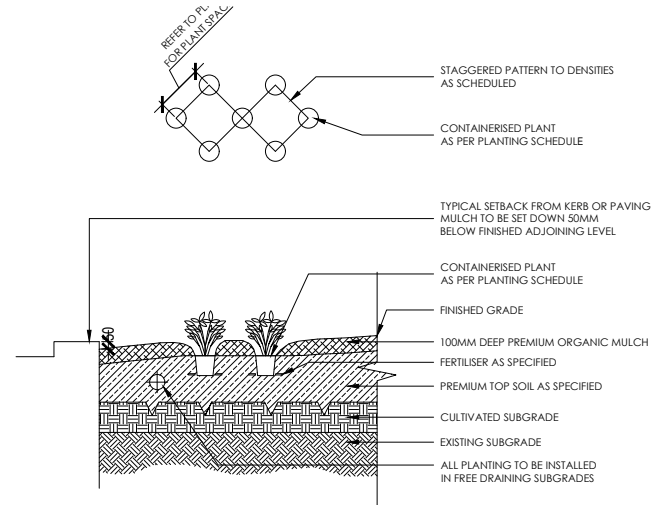
REVISION
E



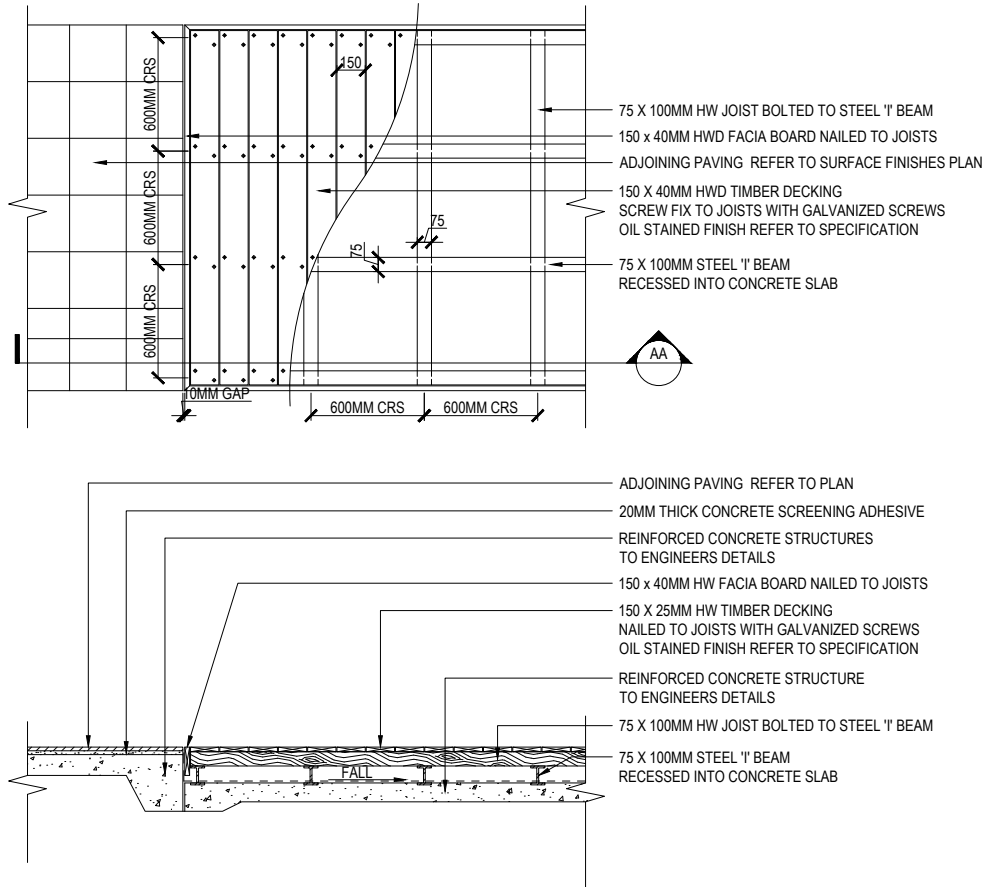
TURF PLANTING ON PODIUM DETAIL
SCALE 1:10 @A1



