

**ENVIRONMENTAL  
IMPACT STATEMENT  
REDEVELOPMENT OF  
THE UNSW CLIFFBROOK  
CAMPUS**

**STATE SIGNIFICANT  
DEVELOPMENT  
APPLICATION  
(SSD\_8126)**

**URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:**

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Project Code	SA6114
Report Number	FINAL

## SIGNED DECLARATION

Submission of Environmental Impact Statement

This Environmental Impact Statement has been prepared in accordance with Schedule 2 of the *Environmental Planning and Assessment Regulation 2000*.

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**In respect of:** Redevelopment of the Cliffbrook Campus, Coogee

### Applicant and Land Details:

**Applicant:** University of New South Wales

**Applicant Address:** Botany Street, Kensington

**Land to be Redeveloped:** 45-51 Beach Street, Coogee

**Lot and DP:** Lot 1 DP109530 and Lot 1 DP8162

**Project:** Redevelopment of the Cliffbrook Campus, Coogee

### Declaration:

I certify that the contents of the Environmental Impact Statement to the best of my knowledge, has been prepared as follows:

- In accordance with the requirements of the Schedule 2 of Environmental Planning and Assessment Regulation 2000 and State Environmental Planning Policy (State and Regional Development) 2011.
- The information contained in this report is true in all material particulars and is not misleading.

Name: Peter Strudwick, Naomi Daley, Meadhbh Nolan,  
Director Associate Director Senior Consultant

Signature:

Date: May 2017 May 2017 May 2017

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# EXECUTIVE SUMMARY

This Environmental Impact Statement (EIS) has been prepared on behalf of the University of New South Wales (the proponent) (UNSW). It accompanies a development application for State Significant Development (SSD), SSD\_8126, comprising the redevelopment of the Cliffbrook Campus at Nos. 45-51 Beach Street, Coogee (hereafter referred to as the 'site').

## SITE

The site comprises Lot 1 DP8162 and Lot 1 DP109530 and is commonly known as Cliffbrook Campus, Nos. 45 – 51 Beach Street, Coogee. The site has an area of approximately 11,559sqm and slopes from east to west. The site accommodates an existing two storey brick building located at the centre of the site known as 'Cliffbrook house' and a garage. A two storey 'L-shaped' building is located adjacent to the northern boundary of the site. The site has frontages to both Battery Street to the north and Beach Street to the east.

Figure 1 – Site Location Plan



## CIV AND EMPLOYMENT

*State Environmental Planning Policy (State and Regional Development) 2011 (SEPP SRD)* identifies development which is declared to be SSD. Under Clause 15 of Schedule 1 of SEPP SRD, development with a capital investment value (CIV) of more than \$30 million is identified as SSD. As the proposed development will have a CIV of \$30,964,993.00 (excluding GST), it is considered an SSD. A copy of the Quantity Surveyor's report is attached to this application (**Appendix Z**).

## SEARs

The Secretary's Environmental Assessment Requirements (SEARs) for the preparation of the Environmental Impact Statement (EIS) were issued on 21 December 2016. A copy of the SEARs is included at **Appendix B**. The requirements are identified and a response to each is provided within a summary table also provided at **Appendix B** of this report. **Table 1** – The Consultant Team at **Section 1.5** of this report includes the relevant technical/specialist reports submitted with the EIS.

## DESIGN STATEMENT

A comprehensive site analysis and design statement is contained in the Francis-Jones Morehon Thorp (FJMT) drawing set responding to the site constraints and opportunities and surrounding built form.

## PROPOSED DEVELOPMENT

The redevelopment of the Cliffbrook Campus aims to provide teaching and learning facilities and associated accommodation for course participants of the Australian Graduate School of Management (AGSM) Residential Programs in a prestigious, contemporary executive retreat environment (including both teaching, learning and associated accommodation).

An overall objective of the project is that UNSW will make better use of an existing under-performing asset, whilst also improving the competitiveness of UNSW's management courses.

The proposal will facilitate the AGSM program by providing purpose built accommodation and teaching/learning facilities with following components:

- Demolition of CC2 (and outbuilding) and CC4 (1970's L-shaped building, which currently houses UNSW Press.
- Retention and refurbishment of CC1, Cliffbrook House, is a State heritage-listed residence. Inclusion of one on site manager's apartment.
- Retention and refurbishment of CC3 which is a state heritage-listed outbuilding (old garage).
- Construction of a three / four storey building, including:
  - Teaching and flexible teaching/research/conference rooms.
  - 52 bedrooms in the upper levels for course participants enrolled at the AGSM (50 participant bedrooms and 2 staff bedrooms).
  - Kitchen, dining room, amenities and services.
- 37 car parking spaces comprising 27 basement spaces, 5 spaces along the Beach Street boundary wall and 5 spaces along the internal circulation road.
- Provision of landscaping, driveway reconfiguration and upgrade of the at-grade parking area.
- Construction of light weight structures, pathways and landscaping on the rear section of the site to support the learning function of the proposal.

A detailed description of the proposal is included at Section 3 of this report.

## PLANNING CONTROLS

The following planning instruments and policy documents are relevant to the subject site and the proposed development:

- *Environmental Planning and Assessment Act 1979;*
- *State Environmental Planning Policy (State and Regional Development) 2011;*
- *State Environmental Planning Policy No. 55 – Remediation of Land;*
- *State Environmental Planning Policy No.71 – Coastal Protection;*
- *Draft State Environmental Planning Policy – Coastal Management;*
- *NSW 2021; and*
- *A Plan for Growing Sydney.*

The principle site specific controls are contained in *Randwick Local Environmental Plan 2012*

A detailed assessment of the proposed development against the relevant statutory requirements and policies is provided in **Sections 5** and **6** of this report.

## KEY ENVIRONMENTAL PLANNING CONSIDERATIONS

The EIS addresses the key issues identified in the SEARs and other relevant considerations. The proposed development represents a positive development outcome for the site and surrounding area, for the following reasons:

- The proposal demonstrates consistency with the relevant environmental planning instruments including strategic planning policy, State and local planning legislation, regulation and policies.
- The proposal fully addresses the issues identified in the SEARs and proposes appropriate mitigation measures for implementation during the pre and post construction stages.
- The proposal will result in the positive refurbishment and use of a listed state heritage item. The proposal will sensitively upgrade and refurbish the existing Cliffbrook House onsite.
- The proposed new buildings on site will be in keeping with the heritage conservation of the site and respect the integrity of the existing state heritage item.
- The proposed building will ensure appropriate view sharing for surrounding residential development in relation to the existing views to and from the item and to the ocean.
- Vegetation to the rear of the site will be maintained and regenerated where possible. A Biodiversity Management Plan will ensure the upkeep and preservation of the existing native species.
- The surrounding residential amenity of the context is maintained to ensure there are no adverse noise impacts, overlooking or privacy concerns.
- The proposal will result in positive economic impacts through the provision of direct and indirect employment, during both construction and operation.

The proposal will result in minimal environmental impacts, all of which can be mitigated through the recommendations outlined in the supporting technical documentation appended to this report.

## CONCLUSION

Overall, the design positively responds to the site conditions and surrounding development. The relocation of the existing AGSM residential program to the Cliffbrook Campus allows for the continuation of an essential tertiary education program. In doing so, UNSW will utilise a current underutilised site, proximate to the main Kensington campus, to create a viable and functional teaching, learning and accommodation facility. Overall:

- It does not have any unacceptable impacts on adjoining or surrounding properties or the public domain in terms of traffic, social and environmental impacts.
- The design is of a high quality in terms of built form and architectural treatment and responds positively to the character and scale of the area. The form ensures the principles of view sharing are adhered to.
- It will result in a high quality educational environment for course participants and staff through:
  - Creating a 4 star state of art teaching and accommodation retreat for participants.
  - Providing high quality expanse of open space for participants.
  - Enabling an excellent executive academic programme.
  - Developing efficient, effective, expressive and environmentally sustainable facilities.
- The proposal is in the public's interest; and
- The proposal appropriately satisfies each item within the SEARs.

Accordingly, it is recommended that the Minister for Planning approve the proposed development.

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# INTRODUCTION

This Environmental Impact Statement (EIS) is submitted to the Department of Planning and Environment (DPE) in support of State Significant Development (SSD) SSD\_8126, which seeks approval for the redevelopment of the UNSW Cliffbrook Campus.

*State Environmental Planning Policy (State and Regional Development) 2011* (SEPP SRD) identifies development which is declared to be SSD. Under Clause 15 of Schedule 1 of SEPP SRD, development with a capital investment value (CIV) of more than \$30 million is identified as SSD. As the proposed development will have a CIV of \$30,964,993.00 (excluding GST), it is considered an SSD. A copy of the Quantity Surveyor's report is attached as **Appendix Z**.

The EIS has been prepared by Urbis on behalf of the University of New South Wales (UNSW) (the proponent). The EIS relies on the Architectural Drawings prepared by FJMT, and other supporting technical information appended to the report (see Table of Contents).

This report describes the site, its environs, the proposed development, and provides an assessment of the proposal in accordance with the Secretary's Environmental Assessment Requirements (SEARs) issued for the project.

## 1.1. PROJECT OVERVIEW

The UNSW Cliffbrook Campus is to accommodate a residential retreat catering for executive education and further professional studies via the AGSM. The proposal will facilitate the AGSM program providing purpose built accommodation and teaching /learning facilities.

This SSD application seeks approval for the redevelopment of the UNSW Cliffbrook Campus as follows;

- Demolition of CC2 (and outbuilding) and CC4 (1970's L-shaped building, which currently accommodates office space).
- Retention and refurbishment of CC1, Cliffbrook House, a State heritage-listed residence. Inclusion of one on site manager's apartment.
- Retention and refurbishment of CC3 which is a heritage-listed outbuilding (old garage).
- Construction of a three / four storey building, including:
  - Teaching and flexible teaching/research/conference rooms.
  - 52 bedrooms in the upper levels for course participants enrolled at the AGSM (50 participant bedrooms and 2 staff bedrooms).
  - Kitchen, dining room, amenities and services.
  - 37 car parking spaces comprising 27 basement spaces, 5 spaces along the Beach Street boundary wall and 5 spaces along the internal circulation road.
- Provision of landscaping, driveway reconfiguration and upgrade of the at-grade parking area.
- Construction of light weight structures, pathways and landscaping on the rear section of the site to support the learning function of the proposal.
- Facilitate the AGSM program providing purpose built accommodation and teaching /learning facilities.

A detailed description of the proposal is included at **Section 4** of this report. It is also noted that some accompanying reports refer to the "CCR", which hereafter refers to the Cliffbrook Campus Redevelopment.

Figure 2 – Photomontages of the Proposed Development



Source: FJMT

## 1.2. PROJECT OBJECTIVES

The redevelopment of the Cliffbrook Campus aims to provide teaching and learning facilities and associated accommodation for course participants of the Australian Graduate School of Management (AGSM) Residential Programs in a prestigious, contemporary executive retreat environment (including both teaching, learning and associated accommodation).

An overall objective of the project is that UNSW will make better use of an existing under-performing asset, whilst also improving the competitiveness of UNSW's management courses.

The proposed redevelopment will offer the following improvements:

- A more contemporary and customised suite of teaching and learning spaces;
- A 4-star experience for course participants with improved spaces, accommodation and amenities;
- A unique beachside 'retreat' locale;

- A location for other UNSW faculties, schools and business units to use; and
- An opportunity to revisit the UNSW operational model to ensure this is market-competitive.

### 1.3. SECRETARYS ENVIRONMENTAL ASSESSMENT REQUIREMENTS

On 21 December 2016 the Secretary issued SEARs for this EIS pursuant to Section 89G of the EP&A Act. A copy of the SEARs is included at **Appendix B**. The table at **Appendix B** identifies where in this EIS each of the specified requirements is addressed.

### 1.4. STRUCTURE OF THIS REPORT

The EIS provides the following sections:

- **Section 2 Background:** Describes the design journey to date and consultation undertaken with the community and relevant agencies and service providers.
- **Section 3 Site and Context Analysis:** Provides a description of the site, the regional and local context and an assessment of the opportunities and constraints presented by the site.
- **Section 4 Proposed Development:** Provides the project objectives and a description of the proposed works.
- **Section 5 Statutory Planning Context:** Provides a detailed review of the proposal against the State and local planning framework.
- **Section 6 Strategic Plans and Policies:** Provides a review of the proposal against the relevant state and local policies.
- **Section 7 Environmental Assessment:** Provides a detailed assessment of the existing environment, the potential impacts, and the mitigation measures for each of the key criteria in the SEARs.
- **Section 8 Mitigation Measures:** Recommends mitigation measures to ensure minimal and acceptable impacts based on the technical studies undertaken as part of this application.
- **Section 9 Suitability of the Site and The Public Interest:** Assessment of the suitability of the site for the use.
- **Conclusion:** Provides a concluding statement taking into account the assessment of the proposal in accordance with the SEARs and a recommended course of action with regard to the determination of the application.

### 1.5. PROJECT TEAM

The following specialist consultant inputs have assisted in the preparation of this EIS:

Table 1 – The Consultant Team

Requirement	Prepared by	Appendix
Architectural Package - Site analysis plan Architectural Drawings Shadow Diagrams/photomontages Schedule of materials and finishes. Design Report	FJMT	Appendix A

<b>Requirement</b>	<b>Prepared by</b>	<b>Appendix</b>
SEARs and SEARs Compliance Table	Urbis	<b>Appendix B</b>
Survey Plan	Beveridge Williams	<b>Appendix C</b>
Landscape Package – Design Report and Plans	FJMT	<b>Appendix D</b>
View Impact Assessment	GMU	<b>Appendix E</b>
Transport and Accessibility Assessment Report	The Transport Planning Partnership	<b>Appendix F</b>
Acoustic Impact Assessment	JHA	<b>Appendix G</b>
Heritage Conservation Management Plan	Weir Phillips	<b>Appendix H</b>
Historical Archaeologist Assessment (European)	Mary Dallas Consulting Archaeologists (MDCA)	<b>Appendix I</b>
Heritage Impact Statement (HIS)	Weir Phillips	<b>Appendix J</b>
Aboriginal Cultural Heritage Assessment Report	Mary Dallas Consulting Archaeologists (MDCA)	<b>Appendix K</b>
Biodiversity Assessment Report	Narla Environmental Pty Ltd	<b>Appendix L</b>
Biodiversity Management Plan	Narla Environmental Pty Ltd	<b>Appendix M</b>
Arboriculture Impact Assessment	The Ents Tree Consultancy	<b>Appendix N</b>
ESD Report	JHA Engineers	<b>Appendix O</b>
BCA Report	Group DLA	<b>Appendix P</b>
Fire Engineering letter	RED Fire Engineers	
Infrastructure Management Plan	JHA	<b>Appendix Q</b>
Integrated Water Management Plan	Warren Smith and Partners	<b>Included as attachment to Appendix Q</b>
Flood Report	Kustom Engineering	<b>Appendix R</b>
Civil Package – Design Report Stormwater concept plans Sediment and erosion control plan	Taylor Thomson Whitting (TTW)	<b>Appendix S</b>
Geotechnical and Structural Report	Pells Sullivan Meynink	

<b>Requirement</b>	<b>Prepared by</b>	<b>Appendix</b>
Preliminary Site Investigation Report and Additional Contamination Assessment Letter	JBS&J	Included as attachment to Appendix T
Operational Management Plan	UNSW	Appendix U
Coastal Processes and Hazards	FJMT	Appendix V
Waste Management Plan	UNSW	Appendix W
Access Report	Accessibility Solutions	Appendix X
Preliminary Construction Management Plan, inclusive of a Preliminary Construction and Pedestrian Traffic Management Plan;	UNSW and The Transport Planning Partnership	Appendix Y
CIV Letter	MBM Quantity Surveyor	Appendix Z

## 2. BACKGROUND

### 2.1. PRE-LODGEMENT CONSULTATION

The applicant and their design team have had meetings with Randwick City Council. The following table summarises the various meetings held.

Table 2 – Randwick City Council Consultation

Dates/Details	Comment
Issue: Traffic and parking Manager of Traffic – September 2016	<p>Discussion on at grade and basement car parking and methodology of car parking calculation.</p> <p>The outcomes of the meeting can be summarised as:</p> <ul style="list-style-type: none"><li>• Council was comfortable that the proposed project use does not neatly fit into a DCP category in terms of parking rates and traffic generation.</li><li>• The assessment of car parking requirements will be a merit based assessment that identifies how participants of the AGSM program currently access the UNSW campus and how they are likely to access the Cliffbrook Campus.</li><li>• Depending on the outcome of the parking analysis, a management plan may be required for the ongoing operation of the proposed facility.</li></ul> <p>The outcomes of the above consultation have been incorporated in the assessment presented in the traffic report.</p>
Issue: Planning Director of Planning – February 2017	<p>UNSW provided a briefing on the scheme to obtain feedback on the proposal. Comments included the setback and massing on the boundary with 10 Battery Street and the long elevation on Battery Street.</p> <p>As a result of the consultation with Council, the design has been amended to increase the setback and reduce the height of the building on the eastern boundary (with No. 10 Battery Street) and moving the fire stairs to assist in breaking up the northern elevation (facing Battery Street). Inclusion of varying materials and finishes on the northern façade were recommended and are adopted.</p>

### 2.2. OTHER KEY STAKEHOLDER CONSULTATION

#### 2.2.1. Authorities and Agencies

In accordance with the requirements of the SEARs, consultation with various public authorities has occurred during the preparation of this EIS.

- Heritage Council of NSW – Briefing Meeting was held on 19 April 2017. The Office received a briefing on the project and did not raise any items that can not be addressed in the final design.
- Roads and Maritime Services – A briefing paper has been prepared and issued to RMS seeking a meeting and are currently awaiting a response.

- Transport for NSW – A briefing paper has been prepared and issued to RMS seeking a meeting and are currently awaiting a response.
- Sydney Water - Sydney Water has been notified and they informed the proponent that the development consent needs to be provided with the Section 73 application. UNSW did apply and receive the Statement of Available flows and pressures for the water mains in Beach and Battery Streets and Warren Smith & Partners have downloaded the Sydney Water Infrastructure hydra.

### 2.2.2. Community Engagement Framework

In accordance with the requirements of the SEARs, the following section provides details on the Community Engagement Framework proposed to guide the public consultation process during the assessment of this SSD application.

As demonstrated in this Section, UNSW, FJMT and the design team have extensively consulted with the external community as detailed below. An external facilitator, Kathy Jones Associates (KJA), was also engaged in the process to develop a consultation plan and facilitate community discussions. There have been multiple opportunities for the community to comment on concept schemes. The proposal, as submitted, has been modified numerous times and in varying ways responding to the surrounding community’s feedback.

The GMU Visual Impact Assessment from numerous surrounding properties on Battery and Beach Streets towards Cliffbrook House and Gordons Bay have also resulted in design modifications.

UNSW commenced engagement with the surrounding community in May 2016. The target group included 172 residents in Beach Street, Battery Street, Tower Street, Melrose Parade, Mundarra Street and Gordon Avenue. Various modes of communication were employed to inform the community and gain feedback including:

- UNSW Website.
- ‘Open House’ discussions.
- Meeting with the northern boundary residents on Battery Street.
- Individual sessions with residents on Beach Street, Battery Street and Gordon Avenue.
- Community Forum.
- Telephone contact with UNSW representative.

The following table provides all the consultation that has occurred to date. The FJMT Architectural Design Statement also includes commentary on the consultation process and the numerous design changes that have occurred since the start of the project in response to feedback from the surrounding community.

