

Our Reference:

NW160037

Your Reference:

21 December 2021

Ethos Urban 173 Sussex Street SYDNEY QLD 2000

Attention: Claire Burdett

Dear Claire

Unit 10, Level 1 1 Maitland Place NORWEST NSW 2153

PO Box 7760 BAULKHAM HILLS NSW 1755

T 02 9634 6311 F 02 9438 5398

ENGINEERS

MANAGERS

INFRASTRUCTURE PLANNERS

DEVELOPMENT CONSULTANTS

Re: Costco Wholesale - Oakdale NSW

Stage 2B Development Application Submission

We write in reference to the proposed Stage 2B extension of the existing Costco warehouse at Ottelia Road, Oakdale.

The proposed building extension is slightly longer than that originally proposed in the Development Application for the current building under SSD 8209 MOD 2.

The bulk earthworks and retaining walls were constructed during the original Stage 1 works. The trunk stormwater pipes and water quality devices were also installed during the Stage 1 works in readiness for the stage 2B works.

The proposed site grading and stormwater drainage for the Stage 2B extension is as shown on the original civil Stage 1 development application drawings. Given that the detention and water quality basin was constructed off-site as part the overall subdivision stormwater treatment, the increase in building area does not materially change the stormwater outcomes from the original design.

The original Stage 1 Civil Development Application drawings and stormwater report is attached for reference.





Please contact the undersigned if you have any questions.

Yours faithfully,

ACOR Consultants Pty Ltd

Steven Wong

Principal Civil Engineer BE(Hons), MEngSc, MIEAust, CPEng NER RPEQ

Attachments:

NW160037 – DAC1.01 – General Arrangement Plan

NW160037 - DAC1.11 - Stormwater Catchment Plan

NW160037 - DAC2.01 - Siteworks Plan - 1 of 6

NW160037 - DAC2.02 - Siteworks Plan - 2 of 6

NW160037 - DAC2.03 - Siteworks Plan - 3 of 6

NW160037 - DAC2.04 - Siteworks Plan - 4 of 6

NW160037 - DAC2.05 - Siteworks Plan - 5 of 6

NW160037 - DAC2.06 - Siteworks Plan - 6 of 6

NW160037 - DAC3.01 - Sitework Sections Sheet 1 of 2

NW160037 - DAC3.02 - Sitework Sections Sheet 2 of 2

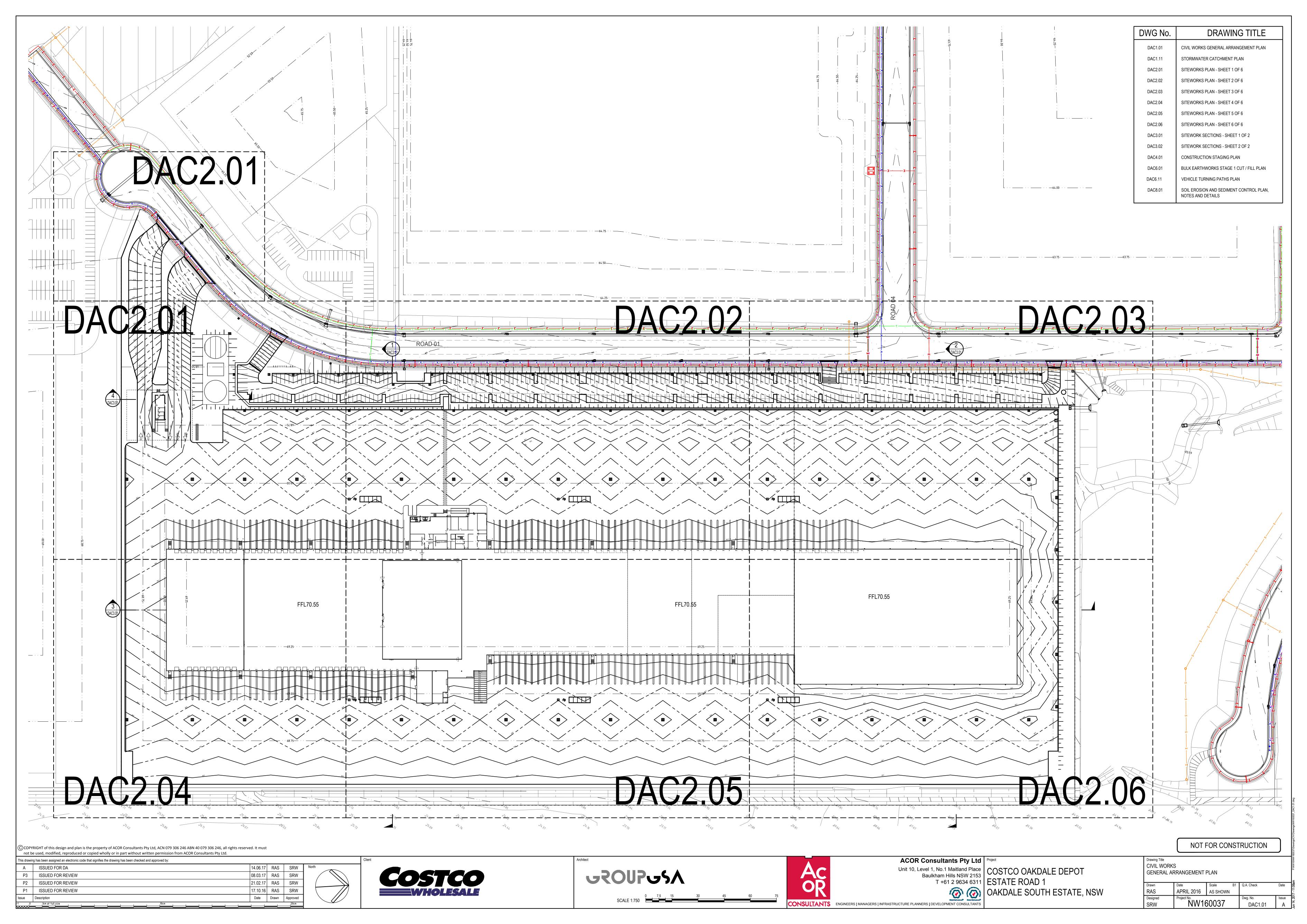
NW160037 - DAC4.01 - Construction Staging Plan

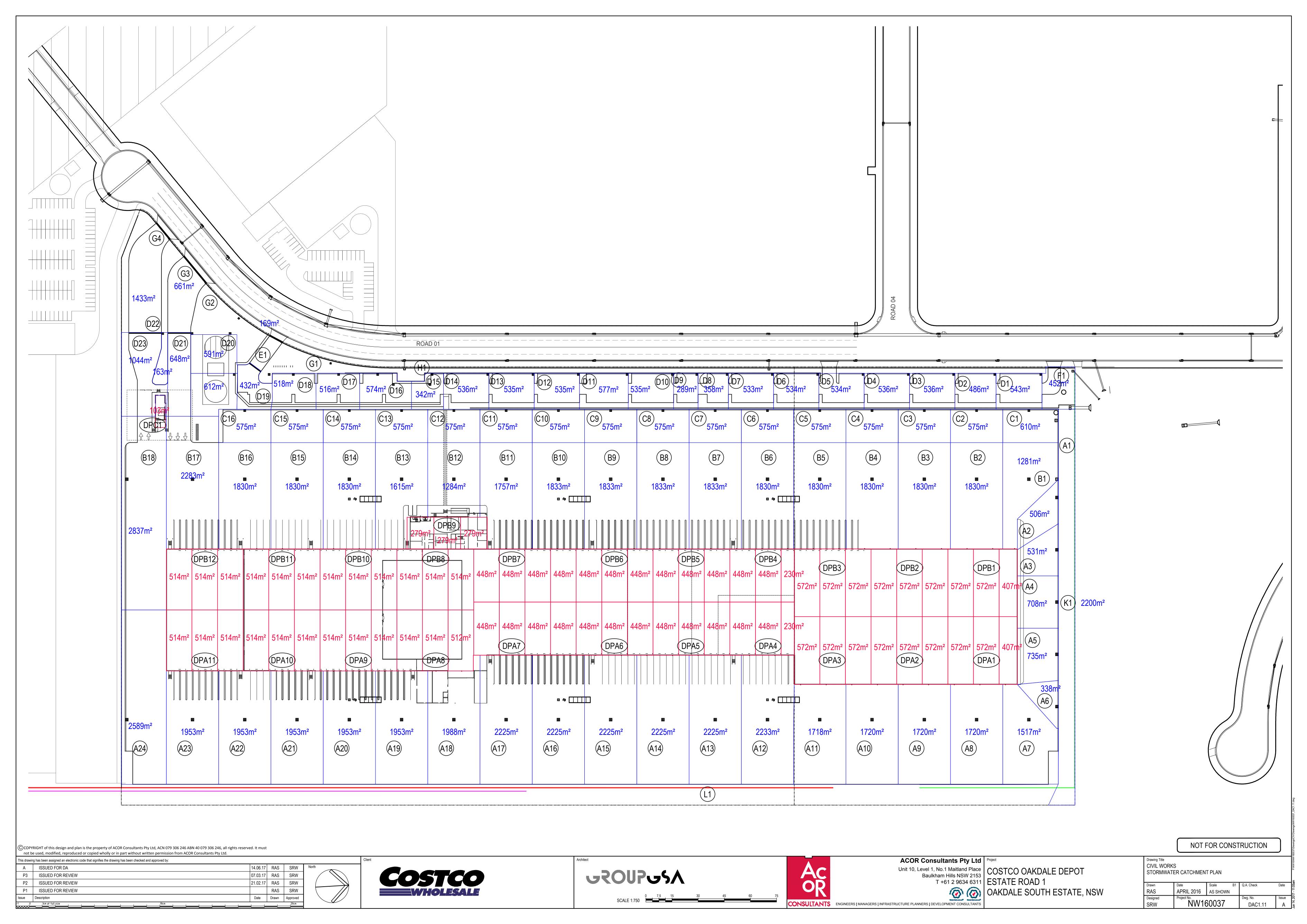
NW160037 – DAC6.01 – Bulk Earthworks Cut / Fill Plan