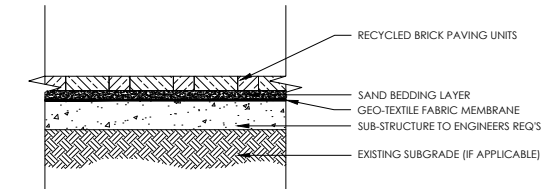
PODIUM PLANTING DETAIL
SCALE 1:20 @A1



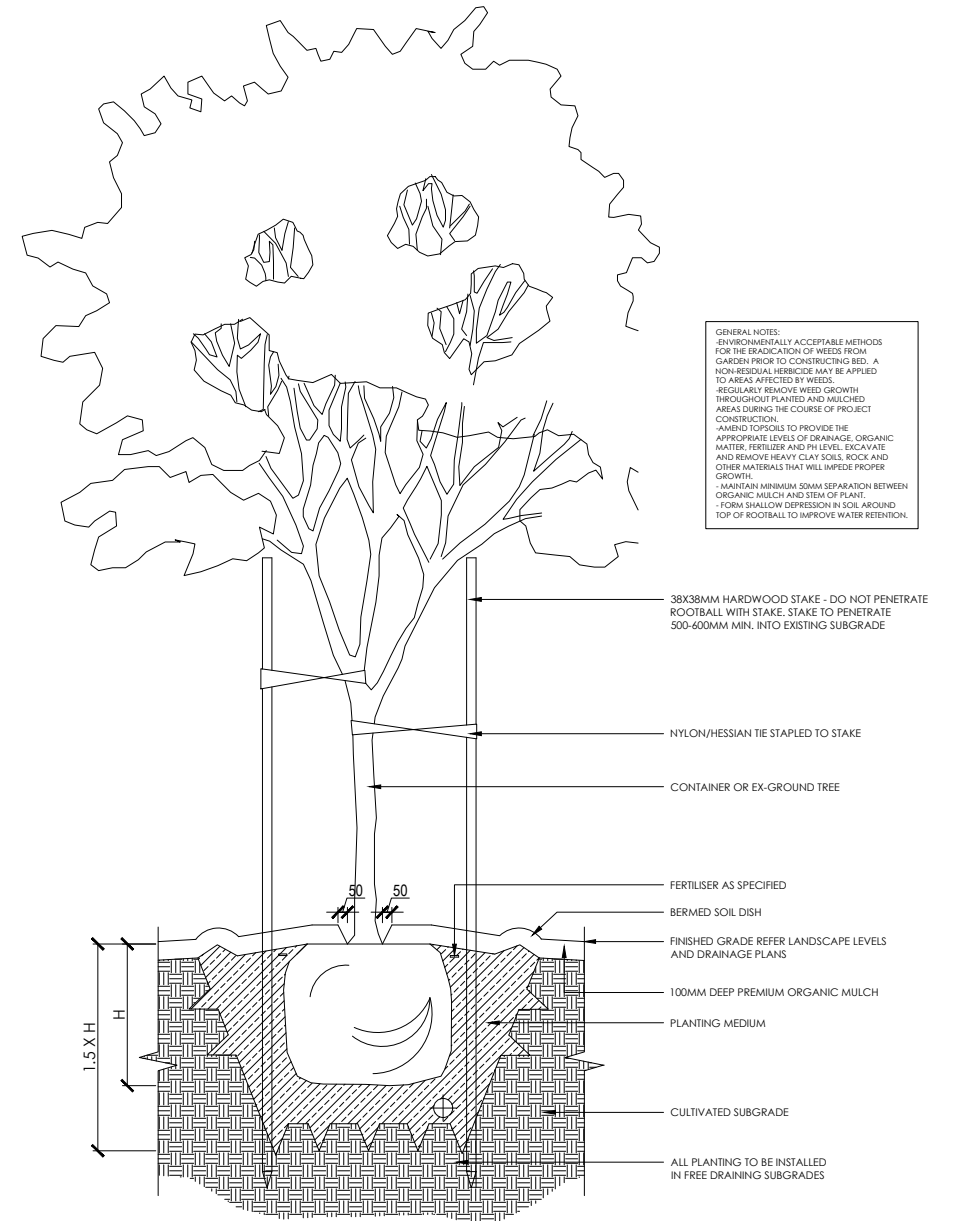
SHRUB PLANTING DETAIL
SCALE 1:25 @A1



TIMBER DECKING DETAIL
SCALE 1:20 @A1



BRICK SURFACE DETAIL
SCALE 1:20 @A1



TREE PLANTING ON GRADE DETAIL
SCALE 1:20 @A1

CONNECTING WITH COUNTRY



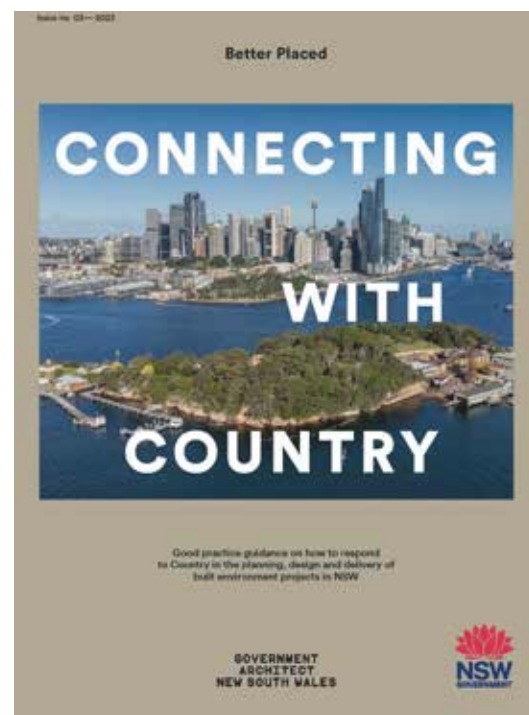
Acknowledgement of Country

Creative Planning Solutions acknowledge the Traditional Custodians of the Land on which we work and pay our respects to Elders past, present and emerging, and extend that respect to all Aboriginal and Torres Strait Islander Peoples