Table 3 – Workshops and Consultation Details

Dates/Details	Comments
<p><b>Stakeholder and Consultation</b></p> <p>During the Brief Finalisation and Schematic Design Phase, a number of workshops have been held with various stakeholder groups and consultants as identified below.</p>	
<p><b>External Communication</b></p> <p><u>Community consultation</u></p> <ul style="list-style-type: none"> <li>• Notification letter: 24 May 2016</li> <li>• Session 1: 28/06/2016</li> <li>• Session 2: 30/06/2016</li> <li>• Session 3: 26/07/2016</li> </ul>	<p><b>Early notification</b></p> <ul style="list-style-type: none"> <li>• A letter was sent to the target group on 24 May 2016 outlining the University’s plans to renew the Cliffbrook campus for use predominantly by the UNSW School of Business for its residential programs.</li> </ul>

Dates/Details	Comments
<ul style="list-style-type: none"> <li>• Session 4: 28/11/2016</li> <li>• Session 5: 01/12/2016</li> <li>• Session 6- Community Forum: 06/02/2017</li> </ul> <p><u>Other Engagement Activities</u></p> <ul style="list-style-type: none"> <li>• Meeting with the UNSW Vice Chancellor</li> </ul> <p>At the request of a group of residents, UNSW facilitated a meeting between UNSW Vice Chancellor and representatives of the group, so that they could express their concerns about the Cliffbrook development</p> <ul style="list-style-type: none"> <li>• View survey analysis reports</li> <li>– View survey studies were offered to five residents who were concerned about loss of views.</li> <li>– Further studies were offered to a number of residents who expressed a wish to have these studies undertaken.</li> <li>– In total, 26 viewpoint locations within 18 properties were undertaken. 20 views were selected for detailed view assessment.</li> <li>– The architect and a member of the project team met with individual residents to talk them through the report and note any remaining concerns.</li> </ul>	<ul style="list-style-type: none"> <li>• The letter also notified upcoming geotechnical investigations and an information evening scheduled for June.</li> </ul> <p><b>June 2016</b></p> <ul style="list-style-type: none"> <li>• Two drop-in information evenings were held at Cliffbrook House on Tuesday 28 June 2016 and Thursday 30 June 2016. A series of information boards was displayed with a broad outline of: <ul style="list-style-type: none"> <li>– UNSW’s plans for the campus</li> <li>– Potential and restrictions of the site</li> <li>– Other factors that would be taken into account, including environmental, heritage and cultural considerations.</li> </ul> </li> <li>• Members of the project team were available to answer questions and provide further information.</li> <li>• Key concerns raised by residents included: <ul style="list-style-type: none"> <li>– Privacy: Residents of Battery Street strongly expressed their resistance to a pathway or any structures in the private recreation zone. They spend the majority of their time at the front of their houses and their felt that their privacy would be compromised with any circulation of staff and course participants in the private recreation zone. Overlooking from the new building was also a concern.</li> <li>– Security: Concern was expressed that there would be more illegal camping in the private recreation zone if the security fence was removed from behind Cliffbrook House and an access path to Gordon’s Bay installed.</li> <li>– Noise: Noise and loss of privacy from outdoor activities was also raised as a concern.</li> <li>– Parking: Street parking is a constant issue in the area and residents were very concerned that adequate parking for course participants and staff should be provided.</li> </ul> </li> </ul> <p><b>November/December 2016</b></p> <ul style="list-style-type: none"> <li>• A second round of information evenings was held at Cliffbrook House on Monday 28 November 2016 and Thursday 1 December 2016.</li> <li>• Display boards showed initial design concepts and elevations.</li> <li>• The first session was uneventful, with considerable interest and few concerns raised. At the second</li> </ul>

Dates/Details	Comments
	<p>session, however, attendees came together as a group and expressed strong concerns about:</p> <ul style="list-style-type: none"> <li>- Height: the proposed building was higher than the existing building.</li> <li>- Loss of privacy and overlooking from the new building.</li> <li>- Noise and loss of privacy from a proposed path through the private recreation zone and from activities on an open balcony at the rear of the new building.</li> <li>- Parking: even though an underground car park had been included in the plans, concerns about parking remained.</li> </ul> <p>As a result of these concerns, UNSW committed to revising plans to address concerns and return to the community at a further engagement session.</p> <p><b>February 2017</b></p> <ul style="list-style-type: none"> <li>• A community forum was held on Thursday 16 February at the Australian Graduate School of Management on the UNSW Kensington campus.</li> <li>• An independent facilitator was engaged to manage this session.</li> <li>• A comprehensive presentation from the architect showed how the plans had been revised to address concerns previously expressed by residents.</li> <li>• Members of the project team and UNSW staff were on hand to answer questions from the floor.</li> <li>• There was a greater level of satisfaction with the revised plans, though concerns remained about: <ul style="list-style-type: none"> <li>- privacy and overlooking from the new building.</li> <li>- noise, security and loss of privacy from the path through the private recreation zone.</li> <li>- increase of traffic on local roads.</li> </ul> </li> </ul>
<p><b>Internal Communication - UNSW</b></p> <ul style="list-style-type: none"> <li>• Benchmarking Tour – Mt Eliza Business School: 19/05/2016 – UNSW/FJMT</li> <li>• Traffic: 02/06/2016 – UNSW/TTP/FJMT</li> <li>• DA Submission Programme Discussion: 21/06/2016 – UNSW/Urbis/FJMT</li> </ul>	

Dates/Details	Comments
<ul style="list-style-type: none"> <li>• Benchmarking Tour – University of Sydney Business School: 07/06/2016</li> <li>• Design Team Consultants Meeting: Session 1: 07/06/2016 Session 2: 21/06/2016 Regular PCG Meetings – fortnightly or as needs (July 2016 to April 2017)</li> <li>• Schematic Design Review: Stage 1: 08/06/2016 – FM/COPG/V&amp;E Stage 1: 09/06/2014 – AGSM Stage 2: 06/07/2014 – AGSM Stage 2: 18/07/2016 – FM/COPG/V&amp;E</li> <li>• Security Requirements Workshop: 11/07/2016 – UNSW/JHA/FJMT</li> <li>• AV Requirements Workshop: 12/07/2016 - UNSW/JHA/FJMT</li> <li>• Generator Meeting: 12/07/2016 – UNSW/JHA/FJMT</li> <li>• Security and Landscape Discussion: 19/07/2016 – UNSW/JHA/FJMT</li> <li>• Teaching and Technology Discussion: 19/07/2016 – UNSW/JHA/FJMT</li> <li>• Safety by Design Workshop 23/08/16 plus monthly thereafter</li> </ul> <p>Telephony: 19/07/2016 – UNSW/JHA/FJMT</p>	

### 2.2.3. Evolution of the Design

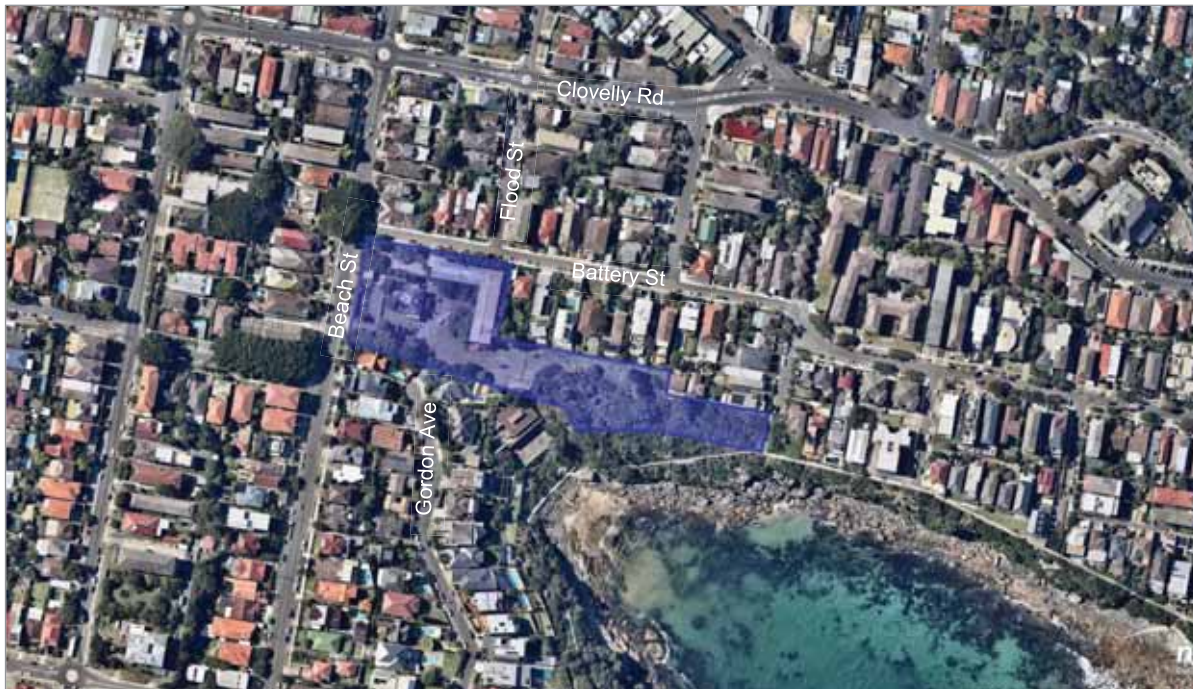
As detailed in Section 19.2 – 19.4 of the Architectural Design Statement in **Appendix A**, the design has been through multiple reiterations in response to the community concerns to address the matters of privacy, views, heritage, safety, traffic and parking and acoustics.

## 3. SITE CONTEXT ANALYSIS

### 3.1. SITE LOCATION

The site is located at 45-51 Beach Street, Coogee as detailed on the Figure below.

Figure 3 – Location Map



Source: Near Maps

The site has the following characteristics:

- **Built form:** Three existing buildings: one single storey garage building in north-west on site; a two-three storey L-shaped brick building on the Battery Street boundary; and two storey stone and brick building known as 'Cliffbrook House'. A stone wall surrounds the site at the Battery Street and Beach Street frontages. The garage, House and stone walls form part of the heritage listing.
- **Topography:** The ground level at the north-west corner of the site is approx. one storey below street level. The site varies in topography, however generally slopes down from the north-west to the south-east.
- **Easement:** The site includes a 3m wide drainage easement on the southern boundary.
- **Vegetation:** There are established trees throughout the site, including on the northern boundary which screen current buildings from view. The grounds include landscaping and grassed areas.
- **Open space:** The eastern portion of Lot 1 DP109530 includes established vegetation and open space. An access pathway to the Bondi-to-Coogee coastal walkway is located on the adjoining land next to the eastern boundary (not on title).
- **Access and Parking:** Site access is gained from Beach Street. The site includes onsite parking for approximately 27 cars.
- **Aspect:** The site has ocean views over Gordon's Bay, and a physical connection to the coastal walkway.

### 3.2. SITE DESCRIPTION

The site comprises two allotments of Lot 1 DP 8162 (the western lot) and Lot 1 DP109530 (the eastern lot). The existing site buildings are denoted in Figure 5 with commentary on the following page.

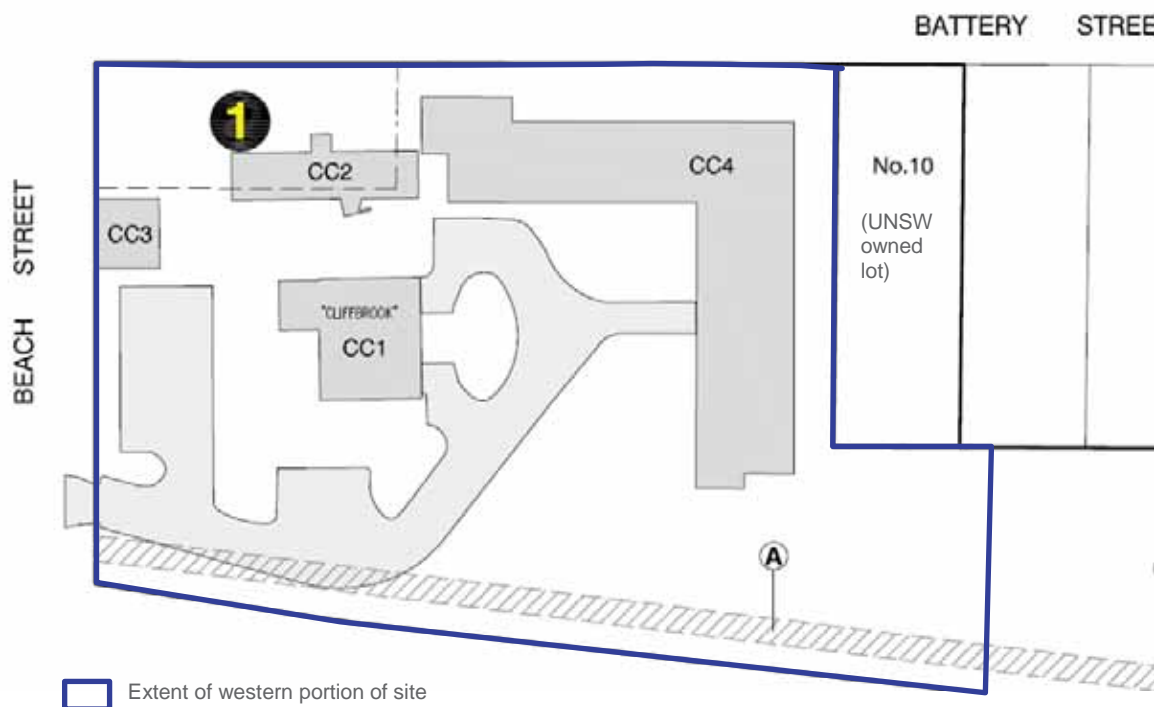
The site is currently used for University purposes by the UNSW Press. There have been numerous previous occupants of the site including the Australian Army in the 1940s, the Australian Atomic Energy Commission in the 1950s, 60s and 70s, and UNSW from the 1990s including the Asia Australia Institute and the Australian Taxation Studies Program.

Figure 4 – Detailed Site Plan



Source: Near Maps

Figure 5 – Existing Buildings on Site



As shown above, the existing buildings on site are described as follows:

- Building CC1: *Cliffbrook*: A substantial free standing two storey brick dwelling erected in the 1920s and is described as Interwar Free Classical Style.
- Building CC2: A free standing, single storey, brick 1950s building.
- Building CC3: A small building, originally a garage, erected in the 1920s.
- Building CC4: A large free standing two-three storey brick building constructed over various stages between the 1950s-1970s.

Photographs of the site are shown below.

Figure 6 – Photographs of the Site



Picture 1 – Subject site from the Western Elevation (Beach Street)



Picture 2 – Subject site from the Northern Elevation (Corner of Beach Street and Battery Street)



Picture 3 – Subject site from the Eastern Elevation (Battery Street)



Picture 4 – Subject site from the Southern Elevation (Gordons Bay)

A detailed site analysis examining constraints and opportunities has been undertaken by FJMT and is provided in the Architectural Drawing set as **Appendix A**. An extract of the FJMT site analysis plan is below.

Figure 7 – Site Analysis Plan



Source: FJMT

### 3.3. SURROUNDING DEVELOPMENT

The site is located on the corner of Beach and Battery Streets. North of the site is Bronte, south of the site is Coogee. The Sydney CBD is located approximately 7km to the north west. While the site is within close proximity to public transport routes, neither Beach Street nor Battery Street are designated bus routes. The closest bus stops are located on Clovelly Road at the intersection of Beach Street (150 metres from the Cliffbrook site's main gates) and on Arden Street near Alison Road (350 metres from the site's main gates). These routes provide transport to Clovelly, Sydney CBD and Bondi Junction.

Adjacent development to the site is predominately low density residential, with dispersed medium density flat buildings along Clovelly Road, Beach Street and Battery Street. Even though the building typology is considered low density, many dwellings are over multiple levels and of varying scales. The residential development along Beach and Battery Streets generally has a consistent building line. There is a heritage item located on the site's eastern boundary along Beach Street which is setback from the site by a densely-vegetated area. Gordons Bay and the Bondi to Coogee coastal walkway are located along the site's south eastern boundary, accessible from Tower Street (on the eastern boundary).

The aerial photomontages of the proposal provide an indication of the massing of the surrounding development as demonstrated in the figure below.

Figure 8 – The proposal adjacent to the surrounding built form- looking east



Source: FJMT

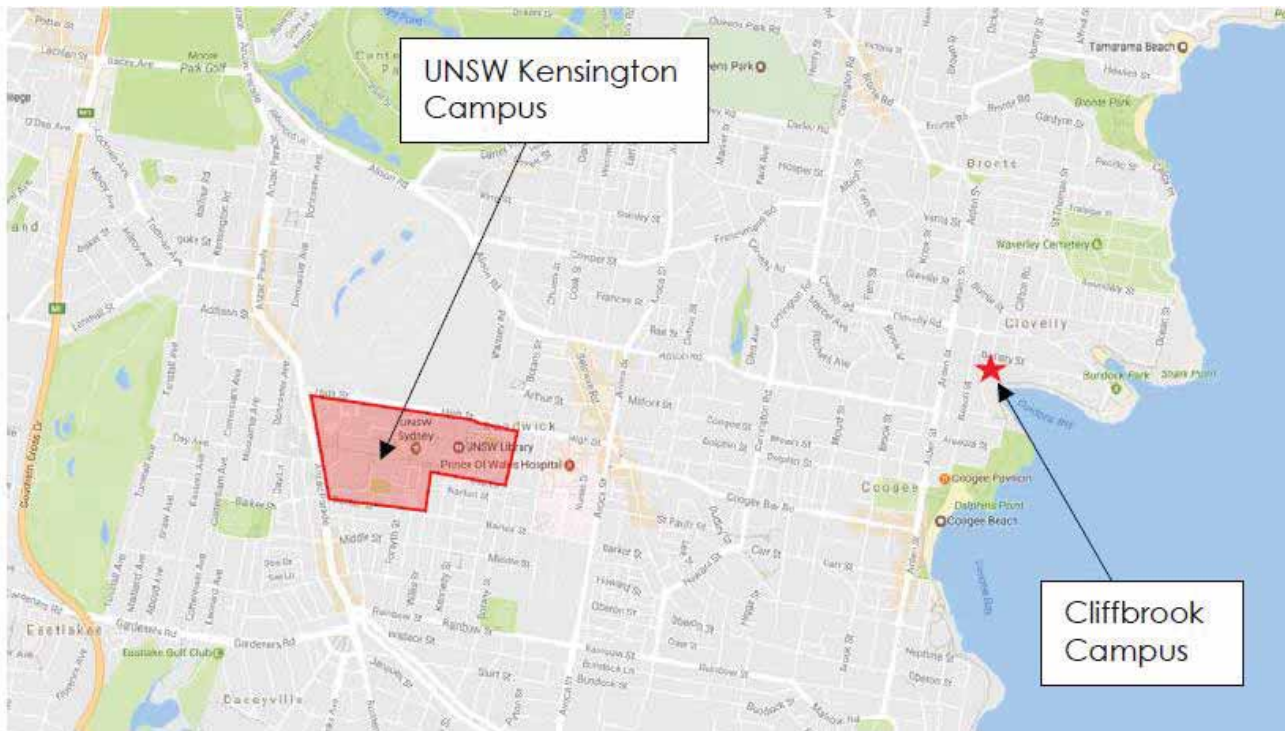
Figure 9 – The proposal adjacent to the surrounding built form – looking north east