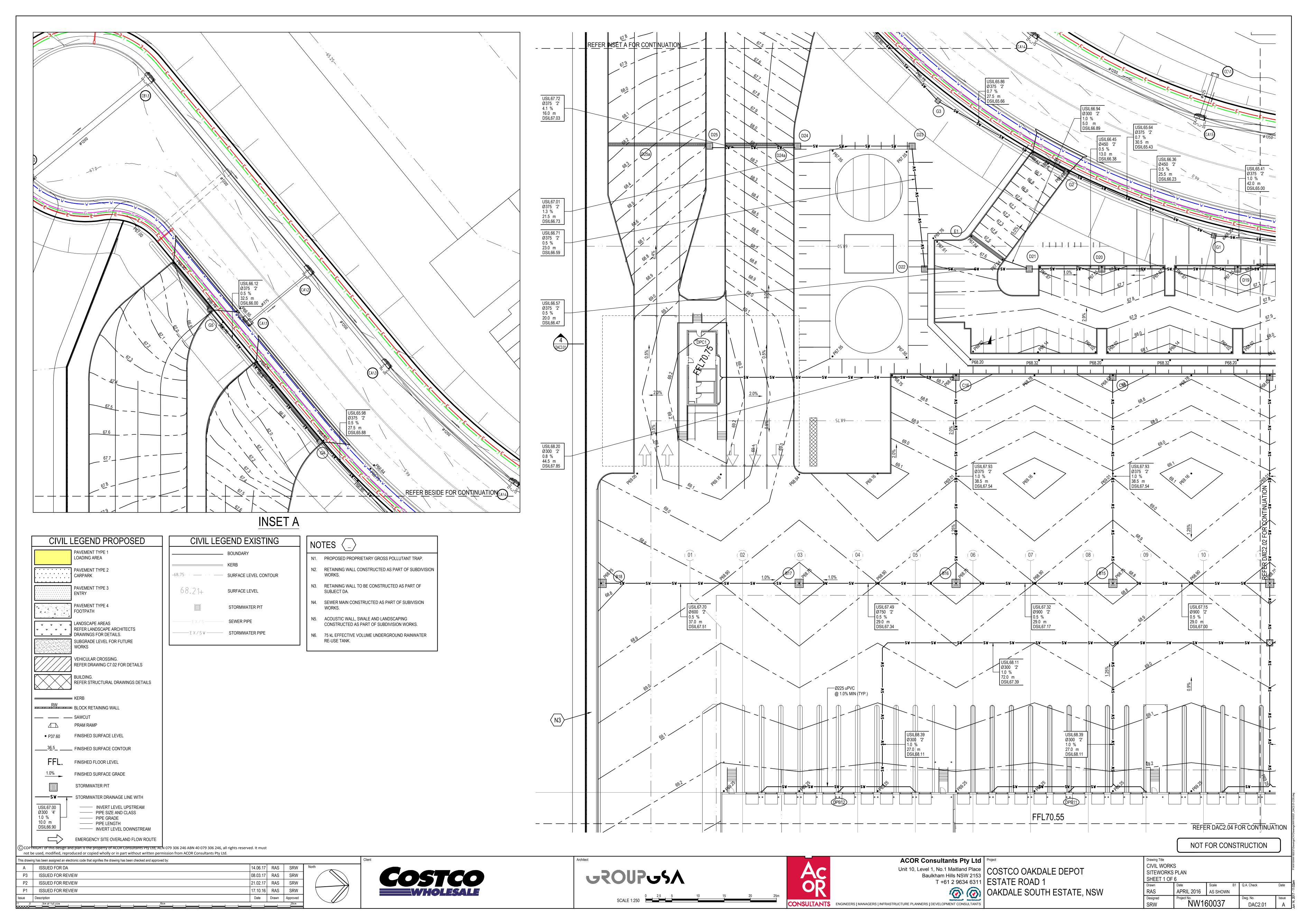
NW160037 - DAC6.11 - Vehicle Turning Paths Plan

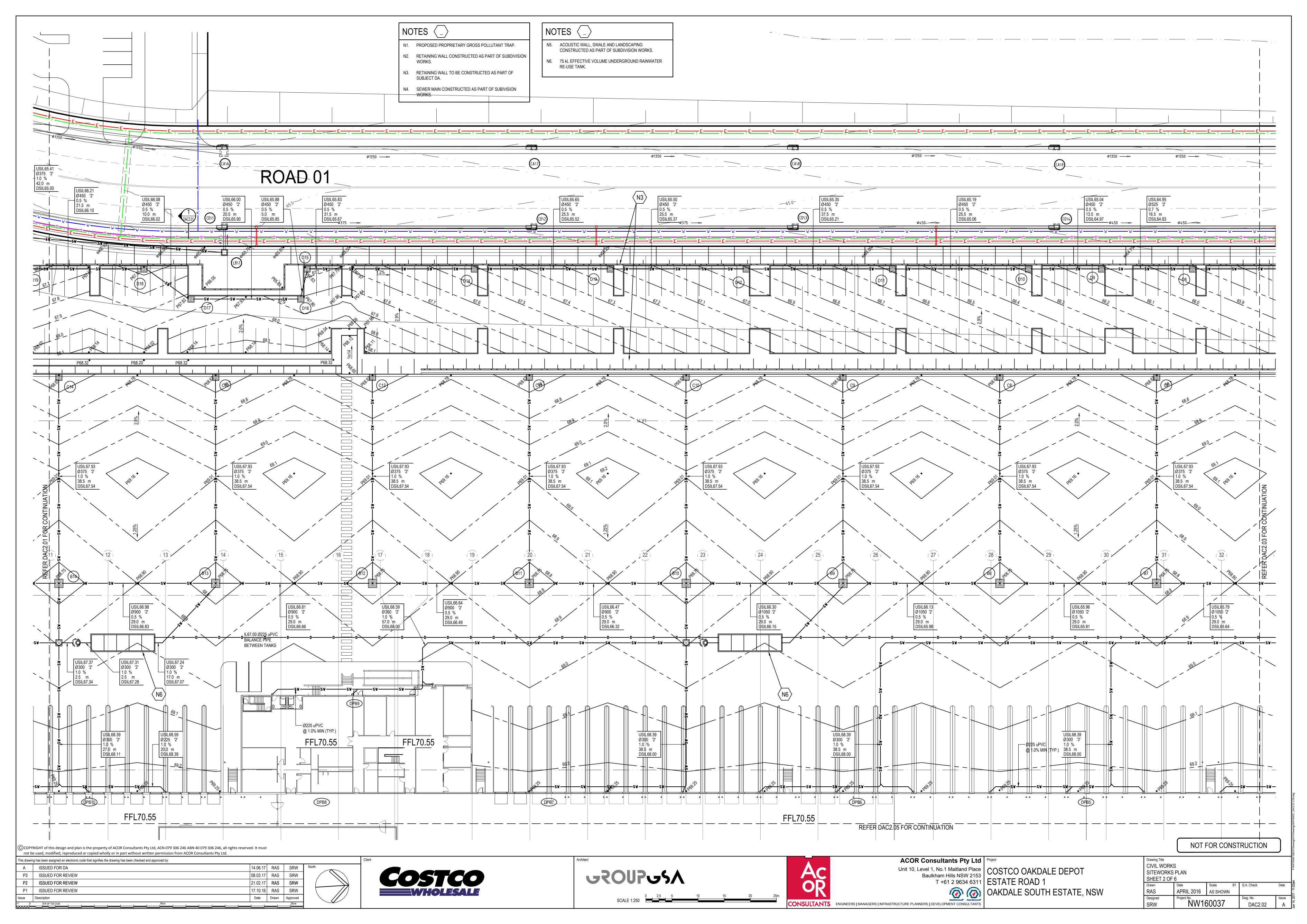
NW160037 - DAC8.01 - Soil and Erosion Control Concept Plan, Notes and Details

