

Jim Betts
Planning Secretary
Department of Planning, Industry and Environment
12 Darcy Street
Parramatta NSW 2150

Attn: Shiraz Ahmed

20 November 2020

Dear Mr Ahmed,

Lindfield Learning Village Phase 2 and 3 – SSD 8114: Condition of Consent B4 – External walls & cladding

I refer to Lindfield Learning Village Phase 2 and 3 development approved on the 12 November 2020.

In accordance, with condition B4 of the Development Consent, the Department of Education – School Infrastructure is submitting the attached External Walls and Cladding compliance with confirmation that a copy has been provided to the Certifier who has also accepted this on date 20 November 2020. SINSW now submits this same documentation and approval to the Planning Secretary for information within the required seven day period.

Yours sincerely,



Pete Krause
Project Director
Schools Infrastructure NSW

Attachment 1: Condition Satisfaction Table

Attachment 2: Non-Combustible Compliance Certificates and supporting documents

Lindfield Learning Village Phase 2 and 3 – SSD 8114: Condition of Consent B4 – External Walls and Cladding

Condition	Condition requirements	Document Reference
External walls & cladding		
B4	<p>Prior to the commencement of construction, the Applicant must provide the Certifier with documented evidence that the products and systems proposed for use or used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the requirements of the BCA. The Applicant must provide a copy of the documentation given to the Certifier to the Planning Secretary within seven days after the Certifier accepts it.</p>	<p>All external walls and cladding used for the external façade is deemed to non-combustible.</p> <p>Reference:</p> <ul style="list-style-type: none"> - Vitrapanel data sheet (used on the Cola and Q2 stair structure) - Lindfield Learning Village Stage 2 External Finishes Schedule rev B - James Hardie Compliance Certificate for Non-Combustible Materials dated March 2018 <p>Submission to the Certifier (Modern Building Certifiers) via aconex ref: Hindmars-GCOR-000534 dated 14/10/2020 Satisfaction of the Certifier received via aconex ref: ModernBC-CADV-000019 dated 20/11/2020</p> <p>Date of submission to the Planning Secretary within seven days after Certifier accepts as per cover letter.</p>

LINDFIELD LEARNING VILLAGE STAGE 2

EXTERNAL FINISHES SCHEDULE

PROJECT NO: P19-006

Document No. AR-2-13010

No.	Revision	Date	Approved by
A	FOR TENDER	15/05/2020	PA
B	DESIGN DEVELOPMENT	28/09/2020	KH/AD/CS

NBRSARCHITECTURE.

NBRS & PARTNERS Pty Ltd
Level 3, 4 Glen Street
Milsons Point
NSW 2061 Australia

+61 2 9922 2344
nbrsarchitecture.com

Nominated Architects
Andrew Duffin: Reg No. 5602




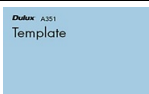



ABN 16 002 247 565

© 2020

This document remains the property of NBRS & PARTNERS Pty Ltd. The document may only be used for the purposes for which it was produced.
Unauthorised use of the document in any form whatsoever is prohibited.



EXTERNAL FINISHES SCHEDULE

Project No: P19-006 Lindfield Learning Village - Stage 2

CODE	TYPE	DESCRIPTION	MANUFACTURER	LOCATION	IMAGE	COMMENTS	REV
EXTERNAL WALL FINISHES							
BR-01	BRICK WALL INFILL & REPAIR	Existing bricks from stockpile on site		External Wall Finish		Clean existing bricks of mortar & discolouration for reuse	A
SCN-02	EXTERNAL MESH SCREENS	1.5mm gauge 316 stainless steel stranded wire mesh with 25mm aperture certified to EN1263-1 for static & dynamic load capacity	JACOB	Balustrade security barriers rooftop Cola, fire stair & light void infill mesh panels		Refer to architectural elevations for extent & details.	A
CLAD-05	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: YELLOW WARBLER	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
CLAD-06	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: HAPPY	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
CLAD-07	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: TEMPLATE	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
CLAD-08	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: MISTY BEAD	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
CLAD-09	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: CANDIDATE	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
CLAD-10	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: BIRDSEED	VITRAPANEL	External Fibre Cement Cladding to COLA & Fire stair		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A

EXTERNAL FINISHES SCHEDULE

Project No: P19-006 Lindfield Learning Village - Stage 2



CODE	TYPE	DESCRIPTION	MANUFACTURER	LOCATION	IMAGE	COMMENTS	REV
CLAD-11	CLADDING	12mm Vitrapanel Fixed with wafer head screws & façade washer Colour: To match colorbond SURFMIST	VITRAPANEL	External Fibre Cement Cladding to Lv 6 Zone K skylight		10mm joints, sealant filled similar to james hardie joint sealant and Bostik seal and flex	A
	RETRACTABLE AWNINGS	Shenker Retractable Awning NGM20 Fabric: Bushfire & Fungal resistant	SHENKER	External Awning level 2,3 & 4 Courtyards			A
	INSULATION	Medium Duty bulk insulation facing Thermofoil Medium Duty Wall insulation	CSR BRADFORD	External wall insulation lift bridges level 4, 5 & 6		Medium Duty bulk insulation facing	A

EXTERNAL MISCELLANEOUS

FT-01	SECURITY FENCE	2100 high x 40mm square hollow section frame • Galvabond square hollow section posts complete with permanently fitted proprietary galvabond steel caps COL: PT-15	AUSTRALIA SECURITY FENCING	External Security Perimeter Fence		Refer architectural drawings for extent and SPECIFICATION	B
HDG	GALVANIZED COATING	Finish: Hot dip galvanized		External exposed steel members roof top fence		Refer architectural drawings for extent	A
	LADDER ROOF ACCESS	LD 400/Modular ladder systems for roof access	SAYFA SYSTEMS GROUP	External Ladder Support & Attachment Point		Katt Ladder Support Bracket (LD402) - Gutter & Parapet Mount Type	A
	FALL ARRESTING EQUIPMENT	Fall arresting equipment & systems for all roofs	SAYFA SYSTEMS GROUP	External fall arresting equipment to all roofs			A
ST-01	STEEL COLUMN	Paint and corrosion protection system to exposed steel columns: DULUX DUREMAX GPE ZP. PRODUCT CODE 78052033 + TOP COAT Colour: Charcoal	DULUX	ALL External Steel ColumnS		Refer arch docs for location + structural eng docs for details Follow dulux application requirements Sample to be provided	A

EXTERNAL FINISHES SCHEDULE

Project No: P19-006 Lindfield Learning Village - Stage 2


CODE	TYPE	DESCRIPTION	MANUFACTURER	LOCATION	IMAGE	COMMENTS	REV
PT-05	PAINT FINISH	Dulux Weathershield Semi Gloss Colour: Natural White	DULUX	External Waffle & Concrete surfaces			A
PT-14	POWDER COAT	Anodized Colour: back to match existing		EXTERNAL DOOR & WINDOW FRAMING		Refer arch docs for location Sample to be provided	A
PT-15	POWDER COAT	Powder coat aluminium Colour: BLACK	SATIN BLACK - POWDERCOAT FINISH	EXTERNAL FENCING		Refer arch docs for location Sample to be provided	A

EXTERNAL ROOF FINISHES

CL-04	CEILING	STRAMIT Longspan Perforated aluminium sheets - ZAM finish	STRAMIT	Metal Work awning, COLA		with acoustic insulation	A
	VILLABOARD	Villaboard - Level 5 Finish 9mm	JAMES HARDIE			Villaboard, refer architectural details	A
RFS-01	ROOF	Metal Deck Roof Model: LONGLINE 305 Colour: Colorbond - Surfemist Thickness: MBT 0.7mm	LYSAGHT	Metal Work awning, COLA's & fire stair			A
	ROOF FASCIA & FLASHING	Colorbond steel 0.6 BMT Colour: Colourbond - Surfemist	LYSAGHT	Roof fascias & flashing			A
RWH-01	RAINWATER HEADS	Rainwater heads Model: 0.60mm BMT Colour: Zinalume	LYSAGHT	External Rainwater Head HB1 Cola roof		Refer to Hydraulic drawings for sizes and connections	A
	FLASHINGS	Zinalume Flashing Zinalume steel sheet Colour: Zinalume Model: 0.70mm BMT	LYSAGHT	Roof/Wall Flashing			A

