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**Report on Preliminary Site  
(Contamination) Investigation**

**Proposed Mixed Use Development**

**138 Maroubra Road, Maroubra**

**Prepared for Maroubra Property  
Developments Pty Ltd**

**Project 20854.02**

**11 June 2025**

## Document History

### Details

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### Status and Review

<b>Status</b>	<b>Prepared by</b>	<b>Reviewed by</b>	<b>Date issued</b>
Revision 0	Henri Dubourdieu	Mike Nash	9 November 2022
Revision 1	Henri Dubourdieu	Mike Nash	10 November 2022
Revision 2	Phi Quoc Huy Tran	Paul Gorman	11 June 2025

### Distribution of Copies

<b>Status</b>	<b>Issued to</b>
Revision 0	James Lambert, Maroubra Property Developments Pty Ltd
Revision 1	James Lambert, Maroubra Property Developments Pty Ltd
Revision 2	Leigh Manser, Maroubra Property Developments Pty Ltd

The undersigned, on behalf of Douglas Partners Pty Ltd, confirm that this document and all attached drawings, logs and test results have been checked and reviewed for errors, omissions and inaccuracies.

### Signature

### Date

<b>Author</b>	p.p. 	11 June 2025
<b>Reviewer</b>		11 June 2025

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# **Report on Preliminary Site (Contamination) Investigation Proposed Mixed Use Development 138 Maroubra Road, Maroubra**

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## **1. Introduction**

Douglas Partners Pty Ltd (DP) has been engaged by Maroubra Property Developments Pty Ltd to complete this preliminary site (contamination) investigation (PSI) undertaken for a proposed mixed-use development for the site at 138 Maroubra Road, Maroubra (the site). The site is shown on Drawing 1, Appendix A.

The investigation was undertaken in accordance with DP's proposal 20854.01.P.001.Rev0 dated 6 October 2022.

The objective of the PSI was to assess the potential for contamination at the site based on past and present land uses and to comment on the need for further investigation and/or management with regard to the proposed development. It is understood that the report will be used to support a development application for the proposed development.

This report must be read in conjunction with all appendices including the notes provided in Appendix B.

The following key guidelines were consulted in the preparation of this report:

- NEPC National Environment Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013) [NEPM] (NEPC, 2013); and
- NSW EPA Guidelines for Consultants Reporting on Contaminated Land (NSW EPA, 2020).

DP has also concurrently completed a geotechnical desktop assessment at the site as reported in DP report titled 'Report on Geotechnical Desktop Assessment, 138 Maroubra Road, Maroubra', DP ref: 20854.01.R.001.Rev0 dated November 2022 (DP, 2022).

This revised report has been amended to reflect the current proposed development, and supersedes the previous version (report no. 20854.02.R.001.Rev1).

## 2. SEARs Declaration: Mixed-use development with in-fill affordable housing at 138 Maroubra Road, Maroubra

Declaration		
Name	Phi Quoc Huy Tran	
Qualification	BSc Environmental earth science and ecology, licensed asbestos assessor	
	The undersigned declares that this preliminary site investigation report has been prepared in response to the following SEARs requirements issued for the Project on 10 June 2025 for SSD-81426710.	
SEARs item no.	SEARs Requirements	Relevant section of this Report
13.02	<p><b>Contamination and Remediation</b></p> <p>In accordance with Chapter 4 of the State Environmental Planning Policy (Resilience and Hazards) 2021, assess and quantify any soil and groundwater contamination and demonstrate that the site is suitable (or will be suitable, after remediation) for the development.</p>	<p>This report in its entirety; as stage 1 of the assessment process informing a subsequent detailed site investigation.</p>
Signed		
Dated		

## 3. Proposed development

The current proposed development is an eight-storey building containing:

- A single carpark basement, using the current basement level with the following modifications:
  - o Overall basement is proposed to have 150mm depth removed from the underside of the slab; and
  - o The northern section of the basement will have 750mm removed from the underside of the slab.
- Ground level retail / utilities rooms;
- Level 1 mixed-use parking and residential units;
- The remaining levels containing residential units; and
- Rooftop communal garden and plant room.

Updated plans were provided to Douglas at time of writing this report and are included in Appendix A.

#### 4. Scope of works

The scope of works for the PSI included the following:

- Review of proposed development details;
- Review of published geological, soil, acid sulfate soil, hydrogeological and topographical maps;
- Review of historical aerial photographs;
- Acquisition and review of the Section 10.7 Planning Certificates (2) & (5) for each Lot;
- Acquisition and review of records held by SafeWork NSW pertaining to the storage of dangerous goods;
- Review of council records available through the GIPA Act;
- Acquisition and review of historical title deeds for each Lot;
- Review of publicly available databases including EPA Notices, Licences and WaterNSW registered groundwater bore records;
- A site walkover (of publicly accessible areas) to observe the current land use and possible sources of contamination; and
- Preparation of this PSI report which documents the findings of the investigation, identifies areas of concern and makes recommendations for subsequent investigations.

#### 5. Site information

Site Address	138 Maroubra Road, Maroubra
Legal Description	Lots 1 & 2, Deposited Plan 506844
Approximate Site Area	1500 m <sup>2</sup>
Zoning	Zone B2 Local Centre
Local Council Area	Randwick City Council
Current Use	Vacant commercial building with basement
Surrounding Uses	North - Piccadilly Place, then mixed use apartments East - Mixed use apartments South - Maroubra Road, then residential and commercial / retail West - Maroubra Police Station, then Bruce Bennetts Place, then mixed use apartments

## 6. Environmental setting

### 6.1 Topography

Regional topography is variable, with a hill to the east and smaller crests to the north and west. Topography to the south and south-west falls gently towards Port Botany and Botany Bay. The site is relatively flat and is approximately 26 m relative to Australian Height Datum (AHD).

### 6.2 Site geology

Published mapping indicates that the site is underlain by Quaternary age medium to fine grained marine sand with podsol, with unit thickness generally 1 to 6 m. The site is located on Botany Sands, which is an unconfined aquifer with large groundwater capacity and highly variable groundwater levels.

### 6.3 Acid sulfate soils

Published acid sulfate soils (ASS) risk mapping indicates that the site has an extremely low probability of ASS occurrence. Given that the provided development plans indicate that the current basement will be utilised and no substantial excavation will occur. It is considered unlikely that as ASS risk will occur.

### 6.4 Surface water and groundwater

No surface water is present on the site. The nearest water body to the site is a pond in Randwick Environment Park, approximately 1.2 km north-east (upgradient). Maroubra Beach is located approximately 2 km south-east of the site. Downgradient of the site are two unnamed creeks (approximately 2.1 km south-west) and Bunnerong Creek (approximately 2.3 km south), which appear to flow into Botany Bay.

A search of the publicly available registered groundwater bore database indicated that there are numerous registered groundwater bores near the site, many of which are for domestic use. Four groundwater bores from within 250 m of the site are summarised in Table 1.

**Table 1: Summary of Available Information from Nearby Registered Groundwater Bores**

<b>Bore ID Authorised Purpose Completion Year Status</b>	<b>Location Relative to Site</b>	<b>Final Depth (m)</b>	<b>Standing Water Level (m bgl)</b>
GW025730 Domestic bore	230 m north	6.40	4.80
GW109112 Domestic bore	220 m north-west	14.00	No record
GW107806 Domestic bore	130 m north-west	9.50	No record
GW108931 Domestic bore	165 m south-west	14.95	10.675

Based on the regional topography, groundwater bore data, and the inferred flow direction of nearby water courses, the anticipated flow direction of groundwater beneath the site is to the south or south-west, towards Botany Bay, the likely receiving surface water body for the groundwater flow path. Given the local geology (i.e. Botany Sands) and the widespread use of domestic bores in the area, the groundwater beneath the site is anticipated to be relatively fresh and high yield. Accordingly, potential beneficial uses could include irrigation or drinking water, although the future use of the groundwater for these purposes in the vicinity of the site is considered unlikely given the urban setting.

## 7. Site history

### 7.1 Historical aerial photography

Several historical aerial photographs were obtained from public databases. Extracts of the aerial photographs are included in Appendix C. A summary of key features observed for the site and surrounding land is presented in Table 2.

**Table 2: Summary of Historical Aerial Photographs**

Year	Site	Surrounding Land Use
1943	The site appeared to be part of a vacant grassed area, with some possible footpaths crossing the site.	To the north, west and south were low density residential buildings, and to the east were some commercial buildings. The roads surrounding the site resembled those currently near the site.
1951, 1961	No significant changes were observed when compared with the 1943 aerial photograph.	Some commercial development appeared to occur to the east of the site, across Anzac Parade.
1975	A building appeared to have been constructed on the southern half of the site, with a car park in the northern half of the site. Low image resolution precluded a detailed assessment.	Larger, possibly commercial buildings appeared to have been constructed adjacent to the site (east and west). Some commercial development also appeared to have occurred further to the east.
1986	No significant changes were observed when compared with the 1975 aerial photograph.	A large building with rooftop car parking was constructed to the north of the site, across Piccadilly Place.
2000	The building in the southern half of the site appeared to be replaced with a building occupying the majority of the site area, and resembled the current site.	The two mixed use developments west of Bruce Bennetts Place appeared to have been constructed.
2011, 2022	No significant changes were observed when compared with the 2000 aerial photograph.	A series of mixed-use developments appeared to have been constructed near the site, to the north and east.

## 7.2 Title deeds

A historical title deeds search was used to obtain ownership and occupancy information including company names and the occupations of individuals. The title information can assist in the identification of previous land uses by the company names or the site owners and can, therefore, assist in establishing whether there were potentially contaminating activities occurring at the site. The results of the title deed search are provided in Appendix D. A summary of the title deeds and possible land uses (with reference to the aerial photographs and other historical searches) is presented in Table 3. It is noted that title deeds for the site do not closely reflect other site history sources and as such, have not been significantly relied upon in this investigation.

**Table 3: Historical Title Deeds**

Date of Acquisition and Term Held	Registered Proprietor(s) & Occupations	Inferred Land Use
21.05.1898	Within the Suburban Boundaries of the City of Sydney	Unknown
09.08.1935	Reserve No. 1985 from Miners Residence or Business Licence	Unknown
05.12.1947 (1947 to 1995)	The Council of the Municipality of Randwick	Unknown
13.07.1995 (1995 to Date)	# Bonrill Pty Limited	Commercial

## 7.3 Public registers and planning records

EPA Notices available under Section 58 of the Contaminated Lands Management Act (CLM Act) [Database searched 1 November 2022]	There were no records of notices for the site or adjacent sites.
Sites notified to EPA under Section 60 of the CLM Act [Database searched 1 November 2022]	The site and adjacent sites were not listed as a notified contaminated site.
Licences listed under Section 308 of the Protection of the Environment Operations Act 1997 (POEO Act) [Database searched 1 November 2022]	There were no records issued to the site or adjacent sites.
Planning Certificate [Dated 11 October 2022]	The planning certificate for the site (refer Appendix E) indicates that the land is not significantly contaminated land within the meaning of the Contaminated Land Management Act 1997.

<p>Council Records [Inspected 1 November 2022, copies received 7 November 2022]</p>	<p>Records relating to the site were inspected at Randwick City Council on 1 November 2022. Inspected documents included development applications, building design documents, drawings and compliance documentation. The records suggested that previous uses of the site included a service station and Centrelink. Randwick City Council allowed a limited number of key documents to be viewed and scanned (refer Appendix F) and include:</p> <ul style="list-style-type: none"> <li>• A Development Application indicating that the site was used as a service station in 1978;</li> <li>• Historical photographs of the service station; and</li> <li>• A design drawing that resembles the historical layout of the site titled 'Proposed Addition and Alteration to Existing Service Station'.</li> </ul>
<p>SafeWork NSW [Results received 2 November 2022]</p>	<p>A SafeWork NSW hazardous chemicals search for the site (refer Appendix G) revealed the following:</p> <ul style="list-style-type: none"> <li>• A record (dated 9 February 1996) indicating that two underground storage tanks located at the adjacent police station (134 Maroubra Road) had been filled with an inert solid material, sand or concrete.</li> </ul>

#### 7.4 Site history integrity assessment

The information used to establish the history of the site was sourced from reputable and reliable reference documents, many of which were official records held by Government departments / agencies. The databases maintained by various Government agencies potentially can contain high quality information, but some of these do not contain any data at all.

In particular, aerial photographs can provide high quality information that is generally independent of memory or documentation. They are only available at intervals of several years, so some gaps exist in the information from this source. The observed site features are open to different interpretations and can be affected by the time of day and/or year at which they were taken, as well as specific events, such as flooding. Care has been taken to consider different possible interpretations of aerial photographs and to consider them in conjunction with other lines of evidence. As noted above, title deeds for the site do not closely reflect other site history sources and as such, have not been significantly relied upon in this investigation.

#### 7.5 Summary of site history

The site history information suggests that the site was acquired by the current owners in 1995 from the Council of the Municipality of Randwick (now Randwick City Council). Historical aerial photographs indicate that the site was part of a larger open grassed area from 1943 until 1961 and was initially developed between 1961 and 1975; council records suggest that this initial development was a service station.

Historical aerial photographs indicate that the site was then redeveloped between 1986 and 2000, and council records suggest that this was a commercial development used by Centrelink.

SafeWork records suggest that the adjacent police station at 134 Maroubra Road has historically had USTs, and that some or all of these USTs have been decommissioned and left *in situ*.

Moreover, given the previous reported use of the site (at 138 Maroubra Road) as a service station (from viewed Council records), it is highly likely that USTs were also present at the subject site. However, it is also possible that these were removed during construction of the current commercial building (which includes a basement), which replaced the service station.

## 8. Site walkover

A site walkover was undertaken by an environmental scientist in publicly accessible areas of the site on 1 November 2022. The general site topography was consistent with that described in Section 5.1. The site layout appears to have remained unchanged from the aerial photograph in Drawing 1, Appendix A. The following key site features pertinent to the PSI were observed (refer to photographs in Appendix H):

- The site appeared to be a vacant commercial building (Photographs 1 and 2);
- The site and neighbouring sites had basement car parking levels (Photographs 3 and 4);
- Near the southern boundary of the site was a transformer (Photograph 5);
- The neighbouring site to the west was a police station with on-site parking /garaging (Photograph 6);
- To the west and east of the site were dry cleaning businesses (Photographs 7 and 8); and
- To the south-west of the site was a Beaurepairs tyre shop, which may have also been used for vehicle servicing (Photograph 9).

## 9. Preliminary conceptual site model

A Conceptual Site Model (CSM) is a representation of site-related information regarding contamination sources, receptors and exposure pathways between those sources and receptors. The CSM provides the framework for identifying how the site became contaminated and how potential receptors may be exposed to contamination either in the present or the future i.e. it enables an assessment of the potential source - pathway - receptor linkages (complete pathways).

### Potential sources

Based on the current investigation, the following potential sources of contamination and associated contaminants of potential concern (COPC) have been identified.

- S1: Fill: Associated with levelling, demolition of former buildings on the site and potential burying of waste:
  - o COPC include metals, total recoverable hydrocarbons (TRH), benzene, toluene, ethylbenzene, xylene (BTEX), polycyclic aromatic hydrocarbons (PAH), polychlorinated biphenyls (PCB), organochlorine pesticides (OCP), phenols and asbestos.

- S2: Former buildings:
  - o COPC include asbestos, synthetic mineral fibres (SMF), lead and PCB.
- S3: Existing or removed USTs and associated pipework, bowsers and fire retardants:
  - o COPC include lead, TRH, BTEX, PAH, volatile organic compounds (VOC), and per- and poly-fluoroalkyl substances (PFAS).
- S4: Possible USTs and associated pipework, bowsers and fire retardants in adjacent police station:
  - o COPC include lead, TRH, BTEX, PAH, VOC and PFAS.
- S5: Transformer located near southern boundary of the site:
  - o COPC include PCB.
- S6: Dry cleaning businesses located west and east of the site:
  - o COPC include perchlorethylene (PCE), trichlorethylene (TCE), dichloroethylene (DCE) and vinyl chloride.
- S7: Bearepairs tyre shop located south-west of the site:
  - o COPC include lead, TRH, BTEX, PAH, VOC and PFAS.

### **Potential receptors**

The following potential human receptors have been identified:

- R1: Construction and maintenance workers;
- R2: End users [residential and commercial]; and
- R3: Adjacent site users [residential, commercial and police station].

The following potential environmental receptors have been identified:

- R4: Surface water [Bunnerong Creek and two unnamed creeks, Botany Bay];
- R5: Groundwater; and
- R6: Terrestrial ecosystems.

### **Potential pathways**

The following potential pathways in relation to human receptors have been identified:

- P1: Ingestion and dermal contact; and
- P2: Inhalation of dust and/or vapours.

The following potential pathways in relation to the environmental receptors have been identified:

- P3: Surface water run-off;
- P4: Lateral migration of groundwater providing base flow to water bodies;
- P5: Leaching of contaminants and vertical migration into groundwater; and
- P6: Inhalation, ingestion and absorption.

### Summary of potentially complete exposure pathways

A 'source–pathway–receptor' approach has been used to assess the potential risks of harm being caused to human or environmental receptors from contamination sources on or in the vicinity of the site, via exposure pathways (potential complete pathways). The possible pathways between the above sources (S1 to S6) and receptors (R1 to R6) are provided in below Table 4.

**Table 4: Summary of Potentially Complete Exposure Pathways**

Source and COPC	Transport Pathway	Receptor	Risk Management Action
S1: Fill - Metals, TRH, BTEX, PAH, PCB, OCP, phenols and asbestos. S2: Former buildings - Asbestos, SMF, lead and PCB. S3: Possible USTs on site - lead, TRH, BTEX, PAH, VOC, and PFAS. S5: Transformer – PCB.	P1: Ingestion and dermal contact P2: Inhalation of dust and/or vapours	R1: Construction and maintenance workers	An intrusive investigation is recommended to assess possible contamination including testing of the soils, groundwater and possibly soil vapour.
	P2: Inhalation of dust and/or vapours	R1: Construction and maintenance workers R2: End users [residential and commercial] R3: Adjacent site users [residential, commercial and police station].	
	P3: Surface water run-off P4: Lateral migration of groundwater providing base flow to water bodies	R4: Surface water	
	P5: Leaching of contaminants and vertical migration into groundwater	R5: Groundwater	
	P6: Inhalation, ingestion and absorption	R6: Terrestrial ecosystems	
S4: Off-site USTs - lead, TRH, BTEX, PAH, VOC and PFAS. S6: Off-site dry cleaners - PCE, TCE, DCE and vinyl chloride. S7: Off-site tyre shop - lead, TRH, BTEX,	P2: Inhalation of dust and/or vapours P4: Lateral migration of groundwater providing base flow to water bodies	R1: Construction and maintenance workers R2: End users [residential and commercial] R3: Adjacent site users [residential, commercial and police station]. R4: Surface water	

Source and COPC	Transport Pathway	Receptor	Risk Management Action
PAH, VOC and PFAS.	P5: Leaching of contaminants and vertical migration into groundwater	R5: Groundwater	
	P6: Inhalation, ingestion and absorption	R6: Terrestrial ecosystems	

## 10. Conclusions and recommendations

Based on the available site history information, the site appears to have been an open grassed space from at least 1943 until the 1960s or early 1970s, when a service station was constructed according to viewed Council records. The site was then redeveloped to a commercial building in the late 1980s or 1990s, which comprises the current building and includes a basement. No evidence of tank removal has been found although it is feasible that service station infrastructure was removed during redevelopment. SafeWork records indicate that the neighbouring police station has contained USTs, some or all of which have been decommissioned by Gibarco in 1996. Land uses surrounding the site appear to have included roads, residential and commercial.

Potential sources of contamination identified by this investigation include imported fill, former buildings / structures, historical USTs (at the site and adjacent police station), a transformer near the site's southern boundary, nearby dry-cleaning businesses and a nearby Bearepairs tyre shop.

As this investigation was limited to a desktop study, comments on the actual contamination status of the site cannot be provided unless intrusive investigations are undertaken to obtain quantitative data on the contamination status of the soil and groundwater. As such, and considering the multiple potential sources of contamination for the site, the following is recommended:

- Detailed Site Investigation - A detailed site investigation (DSI) for contamination with intrusive soil and groundwater (and possibly soil vapour) sampling to evaluate the potential contamination status of the site and assess the site's suitability (from a contamination standpoint) for a more sensitive land use. The need for soil vapour sampling would predominantly be informed by results of groundwater sampling. Soil vapour sampling could be undertaken following interpretation of groundwater results or could pre-emptively be undertaken concurrently with soil and groundwater sampling, subject to project budgetary and timeline constraints. In addition, the DSI should provide recommendations on the need for any further targeted investigation(s) and/or site remediation if deemed necessary; and
- Hazardous Building Materials (HBM) Assessment - Prior to demolition of the existing building, a HBM assessment should be undertaken. Subsequently the HBM to be disturbed during the works is to be removed and disposed of by an appropriately licensed and qualified contractor, at an appropriately licensed disposal facility.

Based on the results of this investigation, it is considered that the site can be made suitable for the proposed development subject to implementation of the recommended investigations and remediation and/or management of contamination that may be identified from the investigations.

## 11. References

NEPC. (2013). *National Environment Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013) [NEPM]*. Australian Government Publishing Services Canberra: National Environment Protection Council.

NSW EPA. (2020). *Guidelines for Consultants Reporting on Contaminated Land*. Contaminated Land Guidelines: NSW Environment Protection Authority.

## 12. Limitations

Douglas Partners (DP) has prepared this report for this project at 138 Maroubra Road, Maroubra in accordance with DP's proposal 20854.01.P.001.Rev0 dated 6 October 2022 and acceptance received from James Lambert dated 7 October 2022. The work was carried out under DP's Conditions of Engagement. This report is provided for the exclusive use of Maroubra Property Developments Pty Ltd for this project only and for the purposes as described in the report. It should not be used by or relied upon for other projects or purposes on the same or other site or by a third party. Any party so relying upon this report beyond its exclusive use and purpose as stated above, and without the express written consent of DP, does so entirely at its own risk and without recourse to DP for any loss or damage. In preparing this report DP has necessarily relied upon information provided by the client and/or their agents.

The assessment of atypical safety hazards arising from this advice is restricted to the environmental components set out in this report and based on known project conditions and stated design advice and assumptions. While some recommendations for safe controls may be provided, detailed 'safety in design' assessment is outside the current scope of this report and requires additional project data and assessment.

This report must be read in conjunction with all of the attached and should be kept in its entirety without separation of individual pages or sections. DP cannot be held responsible for interpretations or conclusions made by others unless they are supported by an expressed statement, interpretation, outcome or conclusion stated in this report.

This report, or sections from this report, should not be used as part of a specification for a project, without review and agreement by DP. This is because this report has been written as advice and opinion rather than instructions for construction.

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## **Appendix A**

Drawings

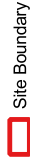


LOCALITY MAP

Notes:

1. Drawing projection GDA94 / MGA zone 56
2. Latest available aerial imagery sourced from metromap.com dated 13/06/2022
3. Boundary shown is approximate only

Legend



Site Boundary

0 15 30 45 60 m



PROJECT No:	20854.02
DRAWING No:	1
REVISION:	0

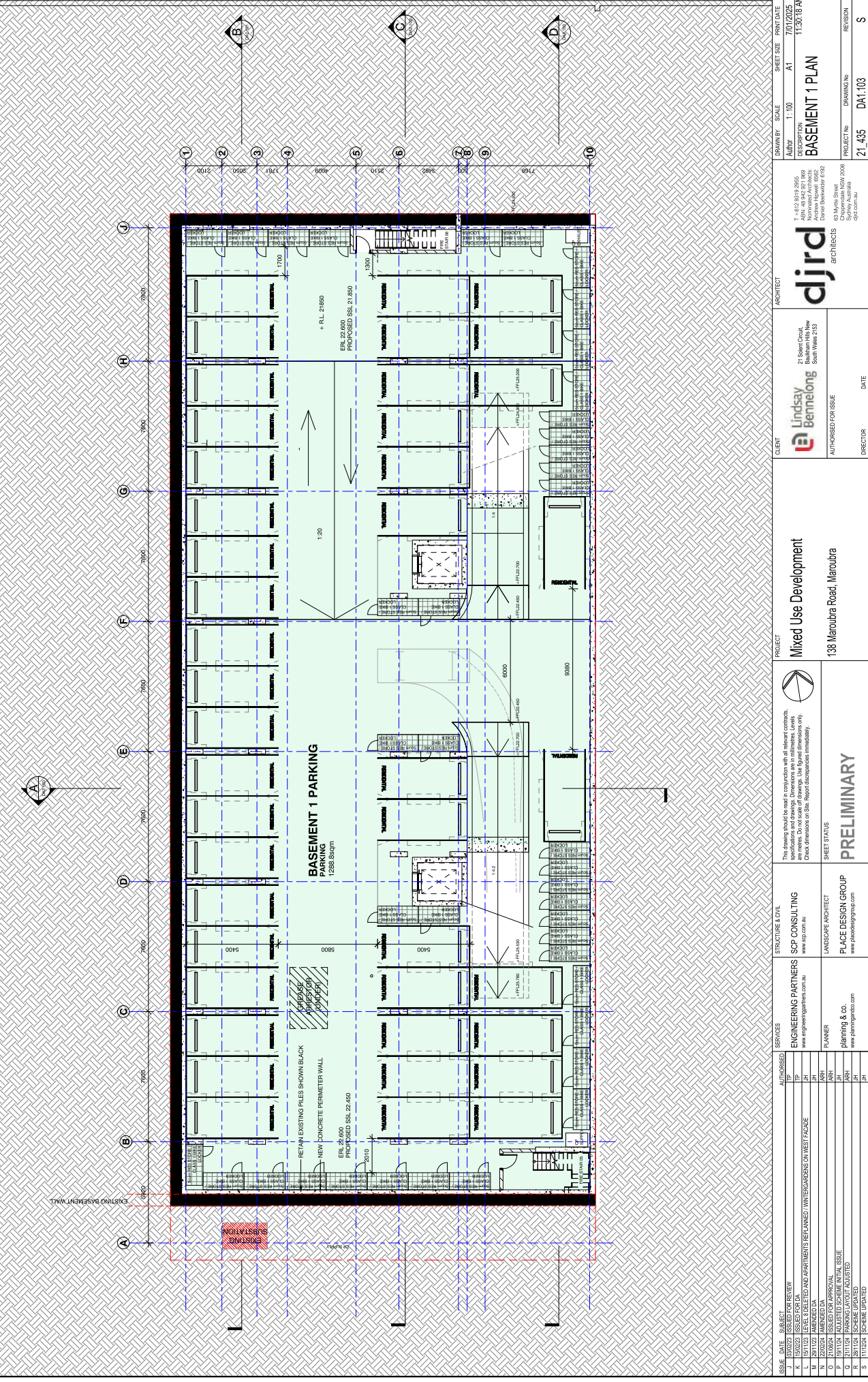
TITLE: **Site Location Plan**  
**Proposed Mixed Use Development**  
**138 Maroubra Road, Maroubra**

CLIENT: Maroubra Property Developments Pty Ltd	DRAWN BY: HD
OFFICE: Sydney	DATE: 01.11.2022
SCALE: 1:1000 @ A3	

**Douglas Partners**  
 Geotechnics | Environment | Groundwater

Level	Type	Count
Basement 1	5400 x 2400 RESIDENTIAL	42
Grand total:		42

Basement 1 CAPS



ISSUE	DATE	SUBJECT	AUTHORIZED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	SHEET SIZE	PRINT DATE
1	03/2023	ISSUED FOR REVIEW	TP	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	AMOR	1:100	A1	7/01/2025
2	04/2023	ISSUED FOR DA	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	DESCRIPTION			11:30:18 AM
3	05/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	BASEMENT 1 PLAN			
4	06/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	PROJECT NO.	DRAWING NO.		
5	07/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	21_435	DA1103		
6	08/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects				
7	09/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects				
8	10/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects				
9	11/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects				
10	12/2023	ISSUED FOR APPROVAL	JH	ENGINEERING PARTNERS	SOC CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects				

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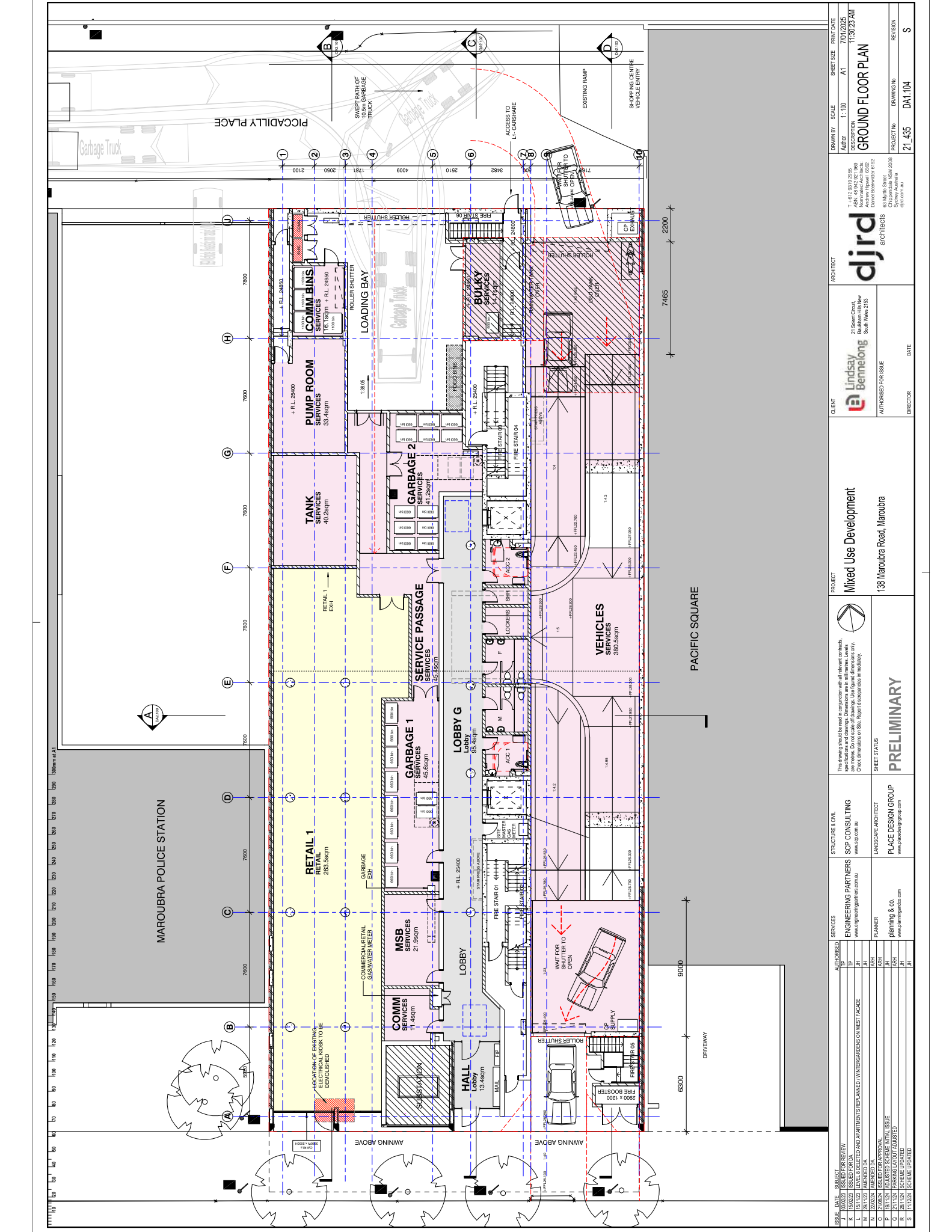
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 info@normalised.com.au

PRELIMINARY

PLACE DESIGN GROUP  
 www.placedesigngroup.com

planning & co.  
 www.planningco.com

planning & co.  
 www.planningco.com



ISSUE	DATE	SUBJECT
1	10/02/23	ISSUED FOR REVIEW
2	10/02/23	ISSUED FOR DA
3	10/02/23	ISSUED FOR APPROVAL
4	10/02/23	ISSUED FOR APPROVAL
5	10/02/23	ISSUED FOR APPROVAL
6	10/02/23	ISSUED FOR APPROVAL
7	10/02/23	ISSUED FOR APPROVAL
8	10/02/23	ISSUED FOR APPROVAL
9	10/02/23	ISSUED FOR APPROVAL
10	10/02/23	ISSUED FOR APPROVAL

AUTHORISED	SERVICES	ENGINEERING PARTNERS	STRUCTURE & CIVIL
TP	ENGINEERING PARTNERS	SOP CONSULTING	
JH		www.sop.com.au	
JH			
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PLANNER	LANDSCAPE ARCHITECT	PLACE DESIGN GROUP
planning & co.		
www.planning.co		

CLIENT	ARCHITECT
Lindsay Bennelong	djird architects
AUTHORISED FOR ISSUE	

PROJECT
Mixed Use Development
138 Maroubra Road, Maroubra

CLIENT	ARCHITECT
Lindsay Bennelong	djird architects
AUTHORISED FOR ISSUE	

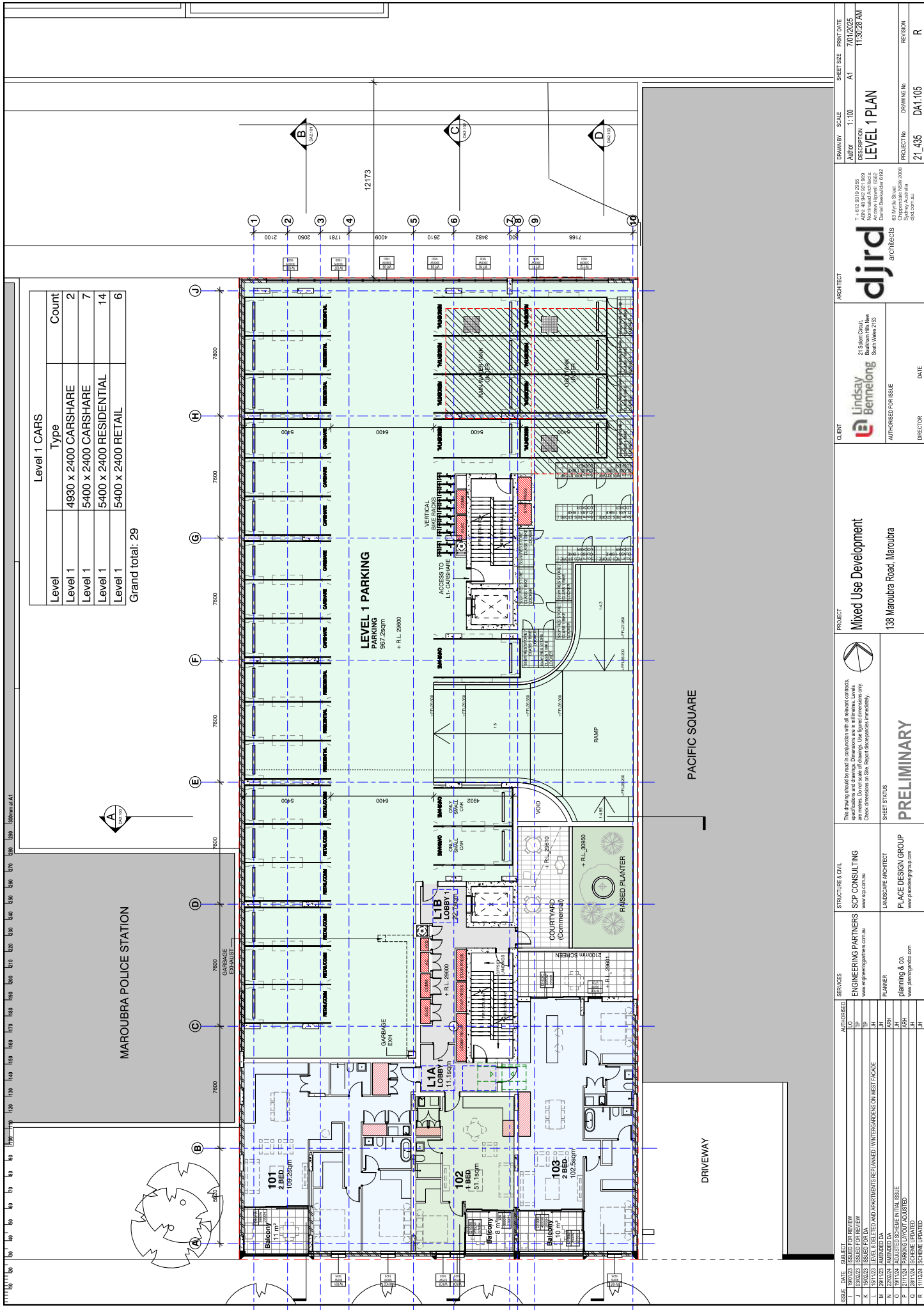
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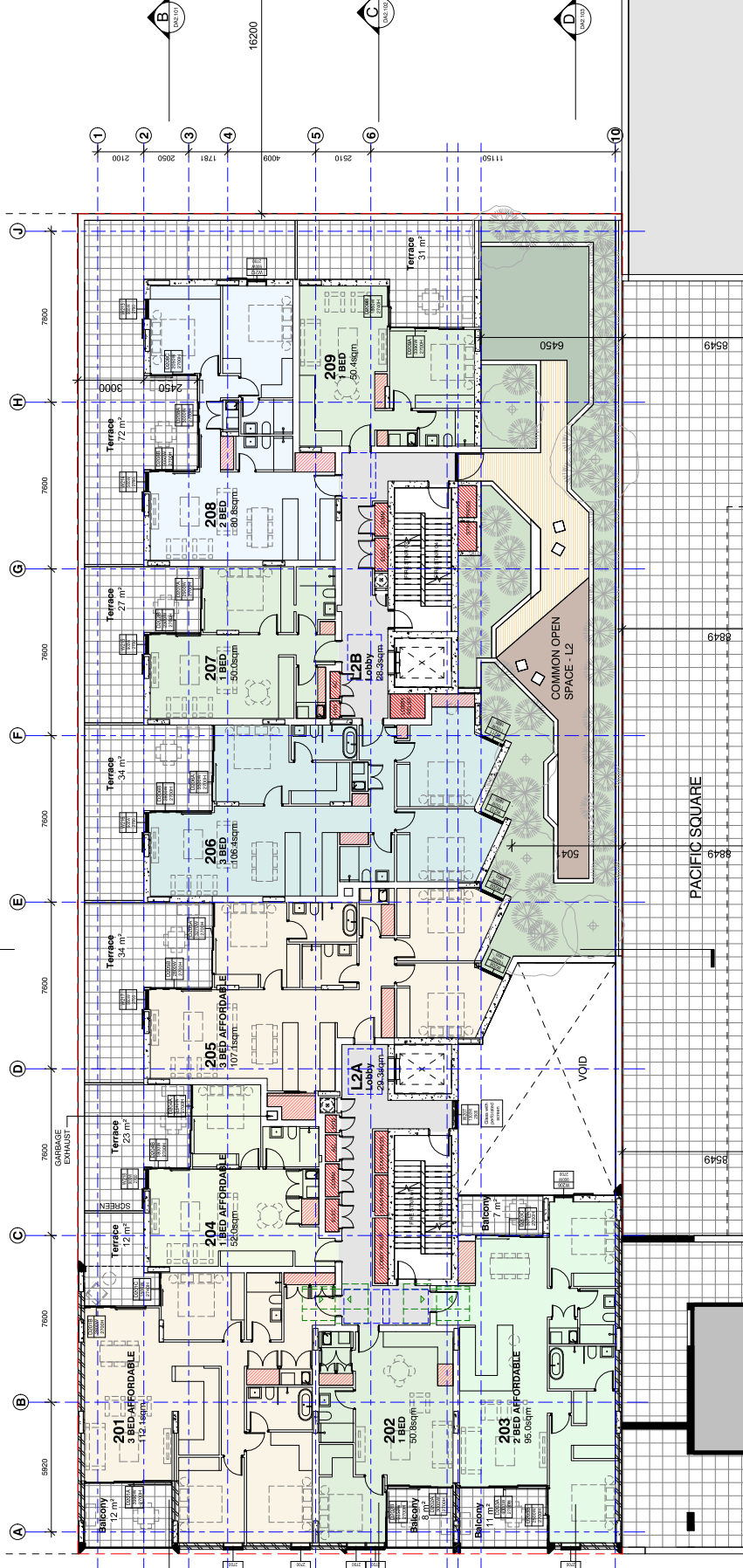
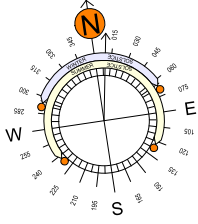
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ISSUE	DATE	SUBJECT
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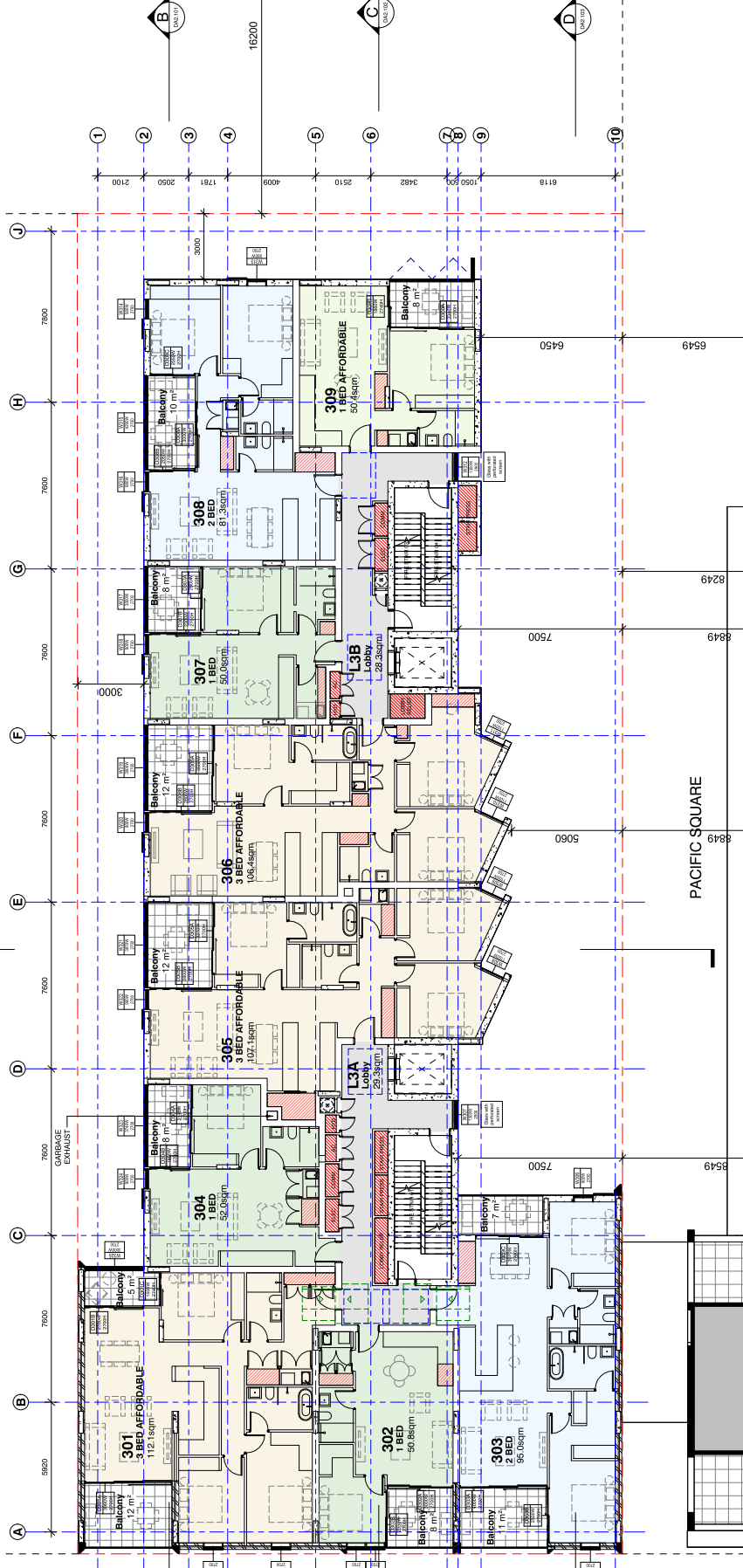
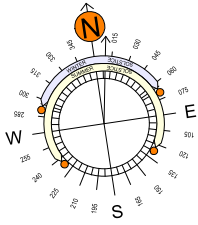
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Level 1	5400 x 2400 RESIDENTIAL	14
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22	01/03/24	INDUSTRY SCHEMATIC ISSUE	JH	PLANNER	PLACE DESIGN GROUP	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/26 AM
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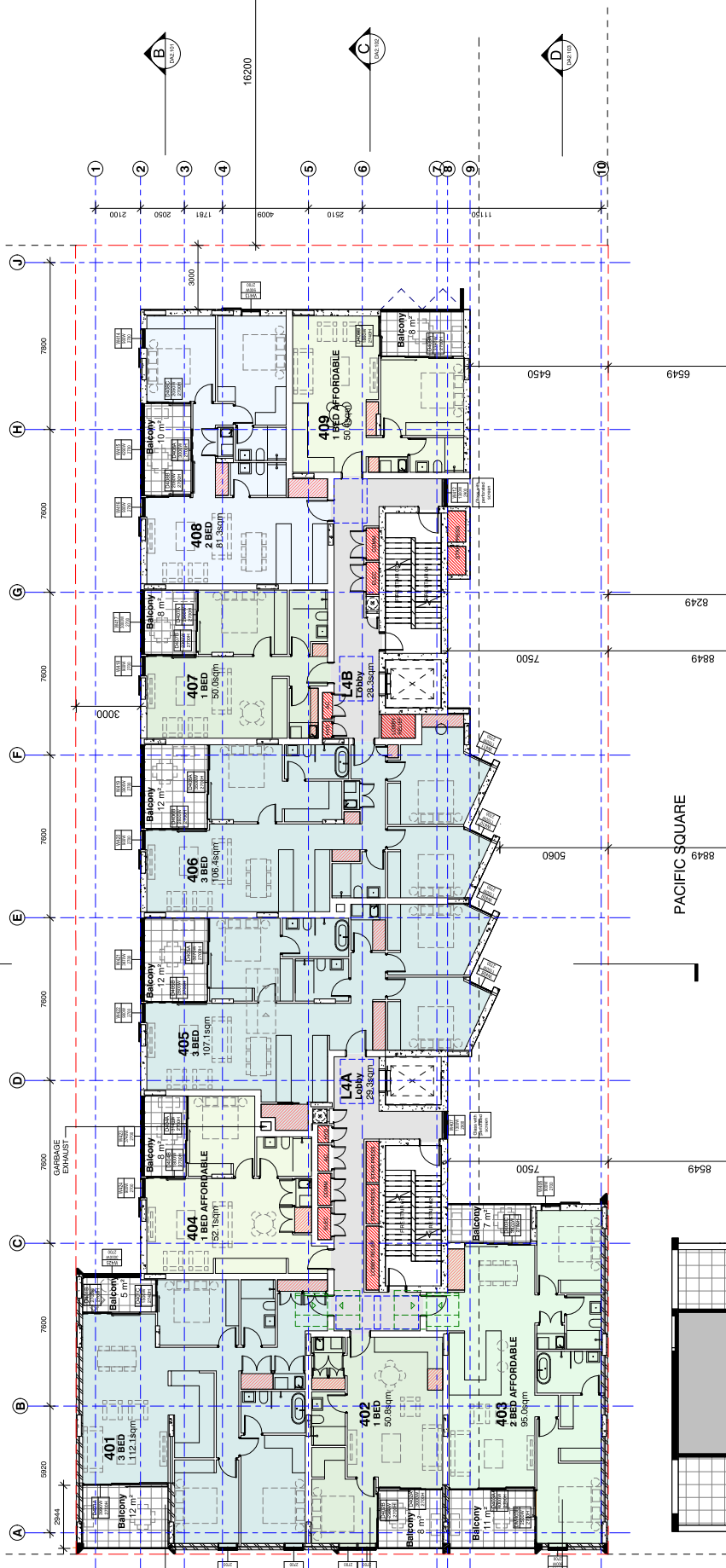
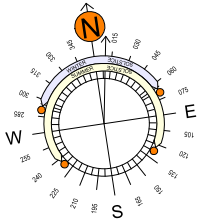
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ISSUE	DATE	SUBJECT	AUTHORISED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	PRINT DATE
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J	18/01/23	ISSUED FOR REVIEW	LO	ENGINEERING PARTNERS	SOP CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	AMOR	1:100	7/01/2025
K	18/01/23	ISSUED FOR REVIEW	LO	ENGINEERING PARTNERS	SOP CONSULTING	Mixed Use Development	Lindsay Bennelong	djird architects	AMOR	1:100	7/01/2025
L	15/11/23	LEVEL, ELEVATED AND PARTMENTS REFINANCED - WINTERGARDENS ON WEST FACADE	JH	PLANNER	PLANNING & CO.	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/32 AM
M	28/11/23	AMENDED DA	JH	PLANNER	PLANNING & CO.	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/32 AM
N	22/02/24	AMENDED DA	JH	PLANNER	PLANNING & CO.	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/32 AM
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P	28/11/24	SCHEME UPDATED	JH	PLANNER	PLANNING & CO.	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/32 AM
Q	11/11/24	SCHEME UPDATED	JH	PLANNER	PLANNING & CO.	138 Maroubra Road, Maroubra	Lindsay Bennelong	djird architects	AMOR	1:100	11/30/32 AM



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<b>CLIENT</b> Lindsay Bemmeling 27 Saint Crispin, South Hills New South Wales 2150 AUTHORISED FOR ISSUE DIRECTOR		<b>PROJECT</b> Mixed Use Development 138 Maroubra Road, Maroubra		<b>ARCHITECT</b> djird architects 1-18-01-2619-2050 Norman Architects Norman Architects 63 Myrtle Street Chippendale NSW 2008 02-9550-0100 info@norman.com.au		<b>ARCHITECT</b> ARCHITECT DRAWING NO. 21-435 DRAWING NO. DA1-107 REVISION R	
<b>STRUCTURE &amp; CIVIL</b> ENGINEERING PARTNERS SOP CONSULTING www.sop.com.au		<b>PLANNING &amp; CIVIL</b> PLACE DESIGN GROUP www.placedesigngroup.com		<b>DATE</b> 7/01/2025 <b>PRINT DATE</b> 11:30:39 AM		<b>SCALE</b> 1:100 <b>DESCRIPTION</b> LEVEL 3 PLAN	
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RE	18/01/23	ISSUED FOR REVIEW	LO	ENGINEERING PARTNERS	SOP CONSULTING	<b>Mixed Use Development</b> 138 Maroubra Road, Maroubra	<b>Lindsay Bennelong</b> 21 Saint Ciril, Baulhan Hills New South Wales 2155	<b>djird</b> architects	AM001	1:100	7/01/2023			
RI	19/01/23	ISSUED FOR REVIEW	LO	www.ep-partners.com.au	www.sop.com.au				1-18-0-2619-2626 Northmead Architects 100 Northmead Avenue Northmead NSW 2150 Doree Sabharwal 6182	1-18-0-2619-2626 Northmead Architects 100 Northmead Avenue Northmead NSW 2150 Doree Sabharwal 6182	DESCRIPTION	PROJECT NO.	DRAWING NO.	REVISION
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K	19/01/23	LEVEL 4 LAYOUT AND PARTMENTS REFINISHED - WINTER GARDENS ON WEST FACADE	JH	PLANNER	PLACE DESIGN GROUP									
L	19/01/23	LEVEL 4 LAYOUT AND PARTMENTS REFINISHED - WINTER GARDENS ON WEST FACADE	JH	PLANNER	www.placedesigngroup.com									
M	20/01/23	AMENDED DA	JH	PLANNING & CO.	www.planningco.com									
N	20/01/23	AMENDED DA	JH	PLANNING & CO.	www.planningco.com									
O	28/11/24	SCHEME UPDATED	JH											
P	28/11/24	SCHEME UPDATED	JH											
Q	11/11/24	SCHEME UPDATED	JH											

**PRELIMINARY**



This drawing should be read in conjunction with all relevant contracts, specifications and schedules. Dimensions are in meters. Do not scale off drawings. Use figure dimensions only. Check dimensions on site. Report discrepancies immediately.