Source: FJMT

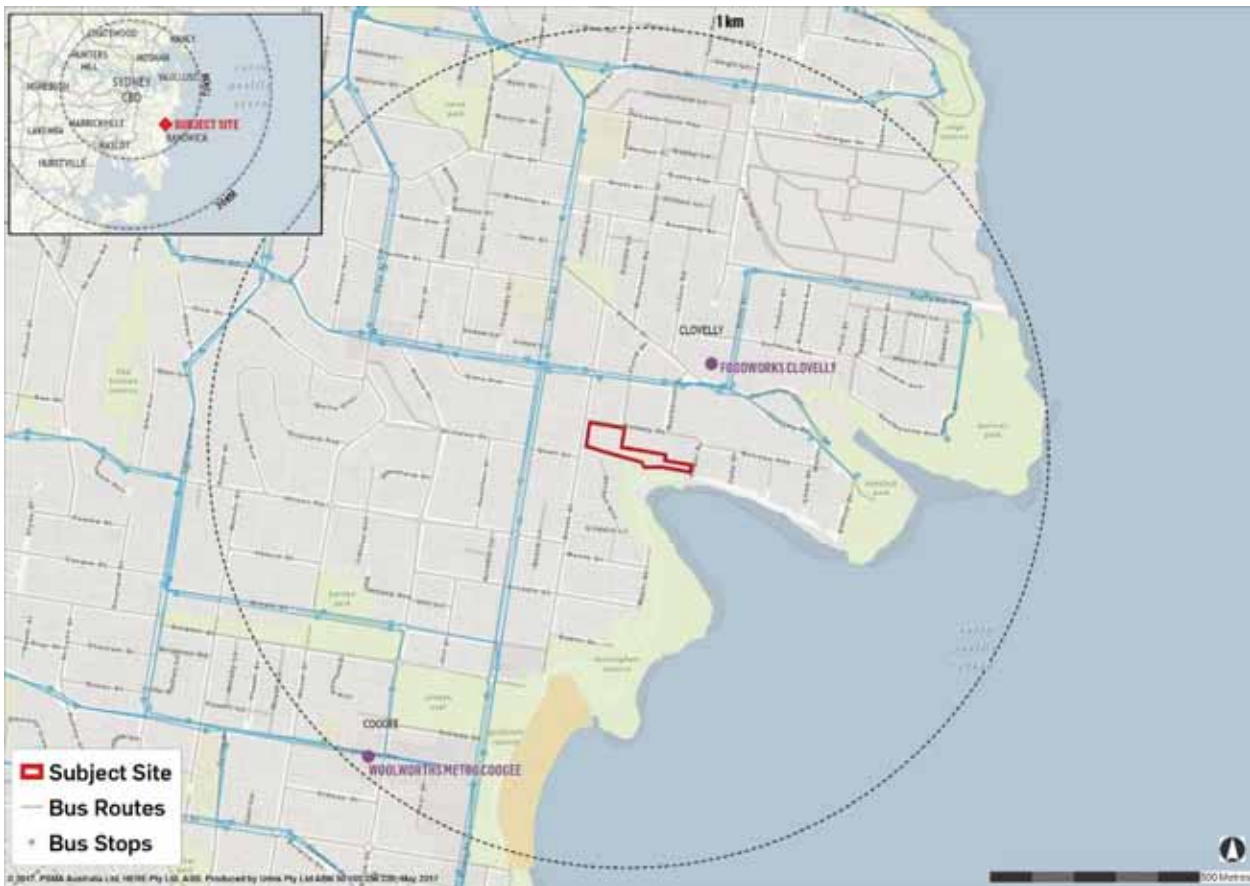
The site in relation to the main UNSW Kensington Campus (some 3km in distance) and the surrounding locality of the site is indicated at **Figure 8 and 9**.

Figure 10 – Site in relation to UNSW Kensington campus



Source: TPA Traffic report

Figure 11 – Surrounding Locality



Source: Urbis

Photographs of the surrounding locality are included at **Figure 10**.

Table 4 – Description of the Surrounding Area

<b>Area</b>	<b>Description</b>
<b>North</b>	To the north of the site are low density, residential dwellings. These dwellings are of a similar scale and character, and have garages adjacent to the street stepping up to 2-3 storeys. There is a high sandstone wall along the site's northern boundary, which alongside dense vegetation, obscures visibility of the site from the street level. There is no ocean view visible from the street level along Battery Street, but there may be views from the second storeys of residential dwellings. Clovelly Road is further north of the site, and consists of predominately retail uses such as cafes and eateries, medium density residential flat buildings and bus stops
<b>East</b>	East of the site are low density residential dwellings along Tower Street and the eastern section of Battery Street. These dwellings are obscured from the street level by walls or large setbacks.
<b>South</b>	Gordons Bay and the Bondi to Coogee coastal walkway are to the south east of the site. The site adjoins Gordon's Bay at the densely vegetated south-east portion of the site. Residential properties are located on the south-west boundary of the site, including a redevelopment at 3A Gordon's Avenue. A heritage item shares the site's southern boundary along Beach Street.
<b>West</b>	West of the site are predominately low density residential dwellings with dispersed medium density flat buildings.

Figure 12 – Surrounding Development



Picture 5 – Properties opposite the site at Beach Street



Picture 6 – Properties opposite the site at Battery Street



Picture 7 – Medium density development at Beach Street



Picture 8 – View of the subject site from Gordons Bay



Picture 9 – Corner of Battery and Flood Streets



Picture 10 – 54 Beach Street

## **3.4. TRANSPORT AND ACCESSIBILITY**

### **3.4.1. Vehicular Access**

There is a singular vehicle access point located at south-western boundary on Beach Street. The access point is gated and continues to a wide driveway leading to an internal roundabout and parking area at CC1 Cliffbrook House building.

### **3.4.2. Public Transport**

While the site is within close proximity to public transport routes, neither Beach Street nor Battery Street are designated bus routes. The closest bus stops are located on Clovelly Road at the intersection of Beach Street (150 metres from the Cliffbrook site's main gates) and on Arden Street near Alison Road (350 metres from the site's main gates). These routes provide transport to Clovelly, Sydney CBD and Bondi Junction.

### **3.4.3. Pedestrian Network**

The site is accessible by footpaths along Beach and Battery Street. Pedestrian access is via the main driveway and pedestrian gate on Beach Street. The site also shares a boundary with the Bondi to Coogee coastal walkway.

Both Beach Street and Battery Street form part of the designated "on road" cycle route which makes up the Coastal Cycleway running from Tamarama Beach to La Perouse.

## 4. PROPOSED DEVELOPMENT

### 4.1. OVERVIEW OF THE PROPOSED DEVELOPMENT

The UNSW Cliffbrook campus is proposed to be a residential retreat catering for executive education and further professional studies via the AGSM. The proposal will facilitate the AGSM program providing purpose built accommodation and teaching /learning facilities.

This SSD application seeks approval for:

- Demolition of CC2 (and outbuilding) and CC4 (1970's L-shaped building, which currently accommodates UNSW Press).
- Retention and refurbishment of CC1, Cliffbrook House, a State heritage-listed residence. Inclusion of one on site manager's apartment.
- Retention and refurbishment of CC3 which is a state heritage-listed outbuilding (old garage).
- Construction of a three / four storey building, including:
  - Teaching and flexible teaching/research/conference rooms.
  - 52 bedrooms in the upper levels for course participants enrolled at the AGSM (50 participant bedrooms and 2 staff bedrooms).
  - Kitchen, dining room, amenities and services.
  - 37 car parking spaces comprising 27 basement spaces, 5 spaces along the Beach Street boundary wall and 5 spaces along the internal circulation road.
- Provision of landscaping, driveway reconfiguration and upgrade of the at-grade parking area.
- Construction of light weight structures, pathways and landscaping on the rear section of the site to support the learning function of the proposal.
- Facilitate the AGSM program providing purpose built accommodation and teaching /learning facilities.

In response to Part 5 of the SEARs, the development proposal is not a staged development in accordance with Section 83B of the EP& A Act.

Extensive community consultation has resulted in the final design which is on balance represents the optimum design outcome for the site considering the surrounding residential context, associated impacts and the University's objectives.

### 4.2. REFERENCE DRAWINGS

The proposed architectural works are illustrated within the Architectural Design Report and Architectural Drawings prepared by FJMT and included at **Appendix A**.

The proposed landscaping works are illustrated in the Landscape Design Report and Landscape Plans prepared by FJMT and included at **Appendix D**.

## 4.3. NUMERIC OVERVIEW

Table 5 – Numeric Overview

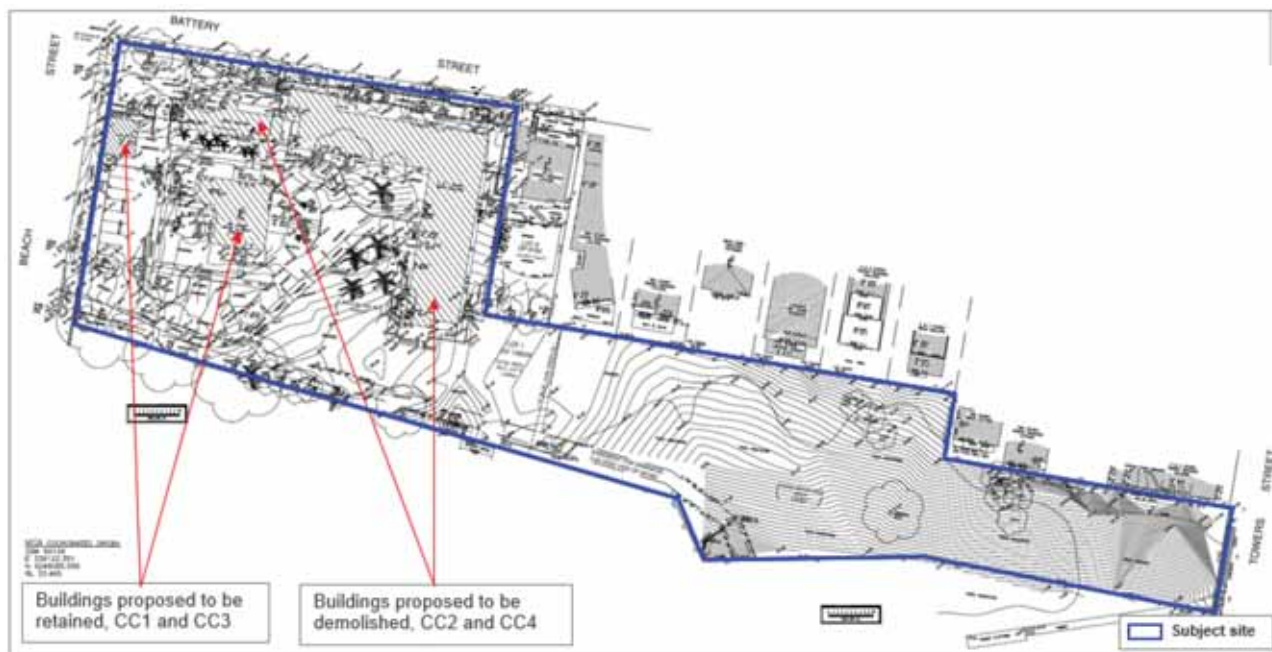
Component	Proposed
Site Area	11,559sqm (western lot = 6,681sqm, eastern lot = 4,878sqm)
Zoning	SP2 Infrastructure (Educational Establishment) RE2 Private Recreation
Gross Floor Area <ul style="list-style-type: none"> <li>• New building</li> </ul>	3,517sqm, comprising: <ul style="list-style-type: none"> <li>• Lower ground: 236sqm</li> <li>• Ground floor: 1,430sqm</li> <li>• Level 1: 771sqm</li> <li>• Level 2: 652sqm</li> <li>• Level 3: 428sqm</li> </ul>
Gross Floor Area <ul style="list-style-type: none"> <li>• Cliffbrook House (CC1)</li> <li>• Old garage/outbuilding (CC3)</li> </ul>	416sqm, comprising: <ul style="list-style-type: none"> <li>• Ground floor: 173sqm (CC1)</li> <li>• Level 1: 188sqm (CC1)</li> <li>• Ground floor: 55sqm (CC3)</li> </ul>
Total site GFA	3,933sqm
Floor Space Ratio	0.3:1
Building Height/Storey	Cliffbrook House: 2 storeys Outbuilding: 1 storey New Building: Lower ground to Level 3 (5 storeys)
Car Parking	37 spaces (27 basement, 10 at grade)

## 4.4. DEMOLITION

The proposed development includes demolition of CC2 and CC4 (1970's L-shaped 2 and 3 storey building, which currently houses office accommodation).

Some internal alterations within CC3 (Garage) and CC1 (Cliffbrook House) as denoted on the plan set will allow for refurbishment and reuse.

Figure 13 – Proposed Demolition



## 4.5. BUILT FORM

### 4.5.1. The Refurbishment of Cliffbrook (Building CC1) and the garage (Building CC3)

It is proposed to carry out alterations to Cliffbrook House (CC1) including:

*At ground floor level:*

- Remove cupboards/joinery in two rooms.
- Remove the existing kitchen fitout.
- Install an accessible lift linking the ground and first floors.
- Remove the existing wc fitouts and reconfigure the walls, raise floors and provide a new accessible wc in the reconfigured room.
- Creation of an accessible entrance, involving a new door opening and the installation of a steel entry platform.
- Install a BCA compliant handrail to the main staircase.
- Remove or re-swing doors as marked on the plans.

*At first floor level:*

- Create an opening in the wall between the proposed syndicate rooms 3 and 4.
- Remove a wall, cupboards and door to install the accessible lift.
- Install a new kitchen.
- Undertake alterations to install new bathroom amenities.
- Raise the floor level of the outside terraces with floating pavers to enable access to the terraces. Install a new frameless glass balustrade on the terraces to meet BCA requirements.
- Creation of a one bedroom accommodation for the on site manager

*General refurbishment across both levels:*

- Remove carpet and restored floor boards throughout.
- Replace existing non-heritage light fittings with a combination of suspended and wall hung light fittings.
- Restore fireplaces and install gas fire heaters.
- Remove all wall mounted AC units. Relocate skirting mounted electrical outlets to walls.

It is proposed to carry out alterations to Building CC3 as follows:

- Remove the bi-fold doors in the openings in the eastern elevation and replace with double doors for accessible access.
- Carry out stone work repairs as required.
- Remove internal walls and fitout as marked on drawings.
- Install new floor finish and install an operable wall.

#### **4.5.2. New Building**

Construction of a new multi purpose accommodation, teaching, dining, leisure building as follows:

*At lower ground:*

- 27 basement car parking spaces.
- Plant, store rooms and services including laundry.
- Staff lockers and amenities.
- Gymnasium and syndicate space with access to the eastern portion of the site and pathway.

*At the ground floor:*

- Waste, store room, plant spaces, amenities.
- Staff room, reception/venue office.
- Three flexible teaching rooms.
- Commercial kitchen, dining, lounge area and catering support.

*At Level 1:*

- 22 accommodation rooms including 1 accessible bedroom.
- Cleaner's room, services and store.

*At Level 2:*

- 19 accommodation rooms including 1 accessible bedroom.
- Comms room, services and store.

*At Level 3:*

- 11 accommodation rooms including 1 accessible bedroom.
- Comms room, services and store.
- Non trafficable landscaped roof.

## 4.6. OPERATION AND MANAGEMENT

The proposal is primarily for the AGSM MBA (Executive) program for intensive residential programs. The Cliffbrook Campus will accommodate AGSM participants in purpose built accommodation with provision of teaching and learning facilities.

The key objective of the project is to redevelop the site to allow for the relocation of existing program from the UNSW Kensington Campus to enable a new state of the art facility expected of a leading educational facility for post graduate business studies.

The Cliffbrook Campus will provide space for the following uses:

- Residential accommodation for course participants.
- Teaching (lectures, discussions, tutorials).
- Venues for UNSW conferences and seminars.
- Catering services to support residence and UNSW conference programs.
- Common spaces for participant use.
- Gymnasium for participant use.
- Passive recreational activities for participant use.

The space will operate as a residential education facility primarily for the AGSM business school programs with onsite catering provided by an external supplier. It is also expected that the facility will be used for UNSW Faculty Away days and University related seminars as well as seasonal short-stay academic and visitor accommodation when not in use by the AGSM programs.

The AGSM program runs a variety of residential courses with some being held over a weekend while others are longer and run over a 3-5 day weekday period. The typical operation is that participants arrive at the start of the course and then stay on site till the end of the course.

Residential courses are not held consistently throughout the year and the Campus may be vacant of participants and teaching staff for some period of time.

The proposed hours of operations are to be dictated by the venue's usage, based on the following:

### AGSM Programs:

Classes will typically run Monday to Sunday between 8am and 5pm daily. Some evening classes will resume after meals until 9pm.

### UNSW Seminars:

Monday – Sunday: 8:00am – 10:00pm

### On site management:

Ground floor windows to the eastern parts of the building to the breakout lounge and the lower ground floor doors to the gym and syndicate rooms are to be shut at 10pm.

All external areas surrounding the immediate buildings to the mid external fence will not be in use after 10pm. The eastern recreational land will not be in use after 9pm.

An on-site manager is on site at all hours and throughout the year.

### Maintenance, cleaning and other back of house operations:

Monday – Sunday: 5.00am – 10:00pm.

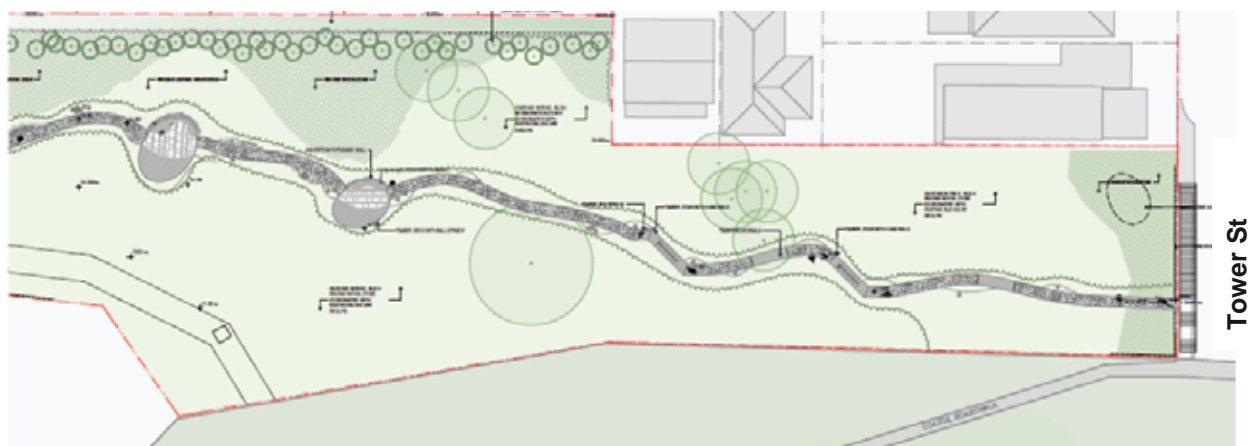
An Operational Management Plan prepared by UNSW is included at **Appendix U**. The plan outlines the intended use of the campus in more detail to facilitate the AGSM and other UNSW events.

## 4.7. LANDSCAPING

Landscape Plans and Design Statement have been prepared by FJMT and are included at **Appendix D**. The landscape concept sets out to provide a stimulating environment responsive to the scale of the development and comprises the following key components:

- Construction of a 1.5m pathway from the lower ground floor of the new building through to the rear/east of the site. The pathway is gravel with timber edging and incorporates timber boardwalk and timber stairs.
- Creation of 'Coastal Nooks' comprised of timber decking, sandstone retaining walls and custom seating elements along the pathway. These informal spaces can be used by site participants.
- New landscaping on the eastern part of the site (existing recreational zoned land), including construction of new fencing and ongoing bush regeneration.
- Regeneration and improvements in the Cliffbrook House gardens.
- Creation of a meeting place to the rear of Cliffbrook House and central to the site.
- Relocation of the southern stone pillar at the main entrance to widen the entrance and install a new palisade fence.
- Removing the existing gates and installing a mechanised entry.
- Alterations to the driveway and parking on site.
- Constructing a new substation inside the gates on the northern side of the driveway.
- Constructing a new mechanical plant in the north western corner of the site.
- Alterations to the landscaping, including the construction of new retaining walls, removal of vegetation, relocation of trees and new planting within the western part of the site.
- Constructing a gravel private path for participants to gain access to/from the site at the Tower Street stairs via a security swipe card.