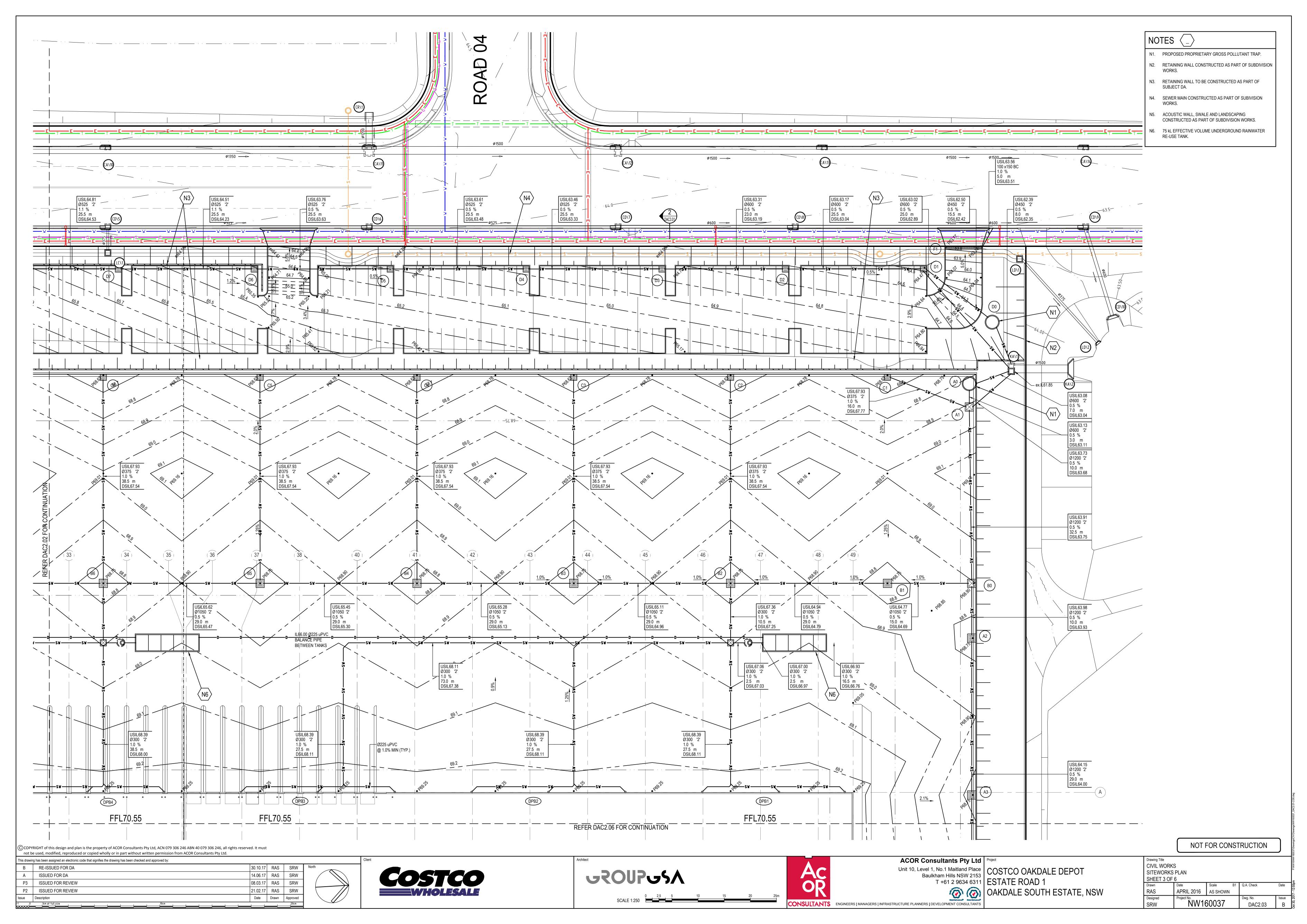
Stormwater Management Plan

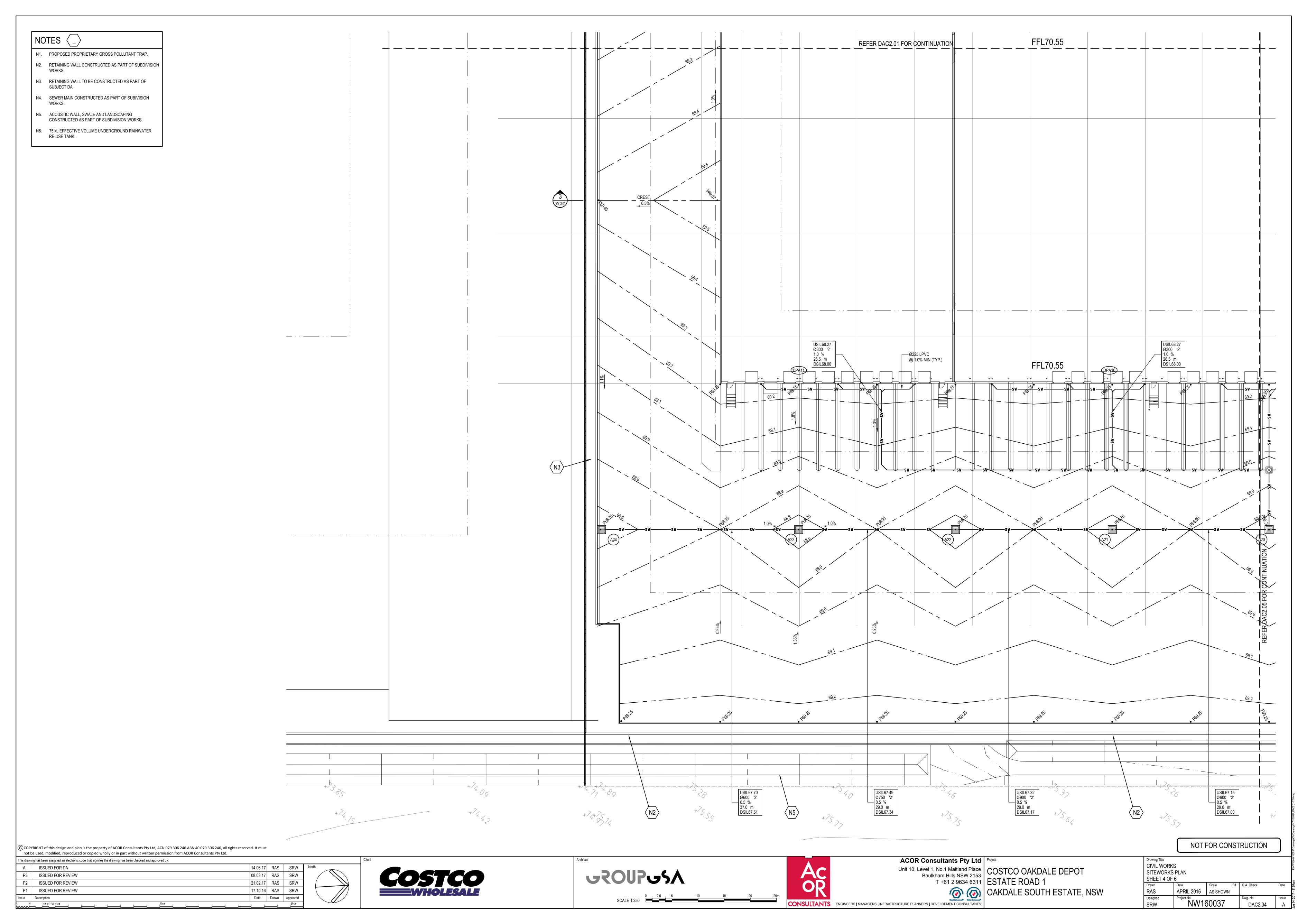