SHEET STATUS

**PRELIMINARY**

DATE

DIRECTOR

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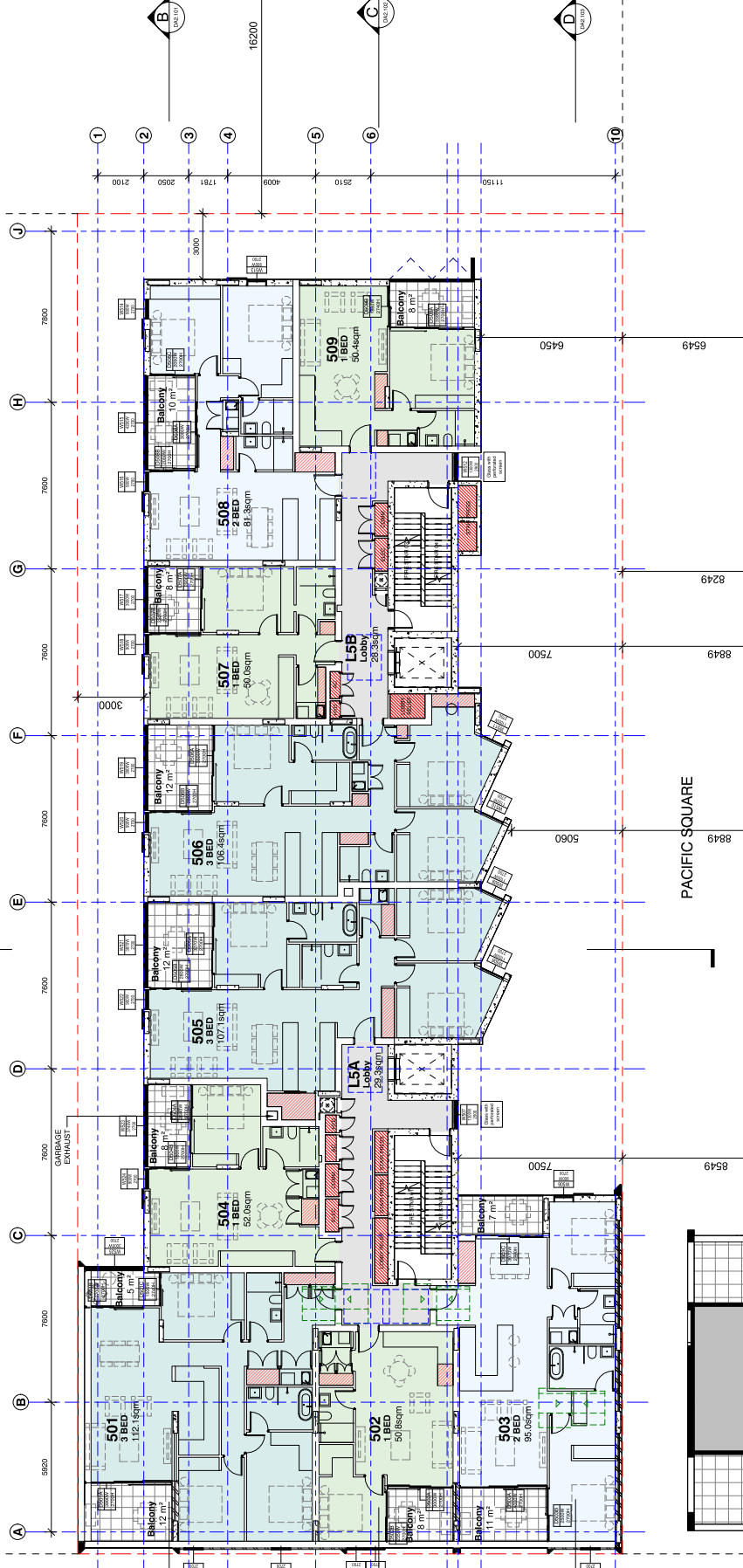
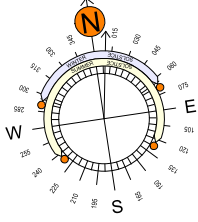
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ISSUE	DATE	SUBJECT	AUTHORISED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	PRINT DATE
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EH	19/01/23	ISSUED FOR REVIEW	LO	www.ep-partners.com.au	www.sop.com.au				1:100	7/01/2025	
FI	19/01/23	ISSUED FOR REVIEW	LO	www.firmgroup.com.au	www.firmgroup.com.au				1:100	7/01/2025	
LI	19/01/23	ISSUED FOR REVIEW	LO	www.landscapegroup.com.au	www.landscapegroup.com.au				1:100	7/01/2025	
K	15/11/23	LEVEL LABELS AND APARTMENTS REFINANCED / WATERGARDENS ON WEST FACADE	JH	PLANNER	planning & co.				PROJECT NO.	DRAWING NO.	REVISION
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O	28/11/24	SCHEME UPDATED	JH								
P	11/11/24	SCHEME UPDATED	JH								

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 Normal Architects  
 63 Myrtle Street  
 Darlinghurst NSW 2008  
 02 9231 1111  
 info@normal.com.au

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 63 Myrtle Street  
 Darlinghurst NSW 2008  
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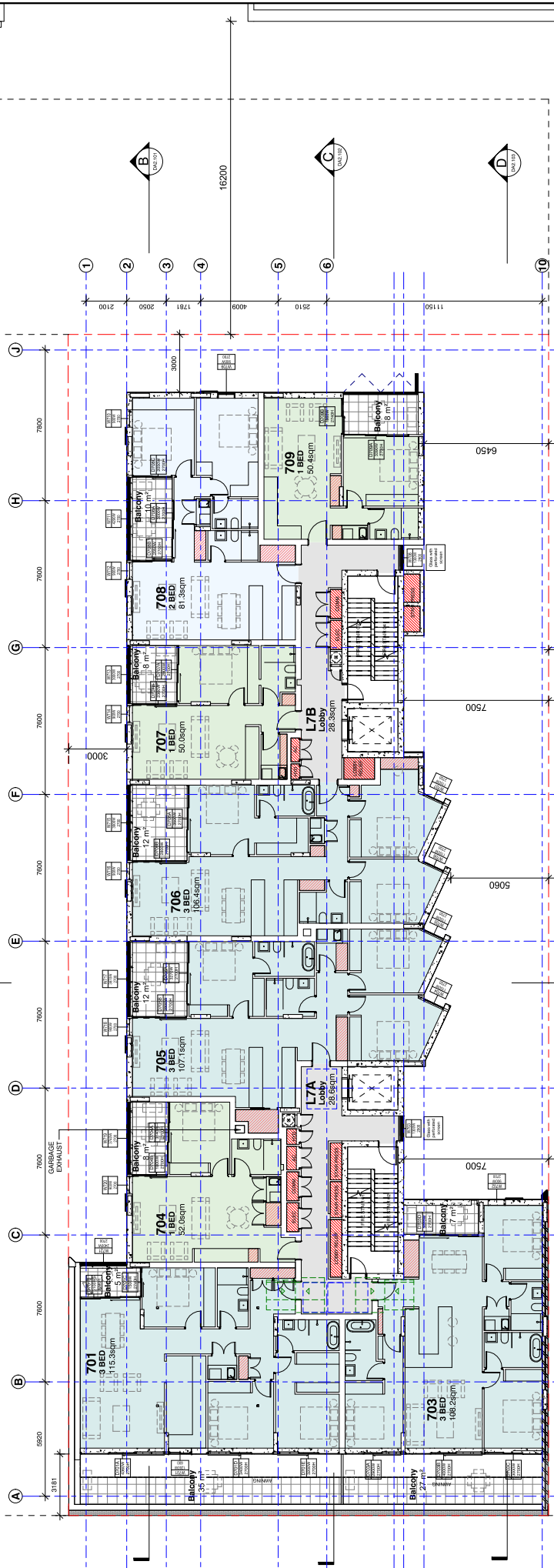
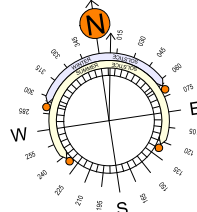
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 63 Myrtle Street  
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 info@normal.com.au

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 info@normal.com.au



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PACIFIC SQUARE

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R	19/01/23	ISSUED FOR REVIEW	LO	www.epn.com.au	www.sop.com.au				<p>1-81-2619-2656 Norman Architects 100 Normanville Road Darwin Suburb WA 6182</p>	<p>PROJECT NO: 21-435 DRAWING NO: DA-111 REVISION: Q</p>		
K	15/11/23	ISSUED FOR REVIEW	LP	LANDSCAPE ARCHITECT	PLACE DESIGN GROUP	<p>PRELIMINARY</p>	<p>AUTHORISED FOR ISSUE</p>	<p>ARCHITECT</p>	K	1:100	A1	11/31/23 11:31:08 AM
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M	29/11/23	AMENDED DA	JH	PLANNER	planning & co.	<p>DATE</p>	<p>DIRECTOR</p>	<p>ARCHITECT</p>	M	1:100	A1	11/11/24
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P	28/11/24	SCHEME UPDATED	JH	PLANNER	www.planningco.com	<p>DATE</p>	<p>DIRECTOR</p>	<p>ARCHITECT</p>	P	1:100	A1	11/11/24
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## **Appendix B**

About This Report

## Introduction

These notes have been provided to amplify DP's report in regard to classification methods, field procedures and the comments section. Not all are necessarily relevant to all reports.

DP's reports are based on information gained from limited subsurface excavations and sampling, supplemented by knowledge of local geology and experience. For this reason, they must be regarded as interpretive rather than factual documents, limited to some extent by the scope of information on which they rely.

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## Borehole and Test Pit Logs

The borehole and test pit logs presented in this report are an engineering and/or geological interpretation of the subsurface conditions, and their reliability will depend to some extent on frequency of sampling and the method of drilling or excavation. Ideally, continuous undisturbed sampling or core drilling will provide the most reliable assessment, but this is not always practicable or possible to justify on economic grounds. In any case the boreholes and test pits represent only a very small sample of the total subsurface profile.

Interpretation of the information and its application to design and construction should therefore take into account the spacing of boreholes or pits, the frequency of sampling, and the possibility of other than 'straight line' variations between the test locations.

## Groundwater

Where groundwater levels are measured in boreholes there are several potential problems, namely:

- In low permeability soils groundwater may enter the hole very slowly or perhaps not at all during the time the hole is left open;
- A localised, perched water table may lead to an erroneous indication of the true water table;
- Water table levels will vary from time to time with seasons or recent weather changes. They may not be the same at

the time of construction as are indicated in the report; and

- The use of water or mud as a drilling fluid will mask any groundwater inflow. Water has to be blown out of the hole and drilling mud must first be washed out of the hole if water measurements are to be made.

More reliable measurements can be made by installing standpipes which are read at intervals over several days, or perhaps weeks for low permeability soils. Piezometers, sealed in a particular stratum, may be advisable in low permeability soils or where there may be interference from a perched water table.

## Reports

The report has been prepared by qualified personnel, is based on the information obtained from field and laboratory testing, and has been undertaken to current engineering standards of interpretation and analysis. Where the report has been prepared for a specific design proposal, the information and interpretation may not be relevant if the design proposal is changed. If this happens, DP will be pleased to review the report and the sufficiency of the investigation work.

Every care is taken with the report as it relates to interpretation of subsurface conditions, discussion of geotechnical and environmental aspects, and recommendations or suggestions for design and construction. However, DP cannot always anticipate or assume responsibility for:

- Unexpected variations in ground conditions. The potential for this will depend partly on borehole or pit spacing and sampling frequency;
- Changes in policy or interpretations of policy by statutory authorities; or
- The actions of contractors responding to commercial pressures.

If these occur, DP will be pleased to assist with investigations or advice to resolve the matter.

continued next page

## About this Report

### Site Anomalies

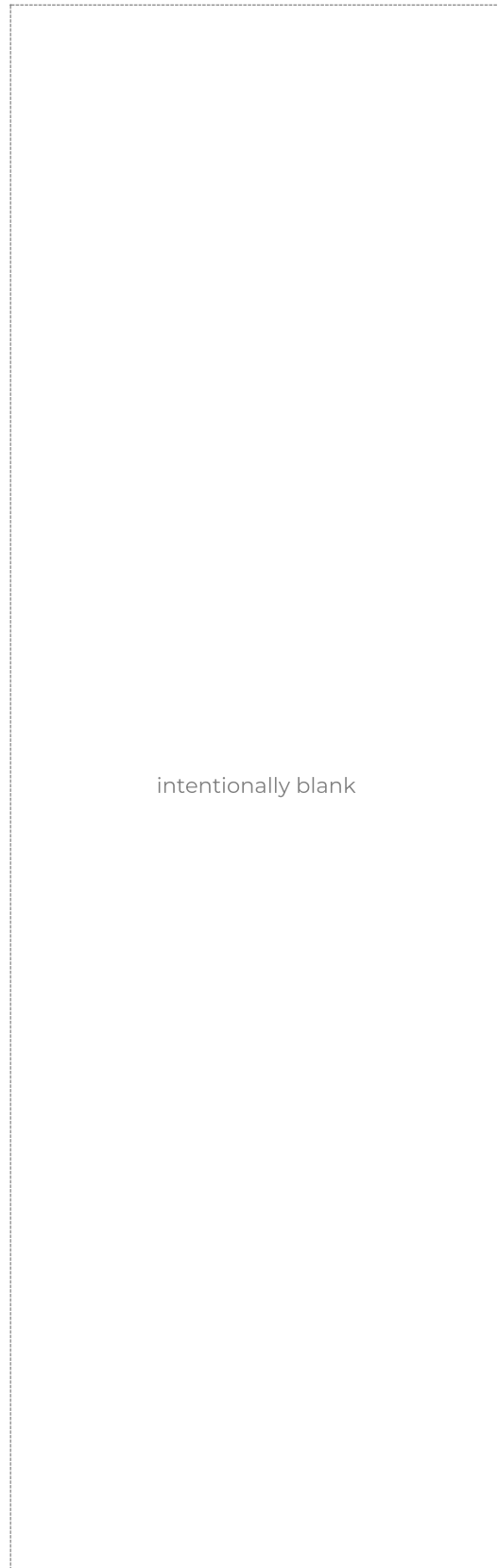
In the event that conditions encountered on site during construction appear to vary from those which were expected from the information contained in the report, DP requests that it be immediately notified. Most problems are much more readily resolved when conditions are exposed rather than at some later stage, well after the event.

### Information for Contractual Purposes

Where information obtained from this report is provided for tendering purposes, it is recommended that all information, including the written report and discussion, be made available. In circumstances where the discussion or comments section is not relevant to the contractual situation, it may be appropriate to prepare a specially edited document. DP would be pleased to assist in this regard and/or to make additional report copies available for contract purposes at a nominal charge.

### Site Inspection

The company will always be pleased to provide engineering inspection services for geotechnical and environmental aspects of work to which this report is related. This could range from a site visit to confirm that conditions exposed are as expected, to full time engineering presence on site.



---

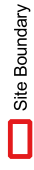
## **Appendix C**

Historical Aerial Photographs



- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from metromap.com
  3. Boundary shown is approximate only

Legend



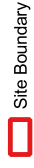
0 25 50 75 100 m





- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from spatial.nsw.gov.au
  3. Boundary shown is approximate only

Legend



Site Boundary

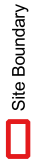
0 25 50 75 100 m





- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from spatial.nsw.gov.au
  3. Boundary shown is approximate only

Legend



0 25 50 75 100 m



PROJECT No:	20854.02
DRAWING No:	C
REVISION:	0

TITLE: **1961 Historical Aerial Photograph**  
**Proposed Mixed Use Development**  
**138 Maroubra Road, Maroubra**

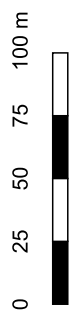
CLIENT: Maroubra Property Developments Pty Ltd	DRAWN BY: HD
OFFICE: Sydney	DATE: 01.11.2022
SCALE: 1:2000 @ A3	

**Douglas Partners**  
 Geotechnics | Environment | Groundwater



- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from spatial.nsw.gov.au
  3. Boundary shown is approximate only

Legend  
 Site Boundary



	PROJECT No: 20854.02
	DRAWING No: D
	REVISION: 0

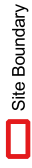
TITLE: **1975 Historical Aerial Photograph**  
**Proposed Mixed Use Development**  
**138 Maroubra Road, Maroubra**

CLIENT: Maroubra Property Developments Pty Ltd	DRAWN BY: HD
OFFICE: Sydney	DATE: 01.11.2022
SCALE: 1:2000 @ A3	



- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from spatial.nsw.gov.au
  3. Boundary shown is approximate only

Legend



Site Boundary

0 25 50 75 100 m

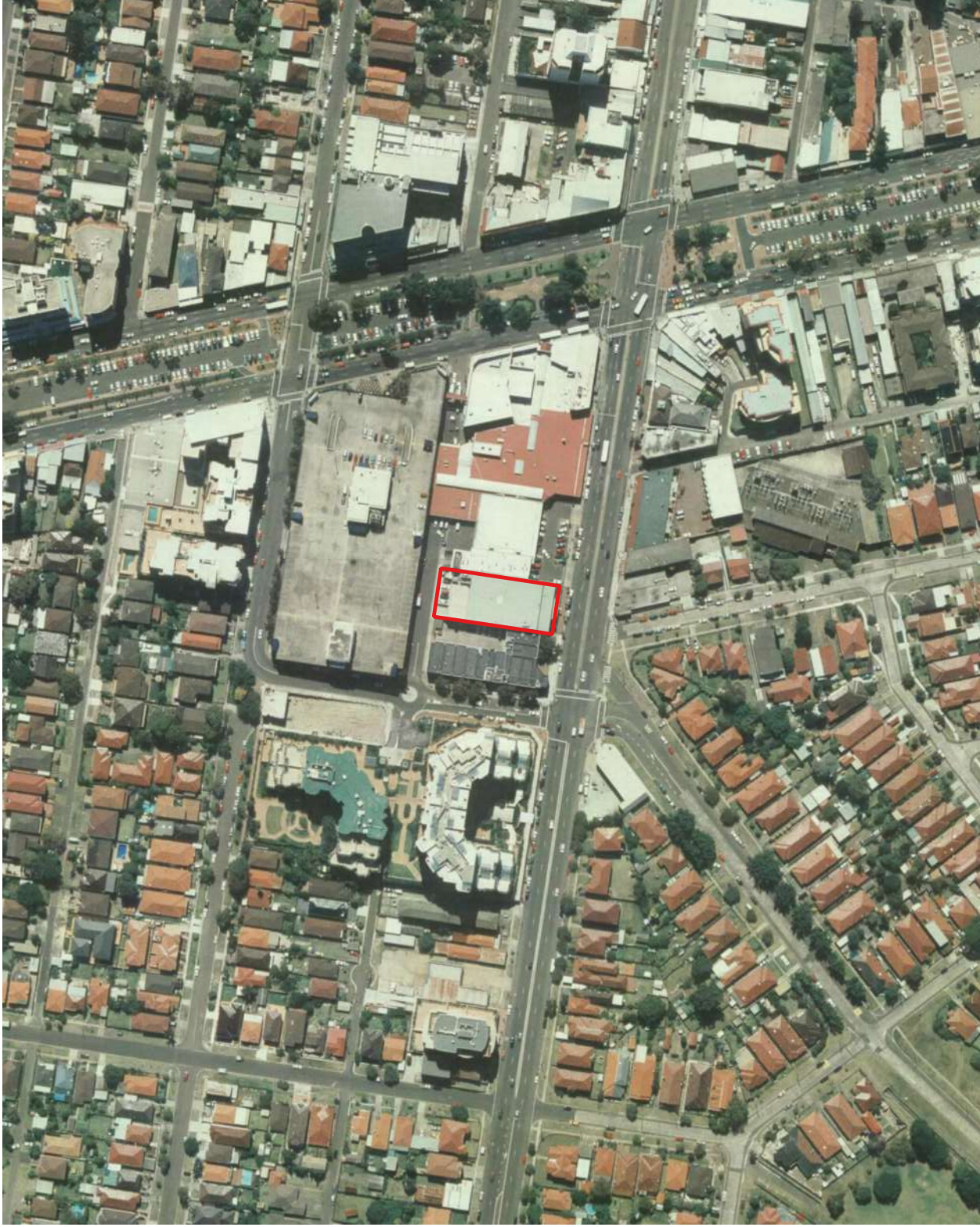


PROJECT No:	20854.02
DRAWING No:	E
REVISION:	0

TITLE: **1986 Historical Aerial Photograph**  
**Proposed Mixed Use Development**  
**138 Maroubra Road, Maroubra**

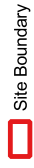
CLIENT: Maroubra Property Developments Pty Ltd	DRAWN BY: HD
OFFICE: Sydney	DATE: 01.11.2022
SCALE: 1:2000 @ A3	

**Douglas Partners**  
 Geotechnics | Environment | Groundwater



- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from metromap.com
  3. Boundary shown is approximate only

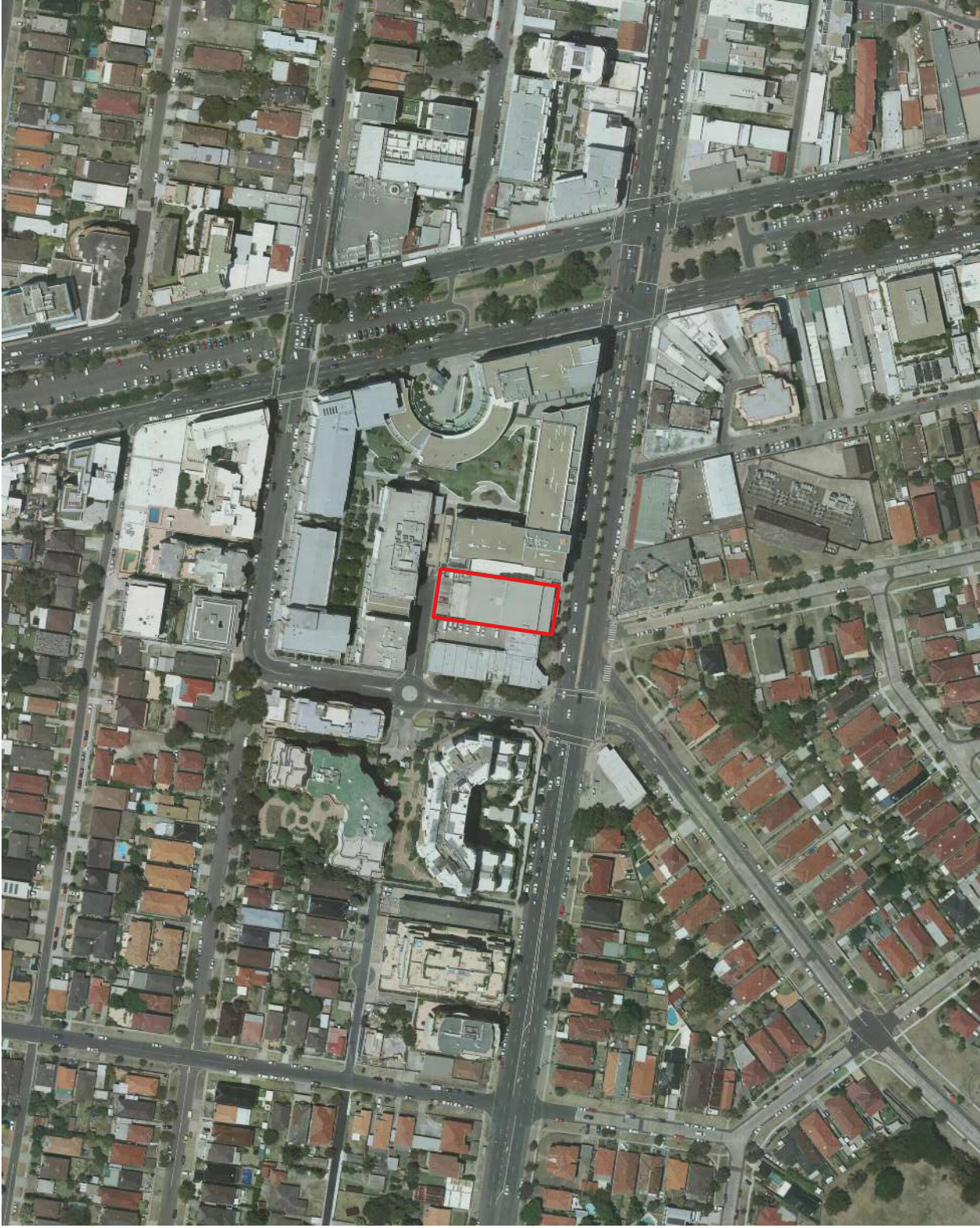
Legend



Site Boundary

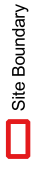
0 25 50 75 100 m





- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from metromap.com
  3. Boundary shown is approximate only

Legend



0 25 50 75 100 m



PROJECT No:	20854.02
DRAWING No:	G
REVISION:	0

TITLE: 2011 Historical Aerial Photograph  
Proposed Mixed Use Development  
138 Maroubra Road, Maroubra

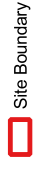
CLIENT: Maroubra Property Developments Pty Ltd	DRAWN BY: HD
OFFICE: Sydney	DATE: 01.11.2022
SCALE: 1:2000 @ A3	

**Douglas Partners**  
Geotechnics | Environment | Groundwater



- Notes:
1. Drawing projection GDA94 / MGA zone 56
  2. Historical aerial imagery sourced from metromap.com
  3. Boundary shown is approximate only

Legend



Site Boundary

0 25 50 75 100 m



---

## **Appendix D**

Historical Title Deeds



ABN: 36 092 724 251  
Ph: 02 9099 7400  
(Ph: 0412 199 304)

Level 14, 135 King Street, Sydney  
Sydney 2000  
GPO Box 4103 Sydney NSW 2001  
DX 967 Sydney

**Summary of Owners Report**

**Address: 138 Maroubra Road, Maroubra**

**Description: - Lots 1 & 2 D.P. 506844**

<b><u>Date of Acquisition and term held</u></b>	<b><u>Registered Proprietor(s) &amp; Occupations where available</u></b>	<b><u>Reference to Title at Acquisition and sale</u></b>
21.05.1898	Within the Suburban Boundaries of the City of Sydney	
09.08.1935	Reserve No. 1985 from Miners Residence or Business Licence	
05.12.1947 (1947 to 1995)	The Council of the Municipality of Randwick	Vol 5756 Fol 174 (Grant) Then Volume 9558 Folio 57 Volume 9618 Folio's 84 & 85 Now 1/506844 & 2/506844
13.07.1995 (1995 to Date)	# Bonrill Pty Limited	1/506844 & 2/506844

# Denotes current registered proprietor

**Easements: - NIL**

**Leases: -**

- 25.03.1964 to Edward Hurrell Johnson (Accountant) (Affecting Lot 2 only) – surrendered by T 69258.
- 25.09.1984 to William Beard Pty Limited (Lot 1) – expires 14.05.2005, also 10 year option.
  - 25.06.1986 to Burns Philp Trustee Company (Canberra) Limited & Australian Mutual Provident Society – Expired or surrendered.
- 03.11.1992 (E 868383) Sub Lease – expired or surrendered, not investigated.
- 06.06.1996 (2440430) to Commonwealth of Australia – expired 19.08.2019.

Yours Sincerely  
Harrison Byrne  
24 October 2022



**Cadastral Records Enquiry Report : Lot 2 DP 506844**

Locality : MAROUBRA  
LGA : RANDWICK

Parish : BOTANY  
County : CUMBERLAND



Within the Proclamation Area of Sydney Proclamation 27<sup>th</sup> April 1892  
 Notified as Suburban to the City of Sydney 21<sup>st</sup> May 1898

1412 299

## PLAN

of portions 767, 768, 774 and 775

County of Cumberland Parish of Botany  
 Land District - Metropolitan Land Board District of Sydney, Eastern Division

Scale 4 Chains to an inch

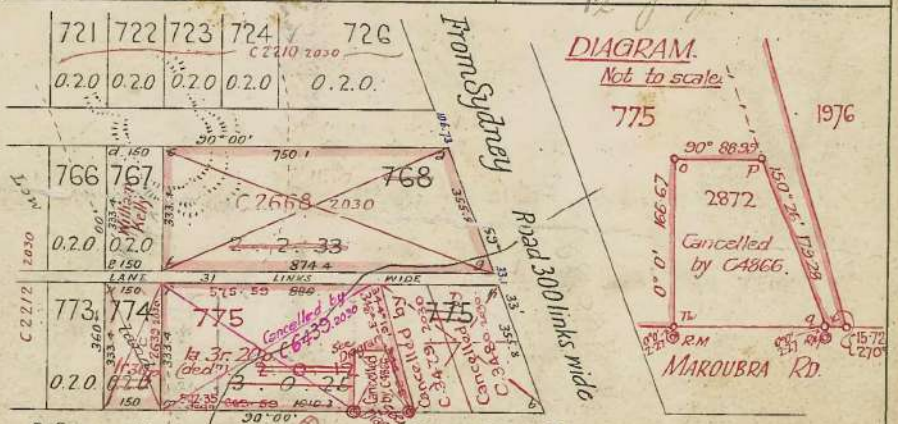
excepting portions 768 & 775 Within the Borough of Randwick  
 Set apart for settlement under the Blockholders Act No 69 of 1901 vide Gov<sup>t</sup> Gazette of 28<sup>th</sup> June 1902  
 Portion 767 Notified as available for Lease vide Gazette of 6<sup>th</sup> August 1902 Re-occupied 21<sup>st</sup> Nov 1906  
 Reference to Leases under the Blockholders Act.

Portion	Applicant	Papers	Action	Reference to Lease	Remarks
					Sale of Randwick on the 19 <sup>th</sup> January 1902, Suburban Lot, Portion 261 Not bid for
Por. 767.	A.A. Rur. 09-60 William Kelly, App <sup>d</sup> 623. 7.4.03				Sale Completed All <sup>n</sup> 2505
Por. 775	Sp. Lse. 34-107 Sydney Vigor Jeanes				withdrawn Ls. 34-19478
Por. 775	Sp. Lse. 35-65 Ernest Charles Symonds and Richard Matson Dwyer				Refused
Por. 775	Sp. L. 45/13 Edward Donald Ramsay				Refused 17.5.45 Ls. 45. 3758
Por. 775	Sp. L. 46-361 Randwick Municipal Council				
Por. 775	Sp. P. 47.8. Randwick Municipal Council				

**PLAN MICROFILMED**  
 SO ADDITIONS OR AMENDMENTS TO BE MADE

Por. 775 approved for la. 3r 20p. (ded<sup>n</sup>)  
 L.B. 34-980. Calc. Bk. C. 261 p. 67.  
 J. Buchanan  
 Officer in Charge  
 General Drafting Branch  
 4<sup>th</sup> Dec 1905  
 A. R. D.

Por. 775 re-approved for 2.0 12  
 Calc. Bk. C. 69. Fol. 26.  
 Edwards  
 Draftsman-in-Charge  
 12 July 1921



Partly cancelled by  
 C. 2639 2030.

Asimuth taken from a b  
 Field Book Vol. 1176 Folio 37  
 Labour Farm  
 Partly cancelled by C. 2668 2030  
 Cancels part of C. 2094 2030

Voucher No 022 Passed  
 Calculation Book No 1996 Folio 30  
 Checked and Charted by G. H. M. J. P. G.  
 Examined by G. H. M. J. P. G.  
 Plan approved  
 Draftsman in Charge

I hereby certify that I in person made and on the 29<sup>th</sup> January 1902, completed the survey represented on this plan on which are written the bearings and lengths of the lines measured by me and I declare that the survey has been executed in accordance with the regulations published for the guidance of licensed Surveyors and the practice of the Department of Lands.

**2211-2030**

J. W. H. Howard  
 Licensed Surveyor

Transmitted to the Registrar-General with my letter of 31<sup>st</sup> January 1902

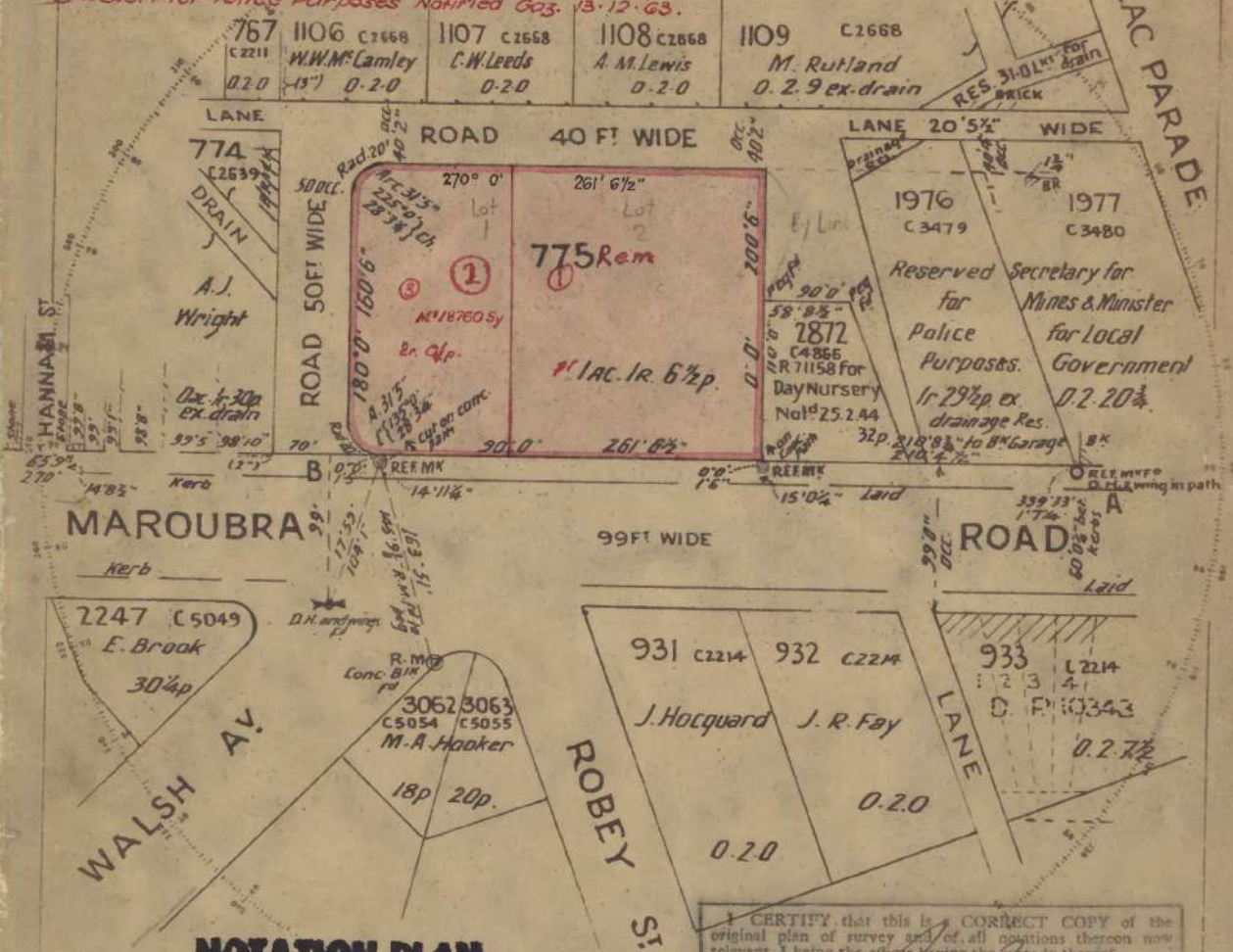
C2211

A 300  
**PLAN OF PORTION 775**  
 PAPERS LB 46 937  
 S 47 5732  
**PARISH BOTANY COUNTY CUMBERLAND**  
**LAND DISTRICT METROPOLITAN LAND BOARD DISTRICT SYDNEY**  
**RANDWICK MUNICIPALITY**

Applied for under the 660th Section of the Crown Lands Consolidation Act, 1913, by Randwick Municipal Council  
*Sp. Pur 478 Gaz 15-8-47*  
*Cancel part plan C 2211 2030*  
*Within the Population Area of Sydney Proclaimed 22nd April 1886*  
*Within the Suburban boundaries of the City of Sydney 21st May 1898*  
*Within R1985 From Occ under M. R. or D. L. No 193 Aug 1935*

**NOTATION PLAN**

~~For 775 now Council of the Municipality of Randwick. Sale completed Sales 47 13629 Refused~~  
 For 775 now Council of the Municipality of Randwick. Sale completed Sales 47 13629  
 For 775 now Council of the Municipality of Randwick. Sale completed Sales 47 13629  
 For 775 now Council of the Municipality of Randwick. Sale completed Sales 47 13629  
 For 775 now Council of the Municipality of Randwick. Sale completed Sales 47 13629



**NOTATION PLAN**

I CERTIFY that this is a CORRECT COPY of the original plan of survey and of all notations thereon now relevant, I being the officer having the custody thereof.  
*Charles Thomas Egan*  
 Officer-in-Charge, General Drafting Branch

Surround Area: 56277.09 sq ft

REFERENCE MARKS				TRAVERSE			
CORNER	BEARING	FROM	LINKS	N POINT	LINE	BEARING	DISTANCE
— Reference Marks —							
Drill holes and wings in concrete footpaths							

**PLAN MICROFILMED**

NO ADDITIONS OR AMENDMENTS TO BE MADE

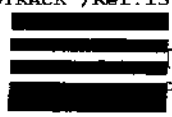
**6439-2030**

REPRODUCED FROM A B  
 FILED REPROD 1895

*Charles Thomas Egan*  
 of Sydney  
 A Surveyor registered under the Surveyors Act, 1923 do hereby solemnly and sincerely declare that the survey represented in this plan has been made by me in accordance with the Survey Practice Regulations 1933 and the special requirements of the Department of Lands was completed on the 7th July 1947, and the reference marks have been placed as shown hereon.  
 And I make this solemn declaration conscientiously believing the same to be true and by virtue of the provisions of the Oaths Act, 1901.  
*C. T. Egan*  
 Surveyor registered under the Surveyors Act 1923  
 Subscribed and declared before me at Sydney this 8th day of July 1947  
*R. T. Latham J.P.*  
 Justice of the Peace  
 Transmitted to the District Surveyor with my letter of B. 7. 47 47/2404  
 CHECKED & CHARTED *J. B. Mitchell* 21.7.47  
 EXAMINED AND RECAL APPROVED *R. T. Hanks*  
 GENERAL DRAFTING BRANCH  
 DATED 30.7.47



09558057



**CERTIFICATE OF TITLE**  
PROPERTY ACT, 1900, as amended.

M  
NEW SOUTH WALES  
(For Grant and title reference  
prior to first edition see  
Deposited Plan.)

Vol. **9558** Fol. **57**  
1st Edition issued 4-11-1963



**CANCELLED**

I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

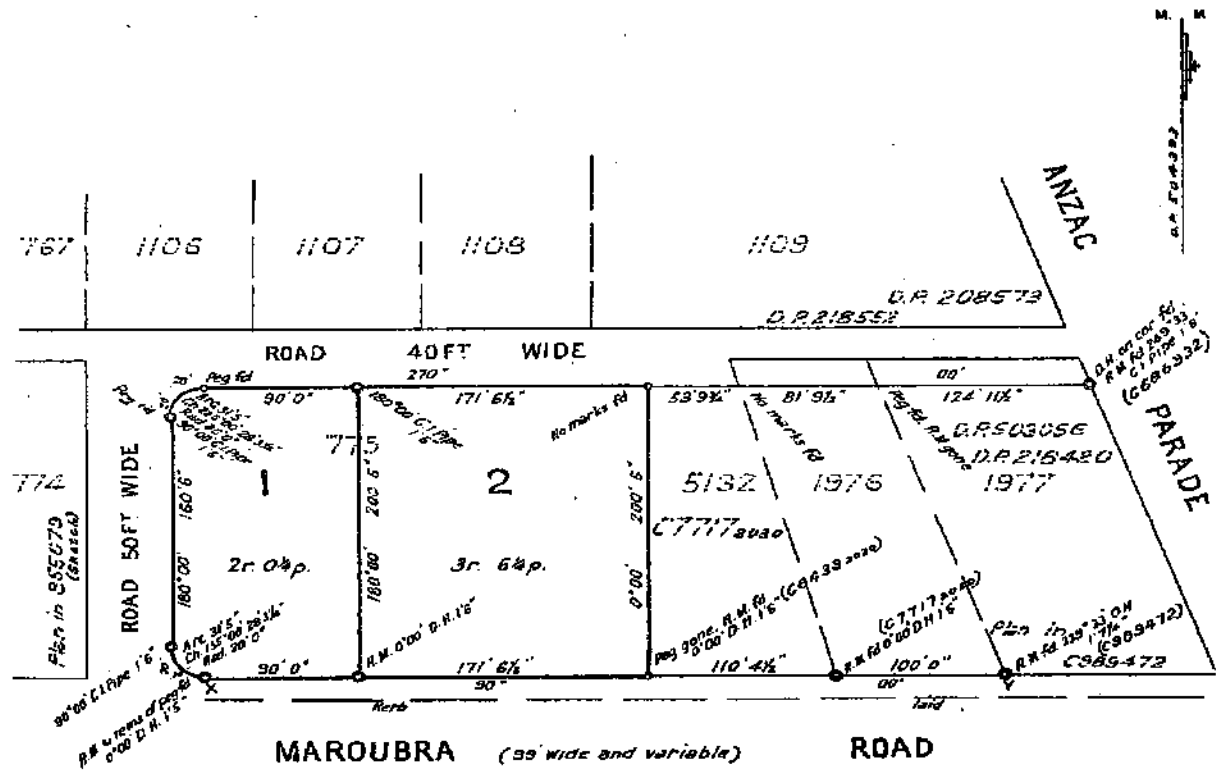
Witness

*B. Bailey*

*Jawatson*  
Registrar-General.