Our Responsibilities

As landscape architects, we are evolving our design approach to be Country-centred, moving beyond human-centric models to embrace the Aboriginal philosophy that caring for Country ensures Country cares for us. This involves genuine collaboration with Aboriginal communities, integrating their cultural knowledge and practices into every project phase. Our aim is to create sustainable, resilient, and deeply meaningful natural spaces that honour Australia's Indigenous heritage and ongoing custodianship

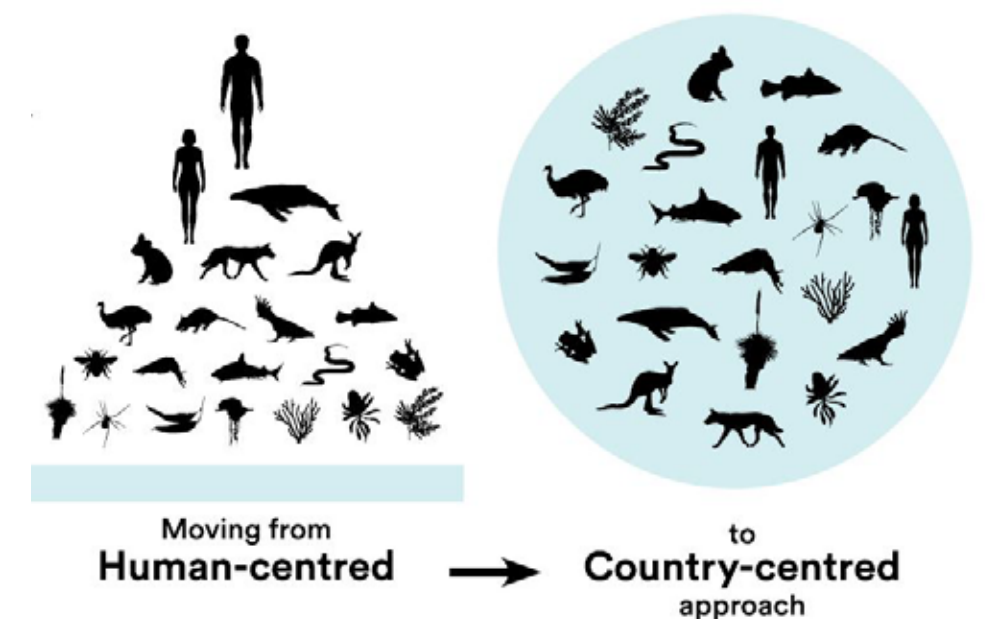
About This Framework



The NSW Government Architect's "Connecting with Country" Framework provides guidance for integrating Aboriginal cultural heritage and connection to Country into built environment projects across NSW.

It advocates for a Country-centred approach, respecting Indigenous cultural knowledge and intellectual property, and building strong relationships with local Aboriginal communities.

The framework aims to create "Healthy Country" and "Better Places" through culturally responsive and sustainable practices, emphasising a shift from human-centred to Country-centred design.



How We Deliver

Phase 1: Grounding Our Intent

This phase aligns project intent with the “Connecting with Country” Framework, establishing a Country-centred mindset from the outset. We set a clear, respectful direction acknowledging the significance of place and Aboriginal people’s enduring connection to their lands.