Figure 14 – Proposed Walkway



Source: FJMT

Figure 15 – Proposed Landscape Design Principles



Source: FJMT

An Arboricultural Impact Assessment for the proposed development was undertaken by Ents Tree Consulting (**Appendix N**) and assessed all trees that are on site as well as nominated trees that are adjoining the site which may be impacted upon by the works or the associated activities. The landscape plans denote those trees to be removed. The recommendations of the Arboricultural assessment are contained in the Mitigation Measures in Section 8.

## 4.8. VEHICLE ACCESS AND PARKING

Access to the campus will be maintained through the existing access point at the south-west of the site. This will provide access to ten at grade car parking spaces (including two accessible spaces on the western boundary) and to one level of basement parking. Basement car parking will accommodate 27 spaces in half a level of basement parking. This lower basement level will also accommodate storage areas, laundry, end of trip facilities, additional syndicate space and a gymnasium space.

The proposal will provide five bicycle rails (10 spaces) provided in the north western corner of the site, at the rear of Cliffbrook House curtilage.

## 4.9. ELECTRICAL INFRASTRUCTURE

Based on preliminary load calculations, the new development will require a three phase power supply of 639Amps (approx. 440kVA). A formal application for connection has been lodged with Ausgrid and a Design Information Package (DIP) has been received to enable the commencement of the Level 3 infrastructure/substation design.

The substation will be located along the frontage along Beach Street. The new substation shall be an Ausgrid type L-type pad mount substation serviced and maintained by Ausgrid. The substation will obtain a high voltage feed from the HV feed running along Clovelly Street. An 800amps 3 phase LV supply will be dedicated for the project.

## 4.10. BCA, ACCESS AND FIRE SAFETY

An accessibility review statement has been prepared by Accessibility Solutions (NSW) Pty Ltd (**Appendix X**) and has reviewed the proposed drawings against the applicable legislation and standards relating to access for people with disabilities. Overall the report reviews the categories of external pathway links and building entrances, parking, internal accessways, lifts, accessible sanitary facilities, identification (braille and tactile

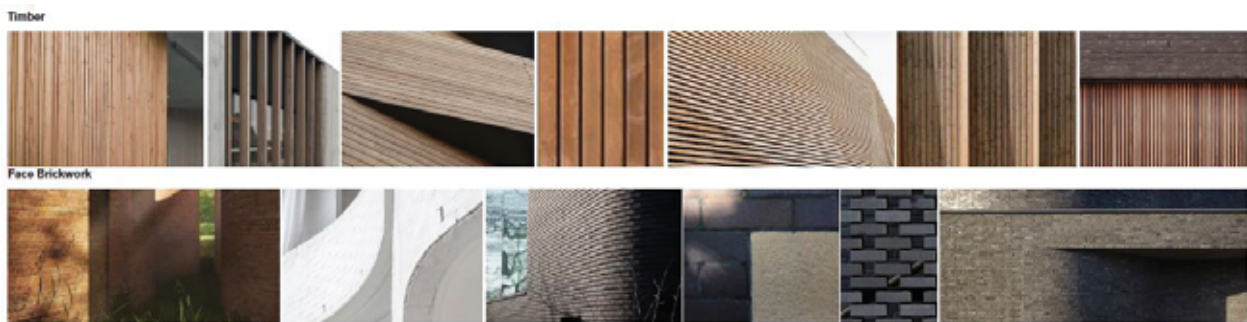
signage), hearing augmentation, tactile ground surface indicators, glazing marking and luminance contrast and concludes in all areas that the proposed development is compliant or capable of complying.

RED Fire Engineers (**Appendix P**) are of the opinion that the Deemed to Satisfy departures are able to be addressed as Performance Solutions, which would demonstrate compliance with the relevant Performance Requirements of the BCA without major changes to the proposed design. This is based on the provision of an automatic sprinkler system throughout the building.

## 4.11. MATERIALS AND FINISHES

The proposed materials have been selected to complement the materiality of the natural landscape, the sandstone escarpments and the materials of Cliffbrook House. A schedule is provided below.

Figure 16 – Proposed Materials and Finishes



Picture 11 – Proposed use of Timber and Facebrick Work Finishes

Source: FJMT



Picture 12 – Proposed use of Reinforced Concrete and Plastic Finishes

Source: FJMT

## 5. STATUTORY PLANNING CONTEXT

This section provides an assessment of the relevant statutory provisions applying to the site contained in the following environmental planning instruments:

- *Environmental Planning and Assessment Act 1979*;
- *State Environmental Planning Policy (State and Regional Development) 2011*;
- *State Environmental Planning Policy (Infrastructure) 2007*
- *State Environmental Planning Policy No. 55 – Remediation of Land*;
- *State Environmental Planning Policy No.71 – Coastal Protection*;
- *Draft State Environmental Planning Policy – Coastal Management*; and
- *Randwick Local Environmental Plan 2012*.

Relevant strategic planning considerations are detailed below.

### 5.1. ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

#### 5.1.1. Objects of the Act

The SEARs require that the consistency of the project with the objects of the *Environmental Planning and Assessment Act 1979* (EP&A Act) be considered. The SSD Application is consistent with the objects set out in Clause 5, for the following reasons:

- It provides a redevelopment of the existing University use operating on site which is consistent with the land zoning. It therefore contributes to the proper development of site in accordance with the objective of the zone.
- It provides for the orderly and co-ordinated use of the land by revitalising an underutilised site with a high quality development which is in keeping with surrounding developments and will provide a better quality environment.
- It provides an ecologically sustainable development with excellent water and energy saving performance.
- There will be minimal environmental impacts arising from the construction and operation of the development, and none that cannot be managed.

#### 5.1.2. Section 94 Contributions

Under Section 94 of the Environmental Planning and Assessment Act 1979 a consent authority can impose contributions where development is likely to require the provision of or increase the demand for public amenities and public services within the area.

The relevant contributions plan is *Randwick City Council Section 94A Development Contributions Plan 2015 (Randwick S94A Plan)*, which applies to the site. A 1% levy on the total CIV of the proposed development is payable unless it is exempt, as per Section 13 of the Randwick S94A Plan. Whilst the proposed development is not automatically exempt from the levies of the Randwick S94A Plan, there is merit for the proposal to be exempt from contribution payments, for the following reasons:

- The proposal will refurbish and improve the existing educational establishment onsite;
- The proposal is in the public interest; and
- The proposal will not significantly increase the demand for services and facilities levied under the Randwick S94A Plan.

We submit that the proposed development is exempt from payment of contributions given the proposal is undertaken by University of New South Wales and as detailed in this Section.

Under the Randwick Section 94A Contributions Plan, exemptions from a levy may be considered by the relevant consent authority for the following development:

- Places of worship, public hospitals, police stations, fire stations and other emergency services.
- Works proposed to be undertaken for charitable purposes, or on behalf of a not for profit charity (as defined by the ATO), but only in cases where the development is of a small scale, for example a retail outlet operated by the Salvation Army, St Vincent de Paul or similar organisations and where the Council considers that there will not be an increase in the demand for public works or infrastructure as a result of the development which would warrant the payment of a Section 94A levy.
- Seniors housing as defined in the State Environmental Planning Policy (Seniors Living) 2004 which is undertaken by a social housing provider.
- Applications submitted by or on behalf of Randwick Council.

The payment of the contributions is discretionary and the Minister for Planning, as the consent authority, has the ability to consider the appropriateness of imposing a condition relating to such. Whilst developments by the Crown are not automatically exempt from payments under this Section 94A Plan, development that in the opinion of the consent authority does not increase the demand for the categories of public facilities and services addressed by the Plan should warrant a merit based exemption. Our justification for the exemption of contributions as relevant to the current proposal include that the University:

- Is a not-for-profit educational institution;
- Is a registered charity with the Australian Tax Office;
- Has Crown and Public Authority status;
- Is an education facility;
- Provides teaching and research functions that are inherently of a public nature;
- Is exempt from contributions under the provisions of Department of Planning Circular D6; and
- Should be afforded a consistent assessment approach from the Department.

Further the proposed development does not result in any additional students or staff from that currently occurring on the Kensington Campus as the proposal is largely transferring a similar facility that occupies the main campus to the Cliffbrook site.

The University is a business providing education on a fee-for-service basis. UNSW is a not-for-profit educational institution with primary functions of teaching and research.

For the above reasons, we submit that the proposed development is exempt from payment of contributions.

## **5.2. STATE ENVIRONMENTAL PLANNING POLICY (STATE & REGIONAL DEVELOPMENT) 2011**

Pursuant to Schedule 1 of *State Environmental Planning Policy (State and Regional Development) 2011*, development for the purposes of an *educational establishment* with a CIV of more than \$30 million is identified as SSD. As the proposed development will have a CIV of \$30,964,993.00 (excluding GST) (**Appendix Z**) an SSD application is submitted to DPE for determination by the Minister for Planning or his delegate.

## **5.3. STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007**

Under Clause 28 of the State Environmental Planning Policy (Infrastructure) 2007 (ISEPP), development for educational establishments may be carried out with consent on land in a prescribed zone. The SP2 Infrastructure zone is a prescribed zone under Clause 27, however the RE 2 Private Recreation zone is not. As detailed in Section 5.7.1, educational establishments are permitted with consent in the RE2 Private Recreation zone pursuant to Clause 28(2)(b) of State Environmental Planning Policy (Infrastructure) 2007. Additional discussion on the proposal's permissibility is contained in Section 5.7.1.

## 5.4. STATE ENVIRONMENTAL PLANNING POLICY NO.55 – REMEDIATION OF LAND

*State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55)* is the primary environmental planning instrument guiding the remediation of contaminated land in NSW. SEPP 55 requires the consent authority to consider whether the land is contaminated, and if so, whether the land will be remediated before the land is used for the intended purpose. A Preliminary Site Investigation (PSI) report prepared by JBS&G forms an attachment to the Pells Sullivan Meynink geotechnical report. The PSI concludes,

*“...there is no evidence of historical activities resulting from gross or widespread contamination of the site. However asbestos was detected by laboratory analysis of shallow/surface soils at two locations, including one within the berm along the southern boundary where the ACM concentration exceeds the adopted health based criterion. It is considered the presence of asbestos in soils at this location is unlikely to pose an exposure risk under normal site use, provided the soils remain covered and not disturbed”.*

An additional Contamination Assessment was undertaken by JBS&G, dated 20 October 2016, that concluded:

- *The asbestos in fill soils at the site does not pose a current health risk provided the current grass cover is maintained. If the material was to be exposed/excavated there is the potential for release of asbestos fibres that could pose a risk to the users of the site.*
- *If management of the material in-situ is preferred, then an Asbestos Management Plan detailing the contamination and the controls that need to be in place for normal site use. It is noted that additionally this material will need to be placed on an asbestos register for the site.*
- *If excavation of the material is preferred, then a Remedial Action Plan will need to be developed to guide removal and validation. As noted, this approach would require disturbance of soil across a substantial area in close proximity to residential properties.*

*It is recommended that the asbestos in soil impact be managed without disturbance by developing and implementing a site-specific Asbestos Management Plan, and inclusion of the asbestos in soil locations on a site asbestos register.*

Mitigation measures are included in Section 8 which include a site specific Asbestos Management Plan to ensure the proper management requirements for the asbestos in the soil. Also refer to **Appendix T** which contains the JBS&G assessments.

## 5.5. STATE ENVIRONMENTAL PLANNING POLICY NO.71 – COASTAL PROTECTION

*State Environmental Planning Policy No. 71 - Coastal Protection (SEPP 71)* applies to land within the NSW Coastal Zone. The policy seeks to protect the unique features of the NSW coastal environment by ensuring development in the NSW coastal zone is appropriate and suitably located, there is a consistent and strategic approach to coastal planning and management and there is a clear assessment framework for development proposed within the Coastal Zone.

Clause 8 of the SEPP identifies the matters for consideration for Council in determining an application. The matters and a response are provided below.

Table 6 – Clause 8 of the SEPP

Requirement	Response
a) <i>The aims of this Policy set out in clause 2</i>	The proposal protects the natural and visual quality of the coast and achieves the aims of the Policy by addressing the matters for consideration below.

Requirement	Response
<p>b) <i>existing public access to and along the coastal foreshore for pedestrians or persons with a disability should be retained and, where possible, public access to and along the coastal foreshore for pedestrians or persons with a disability should be improved</i></p>	<p>There will be no impact on the existing coastal walk adjoining the rear of the site along Tower Street that leads to Gordons Bay.</p>
<p>c) <i>opportunities to provide new public access to and along the coastal foreshore for pedestrians or persons with a disability</i></p>	<p>There is no formal public access onto the site currently. There are no opportunities to provide public access as the site is required to be secure to ensure appropriate management and security for participants in accordance with UNSW policy.</p> <p>A gravel private path is proposed for participants and are able to gain access to/from the site via a security swipe card.</p>
<p>d) <i>the suitability of development given its type, location and design and its relationship with the surrounding area</i></p>	<p>The majority of the development is contained in the western lot of the site leaving the east and rear of the site vacant and for recreational use, as currently occurring. Lightweight decking and unobtrusive coastal nook structures are proposed to the east.</p>
<p>e) <i>any detrimental impact that development may have on the amenity of the coastal foreshore, including any significant overshadowing of the coastal foreshore and any significant loss of views from a public place to the coastal foreshore</i></p>	<p>The application includes a Visual Impact Assessment (<b>Appendix E</b>). On balance an appropriate amount of view sharing as a result of the new building. There will be no overshadowing of the coastal foreshore as development is contained to the west of the site only.</p>
<p>f) <i>the scenic qualities of the New South Wales coast, and means to protect and improve these qualities</i></p>	<p>The scenic quality of the coast will be enhanced with the restoration and re-use of building CC1, Cliffbrook House.</p> <p>The majority of the development is contained in the western lot of the site and the recreational area is not proposed to be developed however will be enhanced through bush regeneration and additional planting.</p>
<p>g) <i>measures to conserve animals (within the meaning of the Threatened Species Conservation Act 1995) and plants (within the meaning of that Act), and their habitats</i></p>	<p>The application includes a Biodiversity Assessment Report (<b>Appendix L</b>). The report concludes that “No flora species of conservation significance listed under either “Rare or Threatened Australian Plants”, TSC Act or EPBC Act were confirmed on or immediately adjacent the subject site. The BMP includes specific recommendations for the pre-construction,</p>

Requirement	Response
	<p><i>construction and post-construction stages to ensure protection of existing vegetation onsite”.</i></p> <p>No species will be impacted by the proposed development.</p>
<p><i>h) measures to conserve fish (within the meaning of Part 7A of the Fisheries Management Act 1994) and marine vegetation (within the meaning of that Part), and their habitats</i></p>	<p>No fish species will be impacted by the proposal.</p>
<p><i>i) existing wildlife corridors and the impact of development on these corridors</i></p>	<p>The application includes a Biodiversity Assessment Report (<b>Appendix L</b>). As per above, no species will be adversely impacted by the development. Revegetation and ongoing bush regeneration will occur on the site in the eastern portion.</p>
<p><i>j) the likely impact of coastal processes and coastal hazards on development and any likely impacts of development on coastal processes and coastal hazards</i></p>	<p>The application includes an assessment of the potential effects of coastal processes on the development, which was prepared by FJMT (<b>Appendix V</b>).</p> <p>The assessment notes that the map indicates a possible sea level of rise of 2.2m AHD (including a nominal highest astronomical tide value) for the Gordons Bay area. The assessment states;</p> <p><i>Given the UNSW Cliffbrook development is located at RL 27.00m AHD and higher, the predicted sea level rise and the risks associated with it are not applicable to the project site.</i></p>
<p><i>k) measures to reduce the potential for conflict between land-based and water-based coastal activities</i></p>	<p>As the site is well above the foreshore and set back from the cliff edge towards the road, there will be no conflict between land and water based activities.</p>
<p><i>l) measures to protect the cultural places, values, customs, beliefs and traditional knowledge of Aboriginals</i></p>	<p>The application is accompanied by a Historical Archaeological Assessment (HAA) report (<b>Appendix I</b>) and mitigation measures have been included to ensure appropriate documentation of any relics encountered onsite. All local aboriginal communities were notified of the proposal and invited to register their interest in the project. All registered parties were then sent project information and a proposed assessment methodology for comment. It should be noted, that the current HAA report is submitted prior to the completion of the Aboriginal community consultation process. As further consultation</p>

Requirement	Response
	occurs, responses to the information and methodology will be included in an Addendum to the current HAA and submitted to DPE on receipt of all comments.
m) likely impacts of development on the water quality of coastal waterbodies	Stormwater management systems are proposed that will ensure the water quality of the coast is not impacted as evident in the TTW civil documentation ( <b>Appendix S</b> ).
n) the conservation and preservation of items of heritage, archaeological or historic significance	The proposal restores the heritage item to conserve and preserve the significance of the area.
o) only in cases in which a Council prepares a draft local environmental plan that applies to land to which this Policy applies, the means to encourage compact towns and cities	This is not relevant to the proposal.
p) only in cases in which a development application in relation to proposed development is determined:  (i) the cumulative impacts of the proposed development on the environment, and  (ii) measures to ensure that water and energy usage by the proposed development is efficient.	The proposal has considered all likely environmental impacts associated with the proposal and the cumulative impact. The supporting reports and mitigation measures will ensure there is no adverse impact on the environment.

## 5.6. DRAFT STATE ENVIRONMENTAL PLANNING POLICY (COASTAL MANAGEMENT) 2016

The draft Coastal SEPP, developed by the DPE and the Office of Environment and Heritage, was on public exhibition in December 2016. The draft SEPP will consolidate and update the provisions of SEPP 14 (Coastal Wetlands), SEPP 26 (Littoral Rainforests) and SEPP 71 (Coastal Protection). The EIS will assess the proposal against the draft Coastal SEPP pursuant to the provisions of Clause 79C(1)(a)(ii) of the EP&A Act. The objectives of the proposed Coastal Management SEPP are to:

- Promote an integrated and co-ordinated approach to coastal planning and management, consistent with the objects of the proposed Coastal Management Act;
- Map the four coastal management areas which comprise the NSW coastal zone, consistent with the definitions and requirements of the proposed Coastal Management Act;
- Establish a framework for land use planning to guide decision-making for the coast; and
- Manage development in coastal areas and protect the environmental assets of the coast.

In the same way the proposal satisfies the matters for consideration in the Coastal SEPP, the objectives of the new reforms are also satisfied.

## 5.7. RANDWICK LOCAL ENVIRONMENTAL PLAN 2012

This section of the EIS addresses key compliance considerations in the *Randwick Local Environmental Plan (LEP) 2012*, including:

- Land Use Zoning, Objectives and Permissibility (Clause 2.3).
- Building height (Clause 4.3).
- Floor Space Ratio (Clause 4.4).
- Heritage Conservation (Clause 5.10).
- Foreshore Building Line (Clause 6.6).
- Foreshore Scenic Protection Area (Clause 6.7).
- Preparation of a Site Specific DCP (Clause 6.12).

### 5.7.1. Land Use Zoning and Permissibility

Under the provisions of RLEP 2012, the front and western section of the site is zoned SP2 Infrastructure (Education Establishment) and the rear and eastern section of the site is zoned RE2 – Private Recreation (Figure 17 – RLEP Land Zoning Map below). An extract of the land use zoning table is below.