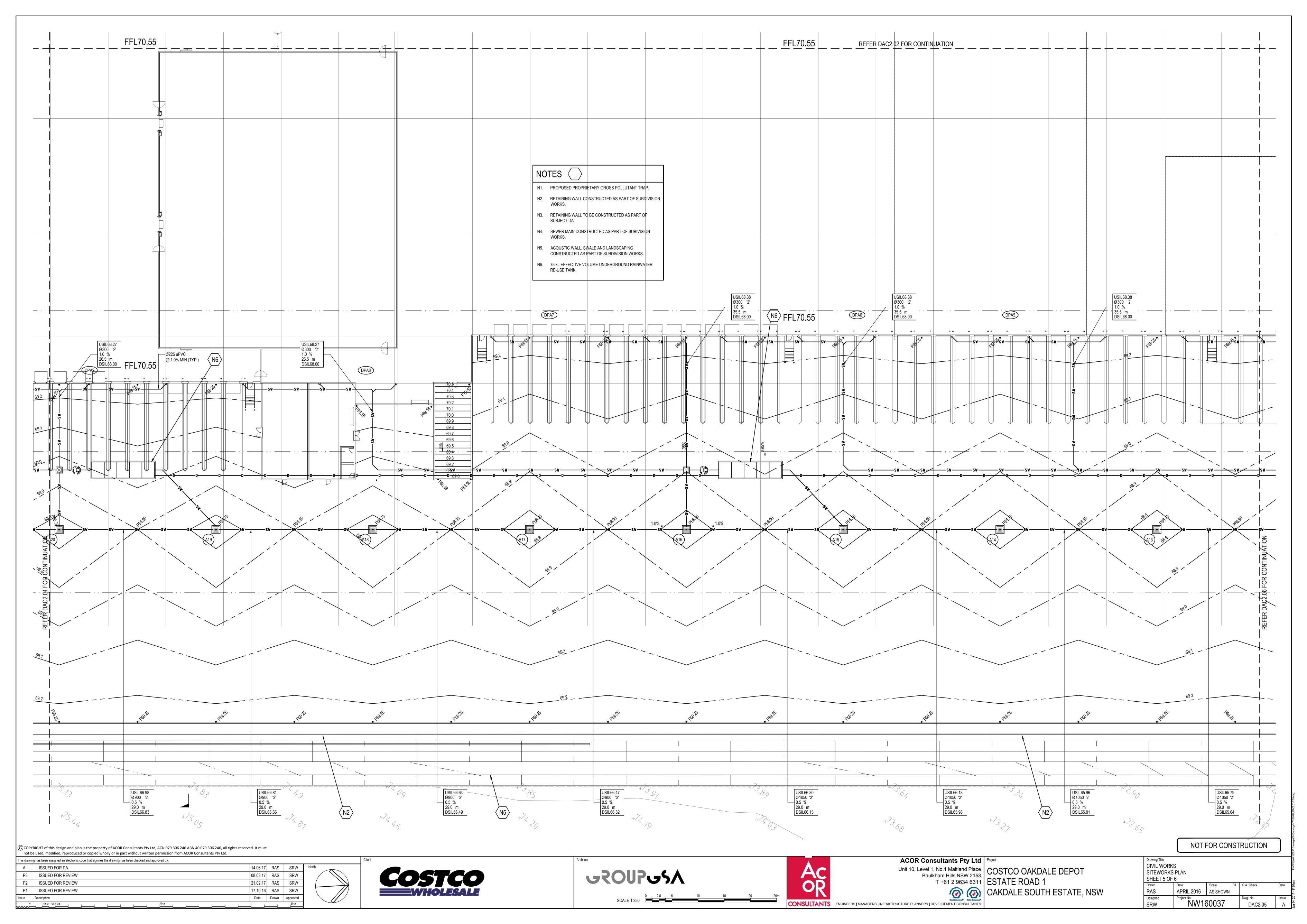


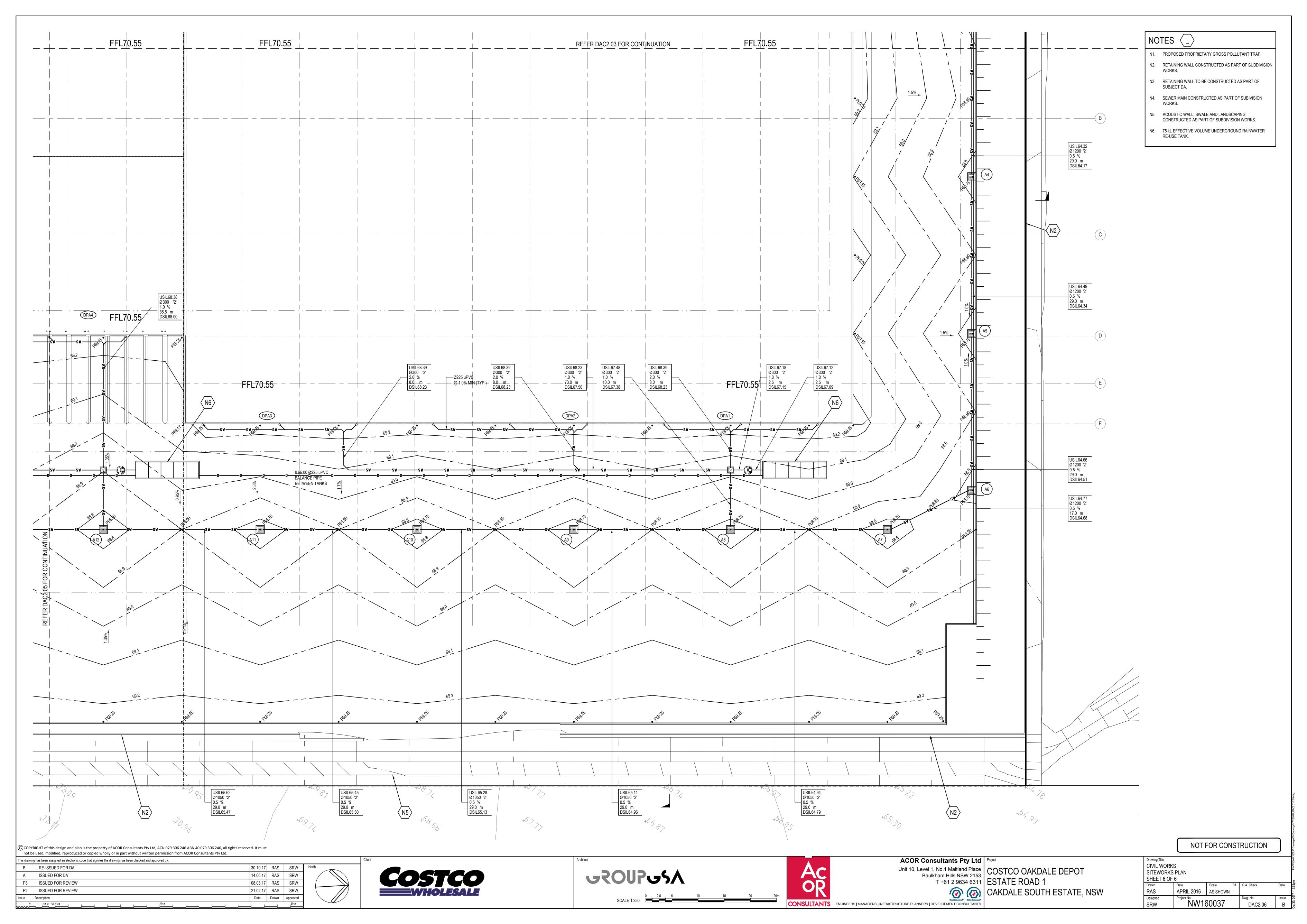


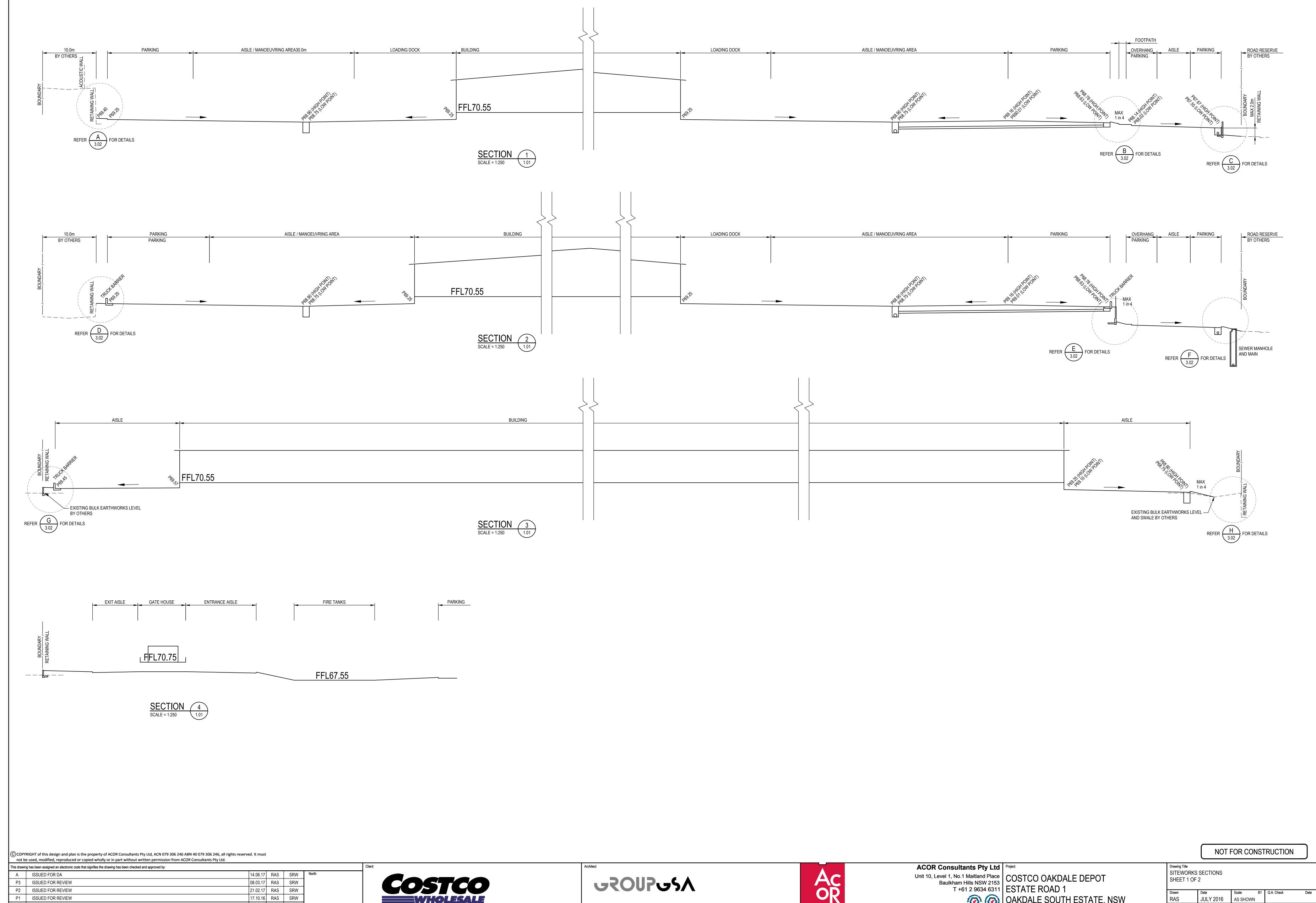