Phase 2: Deepening Our Understanding of Country

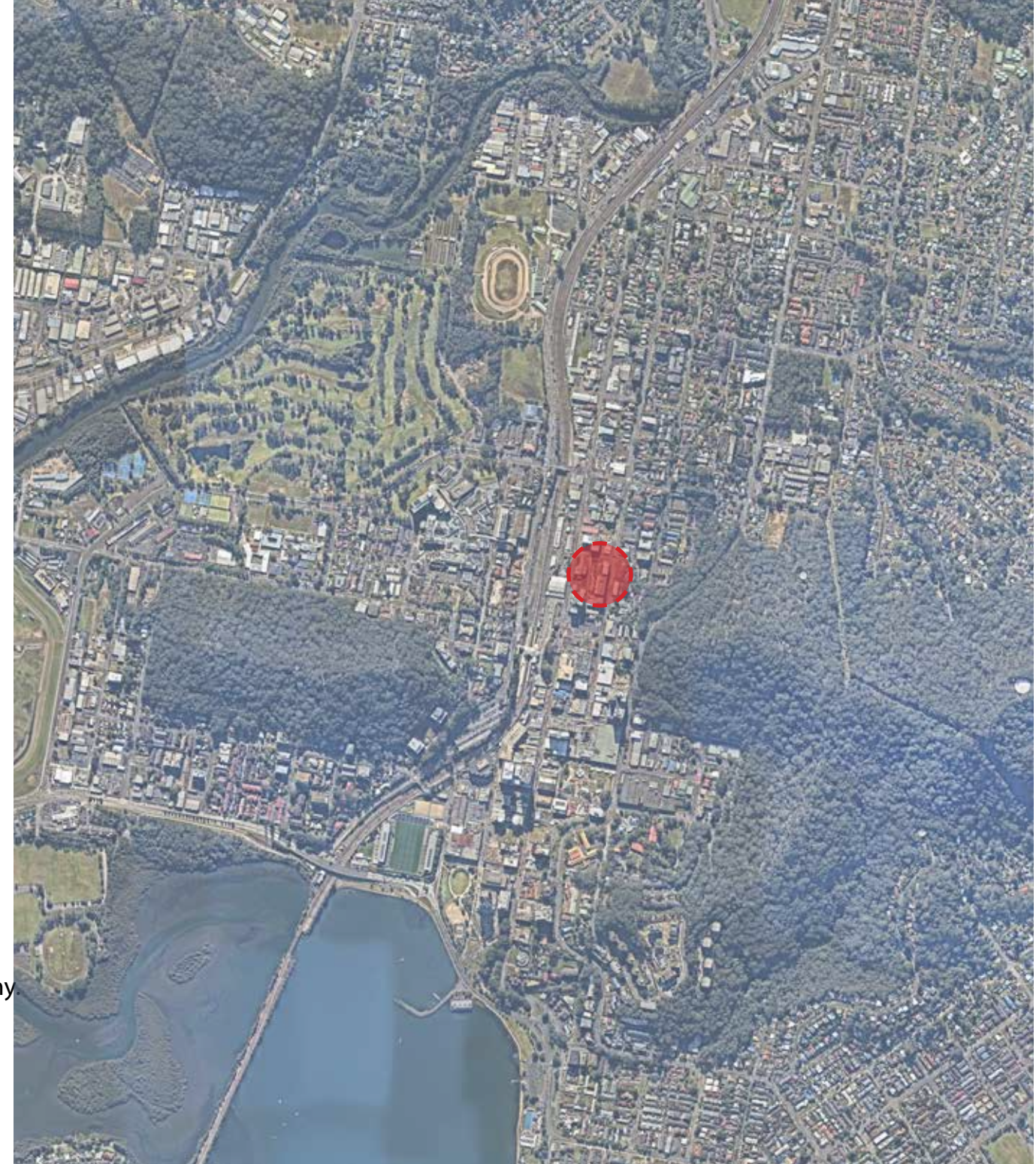
We thoroughly investigate the specific Country, researching its ecological, geological, and historical context. Crucially, we delve into its Aboriginal cultural significance to uncover unique narratives and values, authentically informing our designs.

Phase 3: Co-designing & Realising Vision

Our core is genuine co-design with Aboriginal communities and knowledge holders. Through collaborative efforts like workshops and on-Country visits, Aboriginal voices lead in shaping natural spaces that embody Indigenous knowledge and foster well-being for both Country and community.

The Project Site

Our design approach for this project site will consciously pivot towards a Country-centred philosophy. We recognise that even within an urban setting, the land carries deep cultural and ecological significance. This project provides an opportunity to transcend conventional urban landscaping, instead fostering a design that acknowledges and respects the ancient Aboriginal heritage of the Central Coast.



Connection Through Planting & Materials

Connection Through Planting

Our planting strategy for the project site will deeply embed “Connecting with Country” by prioritising endemic and locally native species. These selections will not only enhance biodiversity and ecosystem health but also honour the rich cultural significance of the plants to the Central Coast’s Aboriginal heritage.



Connection Through Materials

Our material selections for the project site will similarly forge connections to Country by prioritising locally sourced and natural elements. We will draw inspiration from the geology and natural palette of the Gosford region, selecting materials that resonate with the land’s inherent character and, where appropriate, reflect traditional Aboriginal uses and aesthetics.



Consultation Outcomes

An interim report titled “Connecting with Country Report” was undertaken by Access Archaeology in July 2025. It presented a number of outcomes that should be addressed and delivered by the landscape design. These landscape outcomes for the project are integral to achieving the “Connecting with Country” objectives.

The proposed **incorporation of 6 clan motifs and local axe groove patterns in laneway paving and planters** directly embeds Aboriginal cultural heritage into the built environment, shaping Country by respectfully acknowledging the traditional custodians and their enduring connection to the land.