PLAN SHOWING LOCATION OF LAND



ESTATE AND LAND REFERRED TO.

Estate in Fee Simple in Lot 2 in Deposited Plan 504393 at Maroubra Junction Municipality of Randwick Parish of Botany and County Cumberland excepting thereout the minerals reserved by the Crown Grant.

FIRST SCHEDULE (Continued overleaf)

THE COUNCIL OF THE MUNICIPALITY OF RANDWICK.

*Jawatson*  
Registrar General.

SECOND SCHEDULE (Continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant(s) referred to in the said Deposited Plan.

*Jawatson*  
Registrar General.


PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.

Vol. 9558  
Fol. 57  
(Page 1) Vol.

ST 1609 V. G. N. BULLOCK, GOVERNMENT PRINTER

**FIRST SCHEDULE (continued)**

REGISTERED PROPRIETOR	INSTRUMENT			Signature of Registrar-General
	NATURE	NUMBER	DATE	
<p><i>My ... the whole</i></p> <p><i>Registered ... 506844</i></p> <p><i>1 to 3 incl ... 9618</i></p> <p><i>Jacobson</i></p> 				

**SECOND SCHEDULE (continued)**

PARTICULARS	ENTERED	Signature of Registrar-General	CANCELLATION

G, 4  
NEW SOUTH WALES

**CERTIFICATE OF TITLE**  
PROPERTY ACT, 1900, as amended.



9618084

Crown Grant Vol. 5756 Fol. 174  
Prior Title Vol. 9558 Fol. 57

Vol. 9618 Fol. 84  
1st Edition issued 30-1-1964.



I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness

*B. Bailey*

**CANCELLED**

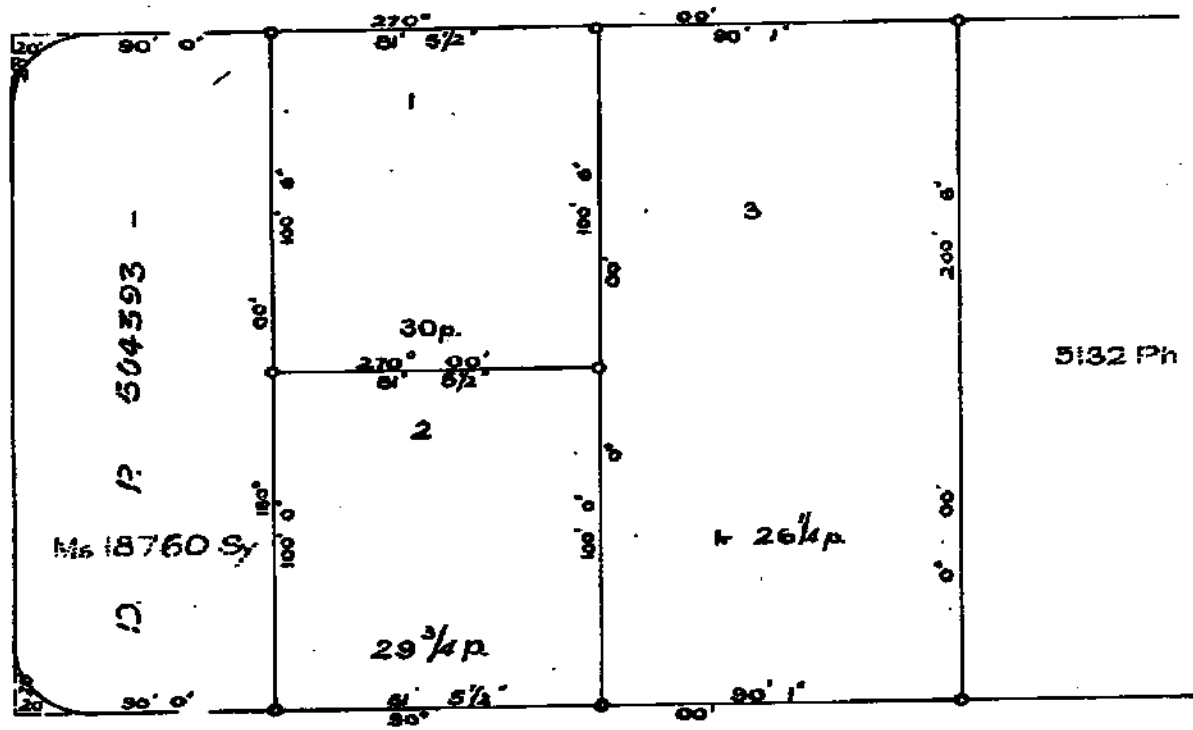
*Jawatson*  
Registrar-General.



SEE AUTO FOLIO

**PICCADILLY (10ft. wide) PLACE**

**BRUCE BENNETTS (50ft. wide) PLACE**



**MAROUBRA (99ft. wide and variable) ROAD**

**ESTATE AND LAND REFERRED TO.**

Estate in Fee Simple in Lot 1 in Deposited Plan 506844 at Maroubra Junction in the Municipality of Randwick Parish of Botany and County of Cumberland excepting thereout the minerals reserved by the Crown Grant.

**FIRST SCHEDULE (Continued overleaf)**

THE COUNCIL OF THE MUNICIPALITY OF RANDWICK.

*Jawatson*  
Registrar General.

**SECOND SCHEDULE (Continued overleaf)**

GRM

1. Reservations and conditions, if any, contained in the Crown Grant(s) referred to in the said Deposited Plan.

*Jawatson*  
Registrar General.

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.

9618 84  
Fol  
(Page 1) Vol

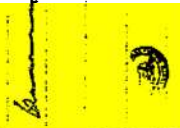

70847 1.02 ST LEON V. C. N. BLIGHT, GOVERNMENT PRINTERS  
 J. 2123  
 V339339  
 W339339

**FIRST SCHEDULE (continued)**

REGISTERED PROPRIETOR	INSTRUMENT NUMBER		DATE	ENTERED	Signature of Registrar-General
	NATURE	NUMBER			
					<b>CANCELLED</b>
					<b>SEE AUTO FOLIO</b>

84 Fol 9618

**SECOND SCHEDULE (continued)**

PARTICULARS	INSTRUMENT NUMBER		DATE	ENTERED	Signature of Registrar-General	CANCELLATION
	NATURE	NUMBER				
V339339 Lease to William Beard Pty. Limited. Expires 14-5-2005. Option of renewal 10 years. Registered 25-9-1984.						
V339339 Lease W386284 Transfer of Lease to Burns Philp Trustee Company (Canberra Limited in 4 share and Australian Mutual Provident Society in 4 share as tenants in common. Registered 25-6-1986						

7 U(-)

(Page 2 of 2 pages)



SEARCH DATE

24/10/2022 9:21AM

FOLIO: 1/506844

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 9618 FOL 84

Recorded	Number	Type of Instrument	C.T. Issue
-----	-----	-----	-----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
17/6/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
23/10/1991	E7374	APPLICATION	
23/10/1991	E7375	APPLICATION	
3/11/1992	E868383	SUB-LEASE	EDITION 1
12/11/1992	E896465	DEPARTMENTAL DEALING	EDITION 2
29/6/1995	O325295	REQUEST	EDITION 3
13/7/1995	O378213	TRANSFER OF LEASE	
13/7/1995	O378214	TRANSFER	
13/7/1995	O378215	REQUEST	
13/7/1995	O378216	MORTGAGE	EDITION 4
6/8/1996	DP266786	DEPOSITED PLAN	
6/9/1996	2440430	LEASE	EDITION 5
10/11/1997		AMENDMENT: LOCAL GOVT AREA	
27/9/2005	AB800385	VARIATION OF LEASE	EDITION 6
14/6/2011	AG162839	DISCHARGE OF MORTGAGE	
14/6/2011	AG162841	VARIATION OF LEASE	EDITION 7
16/4/2016	AK361734	VARIATION OF LEASE	EDITION 8
12/11/2016	AK918903	VARIATION OF LEASE	EDITION 9
31/8/2018	AN671890	VARIATION OF LEASE	EDITION 10
24/5/2022	AS154804	CAVEAT	EDITION 11
5/8/2022	AS359094	REQUEST	EDITION 12

END OF PAGE 1 - CONTINUED OVER

SEARCH DATE

24/10/2022 9:21AM

FOLIO: 1/506844

PAGE 2

Recorded	Number	Type of Instrument	C.T. Issue
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\*\*\* END OF SEARCH \*\*\*

# TRANSFER

Real Property Act, 1900



0  
378214 R



Office: \_\_\_\_\_  
0024 60/8490ZB100 00 206Z 56906Z

(A) **LAND TRANSFERRED**  
Show no more than 20 References to Title.  
If appropriate, specify the share transferred.

Folio Identifiers 1/506844 and 2/506844

(B) **LODGED BY**

L.T.O. Box <b>599D</b>	Name, Address or DX and Telephone <b>MINTER ELLISON 44 MARTIN PLACE SYDNEY FACSIMILE No. (02) 235 2711 REF: MRE 10362075</b>
---------------------------	---

(C) **TRANSFEROR**

THE COUNCIL OF THE MUNICIPALITY OF RANDWICK

(D) acknowledges receipt of the consideration of \$1,600,000.00

and as regards the land specified above transfers to the Transferee an estate in fee simple

(E) subject to the following **ENCUMBRANCES** 1. \_\_\_\_\_ 2. \_\_\_\_\_ 3. \_\_\_\_\_

(F) **TRANSFEEE**

<b>T</b> <b>TS</b> (s713 LGA) <b>TW</b> (Sheriff)	<b>BONRILL PTY LIMITED (ACN 067 865 760 356)</b> <b>TENANCY:</b>
---	---

(H) We certify this dealing correct for the purposes of the Real Property Act, 1900. DATED 1995-6-95

Signed in my presence by the Transferor who is personally known to me.  
The Common Seal of the Council of the City of Randwick was hereunto affixed this 30th day of June 1995  
in pursuance of a resolution of the Council passed on the 13th day of Dec 1994  
*Chris Justice*  
MAYOR



*[Signature]*  
GENERAL MANAGER Signature of Transferor

Signed in my presence by the Transferee who is personally known to me.  
THE COMMON SEAL of BONRILL PTY LIMITED was duly affixed in the presence of:



Signature of Witness

Name of Witness (BLOCK LETTERS)

Address of Witness Secretary

*[Signature]*  
Signature of Transferee Director

INSTRUCTIONS FOR FILLING OUT THIS FORM ARE AVAILABLE FROM THE LAND TITLES OFFICE CHECKED BY (office use only)



FOLIO: 1/506844

SEARCH DATE	TIME	EDITION NO	DATE
24/10/2022	9:22 AM	12	5/8/2022

LAND

-----  
 LOT 1 IN DEPOSITED PLAN 506844  
 AT MAROUBRA JUNCTION  
 LOCAL GOVERNMENT AREA RANDWICK  
 PARISH OF BOTANY COUNTY OF CUMBERLAND  
 TITLE DIAGRAM DP506844

FIRST SCHEDULE

BONRILL PTY LIMITED

(T 0378214)

SECOND SCHEDULE (3 NOTIFICATIONS)

- 
- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
  - 2 DP266786 RIGHT OF CARRIAGEWAY 12.19 WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
  - \* 3 AS154804 CAVEAT BY MAROUBRA LAND PTY LTD

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



CODE LABEL

G. 4  
NEW SOUTH WALES

**CERTIFICATE OF TITLE**  
PROPERTY ACT, 1900, as amended.

Crown Grant Vol. 5756 Fol. 174  
Prior Title Vol. 9558 Fol. 57

Vol. **9618** Fol. **85**  
1st Edition issued 30-1-1964.



I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness

*B. Bailey*

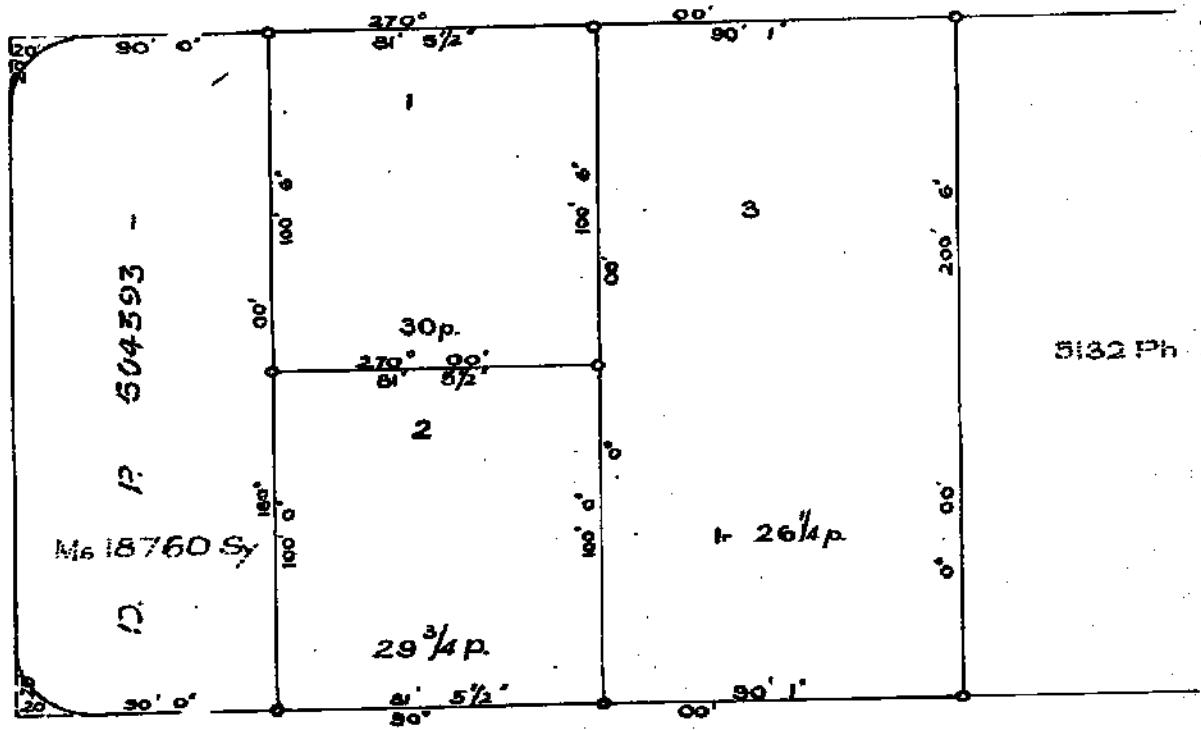
**CANCELLED**  
*Jawatson*  
Registrar-General.



SEE AUTO FOLIO

**PICCADILLY (40ft. wide) PLACE**

**BRUCE BENNETTS (50 ft. wide) PLACE**



**MAROUBRA (99 ft. wide and variable) ROAD**

ESTATE AND LAND REFERRED TO.

Estate in Fee Simple in Lot **2** in Deposited Plan 506844 at Maroubra Junction in the Municipality of Randwick Parish of Botany and County of Cumberland excepting thereout the minerals reserved by the Crown Grant.

FIRST SCHEDULE (Continued overleaf)

THE COUNCIL OF THE MUNICIPALITY OF RANDWICK.

*Jawatson*  
Registrar General.

SECOND SCHEDULE (Continued overleaf)

- 1. Reservations and conditions, if any, contained in the Crown Grant(s) referred to in the said Deposited Plan.

*Jawatson*  
Registrar General.

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED.

85  
9618

Fol. (Page 1) Vol.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.


70949 1.02 8/1006 V. C. N. BLIGHT, GOVERNMENT PRINTER

7692586  
 7339339  
 7339339  
 7339339

**FIRST SCHEDULE (continued)**

REGISTERED PROPRIETOR	NATURE	INSTRUMENT NUMBER		ENTERED	Signature of Registrar-General
		NATURE	NUMBER		
					<b>CANCELLED</b>
					<b>SEE AUTO FOLIO</b>

**SECOND SCHEDULE (continued)**

NATURE	INSTRUMENT NUMBER	DATE	PARTICULARS	ENTERED	Signature of Registrar-General	CANCELLATION
V339339 Lease to William Beard Pty. Limited. Expires 14-5-2005. Option of renewal 10 years. Registered 25-9-1984.					<i>[Signature]</i>	
V339339 Lease W386284 Transfer of Lease to Burns Philp Trustee Company (Canberra) Limited in 1 share and Australian Mutual Provident Society in 1 share as tenants in common. Registered 25-6-1986						



SEARCH DATE

24/10/2022 9:21AM

FOLIO: 2/506844

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 9618 FOL 85

Recorded	Number	Type of Instrument	C.T. Issue
-----	-----	-----	-----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
17/6/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
23/10/1991	E7374	APPLICATION	
23/10/1991	E7375	APPLICATION	
3/11/1992	E868383	SUB-LEASE	EDITION 1
12/11/1992	E896465	DEPARTMENTAL DEALING	EDITION 2
29/6/1995	O325295	REQUEST	EDITION 3
13/7/1995	O378213	TRANSFER OF LEASE	
13/7/1995	O378214	TRANSFER	
13/7/1995	O378215	REQUEST	
13/7/1995	O378216	MORTGAGE	EDITION 4
6/9/1996	2440430	LEASE	EDITION 5
10/11/1997		AMENDMENT: LOCAL GOVT AREA	
27/9/2005	AB800385	VARIATION OF LEASE	EDITION 6
14/6/2011	AG162840	DISCHARGE OF MORTGAGE	
14/6/2011	AG162841	VARIATION OF LEASE	EDITION 7
16/4/2016	AK361734	VARIATION OF LEASE	EDITION 8
12/11/2016	AK918903	VARIATION OF LEASE	EDITION 9
31/8/2018	AN671890	VARIATION OF LEASE	EDITION 10
24/5/2022	AS154804	CAVEAT	EDITION 11
5/8/2022	AS359094	REQUEST	EDITION 12

\*\*\* END OF SEARCH \*\*\*



FOLIO: 2/506844

SEARCH DATE	TIME	EDITION NO	DATE
24/10/2022	9:22 AM	12	5/8/2022

LAND

LOT 2 IN DEPOSITED PLAN 506844  
 AT MAROUBRA JUNCTION  
 LOCAL GOVERNMENT AREA RANDWICK  
 PARISH OF BOTANY COUNTY OF CUMBERLAND  
 TITLE DIAGRAM DP506844

FIRST SCHEDULE

BONRILL PTY LIMITED

(T 0378214)

SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- \* 2 AS154804 CAVEAT BY MAROUBRA LAND PTY LTD

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

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## **Appendix E**

Council Planning Certificate



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## PLANNING CERTIFICATE

ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Mr H Dubourdieu  
96 Hermitage Rd  
WEST RYDE NSW 2114.

**Description of land:** Lot 1 DP 506844, Lot 2 DP 506844

**Address:** 138 Maroubra Road, MAROUBRA NSW 2035

**Date of Certificate:** 11 October 2022

**Certificate No:** 63725

**Receipt No:** 5081991

**Amount:** \$133.00

**Reference:** 20854.02:72273

This planning certificate should be read in conjunction with the **Randwick City Council Local Environmental Plan 2012**. This is available on the NSW Legislation website at <https://www.legislation.nsw.gov.au/#/view/EPI/2013/36>

The land to which this planning certificate relates, being the lot or one of the lots described in the application made for this certificate, is shown in the Council's record as being situated at the "Address" stated above. The legal "description of land" (by lot(s) and DP/SP numbers) is obtained from NSW Land Registry Services. It is the responsibility of the applicant to enquire and confirm with NSW Land Registry Services the accuracy of the lot(s) and DP/SP numbers pertaining to the land for which application is made for the certificate.

*There is more information about some property conditions than is included on this property certificate.*

*If this case, after the condition text, there is a URL and a square bar code or 'QR code' which provides the address of a page on the Randwick City Council website.  
You will need internet access and either:*

- 1. **Download a QR code scanner** app to your phone and scan the QR code*
- or*
- 2. **Type the URL** into your internet browser*



## INFORMATION PROVIDED UNDER SECTION 10.7 (2)

In accordance with the requirements of section 10.7 of the Environmental Planning and Assessment Act 1979 and Schedule 2 of the Environmental Planning and Assessment Regulation 2021 (as amended), the following prescribed matters relate to the land as at the date of this certificate. The information provided in reference to the prescribed matters has been obtained from Council's records and/or from other authorities/government department. The absence of any reference to a matter affecting the land shall not imply that the land is not affected by that matter not referred to in this certificate. Council provides the information in good faith but disclaims all liability for any omission or inaccuracy. Please contact Council's Strategic Planning team on 1300 722 542 for further information about this Planning Certificate.

### 1 Names of relevant planning instruments and development control plans

(1) The name of each environmental planning instrument and development control plan that applies to the carrying out of development on the land.

#### State Environmental Planning Policies (SEPPs)

- **Biodiversity and Conservation SEPP 2021** - Chapter 2 – Vegetation in non-rural areas
- **Biodiversity and Conservation SEPP 2021** - Chapter 6 – Bushland in urban areas
- **Housing SEPP 2021** - Chapter 2 – Affordable Housing
- **Housing SEPP 2021** - Chapter 2, Part 3 – Retention of affordable rental housing
- **Housing SEPP 2021** - Chapter 3, Part 5 – Housing for seniors and people with a disability
- **Housing SEPP 2021** - Chapter 3, Part 9 – Caravan Parks
- **Industry and Employment SEPP 2021** - Chapter 3 – Advertising and Signage
- **Planning Systems SEPP 2021** - Chapter 2 – State and regional development
- **Planning Systems SEPP 2021** - Chapter 4 – Concurrences and consents
- **Resilience and Hazards SEPP 2021** - Chapter 2 - Coastal management
- **Resilience and Hazards SEPP 2021** - Chapter 3 – Hazardous and Offensive Development
- **Resilience and Hazards SEPP 2021** - Chapter 4 – Remediation of Land
- **Resources and Energy SEPP 2021** - Chapter 2 – Mining, petroleum production and extractive industries
- **Transport and Infrastructure SEPP 2021** - Chapter 2 – Infrastructure
- **Transport and Infrastructure SEPP 2021** - Chapter 3 – Educational establishments and childcare facilities
- **Transport and Infrastructure SEPP 2021** - Chapter 5 – Three Ports – Port Botany, Port Kembla and Newcastle
- **Codes SEPP 2008** - (Exempt and Complying Development Codes) 2008
- **SEPP No. 65** - Design Quality of Residential Flat Development
- **BASIX SEPP 2004** - BASIX (Building Sustainability Index) 2004
- **MCP SEPP 2007** - (Miscellaneous Consent Provisions) 2007

**Note:** Any questions regarding State Environmental Planning Policies and Regional Environmental Plans should also be directed to the Department of Planning and Environment 1300 420 596 or [www.planning.nsw.gov.au](http://www.planning.nsw.gov.au).

#### Local Environmental Plan (LEP) Gazetted 15 February 2013

- **Randwick LEP 2012 (Amendment No1) - Gazetted 21 November 2014**



Applies to part of Royal Randwick Racecourse (identified as "Area A" on the LEP Additional Permitted Uses Map). Permits additional uses of hotel or motel accommodation, serviced apartments and function centres with development consent.

- **Randwick LEP 2012 (Amendment No2) - Gazetted 2 April 2015**  
Applies to land at Young Street Randwick – Inglis Newmarket Site (shown as Area 1 on the LEP Key Sites Map). Amendment to planning controls, including zoning, height of buildings, heritage items and heritage area, FSR (subject to new Clause 6.16) and inclusion of the site as a Key Site.
- **Randwick LEP 2012 (Amendment No3) - Gazetted 15 July 2016**  
Amends Schedule 1 to include 'childcare centre' as an additional permitted use (with development consent) at 270 Malabar Road, Maroubra (Lot 3821, DP 752015).
- **Randwick LEP 2012 (Amendment No4) - Gazetted 25 January 2018**  
Applies to part of the land at 1T Romani Way, MATRAVILLE (Lot 1 DP 107189). Amendment to planning controls, including zoning, height of buildings and FSR.
- **Randwick LEP 2012 (Amendment No5) - Gazetted 17 August 2018**  
Applies to subdivision of dual occupancies (attached) in the Zone R2 Low Density Residential for which development consent was granted before 6 July 2018. Permits development consent to be granted for the Torrens Title or Strata subdivision of a dual occupancy if the development meets certain standards specified in State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.
- **Randwick LEP 2012 (Amendment No 6) – Gazetted 22 February 2019**  
Applies to the following land in Coogee, 38 Dudley Street (Lot 17 DP 6489), 40 Dudley Street (Lot 18 DP 6489), 42 Dudley Street (Lot 19 DP 6489), 44 Dudley Street (Lot 20 DP 6489 & Lot 1 DP 952229), 46 Dudley Street (Lot 2 in DP 952229) and 122 Mount Street (Lot 22 DP 6489) by incorporating these properties into the Dudley Street Heritage Conservation Area. Further, 38 Dudley Street (Lot 17 DP 6489), 42 Dudley Street (Lot 19 DP 6489), 44 Dudley Street (Lot 20 DP 6489 & Lot 1 DP 952229) and 122 Mount Street (Lot 22 DP 6489) have been listed as local heritage items in Schedule 5 the Randwick LEP 2012.
- **Randwick LEP 2012 (Amendment No 7) – Gazetted 10 July 2020**  
Applies to the following land in Coogee, 39 Dudley Street (Lot B DP 301192), 41 Dudley Street (Lot C DP 301192) and 148 Brook Street (Lot B DP 305284) which have now been listed as Local Heritage Items in Schedule 5 the Randwick LEP 2012.
- **Randwick LEP 2012 (Amendment No. 8) - Gazetted 14 August 2020**  
Applies to all land located within the Kensington and Kingsford town centres. Amendment to planning controls to include maximum height of buildings, FSR, Non-residential FSR, active street frontages, affordable housing inclusionary zoning, a Community Infrastructure Contribution, design excellence and architectural competition requirements and inclusion of the following land in the B2 Local Centre zone: 7 Addison Street KENSINGTON NSW 2033 (SP 11800), 157 Todman Avenue KENSINGTON NSW 2033 (SP 45348), 16,18 & 20 Barker Street, KENSINGTON NSW 2033 (Lot 1 DP 950767, Lot 1 DP 954209 & SP 65941), 582-584 Anzac Parade KINGSFORD NSW 2032 (Lot 1 DP 516025), 586-592 Anzac Parade KINGSFORD NSW 2033 (Lot 1 DP 942606, Pt Lot 1 DP 949009), 63 Harbourne Road, KINGSFORD NSW 2032 (SP 39850) and 12,14,16 & 18 Rainbow Street KINGSFORD NSW 2032 (Lot 13 DP 6134, SP 45197, Lot 15 DP 6134 & Lot 16 DP 6134).

#### Development control plans that apply to the carrying out of development on the land

- **Randwick DCP adopted by Council on the 28 May 2013 and came into effect on the 14<sup>th</sup> of June 2013**  
Provides detailed planning controls and guidance for development applications
- **Amendment to Randwick DCP 2013 Newmarket Green, Randwick (E5)**  
Site-specific DCP controls to supplement Randwick LEP 2012 (Amendment No 2)
- **Amendment to Randwick DCP 2013, Public Notification (A3)**



Section A3 of the DCP was repealed on the 15 January 2020. The Randwick City Council Community Participation Plan now guides notification requirements previously outlined in Section A3.

- **Amendment to Randwick DCP 2013, Kensington and Kingsford Town Centres (E6)**  
Section E6 of the DCP provides Centre based and site specific DCP controls for land in the Kensington and Kingsford Town Centres.

(2) *The name of each proposed environmental planning instrument and draft development control plan, which is or has been subject to community consultation or public exhibition under the Act, that will apply to the carrying out of development on the land.*

- **State Environmental Planning Policy (Sustainable Buildings) 2022 – to commence on 1<sup>st</sup> October 2023**
- **On the 15<sup>th</sup> of May 2019, Council received a Gateway Determination from the Department of Planning, Industry and Environment with conditions to progress a Planning Proposal to amend Schedule 5 of the Randwick Local Environmental Plan 2012 (RLEP) which relates to Environmental Heritage. Part of the proposal seeks to create a new Heritage Conservation Area (HCA) known as 'Edgumbe Estate' incorporating properties at 142A to 152 Brook Street, COOGEE, 37 to 41 Dudley Street, COOGEE and 5 Edgumbe Avenue, COOGEE. The proposal was publicly exhibited from Tuesday 28 May to 25 June 2019 and the proposal is now subject to due process.**
- **On the 12 September 2021, Council received a Gateway Determination from the Department of Planning, Industry and Environment with conditions to progress the Comprehensive Planning Proposal to amend the Randwick Local Environmental Plan 2012 (RLEP). The public exhibition period for the proposal is Tuesday 31 May to Tuesday 5 July 2022. The proposal is now subject to due process. Key changes proposed as part of the Draft Planning Proposal include:**
  - **New planning controls (zoning, height of building and FSR) in five identified Housing Investigation Areas proximate to the light rail alignment or town and strategic centres**
  - **Application of an Affordable Housing Contribution Scheme in the five Housing Investigation Areas**
  - **Changes to controls for the construction and subdivision of attached dual occupancies in the R2 Low Density Residential zone**
  - **Proposed new heritage items, archaeological sites and boundary adjustments to heritage conservation areas**
  - **Controls to promote environmental resilience**
  - **Strengthening open space requirements and creation of new open space zones**
  - **Supporting a diverse, safe and inclusive night time economy through changes to zone objectives and new exempt development provisions**
  - **New planning controls including changes to zoning and density of 20 neighbourhood clusters zoned residential to protect existing shops and businesses**
  - **New employment zones to replace existing B1 Neighbourhood Centre, B2 Local Centre and IN1 Light Industrial zones to align with State government reforms**
  - **Updating land zoning and development control maps to reflect the Randwick Hospital Expansion area and the Randwick Racecourse (Light Rail Stabling Yard)**
  - **Rezoning and increased development standards for several sites based on owner-initiated rezoning requests; and**
  - **Housekeeping amendments to correct zoning and boundary anomalies.**

**For further information on the Comprehensive Planning Proposal, please see the link provided below:**



[www.randwick.nsw.gov.au/planning-and-building/planning/local-environmental-plan-lep/randwick-comprehensive-planning-proposal](http://www.randwick.nsw.gov.au/planning-and-building/planning/local-environmental-plan-lep/randwick-comprehensive-planning-proposal)



(3) Subsection (2) does not apply in relation to a proposed environmental planning instrument or draft development control plan if—

- (a) it has been more than 3 years since the end of the public exhibition period for the proposed instrument or draft plan, or
- (b) for a proposed environmental planning instrument—the Planning Secretary has notified the council that the making of the proposed instrument has been deferred indefinitely or has not been approved.

(4) In this section—

**proposed environmental planning instrument** means a draft environmental planning instrument and includes a planning proposal for a local environmental plan.

## 2 Zoning and land use under relevant LEPs

The following matters for each environmental planning instrument or draft environmental planning instrument that includes the land in a zone, however described

- (a) The identity of the zone, whether by reference to —
  - (i) a name, such as "Residential Zone" or "Heritage Area", or
  - (ii) a number, such as "Zone No 2 (a)",
- (b) the purposes for which development in the zone—
  - (i) may be carried out without development consent, and
  - (ii) may not be carried out except with development consent, and
  - (iii) is prohibited,

**Zone B2** (Local Centre) in Randwick LEP 2012

### 1. Objectives of zone

- To provide a range of retail, business, entertainment and community uses that serve the needs of people who live in, work in and visit the local area.
- To encourage employment opportunities in accessible locations.
- To maximise public transport patronage and encourage walking and cycling.
- To enable residential development that is well-integrated with, and supports the primary business function of, the zone.
- To facilitate a high standard of urban design and pedestrian amenity that contributes to achieving a sense of place for the local community.
- To minimise the impact of development and protect the amenity of residents in the zone and in the adjoining and nearby residential zones.
- To facilitate a safe public domain.

### 2. Permitted without consent

Home occupations; Recreation areas

### 3. Permitted with consent

Boarding houses; Centre-based child care facilities; Commercial premises; Community facilities; Dwelling houses; Educational establishments; Entertainment facilities; Function centres; Group homes; Hostels; Information and education facilities; Medical centres; Oyster aquaculture, Passenger transport facilities; Recreation facilities (indoor); Registered clubs; Residential care facilities; Residential flat buildings; Respite day care centres; Restricted premises; Roads; Service stations; Shop top housing; Tank-based



aquaculture; Tourist and visitor accommodation; Any other development not specified in item 2 or 4

#### **4. Prohibited**

Agriculture; Air transport facilities; Airstrips; Animal boarding or training establishments; Biosolids treatment facilities; Boat building and repair facilities; Boat launching ramps; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Charter and tourism boating facilities; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Environmental facilities; Extractive industries; Farm buildings; Forestry; Freight transport facilities; Heavy industrial storage establishments; Helipads; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Jetties; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Pond-based aquaculture; Port facilities; Recreation facilities (major); Residential accommodation; Resource recovery facilities; Rural industries; Sewage treatment plants; Sex services premises; Storage premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Waste disposal facilities; Water recreation structures; Water recycling facilities; Water supply systems; Wharf or boating facilities; Wholesale supplies.

*(c) whether additional permitted uses apply to the land,*

*(d) whether development standards applying to the land fix minimum land dimensions for the erection of a dwelling house on the land and, if so, the fixed minimum land dimensions,*

The land IS NOT subject to any development standards that fix minimum land dimensions for the erection of a dwelling house.

*(e) whether the land is in an area of outstanding biodiversity value under the Biodiversity Conservation Act 2016,*

The land DOES NOT include or comprise a critical habitat area under the Threatened Species Conservation Act 1995.

*(f) Whether the land is in a conservation area, however described*

The land IS NOT located in a heritage conservation area under the Randwick LEP 2012.

*(g) whether an item of environmental heritage, however described, is located on the land.*

The land IS NOT listed as a heritage item under the Randwick LEP 2012.

The land IS NOT listed on the State Heritage Register under Heritage Act 1977.

### **3 Contributions plans**

*(1) The name of each contributions plan under the Act, Division 7.1 applying to the land, including draft contributions plans.*

*(2) If the land is in a special contributions area under the Act, Division 7.1, the name of the area.*

Randwick City Council Section 7.12 (previously Section 94A) Development Contributions Plan (effective 21 April 2015).

### **4 Complying Development**

*(1) If the land is land on which complying development may be carried out under each of the complying development codes under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, because of that Policy, clause 1.17A(1)(c)-(e), (2), (3) or (4), 1.18(1)(c3) or 1.19.*



(2) If complying development may not be carried out on the land because of 1 of those clauses, the reasons why it may not be carried out under the clause.

(3) If the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land, a statement that—  
(a) a restriction applies to the land, but it may not apply to all of the land, and  
(b) the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

(4) If the complying development codes are varied, under that Policy, clause 1.12, in relation to the land.

#### **Housing Code**

Complying development under the Housing Code **MAY** be carried out on the land.

#### **Low Rise Housing Diversity Code**

Complying development under the Low Rise Housing Diversity Code **MAY** be carried out on the land.

#### **Rural Housing Code**

Complying development under the Rural Housing Code **MAY** be carried out on the land.

#### **Housing Alterations Code**

Complying development under the Housing Alterations Code **MAY** be carried out on the land.

#### **General Development Code**

Complying development under the General Development Code **MAY** be carried out on the land.

#### **Commercial and Industrial Alteration Code**

Complying development under the Commercial and Industrial Alteration Code **MAY** be carried out on the land.

#### **Commercial and Industrial (New Buildings and Additions) Code**

Complying development under the Commercial and Industrial (New Buildings and Additions) Code **MAY** be carried out on the land.

#### **Container Recycling Facilities Code**

Complying Development under the Container Recycling Facilities Code **MAY** be carried out on the land.

#### **Subdivisions Code**

Complying development under the Subdivisions Code **MAY** be carried out on the land.

#### **Demolition Code**

Complying development under the Demolition Code **MAY** be carried out on the land.

#### **Fire Safety Code**

Complying development under the Fire Safety Code **MAY** be carried out on the land.

A copy of the Codes SEPP is available at [www.planning.nsw.gov.au](http://www.planning.nsw.gov.au). For further information please call the Department of Planning and Environment Centre on Free call 1300 305 695.



**Note:** To be complying development, the development must meet the General requirements set out in clause 1.18 of the Codes SEPP. Development must also meet all development standards set out in the relevant code.

**Note:** This information needs to be read in conjunction with the whole of the State Environment Planning Policy. If an identification, restriction or characteristic of land referred to above is not located on or does not comprise, the whole of the relevant land, complying development may be carried out on any part of the land not so identified, restricted or characterised.

**Note:** Information regarding whether the property is affected by flood related development controls or is bushfire prone land is identified in other sections of this certificate. If your property is identified as being impacted by bushfire or flooding, a specific technical assessment of these issues will be required as part of any Complying Development Certificate application under the State Environment Planning Policy, or a development application for any other type of development requiring consent from Council.

**Note:** Despite any references above advising that Complying Development may be undertaken on the land, certain Complying Development may be precluded from occurring on the land due to requirements contained in the remainder of State Environment Planning Policy (Exempt and Complying Development Codes) 2008. It is necessary to review the State Environment Planning Policy in detail to ensure that specific types of complying development may be undertaken on the land.

## 5 Exempt Development

*(1) If the land is land on which exempt development may be carried out under each of the exempt development codes under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, because of that Policy, clause 1.16(1)(b1)–(d) or 1.16A.*

*(2) If exempt development may not be carried out on the land because of 1 of those clauses, the reasons why it may not be carried out under the clause.*

*(3) If the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land, a statement that—*

*(a) a restriction applies to the land, but it may not apply to all of the land, and*

*(b) the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land.*

*(4) If the exempt development codes are varied, under that Policy, clause 1.12, in relation to the land.*

### **Division 1 General Code**

Exempt development under the Code **MAY** be carried out on the land.

### **Division 2 Advertising and Signage Code**

Exempt development under the Code **MAY** be carried out on the land.

### **Division 3 Temporary Uses and Structures Code**

Exempt development under the Code **MAY** be carried out on the land.

### **Division 4 Special Provisions – COVID 19**

Repealed

**Note:** Despite any references above advising that Exempt Development may be undertaken on the land, certain Exempt Development may be precluded from occurring on the land due to requirements contained in the remainder of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008. It is necessary to review the State Environmental Planning Policy in detail to ensure that specific types of exempt development may be undertaken on the land.



## 6 Affected building notices and building product rectification orders

(1) Whether the council is aware that—

- (a) an affected building notice is in force in relation to the land, or
- (b) a building product rectification order is in force in relation to the land that has not been fully complied with, or
- (c) a notice of intention to make a building product rectification order given in relation to the land is outstanding.

(2) In this section—

**affected building notice** has the same meaning as in the Building Products (Safety) Act 2017, Part 4.  
**building product rectification order** has the same meaning as in the Building Products (Safety) Act 2017.

The land IS NOT affected by any notice or order within the meaning of the Building Products (Safety) Act 2017.

## 7 Land reserved for acquisition

Whether an environmental planning instrument or proposed environmental planning instrument referred to in section 1 makes provision in relation to the acquisition of the land by an authority of the State, as referred to in the Act, section 3.15.

### State Environmental Planning Policies

Council is unable to provide any site-specific information on the provisions of any State Environmental Planning Policy regarding the acquisition of land. Information on State Environmental Planning Policies listed in this certificate is available at NSW Legislation – In force legislation. Any enquiries regarding State and Regional Environmental Planning Policies should be directed to the Department of Planning and Environment's website.

### Draft State Environmental Planning Policies

Council is unable to provide site-specific information on the provisions of any draft State Environmental Planning Policy regarding the acquisition of land. Information on the draft State Environmental Planning Policies listed in this certificate is available on the Department of Planning and Environment Have Your Say webpage for Draft plans and policies. Any enquiries regarding State and Regional Environmental Planning Policies should be directed to the Department of Planning and Environment's website.

### Local Environmental Plan

The land IS NOT affected by any environmental planning instrument or proposed environmental planning instrument referred to in section 1 that makes provision in relation to the acquisition of the land by an authority of the State, as referred to in the Act, section 3.15.

## 8 Road widening and road realignment

Whether the land is affected by road widening or road realignment under—

(a) the Roads Act 1993, Part 3, Division 2, or

The land IS NOT affected by any road widening or road realignment under the Roads Act 1993, Part 3, Division 2.

(b) an environmental planning instrument, or

The land IS NOT affected by any road widening or road realignment under the provisions of Randwick LEP 2012.

(c) a resolution of the Council.

The land IS NOT affected by any resolution of the Council for any road widening or road realignment.



**Note:** This item relates to Council's road proposals only. Other authorities, including Transport for NSW may have road widening proposals.

## 9 Flood related development controls

(1) *If the land or part of the land is within the flood planning area and subject to flood related development controls.*

**No.**

(2) *If the land or part of the land is between the flood planning area and the probable maximum flood and subject to flood related development controls.*

**Yes.**

(3) *In this section—*

**flood planning area** has the same meaning as in the Floodplain Development Manual.

**Floodplain Development Manual** means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

**probable maximum flood** has the same meaning as in the Floodplain Development Manual.

**Note:** The information provided in Item 9 is based on the data and information presently available to the Council and on development controls in force as at the date of this certificate. The identification of land as not being subject to flood related development controls does not mean that the land is not, or may not be, subject to flooding or that the land will not in the future be subject to flood related development controls, as additional data and information regarding the land become available.

Details relating to flood risk and flood planning levels may be provided on a Flood Level Certificate. The application form is available on Council's website.

## 10 Council and other public authority policies on hazard risk restrictions

(1) *Whether any of the land is affected by an adopted policy that restricts the development of the land because of the likelihood of land slip, bush fire, tidal inundation, subsidence, acid sulphate soils, contamination, aircraft noise, salinity, coastal hazards, sea level rise or another risk, other than flooding.*

Council HAS NOT adopted a policy or been notified of any adopted policy of another public authority, that restricts development on the land because of the likelihood of land slip, bush fire, tidal inundation, subsidence; salinity, coastal hazards, or sea level rise.

Council DOES HAVE adopted policies or has been notified of adopted policies of another public authority on matters relating to the risk of acid sulphate soils; contamination; low-lying lands; aircraft noise; Malabar Treatment Plant odour; and Former Matraville Incinerator land.

(2) *In this section—*

**adopted policy** means a policy adopted—

(a) *by the Council, or*

Excluding Councils Contaminated Land Policy, the subject land IS NOT affected by any other council policy relating to hazard risk restrictions.

(b) *by another public authority, if the public authority has notified the Council that the policy will be included in a planning certificate issued by the Council.*

The land IS NOT affected by a policy adopted by any other public authority and notified to the council for the express purpose of its adoption by that authority being referred to in planning certificates issued by the council that restricts the development of the land because of the likelihood of land slip, bushfire, (other than flooding), tidal inundation, subsidence, acid sulphate soils or any other risk.



### 11 Bush fire prone land

(1) If any of the land is bush fire prone land, designated by the Commissioner of the NSW Rural Fire Service under the Act, section 10.3, a statement that all or some of the land is bush fire prone land.

(2) If none of the land is bush fire prone land, a statement to that effect.

The land IS NOT bush fire prone land (as defined in the Act).

### 12 Loose-fill asbestos insulation

If the land includes residential premises, within the meaning of the Home Building Act 1989, Part 8, Division 1A, that are listed on the Register kept under that Division, a statement to that effect.

The land DOES NOT include any residential premises (within the meaning of the Home Building Act 1989, Part 8, Division 1A) that are listed on the register kept under that Division.

### 13 Mine subsidence

Whether the land is declared to be a mine subsidence district, within the meaning of the Coal Mine Subsidence Compensation Act 2017.

The land IS NOT declared to be a mine subsidence district within the meaning of the Coal Mine Subsidence Compensation Act 2017.

### 14 Paper subdivision information

(1) The name of a development plan adopted by a relevant authority that—

- (a) applies to the land, or Page 151 Environmental Planning and Assessment Regulation 2021 [NSW] Schedule 2 Planning certificates Published LW 17 December 2021 (2021 No 759)
- (b) is proposed to be subject to a ballot.

(2) The date of a subdivision order that applies to the land.

(3) Words and expressions used in this section have the same meaning as in this Regulation, Part 10 and the Act, Schedule 7.

The land IS NOT land to which a development plan or subdivision order applies.

### 15 Property vegetation plans

If the land is land in relation to which a property vegetation plan is approved and in force under the Native Vegetation Act 2003, Part 4, a statement to that effect, but only if the council has been notified of the existence of the plan by the person or body that approved the plan under that Act.

Council HAS NOT been notified of any property vegetation plan under the Native Vegetation Act 2003, Part 4 applying to the land.

### 16 Biodiversity stewardship sites

If the land is a biodiversity stewardship site under a biodiversity stewardship agreement under the Biodiversity Conservation Act 2016, Part 5, a statement to that effect, but only if the council has been notified of the existence of the agreement by the Biodiversity Conservation Trust.

Council HAS NOT been notified that the land is a biodiversity stewardship site by the Biodiversity Conservation Trust.