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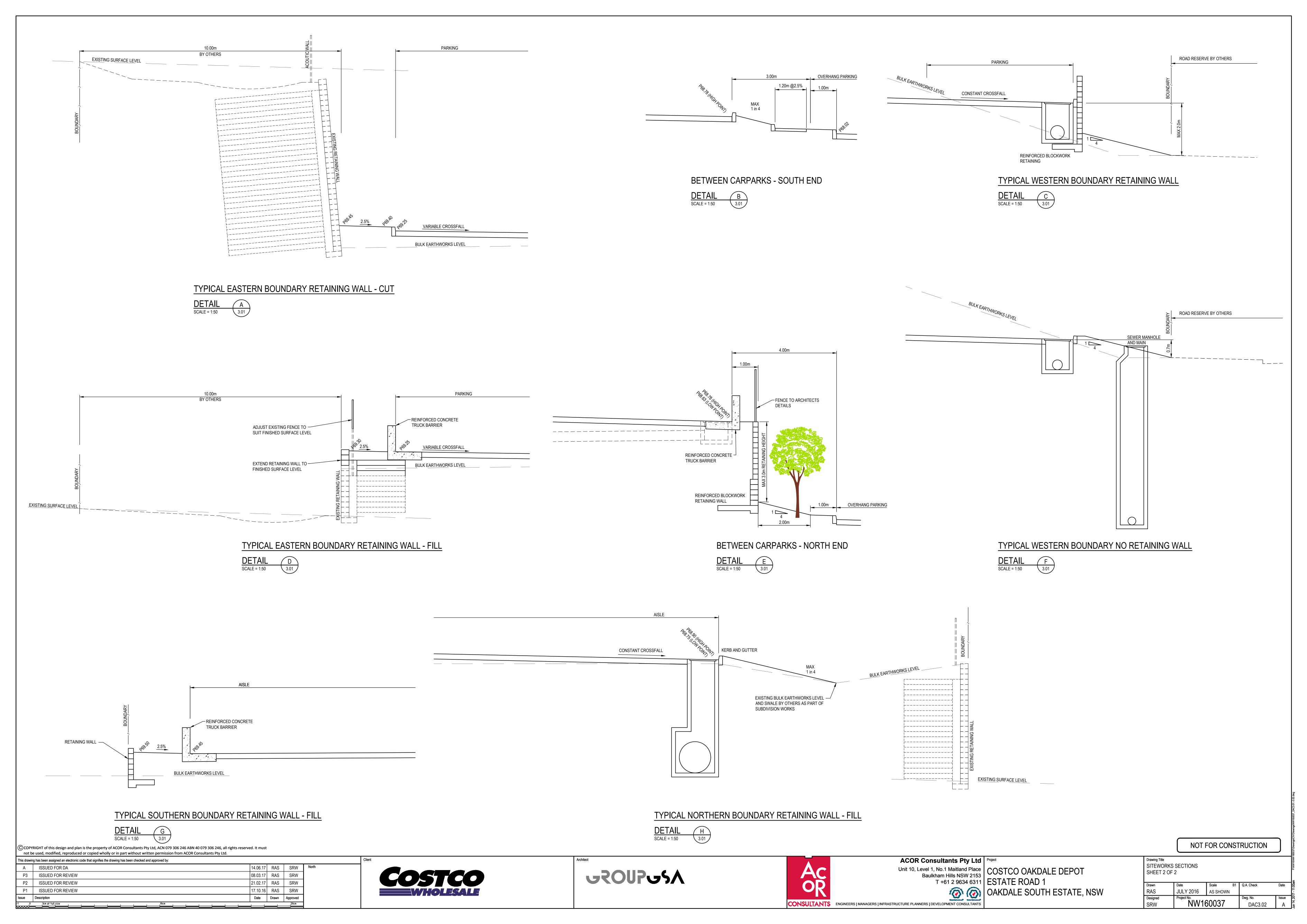
P1 ISSUED FOR REVIEW