Furthermore, the research and proposal of **local food or medicine species for landscape planting with QR codes**, actively promotes “Healthy Country” by integrating native biodiversity and making traditional Aboriginal knowledge accessible, enriching cultural understanding.

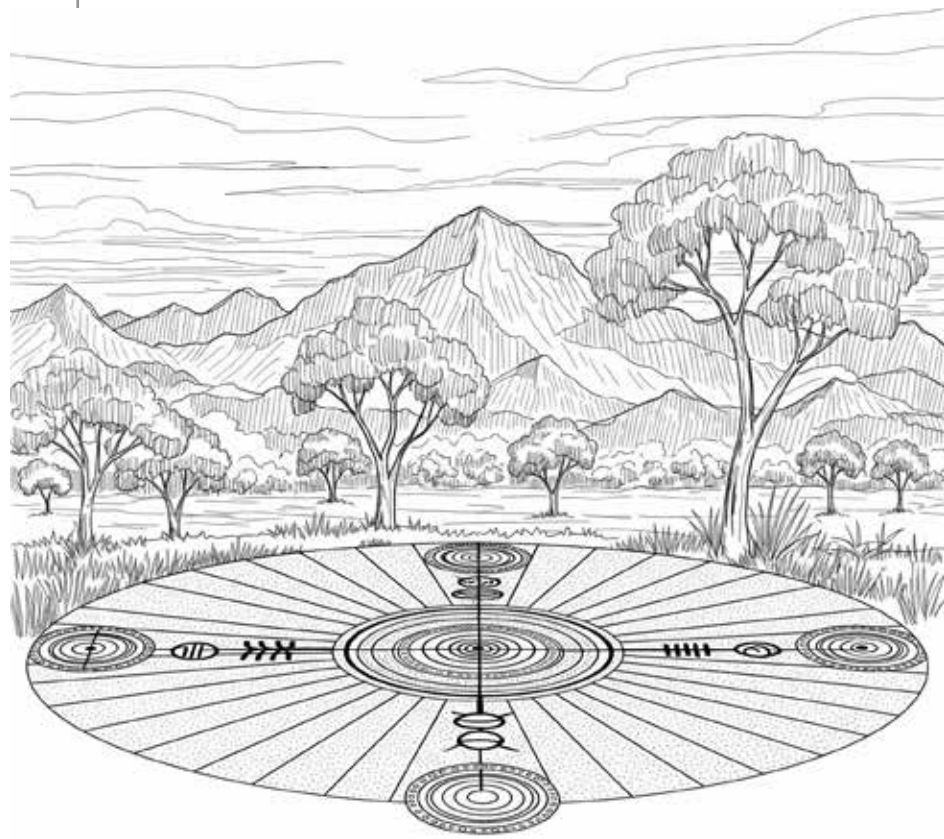
The **inclusion of a fire pit** on Level 5 provides a vital space for cultural gathering and connection to traditional practices, while the detailing of a **land art installation or Toposcope/Orientation Table** on the rooftop terrace offers a powerful means to interpret surrounding Country, highlighting important landscape features and significant sites through an Aboriginal lens.

Collectively, these landscape-focused actions ensure the project not only builds within the environment but also deeply connects with, respects, and cares for Country.



The Landscape Interpretation

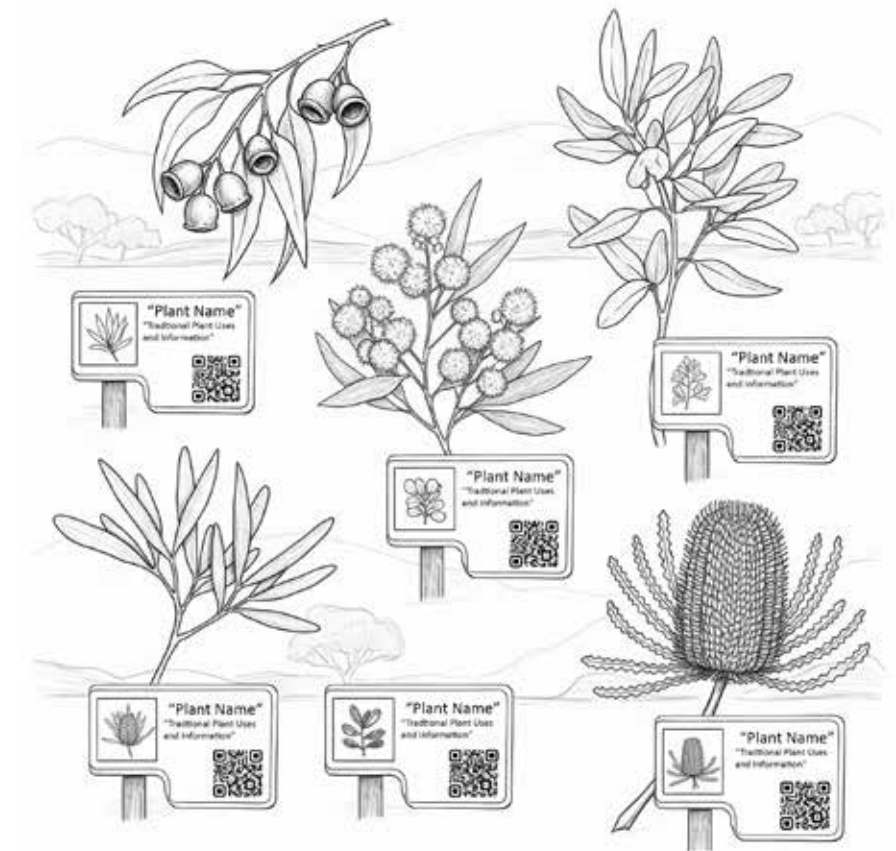
The landscape design will interpret and include the consultation outcome recommendations, with the incorporation of the following elements:



Toposcope / Orientation Table
Groundplain Paving Inlays



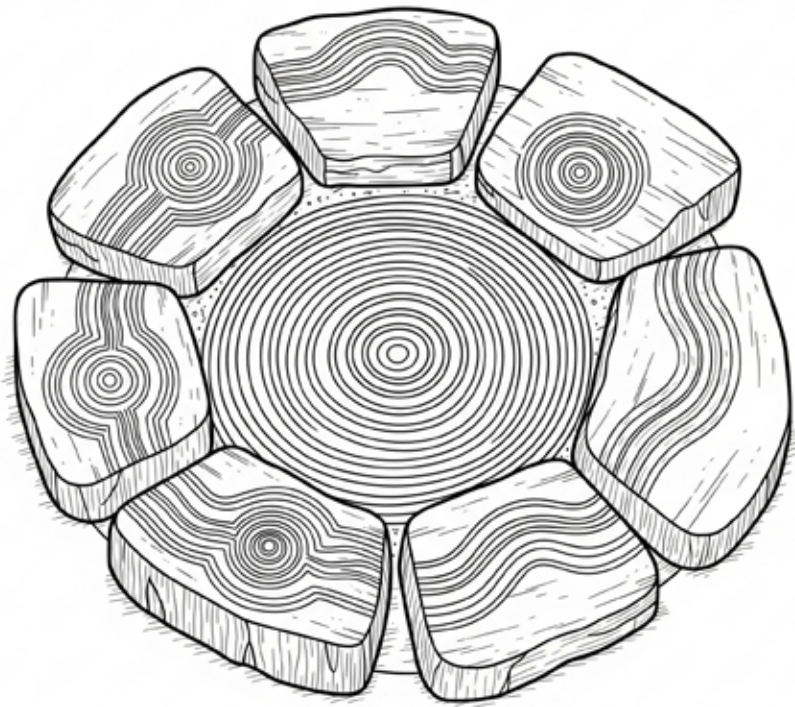
Yarning Circle within Rooftop Communal
Space



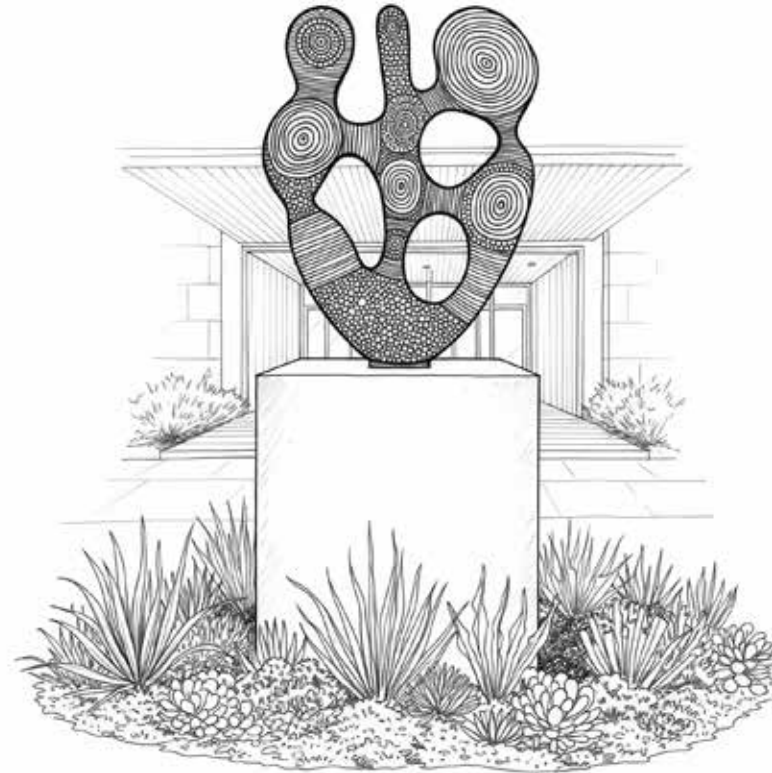
Local Food or Medicinal Species with
Plant Identification Signage / QR Codes

NOTE: The above imagery is provided for illustrative purposes only to indicate design intent, and final design elements will be refined in consultation with focus group input and review by indigenous stakeholders.