**Note:** Biodiversity stewardship agreements include biobanking agreements under the Threatened Species Conservation Act 1995, Part 7A that are taken to be biodiversity stewardship agreements under the Biodiversity Conservation Act 2016, Part 5.



### 17 Biodiversity certified land

*If the land is biodiversity certified land under the Biodiversity Conservation Act 2016, Part 8, a statement to that effect.*

The land IS NOT biodiversity certified land.

**Note:** Biodiversity certified land includes land certified under the Threatened Species Conservation Act 1995, Part 7AA that is taken to be certified under the Biodiversity Conservation Act 2016, Part 8.

### 18 Orders under Trees (Disputes Between Neighbours) Act 2006

*Whether an order has been made under Trees (Disputes Between Neighbours) Act 2006 to carry out work in relation to a tree on the land, but only if the council has been notified of the order.*

The land IS NOT land to which an order under Trees (Disputes Between Neighbours) Act 2006 applies.

### 19 Annual charges under Local Government Act 1993 for coastal protection services that relate to existing coastal protection works

(1) *If the Coastal Management Act 2016 applies to the council, whether the owner, or a previous owner, of the land has given written consent to the land being subject to annual charges under the Local Government Act 1993, section 496B, for coastal protection services that relate to existing coastal protection works.*

(2) *In this section—*  
**existing coastal protection works** *has the same meaning as in the Local Government Act 1993, section 553B.*

**Note:** Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

Not applicable.

### 20 State Environmental Planning Policy (Western Sydney Aerotropolis) 2020

*Whether under State Environmental Planning Policy (Western Sydney Aerotropolis) 2020 the land is—*

- (a) in an ANEF or ANEC contour of 20 or greater, as referred to in that Policy, clause 19, or*
- (b) shown on the Lighting Intensity and Wind Shear Map, or*
- (c) shown on the Obstacle Limitation Surface Map, or*
- (d) in the "public safety area" on the Public Safety Area Map, or*
- (e) in the "3 kilometre wildlife buffer zone" or the "13 kilometre wildlife buffer zone" on the Wildlife Buffer Zone Map.*

Not applicable.

### 21 Site compatibility certificates and conditions for seniors housing

*If State Environmental Planning Policy (Housing) 2021, Chapter 3, Part 5 applies to the land, any conditions of a development consent granted after 11 October 2007 in relation to the land that are of the kind set out in that Policy, clause 88(2).*

The land IS NOT subject of a current site compatibility certificate (of which the Council is aware) that has been issued under Chapter 3, Part 5 of the Housing SEPP 2021.



**22 Site compatibility certificates and development consent conditions for affordable rental housing**

- (1) *Whether there is a current site compatibility certificate under State Environmental Planning Policy (Housing) 2021, or a former site compatibility certificate, of which the council is aware, in relation to proposed development on the land and, if there is a certificate—
  - (a) the period for which the certificate is current, and
  - (b) that a copy may be obtained from the Department.*
- (2) *If State Environmental Planning Policy (Housing) 2021, Chapter 2, Part 2, Division 1 or 5 applies to the land, any conditions of a development consent in relation to the land that are of a kind referred to in that Policy, clause 21(1) or 40(1).*
- (3) *Any conditions of a development consent in relation to land that are of a kind referred to in State Environmental Planning Policy (Affordable Rental Housing) 2009, clause 17(1) or 38(1).*
- (4) *In this section— former site compatibility certificate means a site compatibility certificate issued under State Environmental Planning Policy (Affordable Rental Housing) 2009.*

The land IS NOT subject to a current or former site compatibility certificate (of which the council is aware) for affordable rental housing.



**Contaminated Land Management Act 1997**

**Note.** The following matters are prescribed by section 59 (2) of the [Contaminated Land Management Act 1997](#) as additional matters to be specified in a planning certificate:

(a) that the land to which the certificate relates is significantly contaminated land within the meaning of that Act—if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

The land IS NOT significantly contaminated land within the meaning of the Contaminated Land Management Act 1997.

(b) that the land to which the certificate relates is subject to a management order within the meaning of that Act—if it is subject to such an order at the date when the certificate is issued,

The land IS NOT subject to a management order within the meaning of the Contaminated Land Management Act 1997.

(c) that the land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act—if it is the subject of such an approved proposal at the date when the certificate is issued,

The land IS NOT the subject of an approved voluntary management proposal within the meaning of the Contaminated Land Management Act 1997.

(d) that the land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act—if it is subject to such an order at the date when the certificate is issued,

The land IS NOT the subject to an ongoing maintenance order within the meaning of the Contaminated Land Management Act 1997.

(e) that the land to which the certificate relates is the subject of a site audit statement within the meaning of that Act—if a copy of such a statement has been provided at any time to the local authority issuing the certificate,

Council HAS NOT received a copy of a site audit statement, within the meaning of the Contaminated Land Management Act 1997, for this land.

**Note.** Section 53B requires site auditors to furnish local authorities with copies of site audit statements relating to site audits for the purposes of statutory requirements.



## INFORMATION PROVIDED UNDER SECTION 10.7(5)

**NOTE:**

Council has no obligation to provide any advice in this planning certificate in response to a request made under s.10.7 (5) of the Act.

If Council does include advice in this planning certificate in response to a s.10.7 (5) request then, as far as practicable on the information available to Council, the advice shall be current as at 12:noon two(2) working days prior to the date of issue of this planning certificate.

Council draws your attention to the fact that if there is an omission or absence of reference in any advice given in this planning certificate, that is or may be relevant to the subject land, that shall not imply that the land is not affected by any matter not mentioned or referred to in this planning certificate.

Council draws your attention to s.10.7(6) of the Act which provides that Council shall not incur any liability in respect of any advice provided in good faith pursuant to s.10.7(5) of the Act.

**Additional Relevant Matters**

At the date of this certificate, the following relevant matters affecting the land are provided in good faith in accordance with the requirements of Section 10.7(5) of the Environmental Planning and Assessment Act 1979.

**Council resolutions to prepare draft Local Environmental Plans**

*Name of proposed environmental planning instrument that includes a planning proposal for LEP or a draft environmental planning instrument.*

- Council has prepared a Planning Proposal to include 11A Marcel Avenue, Coogee (Lot 51 DP318884) within Schedule 5 - Part 1 – Heritage Items and extension of the boundary of the Moira Crescent Heritage Conservation Area (Schedule 5- Part 2 – Heritage Conservation Areas) of Randwick LEP 2012.

**Note:** This section applies to Draft Local Environmental Plans that have yet to be placed on Community Consultation under the Environmental Planning and Assessment Act, 1979.

**Terrestrial Biodiversity**

The land IS NOT identified and mapped as `Biodiversity' in Randwick LEP 2012.

**Foreshore Scenic Protection Areas**

The land IS NOT identified and mapped within a Foreshore Scenic Protection Area in Randwick LEP 2012.

**Foreshore Area (Foreshore Building Line)**

The land IS NOT identified and mapped as "Foreshore Area" within the Randwick LEP 2012 Foreshore Building Line Map.

**Licences Under The Water Act 1912**

The Property **IS** within the ground water extraction embargo area or the water shortage zone declared under the Water Act 1912.



**For more information please see:**

[www.randwick.nsw.gov.au/149-Groundwater](http://www.randwick.nsw.gov.au/149-Groundwater)



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**Aircraft Noise (ANEF)**

This property IS NOT affected by aircraft noise levels as measured by the Australian Noise Exposure Forecast (ANEF) identified by Sydney Airport Corporation Limited (SACL), endorsed by Air Services Australia (ASA).

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**Flood Studies**

Council **IS** in possession of a flood study that covers the catchment in which this property is located. The flood study is available for inspection at the Council if required.

**For more information please see:**

[www.randwick.nsw.gov.au/149-Flooding](http://www.randwick.nsw.gov.au/149-Flooding)



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**Residential Parking Schemes**

No resident parking permits will be issued for new development or for significant alterations and additions to residential flat buildings that have been determined under Randwick Local Environmental Plan 2012 and Randwick Development Control Plan 2013.

---

**Business Zone-Night Time Economy**

Randwick City's centres that are zoned E1 Local Centre and E2 Commercial Centre play a key role in supporting local businesses and cultural and creative uses.

The Randwick City Economic Development Strategy identifies a number of actions to support the revitalisation of these zones, to encourage activation, investment and support of a safe, and diverse night time economy.

Future residents should be aware that business, cultural and creative uses may generate noise, odour, traffic and have longer hours of operation, which is part of living in/near a E1 Local Centre and E2 Commercial Centre.

**Stella Agagiotis**  
**Manager Strategic Planning**  
**1300 722 542**

Date: 11-Oct-2022

---

## **Appendix F**

Selected Council Records



# ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

503/136/D 143/92

## RANDWICK CITY COUNCIL (SECTION 77(3)) DEVELOPMENT APPLICATION

Administrative Centre,  
30 Frances Street,  
Randwick NSW 2031

MAR 31 -9 :44

OFFICE USE ONLY	
D.A. Registration No.	143
Date received	30/3/92
Time received	
Est. of cost	
Assessed D.A. fee \$	50 -
Advertising fee \$	
Fee receipt No.	5978
Determination date	
Effective consent date	

Applicants name: MR PETER GYSSLINK  
 Full postal address: 3/359 NEW CANTERBURY ROAD  
DULWICH HILL 2203 Ph: 560 6882

I hereby apply for development consent to carry out the development described below.

A. Description of the land to which the development application relates

No. or name 136-138 Street MAROUBRA ROAD  
 Locality/Suburbs MAROUBRA NSW 2035

Real Property Description LOTS 1 AND 2 IN D.P. 506884 AT MAROUBRA JUNCTION BEING THE WHOLE OF THE LAND CONTAINED IN CERTIFICATES OF TITLE VOLUME 9618 FOLIO 84 AND VOLUME 9618 FOLIO 85.

Note: A plan (in triplicate) of the subject land must accompany the application - refer to Note 2 of Instructions for Completing Development Application.

B. Description of development or other activity (eg. advertisement, Demolition, etc.) for which development consent is sought:  
PLANT NURSERY

Where development involves the erection of a building, the proposed use of that building when erected:

Present use of land or buildings VACANT  
 Use of land or building as at 27th June, 1951 NOT KNOWN  
 28th April, 1978 SERVICE STATION

Note: Plans/drawings and other information (in triplicate) describing the development must accompany the application - refer to Notes 3 and 4 of Instructions for Completing Development Application.

C. Estimated cost of the proposed development (where it involves the erection of a building or the carrying out of a work):  
\$ 25,000.00

Note: Refer to Note 1 of the Instructions for Completing Development Application.

D. Environmental impact of proposed development:  
 The application is accompanied by:-  
 \* (a) an environmental impact statement (in the case of designated development)  
 \* (b) a statement of environmental effects  
 \* delete whichever is inapplicable.

Note: refer to Notes 5 and 6 of the Instructions for Completing Development Application.

Signature of applicant or person signing on behalf of applicant. Where not signed by applicant, state capacity in which application is signed.  
P. Gyslink Date 30.3.92

CONSENT OF OWNER(S)\*

WE NATIONAL AUSTRALIA TRUSTEE LIMITED as Trustee for Stockland Trusts  
 C/- STOCKLAND TRUST GROUP  
 of 181 CASTLEREAGH STREET, SYDNEY

being the owner of the land to which this application relates hereby consent to the making of this application

Signature of owner(s) [Signature] Date 30.3.92

\*To be completed

(a) where the land to which the development application relates, does not comprise Crown Lands and the applicant is not the owner of that land; or

(b) where the land comprises Crown Lands; and the applicant is not the lawful occupier or owner of that land.

T.C. CITY MANAGER	
DIR. PLANNING	
FINANCE MANAGER	
DIR. ENV'T. SERV.	
HUMAN RES. MGR.	
ACKNOWLEDGE	
FILE	

Our Ref: IB.MC-2 (503/136/D-143/92)

7 May 1992

Mr P Gysslink  
3/359 New Canterbury Road  
DULWICH HILL 2203

Dear Mr Gysslink,

PREMISES: 136-138 MAROUBRA ROAD, MAROUBRA.

Reference is made to your application for approval to develop the abovementioned property.

I wish to advise that Council has determined your application as follows:

That the Council as the responsible authority grant its consent to the application submitted by Mr P Gysslink of 3/359 New Canterbury Road, Dulwich Hill, for permission to make alterations and convert the disused service station and rear parking area for use as a plant nursery and florist on property No. 136-138 Maroubra Road, Maroubra, subject to the following conditions:

1. Development of the site being carried out generally in accordance with the plans submitted with the application dated 30 March, 1992.
2. General conditions originally adopted by Council on 22 August, 1978, and last amended 11 June, 1985: (a), (d), (f), (g).
3. No nuisance being caused by the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, dust, waste water, waste products, grit, oil or otherwise.
4. No goods or machinery are to be stored on Council's footway at any time;
5. If required, building plans being altered to comply with the provisions of Ordinance 70 to the satisfaction of the Director of Environmental Services.

6. Separate application made for any advertising structure in accordance with the provisions of Ordinance 55 Local Government Act, 1919, before erection.
7. The off-street parking area being marked out and the availability of on-site parking being clearly signposted to the satisfaction of the Director of Environmental Services.
8. Location of/and facilities for the collection, storage and disposal of waste generated within the development and/or building site shall be provided and shown to the satisfaction of the Director of Environmental Services. Full details are to be submitted for approval with the Building Application.
9. All loading and unloading of plants/goods being carried out on the site.
10. Details of the siting of any plant and equipment is to be submitted for consideration with the building application for this proposal.
11. The proposed use of the premises and the operation of all plant and equipment shall not give rise to an 'offensive noise' as defined in the Noise Control Act, 1975, and full details of all plant and equipment to be submitted with the building application to the Council's requirements.
12. Disabled access is to be provided to the existing building to the satisfaction of the Director of Environmental Services.

These conditions of approval have been imposed in order to safeguard the present and likely future amenity of the locality and to ensure a satisfactory standard of development.

Section 97(1) of the Environmental Planning and Assessment Act provides that you have the right of appeal against Council's decision to the Land and Environment Court.

A copy of the general conditions referred to above is enclosed.

Yours faithfully,

A.V. Burgess,  
TOWN CLERK/CITY MANAGER.

Per:  .....





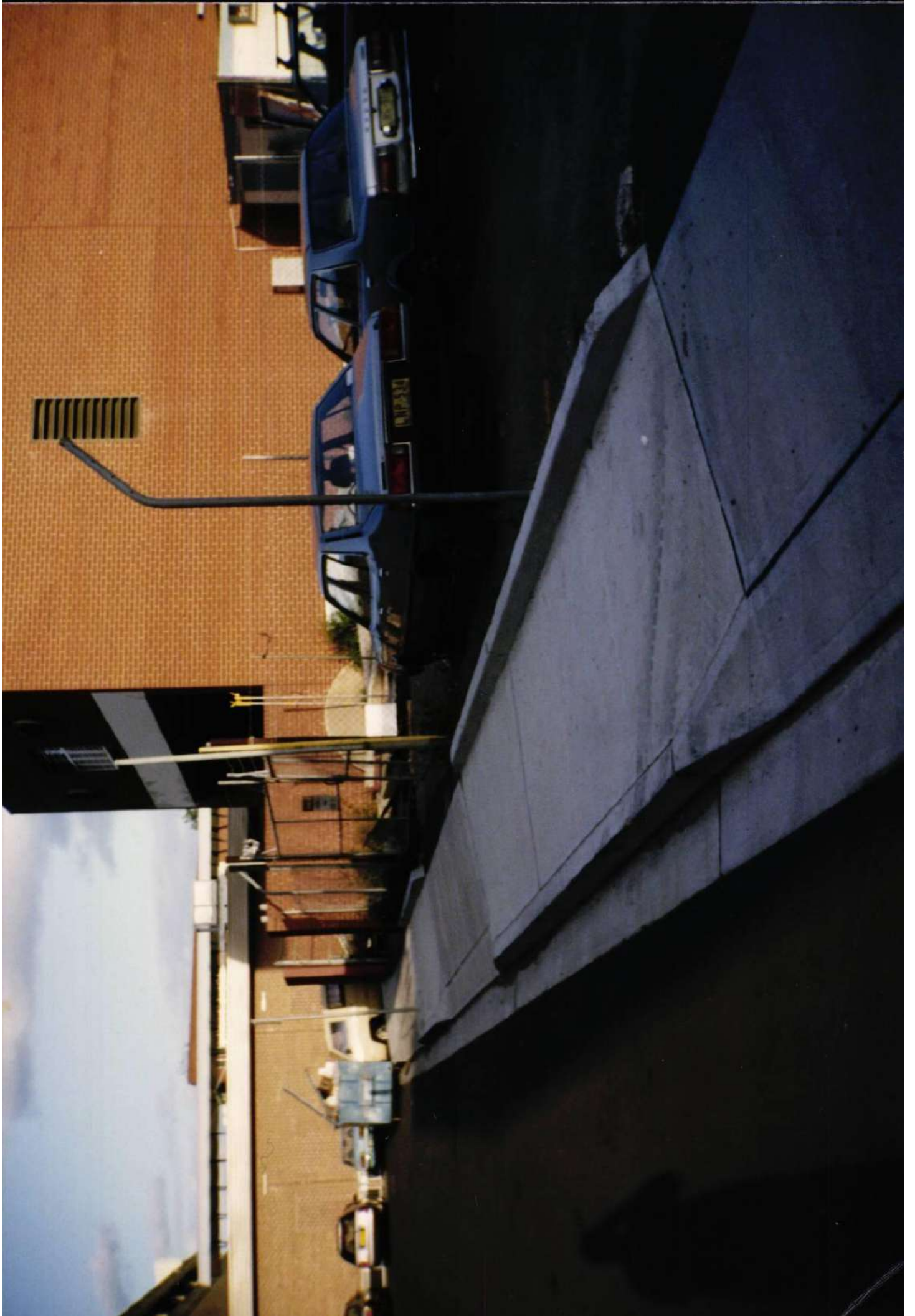






INDIAN

PRO 936









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## Appendix G

SafeWork NSW Hazardous Chemicals Search Results

35/000142

35/



WCA - Unclassified

Recfind File

35/000142

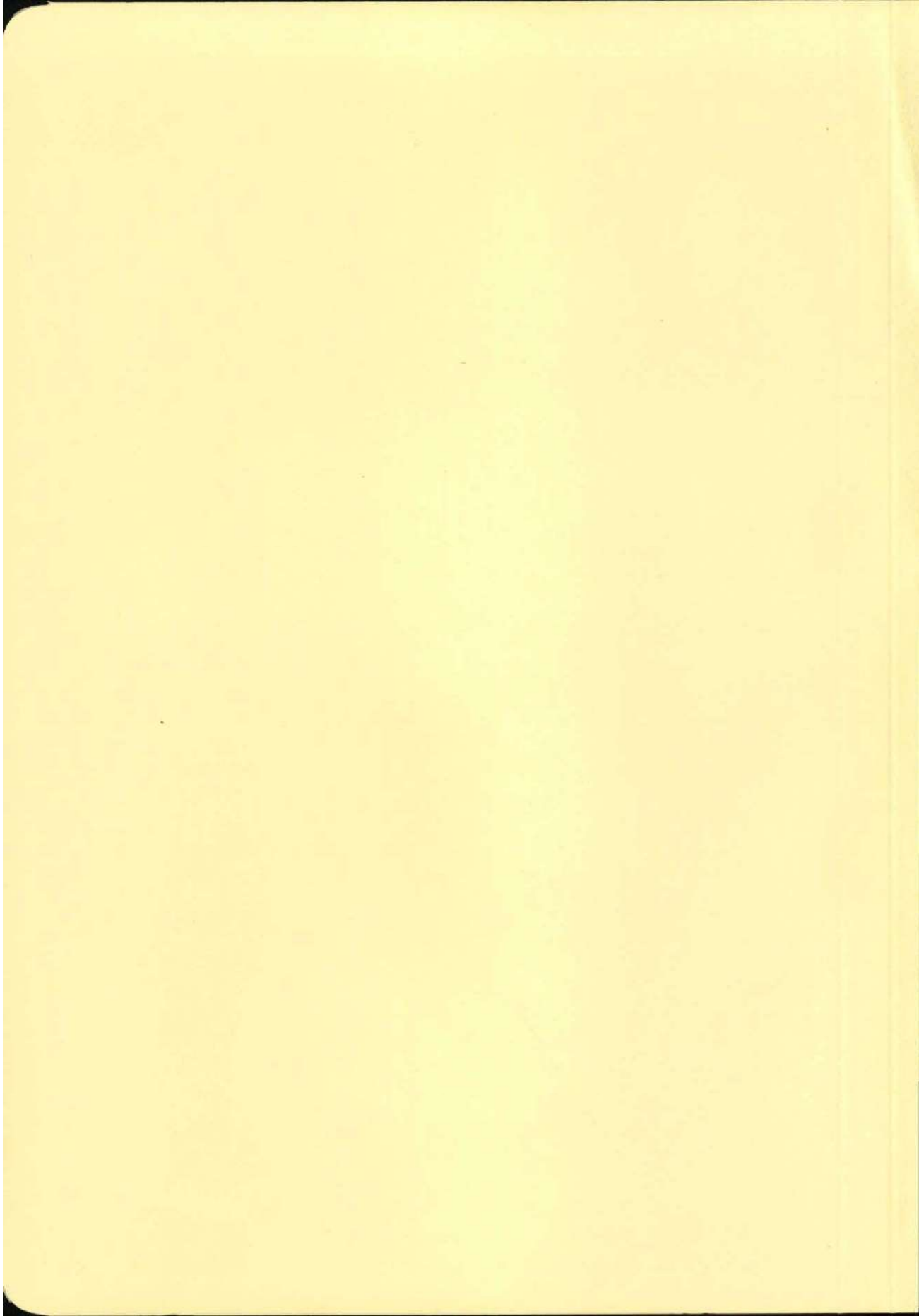
WorkCover Authority of NSW

*Custodian* Licensing Team  
Created 1/01/1975



**HEALTH & SAFETY MANAGEMENT - LICENSING - Dangerous Goods Keeping  
Licence 35/000142 - Maroubra Junction, 138 Maroubra Bay Rd**





Licence Number 35/000142

● CANCELLED FILE 1996

138 MAROUBRA Bay Rd

MAROUBRA Junction 203

000/15

138 MANONRA Bay rd  
MANONRA Junction 2032

35/000142

Status: CANCELLED

Comments:

- U/G tanks filled with <sup>Solid</sup> sand/concrete/earth and sealed off
- All dgoods removed from site
- Only exempt quantities of dgoods at site
- U/G tanks now used for storing diesel
- U/G tanks removed from site
- Duplicate of licence
- U/G tank abandoned (method unknown)
- .....



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Workcover Authority  
The Chief Inspector of Dangerous Goods  
Locked Bag 10  
Clarence Street  
SYDNEY NSW 2000

*Discarded*

Dangerous Goods Act, 1975  
Contractor's Certificate  
Abandonment of Underground Tanks

Gilbarco Aust Ltd hereby certifies that the tanks referred to in the Schedule of this Certificate have been taken out of service by the following method:

1. ~~Removal of tank/s to an approved place.~~
2. **Filling with an inert solid material, sand or concrete.**  
(Delete as applicable)

The procedure has been carried out under the provisions of the Dangerous Goods Act, 1975, and Section 9.8.13 of Australian Standard 1940-1993 and acceptance of the Chief Inspector of Dangerous Goods.

Owner of Premises:

POLICE SERVICE NSW

Address of Premises:

134 MAROUBRA RD

MAROUBRA

**SCHEDULE**

1 x Tank	9000	Litres
1 x Tank	6720	Litres
<del>Tank</del>	<del>_____</del>	<del>Litres</del>
<del>Tank</del>	<del>_____</del>	<del>Litres</del>

Dated this 9<sup>TH</sup> day of FEBRUARY 1996.

*Jones*  
GILBARCO AUST LTD  
Authorised Officer

1-10-2005

THE UNIVERSITY OF  
SOUTH AFRICA

Gilberto

~



THE UNIVERSITY OF  
SOUTH AFRICA  
P.O. BOX 17003  
TOLSON  
JOHANNESBURG 2000

**AVERY™ Tubeclip**

Code 44001-500 44009-100 44005-10



35/000142



Government Records Repository



**F009874242**

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## **Appendix H**

Site Photographs



Photo 1: Site facade, viewed from the south



Photo 2: Building interior


	<b>Site Photographs</b>		PROJECT:	20854.02
	<b>Proposed Mixed Use Development</b>		PLATE No:	1
	<b>138 Maroubra Road, Maroubra</b>		REV:	0
	CLIENT	Maroubra Property Developments Pty Ltd	DATE	November 2022



Photo 3: Rear entrance to building and basement, viewed from the north

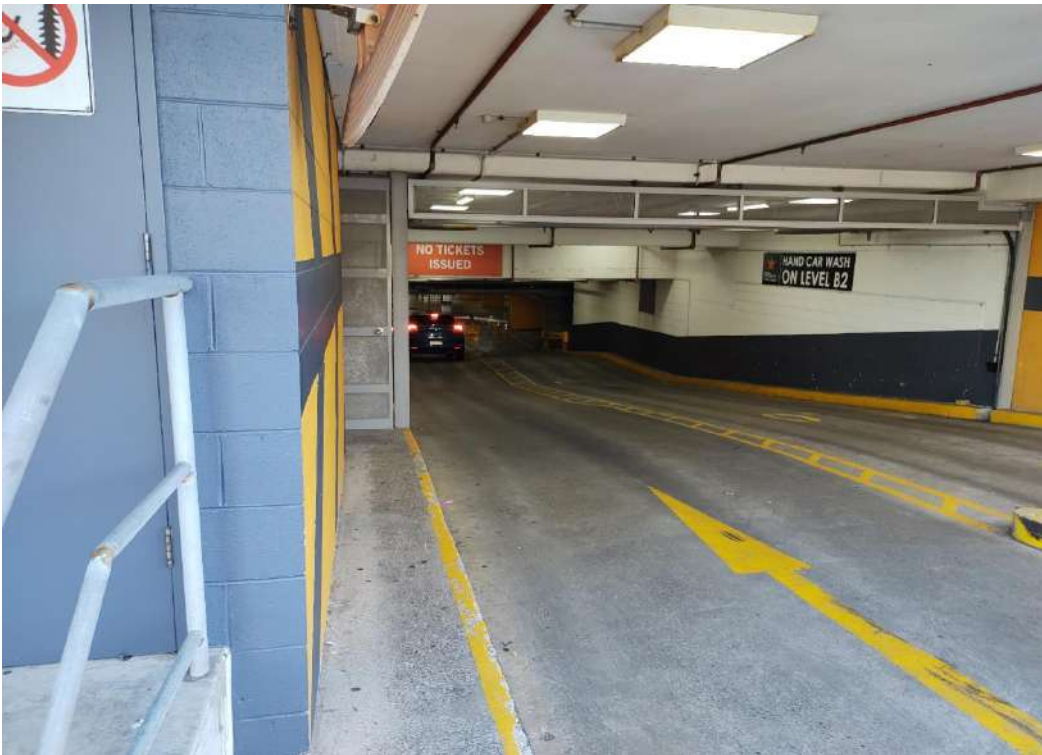


Photo 4: Basement car park entrance to property east of site


 <b>Douglas Partners</b> Geotechnics   Environment   Groundwater	<b>Site Photographs</b>		PROJECT:	20854.02
	<b>Proposed Mixed Use Development</b>		PLATE No:	2
	<b>138 Maroubra Road, Maroubra</b>		REV:	0
	CLIENT	Maroubra Property Developments Pty Ltd	DATE	November 2022



Photo 5: Transformer near southern boundary of site



Photo 6: Police station west of site


	<b>Site Photographs</b>		PROJECT:	20854.02
	<b>Proposed Mixed Use Development</b>		PLATE No:	3
	<b>138 Maroubra Road, Maroubra</b>		REV:	0
	CLIENT	Maroubra Property Developments Pty Ltd	DATE	November 2022



Photo 7: Dry cleaning business west of site



Photo 8: Dry cleaning business east of site



	<b>Site Photographs</b>		PROJECT:	20854.02
	<b>Proposed Mixed Use Development</b>		PLATE No:	4
	<b>138 Maroubra Road, Maroubra</b>		REV:	0
	CLIENT	Maroubra Property Developments Pty Ltd	DATE	November 2022



Photo 9: Bearepairs tyre shop south-west of site

	<b>Site Photographs</b>		PROJECT:	20854.02
	<b>Proposed Mixed Use Development</b>		PLATE No:	5
	<b>138 Maroubra Road, Maroubra</b>		REV:	0
	CLIENT	Maroubra Property Developments Pty Ltd	DATE	November 2022

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**Report on Geotechnical Investigation**

**Proposed Mixed-Use Development**

**138 Maroubra Rd, Maroubra NSW**

**Prepared for Lindsay Bennelong  
Developments Pty Ltd**

**Project 20854.04**

**6 June 2025**

## Document History

### Details

<b>Project No.</b>	20854.04
<b>Document Title</b>	Report on Geotechnical Investigation
<b>Site Address</b>	138 Maroubra Rd, Maroubra NSW
<b>Report Prepared For</b>	Lindsay Bennelong Developments Pty Ltd
<b>Filename</b>	20854.04.R.001.Rev1

### Status and Review

Status	Prepared by	Reviewed by	Date issued
Revision 0	Yeongbin Gim	Scott Easton	6 June 2025

### Distribution of Copies

Status	Issued to
Revision 0	Leigh Manser, Lindsay Bennelong Developments Pty Ltd

The undersigned, on behalf of Douglas Partners Pty Ltd, confirm that this document and all attached drawings, logs and test results have been checked and reviewed for errors, omissions and inaccuracies.

### Signature

### Date

**Author**

6 June 2025

**Reviewer**

6 June 2025

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<b>Appendix F:</b>	Architectural Drawings
<b>Appendix G:</b>	SEARs Requirements Declaration

# Report on Geotechnical Investigation Proposed Mixed-Use Development 138 Maroubra Rd, Maroubra NSW

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## 1. Introduction

This report prepared by Douglas Partners Pty Ltd (Douglas) presents the results of a geotechnical investigation undertaken for a proposed mixed-use development at 138 Maroubra Rd, Maroubra NSW (the site). The investigation was commissioned by email instructing to proceed dated 30 July 2023 from Leigh Manser of Lindsay Bennelong Developments Pty Ltd and was undertaken in accordance with Douglas' proposal 20854.03.P.002.Rev0 dated 29 November 2024.

It is understood that the proposed development of the site includes the demolition of the existing commercial building and construction of a nine-storey mixed-use building over one level of basement.

Based on the provided architectural drawings, it is understood that no additional basement excavation is planned beyond the existing single level basement.

The aim of the investigation was to assess the subsurface conditions across the site in order to provide geotechnical advice to support the preliminary design of the proposed development.

The investigation included the drilling of one cored borehole and two augered boreholes for geotechnical purposes, along with six hand augered boreholes and the installation of two groundwater monitoring wells for environmental sampling and laboratory testing of selected samples. The details of the field work are presented in this report, together with comments and recommendations on geotechnical aspects.

This report should be read in conjunction with all appendices including the notes provided in Appendix A.

Douglas carried out a contamination assessment and this is reported separately (Douglas report reference: 20854.03.R.002.Rev1).

## 2. Site description

The site is located at 138 Maroubra Road, Maroubra (Lot 1 DP 506844). It comprises a rectangular premises measuring approximately 25 m west to east (frontage to Maroubra Road) and 60 m south to north. The existing development on the site includes a two-storey commercial building and a single basement carpark.

The site is bounded by Maroubra Road (TfNSW asset) to the south, Maroubra Police Station building to the west, Piccadilly Place to the north and the existing shopping centre at 140 Maroubra Road (Pacific Square) to the east. Based on the provided architectural drawings (Project No. 21\_435, prepared by djrd architects, dated February 2025), the Pacific Square building is understood to have three basement levels.

Reference to the architectural drawings provided indicates that the existing ground level in the vicinity of the site is approximately at RL 25.7 m AHD.

The closest water bodies to the site are Maroubra Beach about 2 km to the southeast of the site and Botany Water Reserves, which are dams located about 1.8 km to the northwest of the site within the Lakes Golf Course (RLs between 10 m to 20 m AHD).

### 3. Published data

#### 3.1 Geology

Reference to the Sydney 1:100,000 Geological Series Sheet indicates that the site is underlain by Quaternary aeolian sand deposits of transgressive dune sands. These sands typically comprise medium to fine grained marine sands with podsoles. Bedrock comprising Hawkesbury Sandstone would be expected at depth.

The corresponding Soil Conservation Service of NSW Soil Landscape Series Sheet also indicates that the site is situated on gently undulating to rolling coastal dune fields, with a deep soil profile (i.e. >2 m in depth).

#### 3.2 Hydrogeology

The site is located over the Botany Sands Beds, which feature a shallow unconfined to semi-confined groundwater system, known as the Botany Sands Aquifer, within the unconsolidated sediments. The average saturated thickness of the Botany Sands Aquifer ranges from 5 m to 20 m. Groundwater flow directions are typically towards the main surface water systems to the south-west, with variable gradients, typically in the order of 1 in 120.

#### 3.3 Acid sulfate soils

Reference to the 1:25 000 Acid Sulfate Soils (ASS) Risk map indicates that the site is not located within an area with a potential risk of Acid Sulfate Soils. The site is located at least 1.5 km away from areas mapped with low and high probability of ASS occurrence. Further comments on ASS should refer to the DSI report (Douglas report reference: 20854.03.R.002.Rev1).

#### 3.4 Salinity

Regional mapping of salinity potential in Western Sydney was undertaken in 2002 by the former Department of Infrastructure, Planning and Natural Resources, now the NSW Department of Climate Change, Energy, the Environment and Water (DCCEEW). The site is located outside the mapped area of salinity potential.

Reference to the NSW DCCEEW information system (eSPADE) indicates that soils in the surrounding area have shown 'no salting evident' within available soil profiles.

#### 3.5 Groundwater dependant ecosystems (GDEs)

A review of the Bureau of Meteorology's Groundwater Dependent Ecosystems Atlas indicates that no subterranean GDEs are present within 2 km of the site, while aquatic and terrestrial GDEs are located within 2 km to the northwest (Botany Water Reserves).

### 3.6 Riparian lands

Reference to the NSW Riparian Lands and Watercourses Map indicates that the site is not within an area mapped as a protection area.

## 4. Previous investigations

Douglas has undertaken several geotechnical investigations within the site and in the surrounding area, including for the following projects:

- 138 Maroubra Road, Maroubra (the Site) – DP Project 20854 (August 1995): One cone penetration test (CPT) to a depth of 14.8 m;
- 737 Anzac Parade (eastern site boundary) – DP Project 30315 (May 2002): Six cored boreholes to a maximum depth of 27.4 m and four CPTs to a maximum depth of 22.8 m;
- 116–132 Maroubra Road, Maroubra – DP Project 14907 (August 1992): Approximately 65 m west of the site. Investigation included two augered boreholes to a maximum depth of 8 m, two cored boreholes to a maximum depth of 34.8 m, and eight CPTs to a maximum depth of 11.2 m;
- 165–167 Maroubra Road, Maroubra – DP Project 45675 (July 2008): Approximately 45 m south of the site. Investigation included two CPTs to a maximum depth of 11.9 m; and
- 89 Boyce Road, Maroubra – DP Project 24485A (March 2003): Approximately 90 m northwest of the site. Investigation included one cored borehole to a depth of 23.5 m and two CPTs to a maximum depth of 12.8 m.

The previous investigations have included CPTs and rock-cored boreholes and have generally encountered the following subsurface conditions:

<b>Fill:</b>	Pavement layers and / or sandy fill to about 1.5 m depth; overlying
<b>Natural Sand:</b>	Mostly medium dense and medium dense to dense sand to depths of 6 m to 9 m, over very dense, often cemented sand. In some locations loose sand was detected in CPT results at shallow depths;
<b>Natural Clay:</b>	Typically, hard sandy clay was encountered in deeper boreholes at depths of between 13 m and 27 m; and
<b>Bedrock:</b>	The Hawkesbury Sandstone bedrock was confirmed by rock coring at depths of between 10.5 m to 25.3 m (RL 15.1 m to RL 1.8 m) at 737 Anzac Parade (eastern site boundary). The upper sandstone bedrock was typically very low to medium strength becoming medium to high strength with depth to the limit of the investigation at 27.4 m.

Douglas' historical measurements and monitoring on the Pacific Square site indicated varying groundwater levels of about 8 m depth (at between RL 16.7 m and RL 18.8 m) with fluctuations over a five-month period of 0.7 m. It is noted that more recent projects in Maroubra have observed an increase in groundwater levels of about 2 m in some areas.

## 5. Field work

### 5.1 Field work methods

Field work for the geotechnical investigation was carried out between 9 and 11 December 2024 and included:

- Electronic scanning for buried services at the borehole locations;
- Drilling of three boreholes (BH1, BH8 and BH8a) using a track mounted drilling rig. BH1 was drilled down to weathered rock using wash boring. The borehole was then extended to a depth of 16.9 m below the concrete slab surface level using NMLC diamond coring equipment to recover continuous rock core samples. During the drilling of BH8 and BH8A, an unknown obstruction (possibly a decommissioned temporary anchor for the neighbouring basement) was encountered, and drilling was discontinued as a safety precaution;
- The boreholes were drilled within the basement and SPTs were not possible with the low height rig used;
- Dynamic Cone Penetrometer (DCP) tests were conducted from beneath the basement slab level to a depth of 2.0 m;
- Drilling of six shallow boreholes (BH2 to BH7) using hand augers to a maximum depth of 2.0 m for environmental sampling purposes;
- Installation of groundwater monitoring wells in BH1 and BH8;
- The collection of soils samples from the boreholes to provide laboratory tests for soil aggressivity testing; and
- Logging of encountered sub-surface conditions by an experienced geotechnical engineer from Douglas in accordance with AS1726:2017.

The boreholes (BH1 and BH8) were backfilled with sand, slotted PVC pipe and sealed with bentonite as part of the groundwater monitoring well construction. The wells were installed with a gatic over and reinstated with concrete at the slab surface. Details of well construction are also shown on the borehole logs in Appendix C.

The boreholes that were not converted into groundwater monitoring wells were backfilled with drilling spoils and reinstated with concrete at the slab surface upon completion of the drilling.

The coordinates and RLs for all test locations could not be recorded during the investigation as they were within the basement. The borehole locations were measured using site features (e.g. distance from the wall) during the investigation. The surface level in the borehole logs and this report has been adopted from the existing basement slab level in the provided architectural drawing.

The location of the boreholes is shown on Drawing 1 in Appendix B.

## 5.2 Field work results

A summary of the subsurface conditions encountered in the boreholes is presented in the following sections. Detailed descriptions of the subsurface conditions encountered are given in the borehole logs, included in Appendix C, alongside photographs of the rock core. Notes defining classification methods and descriptive terms used in the preparation of the borehole logs are also included within Appendix A.

### 5.2.1 Boreholes

The general strata encountered in the boreholes is summarised as follows:

**Concrete Slab:** Concrete slab thickness of 130 mm to 300 mm; overlying

**Fill:** Generally comprising sand with trace amounts of sandstone gravel and anthropogenic inclusions (e.g. broken glass, concrete fragments, and brick). The fill was encountered to depths of between 0.2 m and 2.0 m. The results of the DCP testing indicates that the sand fill was generally similar in consistency to a loose to medium dense sand; overlying

**Sand:** Fine to medium grained sand was encountered to depths of 11.8 m at BH1 and in BH8 and BH8a to the termination depths of 11.2 m and 5.2 m respectively. The results of DCP testing performed at BH1, BH8 and BH8a indicates that the sands are generally medium dense to dense.

The shallow environmental boreholes were terminated within the natural sands at depths of between 1.3 m to 2.0 m;

**Sandstone Bedrock** Fine to medium grained sandstone bedrock was encountered below the sands in BH1 at 11.8 m. The sandstone bedrock was initially highly weathered and very low to low strength, becoming fresh and medium strength with depth.

### 5.2.2 Groundwater

Groundwater was not observed during hand auger drilling of any of the boreholes. The necessary introduction of water to the rig boreholes while wash boring and coring precluded any further groundwater observations during drilling.

Groundwater monitoring wells, screened within the sand layer, were installed at BH1 and BH8. Details of the well construction are provided in the borehole logs in Appendix C.

The wells were developed five days after the installation, and groundwater readings were recorded three weeks later.

A summary of the measured groundwater level in the monitoring well BH1 and BH8 is provided in Table 1.

**Table 1: Manual Groundwater Measurement**

Date of Reading	Measured Depth to Groundwater (m) [Groundwater Level (m AHD)] <sup>(1)</sup>	
	BH1	BH8
7 January 2025	3.9 [18.7]	4.1 [18.5]
31 January 2025	3.9 [18.7]	4.1 [18.5]

Note: (1) Surface level has been adopted from provided architectural drawings

## 6. Laboratory testing

### 6.1 Soil aggressivity

Two soil samples were tested for aggressivity to buried concrete and steel. A summary of the results is presented below in Table 2 and detailed laboratory test reports are provided in Appendix D.

**Table 2: Analytical Results for Aggressivity in Soil**

Location ID	Depth (m)	Material	pH	EC ( $\mu$ S/cm)	Cl (mg/kg)	SO <sub>4</sub> (mg/kg)
BH1	1.0 – 1.2	Sand	8.1	74	<10	24
BH8a	2.8 – 3.0	Sand	7.8	47	<10	20

### 6.2 Point load strength index testing

The results of point load strength index testing ( $I_{s(50)}$ ), carried out at regular intervals on rock cores, are shown on the borehole logs in Appendix C. The  $I_{s(50)}$  results range from less than 0.1 MPa to 0.9 MPa in the underlying bedrock, indicating rock strengths of between low to medium strength.

## 7. Geotechnical model

The general subsurface profile encountered during the investigation, along with data from previous investigations near the site, has been grouped into five geotechnical units (Units 1 to 5).

Based on the results of the current and previous geotechnical investigations on and near the site, the site is generally underlain by fill over loose to very dense sandy soils which grades to extremely weathered sandstone with depth. Very low to low strength sandstone was encountered improving to medium strength sandstone with depth. Based on the review of previous investigations near the site and the current investigation, the top of bedrock levels appears to fall in a north westerly direction.

The groundwater measurements on the site and monitoring data from nearby indicate that groundwater appears to flow to the south-east however this is based on limited data and further investigation will be required to verify. Groundwater levels within the area, are likely to fluctuate with changing climatic conditions.

The interpreted depths and RL's at the top of the various units from the investigation and available data are shown in Table 3. Reference should be made to the borehole logs in Appendix C for more detailed information and description for the soil and rock profile. The geotechnical model references previous field work results, which are provided in Appendix D.

One interpreted geotechnical cross-section is given in Appendix B (Drawing 2), which shows the inferred boundaries between the soil and rock units across the site (the alignment of the cross-section is shown on Drawing 1).

**Table 3: Summary of Geotechnical Model**

Unit	Description	Depth to Top Unit (m) [Reduced Level (m AHD)]				
		BH1 <sup>(1)</sup>	BH8 <sup>(1)</sup>	BH8a <sup>(1)</sup>	BH1 (2002)	CPT8 (2002)
1	Concrete slab/Pavement and Fill	0.0 [22.6]	0.0 [22.6]	0.0 [22.6]	0.0 [25.6]	0.0 [26.4]
2	Very loose to loose sand	N.E	N.E	N.E	0.1 [25.5]	1.2 [25.2]
3	Loose to medium dense sand	N.E	0.2 [22.4]	0.7 [21.9]	1.7 [23.9]	2.6 [23.8]
4	Medium dense to dense	0.6 [22.0]	1.2 [21.4]	1.5 [21.1]	2.5 [23.1]	5.3 [21.1]
5	Very low to low strength Sandstone	11.8 [10.8]	N.E	N.E	15.6 [10.0]	N.E
6	Medium strength Sandstone	14.0 [8.6]	N.E	N.E	15.8 [9.8]	N.E

Note: N.E: Not Encountered

(1) Interpretation of soil layers is limited by the termination depths of the DCP tests.

## 8. Comments

### 8.1 Proposed development

It is understood that the proposed development includes the demolition of the existing commercial building and the construction of a nine-storey mixed-use building over a single level basement carpark with a lowest design level of RL 21.85 m AHD. Given that the finished floor level for the existing basement is RL 22.6 m AHD, excavations to depths of 1 m to 2 m are anticipated below the existing slab, with potentially deeper localised excavations for lift pits.

## 8.2 Excavation

### 8.2.1 Dilapidation surveys

Dilapidation surveys should be carried out on adjacent buildings, pavements and infrastructure that may be affected by the excavation works. The dilapidation surveys should be undertaken before the commencement of any excavation or demolition work to document any existing defects so that potential claims for damage due to construction related activities can be accurately assessed.

### 8.2.2 Excavation conditions

Excavation is anticipated to be limited to the upper soil profile and should be readily achievable using conventional earthmoving equipment. Demolition of the existing concrete slabs or footings may require hydraulic rock hammers or impact breakers fitted to large excavators together with rock saws to reduce vibrations.

Excavations through the fill and sands are expected to generate vibrations that are typically within allowable limits for human comfort and structural impacts. Demolition of the existing buildings and pavement slabs, however, will likely generate more significant vibrations. Consideration should be given to vibration trials during demolition to minimise the risk of causing adverse impacts (e.g. cracking damage) to neighbouring buildings or infrastructure and utilities that may be founded at shallow levels in sandy soils. Loose sand layers are susceptible to vibration and, if present under adjacent building footings and structures, may undergo additional settlements if exposed to significant vibrations.

Ground vibration can be strongly perceptible to humans at levels above 2.5 mm/s vector sum peak particle velocity (VSPPV). This is generally much lower than the vibration levels required to cause structural damage to buildings. The Australian Standard AS2670.2-1990 "Evaluation of human exposure to whole-body vibrations – continuous and shock induced vibrations in buildings (1-80 Hz)" indicates an acceptable day time limit of 8 mm/s VSPPV for human comfort. This value may need to be reduced if there any sensitive structures or equipment nearby.

Based on the experience of Douglas and with reference to AS2670, it is suggested that a maximum VSPPV of 8 mm/s (applicable at the foundation level of existing buildings) be adopted for this site for both architectural and human comfort considerations. This may need to be reduced to 3-5 mm/s for buildings founded at high level in loose sand and subject to review of dilapidation surveys.