EXTERNAL FINISHES SCHEDULE

Project No: P19-006 Lindfield Learning Village - Stage 2


CODE	TYPE	DESCRIPTION	MANUFACTURER	LOCATION	IMAGE	COMMENTS	REV
	HAIL GUARDS	Metal Gutter Guard Material to match box gutters Colour: Zinalume	Total Guard Australia Gutter protection	Box Gutters and rainwater heads			A
	PROFIED FILLERS	Profiled Fillers Profiled to match the roofing profile	PROPRIETARY ITEM	External Profiled Fillers		Purpose-made closed cell polyethylene foam	A
	INSULATION	Ardex Polyiso boards (50.8mm thick x 2)	ARDEX	Roof		Refer to Roof repair report	A
	INSULATION	Insulation - Roof R4 Anticon 145 Thermal Blanket	CSR BRADFORD	Roof Insulation (New roof only)		R4 Insulation throughout	A
	INSULATION	Acoustic Insulation Acoustigard - Acoustic Glasswool	CSR BRADFORD	COLA's ceiling			A

EXTERNAL DRAINAGE


GU-01	GUTTERS	Box Gutter Colour: Zinalume Thickness: 0.70mm BMT Eaves Gutter: Half round	LYSAGHT	Metal Work awning, COLA's & fire stair		Refer to Hydraulic drawings for sizes and connections	A
	LEAF Screen	Leaf Screens to downpipes and grates: metal gutter guard	TOTAL GUARD AUSTRALIA	Metal Work awning, COLA's & fire stair			A
	HAIL GUARDS	Metal gutter guard over box gutters and downpipes	TOTAL GUARD AUSTRALIA	Metal Work awning, COLA's & fire stair			A
DP-01	DOWN PIPES	Round Downpipes Model: 0.60mm BMT Colour: Zinalume	LYSAGHT	Metal Work awning, COLA's & fire stair		Refer to Hydraulic drawings for sizes and connections	A
	SPREADER	Spreader Model: 0.60mm BMT Colour: Zinalume	LYSAGHT	External Spreader			A

EXTERNAL FINISHES SCHEDULE

Project No: P19-006 Lindfield Learning Village - Stage 2

CODE	TYPE	DESCRIPTION	MANUFACTURER	LOCATION	IMAGE	COMMENTS	REV
TIL-10	EXTERNAL TILES	GRES White body ceramic Tile Size: 11.7 x 24.5cm Thickness: 8.0MM Nature of Surface: Glazed / Matt	MODENA CERAMICS PTY LTD Contact Franco Pedes (02) 9674 1244	EXTERNAL PAVING - WHERE NOTED ON THE PLANS		New tile selection to match existing and endorsed by heritage Consultant	A

EXTERNAL FLOOR FINISHES

PAV1	CONCRETE	Concrete OXIDE - BROOM FINISH	Concrete Colour Systems	External Pathway		Refer to Landscape drawings and specification for additional information	A
MEM-01	MEMBRANE FINISHES	ARDEX TPO membranes	ARDEX			Refer roof repair report	A
TGSI-01 TO 02						REFER TO INTERNAL FINISHES SCHEDULES FOR ALL TACTILE TYPES	A
NOS-01 TO 04						REFER TO INTERNAL FINISHES SCHEDULES FOR ALL NOSING TYPES	A
FW-2	STORMWATER GRATES	100mm Linear Stormtech 100TRI 40MTL Heelguard grate	STORMTECH	terraces		Refer to Architectural & Hydraulic drawings for drainage connections	A
FW-3	STORMWATER GRATES	200mm Square Stormtech SQ 200CR Heelguard grate	STORMTECH	terraces		Refer to Architectural & Hydraulic drawings for drainage connections	A
FW-4	STORMWATER GRATES	150mm flush Threshold drains	ALSPEC	All external full height windows & doors		Refer to Architectural & Hydraulic drawings for drainage connections	A
FW-5	STORMWATER GRATES	Code: #285219 Heavy Duty Domed vertical rain water outlet	GALVIN ENGINEERING	Rooftop inaccessible areas (outside of proposed fence)		Refer to Architectural & Hydraulic drawings for drainage connections	A

March 2018

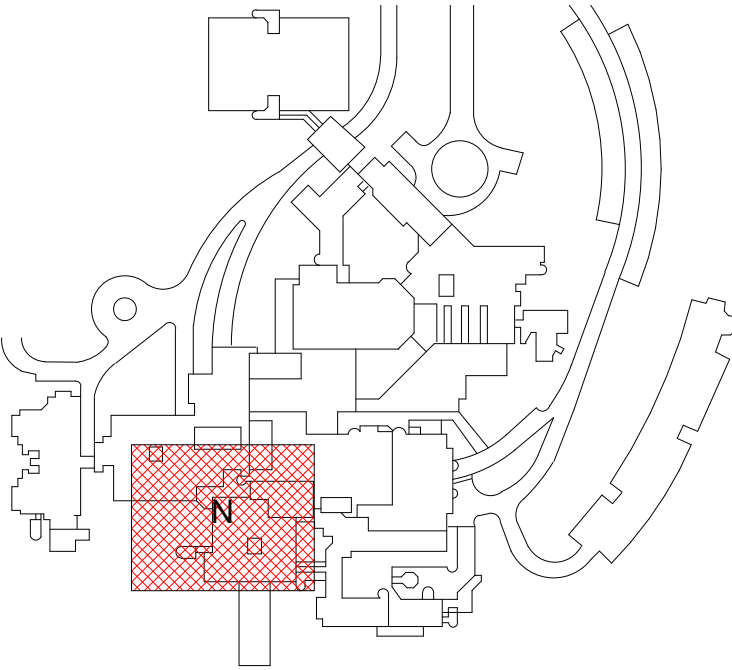
Compliance for Non-combustible Materials

James Hardie® Building Products

The following information is provided in regards to James Hardie®'s fibre cement products and their non-combustible attributes:

- James Hardie® building products are manufactured from Portland cement, ground sand, cellulose fibre and water.
- James Hardie® fibre cement products are autoclaved to cure under heat and pressure.
- James Hardie® fibre cement products are manufactured to comply with AS/NZS 2908.2:2000 Cellulose-cement products - Flat Sheets (ISO 8336 Fibre-cement flat sheets).
- In accordance with the standard characteristic type tests required by AS/NZS 2908.2:2000 (ISO 8336), James Hardie® fibre cement products have a classification of Type A/Type B Category 3. This makes them classified under section C as 'Fibre-reinforcing cement sheeting'.
- James Hardie® fibre cement products are suitable where non-combustible materials are required in accordance with Deemed-to-Satisfy Provisions C1.9 (e) of the NCC, Building Code of Australia Volume One Amendment 1. (Refer to Section C, Part C1, C1.9 (e)).
- James Hardie® fibre cement products have been tested by CSIRO in accordance with AS/NZS 3837 ('Method of test for heat and smoke release rates for materials and products using an oxygen consumption calorimeter') and have been classified to conform to Group 1 (highest and best result possible), with an average specific extinction area far lower than the permissible 250m²/kg, as referenced in Specification C1.10 of the BCA Vol 1.

NOTE: In addition to the above, refer to James Hardie® compliance certificates and physical properties certificates for further reference.



PRELIMINARY

Client



Managing Contractor



TRAFFIC ENGINEER

ARUP
ph: (02) 9320 9320

SERVICES ENGINEER

ERBAS AND ASSOCIATES
ph: (02) 9437 1022

FIRE ENGINEER

STEPHEN GRUBITS & ASSOC.
ph: (02) 9247 1444

CIVIL AND STRUCTURAL ENGINEER

BIRZULIS ASSOCIATES
ph: (09) 9555 7230

BCA CONSULTANT

MBC
ph: (02) 9939 1530

QUANTITY SURVEYOR

WILD AND WOOLLARD
ph: (02) 9411 2777

PROJECT MANAGER

SAVILLS
ph: (02) 8215 8888

ISSUE	No.	Date	Description	Chkd
A			PLACE HOLDER REVISION	
B			PLACE HOLDER REVISION	
C	18.09.2020		PRELIMINARY DD ISSUE	NBRS
D	29.09.2020		WALL TYPE UPDATES	NBRS

Architect

NBRSEARCHITECTURE.

Sydney
61 2 9922 2344
nbrsarchitecture.com
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

Nominated Architect:
Andrew Duffin NSW 5602
NBRS & Partners Pty Ltd VIC 51197
ABN 16 002 247 565

Project

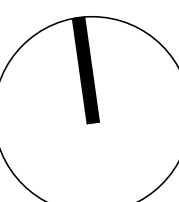
Lindfield Learning Centre

at
100 ETON RD, LINDFIELD NSW 2070

for
SCHOOL INFRASTRUCTURE NSW

Drawing Title

STAGE 2 - GA PLAN - LEVEL2 -
ZONE N



Date 1/10/2020 5:52:24 PM
Scale 1 : 100 @ A1

Drawing Reference
AR-2302N

Revision
D

0 10 20 30 40 50 60 70 80 90 100

GENERAL NOTE:

1.1 - FOR ALL EXISTING EXTERNAL TILES:

CONTRACTOR TO ALLOW TO REPLACE ALL EXTERNAL TERRACE TILES AND WATER PROOFING MEMBRANE. REFER TO FINISHES SCHEDULE FOR ALTERNATIVE SELECTION. INSPECT ON SITE FOR ANY DAMAGED WATERPROOFING AND EFFLORESCENCE. REPLACE WATERPROOFING MEMBRANE TO BTS SPECIFICATION.