<b>SP2 INFRASTRUCTURE (EDUCATIONAL ESTABLISHMENT)</b>	
<b>Permitted without consent</b>	<i>Recreation areas.</i>
<b>Permitted with consent</b>	<i>Environmental protection works; Flood mitigation works; Roads; Educational establishment, including any development that is ordinarily incidental or ancillary to development for that purpose.</i>
<b>Prohibited</b>	<i>Any development not specified above.</i>
<b>RE2 PRIVATE RECREATION</b>	
<b>Permitted without consent</b>	<i>Environmental protection works.</i>
<b>Permitted with consent</b>	<i>Animal boarding or training establishments; Building identification signs; Business identification signs; Car parks; Child care centres; Community facilities; Environmental facilities; Flood mitigation works; Helipads; Horticulture; Information and education facilities; Kiosks; Markets; Passenger transport facilities; Plant nurseries; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Respite day care centres; Restaurants or cafes; Roads; Take away food and drink premises.</i>
<b>Prohibited</b>	<i>Any development not specified above.</i>

Figure 17 – RLEP Land Zoning Map



The zone objectives and compatibility with the zoning are provided in the table below:

<b>SP2 INFRASTRUCTURE (EDUCATIONAL ESTABLISHMENT)</b>	
<b>Zone Objectives</b>	<b>Response</b>
<ul style="list-style-type: none"> <li>To provide for infrastructure and related uses.</li> <li>To prevent development that is not compatible with or that may detract from the provision of infrastructure.</li> <li>To facilitate development that will not adversely affect the amenity of nearby and adjoining development.</li> <li>To protect and provide for land used for community purposes.</li> </ul>	<p>In response to the zone objectives, the proposal:</p> <ul style="list-style-type: none"> <li>Sees the continuation of the existing University land use operating on site, which is essential social infrastructure</li> <li>Has considered the potential amenity impacts of the surrounding development</li> <li>Responds to the changing requirements of the tertiary education sector and as such responding to the needs of the broader community</li> </ul>
<b>RE2 PRIVATE RECREATION</b>	
<b>Zone Objectives</b>	<b>Response</b>
<ul style="list-style-type: none"> <li>To enable land to be used for private open space or recreational purposes.</li> <li>To provide a range of recreational settings and activities and compatible land uses.</li> <li>To protect and enhance the natural environment for recreational purposes.</li> </ul>	<p>In response to the zone objectives, the proposal:</p> <ul style="list-style-type: none"> <li>Is largely restricted to the western portion of the site, with the exception of the pathway and landscaping and as detailed in the landscape plans.</li> <li>Provides only private recreational purposes on all land zoned RE2</li> </ul>

<ul style="list-style-type: none"> <li>To protect, manage and restore areas with high biodiversity, ecological and aesthetic values, including buffer areas and habitat corridors.</li> </ul>	<ul style="list-style-type: none"> <li>Includes bush regeneration, planting and general improvements</li> <li>Includes formalising a low impact pedestrian path with lightweight timber decking and coastal nooks.</li> </ul>
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In relation to the permissibility of the western portion of the site, the SP2 zoning indicates 'educational establishment' as the purpose on the zoning map. The SP2 land use table permits development with consent for, "the purpose shown on the Land Zoning Map, including any development that is ordinarily incidental or ancillary to development for that purpose".

The proposal is for the use of the site for University purposes to facilitate the AGSM program providing purpose built accommodation and teaching /learning facilities. Accordingly, the proposal is defined as an 'educational establishment', with the definition in RLEP as follows:

**educational establishment** means a building or place used for education (including teaching), being:

(a) a school, or

(b) a tertiary institution, including a university or a TAFE establishment, that provides formal education and is constituted by or under an Act.

Educational establishments are permitted with consent in the RE2 Private Recreation zone pursuant to Clause 28(2)(b) of *State Environmental Planning Policy (Infrastructure) 2007* which states,

(2) Development for any of the following purposes may be carried out by any person with consent on any of the following land:

(a) development for the purpose of educational establishments—on land on which there is an existing educational establishment,

(b) development for the purpose of the expansion of existing educational establishments—on land adjacent to the existing educational establishment.

The use of the RE2 zoned land for University purposes is permissible as the site is an established and operating educational establishment and the RE2 zoned land is adjacent to this educational purpose on the SP2 zoned land.

Overall, the proposed development is permitted under these provisions as it comprises teaching and learning facilities and associated accommodation for students of the UNSW AGSM. The proposal is appropriately defined as an educational establishment.

The rear of the site will be used as a private recreation area for the sole use of the adjacent existing University use and as such is permissible with consent.

## 5.7.2. Height of Buildings

Clause 4.3 of the Randwick LEP 2012 states that the height of a building on any land is not to exceed the maximum shown in the Height of Buildings Map. There is no height limit included in RLEP for the subject site (refer **Figure 18**). The development proposes a maximum building heights of:

- 8.72m to level 3 (the majority of the built form).
- 11.64m to the top of the level 4 roof.
- 15.05m to the plant room.

A detailed Visual Impact Assessment has been provided in **Appendix E** and further detailed in **Section 5.7.9** below and commentary on the proposed built form is contained in **Section 7.1**.

Figure 18 – RLEP 2012 Height of Building Map



### 5.7.3. Floor Space Ratio

Clause 4.4 of the Randwick LEP 2012 states that the maximum floor space ratio for a building on any land is not to exceed the maximum shown in the Floor Space Ratio Map. No FSR limit has been included in RLEP for the subject site (refer **Figure 19**). The development proposes 3,933sqm of gross floor area and an FSR of 0.3:1 and is considered an appropriate scale of development for the site. The potential impacts that are derived from the building floor space are discussed further in Section 7 of this EIS and are considered to be satisfactory in the site's context.

Figure 19 – RLEP 2012 – FSR Map



#### 5.7.4. Heritage

The site is listed as heritage item no. 153 within Schedule 5 of Randwick LEP 2013 (see **Figure 20** below) and is located adjacent to heritage item no i88 – *Two Storey Arts and Crafts House, No. 2 Gordon Avenue*.

The site is also listed on the State Heritage Register under the *NSW Heritage Act 1977*. The application is accompanied by a Heritage Impact Statement (HIS) and a Conservation Management Plan (CMP) both prepared by Weir Phillips Heritage attached at **Appendix J** and **Appendix H** respectively. The Heritage Impact statement describes the significance as follows:

*“The UNSW Cliffbrook Campus, No. 45-51 Beach Street, Coogee, has historic and aesthetic significance arising out of the presence of a fine example of a large Interwar Free Classical Style dwelling on a large site with some significant planting. Erected c.1922, Cliffbrook (Building CC1), is a relatively late example of this type of building within the Randwick area and a rare example of a private dwelling in this style in Sydney. The style and craftsmanship of the dwelling reflects the social standing of the man who commissioned it, Sir Dennis Miller, the first Chairman of the Commonwealth Bank of Australia. Building CC3 has significance as an associated outbuilding. Erected c.1922, it is an early example of a garage. The nineteenth century sandstone walls on the boundaries of Beach and Battery Streets have historic and aesthetic significance as remnants of the earlier Cliffbrook mansion estate and for their contribution to the streetscape.*

*The site has historic significance as the former headquarters of the Australian Atomic Energy Commission (AAEC). Between 1953 and 1981, when the AAEC occupied the site, it played a role in the development of atomic science in Australia. It is noted, however, given its administrative uses, that the site has less significance in this regard than the Lucas Heights Research Establishment, where the primary facilities of the*

*AAEC were located. The buildings erected by the AAEC- Buildings CC2 and CC4- do not have aesthetic or technical significance.*

*The site has developing significance for its ongoing association with the University of NSW, one of Australia's leading Universities".*

Figure 20 – RLEP Heritage Map



Source: Urbis

Overall, Cliffbrook represents “a fine example of an Interwar Free Classical Style mansion on a large site”, which is “a rare example of a private mansion in this style in Sydney”.

### 5.7.5. Development Within the Coastal Zone

The objectives of Clause 5.5 are as follows:

- (a) to provide for the protection of the coastal environment of the State for the benefit of both present and future generations through promoting the principles of ecologically sustainable development,
- (b) to implement the principles in the NSW Coastal Policy.

Section 5.4 above provides a detailed assessment of the proposal against *State Environmental Planning Policy No. 71 - Coastal Protection (SEPP 71)*. The assessment demonstrates that the proposed development complies with the principles of the policy.

In relation to Clause 5.5(3) of RLEP 2012, the following table summarises the provision and response.

Table 7 – Clause 5.5.3 of RLEP

Provision	Response
(a) the proposed development will not impede or diminish, where practicable, the physical, land-based right of access of the public to or along the coastal foreshore,	The site will not impact on any existing public access way to the foreshore.

Provision	Response
<p><i>(b) if effluent from the development is disposed of by a non-reticulated system, it will not have a negative effect on the water quality of the sea, or any beach, estuary, coastal lake, coastal creek or other similar body of water, or a rock platform, and</i></p>	<p>The sewer drainage from the new development will discharge by gravity to the existing 225mm Sydney Water sewer main located adjacent to No. 10 Battery Street.</p> <p>The existing buildings discharge to the existing 225mm Sydney Water sewer main located in Beach Street.</p>
<p><i>(c) the proposed development will not discharge untreated stormwater into the sea, or any beach, estuary, coastal lake, coastal creek or other similar body of water, or a rock platform, and</i></p>	<p>A Stormwater Management Plan is included at <b>Appendix S</b> the recommended measures confirm that no untreated stormwater enters the sea from the proposed development.</p>
<p><i>(d) the proposed development will not:</i></p> <p><i>(i) be significantly affected by coastal hazards, or</i></p> <p><i>(ii) have a significant impact on coastal hazards, or</i></p> <p><i>(iii) increase the risk of coastal hazards in relation to any other land.</i></p>	<p>FJMT have prepared a Coastal Effects Assessment (<b>Appendix V</b>). The report states;</p> <p><i>'Given the UNSW Cliffbrook development is located at RL 27.00m AHD and higher, the predicted sea level rise and the risks associated with it are not applicable to the project site.'</i></p>

Accordingly, the proposal complies with Clause 5.5 of RLEP 2012.

### 5.7.6. Preservation of Trees or Vegetation

The objective of this clause is to preserve the amenity of the area, including biodiversity values, through the preservation of trees and other vegetation. An Arborist Report is included at **Appendix N** and a Biodiversity Assessment and Management Plan are included at **Appendix L** and **Appendix M**.

### 5.7.7. Earthworks

The arborist report includes recommendations for tree removal and retention predominantly to the west of the site. It is noted that the existing native vegetation to the rear of the site will mostly be retained and a Biodiversity Management Plan will ensure the ongoing regeneration and management of the area. The proposal meets the objectives of Clause 5.9.

Clause 6.2 aims to ensure that earthworks *'will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.'*

The subject proposal is accompanied by a Geotechnical Investigation prepared by Pells Sullivan Maynink (**Appendix T**), a Historical Archaeological Assessment (European Heritage) (**Appendix I**) prepared by MDCA and an Aboriginal Cultural Heritage Assessment Report (**Appendix K**). The supporting documentation demonstrates that the proposed earthworks required to facilitate the development can be carried out without detrimental impact as above.

### 5.7.8. Flood Planning

Clause 6.3 provides for flood planning controls within the LGA. The clause aims to minimise flood risk to life and property by providing for suitable compatible land uses on flood effected sites. The subject site is not identified on the RLEP flood planning map. Notwithstanding the site is effected by an overland flowpath and a Flood Study prepared by Kustom Engineering is included at **Appendix R**. The report provides recommendations for the suitable development of the site.

### 5.7.9. Foreshore Building Line and Foreshore Scenic Protection Area

Clauses 6.6 and 6.7 of Randwick LEP outline the provisions relating to the protection of the foreshore area. Clause 6.6 relates to the foreshore building line and states that;

(2) *Development consent must not be granted for development on land in the foreshore area except for the following purposes:*

*the extension, alteration or rebuilding of an existing building wholly or partly in the foreshore area,*

*(b) the erection of a building in the foreshore area, if the levels, depth or other exceptional features of the site make it appropriate to do so,*

*(c) boat sheds, sea retaining walls, wharves, slipways, jetties, waterway access stairs, swimming pools, fences, cycleways, walking trails, picnic facilities or other recreation facilities (outdoors).*

Figure 21 – Randwick LEP – Foreshore Building Line and Foreshore Area



As illustrated in **Figure 21** above, only a small portion of the eastern section of the site is within the foreshore building line and foreshore area. With the exception of the proposed private walking path, timber decking, low lighting and fence there are no structures proposed within the foreshore building area. The proposal satisfies the requirements of Clause 6.6.

Clause 6.7 relates to the protection of the foreshore scenic area and states that;

(3) *Development consent must not be granted for development on land to which this clause applies unless the consent authority is satisfied that the development:*

*(a) is located and designed to minimise its visual impact on public areas of the coastline, including views to and from the coast, foreshore reserves, open space and public areas, and*

*(b) contributes to the scenic quality of the coastal foreshore*

The application includes a Visual Impact Analysis prepared by GMU (see **Appendix E**). The report includes an assessment of the views to and from the site from the foreshore scenic area. The report concludes that;

*“Taking into consideration the site’s context, desired future character and the findings of the above assessment, it is GMU’s opinion that the proposed development in general is acceptable.*

A full assessment of the View Impact Analysis is included at **Section 7.3** below.

### **5.7.10. Design Excellence and Preparation of Site Specific DCP**

Clause 6.11 – Design Excellence and Clause 6.12 – ‘Development requiring the preparation of a development control plan’ applies to sites in Randwick LGA with an area of at least 10,000sqm. The subject site has an area of approximately 11,536sqm, and would otherwise require the preparation of a DCP or staged development application.

In lieu of this requirement, as part of a SSD, the EIS satisfies these provisions as:

- Much of the site area is landscaped, private recreation land with the rear lot amounting to 4,878sqm in size. For the purposes of quantifying the new development, apart from the ancillary development of the pathway, timber decking, landscaping, lighting and small structures in the eastern portion, the western lot is 6,681sqm and is below the site specific DCP threshold in Clause 6.12.
- The proposal provides a detailed site and contextual analysis within the accompanying Architectural Design Statement and drawings demonstrating how the final design has evolved creating appropriate building envelopes, and then ultimately a preferred detailed design. This methodology has ensured the objectives of the Clauses 6.11 and 6.12 are achieved.
- There has been a detailed assessment competitive tender process held by UNSW to determine the successful architect, FJMT. The architect is a top tier architect who has extensively been working on the project for over 12 months. The design has evolved over time responsive to visual impact assessment and ongoing consultation with surrounding residents. This involved process has adequately considered the considerations in Clause 6.12(4) and demonstrates that the proposal is:
  - Of high standard of architectural design appropriate to the surrounding context and location.
  - Improves a current underutilised site and represents a built form and external appearance compatible to the quality and amenity of the public domain.
  - Responsive to the environmental and built characteristics of the site including large recreational space, state heritage listed items and siting the new building that results in an acceptable relationship with other buildings on the same site and on neighbouring sites.
  - Achieves the design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security and resource, energy and water efficiency and is demonstrated in the architectural report and other accompanying reports.
  - Response to the view sharing and has involved multiple design reiterations in order to achieve appropriate view corridors to the ocean and to Cliffbrook House.
- The preparation of a DCP would provide no additional benefits and the proposal, as submitted, achieves the objectives of the clauses.

# 6. STRATEGIC PLANS AND POLICIES

## 6.1. OVERVIEW

This section provides an assessment of the relevant planning provisions, goals and strategic planning objectives applicable to the subject site and proposed development.

In accordance with SEARs, the following strategic planning policies have been considered in the assessment of the proposal:

- NSW State Priorities.
- Rebuilding NSW – State Infrastructure Strategy 2014.
- A Plan for Growing Sydney.
- NSW Long Term Transport Master Plan 2012.
- Sydney’s Cycling Future 2013.
- Sydney’s Walking Future 2013.
- Sydney’s Bus Future 2013.
- Healthy Urban Development Checklist, NSW Health.
- Randwick Development Control Plan 2013.

Consistency with the relevant goals contained to the above strategic policies is discussed in the table below.

Table 8 – Policy Review

Policy Document	Comment
NSW State Priorities	<p>NSW State Priorities is the State Government’s plan to guide policy and decision making across the State. The proposed development at the subject site is consistent with key objectives contained within the plan, including:</p> <ul style="list-style-type: none"> <li>• <b>Creating Jobs:</b> Create 150,000 new jobs by 2019. The proposal will create temporary job opportunities in manufacturing, construction and construction management during the project’s construction phase of works, and ongoing job opportunities in teaching and administration during the project’s operation.</li> <li>• <b>Building Infrastructure:</b> Infrastructure projects to be delivered on time and on budget across the state. The proposal provides a significant development opportunity for the State that will create jobs, stimulate the economy and deliver a vital service for the community. The proposed development will provide a high-quality facility to the broader community.</li> <li>• The proposed facility will contain state of the art facilities, spaces and equipment for use by participants and staff. This will provide participants with greater opportunities to learn and gain ongoing tertiary education.</li> </ul>

Policy Document	Comment
	<p>Overall, it is considered that the proposed development is entirely consistent with the goals and objectives set out within the NSW State Priorities.</p>
<p>Rebuilding NSW – State Infrastructure Strategy 2014</p>	<p>The redevelopment of the campus aligns with the Strategy objective relation to education of “<i>Equip growing urban and regional populations with the modern schools and training infrastructure required to deliver educational services for a competitive, innovative economy</i>”. The project meets the challenges outlined in the Strategy of:</p> <ul style="list-style-type: none"> <li>• Ensure that ageing assets keep up with standards for classroom conditions and support modern and technology-enabled teaching and learning.</li> <li>• Ensure that NSW has a dynamic and innovative vocational training sector that is responsive to industry and client needs.</li> </ul>
<p>A Plan for Growing Sydney</p>	<p>Refer to Section 6.2 below.</p>
<p>NSW Long Term Transport Master Plan 2012</p>	<p>The NSW Long Term Transport Master Plan (LTTMP) was released in 2012. It sets the direction for transport planning in NSW and provides a framework for transport policy and investment decisions.</p> <p>The objectives of the LTTMP will be used to plan for the future and act as a guide to assessing the best available options for building a world-class transport system for NSW over the next two decades.</p> <p>The LTTMP is supported by a number of detailed regional transport plans, modal plans and access strategies along with specific projects such as the CBD and South East Light Rail projects and Sydney’s walking, cycling and bus futures.</p> <p>The Cliffbrook Campus will benefit with improved connections from Randwick to the CBD as a result of the operation of the Light Rail project.</p>
<p>Sydney’s Cycling Future 2013</p>	<p><i>Sydney’s Cycling Future</i> seeks to make bicycle riding a feasible transport option by investing in cycle infrastructure, promoting better use of the existing network and Transport for NSW engaging with other stakeholders.</p> <p>There is currently no bicycle parking provision on the site. To encourage recreational cycling to and from the precinct, especially for staff, 10 new bicycle parking spaces have been provided adjacent to Cliffbrook House. Adequate end of trip facilities, such as showers and lockers, are also provided. However it is noted that the participants using the site are unlikely to arrive by bicycle. The TTPA traffic report is provided in the submission and discusses the various modes of transport.</p>

Policy Document	Comment
Sydney's Walking Future 2013	<p><i>Sydney's Walking Future</i> aims to promote walking as a means of transport, connect people to places through safe walking networks and engage Transport for NSW with a range of stakeholders to improve their effectiveness.</p> <p>The proposed upgrade works to the rear landscaped area will enhance the pedestrian connection for site users to the public walkway to Gordon's Bay from Tower Street.</p> <p>The rear of the site however is to remain as private UNSW land to ensure the safety, management and security of this area and the site generally.</p>
Sydney's Bus Future 2013	<p>Both Bondi Junction and Maroubra have been identified by the Sydney's Bus Future 2013 document as key destinations for rapid bus routes with connections to the CBD. Bondi Junction is identified as a Major Centre and Randwick as a specialised centre.</p> <p>Cliffbrook will be connected to both Randwick and Bondi Junction by the local bus services and thus interconnected to the CBD, Airport and other key origin / destinations for residential participants and staff associated with the operation of the proposed facility.</p>
Healthy Urban Development Checklist, NSW Health	<p>Prepared by NSW Health, the Healthy Urban Development Checklist seeks to ensure built environments are created within New South Wales that are sustainable and promote healthy habits. The proposal satisfies a range of items contained to the checklist:</p> <ul style="list-style-type: none"> <li>• Promote opportunities for walking, cycling and other forms of active transport;</li> <li>• Promote access for participants to usable and quality public open spaces and recreational facilities;</li> <li>• Reduce car dependency;</li> <li>• Provides access to a range of facilities to attract and support a diverse population; and</li> <li>• Respond to existing (as well as projected) community needs and current gaps in educational facilities and/or services.</li> </ul>
Randwick Comprehensive Development Control Plan 2013	<p>In accordance with Clause 11 of the State and Regional Development SEPP, the requirements of Randwick Development Control Plans 2013 do not apply. However we have undertaken a high level review of the policy, as detailed below.</p>