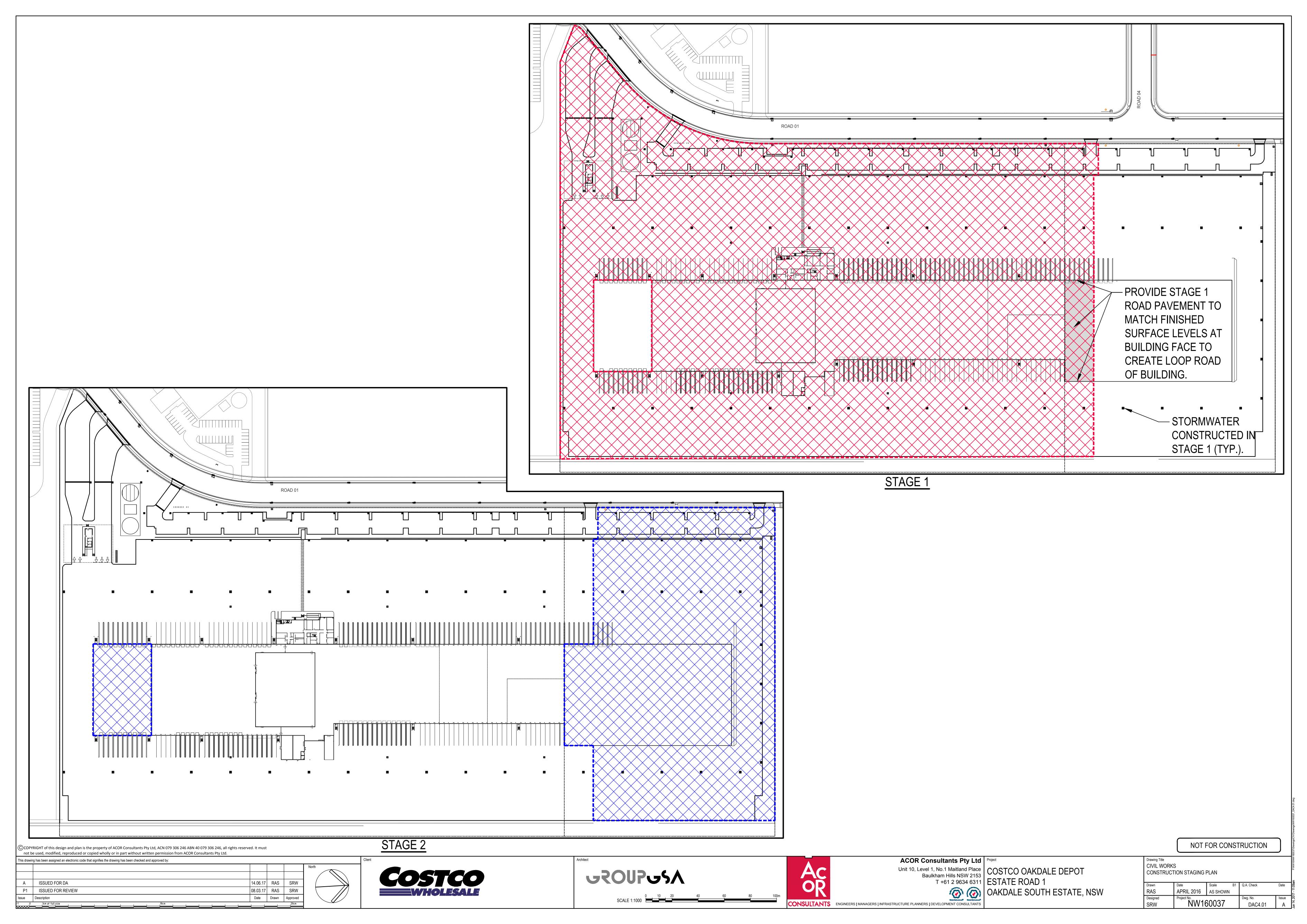
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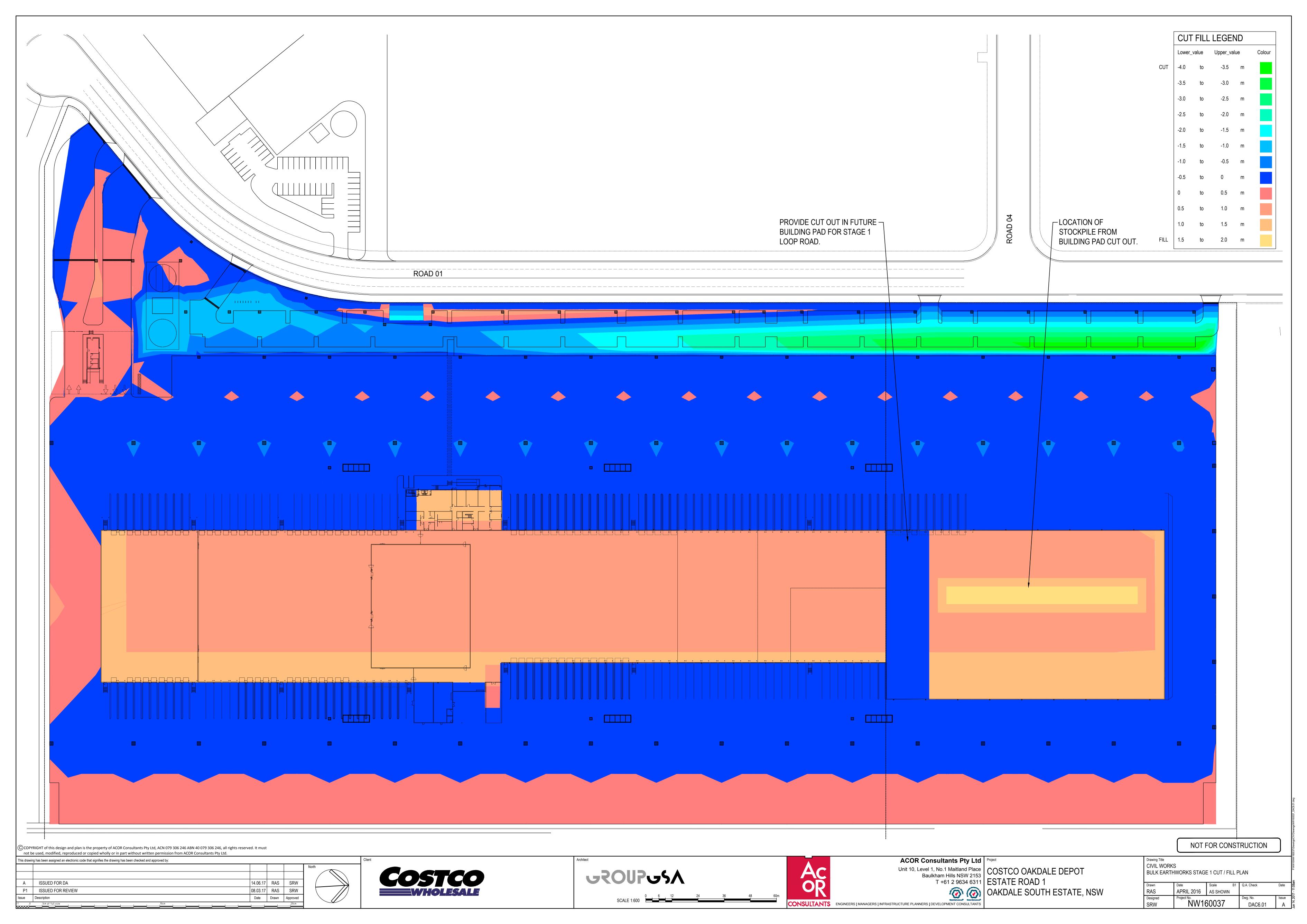
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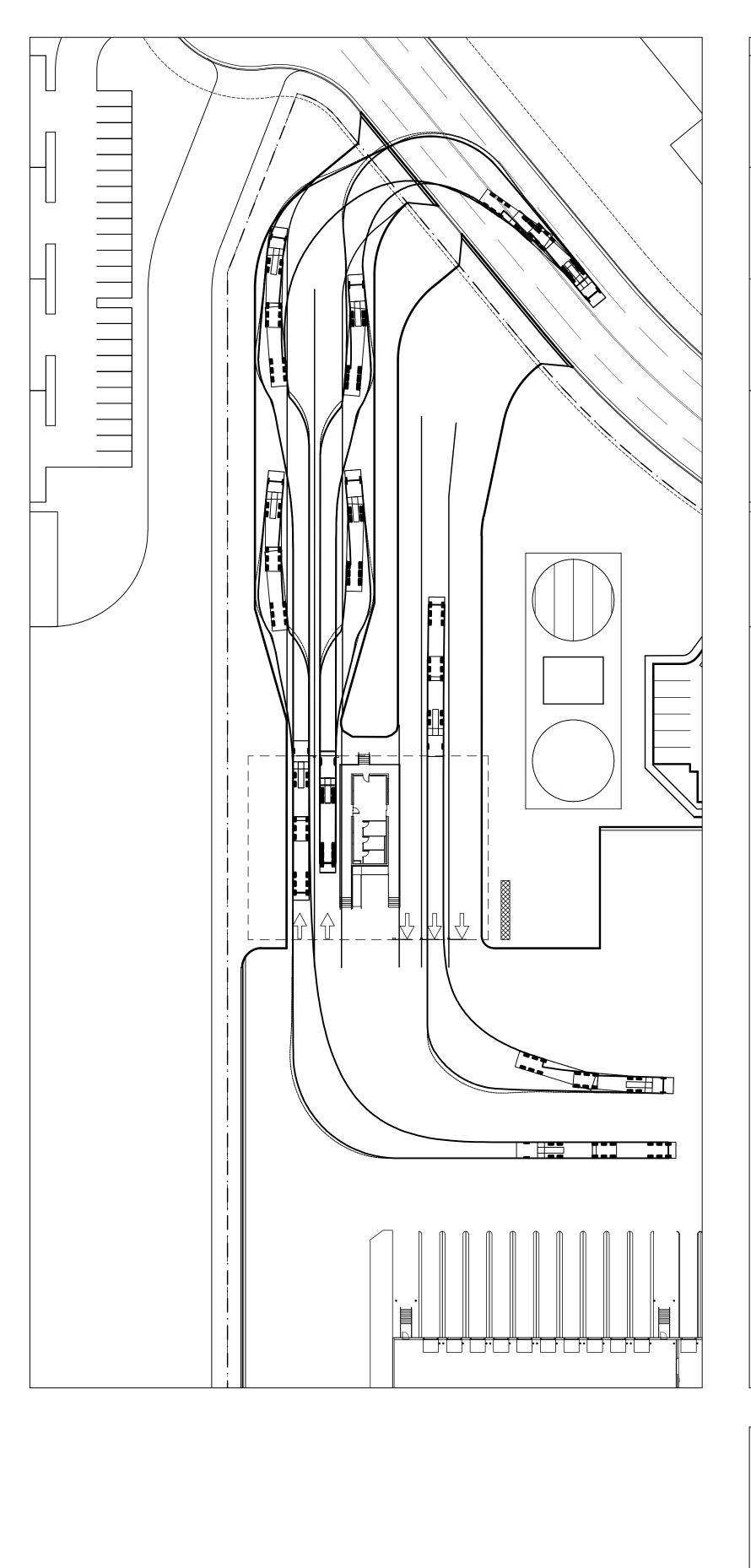
Unit 10, Level 1, No.1 Maitland Place