1.2 - NEW BUSHFIRE BAL-FZ SHUTTER TO ALL EXTERNAL WINDOWS:

REFER TO WINDOW SCHEDULES AND ELEVATIONS FOR DETAILS UNLESS NOTED.

1.3 - WATER PRESSURE TEST TO ALL EXISTING EXTERNAL WINDOWS:

CONTRACTOR TO PERFORM WATER PRESSURE TEST ON ALL EXISTING WINDOWS AND FRAMES. REPLACE AND MAKE GOOD ANY WINDOW SEALS AND WATERPROOFING AS REQUIRED TO SATISFY BCA AND AS STANDARDS.

1.4 - FOR ALL FULL HEIGHT WINDOWS AND GLAZED DOORS TO OUTDOOR AREA:

CONTRACTOR TO REPLACE ALL FULL HEIGHT WINDOWS AND GLAZED DOORS TO COURTYARDS AND TERRACE AREAS. REFER TO WINDOW SCHEDULE FOR DETAILS. CHECK AND CONFIRM ALL WINDOW DIMENSIONS ON SITE.

1.5 - FOR ALL EXISTING ROOFS, INCL. TILED TERRACES & PLANTERS:

NEW WATERPROOFING IS TO BE INSTALLED TO ALL EXISTING ROOFS. REFER TO BTS SPECIFICATION FOR ROOF TYPES TO CONFIRM EXISTING MEMBRANE AND INSULATION CONDITIONS. AND NEW INSULATION, MEMBRANES, PLANTER DETAILS AND BALLAST REQUIREMENTS. ALSO REFER TO ROOF & FACADE BUSHFIRE MEASURES STRATEGY REPORT FOR BALLAST SPECIFICATIONS.

2.0 - ASBESTOS:

EXISTING WINDOW CORKING AND WAFFLE CEILINGS CONTAINS ASBESTOS. REFER TO HAZMAT REPORT FOR SAFERWORK METHODS REQUIREMENTS.

NEW FRL -/60/60 WALL AND DOOR TO UNDERSIDE OF STAIRS

NEW BAL-FZ GLAZED DOOR

NEW WALL POSITIONED WHERE SLOPE OF STAIR ABOVE BEGINS

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

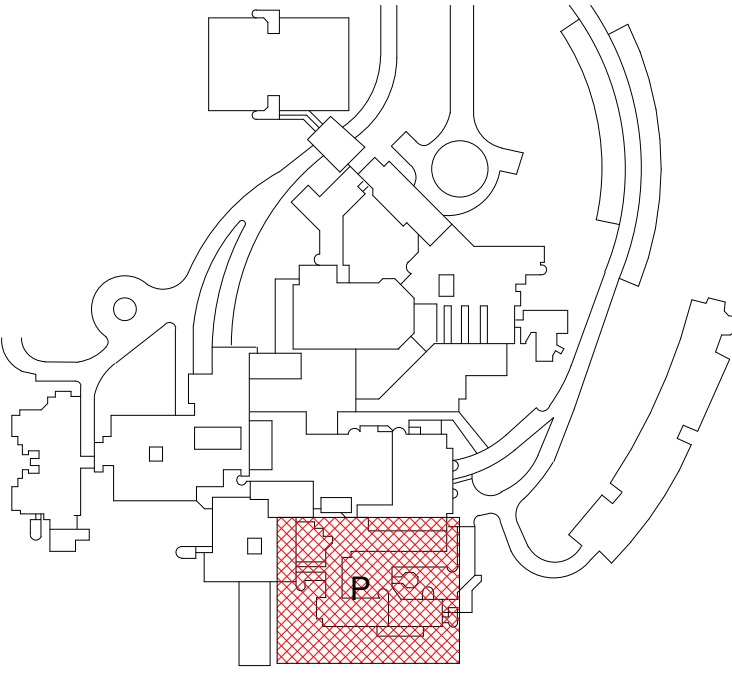
NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR

NEW BAL-FZ GLAZED DOOR



PRELIMINARY

Client



Managing Contractor



TRAFFIC ENGINEER

ARUP
ph: (02) 9320 9320

SERVICES ENGINEER

ERBAS AND ASSOCIATES
ph: (02) 9437 1022

FIRE ENGINEER

STEPHEN GRUBITS & ASSOC.
ph: (02) 9247 1444

CIVIL AND STRUCTURAL ENGINEER

BIRZULIS ASSOCIATES
ph: (09) 9555 7230

BCA CONSULTANT

MBC
ph: (02) 9939 1530

QUANTITY SURVEYOR

WILD AND WOOLLARD
ph: (02) 9411 2777

PROJECT MANAGER

SAVILLS
ph: (02) 8215 8888

ISSUE	No.	Date	Description	Chkd
A			PLACE HOLDER REVISION	
B			PLACE HOLDER REVISION	
C	18.09.2020		PRELIMINARY DD ISSUE	NBR
D	29.09.2020		WALL TYPE UPDATES	NBR

Architect

NBRSEARCHITECTURE.

Sydney
61 2 9922 2344
nbsarchitecture.com
Any form of replication of this drawing in full or in part without the written permission of NBRSEARCHITECTURE Pty Ltd constitutes an infringement of the copyright.

Nominated Architect:
Andrew Duffin NSW 5602
NBRSEARCHITECTURE Pty Ltd VIC 51197
© 2020
ABN 16 002 247 565