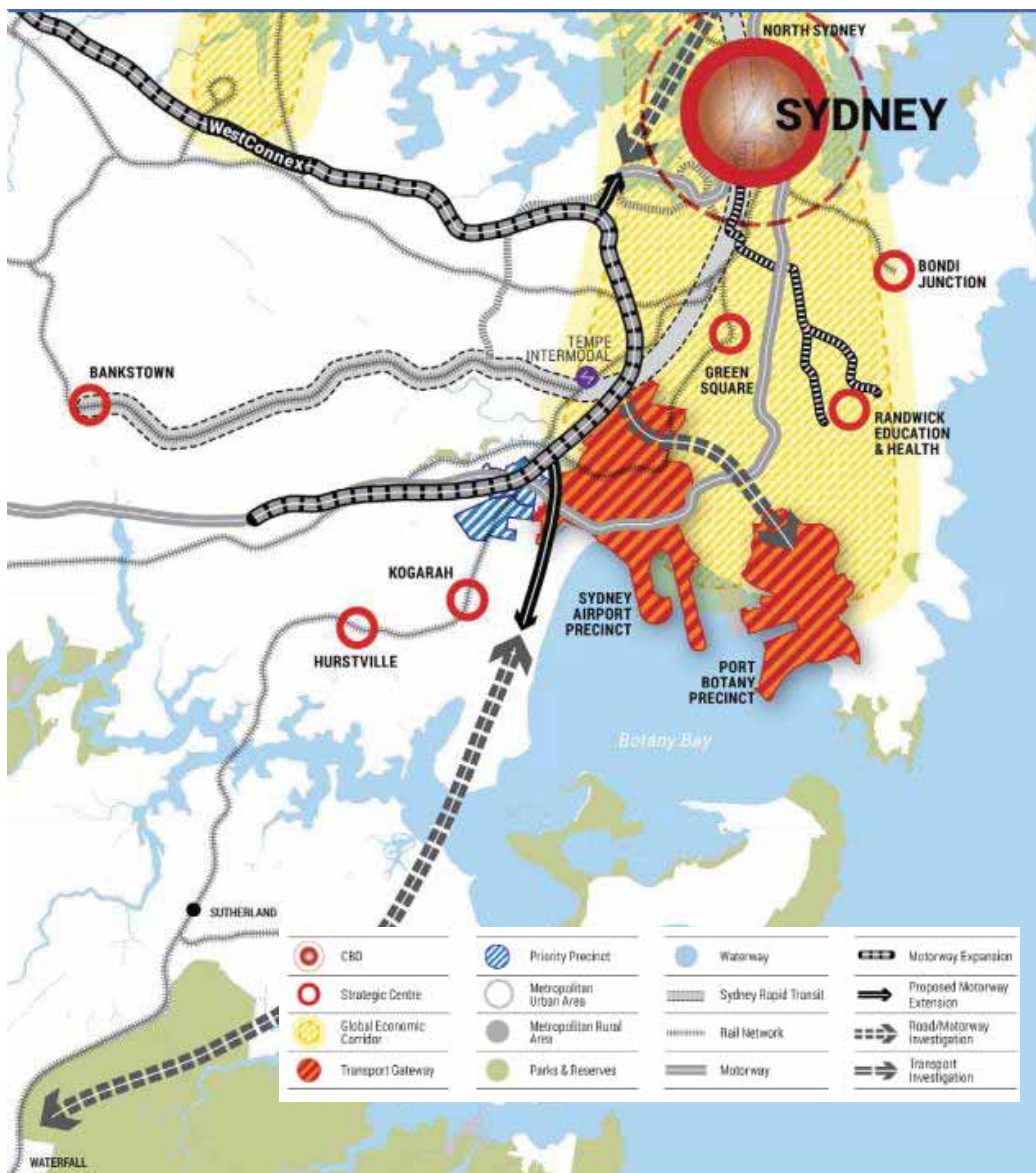
## 6.2. A PLAN FOR GROWING SYDNEY

The Metropolitan Strategy for Sydney titled 'A Plan for Growing Sydney' (the Strategy), was released on 14 December 2014 and is the NSW Government's strategic planning vision for metropolitan Sydney to guide land use planning decisions for development over the next 20 years. The Strategy identifies the need to accommodate continued growth in population and employment over the next 20 years, with 1.6 million additional people to be accommodated and workplaces provided for an additional 689,000 new jobs.

The site is located on the fringe of the Central Subregion and is directly associated with the Randwick Education and Health Strategic Centre. The plan specifically aims to support education land uses associated with the University of New South Wales. The development will aid and support the growth of the Strategic Centre as envisaged by the plan.

The proposal is consistent with the aims of the Strategy.

Figure 22 – A Plan for Growing Sydney – Southern Sydney



Source: A Plan for Growing Sydney

## 6.3. RANDWICK DEVELOPMENT CONTROL PLAN 2012

The site is included within the land affected by the Randwick Development Control Plan (DCP) 2012. Accordingly, the DCP controls have been considered in detail during the design phase for the project and the preparation of the EIS. The compliance of the proposal with the relevant requirements is summarised below:

- **Heritage:** a comprehensive assessment of the potential heritage impacts of the proposed works, including the state heritage listed items such as Cliffbrook House. The archaeological potential associated with any groundworks has been assessed and a comprehensive conservation management plan for the site has been prepared (refer to Section 7.4, 7.5 and 7.6 of the EIS and **Appendices H to K**).
- **Ecologically Sustainable Development:** consideration has been given to ESD best practice principles in the selection of appropriate materials and fixtures associated with the proposed development (refer to Section 7.8 and **Appendix O** of the EIS).
- **Landscaping and Diversity:** The proposal includes a detailed landscape plan (**Appendix D**). The plan includes the retention of the natural vegetation to the rear of the site and the regeneration of the existing Cliffbrook house gardens at the centre of the site. This is discussed at Section 4.7 of the EIS.
- **Preservation of Trees and Vegetation:** A Biodiversity Assessment Report and a Biodiversity Management Plan (BMP) have been included at **Appendices L and M**. Vegetation is predominantly retained to the rear of the site with the BMP providing details on the ongoing management and regeneration of the site. An Arboricultural Assessment is also included and recommends sensitive construction methods for the retention of significant trees within the western portion of the site.
- **Recycling and Waste Management:** Indicative waste and recycling measures have been addressed within the EIS, including during the demolition and construction phases of the development. Refer to **Appendix W**.
- **Transport, Traffic, Parking and Access:** A detailed discussion is included at Section 7.2 of the EIS and An assessment of traffic, transport and construction implications Report is included at **Appendix F**. Parking is accommodated onsite, however UNSW has the ability to provide overflow parking and manage parking demand through parking provisions at the UNSW Kensington campus should, in the unlikely event, it be required. The traffic generation for the campus redevelopment is estimated to be similar if not less than the most current active use on site, namely, UNSW Press. The traffic and parking impacts associated with the proposal are negligible.
- **Water management:** A Council easement traverses the site and also includes an overland flow path. A stormwater management plan and flood study are included at **Appendices R and S**. The development provides for upgrades to the existing stormwater infrastructure to improve the current management of stormwater on the site.
- **Management Plan:** The application is accompanied by a Plan of Management prepared by UNSW. The plan outlines the operation of the site including hours of operation, management policies including noise and waste and details of the ongoing operation of the programme.
- **Foreshore and Scenic Protection:** A detailed assessment of the proposed development in relation to any potential impact on the existing scenic quality of the coastline and foreshore is included in Section 5.4 and 5.5 of the EIS. The proposed building has been sensitively designed and sited to avoid any impacts on the foreshore. A View Impact Assessment is included at **Appendix E** and Coastal Processes Assessment is included at **Appendix V**.
- **Development in Recreation Zones:** The rear of the site is zoned RE2 – Private Recreation. This portion of the site will be used as a private recreation area for the sole use of the participants associated with the AGSM facility and as such is permissible with consent. Limited vegetation removal is proposed as well as the provision of a 1.5m pathway, decking, low lighting and small nook structures leading through the rear of the site.

Overall, it is considered that the proposed development satisfactorily addresses the provisions of Council's DCP.

# 7. ENVIRONMENTAL ASSESSMENT

## 7.1. BUILT FORM CONSIDERATIONS

### 7.1.1. Compatibility with Surrounding Development

The EIS has assessed the height, density, bulk and scale of the proposed development within the context of surrounding built and natural environment. The proposal integrates with its context and has been designed allowing the built form and site layout to achieve good design and amenity outcomes for future users of the site, surrounding properties owners and users of the public domain.

The built form of the proposed new building has been designed considering the following key factors:

- Heritage considerations – recognising the importance of the state listed “Cliffbrook”, encompassing Cliffbrook House, stone garage and stone walls and ensuring an adequate curtilage around the House and gardens which were originally perceived ‘in the round’.
- View sharing – to Cliffbrook and to the ocean from the surrounding residential properties.
- Residential interface and amenity considerations – such as siting of the building to ensure mitigation of acoustic impacts and consideration of solar and privacy.
- Surrounding residential context and compatibility with built form – provide a scale that is appropriate to the predominately low density residential setting as well as the scale of Cliffbrook House.
- Site constraints and opportunities including easements, flooding constraints and the opportunities to enhance and appreciate the natural, landscape setting.
- Materiality – utilise materials that complement the natural landscape and Cliffbrook House and assist in modulating the facades.

The proposal is appropriate in terms of built form and urban design as follows:

- The bulk of the development is located in the north eastern portion of the site to respect the heritage curtilage and views to Cliffbrook House. The northern façade of the new building consists of two forms, a lower form in the west which is read as two storeys along Battery and a higher form in the east which is read as three storeys along Battery Street. This higher form corresponds to the surrounding building typology such as dwellings over 3 storeys and residential flat buildings of 3-4 levels in height with pitched roof on the opposite side of Battery Street.
- The majority of the volume of the proposed new building is consistent with the surrounding residential height control of 9.5m. This creates a comparable scale especially along Battery Street, which contains lower residential building heights. The additional height over 9.5m is setback from Battery Street and sited in the north eastern corner of the site. This allows the preservation of views to Cliffbrook House from the north west.
- The Battery Street elevation responds to the surrounding smaller lot sizes and finer grain development along the residential street with a series of articulated forms, broken up with stairs. The façade is modulated by clustering the accommodation apartments into groups of two with concrete formwork, vertical timber battens and cladding.
- The built form provides setbacks responding to the surrounding residential development and include 3m-4.2m on the eastern boundary with No. 10 Battery Street (a UNSW owned property) and 5.5m to 8.2m setback from the northern boundary to ensure the existing trees are retained.
- The proposal allows for an appropriate amount of view sharing as detailed in Section 7.4 below.

Extensive community consultation has resulted in the submitted design which is on balance the best design outcome for the site considering the surrounding residential context, associated impacts and the University's objectives.

The relevant potential impacts on surrounding residential properties have been assessed in the EIS, including view sharing, privacy, traffic, parking, bulk, scale and construction and operational factors.

### 7.1.2. Privacy and Overshadowing

The design of the proposed new building is appropriate in terms of visual privacy to and from the building and solar access as follows:

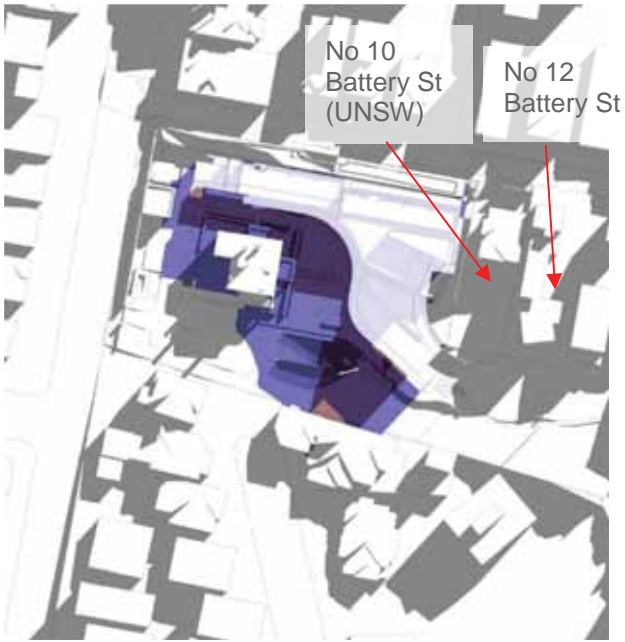
- The built form has a high level of physical separation, proposing generous setbacks of around 20m from the southern boundary, 15.5 to 18.2m from the nearest building on the northern side on Battery Street and side setback to the east of 3m-4,2m from the eastern boundary.
- The fenestration along Battery Street and on the southern boundary is shielded by vertical timber battens to provide screening and full height fixed glazing with operable glazed louvres (See Figure below).
- The proposal also retains most of the existing mature vegetation along the northern boundary assisting in screening the development and contributing to maintaining privacy on Battery Street.
- The functional planning of the site has also considered the active spaces and orientation of the new building in providing an internal courtyard to the east of Cliffbrook House that does not directly face residential properties.
- The bulk of the development is located on the northern side of the site and also to the south and east of Battery Street and Beach Street. This is also to ensure the significance of Cliffbrook House is retained, the higher portion and bulk is setback from the item.
- The eastern elevation has been articulated and modified during the consultation with Randwick Council to minimise the potential overshadowing of No. 10 and No. 12 Battery Street. Some shadowing does occur to the rear garden of No. 10 (a UNSW owned property) however still receives the minimum sunlight access. No. 12 receives some shadowing at 3pm in Mid winter but is not affected from 9am to 2pm. The shadow drawings are contained in the FJMT architectural drawing set and demonstrate that the overshadowing of the proposal is acceptable. An extract of 9am, midday and 3pm shadows are in the figure below.

Figure 23 – Privacy Measures



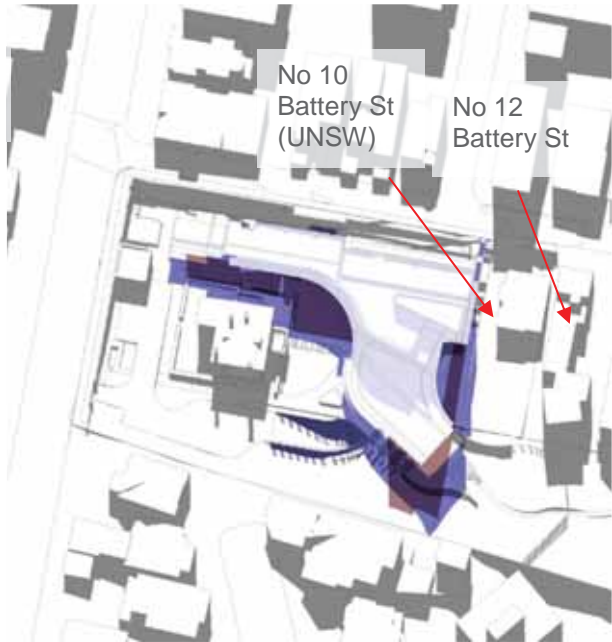
Source: FJMT

Figure 24 – Shadowing in June 21 at 9am, 12pm and 3pm



Picture 13 – June 21 – 9am

Source: FJMT



Picture 14 – June 21 – Midday

Source: FJMT



Picture 15 – June 21- 3pm

Source: FJMT

## 7.2. TRAFFIC, PARKING AND ACCESS

An Assessment of Traffic, Transport and Construction Implications Report has been prepared by The Transport Planning Partnership (TTPP) and is included at **Appendix F**. The following sections provide comments on traffic, access, parking and servicing. A Preliminary Construction Traffic Management Plan is also submitted with the submission and is further considered in **Section 7.14** below.

The conclusion of the TTPP is as follows:

- *The proposed on site parking provision of 37 car spaces will adequately accommodate the peak parking demands of the proposed CCR Project on site and thus not adversely impact upon on street parking conditions.*
- *The traffic generation potential of the CCR Project will be similar if not less than the most recent previous use of the Cliffbrook Campus site, namely the UNSW Press facility.*
- *The traffic generation potential of the proposed CCR Project is relatively low and will not have a discernible impact on the existing operation of the surrounding road network. No additional modification or upgrades are required to the road network to accommodate the estimate traffic demands of the CCR Project.*
- *Notwithstanding the above, the proposed use of the Cliffbrook Campus will allow the University to highly manage and control both the traffic generation and parking demand associated with the site. The UNSW has the ability to provide overflow parking should in the unlikely event it be required on the UNSW Kensington Campus and utilise the UNSW shuttle bus service to transport people between Cliffbrook and Kensington campuses if required.*

*Overall, it is concluded that the proposed CCR Project will represent an appropriate redevelopment of the site with regard to traffic and transport.*

### 7.2.1. Traffic and Access

In relation to traffic generation of the proposed use, it is anticipated that traffic generation will be generated by:

- Residential participants arriving / departing by car and parking on site.
- Residential participants arriving / departing by car or taxi as a passenger.
- Staff arriving / departing and parking on site.

The TTPA report states,

*“It should be noted that the previous and existing UNSW Press use of the site would have generated traffic flows each weekday while the CCR Project will only generate traffic on days when the residential accommodation is commencing and finishing.*

*As the AGSM residential courses typically run over a 3 – 5 day period, the proposed CCR Project is likely to have in the order of 4 peak hour traffic periods per week compared to the existing and previous uses which had and have 10 peak periods per week.*

*The traffic generation potential of the CCR Project is considered to be similar if not less than the previous use of the site as the UNSW Press facility.*

*The generation of some 30 vehicles per hour on the occasions when the residential participants are arriving and departing would represent 1 vehicle every 2 minutes.*

*Given the relatively low volumes of traffic currently utilising Beach Street, the addition of some 15 – 25 vehicle movements would not adversely impact on the operation of the surrounding road network.*

*In summary, the proposed CCR Project, would represent a relatively low intensity use of the site which is commensurate with recent previous uses of the site”.*

In relation to vehicle access arrangements, TTPP states,

*“The proposed retention of the existing vehicle access location at Beach Street is supported by TTPP and considered to be the preferred access arrangement for the CCR Project as it will minimise potential adverse traffic impacts to the surrounding community.*

*Retention of the existing driveway will allow the existing on street parking provisions to be retained and unaffected by the proposed development. That is no on street parking spaces will be lost as a direct impact of the CCR project.*

*It is understood that gates will be widened slightly to improve two way traffic flow and to accommodate additional security measures for site access.*

*With regard to sight lines to pedestrians for exiting vehicles, it is recommended that the existing convex mirror mounted on the existing gate support be retained”.*

## 7.2.2. Parking

The parking provision on site accommodates the demands of the project to ensure there are no adverse on street parking impacts. The traffic report prepared by TTPP has considered:

- As advised by UNSW AGSM, the executive program has a prevalence of interstate visitors whereby the majority arrive by taxi and do not leave for the duration of the project.
- Randwick DCP parking provisions – it comments that the use does not adequately fit into a car parking rate in the DCP as agreed by Council’s traffic officers. Regardless, the TTPP assessment has broken down the proposed use into hotel rooms/participants, tertiary staff staying on site, tertiary staff not staying on site, other staff and on site caretaker and based on the proposed mix results in 23 spaces.
- A merit based assessment of parking demand - it comments:
  - That participants will arrive by public transport, taxi and private car use.
  - The residential program participant utilisation of on site parking at the Kensington Campus currently varies between 20-50% of the total participants. This is a rate of between 1 space / 5 participant to 1 space / 2 participants (or 1 space / 2 rooms).
  - While a proportion of residential participants will arrive and depart the site by public transport, taxis or as a private vehicle passenger, the provision of secure on-site parking is considered to be a key marketing measure for attracting participants to the facility.
  - For the purpose of this assessment, a parking demand of 1 space / 2 rooms has been utilised to estimate the peak demand for parking associated with residential participants. For staff a parking demand of 1 space / 2 staff has been utilised. It is noted that the staff parking demand could be manipulated and lowered by UNSW through parking allocation policies for staff parking.
  - Overall, the estimated car parking demand for a merit based assessment is 36 spaces.
- Potential overflow car parking – UNSW has the ability to provide overflow parking and manage parking demand through parking provisions at the UNSW Kensington campus should, in the unlikely event, it be required. It is noted that there is the potential to extend the UNSW shuttle bus route to link the Cliffbrook site and the Kensington Campus.
- Public transport accessibility – the site is well serviced with convenient access to quality public transport services including numerous bus routes and the future light rail.
- Pedestrian and bicycle facilities – the site is well sited in close proximity to existing bicycle and pedestrian routes. The proposal will include 10 bicycle spaces as well as staff end of trip /shower facilities. Given the type of participants, being executives and for residential stays, it is not anticipated that large numbers will utilise bicycle and pedestrian modes.