It is anticipated that bulk excavation may be about RL 20.85 m AHD generally with some localised deeper excavation. Groundwater was measured at about RL 18.7 m AHD and allowing for say 2 m potential rise to RL 20.7 m AHD still suggests the proposed excavation will be above the groundwater table (see also Section 8.6).

### 8.2.3 Disposal of excavated material

All excavated materials requiring off-site disposal will need to be disposed of in accordance with the provisions of the current legislation and guidelines including the NSW EPA Waste Classification Guidelines - 2014. This includes fill and virgin excavated natural materials (VENM), such as may be removed from site. Reference should be made to the detailed site investigation for contamination report (Douglas report reference: 20854.03.R.002.Rev1).

## 8.3 Excavation support

### 8.3.1 Shoring system review and methodology

Prior to demolition, a review of the existing shoring system should be undertaken to determine the appropriate staging and methodology. The demolition staging and methodology should be reviewed by a geotechnical consultant once prepared by the demolition subcontractor and / or structural engineer.

If records of the existing shoring system are unavailable, an investigation should be carried out to assess its geometry / structural integrity / geotechnical capacity (Douglas can assist with this assessment). Additionally, if the ground slab is to be demolished, appropriate temporary support will be required to provide lateral restraint to the shoring walls.

Given that there are existing buildings on the east and west side of the site, and existing shoring walls, it will be necessary to provide shoring and retaining structures such as bracing and / strut support during construction to limit wall movements and potential settlements of adjacent footings.

It is possible that the existing retaining wall of the adjacent Pacific Square building contributes to the structural load bearing. The effects of any proposed excavation on the serviceability and stability of the adjacent building should be studied in detail.

In the absence of as-built drawings for the existing shoring system, it has been assumed that the existing shoring system is continuous (i.e. no gaps) and terminates below RL 21.85 m AHD (i.e. the proposed bulk excavation level).

### 8.3.2 Shoring system design

If the existing shoring extends to a sufficient depth, excavation to up to 1 m above the groundwater level may not require additional support and may be battered at a maximum slope of 1.5H:1V. However, the stability of the shoring system should be confirmed prior to any excavation. Excavations deeper than 1 m, those encountering groundwater, or those subject to surcharge loads in the vicinity may require the use of shoring boxes, sheet piles or other shoring systems. The construction methodology must also account for vibrations and their potential effects on nearby structures.

If the existing shoring system terminates above the proposed bulk excavation level, additional support measures, such as deepening the shoring or installing a new shoring system, will be necessary. This may involve continuous shoring systems, such as secant pile walls, or underpinning the existing shoring system. Underpinning in sand may not be a practical option for this site due to the challenges involved.

Temporary lateral support can be provided using 'tie-back' ground anchors, internal bracing, or strutting. Permanent lateral support is typically provided by floor slabs.

If anchors extend beyond the site boundary, approval from neighbouring property owners is required. Anchors are unlikely to be feasible or needed to the east (Pacific Square basements), as the basement of the neighbouring property may extend up to the boundary and provide lateral support to the soil, potentially reducing the need for additional shoring. However, whether shoring is required depends on several factors, including the depth of the excavation, soil conditions, existing basement integrity, and movement tolerances. Permission from TfNSW will be needed for any anchors along Maroubra Road.

Retaining or shoring walls restrained by a single row of anchors or propping may be designed using a triangular pressure distribution system, as detailed in Table 4. If the shoring is braced at both the top and bottom, a rectangular pressure distribution could be assumed. A uniform pressure distribution of  $4H$  kPa (where  $H$  is the retained height of the excavation or wall in metres) can be applied for walls where some degree of wall movement is acceptable. However, for walls where walls and retained ground movements must be limited, a pressure distribution of  $6H$  to  $8H$  kPa is recommended.

Given the proximity of the existing neighbouring buildings, the higher earth pressure distribution ( $6H$  to  $8H$  kPa) is advised to reduce the risk of ground movement impacts associated with wall movement.

Lateral pressures due to surcharge loads such as those from nearby buildings, structures, water pressure, pavements, and construction machinery must be incorporated into the design where relevant. During construction, monitoring of lateral wall movement and ground displacement using in-ground inclinometers and precise surveys of adjacent structures will be required to ensure that movements remain within acceptable limits.

**Table 4: Preliminary Design Parameters for Retaining Wall Design**

Unit	Material	Bulk Density (kN/m <sup>3</sup> )	Earth Pressure Coefficient		Passive Earth Pressure Coefficient
			Active (K <sub>a</sub> )	Active (K <sub>a</sub> )	
1	Sandy Fill	18	0.4	0.6	K <sub>p</sub> = 2.5
2	Loose to medium dense sand				
3	Medium dense to dense sand	20	0.3	0.45	K <sub>p</sub> = 3.5
4	Dense to very dense	20	0.25	0.4	K <sub>p</sub> = 4.2
5	Very low to low strength Sandstone	22	0.25	0.4	Ultimate passive pressure = 400 kPa
6	Medium strength Sandstone	24	0	0	Ultimate passive pressure = 6,000 kPa

Note: K<sub>p</sub> values should apply from 0.5 m below bulk excavation level and will provide ultimate passive pressure for embedded shoring walls only. These values will need to incorporate an appropriate factor of safety.

Generally, shoring walls should be founded at least 3D (where D is the minimum pile diameter) below the bulk excavation level however this will be governed by the passive support required and deeper embedment in sand is usually required.

It is not anticipated that groundwater will be encountered within the proposed excavation works, provided that they are limited to depths of up to 2 m (RL 20.7 m AHD). If deeper excavations are required, they may encounter the groundwater table and shoring systems may need to be extended to reduce water inflows to the basement excavation. Groundwater is discussed in the Section 8.6 of this report.

Further investigations and numerical analysis may be required once details of the existing shoring system and bulk excavation levels are known.

#### 8.4 Anchors

Preliminary design of temporary anchors within medium dense or better sand may be based on an internal friction angle ( $\phi$ ) of 33 degrees. Trial anchors may be used to determine if higher friction angles or shaft adhesion values are achievable. The anchors should be bonded behind a line drawn up at 45° rising from the base of the excavation, and lift-off tests should be carried out to confirm the anchor capacities.

The anchors will need to be carefully positioned and typically inclined at about 10° to 20° below horizontal and possibly at steeper angles to avoid adjacent services and footings for adjacent buildings, and to maintain minimum clearances from Sydney water assets. Permission from adjacent property and asset owners will be required prior to installing anchors within their land. Consideration to employing internal bracing should be given along the boundary with the adjacent Pacific Square basement, as and if appropriate.

Movement of anchors in sand is common, and care should be taken if anchors are installed under existing buildings to minimise disturbance to the foundation materials. Sand anchors should be installed and tested only by experienced and reputable specialist contractors.

#### 8.5 Foundations

Based on the conditions encountered on the site, it is considered that the foundations could consist of piles and / or raft footings. Due to limited access of drilling equipment, the investigation data is restricted to rock conditions as in-situ testing was not possible with the small rig used. However, previous investigations conducted near the site have been considered for preliminary design parameters. A further investigation to confirm the site soil strength (using CPTs) should be carried out once demolition is complete, in order to inform the detailed design.

##### 8.5.1 Piles

Given the presence of sandy soils and shallow groundwater, Continuous Flight Auger (CFA) or concrete screwed-in place piles such as Atlas or Omega type piles are probably the most appropriate piling methods. The Atlas and Omega pile types are displacement piling systems whereby the soil is pushed aside by the drill head, resulting in the localised densification of the soils around the pile shaft. These may be considered if piles in sand are considered, however given the depth to rock it is suggested that piles to rock would provide the lowest risk and more appropriate option.

Driven piles will be unsuitable due to the proximity to nearby structures and vibrations. Conventional bored piles will be unsuitable as the uncased excavation will be prone to collapse, particularly near or below the groundwater level.

Grout or concrete-injected (CFA) piles are generally better suited to the soil conditions on this site as these piles do not need to utilise temporary casing or require the pile shaft to be drilled under bentonite, so drilling of the piles (and concreting in the case of CFA piles) would be relatively straightforward. This should be done by a reputable contractor and measures must be put in place to avoid decompression of the sands which can lead to settlement and damage to adjacent property. This will be critical adjacent to existing buildings (e.g. shopping centre to the east) and cased CFA piling may be needed.

Suggested preliminary pile design parameters for the various strata are presented in Table 5. Shaft adhesion should only be considered for CFA piles. Shaft adhesion for uplift (tension) may be taken as 70% of the values for compression.

**Table 5: Preliminary Design Parameters for CFA Piles**

Unit	End Bearing Pressure (kPa)		Shaft Adhesion (kPa)		Youngs Modulus (MPa)
	Allowable	Ultimate	Allowable	Ultimate	
3	1,000	2,500	20	40	30
4	2,500	6,000	30	60	70
5	1,000	3,000	100	150	100
6	3,500	20,000	350	600	700

Foundations proportioned on the basis of the allowable bearing pressures in Table 5 would be expected to experience total settlements of less than 1% of the pile diameter under the applied compression working load.

For limit state design methods, selection of the geotechnical strength reduction factor ( $\phi_{gb}$ ) in accordance with the Australian piling code (AS 2159, 2009) is based on a series of individual risk ratings (IRR), which are weighted on numerous factors and lead to an average risk rating (ARR), which is recommended to be calculated by the pile designer. Footing settlements may be calculated for assessment of the serviceability limiting state using the elastic modulus values given in Table 5.

It is recommended that full time supervision be provided by an experienced geotechnical engineer during piling operations in order to verify the founding conditions are suitable for the design end bearing pressures.

Depending on the column loads, it may be necessary to found the piles in bedrock if higher design loads are being considered. Further investigation is recommended to determine the depth to rock and assess its strength.

### 8.5.2 Raft footing

Given that the neighbouring building has a three-level basement, which may not be able to withstand additional significant surcharge loads, a raft footing is unlikely to be suitable. A piled raft foundation may be more appropriate but this may still not be acceptable for neighbouring basements and a fully suspended solution may be required adjacent to neighbouring basements. This will require further review and input from the structural engineer .

Further CPT testing and numerical modelling would still be necessary to accurately define the soil layers and estimate the settlements under the specific loads and also impacts to adjacent basements and foundations.

### 8.6 Groundwater

Groundwater was recorded at depths of approximately 3.9 m (RL 18.7 m AHD) and 4.1 m (RL 18.5 m AHD) in wells BH1 and BH8, respectively.

Based on our experience in the vicinity of the site, the regional groundwater table is expected to be generally consistent with these levels. Given that the proposed basement surface finish level is RL 21.85 m AHD (to be confirmed), groundwater is unlikely to be encountered during construction assuming bulk excavation to say RL 20.85 m AHD. In the absence of long term data at this stage, it is suggested that preliminary design should allow for a potential 2 m rise and groundwater levels at RL 20.7 m AHD (provided as a guide at this stage). Lift pits and other deeper below ground structures should be tanked.

It should be noted that groundwater levels are transient and that fluctuations may occur in response to climatic and seasonal conditions. Further groundwater monitoring using data loggers must be undertaken to provide data on fluctuations to inform design water levels.

### 8.7 Aggressivity

In accordance with AS2159-2009: Piling-Design and Installation, the results of the soil aggressivity testing indicate that the tested soils are:

- Non-aggressive to buried concrete; and
- Non-aggressive to buried steel.

It is suggested that an exposure classification of 'non-aggressive' (as per AS2159) is adopted for all buried structural elements.

### 8.8 Seismic design

In accordance with AS1170-2007 "Structural Design Actions, Part 4: Earthquake Actions in Australia", a hazard factor (Z) of 0.08 and a site subsoil Class C<sub>e</sub> (shallow soil site) is considered to be appropriate for the site.

## 9. Limitations

Douglas Partners Pty Ltd (Douglas) has prepared this report for this project at 138 Maroubra Rd, Maroubra NSW in line with Douglas' proposal dated 29 November 2024 and acceptance received from Leigh Manser of Lindsay Bennelong Developments Pty Ltd. The work was carried out under Douglas' Engagement Terms. This report is provided for the exclusive use of Lindsay Bennelong Developments Pty Ltd for this project only and for the purposes as described in the report. It should not be used by or relied upon for other projects or purposes on the same or other site or by a third party. Any party so relying upon this report beyond its exclusive use and purpose as stated above, and without the express written consent of Douglas, does so entirely at its own risk and without recourse to Douglas for any loss or damage. In preparing this report Douglas has necessarily relied upon information provided by the client and / or their agents.

The results provided in the report are indicative of the sub-surface conditions on the site only at the specific sampling and / or testing locations, and then only to the depths investigated and at the time the work was carried out. Sub-surface conditions can change abruptly due to variable geological processes and also as a result of human influences. Such changes may occur after Douglas' field testing has been completed.

Douglas' advice is based upon the conditions encountered during this investigation. The accuracy of the advice provided by Douglas in this report may be affected by undetected variations in ground conditions across the site between and beyond the sampling and / or testing locations. The advice may also be limited by budget constraints imposed by others or by site accessibility.

The assessment of atypical safety hazards arising from this advice is restricted to the geotechnical components set out in this report and based on known project conditions and stated design advice and assumptions. While some recommendations for safe controls may be provided, detailed 'safety in design' assessment is outside the current scope of this report and requires additional project data and assessment.

This report must be read in conjunction with all of the attached and should be kept in its entirety without separation of individual pages or sections. Douglas cannot be held responsible for interpretations or conclusions made by others unless they are supported by an expressed statement, interpretation, outcome or conclusion stated in this report.

This report, or sections from this report, should not be used as part of a specification for a project, without review and agreement by Douglas. This is because this report has been written as advice and opinion rather than instructions for construction.

---

## **Appendix A**

About this Report

## Introduction

These notes have been provided to amplify Douglas' report in regard to classification methods, field procedures and the comments section. Not all are necessarily relevant to all reports.

Douglas' reports are based on information gained from limited subsurface excavations and sampling, supplemented by knowledge of local geology and experience. For this reason, they must be regarded as interpretive rather than factual documents, limited to some extent by the scope of information on which they rely.

## Copyright

This report is the property of Douglas Partners Pty Ltd. The report may only be used for the purpose for which it was commissioned and in accordance with the Engagement Terms for the commission supplied at the time of proposal. Unauthorised use of this report in any form whatsoever is prohibited.

## Borehole and Test Pit Logs

The borehole and test pit logs presented in this report are an engineering and/or geological interpretation of the subsurface conditions, and their reliability will depend to some extent on frequency of sampling and the method of drilling or excavation. Ideally, continuous undisturbed sampling or core drilling will provide the most reliable assessment, but this is not always practicable or possible to justify on economic grounds. In any case the boreholes and test pits represent only a very small sample of the total subsurface profile.

Interpretation of the information and its application to design and construction should therefore take into account the spacing of boreholes or pits, the frequency of sampling, and the possibility of other than 'straight line' variations between the test locations.

## Groundwater

Where groundwater levels are measured in boreholes there are several potential problems, namely:

- In low permeability soils groundwater may enter the hole very slowly or perhaps not at all during the time the hole is left open;
- A localised, perched water table may lead to an erroneous indication of the true water table;
- Water table levels will vary from time to time with seasons or recent weather

changes. They may not be the same at the time of construction as are indicated in the report; and

- The use of water or mud as a drilling fluid will mask any groundwater inflow. Water has to be blown out of the hole and drilling mud must first be washed out of the hole if water measurements are to be made.

More reliable measurements can be made by installing standpipes which are read at intervals over several days, or perhaps weeks for low permeability soils. Piezometers, sealed in a particular stratum, may be advisable in low permeability soils or where there may be interference from a perched water table.

## Reports

The report has been prepared by qualified personnel, is based on the information obtained from field and laboratory testing, and has been undertaken to current engineering standards of interpretation and analysis. Where the report has been prepared for a specific design proposal, the information and interpretation may not be relevant if the design proposal is changed. If this happens, Douglas will be pleased to review the report and the sufficiency of the investigation work.

Every care is taken with the report as it relates to interpretation of subsurface conditions, discussion of geotechnical and environmental aspects, and recommendations or suggestions for design and construction. However, Douglas cannot always anticipate or assume responsibility for:

- Unexpected variations in ground conditions. The potential for this will depend partly on borehole or pit spacing and sampling frequency;
- Changes in policy or interpretations of policy by statutory authorities; or
- The actions of contractors responding to commercial pressures.

If these occur, Douglas will be pleased to assist with investigations or advice to resolve the matter.

## About this Report

### Site Anomalies

In the event that conditions encountered on site during construction appear to vary from those which were expected from the information contained in the report, Douglas requests that it be immediately notified. Most problems are much more readily resolved when conditions are exposed rather than at some later stage, well after the event.

### Information for Contractual Purposes

Where information obtained from this report is provided for tendering purposes, it is recommended that all information, including the written report and discussion, be made available. In circumstances where the discussion or comments section is not relevant to the contractual situation, it may be appropriate to prepare a specially edited document. Douglas would be pleased to assist in this regard and/or to make additional report copies available for contract purposes at a nominal charge.

### Site Inspection

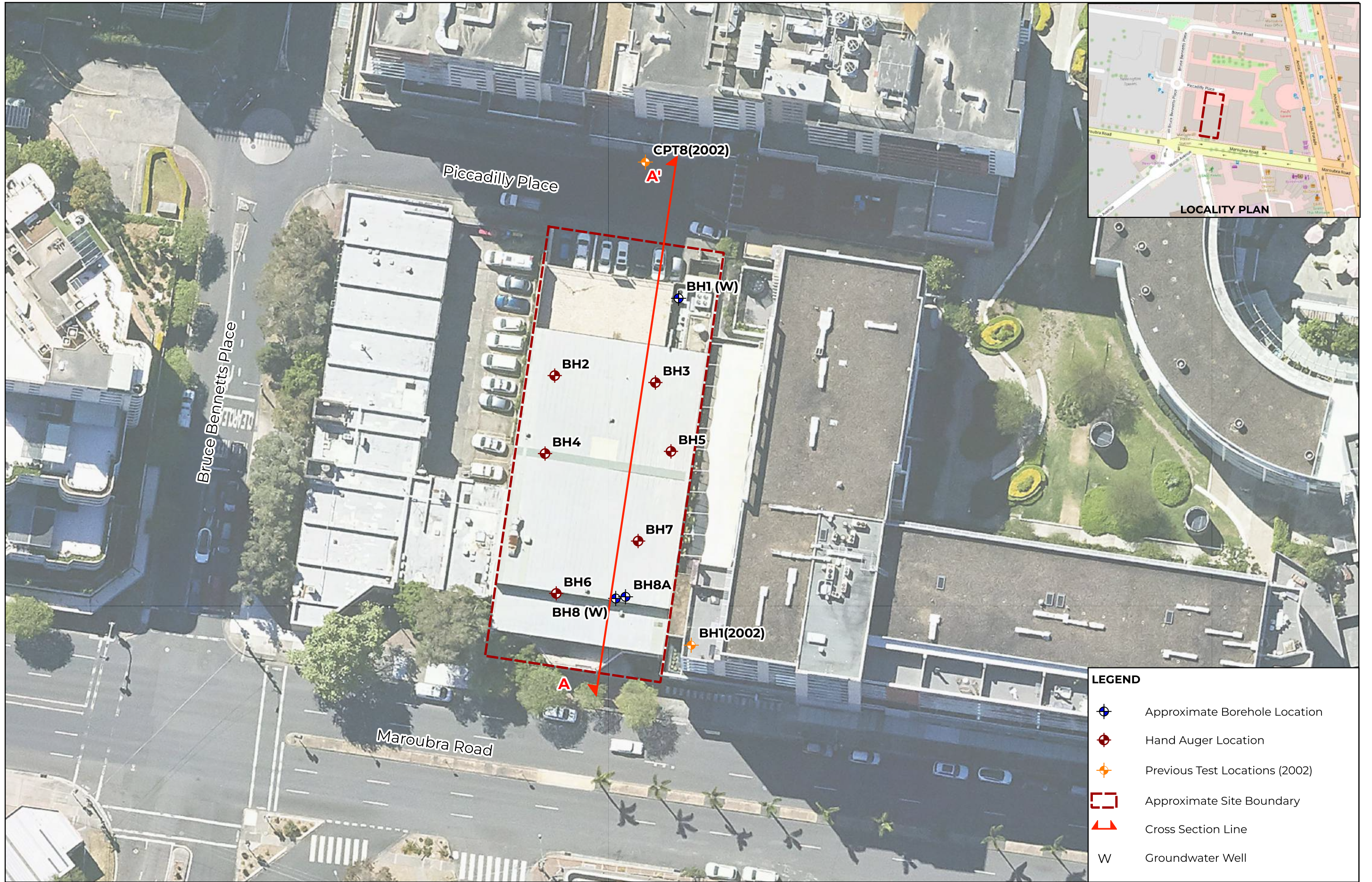
The company will always be pleased to provide engineering inspection services for geotechnical and environmental aspects of work to which this report is related. This could range from a site visit to confirm that conditions exposed are as expected, to full time engineering presence on site.

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## **Appendix B**

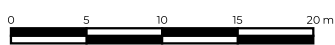
Drawings




**LEGEND**

-  Approximate Borehole Location
-  Hand Auger Location
-  Previous Test Locations (2002)
-  Approximate Site Boundary
-  Cross Section Line
-  Groundwater Well

REV	DESCRIPTION/COMMENT	DATE	DRAWN BY
0	Initial Issue	12.02.2025	MN

SCALE:  1:500 @ A3



**Douglas**  
PARTNERS  
OFFICE: SYDNEY  
96-98 Hermitage Rd, West Ryde NSW 2114  
(02)9809 0666

CLIENT:  
**Lindsay Bennelong  
Developments Pty Ltd**

NOTE:  
1: Basemap from Metromap (Dated 20.09.2024)

COORDINATE REFERENCE SYSTEM: GDA2020 / MGA zone 56

PROJECT NAME:  
**Proposed Mixed Use  
Development**  
PROJECT ADDRESS:  
**138 Maroubra Road, Maroubra**

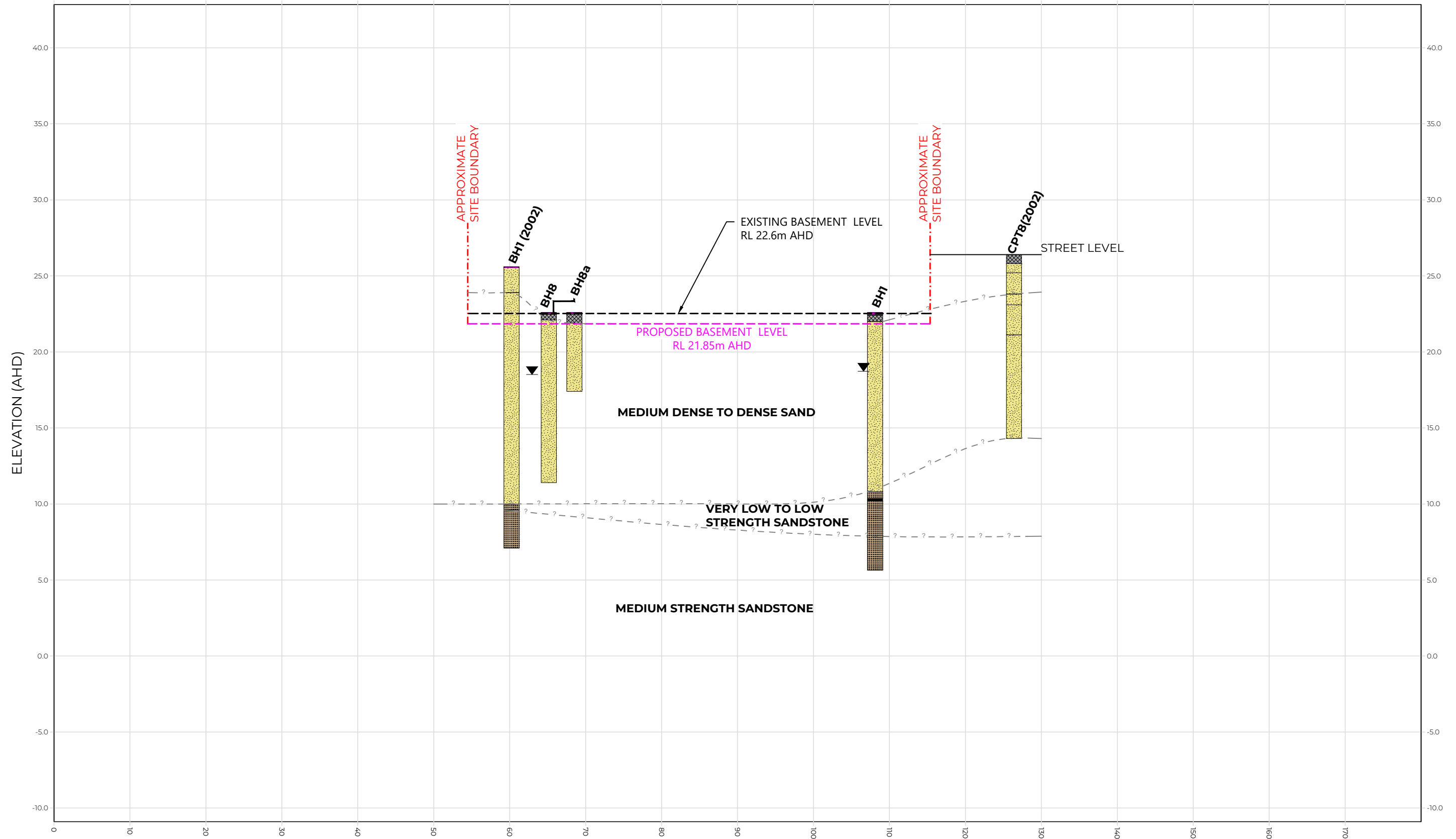
DRAWING TITLE:  
**Test Location Plan**

PROJECT NO:  
**20854.04**

DRAWING NO:  
**1**

REVISION:  
**0**

V:\projects\20854\04 - MAROUBRA, 138 Maroubra Road, CIV7.0 Drawings\7.2 Out\Cross Section\20854-04.D.002.Rev0\_Cross Section Adwg



<p><b>LEGEND</b></p> <p>  FILL   CONCRETE   NO CORE   SAND   SANDSTONE         </p>	<p><b>TESTS / OTHER</b></p> <p>  - ? - - Interpreted geotechnical boundary   - Water Level         </p>	<p><b>ROCK STRENGTH</b></p> <p>           VL - Very Low            L - Low            M - Medium            H - High         </p>	<p><b>SOIL DENSITY</b></p> <p>           vl - Very Loose            l - Loose            md - Medium Dense            d - Dense            vd - Very Dense         </p>
---	---	---	---

REV	DESCRIPTION/COMMENT	DATE	DRAWN BY
0	Initial Issue	12.02.2025	MN

SCALE: Horizontal Scale 1:500  
Vertical Exaggeration = 2.0

**Douglas PARTNERS**

OFFICE: SYDNEY  
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(02) 9809 0666

CLIENT:

**Lindsay Bennelong Developments Pty Ltd**

**NOTES**

- Subsurface conditions are accurate at the borehole locations only. Variations in subsurface conditions may occur between borehole locations. Interpreted strata boundaries are approximate and should be used as a guide only.
- Summary logs only and should be read in conjunction with detailed logs.
- Horizontal and vertical scales are not equal.

PROJECT NAME:  
**Proposed Mixed Use Development**

PROJECT ADDRESS:  
**138 Maroubra Road, Maroubra**

**Geological Cross Section A-A'**

PROJECT No:	<b>20854.04</b>
DRAWING No:	<b>2</b>
REVISION:	<b>0</b>

---

## **Appendix C**

Current Field Work Results



## Introduction to Terminology, Symbols and Abbreviations

Douglas Partners' reports, investigation logs, and other correspondence may use terminology which has quantitative or qualitative connotations. To remove ambiguity or uncertainty surrounding the use of such terms, the following sets of notes pages may be attached Douglas Partners' reports, depending on the work performed and conditions encountered:

- Soil Descriptions;
- Rock Descriptions; and
- Sampling, insitu testing, and drilling methodologies

In addition to these pages, the following notes generally apply to most documents.

### Abbreviation Codes

Site conditions may also be presented in a number of different formats, such as investigation logs, field mapping, or as a written summary. In some of these formats textual or symbolic terminology may be presented using textual abbreviation codes or graphic symbols, and, where commonly used, these are listed alongside the terminology definition. For ease of identification in these note pages, textual codes are presented in these notes in the following style **XW**. Code usage conforms with the following guidelines:

- Textual codes are case insensitive, although herein they are generally presented in upper case; and
- Textual codes are contextual (i.e. the same or similar combinations of characters may be used in different contexts with different meanings (for example `PL` is used for plastic limit in the context of soil moisture condition, as well as in `PL(A)` for point load test result in the testing results column)).

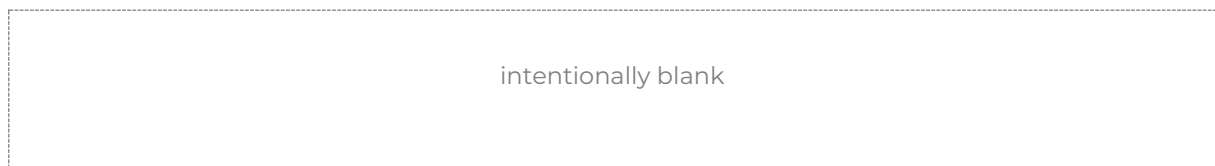
### Data Integrity Codes

Subsurface investigation data recorded by Douglas Partners is generally managed in a highly structured database environment, where records "span" between a top and bottom depth interval. Depth interval "gaps" between records are considered to introduce ambiguity, and, where appropriate, our practice guidelines may require contiguous data sets. Recording meaningful data is not always appropriate (for example assigning a "strength" to a concrete pavement) and the following codes may be used to maintain contiguity in such circumstances.

Term	Description	Abbreviation Code
Core loss	No core recovery	KL
Unknown	Information was not available to allow classification of the property. For example, when auguring in loose, saturated sand auger cuttings may not be returned.	UK
No data	Information required to allow classification of the property was not available. For example if drilling is commenced from the base of a hole predrilled by others	ND
Not Applicable	Derivation of the properties not appropriate or beyond the scope of the investigation. For example providing a description of the strength of a concrete pavement	NA

### Graphic Symbols

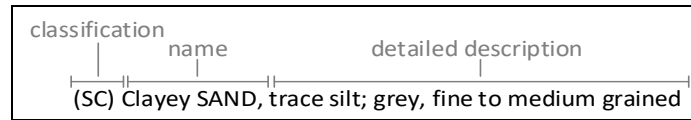
Douglas Partners' logs contain a "graphic" column which provides a pictorial representation of the basic composition of the material. The symbols used are directly representing the material name stated in the adjacent "Description of Strata" column, and as such no specific graphic symbology legend has been provided in these notes.





## Introduction

All materials which are not considered to be “in-situ rock” are described in general accordance with the soil description model of AS 1726-2017 Part 6.1.3, and can be broken down into the following description structure:



The “classification” comprises a two character “group symbol” providing a general summary of dominant soil characteristics. The “name” summarises the particle sizes within the soil which most influence its behaviour. The detailed description presents more information about composition, condition, structure, and origin of the soil.

Classification, naming and description of soils require the relative proportion of particles of different sizes within the whole soil mixture to be considered.

### Particle size designation and Behaviour Model

Solid particles within a soil are differentiated on the basis of size.

The engineering behaviour properties of a soil can subsequently be modelled to be either “fine grained” (also known as “cohesive” behaviour) or “coarse grained” (“non cohesive” behaviour), depending on the relative proportion of fine or coarse fractions in the soil mixture.

Particle Size Designation	Particle Size (mm)	Behaviour Model	
		Behaviour	Approximate Dry Mass
Boulder	>200	Excluded from particle behaviour model as “oversize”	
Cobble	63 - 200		
Gravel <sup>1</sup>	2.36 - 63	Coarse	>65%
Sand <sup>1</sup>	0.075 - 2.36		
Silt	0.002 - 0.075	Fine	>35%
Clay	<0.002		

<sup>1</sup> – refer grain size subdivision descriptions below

The behaviour model boundaries defined above are not precise, and the material behaviour should be assumed from the name given to the material (which considers the particle fraction which dominates the behaviour, refer “component proportions” below), rather than strict observance of the proportions of particle sizes. For example, if a material is named a “Sandy CLAY”, this is indicative that the material exhibits fine grained behaviour, even if the dry mass of coarse grained material may exceed 65%.

### Component proportions

The relative proportion of the dry mass of each particle size fraction is assessed to be a “primary”, “secondary”, or “minor” component of the soil mixture, depending on its influence over the soil behaviour.

Component Proportion Designation	Definition <sup>1</sup>	Relative Proportion	
		In Fine Grained Soil	In Coarse Grained Soil
Primary	The component (particle size designation, refer above) which dominates the engineering behaviour of the soil	The clay/silt component with the greater proportion	The sand/gravel component with the greater proportion
Secondary	Any component which is not the primary, but is significant to the engineering properties of the soil	Any component with greater than 30% proportion	Any granular component with greater than 30%; or Any fine component with greater than 12%
Minor <sup>2</sup>	Present in the soil, but not significant to its engineering properties	All other components	All other components

<sup>1</sup> As defined in AS1726-2017 6.1.4.4

<sup>2</sup> In the detailed material description, minor components are split into two further sub-categories. Refer “identification of minor components” below.

### Composite Materials

In certain situations, a lithology description may describe more than one material, for example, collectively describing a layer of interbedded sand and clay. In such a scenario, the two materials would be described independently, with the names preceded or followed by a statement describing the arrangement by which the materials co-exist. For example, “INTERBEDDED Silty CLAY AND SAND”.

## Classification

The soil classification comprises a two character group symbol. The first character identifies the primary component. The second character identifies either the grading or presence of fines in a coarse grained soil, or the plasticity in a fine grained soil. Refer AS1726-2017 6.1.6 for further clarification.

## Soil Name

For most soils, the name is derived with the primary component included as the noun (in upper case), preceded by any secondary components stated in an adjective form. In this way, the soil name also describes the general composition and indicates the dominant behaviour of the material.

Component <sup>1</sup>	Prominence in Soil Name
Primary	Noun (eg "CLAY")
Secondary	Adjective modifier (eg "Sandy")
Minor	No influence

<sup>1</sup> – for determination of component proportions, refer component proportions on previous page

For materials which cannot be disaggregated, or which are not comprised of rock or mineral fragments, the names "ORGANIC MATTER" or "ARTIFICIAL MATERIAL" may be used, in accordance with AS1726-2017 Table 14.

Commercial or colloquial names are not used for the soil name where a component derived name is possible (for example "Gravelly SAND" rather than "CRACKER DUST").

Materials of "fill" or "topsoil" origin are generally assigned a name derived from the primary/secondary component (where appropriate). In log descriptions this is preceded by uppercase "FILL" or "TOPSOIL". Origin uncertainty is indicated in the description by the characters (?), with the degree of uncertainty described (using the terms "probably" or "possibly" in the origin column, or at the end of the description).

## Identification of minor components

Minor components are identified in the soil description immediately following the soil name. The minor component fraction is usually preceded with a term indicating the relative proportion of the component.

Minor Component Proportion Term	Relative Proportion	
	In Fine Grained Soil	In Coarse Grained Soil
With	All fractions: 15-30%	Clay/silt: 5-12% sand/gravel: 15-30%
Trace	All fractions: 0-15%	Clay/silt: 0-5% sand/gravel: 0-15%

The terms "with" and "trace" generally apply only to gravel or fine particle fractions. Where cobbles/boulders are encountered in minor proportions (generally less than about 12%) the term "occasional" may be used. This term describes the sporadic distribution of the material within the confines of the investigation excavation only, and there may be considerable variation in proportion over a wider area which is difficult to factually characterise due to the relative size of the particles and the investigation methods.

## Soil Composition

### Plasticity

Descriptive Term	Laboratory liquid limit range	
	Silt	Clay
Non-plastic materials	Not applicable	Not applicable
Low plasticity	≤50	≤35
Medium plasticity	Not applicable	>35 and ≤50
High plasticity	>50	>50

Note, Plasticity descriptions generally describe the plasticity behaviour of the whole of the fine grained soil, not individual fine grained fractions.

### Grain Size

Type	Particle size (mm)	
	Gravel	Coarse
	Medium	6.7 - 19
	Fine	2.36 - 6.7
Sand	Coarse	0.6 - 2.36
	Medium	0.21 - 0.6
	Fine	0.075 - 0.21

### Grading

Grading Term	Particle size (mm)
Well	A good representation of all particle sizes
Poorly	An excess or deficiency of particular sizes within the specified range
Uniformly	Essentially of one size
Gap	A deficiency of a particular size or size range within the total range

Note, AS1726-2017 provides terminology for additional attributes not listed here.

## Soil Condition

### Moisture

The moisture condition of soils is assessed relative to the plastic limit for fine grained soils, while for coarse grained soils it is assessed based on the appearance and feel of the material. The moisture condition of a material is considered to be independent of stratigraphy (although commonly these are related), and this data is presented in its own column on logs.

Applicability	Term	Tactile Assessment	Abbreviation code
Fine	Dry of plastic limit	Hard and friable or powdery	w<PL
	Near plastic limit	Can be moulded	w=PL
	Wet of plastic limit	Water residue remains on hands when handling	w>PL
	Near liquid limit	"oozes" when agitated	w=LL
	Wet of liquid limit	"oozes"	w>LL
Coarse	Dry	Non-cohesive and free running	D
	Moist	Feels cool, darkened in colour, particles may stick together	M
	Wet	Feels cool, darkened in colour, particles may stick together, free water forms when handling	W

The abbreviation code **NDF**, meaning "not-assessable due to drilling fluid use" may also be used.

Note, observations relating to free ground water or drilling fluids are provided independent of soil moisture condition.

### Consistency/Density/Compaction/Cementation/Extremely Weathered Material

These concepts give an indication of how the material may respond to applied forces (when considered in conjunction with other attributes of the soil). This behaviour can vary independent of the composition of the material, and on logs these are described in an independent column and are generally mutually exclusive (i.e it is inappropriate to describe both consistency and compaction at the same time). The method by which the behaviour is described depends on the behaviour model and other characteristics of the soil as follows:

- In fine grained soils, the "consistency" describes the ease with which the soil can be remoulded, and is generally correlated against the materials undrained shear strength;
- In granular materials, the relative density describes how tightly packed the particles are, and is generally correlated against the density index;
- In anthropogenically modified materials, the compaction of the material is described qualitatively;
- In cemented soils (both natural and anthropogenic), the cemented "strength" is described qualitatively, relative to the difficulty with which the material is disaggregated; and
- In soils of extremely weathered material origin, the engineering behaviour may be governed by relic rock features, and expected behaviour needs to be assessed based the overall material description.

Quantitative engineering performance of these materials may be determined by laboratory testing or estimated by correlated field tests (for example penetration or shear vane testing). In some cases, performance may be assessed by tactile or other subjective methods, in which case investigation logs will show the estimated value enclosed in round brackets, for example **(VS)**.

#### Consistency (fine grained soils)

Consistency Term	Tactile Assessment	Undrained Shear Strength (kPa)	Abbreviation Code
Very soft	Extrudes between fingers when squeezed	<12	VS
Soft	Mouldable with light finger pressure	>12 - ≤25	S
Firm	Mouldable with strong finger pressure	>25 - ≤50	F
Stiff	Cannot be moulded by fingers	>50 - ≤100	St
Very stiff	Indented by thumbnail	>100 - ≤200	VSt
Hard	Indented by thumbnail with difficulty	>200	H
Friable	Easily crumbled or broken into small pieces by hand	-	Fr

#### Relative Density (coarse grained soils)

Relative Density Term	Density Index	Abbreviation Code
Very loose	<15	VL
Loose	>15 - ≤35	L
Medium dense	>35 - ≤65	MD
Dense	>65 - ≤85	D
Very dense	>85	VD

Note, tactile assessment of relative density is difficult, and generally requires penetration testing, hence a tactile assessment guide is not provided.

## Compaction (anthropogenically modified soil)

Compaction Term	Abbreviation Code
Well compacted	WC
Poorly compacted	PC
Moderately compacted	MC
Variably compacted	VC

## Cementation (natural and anthropogenic)

Cementation Term	Abbreviation Code
Moderately cemented	MOD
Weakly cemented	WEK

## Extremely Weathered Material

AS1726-2017 considers weathered material to be soil if the unconfined compressive strength is less than 0.6 MPa (i.e. less than very low strength rock). These materials may be identified as “extremely weathered material” in reports and by the abbreviation code **XWM** on log sheets. This identification is not correlated to any specific qualitative or quantitative behaviour, and the engineering properties of this material must therefore be assessed according to engineering principles with reference to any relic rock structure, fabric, or texture described in the description.

## Soil Origin

Term	Description	Abbreviation Code
Residual	Derived from in-situ weathering of the underlying rock	RS
Extremely weathered material	Formed from in-situ weathering of geological formations. Has strength of less than ‘very low’ as per as1726 but retains the structure or fabric of the parent rock.	XWM
Alluvial	Deposited by streams and rivers	ALV
Fluvial	Deposited by channel fill and overbank (natural levee, crevasse splay or flood basin)	FLV
Estuarine	Deposited in coastal estuaries	EST
Marine	Deposited in a marine environment	MAR
Lacustrine	Deposited in freshwater lakes	LAC
Aeolian	Carried and deposited by wind	AEO
Colluvial	Soil and rock debris transported down slopes by gravity	COL
Slopewash	Thin layers of soil and rock debris gradually and slowly deposited by gravity and possibly water	SW
Topsoil	Mantle of surface soil, often with high levels of organic material	TOP
Fill	Any material which has been moved by man	FILL
Littoral	Deposited on the lake or seashore	LIT
Unidentifiable	Not able to be identified	UID

## Cobbles and Boulders

The presence of particles considered to be “oversize” may be described using one of the following strategies:

- Oversize encountered in a minor proportion (when considered relative to the wider area) are noted in the soil description; or
- Where a significant proportion of oversize is encountered, the cobbles/boulders are described independent of the soil description, in a similar manner to composite soils (described above) but qualified with “MIXTURE OF”.

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## Rock Strength

Rock strength is defined by the unconfined compressive strength, and it refers to the strength of the rock substance and not the strength of the overall rock mass, which may be considerably weaker due to defects.

The Point Load Strength Index  $I_{s(50)}$  is commonly used to provide an estimate of the rock strength and site specific correlations should be developed to allow UCS values to be determined. The point load strength test procedure is described by Australian Standard AS4133.4.1-2007. The terms used to describe rock strength are as follows:

Strength Term	Unconfined Compressive Strength (MPa)	Point Load Index <sup>1</sup> $I_{s(50)}$ MPa	Abbreviation Code
Very low	0.6 - 2	0.03 - 0.1	VL
Low	2 - 6	0.1 - 0.3	L
Medium	6 - 20	0.3 - 1.0	M
High	20 - 60	1 - 3	H
Very high	60 - 200	3 - 10	VH
Extremely high	>200	>10	EH

<sup>1</sup> Rock strength classification is based on UCS. The UCS to  $I_{s(50)}$  ratio varies significantly for different rock types and specific ratios may be required for each site. The point load Index ranges shown above are as suggested in AS1726 and should not be relied upon without supporting evidence.

The following abbreviation codes are used for soil layers or seams of material “within rock” but for which the equivalent UCS strength is less than 0.6 MPa.

Scenario	Abbreviation Code
The material encountered has an equivalent UCS strength of less than 0.6 MPa, and therefore is considered to be soil (as per Note 1 of Table 20 of AS 1726-2017). The properties of the material encountered over this interval are described in the “Description of Strata” and soil properties columns.	SOIL
The material encountered has an equivalent UCS strength of less than 0.6 MPa, and therefore is considered to be soil (as per Note 1 of Table 20 of AS 1726-2017). The prominence of the material is such that it can be considered to be a seam (as defined in Table 22 of AS1726-2017) and the properties of the material are described in the defect column.	SEAM

## Degree of Weathering

The degree of weathering of rock is classified as follows:

Weathering Term	Description	Abbreviation Code
Residual Soil <sup>1</sup>	Material is weathered to such an extent that it has soil properties. Mass structure and material texture and fabric of original rock are no longer visible, but the soil has not been significantly transported.	RS
Extremely weathered <sup>1</sup>	Material is weathered to such an extent that it has soil properties. Mass structure and material texture and fabric of original rock are still visible	XW
Highly weathered	The whole of the rock material is discoloured, usually by iron staining or bleaching to the extent that the colour of the original rock is not recognisable. Rock strength is significantly changed by weathering. Some primary minerals have weathered to clay minerals. Porosity may be increased by leaching or may be decreased due to deposition of weathering products in pores.	HW
Moderately weathered	The whole of the rock material is discoloured, usually by iron staining or bleaching to the extent that the colour of the original rock is not recognisable but shows little or no change of strength from fresh rock.	MW
Slightly weathered	Rock is partially discoloured with staining or bleaching along joints but shows little or no change of strength from fresh rock.	SW
Fresh	No signs of decomposition or staining.	FR
Note: If HW and MW cannot be differentiated use DW (see below)		
Distinctly weathered	Rock strength usually changed by weathering. The rock may be highly discoloured, usually by iron staining. Porosity may be increased by leaching or may be decreased due to deposition of weathered products in pores.	DW

<sup>1</sup> The parent rock type, of which the residual/extremely weathered material is a derivative, will be stated in the description (where discernible).

## Degree of Alteration

The degree of alteration of the rock material (physical or chemical changes caused by hot gasses or liquids at depth) is classified as follows:

Term	Description	Abbreviation Code
Extremely altered	Material is altered to such an extent that it has soil properties. Mass structure and material texture and fabric of original rock are still visible.	XA
Highly altered	The whole of the rock material is discoloured, usually by staining or bleaching to the extent that the colour of the original rock is not recognisable. Rock strength is changed by alteration. Some primary minerals are altered to clay minerals. Porosity may be increased by leaching or may be decreased due to precipitation of secondary materials in pores.	HA
Moderately altered	The whole of the rock material is discoloured, usually by staining or bleaching to the extent that the colour of the original rock is not recognisable but shows little or no change of strength from fresh rock.	MA
Slightly altered	Rock is slightly discoloured but shows little or no change of strength from fresh rock	SA
Note: If HA and MA cannot be differentiated use DA (see below)		
Distinctly altered	Rock strength usually changed by alteration. The rock may be highly discoloured, usually by staining or bleaching. Porosity may be increased by leaching or may be decreased due to precipitation of secondary minerals in pores.	DA

## Degree of Fracturing

The following descriptive classification apply to the spacing of natural occurring fractures in the rock mass. It includes bedding plane partings, joints and other defects, but excludes drilling breaks. These terms are generally not required on investigation logs where fracture spacing is presented as a histogram, and where used are presented in an unabbreviated format.