Project

Lindfield Learning Centre

at

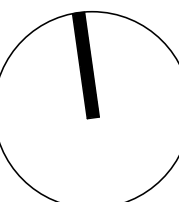
100 ETON RD, LINDFIELD NSW 2070

for

SCHOOL INFRASTRUCTURE NSW

Drawing Title

STAGE 2 - GA PLAN - LEVEL2 -
ZONE P



Date 1/10/2020 5:52:26 PM
Scale 1 : 100 @ A1

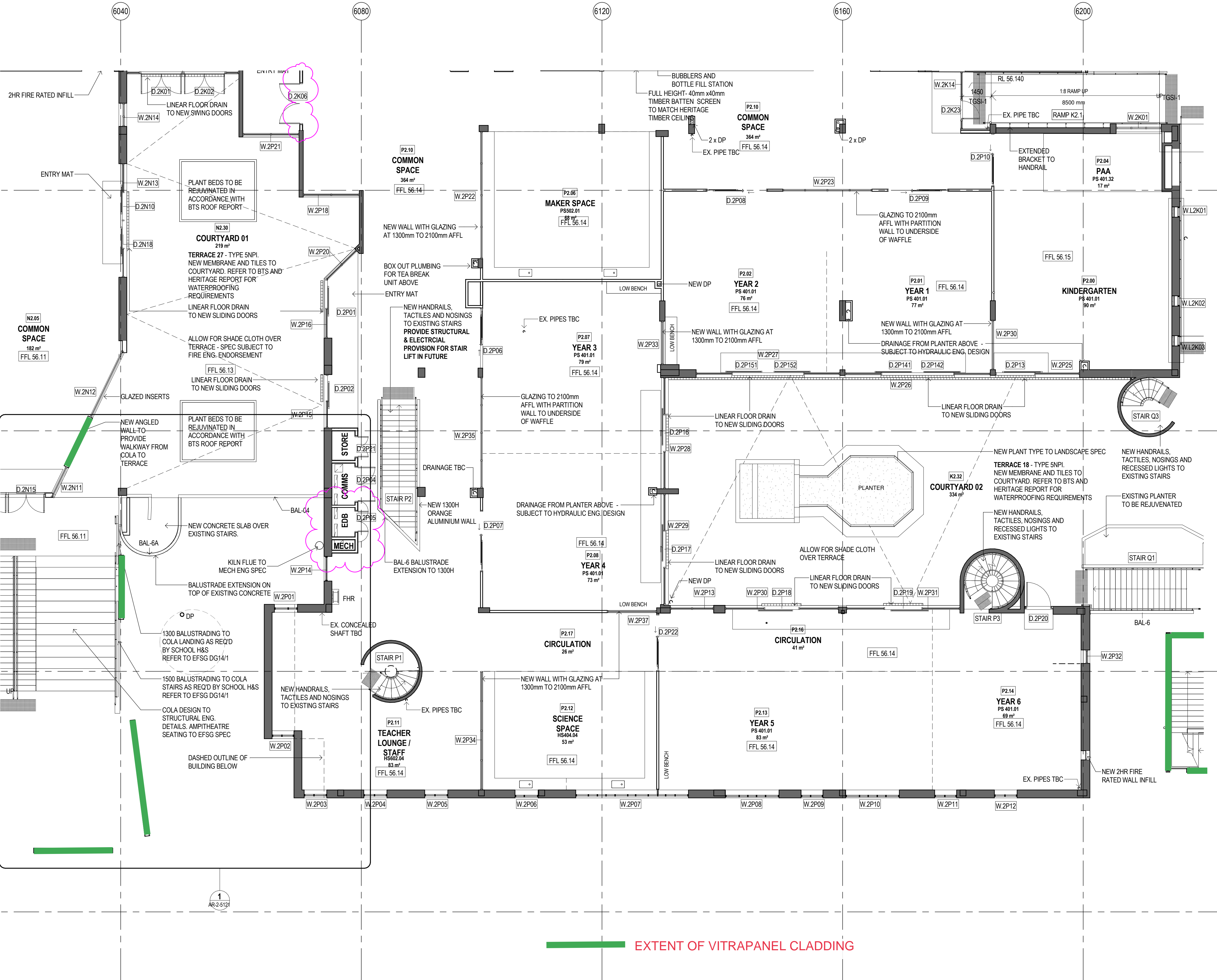
Drawing Reference

AR-2302P

Revision

D

0 10 20 30 40 50 60 70 80 90 100



EXTENT OF VITRAPANEL CLADDING

PRELIMINARY



**SCHOOL
INFRASTRUCTURE
NSW**

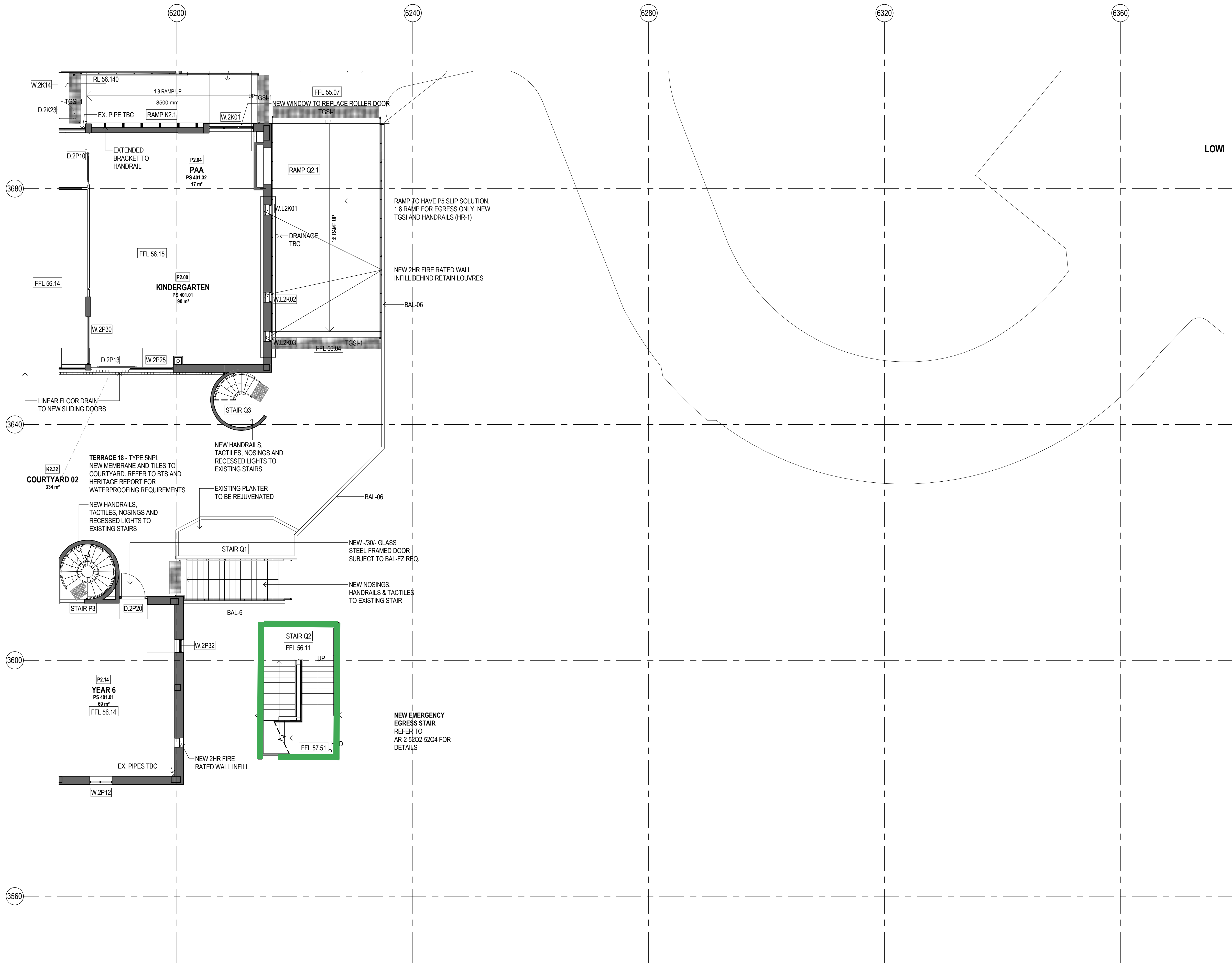


HINDMARSH
Leadership at work

Issue			
No.	Date	Description	Chkd
A		PLACE HOLDER REVISION	
B		PLACE HOLDER REVISION	
C	18.09.2020	PRELIMINARY DD ISSUE	NBRS

STAGE 2 - GA PLAN - LEVEL2 -
ZONE Q

A horizontal number line with tick marks at intervals of 10, labeled from 0 to 90.



Client



Managing Contractor

**TRAFIC ENGINEER**

ARUP
+1 (800) 828-8282

ph: (02) 9320 9320

SERVICES ENGINEER

ERBAS AND ASSOCIATES
ph: (02) 9437 1022

PH. (02) 3437 1022

FIRE ENGINEER

STEPHEN GRUBITS & ASSOC.
ph: (02) 9247 1444

pn: (02) 9247 1444

CIVIL AND STRUCTURAL ENGINEER
BIRZULIS ASSOCIATES

BIRZULIS ASSOCIATES
ph: (09) 9555 7230

BOA CONSULTANT

BCA CONSULT
MBC

ph: (02) 9939 1530

QUANTITY SUP

QUANTITY SURVEYOR
WILD AND WOOLLARD

ph: (02) 9411 2777

PROJECT MANAGER

SAVILLS

ph: (02) 8215 8888

Issue			
No.	Date	Description	Chkd
A		PLACE HOLDER REVISION	
B		PLACE HOLDER REVISION	
C	18.09.2020	PRELIMINARY DD ISSUE	NBRS
D	29.09.2020	WALL TYPE UPDATES	NBRS

Sydney
61 2 9922 2344
nbrsarchitecture.com

Any form of replication of this drawing in full or in part without the written permission of NBRs+PARTNERS Pty Ltd constitutes an infringement of the copyright.