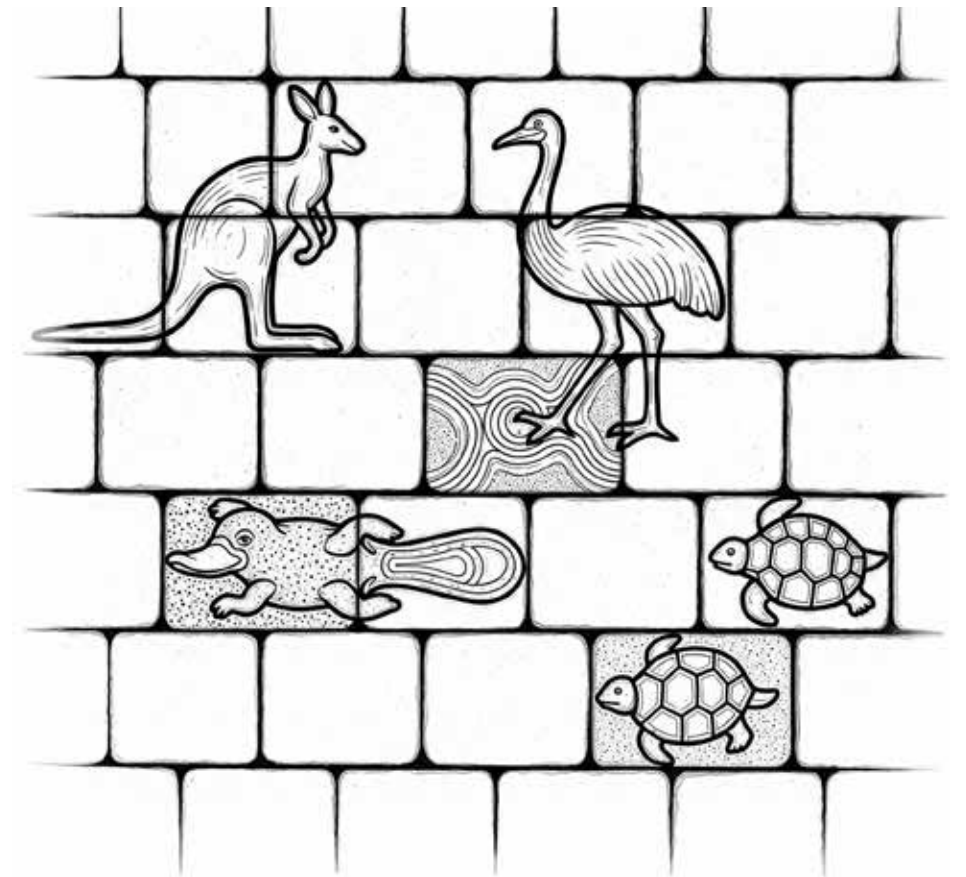
Landscape Interpretation cont.



Interpretive Firepit Elements within
Rooftop Communal Space



Ground Floor Public Domain Art
Elements



Interpretive Paving Units and Inlays to
Represent Locally Significant Culture

NOTE: The above imagery is provided for illustrative purposes only to indicate design intent, and final design elements will be refined in consultation with focus group input and review by indigenous stakeholders.

LANDSCAPE RESPONSE TO PRE- DEVELOPMENT ADVICE



6th November 2025

CPS Reference: G981

Adam Dai
c/- Tony Owen Partners
Level 2, 12 Queen Street
Chippendale NSW 2008

Attn: Zhaleh Sharifi
zhaleh@tonyowen.com.au

**RE: LANDSCAPE RESPONSE TO PRE-DEVELOPMENT ADVICE:
PROPOSED MIXED-USE DEVELOPMENT –
43-45 BEANE STREET & 2 KEEVERS LANE, GOSFORD NSW 2250**

This letter has been prepared to provide a formal response to relevant Landscape Architectural matters detailed within the Pre-Development Advice issued by Central Coast Council for the proposed mixed-use development at 43-45 Beane Street & 2 Keevers Lane, Gosford.

It is intended that this letter be read in conjunction with the Landscape Concept Plans prepared by CPS, Revision E dated 26 August 2025. Responses to relevant landscape particulars are provided in **green** below:

TREES

Council recognises the important environmental and aesthetic qualities provided by trees and other vegetation, including street trees. Council endeavours to retain trees wherever possible and requires replacement trees where appropriate. All applications for vegetation removal are considered against the relevant legislative provisions, by Council staff.