Term	Description
Fragmented	Fragments of <20 mm
Highly Fractured	Core lengths of 20-40 mm with occasional fragments
Fractured	Core lengths of 30-100 mm with occasional shorter and longer sections
Slightly Fractured	Core lengths of 300 mm or longer with occasional sections of 100-300 mm
Unbroken	Core contains very few fractures

## Rock Quality Designation

The quality of the cored rock can be measured using the Rock Quality Designation (RQD) index, defined as:

$$RQD \% = \frac{\text{cumulative length of 'sound' core sections} > 100 \text{ mm long}}{\text{total drilled length of section being assessed}}$$

where 'sound' rock is assessed to be rock of low strength or stronger. The RQD applies only to natural fractures. If the core is broken by drilling or handling (i.e., drilling breaks) then the broken pieces are fitted back together and are not included in the calculation of RQD.

## Stratification Spacing

These terms may be used to describe the spacing of bedding partings in sedimentary rocks. Where used, these terms are generally presented in an unabbreviated format

Term	Separation of Stratification Planes
Thinly laminated	< 6 mm
Laminated	6 mm to 20 mm
Very thinly bedded	20 mm to 60 mm
Thinly bedded	60 mm to 0.2 m
Medium bedded	0.2 m to 0.6 m
Thickly bedded	0.6 m to 2 m
Very thickly bedded	> 2 m

## Defect Descriptions

### Defect Type

Term	Abbreviation Code
Bedding plane	B
Cleavage	CL
Crushed seam	CS
Crushed zone	CZ
Drilling break	DB
Decomposed seam	DS
Drill lift	DL
Extremely Weathered seam	EW
Fault	F
Fracture	FC
Fragmented	FG
Handling break	HB
Infilled seam	IS
Joint	JT
Lamination	LAM
Shear seam	SS
Shear zone	SZ
Vein	VN
Mechanical break	MB
Parting	P
Sheared Surface	S

### Rock Defect Orientation

Term	Abbreviation Code
Horizontal	H
Vertical	V
Sub-horizontal	SH
Sub-vertical	SV

### Rock Defect Coating

Term	Abbreviation Code
Clean	CN
Coating	CT
Healed	HE
Infilled	INF
Stained	SN
Tight	TI
Veneer	VNR

### Rock Defect Infill

Term	Abbreviation Code
Calcite	CA
Carbonaceous	CBS
Clay	CLAY
Iron oxide	FE
Manganese	MN
Pyrite	Py
Secondary material	MS
Silt	M
Quartz	Qz
Unidentified material	MU

### Rock Defect Shape/Planarity

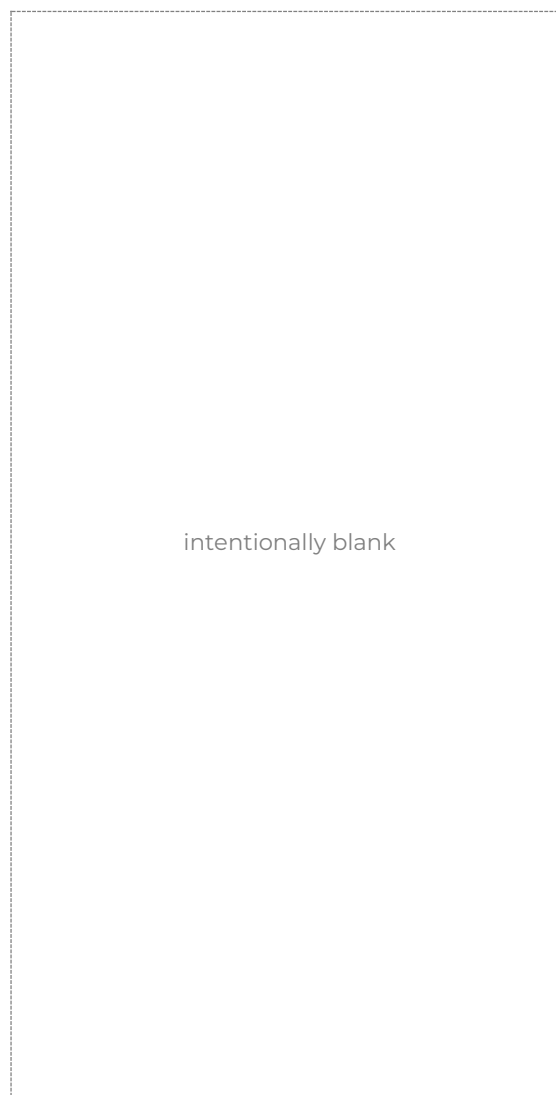
Term	Abbreviation Code
Curved	CU
Discontinuous	DIS
Irregular	IR
Planar	PR
Stepped	ST
Undulating	UN

### Rock Defect Roughness

Term	Abbreviation Code
Polished	PO
Rough	RF
Smooth	SM
Slickensided	SL
Very rough	VR

### Defect Orientation

The inclination of defects is always measured from the perpendicular to the core axis.



# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH1  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24 - 10/12/24  
**SHEET:** 1 of 3

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS						
GROUNDWATER	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (°)	DENSITY (°)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS	BACKFILL	WELL PIPE
RL (m)	0.18	CONCRETE SLAB.			NA		NA								
	0.60	FILL / SAND, trace concrete fragments to 75mm: yellow-brown; fine to medium.		FILL	VC				ES	0.20 - 0.30		PSP/ISO		Bentonite	
		SAND (SP): yellow-brown; fine to medium.							ES	0.80 - 1.00					
		0.80m: becoming yellow					M		D	1.00 - 1.20					
		1.50m: becoming brown							ES	1.50 - 1.60					
									D	1.80 - 2.00					
				AEO											
					ND		NDF								

NOTES: <sup>#</sup>Soil origin is "probable" unless otherwise stated. <sup>°</sup>Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Commacchio 205 Rig

**OPERATOR:** GT (JJ)

**LOGGED:** J. Sullivan

**METHOD:** DT to 0.18m, HA to 2m, WB to 11.9m, NMLC to 16.95m

**CASING:** HQ to 11.9m

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH1  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24 - 10/12/24  
**SHEET:** 2 of 3

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS					
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (%) DENSITY (%)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS	BACKFILL	WELL PIPE
	11.80	[CONT] SAND (SP): yellow-brown; fine to medium.	[GRAIN]	AEO	ND	NDF				11				
	12	Continued as rock								12				
	13									13				
	14									14				
	15									15				
	16									16				
	17									17				
	18									18				
	19									19				

NOTES: #Soil origin is "probable" unless otherwise stated. %Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Commacchio 205 Rig

**OPERATOR:** GT (JJ)

**LOGGED:** J. Sullivan

**METHOD:** DT to 0.18m, HA to 2m, WB to 11.9m, NMLC to 16.95m

**CASING:** HQ to 11.9m

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

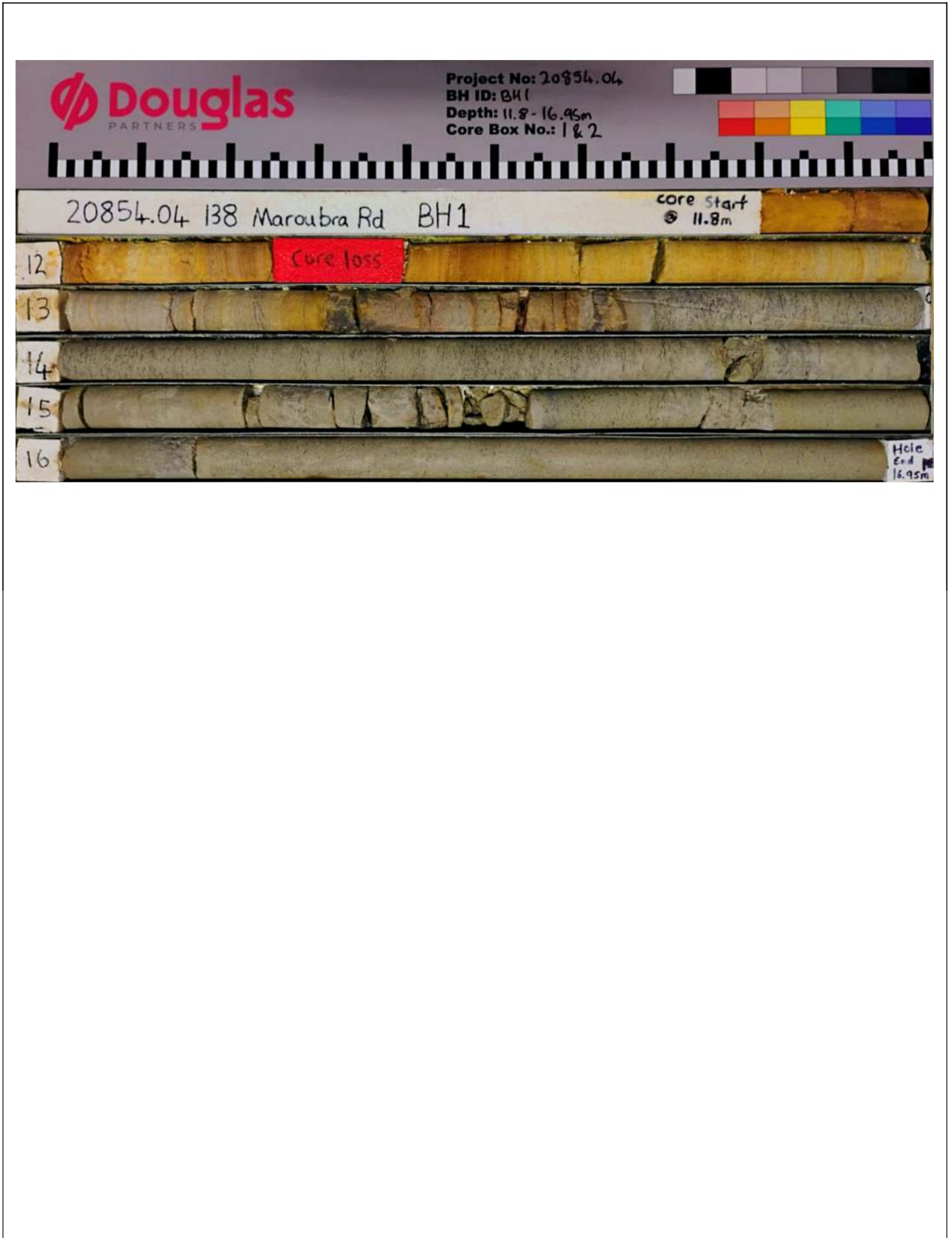


# CORE PHOTO LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH1  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24 - 10/12/24  
**SHEET:** 1 of 1



# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH2  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS			
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (%) DENSITY. (°)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
		CONCRETE SLAB			NA	NA						
	0.30	FILL / SAND, with gravel: pale yellow, dark brown and orange; fine to medium; sandstone gravel.		FILL				ES		0.30 - 0.50	PID	<1ppm
	1				ND	M		ES		1.00 - 1.20	PID	<1ppm
	1.60	SAND (SP); yellow-orange brown.		AEO				ES		1.60 - 1.80	PID	<1ppm
	2	Borehole discontinued at 2.00m depth. Target depth reached.										

NOTES: #Soil origin is "probable" unless otherwise stated. %Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 2m

**CASING:** Uncased

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

Refer to explanatory notes for symbol and abbreviation definitions



# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH3  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS			
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. <sup>(*)</sup> DENSITY. <sup>(*)</sup>	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
		CONCRETE SLAB	[Concrete Pattern]			NA						
	0.30	FILL / SAND: yellow brown; fine to medium.	[Fill Pattern]	FILL						0.30		
	0.40	FILL / SAND, trace brick: pale yellow; fine to medium; Possibly reworked sand.	[Fill Pattern]	FILL				ES		0.50	PID	<1ppm
	1.00		[Fill Pattern]	FILL				ES		0.80	PID	<1ppm
	1.20	SAND (SP): pale yellow and pale brown; fine to medium.	[Sand Pattern]	AEO		ND	D			1.30	PID	<1ppm
	2.00	Borehole discontinued at 2.00m depth. Target depth reached.										

NOTES: <sup>(\*)</sup>Soil origin is "probable" unless otherwise stated. <sup>(\*)</sup>Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 2m

**CASING:** Uncased

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH4  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

GROUNDWATER RL (m)	DEPTH (m)	CONDITIONS ENCOUNTERED				SAMPLE			TESTING AND REMARKS			
		DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (°) DENSITY. (°)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
		CONCRETE SLAB			NA	NA						
	0.30	FILL / SAND, trace cobbles: brown; fine to medium; sandstone cobbles.		FILL				ES	0.30 - 0.50	PID	<1ppm	
	0.80	SAND (SP): pale yellow; fine to medium.		AEO	ND	M		ES	0.60 - 0.80	PID	<1ppm	
	1.00							ES	0.90 - 1.10	PID	<1ppm	
	1.30	Borehole discontinued at 1.30m depth. Target depth reached.										

NOTES: #Soil origin is "probable" unless otherwise stated. °Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 1.3m

**CASING:** Uncased

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

Refer to explanatory notes for symbol and abbreviation definitions



# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH5  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS			
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (%) DENSITY (%)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
		CONCRETE SLAB			NA	NA						
	0.30	FILL / SAND, trace glass; pale yellow and pale brown; fine to medium; Possibly reworked natural sand.						ES		0.30 - 0.50	PID	<1ppm
	1			FILL	ND	M		ES		1.00 - 1.20	PID	<1ppm
	1.90	FILL / SAND: dark brown; fine to medium.		FILL				ES		1.50 - 1.70	PID	<1ppm
	2	Borehole discontinued at 2.00m depth. Target depth reached.										

NOTES: #Soil origin is "probable" unless otherwise stated. %Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 2m

**CASING:** Uncased

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.

# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH6  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS			
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. <sup>(1)</sup> DENSITY, <sup>(2)</sup>	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
		CONCRETE SLAB			NA	NA						
	0.30	FILL / SAND, trace glass: dark brown; fine to medium.		FILL				ES	0.30 - 0.50	0.30	PID	<1ppm
	1.10	SAND (SP): pale yellow; fine to medium.		AEO	ND	M		ES	0.80 - 1.00	0.80	PID	<1ppm
	1.60							ES	1.40 - 1.60	1.40	PID	<1ppm
	2.00	Borehole discontinued at 1.80m depth. Target depth reached.										

NOTES: <sup>(1)</sup>Soil origin is "probable" unless otherwise stated. <sup>(2)</sup>Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 1.8m

**CASING:** Uncased

**REMARKS:** \*Replicate sample BH1/20241209 taken from 0.3-0.5m  
 No coordinates were recorded during the investigation as the test locations were within the basement.

Refer to explanatory notes for symbol and abbreviation definitions

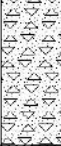



# BOREHOLE LOG

**CLIENT:** Lindsay Bennelong Developments Pty Ltd  
**PROJECT:** Proposed Mixed Use Development  
**LOCATION:** 138 Maroubra Rd, Maroubra, NSW 2035

**SURFACE LEVEL:** 22.6 AHD  
**COORDINATE:**  
**DATUM/GRID:**  
**DIP/AZIMUTH:** 90°/---°

**LOCATION ID:** BH7  
**PROJECT No:** 20854.04  
**DATE:** 09/12/24  
**SHEET:** 1 of 1

CONDITIONS ENCOUNTERED						SAMPLE			TESTING AND REMARKS			
GROUNDWATER RL (m)	DEPTH (m)	DESCRIPTION OF STRATA	GRAPHIC	ORIGIN (#)	CONSIS. (°) DENSITY. (°)	MOISTURE	REMARKS	TYPE	INTERVAL	DEPTH (m)	TEST TYPE	RESULTS AND REMARKS
	0.30	CONCRETE SLAB			NA	NA						
	0.30 - 1.80	FILL / SAND: pale yellow mottled dark brown; fine to medium.		FILL	ND	M		ES	0.30 - 0.50	0.30	PID	<1ppm
								ES	0.80 - 1.00	0.80	PID	<1ppm
								ES	1.50 - 1.70	1.50	PID	<1ppm
	1.80	Borehole discontinued at 1.80m depth. Target depth reached.										

NOTES: #Soil origin is "probable" unless otherwise stated. °Consistency/Relative density shading is for visual reference only - no correlation between cohesive and granular materials is implied.

**PLANT:** Hand Tools

**OPERATOR:** (JH)

**LOGGED:** J. Henley

**METHOD:** DT to 0.3m, HA to 1.8m

**CASING:** Uncased

**REMARKS:** No coordinates were recorded during the investigation as the test locations were within the basement.







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## **Appendix D**

Previous Field Work Results

# TEST BORE REPORT

CLIENT: CLYCUT PTY LTD/ALPINE HOTELS PTY LTD  
 PROJECT: MAROUBRA MALL DEVELOPMENT  
 LOCATION: CNR ANZAC PDE AND MAROUBRA RD, MAROUBRA

PROJECT No: 30315  
 SURFACE LEVEL: 25.6 AHD  
 DIP OF HOLE: 90°

BORE No: 1  
 DATE: 22 FEB 2002  
 SHEET 1 OF 2  
 AZIMUTH:

Depth (m)	Description of Strata	Degree of Weathering					Graphic Log	Rock Strength					Discontinuities			Fracture Spacing (m)			Sampling & In Situ Testing									
		EW	SW	MS	VS	FS		Very Low	Low	Medium	High	Very High	Ext High	B - Bedding	J - Joint	S - Shear	D - Drill Break	0.01	0.05	0.10	0.50	1.00	Sample Type	Core Rec. %	ROD %	Test Results & Comments		
0.05	BITUMEN																											
0.6	SAND - grey brown and yellow sand																								S			2,1,1 N=2
1.7	SAND - very loose, dark grey, fine to medium grained sand, damp																								S			24,20,16 N=36
2	SAND - medium dense, brown grey, fine to medium grained sand, damp																								S			9,12,16 N=28
7.0	SAND - dense, brown and white, fine to medium grained sand, moist																								S			8,10,14 N=24
																									S			14,19,25/130
																									S			22,25/130

RIG: SCOUT 2 DRILLER: CROMBIE LOGGED: LI CASING: GL TO 15.0m

TYPE OF BORING: SFA TO 3.0m, ROTARY TO 15.2m NMLC CORING TO 18.5m

WATER OBSERVATIONS: NO FREE GROUNDWATER OBSERVED WHILST AUGERING

REMARKS:

### SAMPLING & IN SITU TESTING LEGEND

A auger sample	PL point load strength $I_s$ (50)MPa
B bulk sample	S standard penetration test
C core drilling	Ux x mm dia. tube
pp pocket penetrometer (kPa)	V Shear Vane (kPa)

CHECKED:

Initials: *GSY*

Date: 16/4/02



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# TEST BORE REPORT

CLIENT: CLYBUT PTY LTD/ALPINE HOTELS PTY LTD  
 PROJECT: MAROUBRA MALL DEVELOPMENT  
 LOCATION: CNR ANZAC PDE AND MAROUBRA RD, MAROUBRA

PROJECT No: 30315  
 SURFACE LEVEL: 25.6 AHD  
 DIP OF HOLE: 90°

BORE No: 1  
 DATE: 22 FEB 2002  
 SHEET 2 OF 2  
 AZIMUTH:

Depth (m)	Description of Strata	Degree of Weathering EM, TM, SW, PS, FR	Graphic Log	Rock Strength					Discontinuities B - Bedding J - Joint S - Shear D - Drill Break	Fracture Spacing (m)			Sampling & In Situ Testing				
				Ex. Low	Very Low	Low	Medium	High		Very High	Ex. High	0.01	0.05	0.10	0.50	1.00	Sample Type
10	SAND - dense, brown and white, fine to medium grained sand, wet													S			27,25/110
11														S			25/140
12														S			25/110
13														S			15,19,15 N=34
14	- yellow sand with a trace of gravel at 14.5m													S			
15.2	SANDY CLAY - firm to stiff, red brown, light grey sandy clay (extremely weathered sandstone)																pp=150kPa
15.6	SANDSTONE - medium strength, moderately weathered, fractured, red brown, fine to medium grained sandstone																PL (A)=0.33
16.0	SANDSTONE - high strength, fresh, slightly fractured, grey brown, medium grained sandstone with siltstone flakes													C	100	70	PL (A)=1.2
17																	
18														C	100	98	PL (A)=1.1
18.5	TEST BORE DISCONTINUED AT 18.5 METRES																
19																	
20																	

RIG: SCOUT 2      DRILLER: CROMBIE      LOGGED: LI      CASING: GL TO 15.0m

TYPE OF BORING: SFA TO 3.0m, ROTARY TO 15.2m NMLC CORING TO 18.5m

WATER OBSERVATIONS: NO FREE GROUNDWATER OBSERVED WHILST AUGERING

REMARKS:

A auger sample	PL point load strength $I_s$ (50)MPa
B bulk sample	S standard penetration test
C core drilling	Ux x mm dia. tube
pp pocket penetrometer (kPa)	V Shear Vane (kPa)

CHECKED:
Initials: GSY
Date: 16.4.02



DOUGLAS PARTNERS PTY LTD  
MAROUBRA MALL DEVELOPMENT - MAROUBRA  
BORE 1 PROJECT 30315 FEBRUARY 2002



15.20 - 18.50 M



# CONE PENETRATION TEST

CLIENT: CLYDUT PTY LTD / ALPINE HOTELS PTY LTD

PROJECT: MAROUBRA MALL REDEVELOPMENT

LOCATION: CNR ANZAC PDE & MAROUBRA RD, MAROUBRA

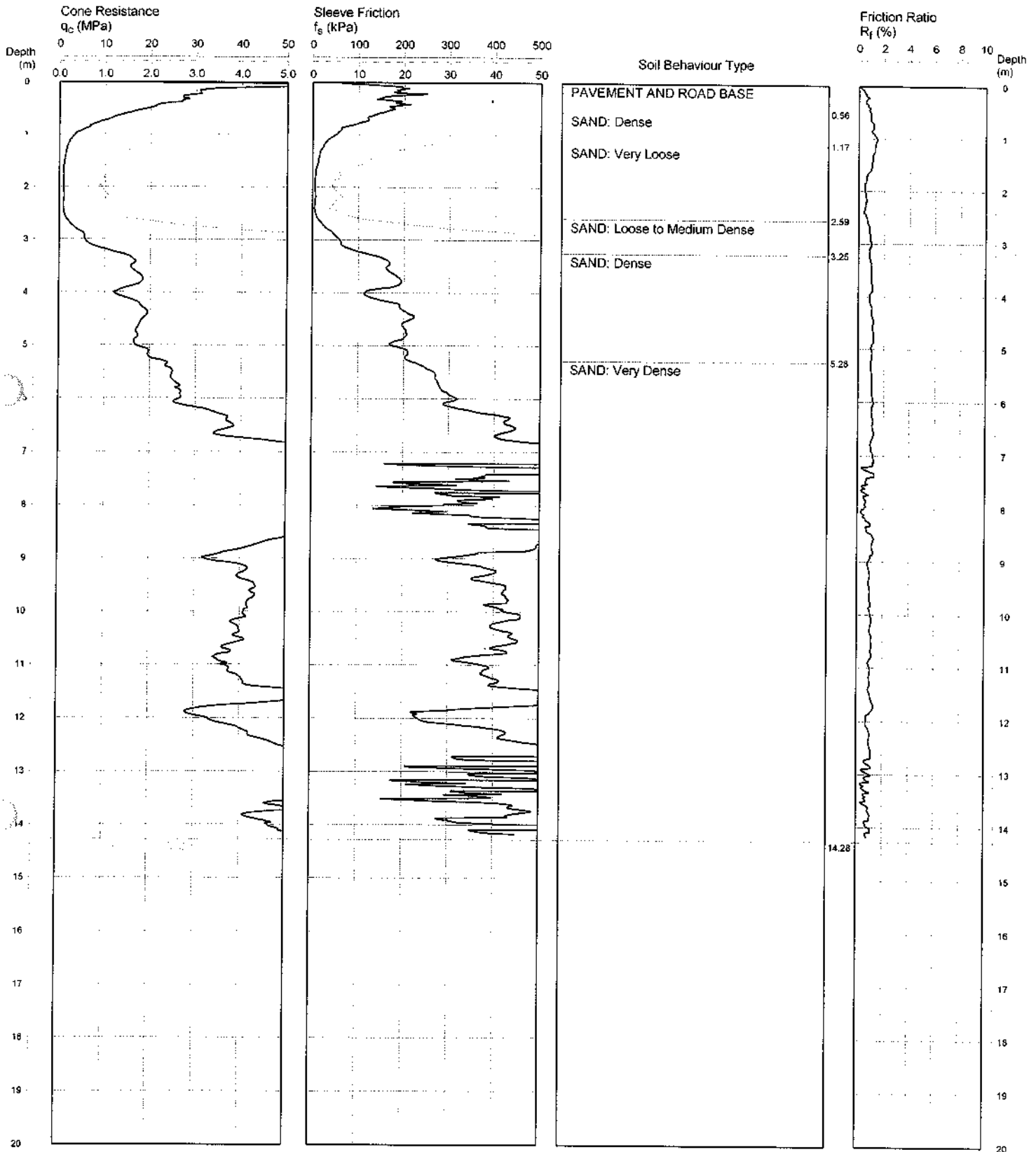
PROJECT No: 30315

## CPT 8

Page 1 of 1

DATE 20 FEB 2002

SURFACE RL: 26.4 AHD



REMARKS: FREE GROUNDWATER OBSERVED AT 8.3m AT COMPLETION OF TEST.

Date 8/4/02  
 Plotted DRC  
 Checked CSY

File: A\30315-08.cp5  
 Cone ID: CONE-202 Type: 2 Standard  
 ConePlot Version 5.2.4  
 © 2001 Douglas Partners Pty Ltd



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## **Appendix E**

### Laboratory Results

## CERTIFICATE OF ANALYSIS 369095

### Client Details

<b>Client</b>	Douglas Partners Pty Ltd
<b>Attention</b>	Yeongbin Gim
<b>Address</b>	96 Hermitage Rd, West Ryde, NSW, 2114

### Sample Details

<b>Your Reference</b>	<u>20854.04, Maroubra</u>
<b>Number of Samples</b>	2 Soil
<b>Date samples received</b>	16/12/2024
<b>Date completed instructions received</b>	16/12/2024

### Analysis Details

Please refer to the following pages for results, methodology summary and quality control data.  
 Samples were analysed as received from the client. Results relate specifically to the samples as received.  
 Results are reported on a dry weight basis for solids and on an as received basis for other matrices.

### Report Details

<b>Date results requested by</b>	23/12/2024
<b>Date of Issue</b>	20/12/2024
NATA Accreditation Number 2901. This document shall not be reproduced except in full.	
Accredited for compliance with ISO/IEC 17025 - Testing. <b>Tests not covered by NATA are denoted with *</b>	

**Results Approved By**

Priya Samarawickrama, Senior Chemist

**Authorised By**

Nancy Zhang, Laboratory Manager

Misc Inorg - Soil			
Our Reference		369095-1	369095-2
Your Reference	UNITS	BH1	BH8a
Depth		1.0-1.2	2.8-3
Date Sampled		10/12/2024	11/12/2024
Type of sample		Soil	Soil
Date prepared	-	18/12/2024	18/12/2024
Date analysed	-	18/12/2024	18/12/2024
pH 1:5 soil:water	pH Units	8.1	7.8
Electrical Conductivity 1:5 soil:water	µS/cm	74	47
Chloride, Cl 1:5 soil:water	mg/kg	<10	<10
Sulphate, SO4 1:5 soil:water	mg/kg	24	20

Method ID	Methodology Summary
<b>Inorg-001</b>	pH - Measured using pH meter and electrode. Please note that the results for water analyses are indicative only, as analysis outside of the APHA storage times.
<b>Inorg-002</b>	Conductivity and Salinity - measured using a conductivity cell.
<b>Inorg-081</b>	Anions - a range of Anions are determined by Ion Chromatography, in accordance with APHA latest edition, 4110-B. Waters samples are filtered on receipt prior to analysis. Alternatively determined by colourimetry/turbidity using Discrete Analyser.

Client Reference: 20854.04, Maroubra

QUALITY CONTROL: Misc Inorg - Soil				Duplicate				Spike Recovery %		
Test Description	Units	PQL	Method	Blank	#	Base	Dup.	RPD	LCS-1	[NT]
Date prepared	-			18/12/2024	1	18/12/2024	18/12/2024		18/12/2024	[NT]
Date analysed	-			18/12/2024	1	18/12/2024	18/12/2024		18/12/2024	[NT]
pH 1:5 soil:water	pH Units		Inorg-001	[NT]	1	8.1	8.3	2	99	[NT]
Electrical Conductivity 1:5 soil:water	µS/cm	1	Inorg-002	<1	1	74	73	1	93	[NT]
Chloride, Cl 1:5 soil:water	mg/kg	10	Inorg-081	<10	1	<10	<10	0	108	[NT]
Sulphate, SO4 1:5 soil:water	mg/kg	10	Inorg-081	<10	1	24	30	22	109	[NT]

**Result Definitions**

<b>NT</b>	Not tested
<b>NA</b>	Test not required
<b>INS</b>	Insufficient sample for this test
<b>PQL</b>	Practical Quantitation Limit
<b>&lt;</b>	Less than
<b>&gt;</b>	Greater than
<b>RPD</b>	Relative Percent Difference
<b>LCS</b>	Laboratory Control Sample
<b>NS</b>	Not specified
<b>NEPM</b>	National Environmental Protection Measure
<b>NR</b>	Not Reported

## Quality Control Definitions

<b>Blank</b>	This is the component of the analytical signal which is not derived from the sample but from reagents, glassware etc, can be determined by processing solvents and reagents in exactly the same manner as for samples.
<b>Duplicate</b>	This is the complete duplicate analysis of a sample from the process batch. If possible, the sample selected should be one where the analyte concentration is easily measurable.
<b>Matrix Spike</b>	A portion of the sample is spiked with a known concentration of target analyte. The purpose of the matrix spike is to monitor the performance of the analytical method used and to determine whether matrix interferences exist.
<b>LCS (Laboratory Control Sample)</b>	This comprises either a standard reference material or a control matrix (such as a blank sand or water) fortified with analytes representative of the analyte class. It is simply a check sample.
<b>Surrogate Spike</b>	Surrogates are known additions to each sample, blank, matrix spike and LCS in a batch, of compounds which are similar to the analyte of interest, however are not expected to be found in real samples.
Australian Drinking Water Guidelines recommend that Thermotolerant Coliform, Faecal Enterococci, & E.Coli levels are less than 1cfu/100mL. The recommended maximums are taken from "Australian Drinking Water Guidelines", published by NHMRC & ARMC 2011.	
The recommended maximums for analytes in urine are taken from "2018 TLVs and BEIs", as published by ACGIH (where available). Limit provided for Nickel is a precautionary guideline as per Position Paper prepared by AIOH Exposure Standards Committee, 2016.	
Guideline limits for Rinse Water Quality reported as per analytical requirements and specifications of AS 4187, Amdt 2 2019, Table 7.2	

## Laboratory Acceptance Criteria

Duplicate sample and matrix spike recoveries may not be reported on smaller jobs, however, were analysed at a frequency to meet or exceed NEPM requirements. All samples are tested in batches of 20. The duplicate sample RPD and matrix spike recoveries for the batch were within the laboratory acceptance criteria.

Filters, swabs, wipes, tubes and badges will not have duplicate data as the whole sample is generally extracted during sample extraction.

Spikes for Physical and Aggregate Tests are not applicable.

For VOCs in water samples, three vials are required for duplicate or spike analysis.

Duplicates: >10xPQL - RPD acceptance criteria will vary depending on the analytes and the analytical techniques but is typically in the range 20%-50% – see ELN-P05 QA/QC tables for details; <10xPQL - RPD are higher as the results approach PQL and the estimated measurement uncertainty will statistically increase.

Matrix Spikes, LCS and Surrogate recoveries: Generally 70-130% for inorganics/metals (not SPOCAS); 60-140% for organics/SPOCAS (+/-50% surrogates) and 10-140% for labile SVOCs (including labile surrogates), ultra trace organics and speciated phenols is acceptable.

In circumstances where no duplicate and/or sample spike has been reported at 1 in 10 and/or 1 in 20 samples respectively, the sample volume submitted was insufficient in order to satisfy laboratory QA/QC protocols.

When samples are received where certain analytes are outside of recommended technical holding times (THTs), the analysis has proceeded. Where analytes are on the verge of breaching THTs, every effort will be made to analyse within the THT or as soon as practicable.

Where sampling dates are not provided, Envirolab are not in a position to comment on the validity of the analysis where recommended technical holding times may have been breached.

Where matrix spike recoveries fall below the lower limit of the acceptance criteria (e.g. for non-labile or standard Organics <60%), positive result(s) in the parent sample will subsequently have a higher than typical estimated uncertainty (MU estimates supplied on request) and in these circumstances the sample result is likely biased significantly low.

Measurement Uncertainty estimates are available for most tests upon request.

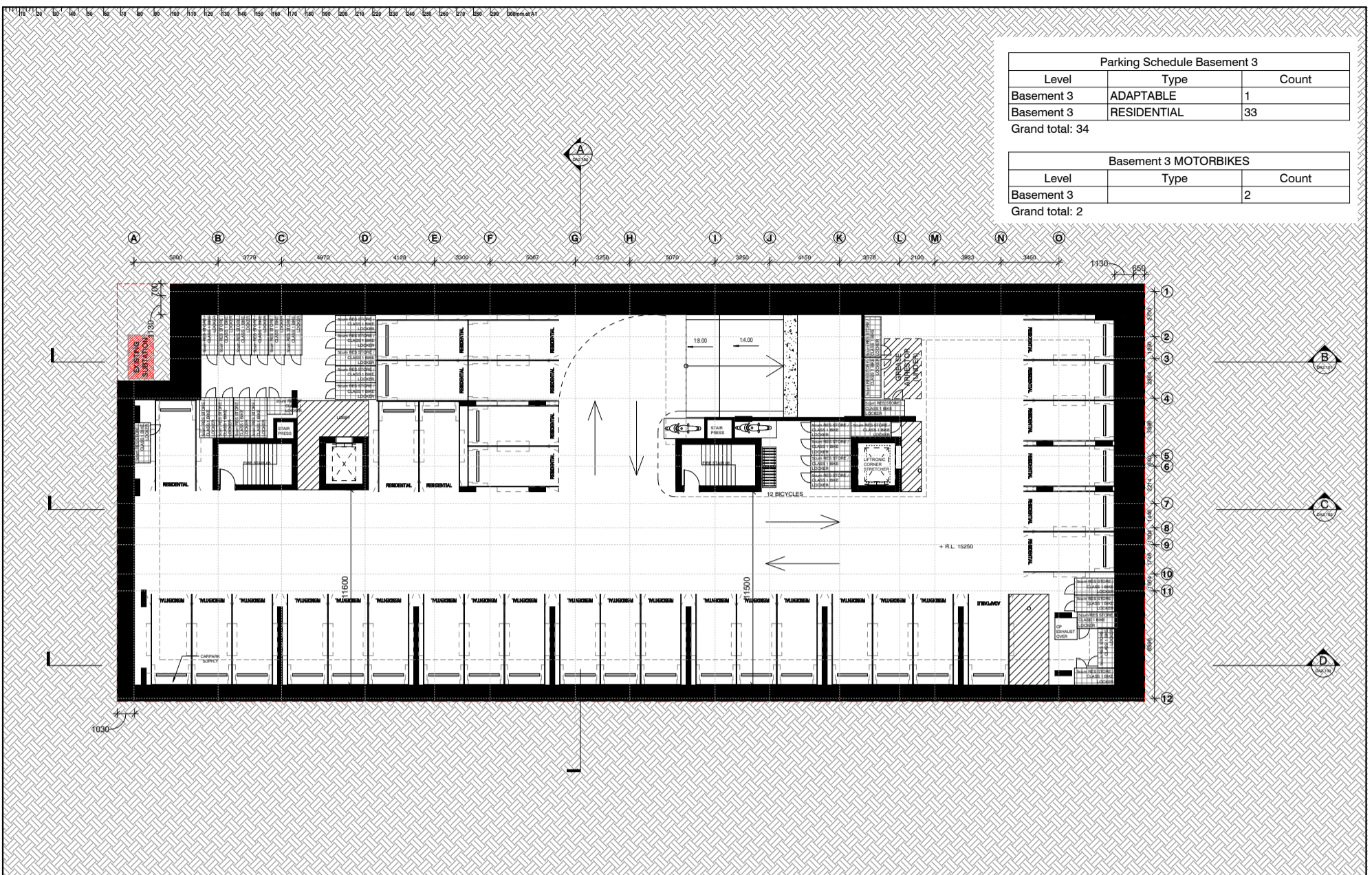
Analysis of aqueous samples typically involves the extraction/digestion and/or analysis of the liquid phase only (i.e. NOT any settled sediment phase but inclusive of suspended particles if present), unless stipulated on the Envirolab COC and/or by correspondence. Notable exceptions include certain Physical Tests (pH/EC/BOD/COD/Apparent Colour etc.), Solids testing, total recoverable metals and PFAS where solids are included by default.

Samples for Microbiological analysis (not Amoeba forms) received outside of the 2-8°C temperature range do not meet the ideal cooling conditions as stated in AS2031-2012.

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## **Appendix F**

Architectural Drawings



Parking Schedule Basement 3		
Level	Type	Count
Basement 3	ADAPTABLE	1
Basement 3	RESIDENTIAL	33
Grand total: 34		

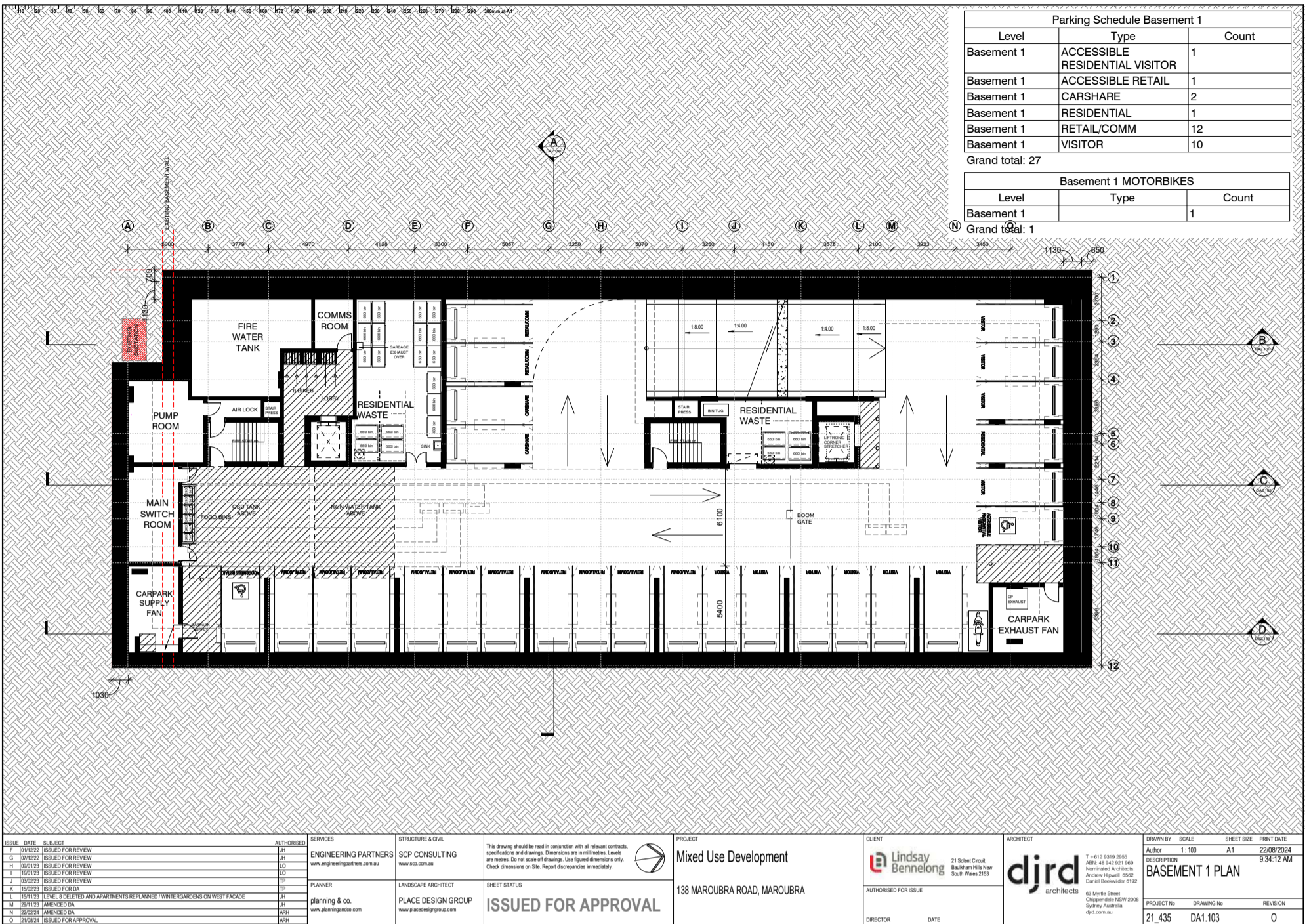
Basement 3 MOTORBIKES		
Level	Type	Count
Basement 3		2
Grand total: 2		

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**LOCAL DA 80/2023**

**BASEMENT 3 DELETED**

**PROPOSED SSD SUBMISSION**



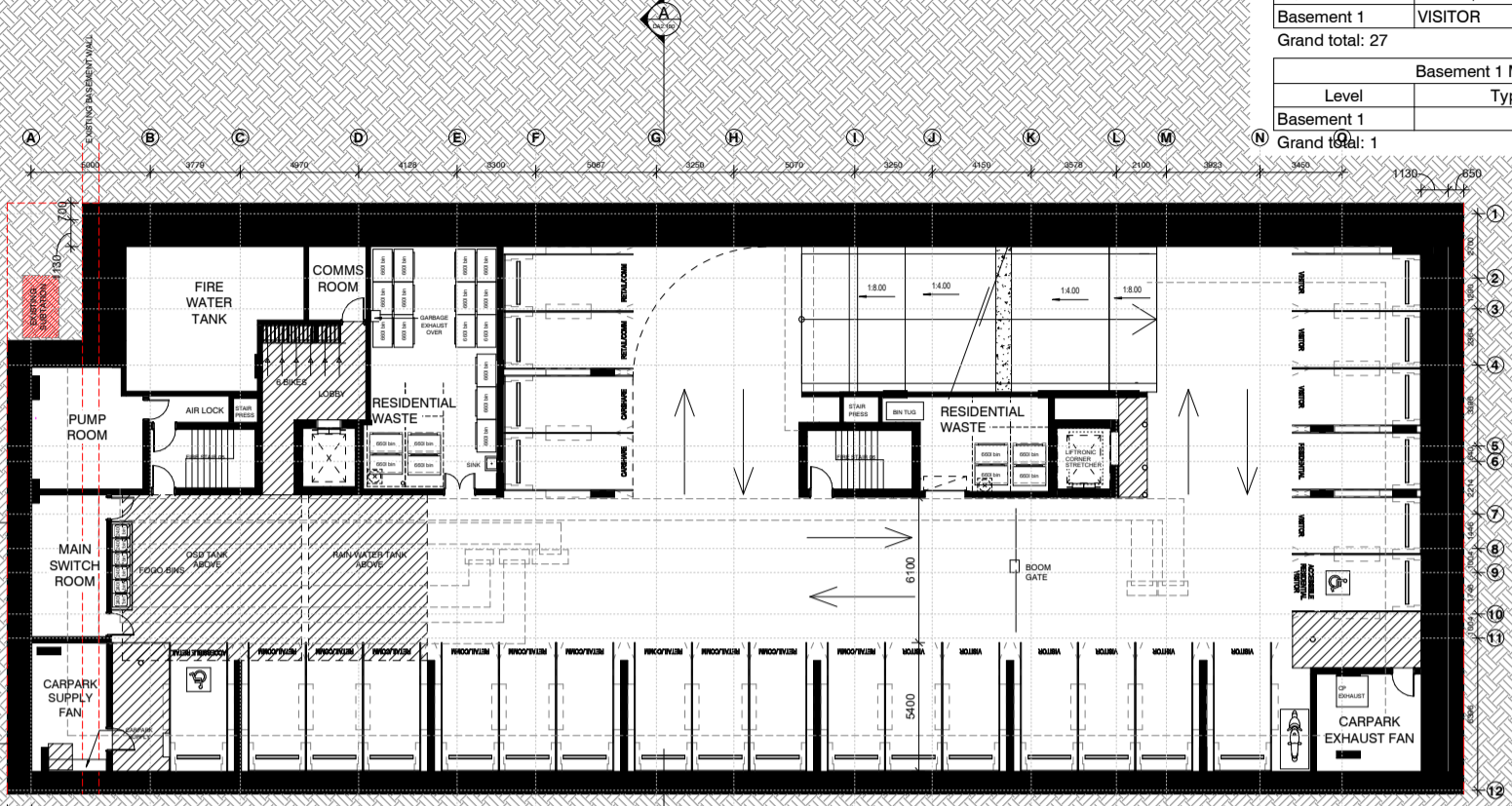
**LOCAL DA 80/2023**

**BASEMENT 2 DELETED**

**PROPOSED SSD SUBMISSION**

Parking Schedule Basement 1		
Level	Type	Count
Basement 1	ACCESSIBLE RESIDENTIAL VISITOR	1
Basement 1	ACCESSIBLE RETAIL	1
Basement 1	CARSHARE	2
Basement 1	RESIDENTIAL	1
Basement 1	RETAIL/COMM	12
Basement 1	VISITOR	10
Grand total: 27		