Nominated Architect:
Andrew Duffin NSW 5602
NBRS & Partners Pty Ltd VIC 51197

© 2020
ABN 16 002 247 565

Project
Lindfield Learning Centre

at
100 ETON RD, LINDFIELD NSW 2070

for
SCHOOL INFRASTRUCTURE NSW

Drawing Title

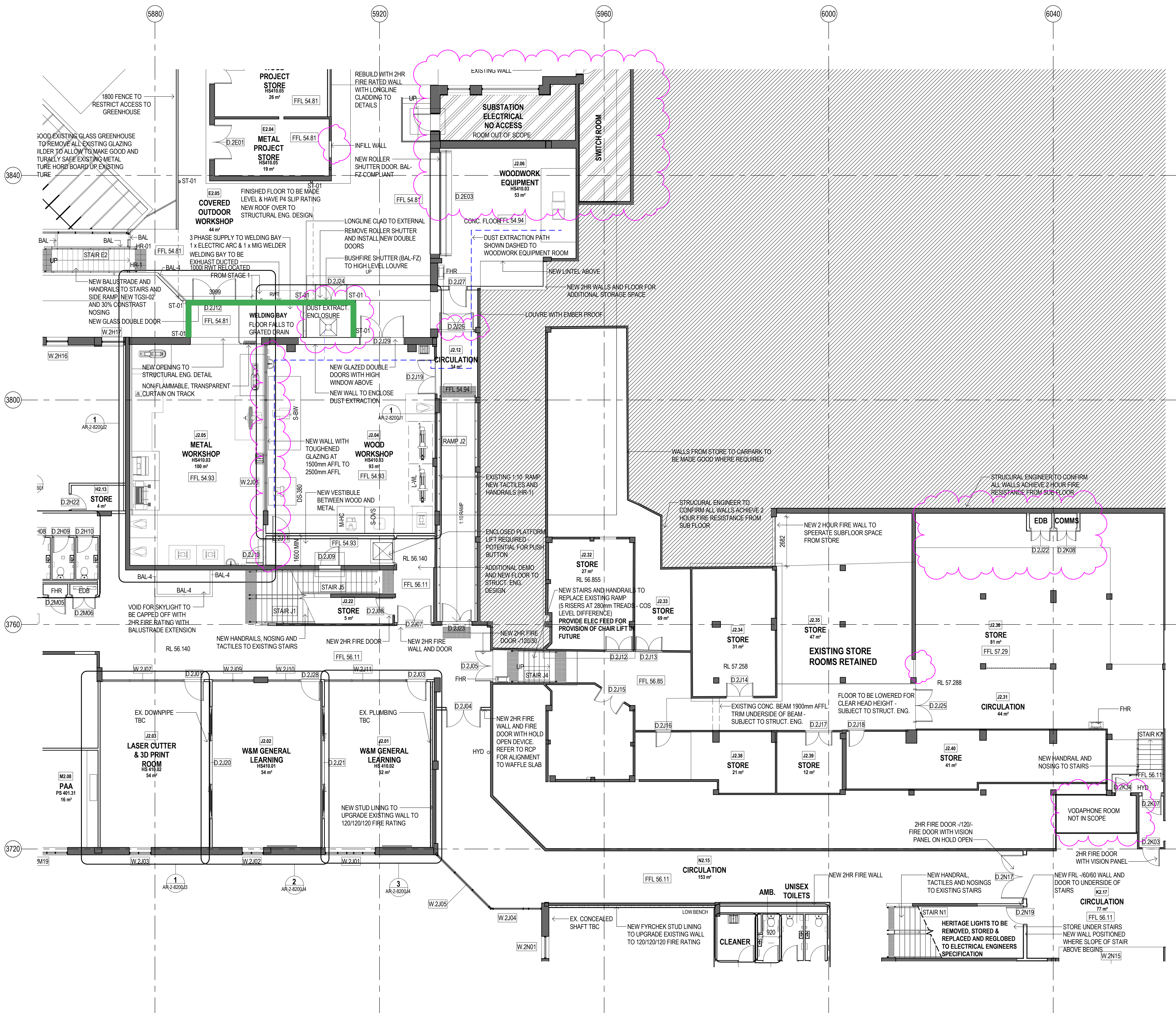
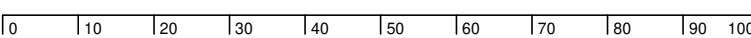
STAGE 2 - GA PLAN - LEVEL2 -
ZONE J

Date 1/10/2020 5:52:17 PM
Scale 1 : 100 @ A1

Drawing Reference
AR-2302J

Revision

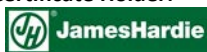
D



Certification Body:


 ABN: 80 111 217 568
 JAS-ANZ Accreditation No.
 Z4450210AK
 PO Box 7144, Sippy
 Downs Qld 4556
 +61 (07) 5445 2199
www.CertMark.org

Certificate Holder:



James Hardie Australia
 Pty Ltd
 ABN: 12 084 635 558
 10 Colquhoun St, Rosehill
 NSW 2142
www.jameshardie.com.au

Certificate number: CM40221 Rev1

THIS TO CERTIFY THAT

Exotec™ Facade Panel and Fixing System

Type and/or use of product:

External Façade Panel and Fixing System.

Description of product:

The James Hardie Exotec™ facade panel system is an express joint façade system comprising of compressed fibre cement (CFC) panels and the proprietary James Hardie top hat system. Panels are supplied as paintable or pre-finished.

COMPLIES WITH THE FOLLOWING BCA PROVISIONS AND STATE OR TERRITORY VARIATION(S)

BCA 2016

	Volume One (Amdt. 1)	Volume Two
Performance Requirement(s)	FP1.4 Roof and external walls must prevent the penetration of water	P2.2.2 Weatherproofing
Deemed-to-Satisfy Provision(s):	B1.2 Determination of individual actions	3.5.3.3(a) Wall cladding boards – Fibre-cement
	B1.4 Determination of structural resistance of materials and forms of construction	3.5.3.4(a) Sheet wall cladding
	C1.9(a)(i), (d)&(e)(iv) Non-combustible building elements	3.5.3.5 Eaves and soffit linings
	G5.2 Construction in bushfire prone areas (BAL Low-40)	Part 3.7.4 Bushfire areas (BAL Low-40)
	J1.5 Walls (9mm - R-Value 0.015 - Contributes to the overall performance of the building envelope)	3.11.2 Resistance to actions
		3.11.3 Determination of individual actions
		3.11.6 Determination of structural resistance of materials and forms of construction
		Building fabric thermal insulation (9mm - R-Value 0.015 - Contributes to the overall performance of the building envelope)
		3.12.1.4
State or territory variation(s):	NSW & SA G5.2, SA G5.3, QLD J1.5	QLD, NSW, SA & Tas 3.7.4


 John Thorpe - CMI


 Don Grehan – Unrestricted Building Certifier

Date of issue: 20/08/2018

Date of expiry: 13/04/2021



Certificate of Conformity

SUBJECT TO THE FOLLOWING LIMITATIONS AND CONDITIONS AND THE PRODUCT TECHNICAL DATA IN APPENDIX A AND EVALUATION STATEMENTS IN APPENDIX B

Limitations and conditions:

1. A qualified Structural Engineer must design the substructure and the connection between the substructure and the top hats.
2. The ExoTec™ Façade Panel and Fixing system must be installed in accordance with the relevant James Hardie technical literature. Where ExoTec™ Façade Panel is to be painted on-site or finished with a factory applied coating, the panels must be specified and installed in accordance with the [ExoTec™ Façade Panel and Fixing System Installation Guide \(April 2018\)](#) and ExoTec™ [Façade Panel and Fixing System Technical Specification \(April 2018\)](#). Where the ExoTec™ RAW Façade Panel is to be used, refer to the [ExoTec™ RAW Façade Panel and Fixing System \(April 2018\)](#).
3. It is the responsibility of the Project Engineer to determine the appropriate wind pressure for the project and specify the fixing of the top hats to the structure. The Engineer must limit deflection of the supporting structure to span/250 for Serviceability Wind Load in accordance with AS 1170.2:2011 'Structural design actions Wind actions'.
4. The Exotec™ Façade Panel, as certified, will contribute to the overall thermal performance of the building; however, the performance values are for guidance only and must be verified by a suitably qualified person(s). It is the responsibility of the building designer to ensure the minimum thermal requirements for the building envelope is achieved.
5. A suitable weather barrier must be installed behind Exotec™ Façade Panel and Fixing System in accordance with the relevant requirements of the BCA and AS/NZS 4200.2:2017 'Pliable building membranes and underlays Installation. Where a combustible weather barrier is proposed, it must be assessed independent of this certificate. Refer A6 – Other relevant technical data.
6. This Certificate is issued based on the evidence of compliance as detailed herein. Any deviation from the specifications contained in this Certificate is outside of this document's scope and the installation of the certified product/system will not be covered by this CodeMark certification. This may result in the product being classified as a non-conforming building product/system.
7. Information contained herein or related hereto is intended only for evaluation by technically skilled persons, with any use thereof to be at their independent discretion and risk. Nothing in this document should be construed as a warranty or guarantee by CMI, and the only applicable warranties will be those provided by the Certificate Holder.

Building classification/s:

1,2,3,4,5,6,7,8,9 & 10

Scope of certification: The CodeMark Scheme is a building product certification scheme. The rules of the Scheme are available at the ABCB website www.abcb.gov.au. This Certificate of Conformity is to confirm that the relevant requirements of the Building Code of Australia (BCA) as claimed against have been met. The responsibility for the product performance and its fitness for the intended use remain with the certificate holder. The certification is not transferrable to a manufacturer not listed on Appendix A of this certificate.

Disclaimer: The Scheme Owner, Scheme Administrator and Scheme Accreditation Body do not make any representations, warranties or guarantees, and accept no legal liability whatsoever arising from or connected to, the accuracy, reliability, currency or completeness of any material contained within this certificate; and the Scheme Owner, Scheme Administrator and Scheme Accreditation Body disclaim to the extent permitted by law, all liability (including negligence) for claims of losses, expenses, damages and costs arising as a result of the use of the product(s) referred to in this certificate.

APPENDIX A – PRODUCT TECHNICAL DATA

A1 Type and intended use of product

As per page 1.