For the proposed development of this site, please ensure all trees within the property and on adjoining properties (within 5m of works) are shown on plan and clearly indicated for removal or retention. An Arborist Report may not be essential.

CPS Comment: Several minor trees occur within the subject site which have been surveyed by CPS' AQF5 Consulting Arborists. The current Landscape Concept Plans are capable of being updated to show the location of each of these existing trees, which will be nominated for removal in replacement as part of the proposed works. There are no trees within the public domain or on adjoining properties that are within proximity to development.

A detailed Landscape Plan will be required to be submitted with the DA as per the site specific DCP. It must be completed by a suitably qualified Landscape Architect/Designer. Landscaping maintenance and replacement criteria (minimum 3 years) is required to be specified to ensure the establishment/survival of landscaping, replacement planting (where necessary) and weed removal.

CPS Comment: The above-mentioned Landscape Concept Plans have been prepared in accordance with DCP provisions and by CPS' experienced team of Landscape Architects. The current Landscape Concept Plans include general specification and maintenance requirements for the establishment of all landscaped areas.

Councils will expect street tree planting to be shown on the Landscape plan and has recently adopted the Central Coast Street Design Manual and accompanying set of Standard Drawings and Technical Specifications to guide public domain works and streetscape design. The manual identifies additional DA requirements at various stages of the development process.

CPS Comment: Whilst desirable, imitations on traffic sight lines dictate that street tree planting cannot be installed within the Beane Street verge.

Further, and given Keevers Lane directly abuts the southern and western boundaries of the subject site, there is no capacity to install typical street tree planting along these interfaces. Notwithstanding, the current design allows for the installation of several trees within the subject site which are closely located to each of these boundaries along Keevers Lane and, for all intents and purposes, will visually present as street trees.

URBAN DESIGN

The public domain on Keevers Lane is does not exhibit design excellence and is unacceptable. Public space is located beneath the buildings that extends to the kerb line and will receive little solar access. The street trees shown are in pots and located below the level 1 balconies. The building line should be reduced to ensure adequate solar access to the footpath.

CPS Comment: With regard to concerns raised regarding establishment of trees within this space, architectural amendments to the basement design have allowed for these trees to now be planted within dedicated deep soil areas. Level 1 balconies have also been rearranged so that they will not impede apical development for those trees specified.

The location of the proposed public space and associated implications for solar access will be addressed by Tony Owen Partners.

There is no deep soil on the site. The proposal must provide true deep soil zones for significant street trees on all street fronts. This will require a reduction in parking spaces, but the proposal provides 20 more than required so this can be achieved. The same issue arises with trees within the child care open space.

CPS Comment: As discussed above, architectural amendments to the basement design have allowed for a series of dedicated deep soil areas at the ground floor level – each of which can accommodate planting of deep-rooted species.

The formerly proposed Child Care Facility is no-longer a component of this development.

Street trees must have adequate space to reach maturity. The proposed location beneath the level 1 balconies will force them to grow into the road reserve where they will be damaged by trucks. The level 1 balconies must provide large breaks and upper-level balconies arranged to provide clear overhead space for trees up to 15 metres mature height.

CPS Comment: As discussed above, architectural amendments to the balcony design have allowed for trees to establish vertically. Refer to Drawing No. G981_LP_05 of the Landscape Concept Package which provide an elevation showing how the proposed trees and balconies are to interact.



The childcare open space will be in almost permanent shade. Communal open space and units overlooking the childcare open space is unacceptable and also has acoustic impacts on residential amenity.

CPS Comment: The formerly proposed Child Care Facility is no-longer a component of this development.

The green space on the southern corner is below level 1 and in permanent shade. It is highly unlikely anything will survive here. It should be allocated to something useful rather than token greenery.

CPS Comment: Architectural amendments to the Level 1 floor plate have been undertaken so that only a small percentage of this area remains underneath the built form above. Planting within this area will receive solar access from the north-west and west which is considered sufficient to facilitate the establishment of those plant species proposed.

Should you have any queries regarding the above, please do not hesitate to get in contact.

Sincerely,



Toby Piper
PRINCIPAL LANDSCAPE ARCHITECT
& CONSULTING ARBORIST
B.LArch
Dip. Arboriculture - AQF Level 5
AA Registered Consulting Arborist No.12352



6th November 2025

COMPANY DETAILS:

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ABN: *70 135 093 926*

Business Address: *Level 3, 397 Riley Street*

Suburb: *Surry Hills*

State: *New South Wales*

Post Code: *2010*

Office Phone: *02 8039 7461*

Office Fax: *n/a*

Email Address: *info@cpsplanning.com.au*

CPS