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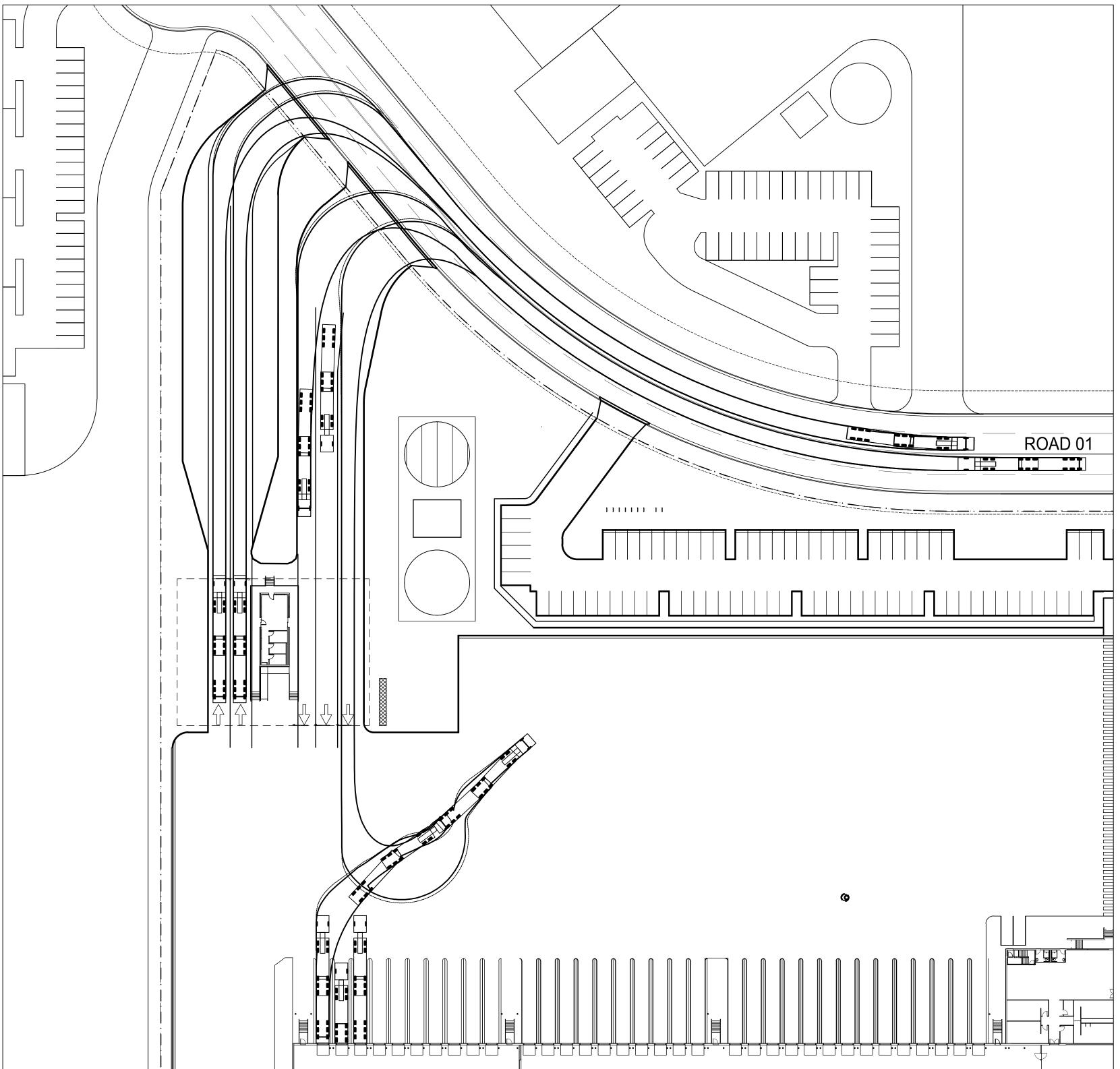
COSTCO OAKDALE DEPOT
ESTATE ROAD 1 SHEET 1 OF 2 OAKDALE SOUTH ESTATE, NSW RAS
Designed
SRW JULY 2016 AS SHOWN NW160037 DAC3.01 CONSULTANTS ENGINEERS | MANAGERS | INFRASTRUCTURE PLANNERS | DEVELOPMENT CONSULTANTS