A2 Description of product

Components

Product	Description	Quantity / Size (Nominal)		
Exotec™ facade panel	Dense compressed panel. Square edge. Factory sealed on all six sides. The Nominal density of the 9mm board is 1550kg/m³. The Paintable panel has a distinctive white face, which accepts a wide range of paint finishes. The panel must be installed with the white side facing the exterior of the structure. The Pre-Finished Panel is pre-sealed by James Hardie to create a natural “raw” fibre-cement aesthetic with an optional pre-finish using factory applied coating via a third-party supplier.	Thickness (mm)	Width (mm)	Lengths (mm)
		9	900 200	1800, 2100, 2400, 2700 and 3000
		12	1200	2400 and 3000
Exotec™ Top Hat	A rolled metal section, for use with Exotec™ façade panel and fixing system, designed to span vertically across the building structure to support façade panels and isolate different movement of the panels from those of the structure.	1.15 gauge	124 wide x 35 deep	6000 and 7200
James Hardie Intermediate Top Hat	A metal top hat installed vertically for use with Exotec™ and ComTex façade panel and fixing system, for intermediate sheet support.	1.15 gauge	50 wide x 35 deep	6000 and 7200
Exotec™ Gasket Snap Strip	For use with the Exotec™ façade panel fixing system, this gasket snap strip is specially designed to clip into the Exotec™ Top Hat at vertical façade panel joints to cover fixings to the structure and to provide an initial weather seal and drainage using a neoprene gasket.	-	-	3620
James Hardie Backing Strip	A weather seal at horizontal panel joints for use with Exotec™ façade panel and fixing system.	-	-	1190, 2390 and 2990
James Hardie Façade Washers	Façade washers used for exposed fastener fixing with Exotec™ façade panel and fixing system.	-	-	-
James Hardie Base Coat	A water-resistant base coat compound used to finish over countersunk fasteners with epoxy.	-	-	-
James Hardie Joint Sealant	A general purpose, paintable, exterior grade polyurethane joint sealant.	-	-	-
HardieEdge™ Trim	An architectural slab edge solution fabricated from high-quality powder coated aluminium.	-	-	3950

A3 Product specification

Physical Property	Saturated Condition	Equilibrium Condition 23°C – 50% RH	Standard
Average Bending Strength	> 7.0MPa	-	AS/NZS 2908.2:2000
Category	3		
Type	A		
Density in kg/m³ (Oven Dry)	1490	-	AS/NZS 2908.2:2000
Watertightness	-	Passes	AS/NZS 4284:2008 & AS/NZS 2908.2:2000
Dimensional Conformance	-	Passes	AS/NZS 2908.2:2000
Heat-Rain Durability		Passes	AS/NZS 2908.2:2000



Certificate of Conformity

Warm Water Resistance

Freeze-Thaw Resistance

Soak-dry

Combustibility

Suitable where non-combustible materials are required in accordance with C1.12 of the BCA

Deemed to comply with BCA

Bushfire

Provided any joints are no greater than 3mm or appropriately sealed, compliance with AS 3959-2009 as well as the National Construction Code of Australia Volumes 1 and 2 2016 and 2016 Amendment 1 for BAL-Low to BAL-40. BAL-FZ construction requires the ExoTec™ Façade Panel and Fixing System to be installed in conjunction with a suitable fire rated wall system with minimum 30 minute FRL – refer to the James Hardie Bush Fire Prone Areas Technical Supplement for more information, and James Hardie™ Fire and Acoustically Rated Walls Application Guide.

Thermal Properties

The ExoTec™ facade panels will contribute to the overall thermal performance of the building; however, it is the responsibility of the building designer to ensure the minimum thermal requirements for the building envelope is achieved.

When tested in accordance with ASTM C518, the 9mm panel achieves an R-Value of 0.015. It is the responsibility of the building designer to ensure the minimum R-Value for the building envelope is achieved.

A4 Manufacturer and manufacturing plant(s)

James Hardie Australia
1-35 Cobalt Street,
Carole Park QLD 4300
Australia.

A5 Installation requirements

The ExoTec™ Façade Panel and Fixing system must be installed in accordance with the relevant James Hardie technical literature. Where ExoTec™ Façade Panel is to be painted on-site or finished with a factory applied coating, the panels must be specified and installed in accordance with the [ExoTec™ Façade Panel and Fixing System Installation Guide \(April 2018\)](#) and ExoTec™ [Façade Panel and Fixing System Technical Specification \(April 2018\)](#). Where the ExoTec™ RAW Façade Panel is to be used, refer to the [Façade Panel and Fixing System Technical Specification \(April 2018\)](#).

Failure to install, finish or maintain this product in accordance with applicable building codes, regulations, standards and James Hardie's written application instructions may lead to personal injury, affect system performance, violate local building codes, and void James Hardie's product warranty.

The builder must ensure the product meets aesthetic requirements before installation. James Hardie will not be responsible for rectifying aesthetic surface variations following installation.

A6 Other relevant technical data

Fire

Testing has been conducted by CSIRO on the James Hardie Cladding materials in accordance with AS/NZS 3837:1998 and are classified as conforming to Group 1 material. (Average Specific Extinction Area 55.1m²/Kg).

APPENDIX B – EVALUATION STATEMENTS

B1 Evaluation methods

1. Structural Provision – A2.2(a)(v) and 1.2.2(a)(iii). Reports from Qualified Professional Engineer.
2. Characteristic Type Testing – A2.2(a)(iv) and 1.2.2(a)(i). Reports from accredited test laboratories.
3. Bushfire Assessment – A2.2(a)(v) and 1.2.2(a)(iii). Reports from a Qualified Professional Engineer.
4. Fire Assessment – A2.2(a)(iv) and 1.2.2(a)(i). Reports from accredited test laboratories.
5. Weatherproofing Assessment – A2.2(a)(iv) and 1.2.2(a)(i). Reports from accredited test laboratories.
6. Thermal Properties – A2.2(a)(v) and 1.2.2(a)(iii). Reports from an appropriately qualified person.

B2 Reports

1. Cardno; Engineering Report S11713-LO-44A; Certification of James Hardie ExoTec™ Façade Panel and Fixing System - compliance to AS/NZS 1170.2-2002 Clause 2.5.5 & AS 4040.3-1992; Dated 18/08/2009.
2. David Beneke Consulting Pty Ltd; Report No.: 2011-45-LO-05; Certification of James Hardie ExoTec™ Façade Systems in High Wind Applications; Dated 19/04/2011.
3. James Hardie Australia Pty Ltd; NATA Accreditation No. 14220; Compliance Certificate ExoTec™ Façade Panel - Characteristic Type Tests required by AS/NZS 2908.2:2000; Dated July 2010.
4. CSIRO; NATA Accreditation No. 165; Certificate No.: 1126; Certificate of Assessment in accordance with AS/NZS 3837 Group Number 1 and Average specific extinction area: 55.1m²/kg; Dated 28/08/2008.
5. Acronem Consulting Australia Pty Ltd; Thermal break requirements for Exotec™ on Metal Frames Single Stud; Dated 28/11/2017.
6. Facade Testing NZ Limited; IANZ Accreditation No. 1259; Report No. FT-R1005a; Testing in accordance with AS/NZS 4284:2008; Dated 08-09/05/2017.
7. BRANZ, Project Number: EC0712; Thermal Conductivity Measurement of Six Samples of Fibre Cement Board Products; Dated 17/10/2003.
8. Ignis Solutions Pty Ltd; Evaluation No. IGNS-6690-01 Issue 01 Revision 00[2018]; Compliance with AS 3959-2009 BAL Low-40; Dated 31/03/2018.

The Certificate holder has chosen not to make the above evidence of compliance publicly available, due to the documents being considered commercial in confidence.

Characteristics

INTRODUCTION

The VITRAGROUP-exclusive coating systems, VITRATHANE 643 and VITRAFLON 700, feature a number of unique characteristics. For more information consult the technical section of this manual.

GRAFFITI RESISTANT

Graffiti and chemical resistance allows for quick and economical removal without effecting the glazed surface. Ideal for tunnels, bridges, train stations, bus shelters, educational and public buildings, and other "targeted" structures. No repainting or high pressure water blasting is required.



WEATHER/U.V. RESISTANT

Unique thermosetting factory finish withstands long-term exposure to dramatic changes in weather, including extreme temperatures such as those experienced in tropical equatorial regions and sub-Arctic environments. Provides lifetime resilience.



BACTERIA & MOULD RESISTANT

Tough glazed coating on panel front and edges prevents the adhesion or growth of bacteria and mould. Easy to keep clean. Ideal for hospitals, clinics, laboratories, food preparation areas, kitchens and abattoirs demanding the strictest hygiene levels.



POLLUTION & GRIME RESISTANT

Resistant to pollution and industrial grime and mildew. Impervious to chemicals, solvents and cleaning agents. Requires minimal maintenance to keep an as-new appearance.



IMPACT RESISTANT

Ceramic-like surface withstands being bumped or accidentally knocked by foreign objects.