The report concludes in relation to the car parking provision on site,

*“Based on the DCP requirements and a first principles assessment of parking demand, it is concluded that the proposed provision of 37 on site parking spaces will adequately accommodate on site the peak parking demands of the proposed CCR Project.*

*Furthermore, the UNSW has the ability to manage overflow parking demand should it occur without necessitating the use of on street parking spaces.*

*Thus the proposed on site parking provisions are considered to be satisfactory for the proposed development”.*

### 7.2.3. Servicing

The site can appropriately accommodate all loading and servicing as follows:

- Waste will be collected by private contractors allowing UNSW to specify the size of vehicles in their waste management plans.
- Similar to waste, delivery vehicles bringing materials and goods to the site will be pre-arranged and organised through the UNSW and as such the size of vehicles accessing the site can be controlled and regulated and thus be accommodated by the on site service vehicle facilities.
- Deliveries of goods such as catering food and beverages, linen, teaching materials etc and maintenance activities would be generally undertaken by delivery vans, utilities and small rigid vehicles (SRV – 6.4m long).
- The internal circulation road and site driveway satisfies a medium rigid vehicle (8.8m long) as defined in the AS2890.0. Swept paths are provided in the TTPP report.
- The standing area for the loading and unloading of a service vehicle will occur within the parking aisle adjacent to the staff parking spaces. These parking spaces have been purposefully allocated as staff parking who will be aware that infrequent and short stay disruptions to parking space access may occur.
- Delivery vehicles / waste will be scheduled outside of course participant bump in / bump out times to avoid conflicts with cars and taxis.
- The estimated number/frequency of service vehicles for waste, recycling, laundry, teaching/office, food and beverage and general maintenance are contained in Section 5.4 of the Transport report and range from 1 delivery per week to 5 deliveries per week.

### 7.2.4. Sustainable Travel Planning

As the site is part of UNSW, the Cliffbrook Campus is bound by the guiding objectives, principles and measures set out in the UNSW Environmental Management Plan however it is noted that the accessibility and mode of transport is different from the main campus due to the site location and participants.

UNSW will have a high degree of contact with course participants at the Cliffbrook Campus and will have the ability to influence travel behaviour and encourage the selection of non-private motor vehicle travel to and from the site. An update to the UNSW’s travel information will include information about modes of travel to the site. Refer also to Section 5.9 of the Transport Report at **Appendix F**.

## 7.3. VISUAL IMPACT

Given the site is situated in a predominant location within the coastal zone, the SSD application includes a Visual Impact Assessment prepared by GMU Urban Design and Architecture GMU (**Appendix E**), documenting how the existing views to and from the coastline will be appropriately shared, protected, maintained or enhanced.

GMU has investigated the broader and local context as well as the surrounding visual catchment areas. In total, 26 viewpoint locations within 18 properties were undertaken. 20 views were selected for detailed view assessment providing ‘before’ and ‘after’ images, the location of the properties are shown in the figure below. These properties were located within the immediate context of Beach Street and Battery Street.

Figure 25 – Private Properties analysed in the Visual Impact Assessment



Source: GMU

GMU summarises their assessment as follows:

*“The findings of this report show that out of the 20 views analysed in the detailed view assessment, 12 (or 60%) were found to have nil to minor level of view impact. Six views (or 30%) from close distances (i.e. within 25m) would have a moderate level of impact. Only two views (or 10%) from No.44-46 Beach Street were considered to have a significant level of impact. No views were found to experience a severe or devastating level of impact.*

*Furthermore, the three units within No.32-34 Beach Street are currently considered to experience a moderate level of impact; but in reality, the extent of view alteration that would be perceived by these units may be considerably less due to the existence of street trees in front of the properties. It is estimated that their actual level of impact may be nil to negligible.*

*Overall, the study finds that the proposal is able to achieve a positive visual outcome as the levels of impact on the majority of the views are acceptable. The two views with a higher level of impact can be addressed with practical measures”.*

In conclusion, GMU states,

*“Taking into consideration the site’s context, desired future character and the findings of the above assessment, it is GMU’s opinion that the proposed development in general is acceptable. In circumstances where the perceived level of view impact is higher, design changes have been suggested ... to alleviate the impact”.*

The following comments are made on the Visual Impact Assessment and the appropriateness of the current design of the proposed new building:

- During the past 6-12 months of concept design phase, there have been multiple amendments to the built form including height reduction, movement of portions of the bulk and mass and increased setbacks to accommodate views.
- 44- 46 Beach Street (Views J1 and J2) is the subject property in which GMU determines the visual impact to be “*Acceptable, with recommended design changes*”. Of the 26 viewpoint locations investigated, only 2 views were deemed to be of significant impact and acceptable with design changes, representing 7.6% of all views.
- The report finds that when considering its acceptability in terms of view sharing, the question is whether a more skilful design could provide the same development potential and amenity yet reduce the impact on the views of the neighbours. The view impacts for this property are caused by the breakout/lounge area in the eastern wind of the new building. The project team has explored several options to minimise the view impact, including:
  - **Using transparent materials on the south elevation of the east wing** - however, this approach would compromise the visual privacy of No.1 Gordon Avenue located south to the site; therefore, it is not recommended.
  - **Setting back the lounge area from the east** - due to the view angles, the use of setback to retain existing views will not provide a meaningful degree of improvement, unless the setback is over 8m, which will significantly reduce the proposal’s development potential by removing the entire lounge area. GMU found that this approach is impractical and ineffective for view retention in this circumstance.
- GMU have also proposed other measures that may assist in mitigating the visual impact from 44-46 Beach Street including narrowing the depth of the roof structure, lowering the roof parapet, lowering the ceiling height of the lounge/dining area to assist with lowering the overall height of the encroaching volume, retracting the eaves, and using low shrub planting on roof landscaping.
- Overall the principles of view sharing have been applied to the development and have formed an integral part in the preparation of the submitted design. There have been many design modifications undertaken to address a number of concerns including visual impact as well as to address other priorities and issues such as heritage significance of the site, amenity and compatibility of the proposal with the site setting. Importantly, we note that water views are still available from both 44 and 46 Beach Street, achieving the objectives of view sharing. On balance, we conclude the proposal is acceptable in respect of its impact on views (including the assessment of 26 viewpoints conducted by GMU). We submit that are no further design changes required to be made to the submitted design.

## 7.4. ARCHAEOLOGICAL ASSESSMENT

The application is accompanied by a Historical Archaeological Assessment (European Heritage) at **Appendix I** prepared by MDCA. The report reviews the history of the site and identifies a four areas in which test excavations should occur (see Figure 26 below). The proposed testing locations are in areas of largely undeveloped land, where original Cliffbrook outbuildings were located. The main purpose of testing these locations is to:

- determine if relics exist in these locations.
- record the nature, extent and integrity of any relics revealed.
- assess the significance of any relics revealed.

Mechanisms and a full methodology have been included in the Historical Archaeological assessment report should relics be encountered within the trenches. The report recommends that;

- Any testing conducted should acknowledge the NSW Heritage Division best practice.
- Documentation of all results is to occur.

The proposed works onsite will be carried out in accordance with the recommendations of the report.

Figure 26 – Proposed testing Locations for Excavation Trenches



Source: MDCA

## 7.5. ABORIGINAL CULTURAL HERITAGE

The application is accompanied by an Aboriginal Cultural Heritage Assessment Report at **Appendix K** prepared by MDCA. The report documents the Aboriginal archaeological assessment undertaken in accordance with the Office of Environment & Heritage (OEH) *Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales*.

### 7.5.1. Consultation

Consultation with the local Aboriginal community was undertaken in order to document the Aboriginal cultural significance of the site. To date, the Aboriginal community consultation process has identified Registered Aboriginal Parties and providing them with information on the project and methodology for their review and comment. A public notice seeking registrations of interest in the project was lodged in the St George and Sutherland Shire Leader on 17/1/2017. Tables 1 and 2 of the MCDCA report contain a full list of all agencies notified.

The Aboriginal community consultation undertaken so far in relation to the current project has not identified any specific Aboriginal cultural connections or significance relating to the site.

As of the end of May 2017, MCDCA have sent out the draft Aboriginal heritage report to the Registered Aboriginal Parties for comment, with their responses due by 16 June 2017. After this date, MCDCA will be produce either a revised report or an addendum detailing the additional Aboriginal community required by the SEARs.

Figure 27 - Recommended Aboriginal Archaeological Investigation Areas



Source: MDCA

### 7.5.2. Investigations and Mitigation Measures

MDCA undertook a field inspection of the subject land in conjunction with the La Perouse Local Aboriginal Land Council in July 2016. The initial field inspection did not locate any Aboriginal stone artefacts, and none of the few mature trees within the subject land were found to contain scars of potential Aboriginal cultural origin. There are no previously recorded Aboriginal sites registered within the subject land.

MDCA's significance assessment was based on the following categories:

- The scientific community for their potential research value.
- The general public for their educational and broader heritage value.
- The Aboriginal community.

The assessment concluded:

*“As no Aboriginal archaeological remains have yet been recorded within the subject land, it is not possible to assess scientific and public significance. Any such evidence which remains within the subject land is likely to have been disturbed to some degree by the historical activities or geomorphology, but could also potentially be rare and of considerable age, and would be likely to retain a level of significance within the Sydney region for its ability to shed more light on a poorly documented period of Aboriginal use.”*

*With respect to Aboriginal community significance, all Registered Aboriginal Parties consulted during the current study have been specifically asked to provide and/or discuss any Aboriginal cultural or historical information which they felt was pertinent to the assessment of Aboriginal heritage significance in relation to the current proposal. This information will be fully documented in an addendum to the current report .... It can be anticipated however that any archaeological remains which may be located within the subject land will retain at least a general level of significance shared by all such sites as a physical example of past Aboriginal use of the landscape”.*

**Figure 27** above identifies the areas of the site which require monitoring of earthworks and the areas which occur monitoring of vegetation removal.

**West** – As per Section 7.4 above, four key excavation areas have been identified onsite. These excavations will also inform future Aboriginal archaeological investigations.

**East** – In relation to the rear and eastern portion of the site, where vegetation removal results in the exposure of sandstone, this is required to be inspected by an archaeologist in consultation with the identified Registered Aboriginal Parties. This will allow for the recording of any evidence found onsite.

The report outlines management measures in consultation with the local aboriginal community should any archaeological remains be encountered. The recommendations of the report will be implemented and appropriate monitoring and documentation of any findings will be recorded appropriately.

## 7.6. EUROPEAN HERITAGE

The site contains the Cliffbrook House, a stone garage building and stone walls which are listed on the State Heritage Register, and collectively known as “Cliffbrook”. The accompanying Heritage Impact Statement (HIS) has assessed the impact of the proposed development on the heritage significance of Cliffbrook House and these associated structures.

A Statement of Heritage Impact and Conservation Management Plan has been prepared by Weir Phillips and is provided at **Appendix J** and **Appendix H**.

The Statement of Heritage Impact provides an assessment of the suitability of the design and the heritage impact of the proposal in relation to the provisions established by the NSW Office of Environment and Heritage, Heritage Division guidelines and the relevant provisions of 5.10 of the *Randwick LEP 2012* and the *Randwick DCP 2013*, in particularly Part B2 - Heritage.

The key findings of the HIS assessment are summarised as follows:

- *To be read in conjunction with an updated Conservation Management Plan for the site.*
- *The site has significance as a rare and fine example of an Interwar Free Classical Style dwelling, for its association with Sir Denison Miller and as the former headquarters of the Australian Atomic Energy Commission.*
- *The use of the site by the UNSW for educational purposes is an appropriate and compatible use and is supported by the CMP 2017. The proposed works retain Cliffbrook and revitalise the building. The building will remain free standing. The original garden setting of this item was fundamentally altered when the AAEC erected buildings in close proximity to it. The proposal retains an understanding of what remains of its immediate garden setting, most notably significant plantings and the circular driveway on the eastern side.*
- *The demolition of the administrative buildings for the AAEC will have an acceptable impact and is permitted under the policies of the CMP. These buildings are moderate, much altered (Building CC4) examples of their type. The significance of the AAEC’s association with the site can be interpreted in other ways.*
- *The proposed new building maintains or improves the existing setbacks from Cliffbrook. The new building will not block any existing significant view corridors. The impact is managed by reducing the floor plate of the upper levels on the eastern side of Cliffbrook, through articulation and through use of a flat roof forms, thereby reducing massing and scale. The proposed new building fulfils the requirements for new buildings on this site as set out by the policies and principals in the CMP 2017.*

The Statement of Heritage Impact confirms that subject to the adoption of the recommended mitigation measures (in Section 8 of the EIS), the proposed works will have an acceptable heritage impact.

## 7.7. BIODIVERSITY

A Biodiversity Assessment Report prepared by Narla Environmental Pty Ltd is included at **Appendix L**. The assessment involved the preparation of a site scale vegetation map and completion of the four Biometric plots and transects. The assessment identified the main protected vegetation type onsite as being; *Heath-leaved Banksia – Scrub She-oak heath on sandstone headlands in the Sydney basin*.

In particular the report notes that, although the site totals 1.16 ha, the total proposed impact to vegetation is 0.027 ha. As per the vegetation map in **Figure 28 – Site Vegetation Map** below the native vegetation is contained to the rear of the site. It is noted that the site is effected by weed incursions and informal recreational walking tracks.

The identified vegetation will not be impacted by the new building envelope which is contained to the west of the site. The only impact on existing vegetation will be due to the proposed 1.5 m wide walkway and associated rest areas. This is minor in nature. As a result, no ecosystem or species credits are required for the proposal.

Figure 28 – Site Vegetation Map



The existing site condition will be enhanced through the application of a site-specific Biodiversity Management Plan (BMP). A BMP, prepared by Narla Environmental Pty Ltd is included at **Appendix M**. The key aim of the BMP is to enhance biodiversity onsite. Surveys were conducted onsite on 20<sup>th</sup> of June 2016 and on the 7<sup>th</sup> and 9<sup>th</sup> of February 2017. No flora species of conservation significance listed under either “Rare or Threatened Australian Plants”, TSC Act or EPBC Act were confirmed on or immediately adjacent the subject site.

The BMP includes specific recommendations for the pre-construction, construction and post-construction stages to ensure protection of existing vegetation onsite. The BMP also includes ongoing management

requirements for erosion management and revegetation. The proponent will implement the recommendations of the BMP onsite and ensure the protection of native species as required.

## 7.8. ECOLOGICALLY SUSTAINABLE DEVELOPMENT (ESD)

An Environmental Sustainability Development (ESD) Report has been prepared by JHA Services and is included at **Appendix O**. The Report describes the proponent's approach to integrating energy efficient technologies and sustainable practices in the design, construction and ongoing operation phases of the development.

This proposal has been designed in accordance with the UNSW's Sustainability Objectives Framework and will implement a holistic and integrated approach to Ecologically Sustainable Design (ESD), maximising passive opportunities with the selective application of modern technology where appropriate. The ESD initiatives and targets are based on the following:

- Best practise design principles.
- BCA/NCC Section J – Energy Efficiency Targets (i.e. exceeding targets).
- UNSW Cliffbrook Campus Sustainability Targets.

The accompanying report details ESD initiatives in the areas of management, envelope (building fabric performance, daylighting and shading), electrical, lighting, HVAC, renewables, materials, waste, sustainable transport. Section 7 of the ESD report details the measures in detail.

In relation to the site landscaping, as stated in the landscaping drawings at **Appendix D**:

- The intention is that ecological principles are integrated into the landscape design with the primary focus on water. Principles such as water sensitive urban design (WSUD), plant selection process and site micro climatic analysis inform the layout, materials selection and environmental response.
- The primary landscape ESD initiatives include:
  - Fall paving to facilitate surface water recharge to mass planting beds to reduce potable water usage
  - Provide an appropriate area of planting to improve air quality and reduce the urban heat island effect; and select hardy, low water use, indigenous plant species where possible suited to the harsh urban environment.
- Although many of the plant species to be selected will have low water requirements (and therefore are inherently water conserving), water-efficient subsoil drip irrigation systems are proposed to ensure that the landscape is maintained to the high standard required.

## 7.9. NOISE AND VIBRATION

An Acoustic Assessment has been prepared by JHA and is included at **Appendix G**. Noise surveys were conducted on site between 3<sup>rd</sup> of February and the 11<sup>th</sup> of February 2016 to determine the existing levels of noise and vibration affecting the site. The predicted noise levels within the proposed residential accommodation and teaching facility, were then assessed against the recommended internal noise and vibration criteria for the project.

The noise impact from the proposed development including the following activities have been addressed:

- Noise emissions from outdoor recreational activities.
- Noise from mechanical plant.
- Noise from traffic entering and leaving the underground carpark.
- Use of the premises outside of normal hours of operation.

The report notes that noise from the proposed basement carpark is not likely to impact on the adjoining properties due to low levels of traffic movement. Acoustic treatment of the mechanical plant areas is also recommended to avoid any impact on adjoining residents.

To ensure ongoing compliance at all times on site, UNSW will implement;

- A noise policy.
- On-going noise monitoring.
- Onsite signage reminding course participants of nearby residents.
- A noise complaints register.
- Implementation and enforcement by an on-site manager.

In relation to noise during construction the report notes that construction site operators must comply with The *Protection of the Environment Operations Act 1997 (NSW) Act* and *Protection of the Environment Operations (Noise Control) Regulation 2008 (NSW)*. The contractor will be required to prepare a programme for the works occurring onsite. This will allow residents to be aware of when noisier construction activities will be happening.

To provide suitable amenity for the future course participants, noise mitigation management strategies including glazing, noise barriers and noise management strategies have been provided for the proposed development.

The report concludes that the proposed development will meet the criteria NSW EPA Industrial Noise Policy (INP) 2000. Recommended mitigation measures and design treatments have been included as required.