Basement 1 MOTORBIKES		
Level	Type	Count
Basement 1		1
Grand total: 1		

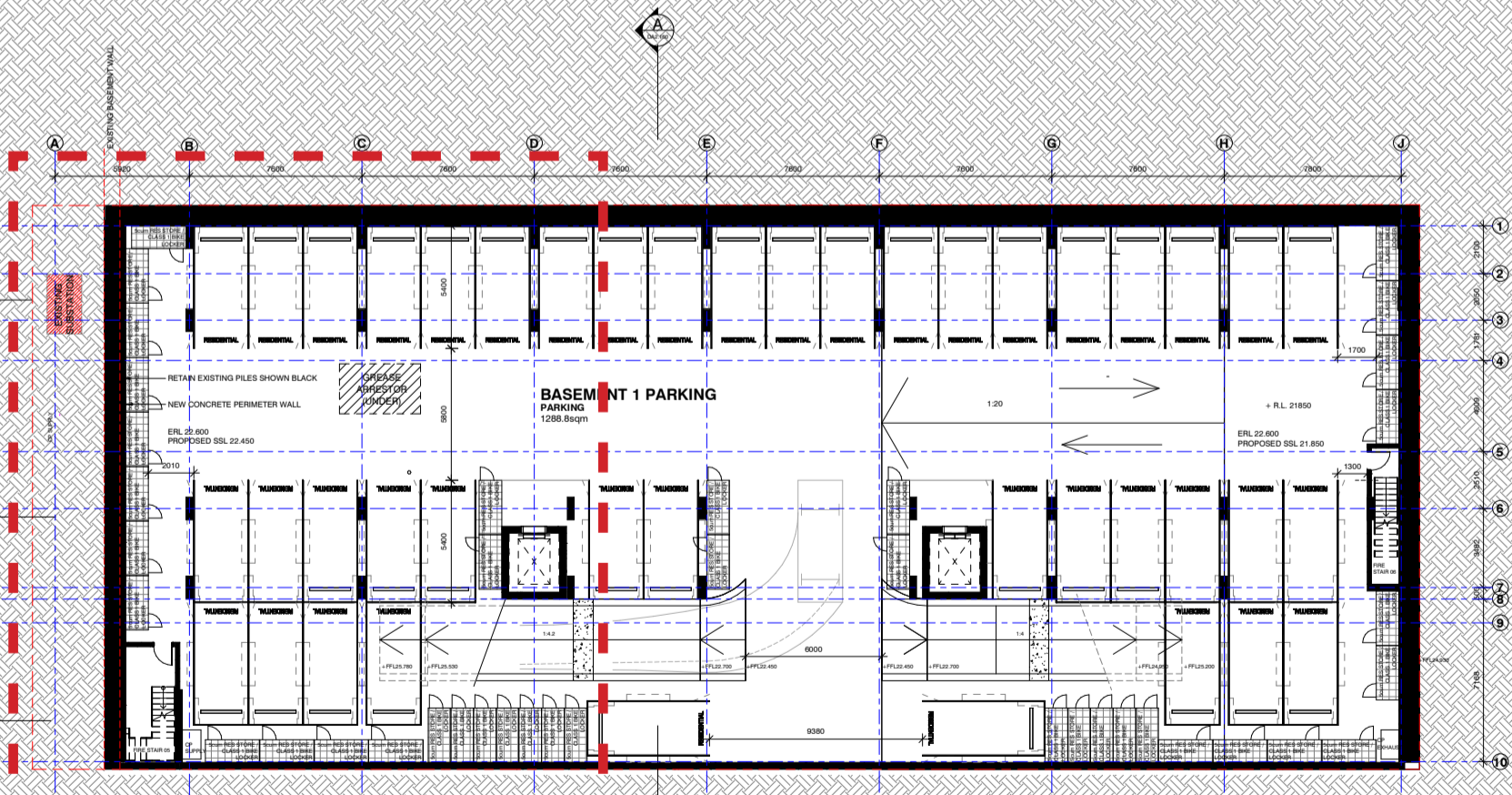


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J	18/02/23	ISSUED FOR REVIEW	LO	ENGINEERING PARTNERS	SCP CONSULTING				Author	1:100	A1	9:34:12 AM
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# LOCAL DA 80/2023

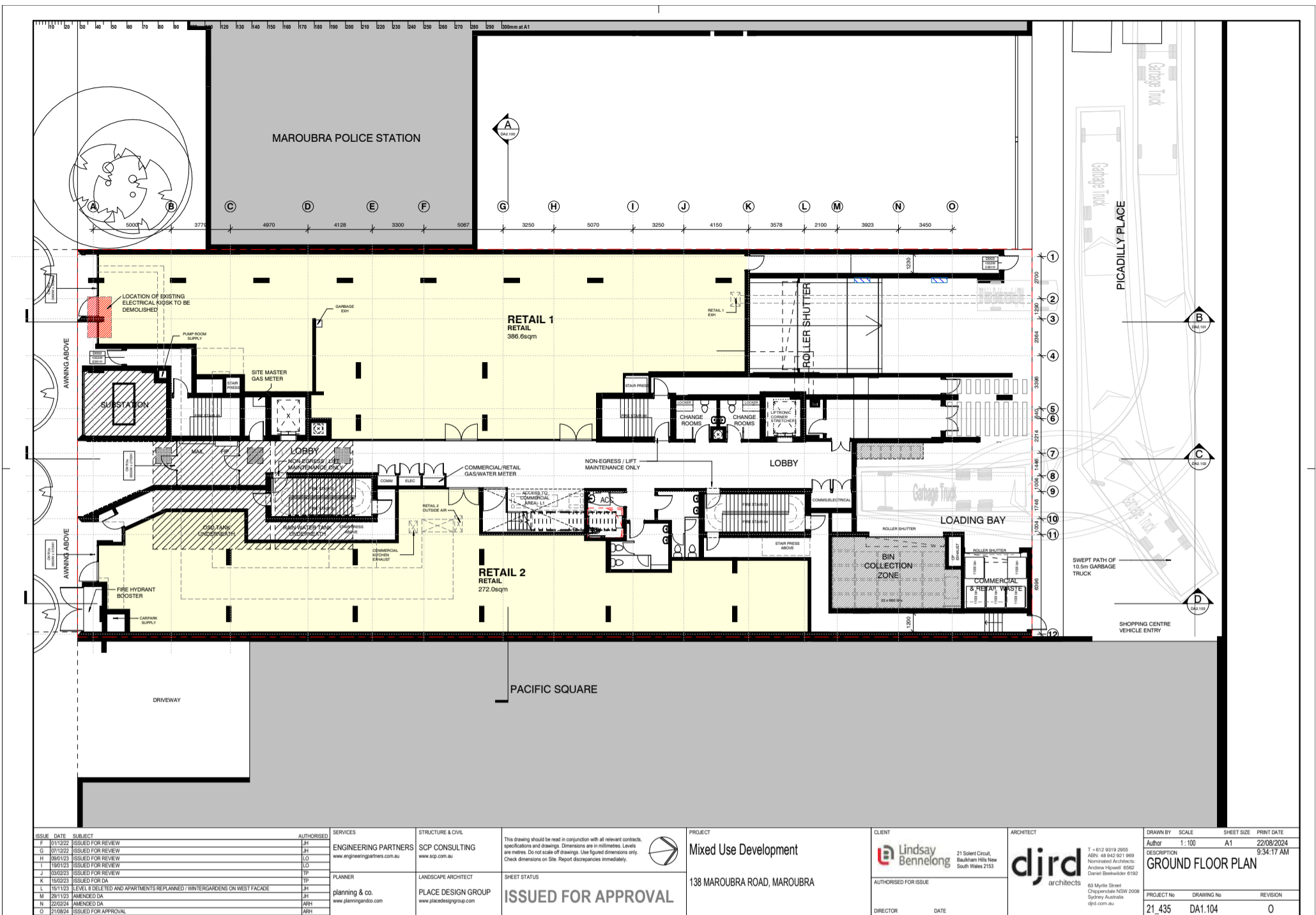
- Plant rooms relocated
- Layout and ramps reconfigured

Basement 1 CARS		
Level	Type	Count
Basement 1	5400 x 2400 RESIDENTIAL	42
Grand total: 42		

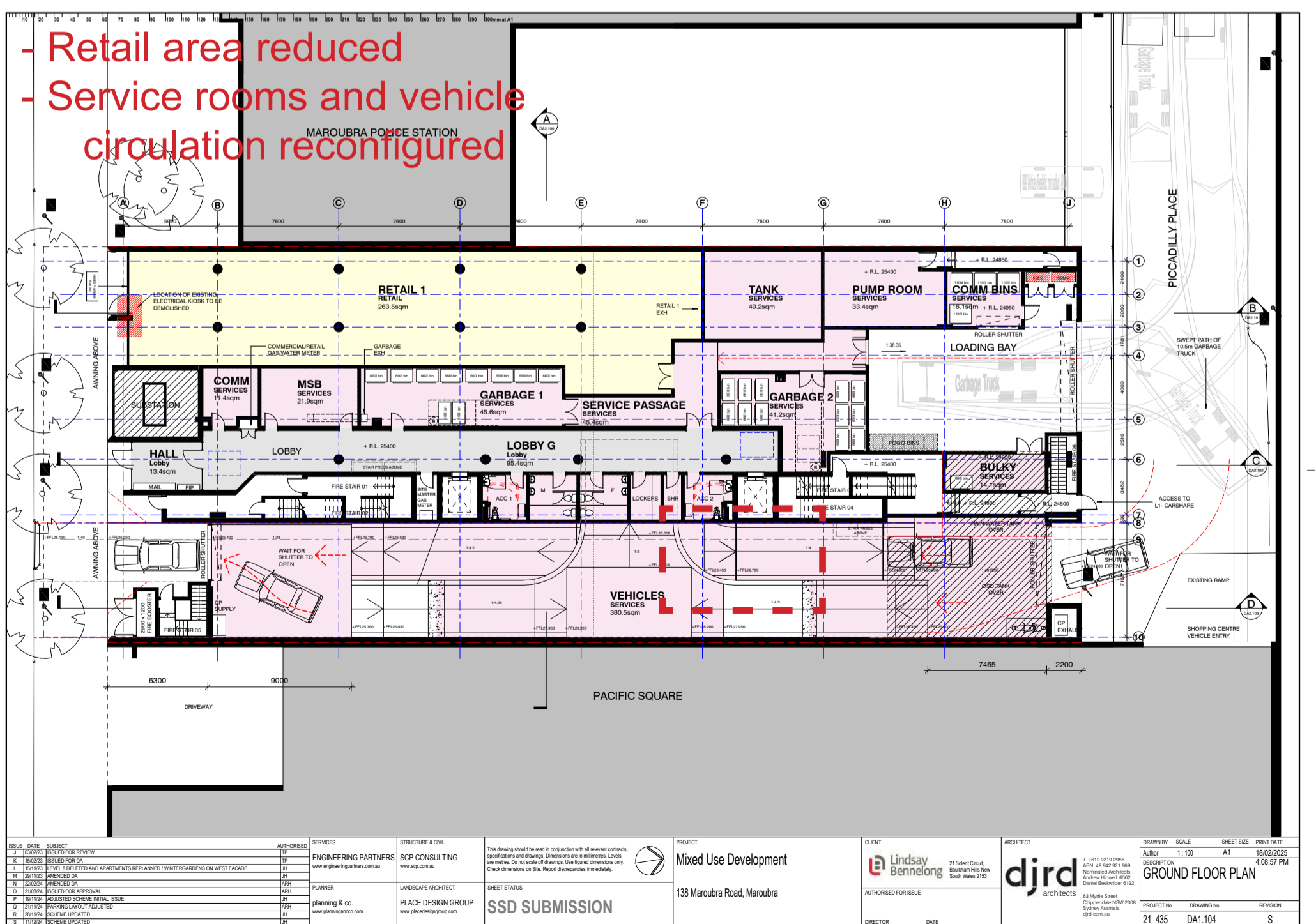


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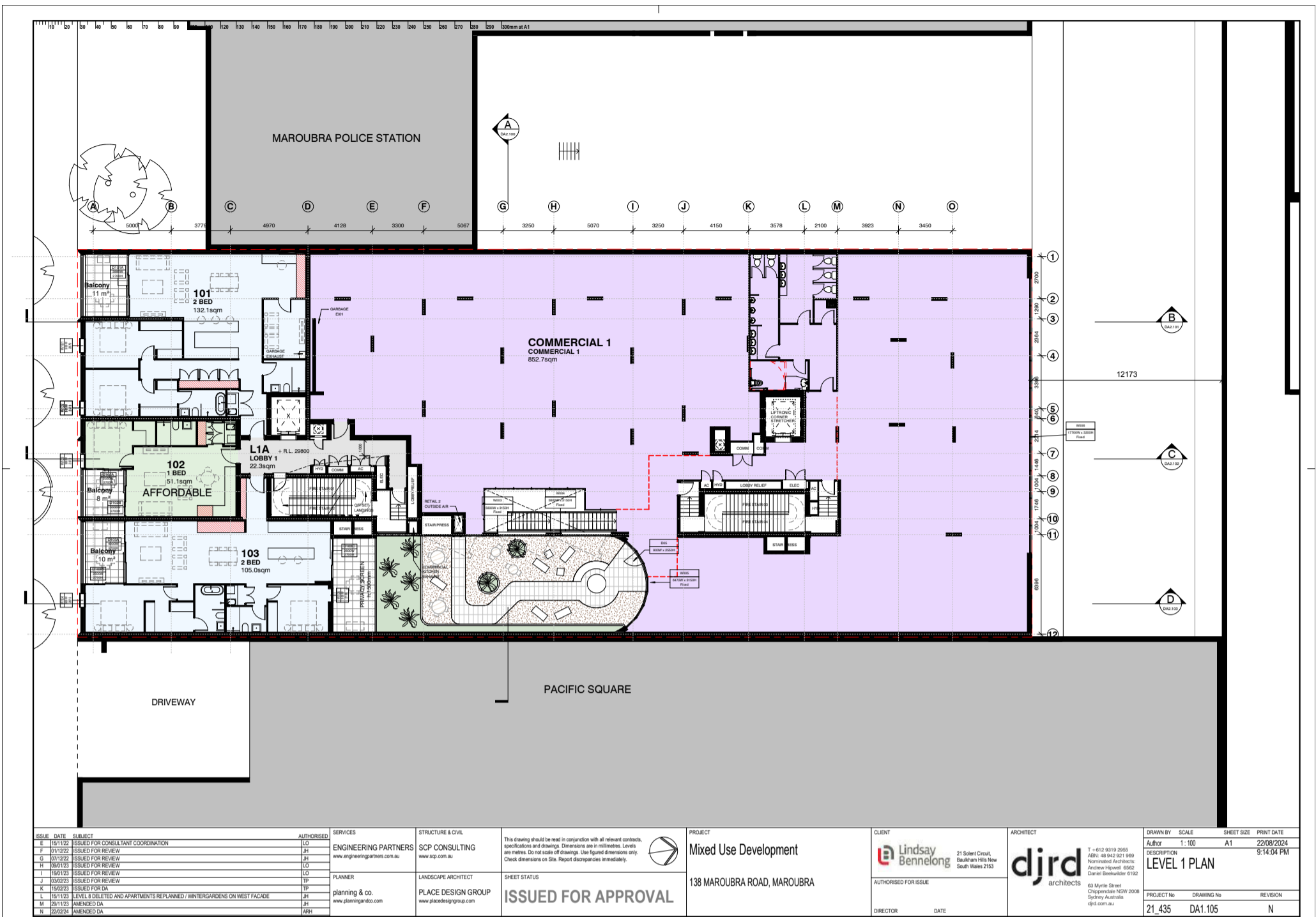
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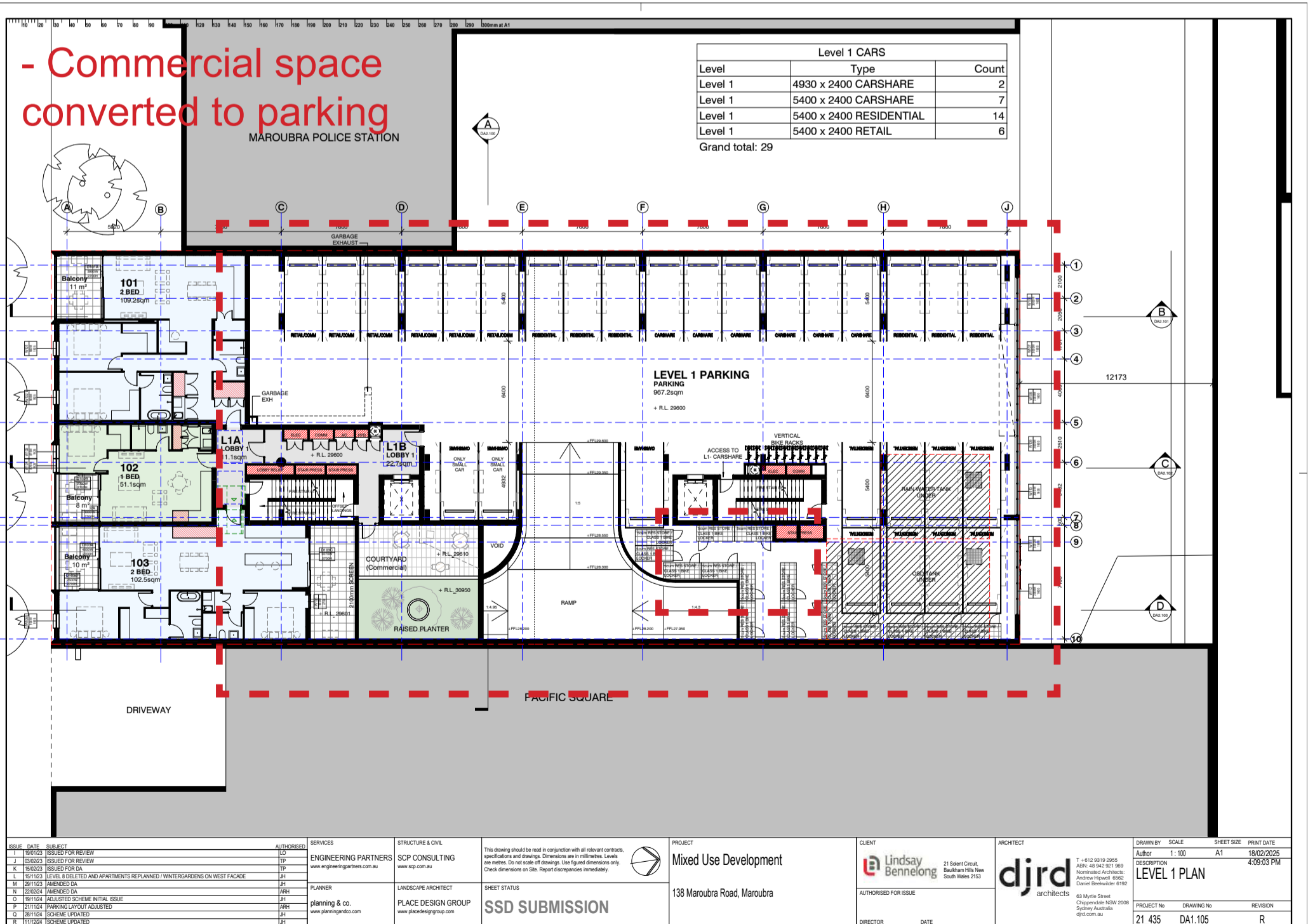
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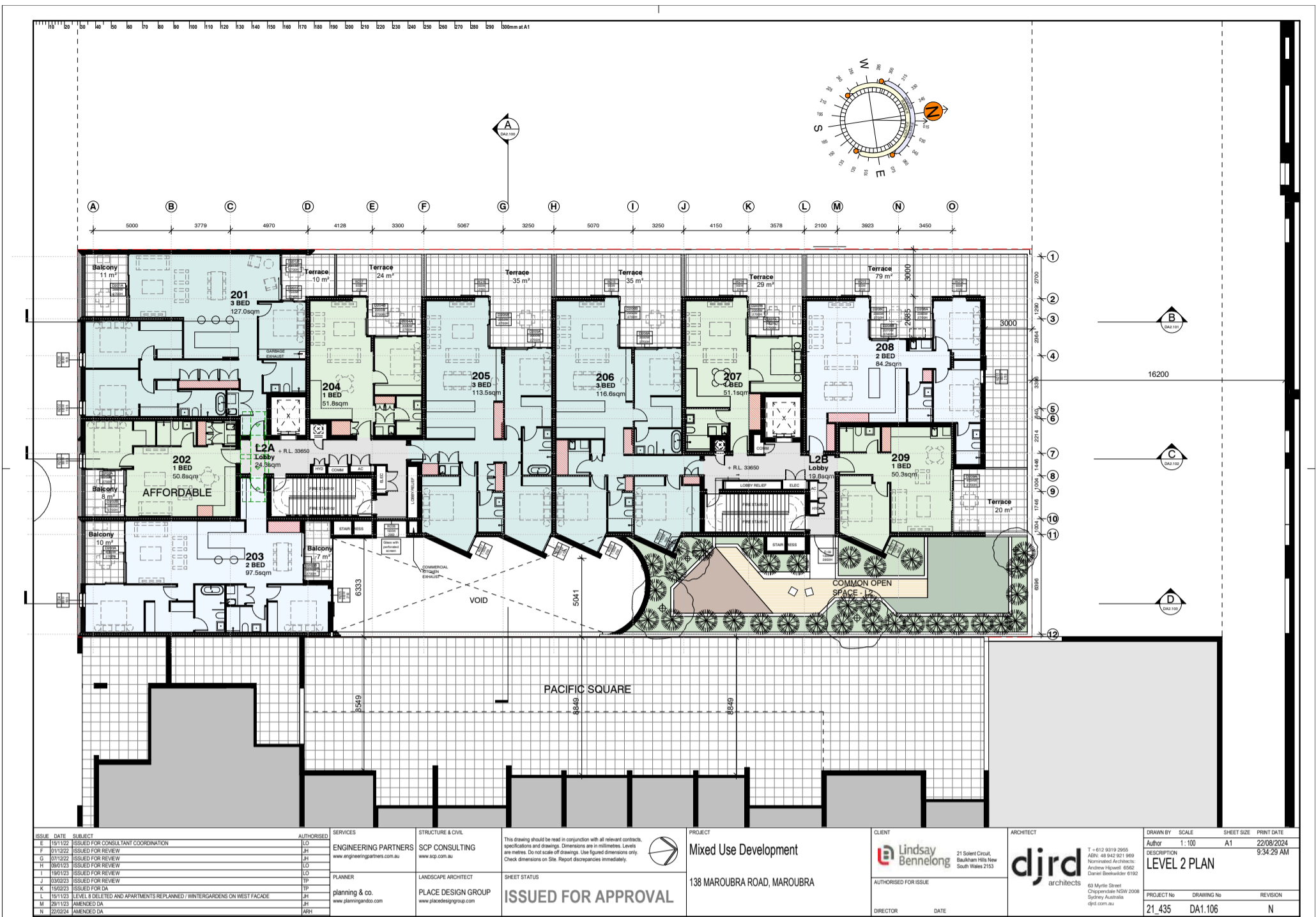
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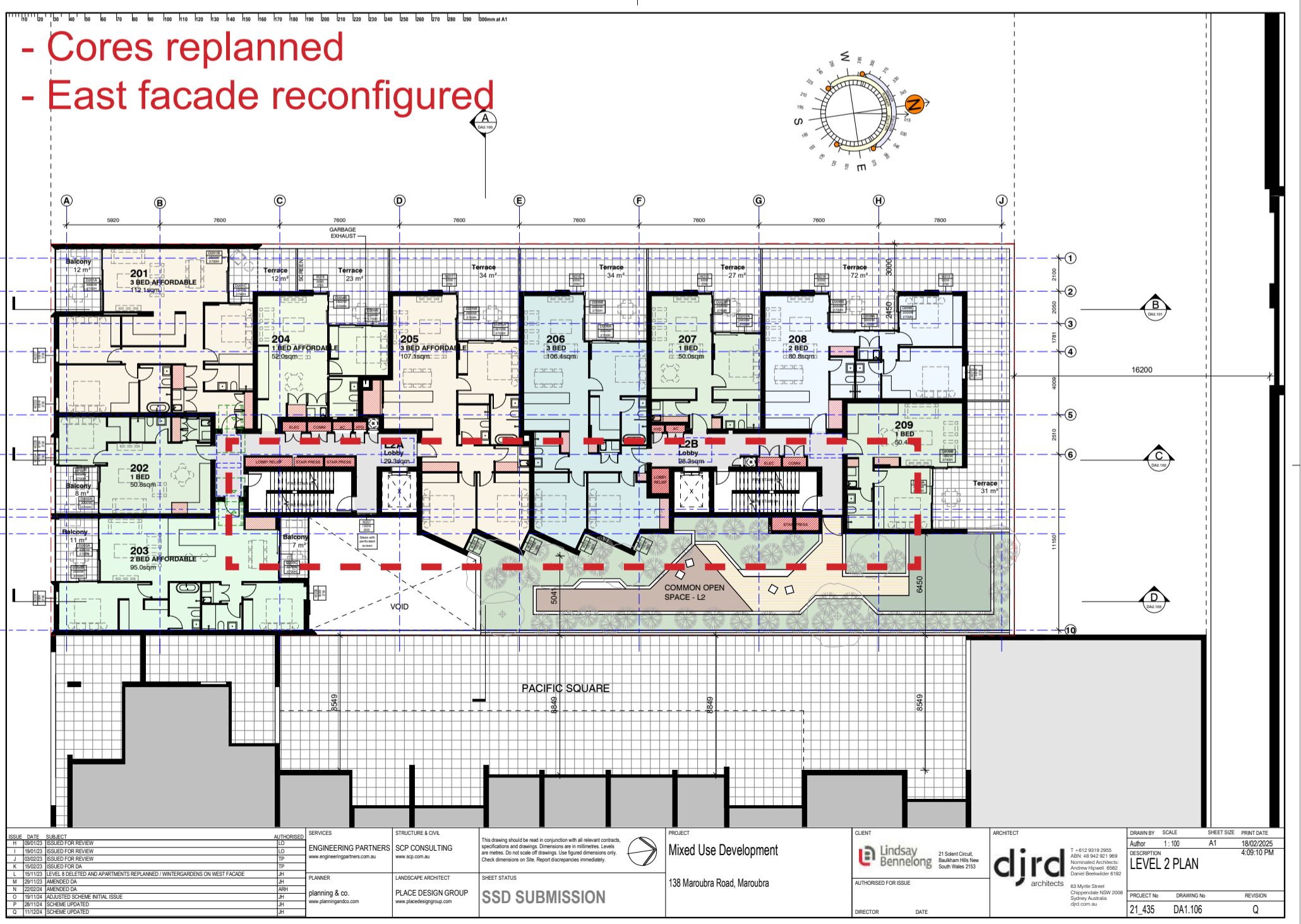


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I	19/01/23	ISSUED FOR REVIEW	TP	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
J	03/02/23	ISSUED FOR REVIEW	TP	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
K	15/02/23	ISSUED FOR DA	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
L	15/11/23	LEVEL 8 DELETED AND APARTMENTS REPLANNED / WINTERGARDENS ON WEST FACADE	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
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N	22/02/24	AMENDED DA	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
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P	28/11/24	SCHEME UPDATED	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
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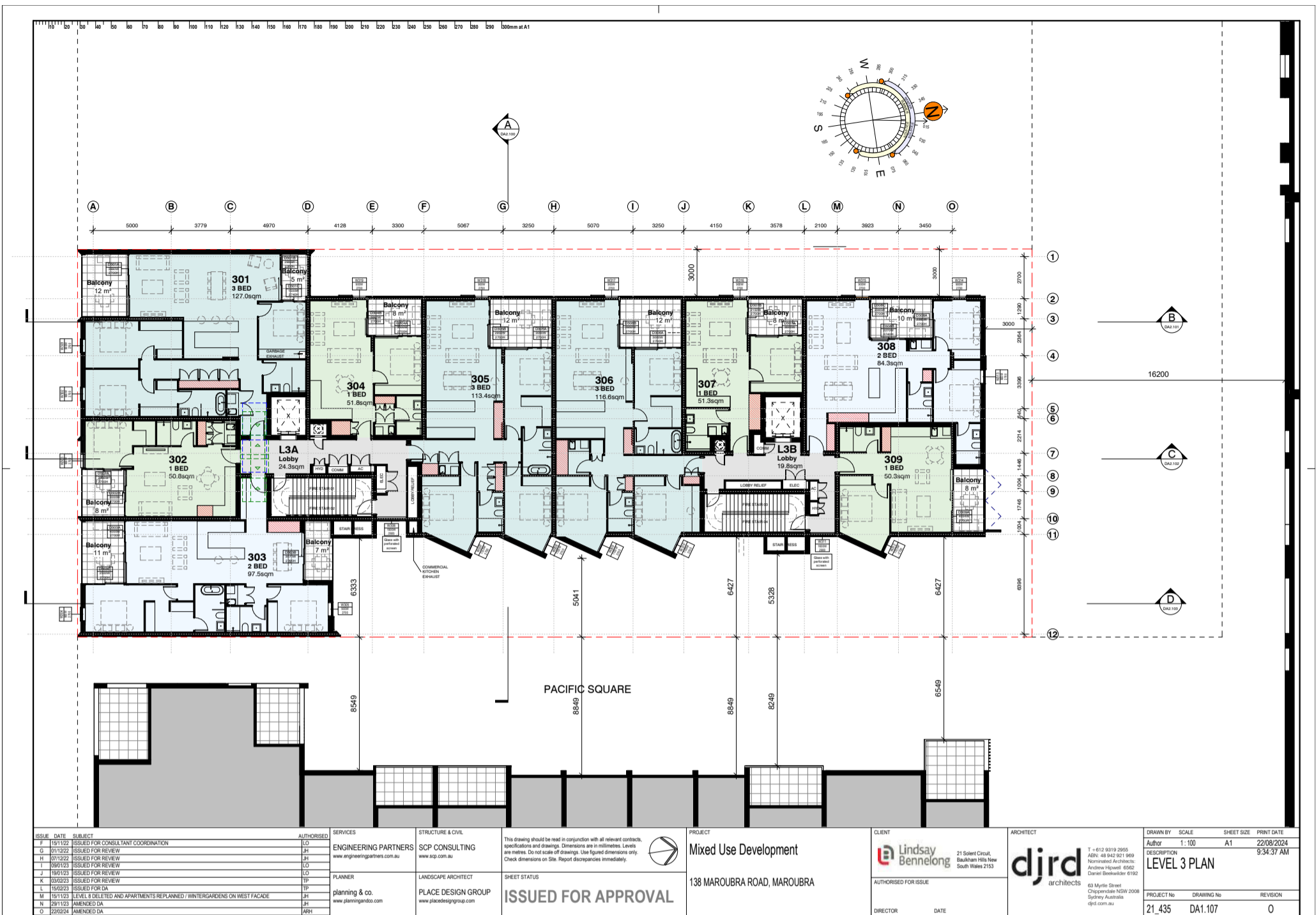
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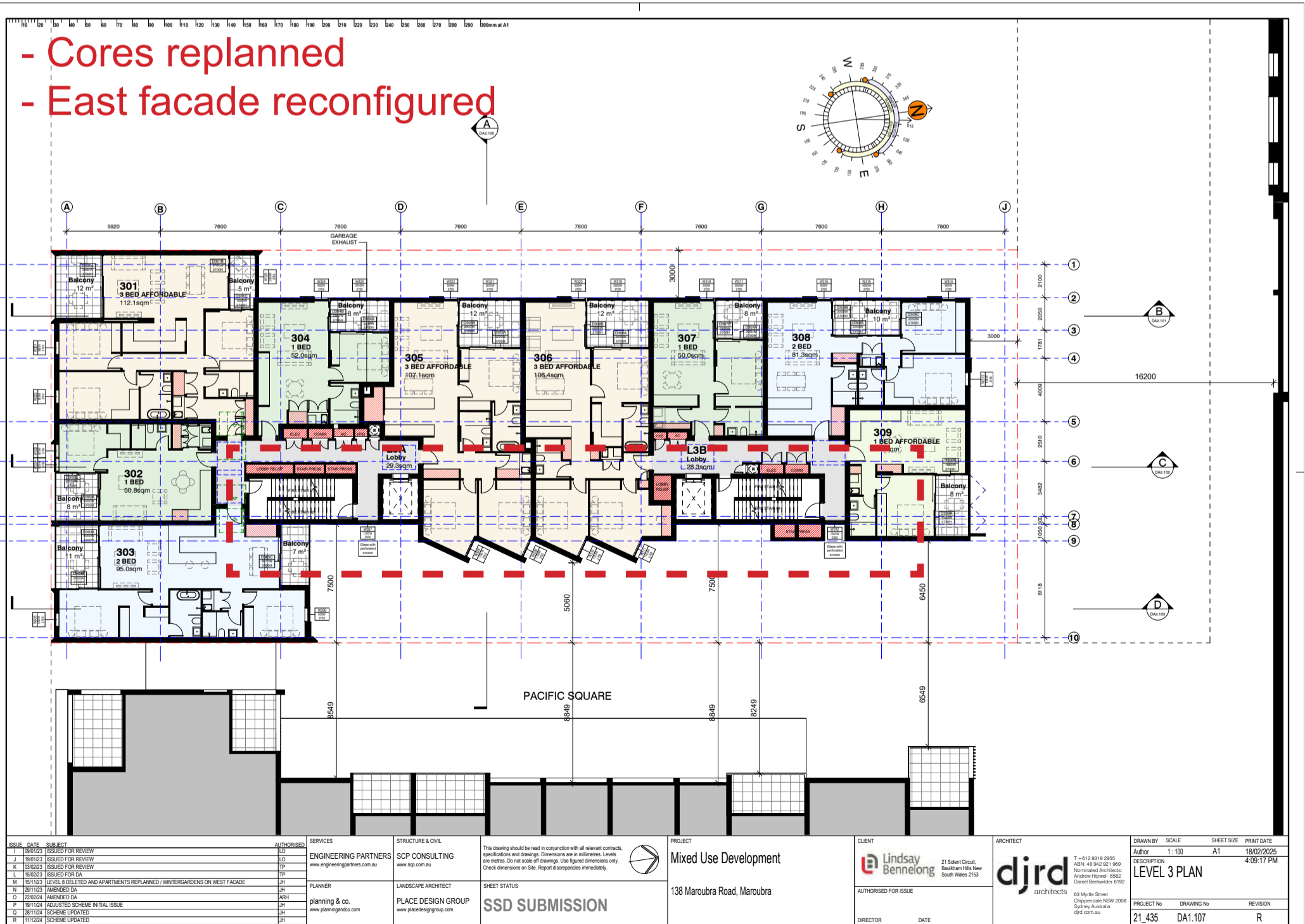
- Cores replanned  
- East facade reconfigured

ISSUE	DATE	SUBJECT	AUTHORISED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	SHEET SIZE	PRINT DATE
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K	15/02/23	ISSUED FOR DA	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	
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Q	11/12/24	SCHEME UPDATED	JH	PLANNER	LANDSCAPE ARCHITECT		Lindsay Bennelong	djrd architects	Author	1:100	A1	

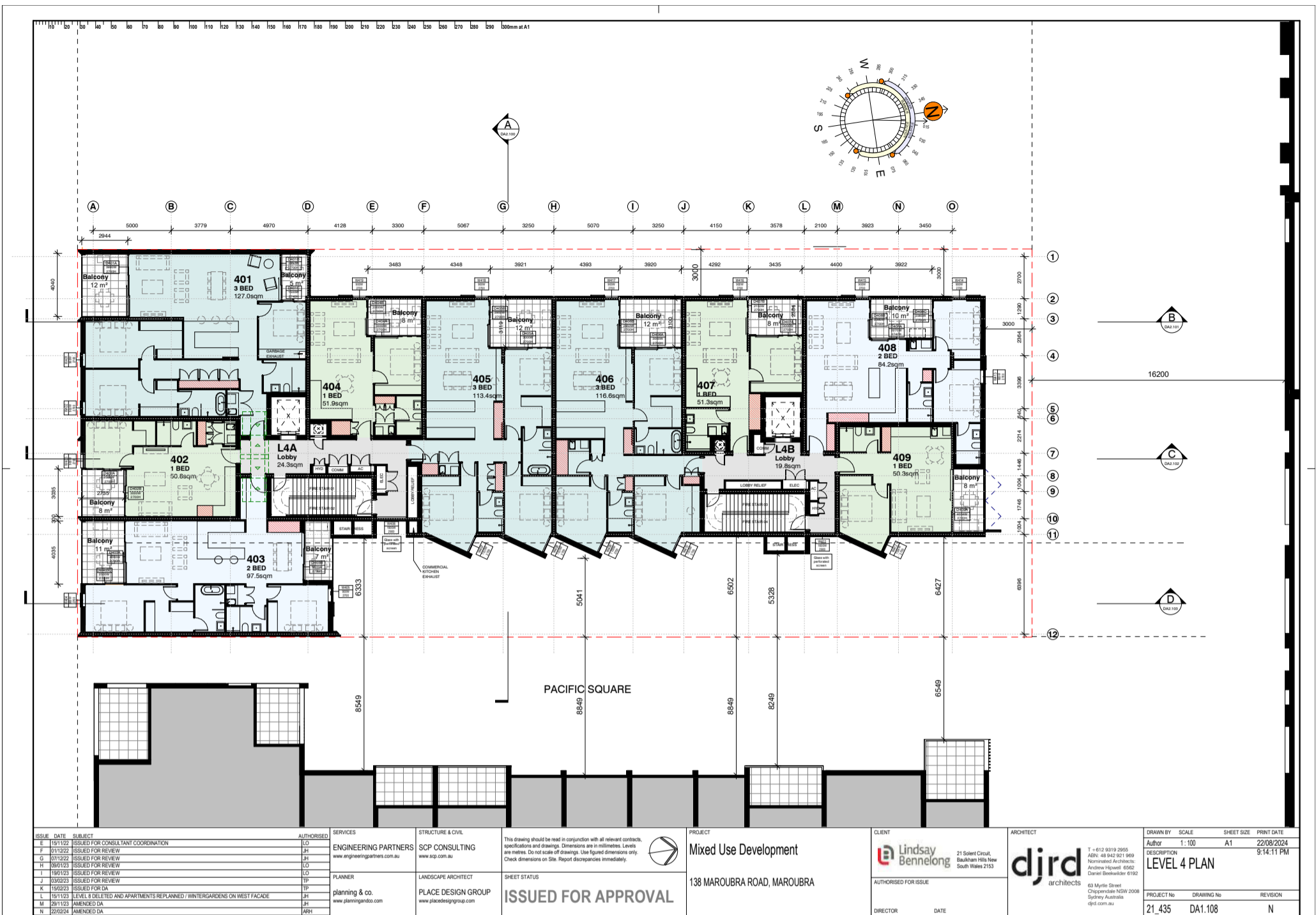
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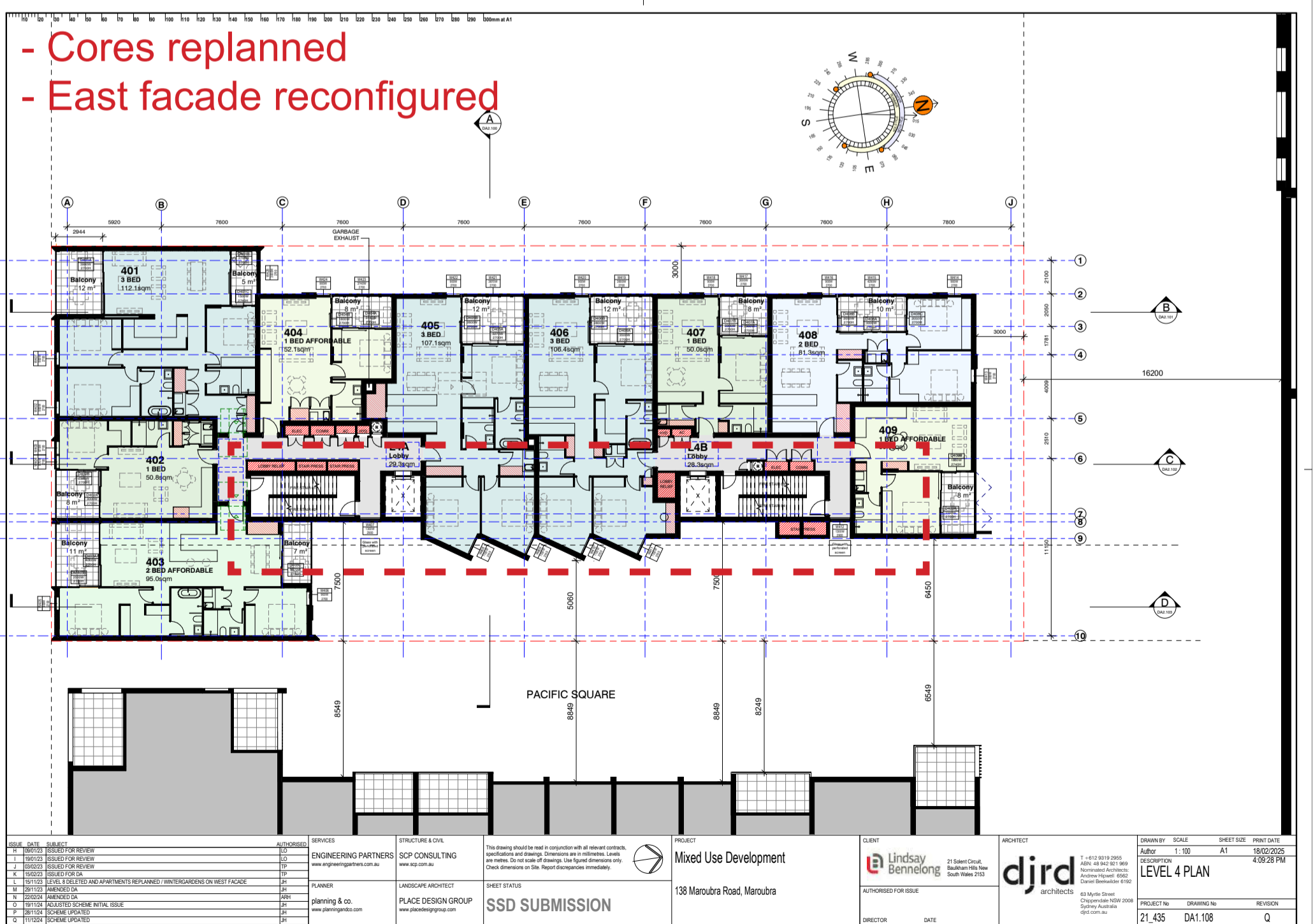
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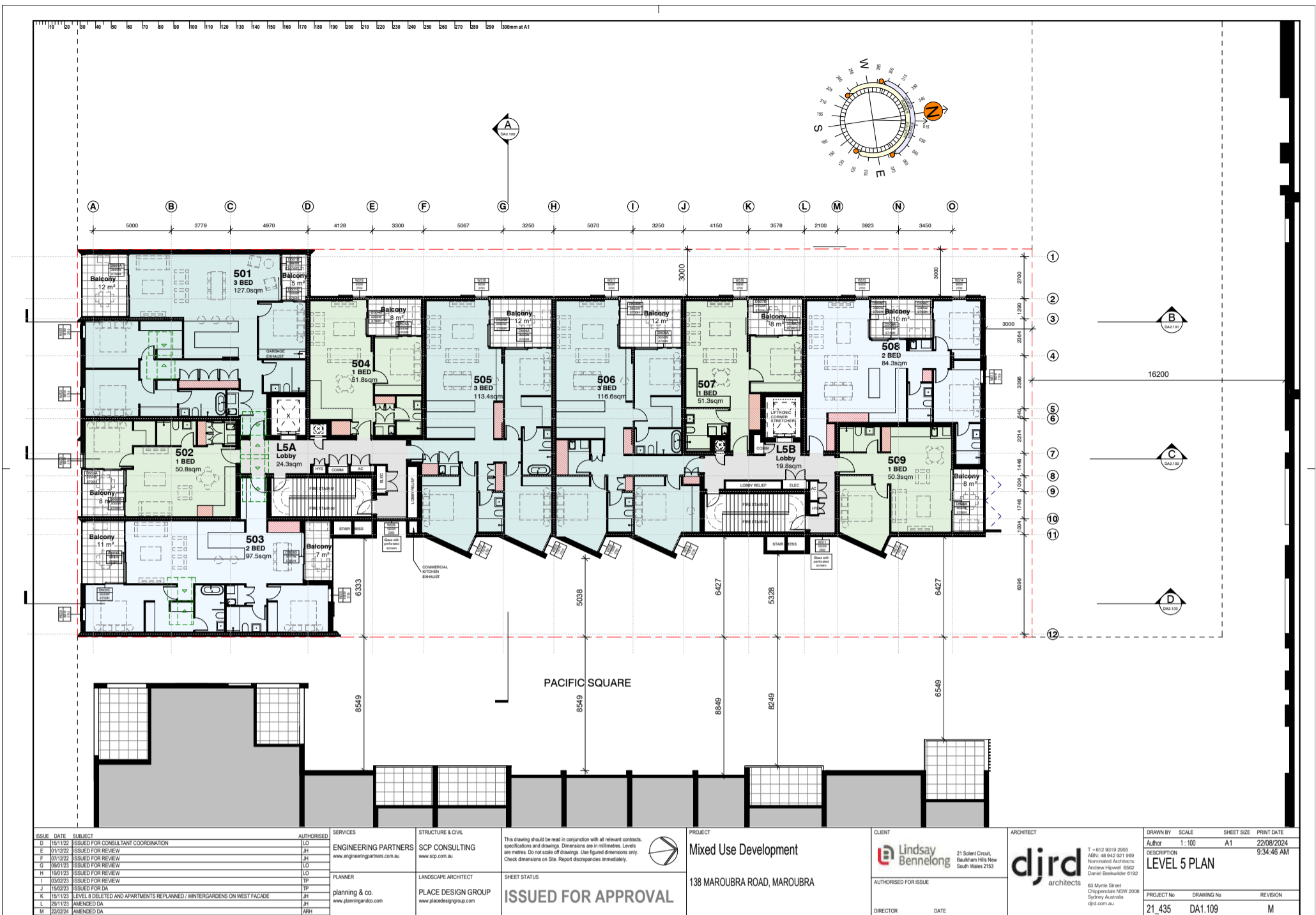
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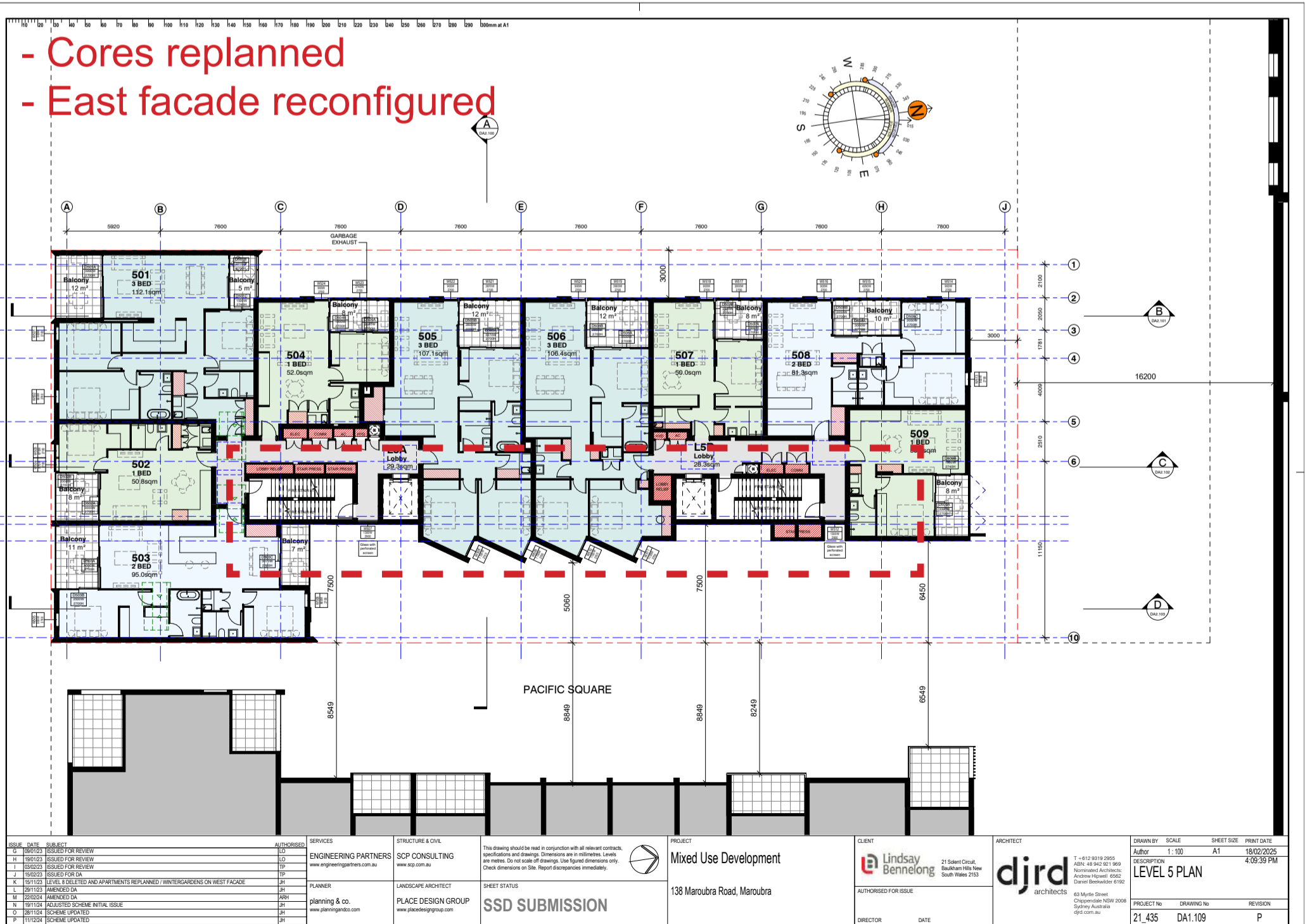
# LOCAL DA 80/2023