COLOUR FADE RESISTANT

VITRAGROUP coatings continue to keep their as-new appearance for decades. Won't fade, blotch, or ripple.



ACOUSTIC QUALITIES

High soundproofing ratings – ideal for airports, public transport stations, schools, universities, hospitals, commercial facilities, etc.



UNLIMITED COLOUR RANGE

Thousands of standard, metallic, rainbow fleck, pearl, "flip" pearlescent and custom image graphic designs to choose from!



Platinum Selection - Vitraflon 700®

FLUROPOLYMER BASED FINISH

DESCRIPTION:

VITRAFLON 700® represents a break-through in the fluropolymer technology. Largely through the genius of international resin research, the fluropolymer has been modified to render it compatible with a wide range of durable and stable colour pigments and also to enable application to a range of substrates besides aluminium. This creates extra long life cladding with an unlimited colour spectrum.

FEATURES:

Excellent weather resistance

After being exposed to a 10,000 hour accelerated weathering test using the sunshine Carbon Arc Weatherometer, VITRAFLON® will retain more than 80% of its original gloss. VITRAFLON® not only protects substrate materials for years but also secures the long lasting beauty of their colour surfaces.

Colour adaptability

Now architects can exploit fluropolmer's unique weathering performance in the colour or colour combination of their choice. No longer the limited range on offer on aluminium panels.

Use areas

VITRAFLON 700® is applicable on exterior cladding panels wherever long-term maintenance-free life is an essential consideration. Where a best quality polyurethane may be expected to contribute aesthetically to a structure for in excess of 10 years, VITRAFLON 700® may be relied upon to extend this time frame by at least 100%

It is available in gloss, satin, metallic or pearl. The satin (45±5% gloss) is preferred for building exteriors to minimise glare.

Abrasion resistance

Excellent resistance to scrubbing and sand abrasion

Chemical resistance

Excellent resistance to organic and inorganic acid

Good resistance to alkalis

Excellent resistance to water-splash and immersion

Solvent resistance

Excellent resistance to solvents, petrol and oils

Flexibility

Permanent flexibility has been built into the fluropolymer. It will never embrittle.

Dirt pick-up

VITRAFLON 700® has very low surface energy consequently dirt does not readily adhere to its surface i.e. it has an excellent 'self-cleaning' characteristic.

Vitraflon 700™ - Fluoropolymer Based Finish

Excellent Weather Resistance

After being exposed to a 12,000 hour accelerated weathering test using the sunshine Carbon Arc Weatherometer, Vitraflon™ will retain more than 80% of its original gloss. Vitraflon™ not only protects substrate materials for years but also secures the long lasting beauty of their colour surfaces.

Colour Adaptability

Now architects can exploit fluoropolymer's unique weathering performance in the colour or colour combination of their choice.

Use Areas

Vitraflon 700™ is applicable on exterior cladding panels wherever long-term maintenance-free life is an essential consideration. Where the best quality polyurethane may be expected to contribute aesthetically to a structure for in excess of 10 years, the life expectancy of Vitraflon 700™ is at least 40-50 years. It is available in gloss, satin, metallic or pearl. The satin (45 ±5% gloss) is preferred for building exteriors to minimize glare.

Abrasion Resistance

Excellent resistance to scrubbing and sand abrasion

Chemical Resistance

Excellent resistance to organic and inorganic acid. Good resistance to alkalis. Excellent resistance to water-splash and immersion. Excellent resistance to solvents, petrol and oils.

Flexibility

Permanent flexibility has been built into the fluoropolymer. It will never embrittle.

Dirt Pick-Up

Vitraflon 700™ has very low surface energy consequently dirt does not readily adhere.

Graffiti

HOW TO REMOVE GRAFFITI FROM VITRAGROUP PRODUCTS

INTRODUCTION

VITRATHANE® and VITRAFLON 700®, as the final finishes on VITRAGROUP products, exhibit excellent graffiti resistance due to their specialised formulations. The following procedures should be closely adhered to.

GRAFFITI REMOVAL

The graffiti should be removed as soon as possible after application. There are two reasons for this – first, it lifts easiest when still not cured, second, the "artist" is frustrated by early removal of his handiwork and will be less likely to repeat it.

Felt Tipped Marker Damage will lift quite easily using METHYLATED SPIRITS. Simply wipe over with saturated rag or paper tissue and repeat till all stain has disappeared.

Pressure Pack Sourced Paint will not respond to methylated spirits but will to MINERAL TURPENTINE. Again, continue to wipe over till all stain has disappeared.

Exotic Marker or Paint – it is possible that an exotic marker will be used to deface a VITRAGROUP product. If neither methylated spirits or mineral turps is effective, Graffiti Remover is available at most hardware stores and is very likely to be effective.

All graffiti can be cleaned off easily using "Graffiti Remover" available at most hardware stores.

March 2018

Compliance for Non-combustible Materials

James Hardie® Building Products

The following information is provided in regards to James Hardie®'s fibre cement products and their non-combustible attributes:

- James Hardie® building products are manufactured from Portland cement, ground sand, cellulose fibre and water.
- James Hardie® fibre cement products are autoclaved to cure under heat and pressure.
- James Hardie® fibre cement products are manufactured to comply with AS/NZS 2908.2:2000 Cellulose-cement products - Flat Sheets (ISO 8336 Fibre-cement flat sheets).
- In accordance with the standard characteristic type tests required by AS/NZS 2908.2:2000 (ISO 8336), James Hardie® fibre cement products have a classification of Type A/Type B Category 3. This makes them classified under section C as 'Fibre-reinforcing cement sheeting'.
- James Hardie® fibre cement products are suitable where non-combustible materials are required in accordance with Deemed-to-Satisfy Provisions C1.9 (e) of the NCC, Building Code of Australia Volume One Amendment 1. (Refer to Section C, Part C1, C1.9 (e)).
- James Hardie® fibre cement products have been tested by CSIRO in accordance with AS/NZS 3837 ('Method of test for heat and smoke release rates for materials and products using an oxygen consumption calorimeter') and have been classified to conform to Group 1 (highest and best result possible), with an average specific extinction area far lower than the permissible 250m²/kg, as referenced in Specification C1.10 of the BCA Vol 1.

NOTE: In addition to the above, refer to James Hardie® compliance certificates and physical properties certificates for further reference.



STANDARD SIZE CHART

VITRAPANEL Exterior: Compressed Fibre Cement

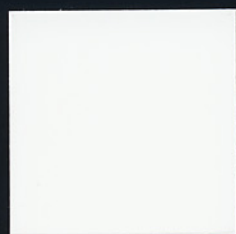
VitraPanel is made from Australian made Compressed Fibre Cement which is deemed as a non-combustible material in accordance with C1.9 and part 3.7.1.2 of the National Construction Code. VitraPanel achieves a '0' Flame Spread result when tested in accordance with AS/NZS 1530.3 and hence does not contribute to the spread of fire.

VITRAPANEL EXTERIOR: Compressed Fibre Cement (CFC)

	WIDTHS	LENGTHS					
9mm	900		1800	-----	2400	-----	3000
	1200		1800	2100	2400	2700	3000
12mm	1200				2400		3000
15mm	900	1500	1800	-----	2400		3000
	1200	1500	1800	2100	2400	2700	3000
18mm	900	1500	1800	-----	2400		3000
	1200	1500	1800	2100	2400		3000
24mm	1200				2400		

Note: VitraPanel can be made to any size under maximum standard size (surcharge applies)

Interior & Exterior SOLID COLOUR Palette



Ice White
Z500



Tyldesley
F168



Grey Zone
X036



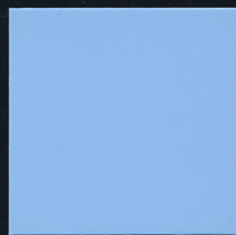
Dark Night
N162



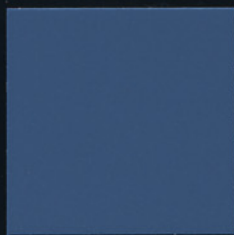
Charred Forest
M167



Tulle Blue
F016



Blue Wren
X079



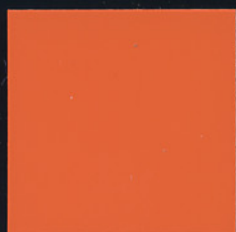
North Sky
M018



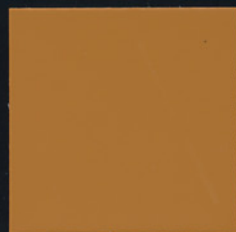
Mosman Bay
M016



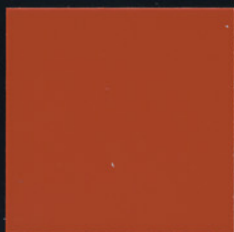
Deep Water
M017



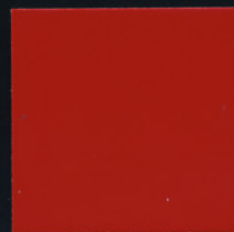
Fanta
L096



Outcrop
M085



Autumn Rust
M129



Red Horizon
L137



Bright Red
R200



Impala
G098



Old Sack
S100



Earth
K155



Spinifex
J079



Rich Yellow
L079



Berry
Y105



Rubinrat
M138



Fresh Pine
S049



Blue Metal
L036



Millers Green
M034

UNLIMITED SPECTRUM INCLUDES



Silver Fleck Metallics



Standard & Flip Pearls



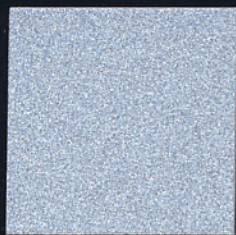
Custom Image Graphics

NOTE: Please do not remove from the product manual and do not cut up. To see the full colour range contact your local VITRAGROUP agent. Viewing in sunlight will give you a true definition of colour.