## 7.10. GEOTECHNICAL

A geotechnical investigation prepared by Pells Sullivan Maynink (**Appendix T**). The consists of Hawkesbury sandstone and medium to fine grain marine sand. PSM undertook borehole testing and recommended:

*“Excavation within Sand unit should be achieved with conventional earthmoving equipment.*

*Excavation within sandstone is likely to require rock breaking equipment. Heavy rock breaking equipment may not be suitable given the vibration generated by such equipment.*

*Where required, it is recommended that rock saws and grinders are used to undertake the excavation. The use of “pre-split” cuts the boundaries using a rock saw can provide a “buffer” for vibrations”.*

*The report also includes recommendations for the design of piles, slab and pavement design.*

## 7.11. UTILITIES

An Electrical Services Infrastructure Management Plan has been prepared by JHA and is included at **Appendix Q**. JHA is liaising with Ausgrid to determine the type of and amount of power supply that will be required to facilitate the proposed redevelopment. A new substation is required and is proposed along the Beach Street frontage which is identified as the most practical and least intrusive location (see **Figure 29** below).

Figure 29 – Location of the Proposed Substation - Circled Blue



## 7.12. FLOODING AND STORMWATER DRAINAGE

Taylor Thomson Whitting Pty Ltd (TTW) has prepared an associated Civil Engineering design and documentation for the proposed works on the Cliffbrook Campus (**Appendix S**).

A Civil Engineering Siteworks Concept Plan and concept stormwater management and site works plan accompany the SSD application.

An existing 1200mm Randwick Council owned pipe that traverses the southern boundary of the site is cited within a 3.05m wide easement. The site is subjected to major overland flows (flooding) in excess of the 1200mm diameter pipe's flow conveyance capacity. The major overland flow path enters the site through the existing driveway off Beach Street. As a result, a flood study has been undertaken by Kustom Engineering (**Appendix R**) to ascertain the likely flood behaviour post development and incorporate the findings into the stormwater management plan.

## 7.13. CONSTRUCTION MANAGEMENT

A preliminary Construction Management Plan (CMP) has been prepared by UNSW (**Appendix Y**). The construction works are estimated to take 15 months, proposed over three phases of:

- Demolition phase – 6-8 weeks
- Excavation phase – 5-7 weeks
- Construction phase – 11-12 months

Construction works are proposed to occur:

- Monday to Friday 7.00am to 6.00pm

- Saturday 7.00am to 5.00pm
- No work will be undertaken on Sundays and Public Holidays unless otherwise stipulated in the development consent

A Site Establishment Plan is included in the CMP.

Construction management will address and consider the following construction and operation impacts and the relevant reports (as identified in the CMP) and have been included in the mitigation measures to be prepared prior to construction:

- Dust mitigation measures
- Noise and Vibration Control Plan
- Soil and Water Management Plan.
- Waste Management Plan.
- Servicing and infrastructure including construction access/traffic management

As part of the preliminary Construction Management Plan, a preliminary Construction Traffic Management Plan (CTMP) has been prepared by TTPP as an appendix to the CMP. to assist in identifying likely implications during construction and mitigation measures. A detailed CTMP will be prepared by the building contractor prior to construction commencing. The report provides an outline of the principles for construction traffic management, proposed construction methodology and details management measures to ensure the safety of the public and workers in the form of a traffic management plan and traffic control plan.

## 7.14. CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

In accordance with the Department's guideline - *Crime prevention and the assessment of development applications* – the following Crime Prevention Through Environmental Design (CPTED) principles, have been considered in the Concept Plan design for the site:

The key CPTED principles are:

- **Natural surveillance** – maximising opportunities for passers-by or residents to observe what happens in an area (the 'safety in numbers' concept). This may be achieved through, for instance, the placement of physical features, activities and people.
- **Access control** – control of who enters an area so that unauthorised people are excluded, for instance, via physical barriers such as fences and grills.
- **Territorial reinforcement/ownership** – people are more likely to protect territory they feel they own and have a certain respect for the territory of others. This can be expressed through installation of fences, paving, signs, good maintenance and landscaping.
- **Space management** – ensures that space is appropriately utilised and cared for. Space management strategies include; activity coordination, site cleanliness, rapid repair of vandalism and graffiti, the replacement of burned-out lighting and the removal or refurbishment of decayed physical elements.

The design and operational measures that will be implemented for the site are outlined below. These measures will ensure that the building satisfies the CPTED principles:

### **Principle 1 - Surveillance**

Surveillance will be maximised by:

- Lighting will be limited to the external areas for the purposes of way finding and safety in design. The rear pedestrian accessway will be lit at night with low downlit light, on sensors, to minimise spill to neighbours.
- Lighting of the building entries and around the facility will be checked to ensure it provides for adequate visibility for participants leaving or entering the site whilst ensuring the lighting levels do not to cause a disturbance for local residents around the site.

- To ensure the privacy, noise and overlooking is minimised, the active areas are largely fronting an internal courtyard to the west. However the accommodation rooms provide the opportunity for casual surveillance over Battery Street as the windows are glazed.
- Other ways to achieve 'eyes on the street' are through the refurbishment of Cliffbrook provides teaching, manager' accommodation and other spaces which have the ability to overlook Beach Street.
- The landscape improves sightlines and avoids opportunities for concealment.
- CCTV will be installed at entry points to buildings and external locations on the grounds.

### **Principle 2 - Access Control**

Access control will be maximised by:

- Access into the site will be controlled, controlling public access to the site via fencing/gates. Swipe cards and intercom access are proposed on the eastern and western site entrances (see principle 3).
- The recreational space will be enhanced through revegetation and formalising the current internal pedestrian access east/west at the rear of the site.
- All staff are issued keys which provide them access to buildings. Access levels vary depending on the needs of staff and their roles.
- Pedestrian access to the new building and Cliffbrook will have a clearly-defined direct pathways from the street to within the Campus to the two separate entrances.

### **Principle 3 - Territorial Reinforcement**

Territorial reinforcement will be maximised by:

- High quality landscaping and ongoing maintenance of grounds.
- A secure site is required for the facility and is provided in the following ways:
  - Installation of new vehicle entry gates with intercom/swipe card/ security access.
  - Installation of new fencing at the eastern boundary (and part of the southern boundary) with the public pathway at Towers Street, leading to Gordons Bay. Access will be afforded through a new gate and the use of a swipe card.
  - The southern boundary fence is retained, which ceases at the rear of 3A Gordon Avenue.
  - To maintain visual permeability and a green interface, it is proposed to replace existing chain link fence with a metal palisade fence to match new building materials / finishes on the northern boundary (with the exception of the retention of the heritage sandstone wall to the west).
- Wayfinding signage will be used to direct pedestrian and vehicular access.
- Building alcoves and areas for hiding in the landscape have been minimised.

### **Principle 4 - Space Management**

Space management will be maximised by:

- It is important to delineate public and private space. The facility forms part of the University land and immediately adjoins private properties or 'public space'. The main vehicle entry gate will be secured each evening, as determined by operational needs and access for pedestrians will be via swipe card. This will ensure there is limited opportunity for undesirable behaviour and assist in creating a clear sense of ownership and territorial reinforcement.
- The UNSW's Facilities team will monitor the buildings and spaces to ensure that they are kept clean, tidy and that maintenance occurs in a timely manner. This will promote an image of a well-cared-for development which in itself discourages vandalism.
- Ensure the proper waste disposal of all waste materials including glasses and bottles.
- Buildings and spaces will be well maintained and regular maintenance work will be scheduled.

The proposal will provide a high level of security and design elements will deter criminal behaviour. The proposal is therefore consistent with CPTED principles.

## 7.15. SOCIAL AND ECONOMIC IMPACTS

The proposal will have an overall beneficial impact in terms of social and economic outcomes. The social and economic impacts are summarised as:

- The relocation of the existing AGSM residential program to the Cliffbrook Campus allows for the continuation of an essential tertiary education program. In doing so, UNSW will utilise a current underutilised site, proximate to the main Kensington campus, to create a viable and functional teaching, learning and accommodation facility.
- Providing a premier location and residential experience for a highly recognised and well regarded business programs and in doing so raising the profile and investment in the Course. In turn, this course provides immeasurable social and economic benefits to the broader business and social communities through the leaders and practitioners the AGSM fosters.
- *A Plan for Growing Sydney* identifies the site being located on the fringe of the Central Subregion and is directly associated with the Randwick Education and Health Strategic Centre. The plan specifically aims to support education land uses associated with the University of New South Wales. The development will aid and support the growth of the Strategic Centre envisaged by the plan.
- New direct and indirect job creation during both construction and operational phases.
- The design will create a series of teaching spaces which are flexible and promote social interaction.
- The proposal responds to the changing requirements of the tertiary education requiring modern flexible and state of the art facilities, and the proposal will ensure that the future population is catered for by suitable education services.

## 8. MITIGATION MEASURES

The Environmental Assessment includes a comprehensive assessment of the environmental impacts, having regard to its existing and likely future context, and the nature and scale of the proposed works.

As a result of the EIS process and based on the technical studies completed, a range of mitigation measures are proposed to reduce any potential environmental and social impact of the proposal.

In accordance with the content requirements specified in Schedule 2 of the *Environmental Planning and Assessment Regulation 2000*, Table 9 provides a summary of the environmental management measures proposed to mitigate any adverse effects of the development on the environment.

Table 9 – Proposed Mitigation Measures

Issue	Mitigation/Management Recommendation	Stage of Development
<b>Overshadowing</b>	<p>Overshadowing of adjoining residential properties particularly to the east on Battery Street.</p> <p>Buildings have generally been setback or designed to consider the solar access to neighbouring properties.</p>	Design development
<b>Privacy</b>	<p>Visual and acoustic privacy to the development to the north and south of the new building.</p> <p>The northern accommodation rooms and southern common lounge area contains louvres, battens and are orientated to minimise aural and visual privacy impacts.</p>	Design development
<b>Crime and safety</b>	<p>Consideration of risk of crime risk to safety to participants, staff and visitors, by:</p> <ul style="list-style-type: none"> <li>• Appropriate lighting.</li> <li>• Appropriate landscaping to allow surveillance.</li> <li>• Controlled public access through gates.</li> <li>• Way finding signage.</li> <li>• Keys for staff for access.</li> <li>• Staff management of all areas.</li> </ul>	Construction and during operation
<b>Biodiversity</b>	<p>Assigning an Ecologist to be present on site during the clearing.</p> <p>Reducing the width of the walkway to as narrow a width as practicable (1.5m.) without reducing its purpose.</p> <p>Micro-siting the route of the pathway to avoid habitat which holds high habitat value.</p> <p>Maintaining and enhancing bushland revegetation and weed management post construction phase.</p> <p>A Biodiversity Management Plan has been prepared for the site and accompanies the application at <b>Appendix M</b>.</p>	Construction and ongoing operational stages

Issue	Mitigation/Management Recommendation	Stage of Development
	<p>Restoring elements of Eastern Suburbs Banksia Scrub to areas where it is considered to have formerly occurred.</p> <p>Facilitating an increase in the extent of locally indigenous native vegetation.</p>	
<b>Aboriginal Heritage and European Heritage</b>	<ul style="list-style-type: none"> <li>• Archaeological monitoring.</li> <li>• Archaeological test and/or salvage excavation where required.</li> <li>• Reporting and Artefact Management (if required).</li> <li>• Compile an Aboriginal Heritage Management Plan.</li> </ul>	Construction Stage
<b>Acoustics</b>	<ul style="list-style-type: none"> <li>• Cliffbrook Campus develop and publish a Noise Management Policy.</li> <li>• Partition and floor specifications will be included in the detailed design stage, and compliance with NCC BCA.</li> <li>• minimum 6mm float glass is used for the external glazing.</li> <li>• Doors separating a sole occupancy unit from a stairway, public corridor, public lobby etc. must have an Rw not less than 30.</li> <li>• Acoustic treatment of the mechanical plant on the lower ground, ground floor and on the roof top.</li> <li>• Consultation with neighbouring properties particularly prior to demolition and excavation.</li> <li>• Logging of any noise complaints received and follow up by the site manager.</li> <li>• Preparation of a construction programme for the works, from site establishment to site works and completion.</li> <li>• A Noise and Vibration Management Plan is to be prepared by the contractor.</li> </ul>	Ongoing
<b>Accessibility</b>	<ul style="list-style-type: none"> <li>• Access measures to be included as per the recommendations outlined in the Access Report, prepared by Accessibility Solutions.</li> </ul>	To be addressed during detailed design and prior to the release of a construction certificate

Issue	Mitigation/Management Recommendation	Stage of Development
<b>Environmental and Construction Management Plan</b>	<ul style="list-style-type: none"> <li>• A detailed Environmental and Construction Management Plan is to be prepared by the Contractor prior to the commencement of works, and is to include:</li> <li>• Appropriate dust suppression measures will be deployed and installed by the contractors to maintain a dust free environment to neighbouring properties as reasonable possible during the course of the project</li> <li>• Noise and Vibration Control Plan.</li> <li>• Soil and Water Management Plan.</li> <li>• Waste Management Plan.</li> <li>• Detailed CTMP to be prepared by the building contractor in association with UNSW</li> </ul>	Prior to the release of a construction certificate
<b>Arboricultural Assessment</b>	<ul style="list-style-type: none"> <li>• Trees 1 to 3, 5, 6, trees 9, 10, 12 to 24, 25 to 34, 53 to 65 and trees 67 to 77 be retained and protected for the duration of the works.</li> <li>• Any excavation within or at the edge of nominated Structural Root Zone of any tree will need to be completed under the supervision of the AQF level 5 site Arborist. Supervision of the excavation of the northern basement wall for trees 16-24 will be required. If any roots 50mm+ are located the AQF level 5 Arborist should be consulted.</li> <li>• It is recommended that all tree protection measures are in place as described in section 4 of the Arboricultural report prior to the commencement of any further works.</li> <li>• At the end of the works period the tree will be inspected by an AQF 5 Arborist to determine if the trees have been maintained adequately.</li> <li>• Employ construction procedures using the Australian Standard AS4970 2009 Protection of trees on development sites as a basis for tree protection as well as the site specific instructions listed in section 5 of the Arboricultural report.</li> </ul>	During construction
<b>Heritage conservation</b>	<ul style="list-style-type: none"> <li>• An archival recording on the site should be prepared prior to the commencement of works.</li> </ul>	Prior to construction

Issue	Mitigation/Management Recommendation	Stage of Development
	<ul style="list-style-type: none"> <li>An interpretation strategy for the site should be prepared that considers the early history of the site as a private residence and its use by the AAEC.</li> </ul>	
<b>Contamination</b>	<ul style="list-style-type: none"> <li>The asbestos in soil impact be managed without disturbance by developing and implementing a site-specific Asbestos Management Plan, and inclusion of the asbestos in soil locations on a site asbestos register.</li> </ul>	Prior to construction
<b>Geotechnical</b>	<ul style="list-style-type: none"> <li>Implementation of the recommendations contained in Section 5 of the Geotechnical Assessment report prepared by Pells Sullivan</li> </ul>	Prior to construction
<b>Water management</b>	<p>Manage any impacts from stormwater including:</p> <ul style="list-style-type: none"> <li>Implement stormwater concept.</li> <li>Discharge into the existing Council stormwater pit.</li> <li>Improve quality of stormwater through WSUD including grassed swales, open turf areas, gross pollutant traps and collection and reuse of clean roof water.</li> </ul>	Construction and during operation
<b>Waste</b>	<p>Minimise excessive waste generation by:</p> <ul style="list-style-type: none"> <li>Waste generated during construction for disposal to be removed by a licensed waste contractor and disposed of in a licensed landfill facility if/as required.</li> <li>Segregate and recycle solid wastes generated by construction activities Reduce wastes by selecting, in order of preference, avoidance, reduction, reuse and recycling.</li> <li>Make purchasing decisions that consider recycled products.</li> <li>Consider measures and performance based targets for reduction, reuse and recycling.</li> </ul>	Construction and during operation



# 9. SITE SUITABILITY AND THE PUBLIC INTEREST

## 9.1. SITE SUITABILITY

The site is considered highly suitable for the proposed development for the following reasons:

- The land is zoned SP2 Infrastructure and RE2 Private Recreation under the RLEP. The proposed development is permissible with consent and consistent with the land use objectives of SP2 and RE2 zoning;
- The proposal is consistent with the objectives of all relevant planning controls and achieves a high level of planning policy compliance; and
- There are no significant environmental constraints limiting development on the site.

## 9.2. THE PUBLIC INTEREST

The proposal is in the public interest because:

- It has been prepared having regard to SEPP (State and Regional Development) and 2011 RLEP 2012 and the works are permissible with consent.
- It has been prepared having regard to Council's planning policies and complies with the aims and objectives of the controls for the site.
- It is suitable for the site as evidenced by the site analysis and various site investigations, including geotechnical, flooding, site contamination and flora and fauna.
- The State Heritage listed item of "Cliffbrook" (comprising Cliffbrook House, stone garage and stone walls) will be refurbished to conserve and enhance the significance of the item.
- It does not have any unacceptable impacts on adjoining or surrounding properties or the public domain in terms of traffic, social and environmental impacts.
- The design is of a high quality in terms of built form and architectural treatment and responds positively to the character and scale of the area. The form ensures the principles of view sharing are adhered to.
- It will result in a high quality educational environment for course participants and staff through:
  - Creating a 4 star state of art teaching and accommodation retreat for participants.
  - Providing high quality expanse of open space for participants.
  - Enabling an excellent executive academic programme.
  - Developing efficient, effective, expressive and environmentally sustainable facilities.
- It will contribute positively to energy efficiency and environmental sustainability. The design of the new building has adopted and incorporated many ESD features to reduce energy consumption during the life of the proposed development.

## 10. CONCLUSION

This EIS has been prepared by Urbis Pty Ltd on behalf of UNSW in support of SSD 8126, which seeks approval for demolition of two on site buildings and redevelopment of the Cliffbrook Campus to provide teaching and learning facilities and associated accommodation for course participants of the AGSM of UNSW. The EIS has been prepared to assess the proposed development having regard to the SEARs and the relevant State and local planning policies. The EIS accords with:

- Part 4.1 of the *Environmental Planning and Assessment Act 1979*;
- Schedule 2, Part 3 of the *Environmental Planning and Assessment Regulation 2000*;
- Schedule 2 of the *State Environmental Planning Policy (State and Regional Development) 2011*; and
- The SEARs issued pursuant to Section 75E of the *Environmental Planning and Assessment Act 1979*.

We conclude that:

- The proposal demonstrates consistency with the relevant environmental planning instruments including strategic planning policy, State and local planning legislation, regulation and policies.
- The design positively responds to the site conditions and surrounding development;
- The relocation of the existing AGSM residential program to the Cliffbrook Campus allows for the continuation of an essential tertiary education program. In doing so, UNSW will utilise a current underutilised site, proximate to the main Kensington campus, to create a viable and functional teaching, learning and accommodation facility.
- The design has been through multiple reiterations in response to the community concerns and extensive community consultation to address the matters of privacy, views, heritage, safety, traffic and parking and acoustics.
- The proposed building will ensure appropriate view sharing for surrounding residential development in relation to the existing views to and from the item and to the ocean. There have been many design modifications undertaken to address a number of concerns including visual impact as well as to address other priorities and issues such as heritage significance of the site, amenity and compatibility of the proposal with the site setting. We submit that are no further design changes required to be made to the submitted design.
- Vegetation to the rear of the site will be maintained and regenerated where possible.
- The surrounding residential amenity of the context is maintained to ensure there are no adverse noise impacts, overlooking or privacy concerns.
- The proposal will result in positive economic impacts through the provision of direct and indirect employment, during both construction and operation.
- The Statement of Heritage Impact and Conservation Management Plan support the proposal and the long term management of the state listed heritage item.
- It has been demonstrated that the proposed works will result in minimal environmental impacts, all of which can be managed or mitigated appropriately as outlined in this report.
- The proposal is in the public's interest; and
- The proposal appropriately satisfies each item within the SEARs.

Given the merits of the proposal and given the content of the EIS, it is requested that the Minister approve the proposal subject to the mitigation measures outlined in this report.

# DISCLAIMER

This report is dated 22 March 2017 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of University of New South Wales (**Instructing Party**) for the purpose of SSDA (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

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