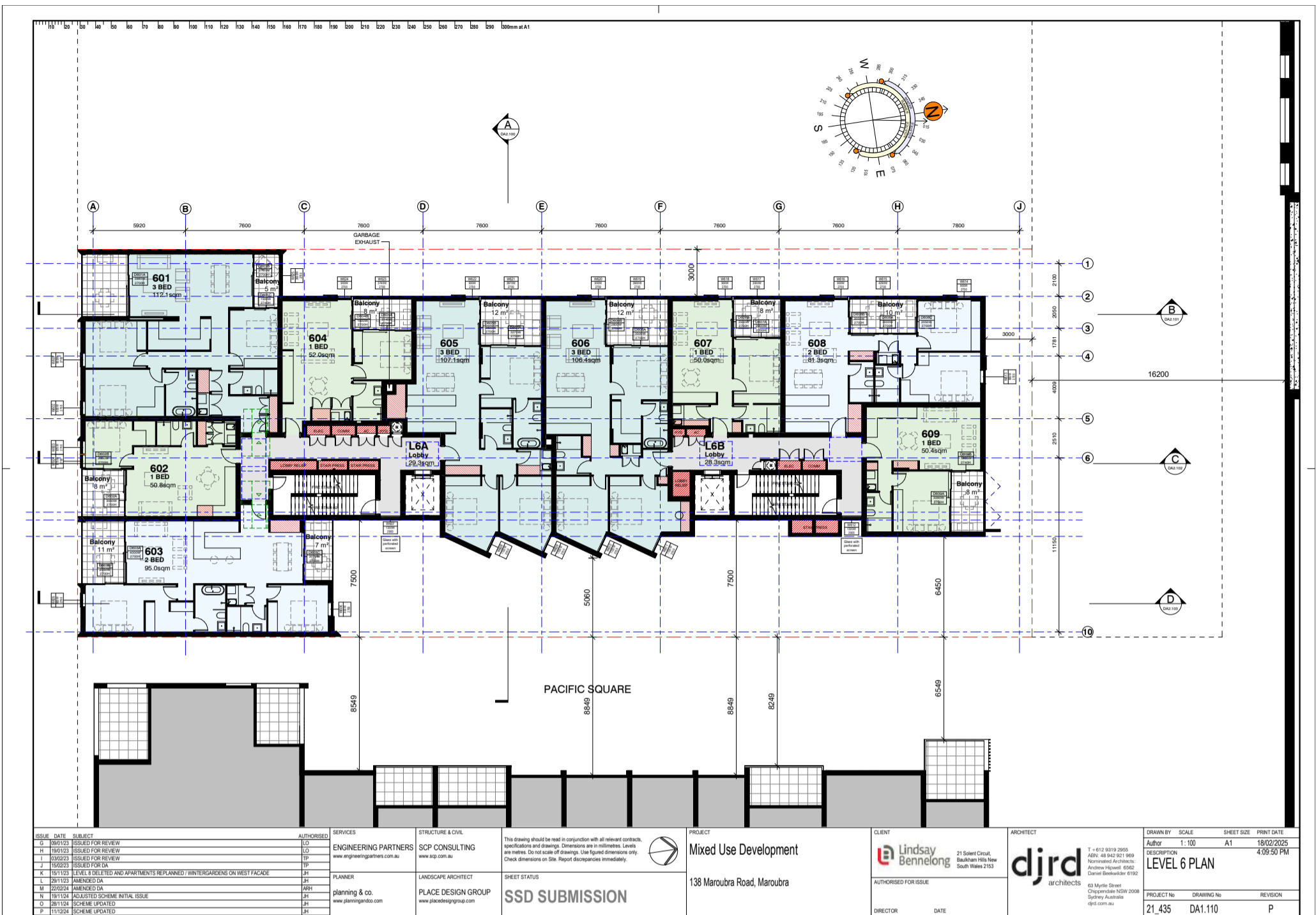
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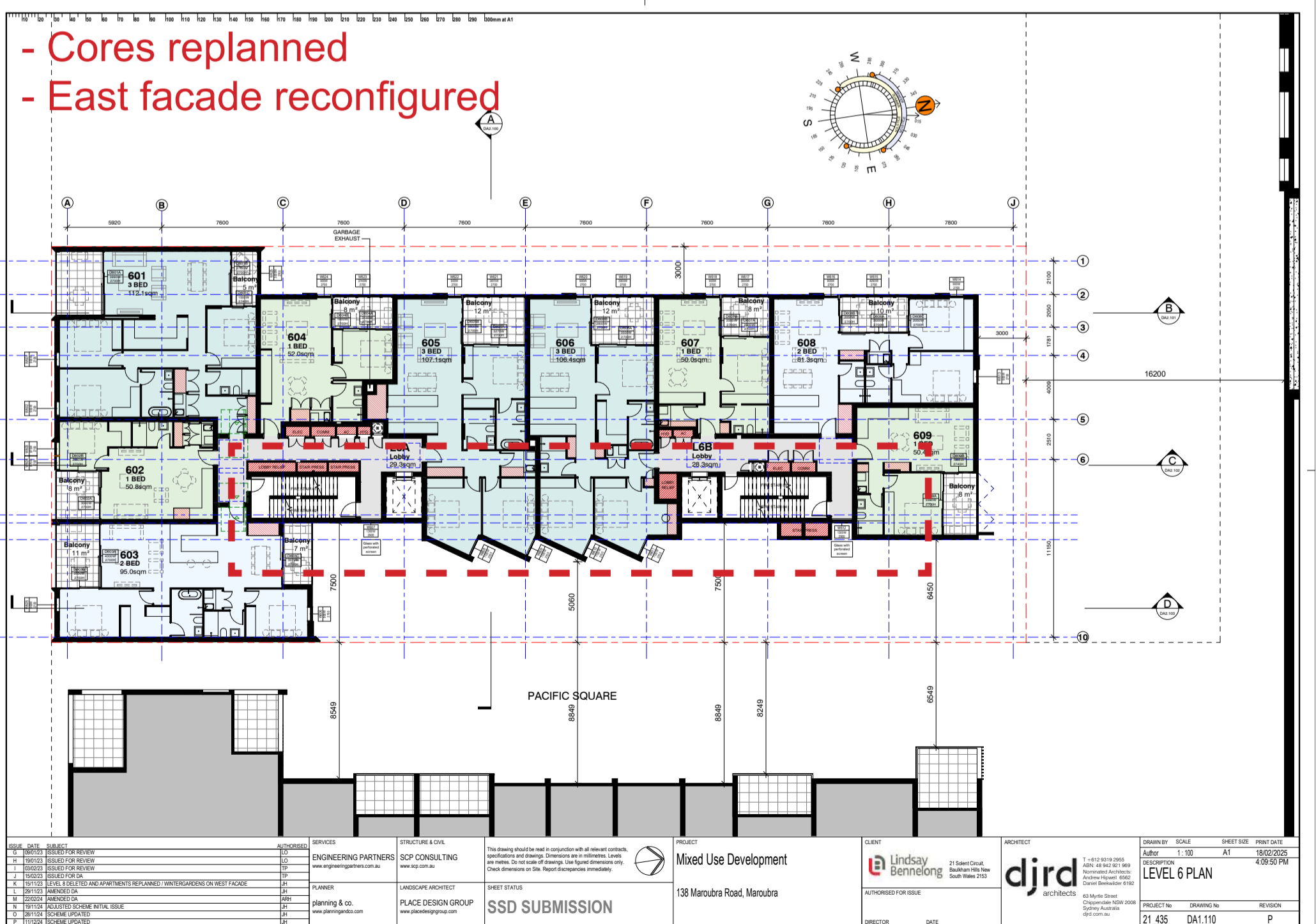
# LOCAL DA 80/2023



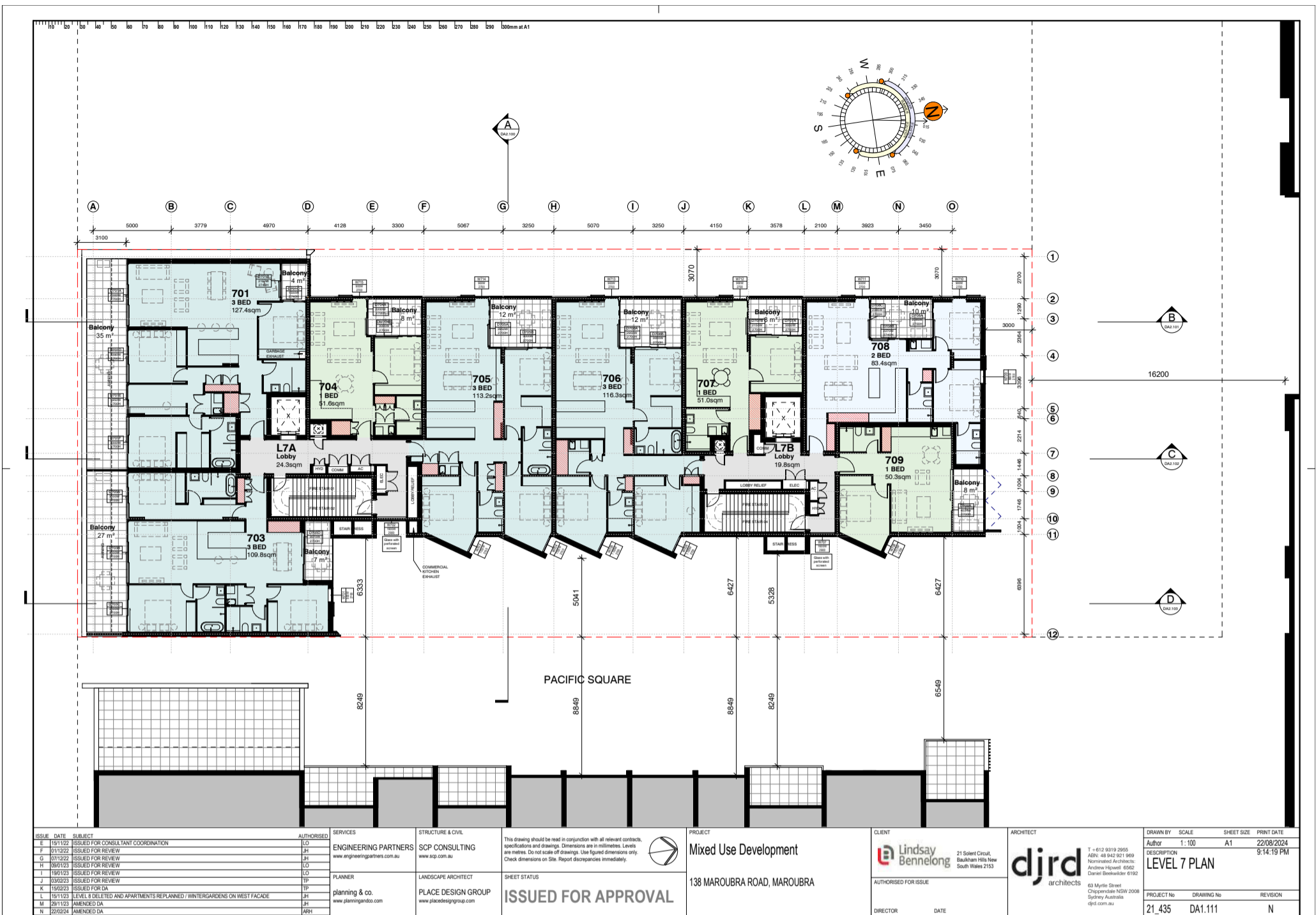
# PROPOSED SSD SUBMISSION



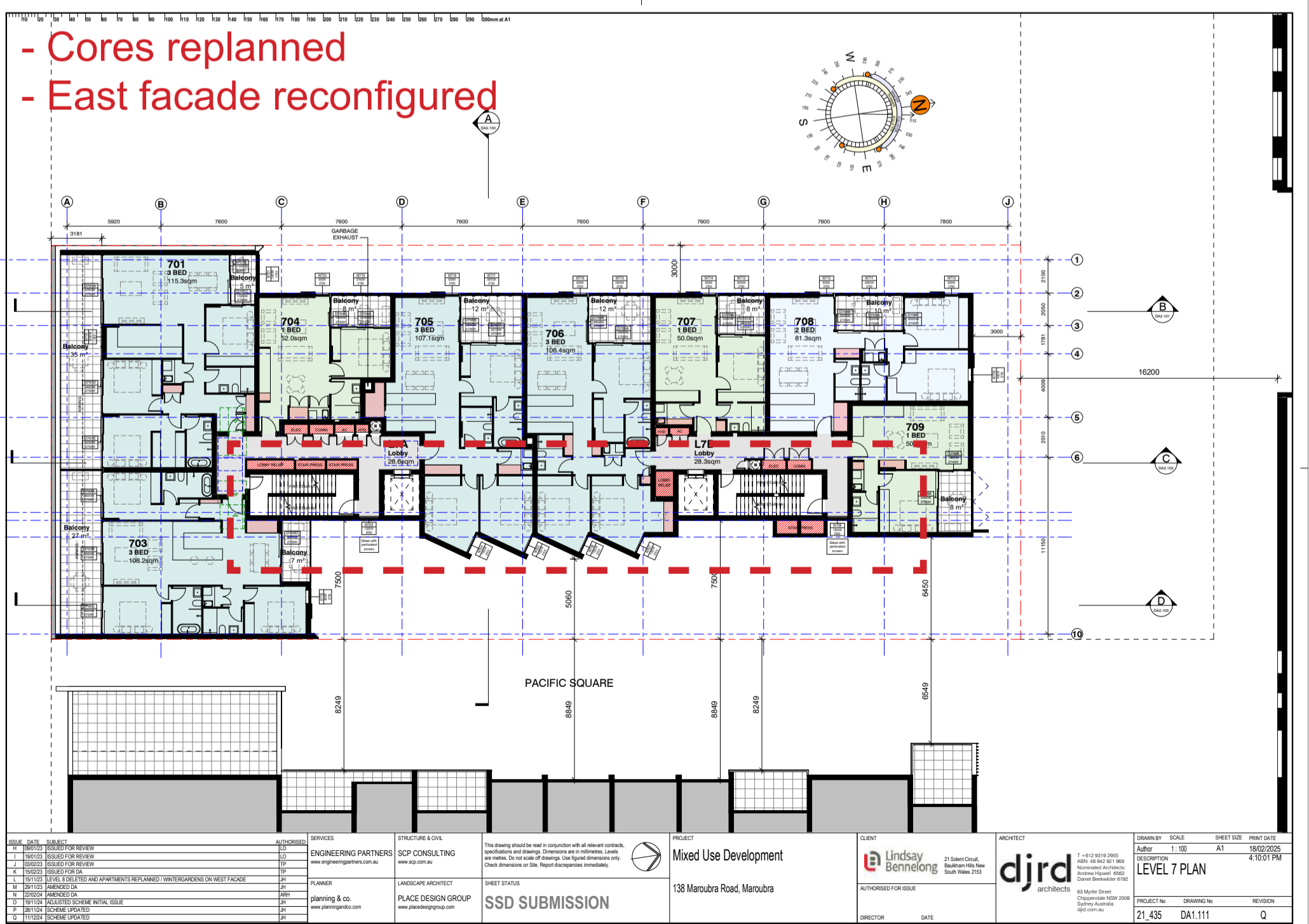
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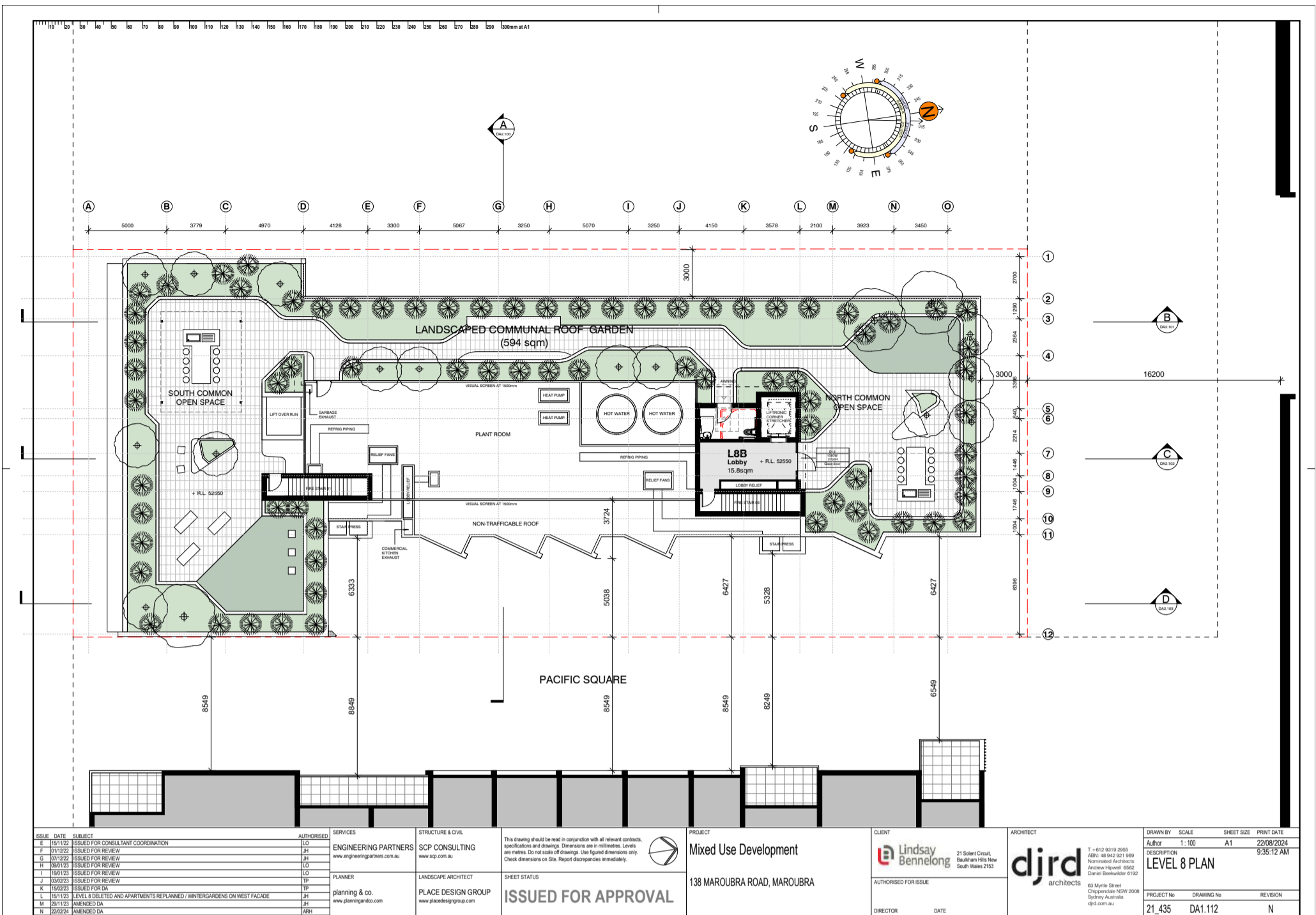
# PROPOSED SSD SUBMISSION



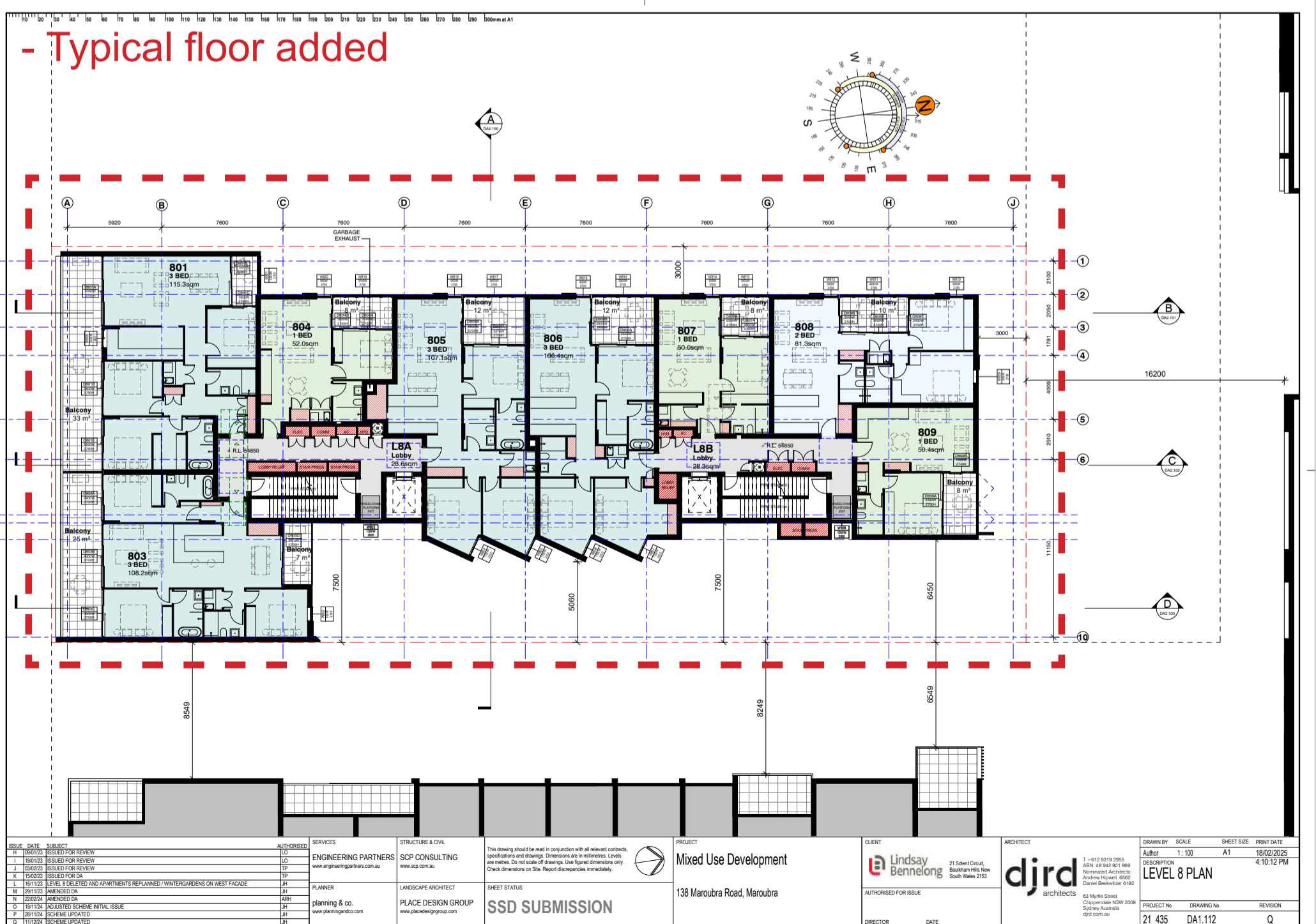
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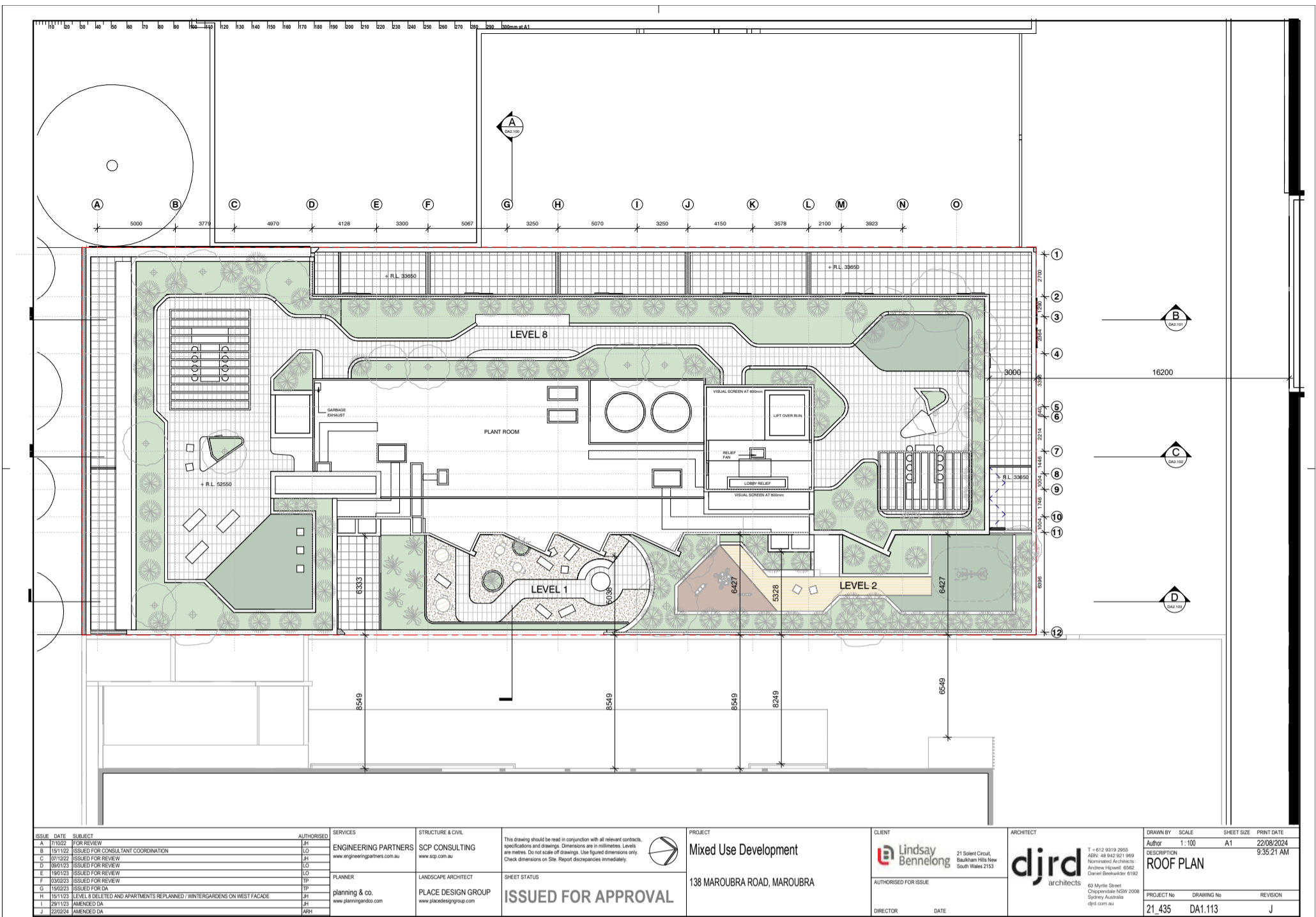
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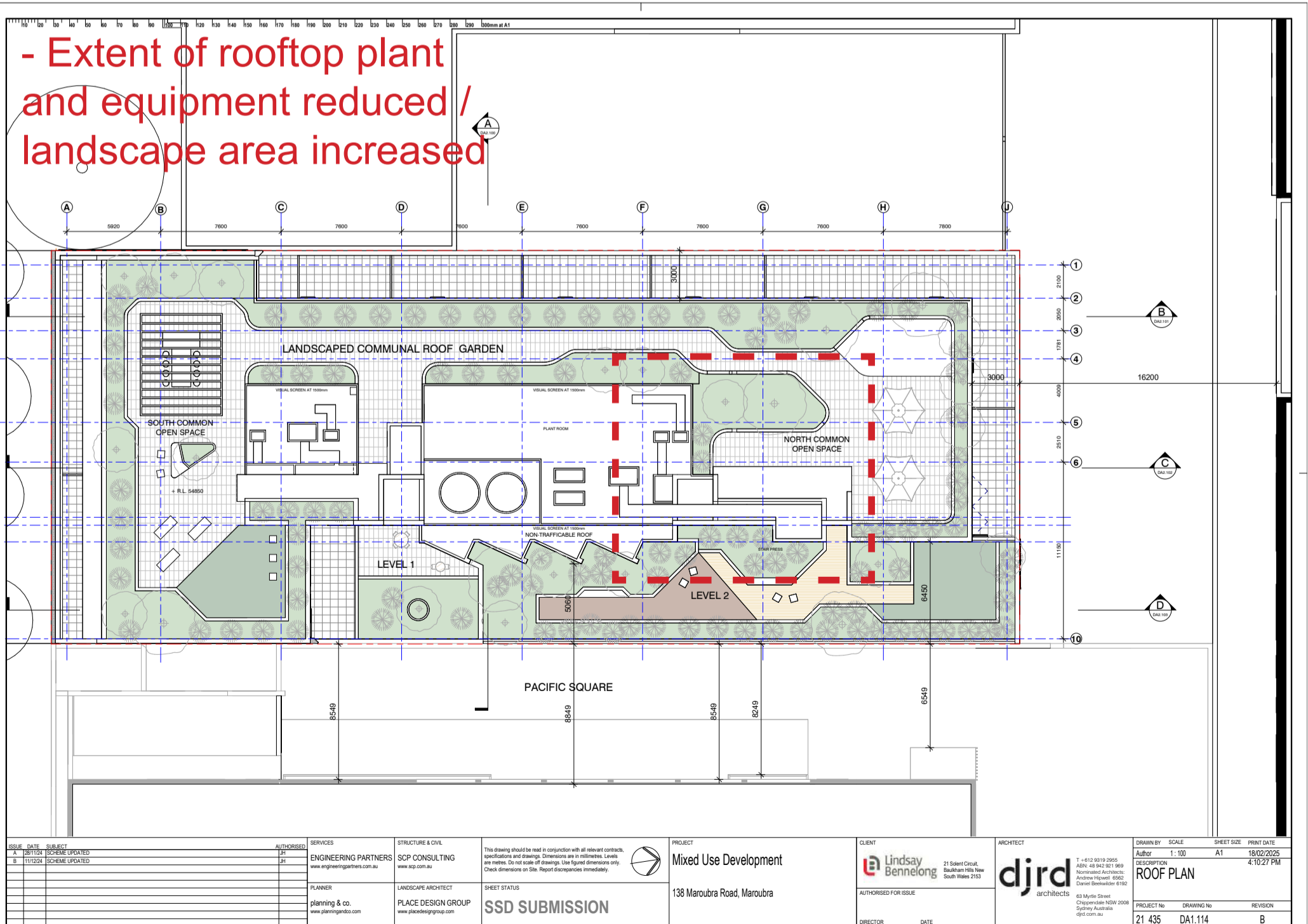
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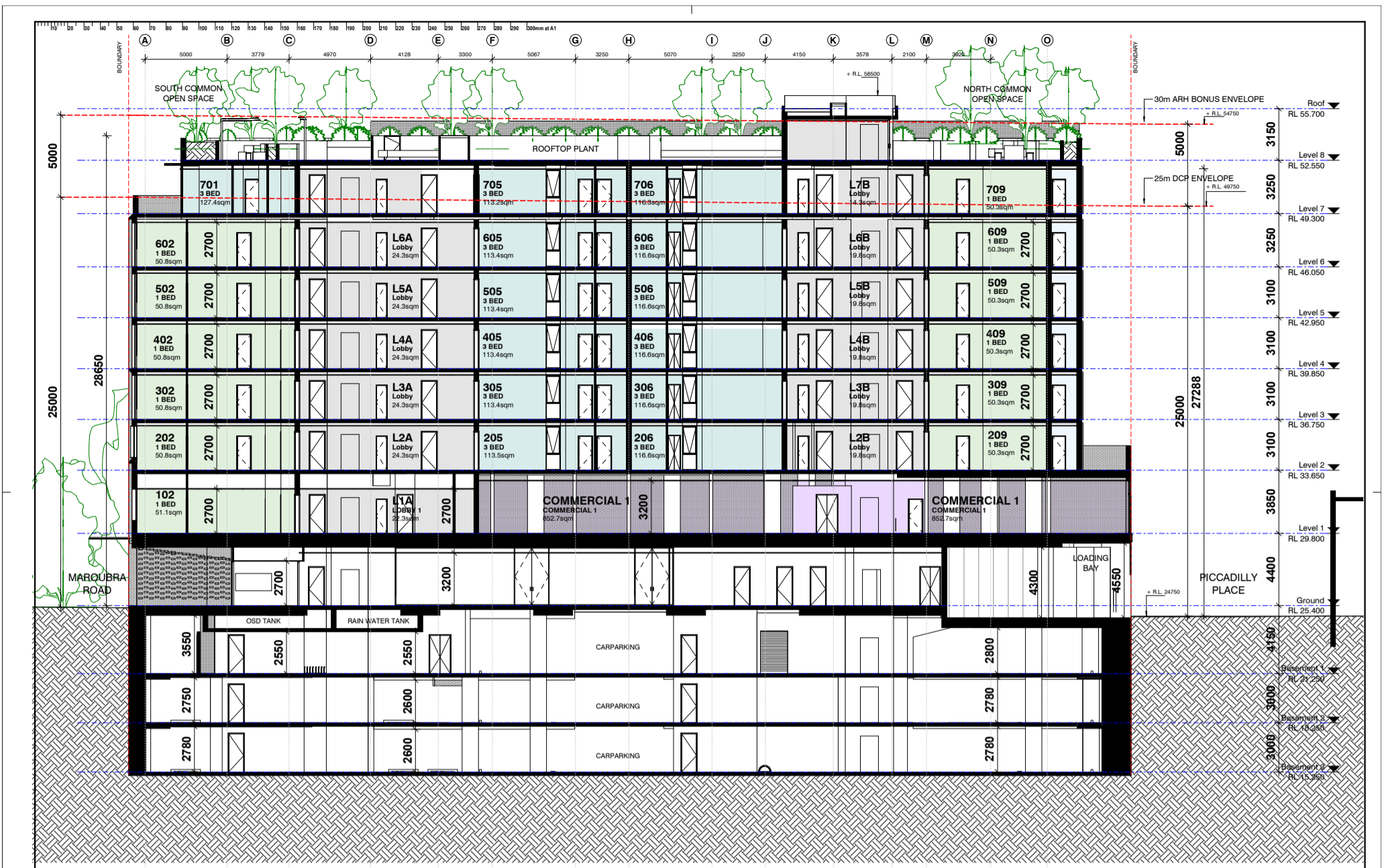
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# LOCAL DA 80/2023

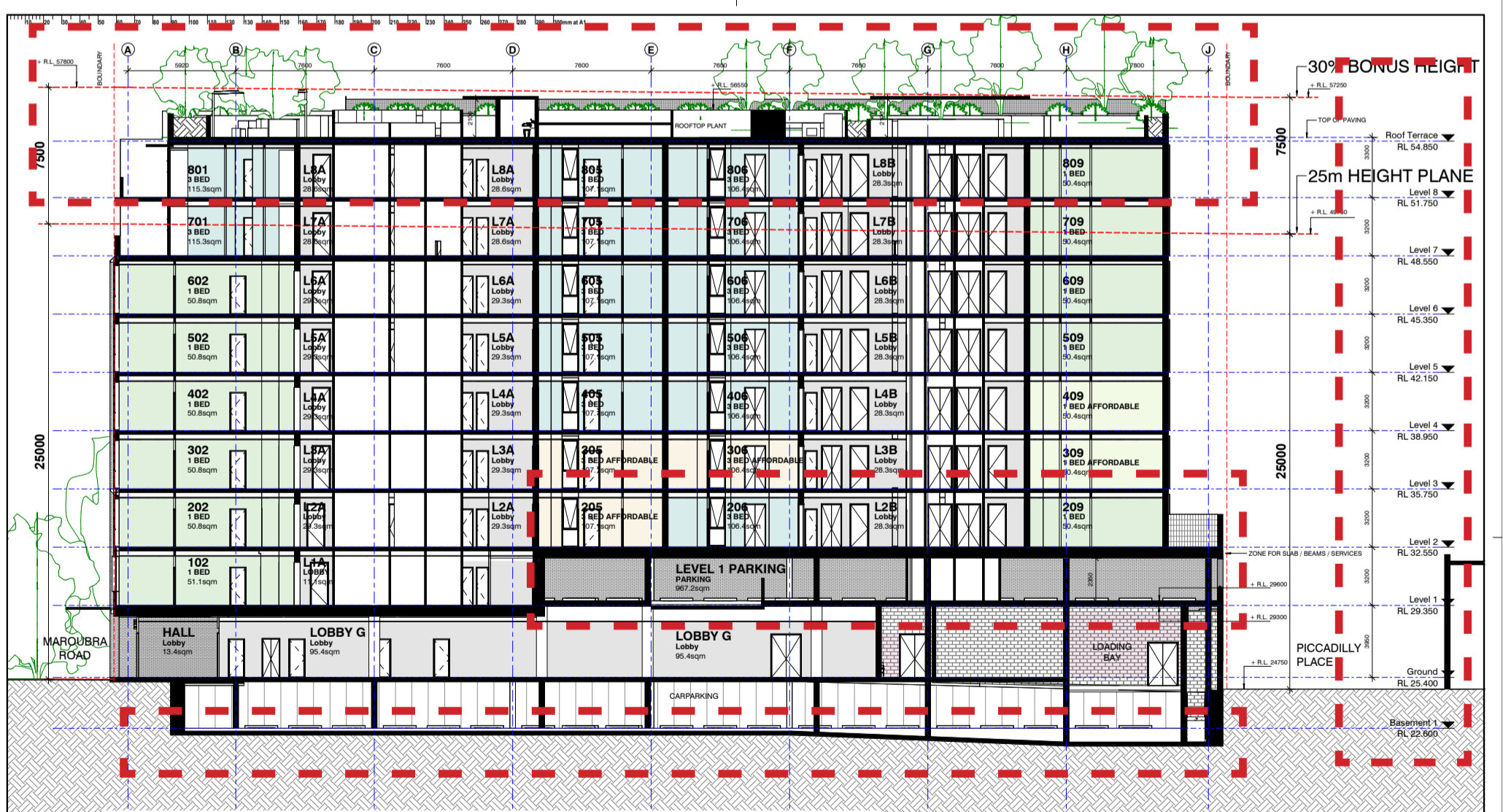


# PROPOSED SSD SUBMISSION



ISSUE	DATE	SUBJECT	AUTHORISED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	SHEET SIZE	PRINT DATE
C	19/11/22	ISSUED FOR CONSULTANT COORDINATION	LO	ENGINEERING PARTNERS	SCP CONSULTING	Mixed Use Development	Lindsay Bennelong	djrd architects	Author	1:100	A1	22/08/2024
D	07/12/22	ISSUED FOR REVIEW	JH	www.engineeringpartners.com.au	www.scp.com.au	138 MAROUBRA ROAD, MAROUBRA	21 Solent Circuit, Baulkham Hills NSW South Wales 2153	T +612 9319 2955 ABN: 48 942 901 969 Non-Residential Architects Andrew Howett 6562 Daniel Bennelong 6192	21.435	DA2.102	L	9:35:44 AM
E	19/01/23	ISSUED FOR REVIEW	LO	PLANNER	LANDSCAPE ARCHITECT	ISSUED FOR APPROVAL	AUTHORISED FOR ISSUE	63 Myrtle Street, Chippendale NSW 2008 Sydney Australia djrd.com.au	21.435	DA2.102	L	
F	19/01/23	ISSUED FOR REVIEW	LO	planning & co.	PLACE DESIGN GROUP							
G	19/02/23	ISSUED FOR REVIEW	JP	www.planningandco.com	www.placedesigngroup.com							
H	19/02/23	ISSUED FOR DA	JP									
I	19/11/23	LEVEL 8 DELETED AND APARTMENTS REPLANNED / WINTERGARDENS ON WEST FACADE	JH									
J	29/11/23	AMENDED DA	JH									
K	22/02/24	AMENDED DA	ARH									
L	19/04/24	SUPPLEMENTARY DA INFORMATION	ARH									

# LOCAL DA 80/2023



- Basements 2 and 3 deleted
- Vehicle parking moved to Level 1
- Floor to floor heights adjusted and dwellings added at Level 8
- 25m plus 30% bonus height plane strictly observed

ISSUE	DATE	SUBJECT	AUTHORISED	SERVICES	STRUCTURE & CIVIL	PROJECT	CLIENT	ARCHITECT	DRAWN BY	SCALE	SHEET SIZE	PRINT DATE
G	19/02/23	ISSUED FOR REVIEW	JP	ENGINEERING PARTNERS	SCP CONSULTING	Mixed Use Development	Lindsay Bennelong	djrd architects	Author	1:100	A1	19/02/2025
H	19/02/23	ISSUED FOR DA	JP	www.engineeringpartners.com.au	www.scp.com.au	138 Maroubra Road, Maroubra	21 Solent Circuit, Baulkham Hills NSW South Wales 2153	T +612 9319 2955 ABN: 48 942 901 969 Non-Residential Architects Andrew Howett 6562 Daniel Bennelong 6192	21.435	DA2.102	P	7:59:11 PM
I	19/11/23	LEVEL 8 DELETED AND APARTMENTS REPLANNED / WINTERGARDENS ON WEST FACADE	JH	PLANNER	LANDSCAPE ARCHITECT	SSD SUBMISSION	AUTHORISED FOR ISSUE	63 Myrtle Street, Chippendale NSW 2008 Sydney Australia djrd.com.au				
J	29/11/23	AMENDED DA	JH	planning & co.	PLACE DESIGN GROUP							
K	22/02/24	AMENDED DA	ARH	www.planningandco.com	www.placedesigngroup.com							
L	19/04/24	SUPPLEMENTARY DA INFORMATION	ARH									
M	19/11/24	ADJUSTED SCHEME INITIAL ISSUE	JH									
N	28/11/24	SCHEME UPDATED	JH									
O	11/12/24	SCHEME UPDATED	JH									
P	17/02/25	ISSUED FOR SSD SUBMISSION	JH									

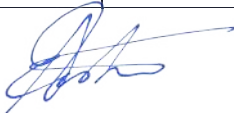
# PROPOSED SSD SUBMISSION

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## **Appendix G**

SEARs Requirements Declaration

## SEARs Requirements Declaration: Project

Declaration		
Name	Scott Easton	
Qualifications	Beng (Civil), CPEng, NER	
The undersigned declares that this Geotechnical Investigation has been prepared in response to the following SEARs requirements issued for the Project on 31 March 2025 for SSD-81426710:		
SEARs item no.	SEARs Requirement	Relevant Section of this Report
12	Ground and Groundwater Conditions	
	<ul style="list-style-type: none"> <li>Assess potential impacts on soil resources and related infrastructure and riparian on and near the site and including soil erosion.</li> </ul>	Section 3 and 8.3.2
	<ul style="list-style-type: none"> <li>Where required provide a Groundwater Impact Assessment in accordance with relevant Groundwater Guidelines. If the proposed development is on land identified as having high salinity or acid sulfate soil potential in an EPI provide a Salinity Management Plan or Acid Sulfate Soil Management Plan that includes appropriate management measures and strategies.</li> </ul>	Sections 3, 5.2.2, 8.3.2 and 8.6
Signed		
Dated	6 June 2025	