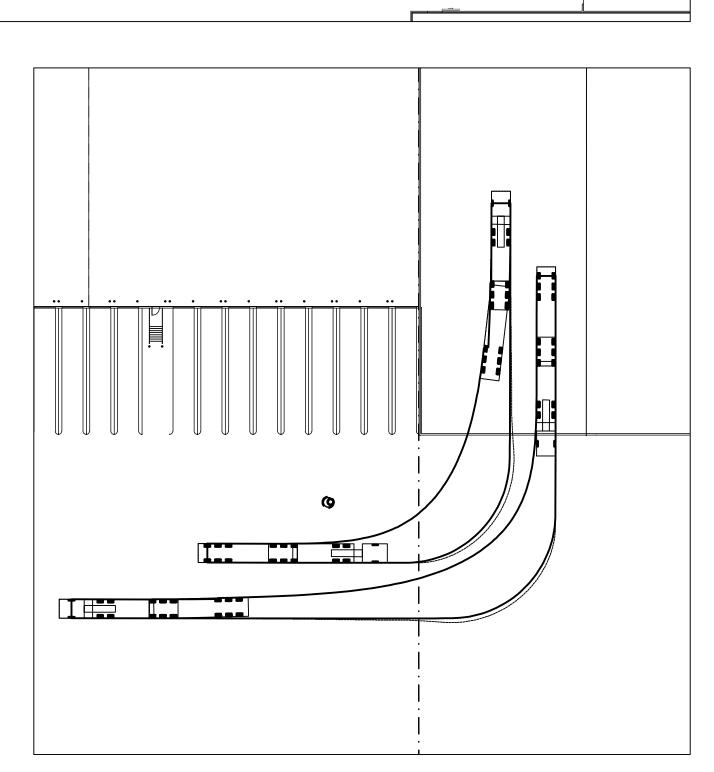


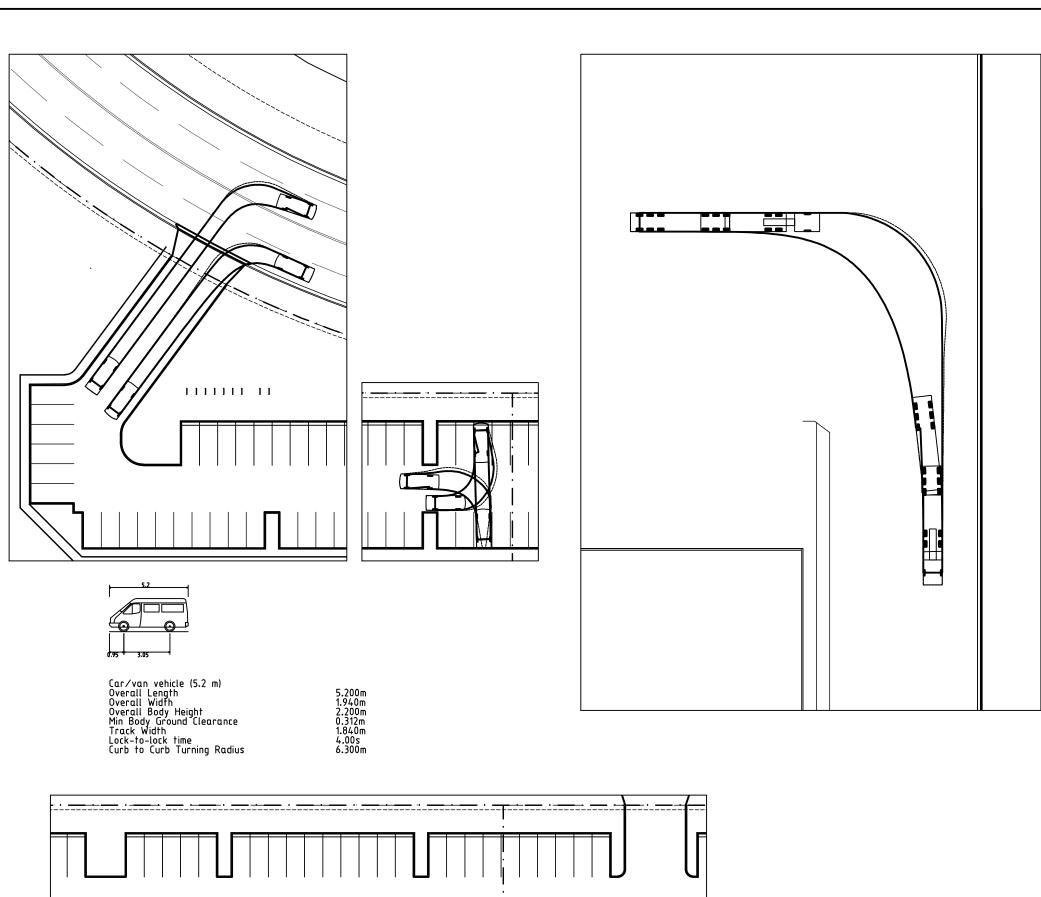


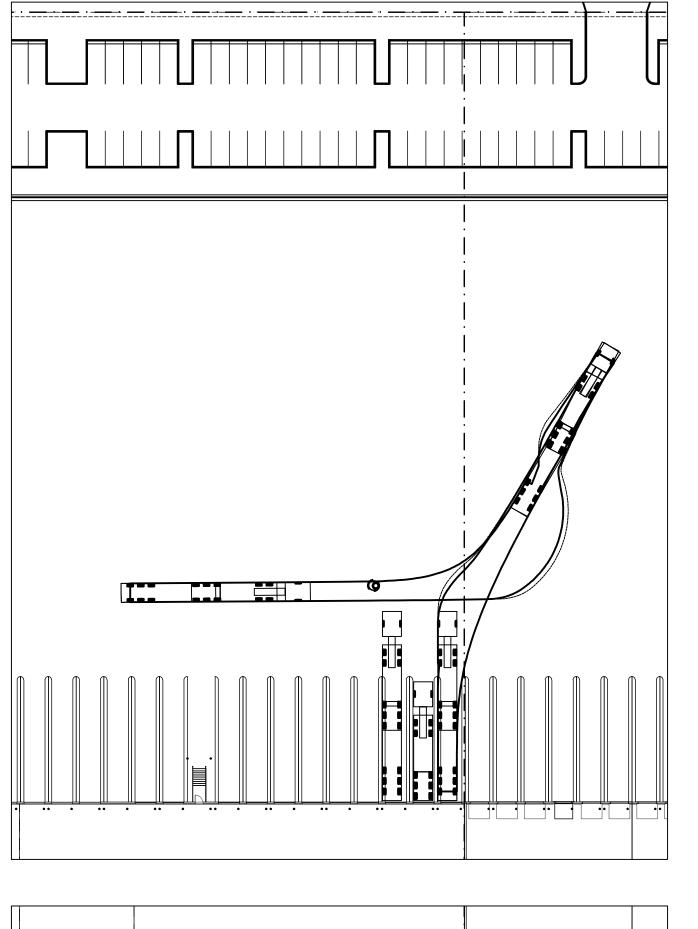


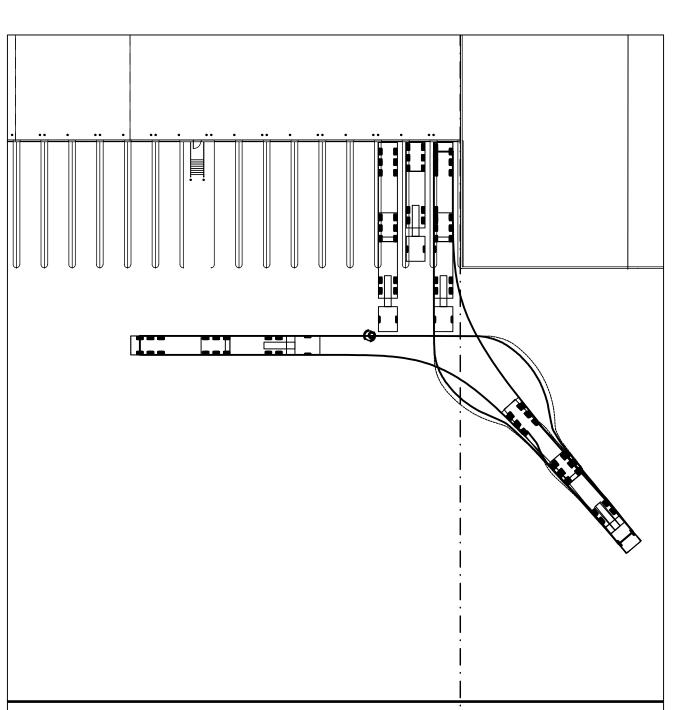


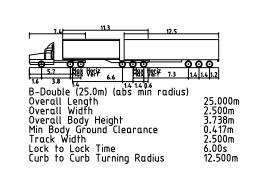


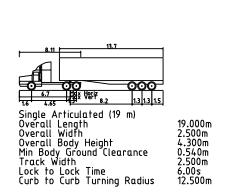










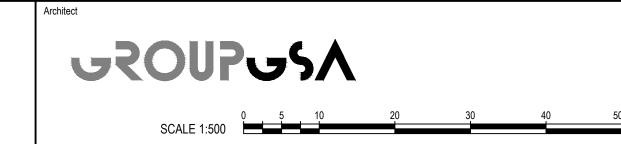


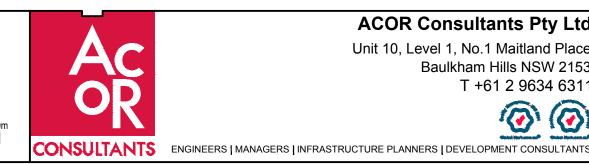
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ACOR Consultants Pty Ltd Project

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COSTCO OAKDALE DEPOT
ESTATE ROAD 1 OAKDALE SOUTH ESTATE, NSW

NOT FOR CONSTRUCTION Drawing Title
CIVIL WORKS VEHICLE TURNING PATH PLAN

APRIL 2016 AS SHOWN Dwg. No.
DAC6.11 NW160037