DISCLAIMER: VITRAGROUP Architectural Facade Systems reserve the right to alter or discontinue colours.

SERIES 25

Interior & Exterior METALLIC Palette



Sandblasted Silver
878901



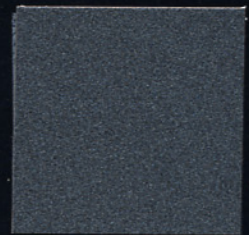
Champagne
842102



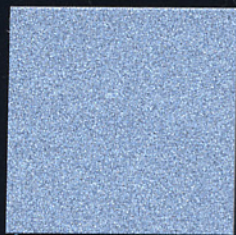
Sandblasted Aluminium
877903



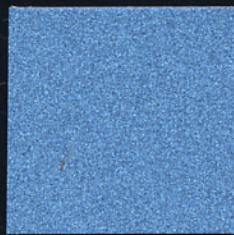
Grey Zinc
951002



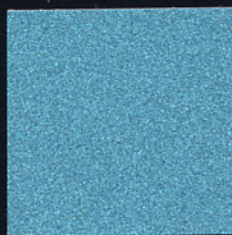
Mineshaft
847502



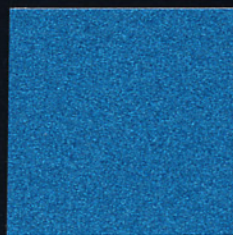
Otaki Mist
879205



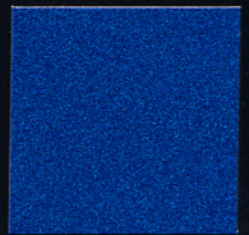
Atlantis Blue
878404



Jupiter Blue
873506



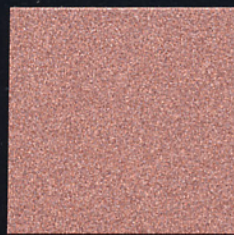
Marine Blue
873505



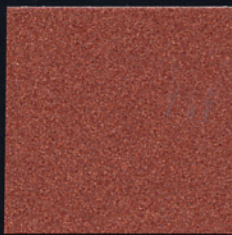
Cyan Blue
953602



Lighter Copper
876301



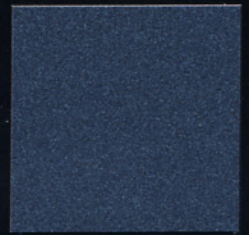
Crystal Rose
878401



Tangerine
849102



Port Wine
873501



Bennelong Blue
1598201



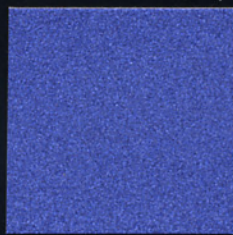
Emperors Gold
782501



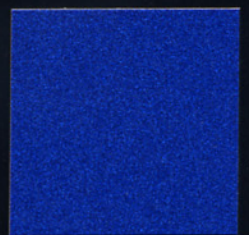
Medium Bronze
842103



Anodic Bronze
789601



Deep Periwinkle
878701



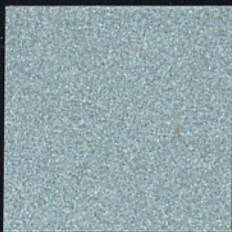
Cobalt Blue
879501



White Pearlcoat
1400406



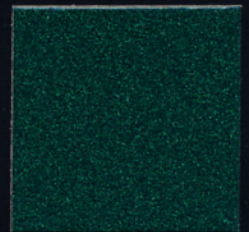
Glen Quarry
878405



Light Sage
848301



Iron Green
874901



Royal Green
873503

UNLIMITED SPECTRUM INCLUDES

Standard & Flip Pearls Custom Image Graphics Over 2000 solid colours

NOTE: Please do not remove from the product manual and do not cut up. To see the full colour range contact your local VITRAGROUP agent. Viewing in sunlight will give a true definition of colour.

DISCLAIMER: Slight colour variations may occur between metallic panels.

VITRAGROUP Architectural Facade Systems reserve the right to alter or discontinue colours.

Development Application Conditions Summary

Applicant

Department of Education c/-
Savills Project Mnagement

DA Summary Version

4

Project Address

32 Smith Street, Parramatta NSW 2124

DA Summry Issued 20/11/2020

Lot & DP Lot 2 & 4 / DP 1151638

Consent to operate from

Municipality Ku-Ring-Gai Council

Consent to lapse on

Description of Approved

DA Reference No.

Condition No.	Condition				Comments	Action By	Status																																												
PART A ADMINISTRATIVE CONDITIONS																																																			
Obligation to Minimise Harm to the Environment																																																			
A1	In addition to meeting the specific performance measures and criteria in this consent, all reasonable and feasible measures must be implemented to prevent, and, if prevention is not reasonable and feasible, minimise any material harm to the environment that may result from the construction and operation of the development				Applicant to note these requirements		Noted																																												
Terms of Consent																																																			
A2	<div>The development may only be carried out:</div> <div>(a) in compliance with the conditions of this consent;</div> <div>(b) in accordance with all written directions of the Planning Secretary;</div> <div>(c) generally in accordance with the Response to Submissions, Supplementary Response to Submissions and Further Supplementary Response to Submissions;</div> <div>(d) in accordance with the approved plans in the table below:</div> <table><tr><th colspan="4">Architectural Plans and Landscape Plans prepared by DesignInc Lacoste + Stevenson</th></tr><tr><th colspan="4"> bmc2</th></tr><tr><th>Dwg No.</th><th>Rev</th><th>Name of Plan</th><th>Date</th></tr><tr><td>AR-2-2104J</td><td>C</td><td>STAGE 2 - EXISTING & DEMOLITION PLAN - LEVEL 4 - ZONE J - EARLY WORKS</td><td>7/08/2020</td></tr><tr><td>AR-2-2204J</td><td>B</td><td>STAGE 2 - EXISTING & DEMOLITION RCP - LEVEL 4 - ZONE J - EARLY WORKS</td><td>7/08/2020</td></tr><tr><td>AR-2-2304J</td><td>C</td><td>STAGE 2 - GA PLAN - LEVEL 4 - ZONE J</td><td>7/08/2020</td></tr><tr><td>DA-2-100</td><td>C</td><td>SITE PLAN</td><td>17/04/2020</td></tr><tr><td>DA-2-101</td><td>D</td><td>INDICATIVE CONSTRUCTION MANAGEMENT PLAN</td><td>17/04/2020</td></tr><tr><td>DA-2-102</td><td>C</td><td>PHASE 1-3 SITE PLAN</td><td>17/04/2020</td></tr><tr><td>DA-2-120</td><td>B</td><td>CONSTRUCTION STAGING PLAN - LEVEL 0</td><td>28/08/2019</td></tr><tr><td>DA-2-121</td><td>C</td><td>CONSTRUCTION STAGING PLAN - LEVEL 1</td><td>17/04/2020</td></tr></table>				Architectural Plans and Landscape Plans prepared by DesignInc Lacoste + Stevenson				bmc2				Dwg No.	Rev	Name of Plan	Date	AR-2-2104J	C	STAGE 2 - EXISTING & DEMOLITION PLAN - LEVEL 4 - ZONE J - EARLY WORKS	7/08/2020	AR-2-2204J	B	STAGE 2 - EXISTING & DEMOLITION RCP - LEVEL 4 - ZONE J - EARLY WORKS	7/08/2020	AR-2-2304J	C	STAGE 2 - GA PLAN - LEVEL 4 - ZONE J	7/08/2020	DA-2-100	C	SITE PLAN	17/04/2020	DA-2-101	D	INDICATIVE CONSTRUCTION MANAGEMENT PLAN	17/04/2020	DA-2-102	C	PHASE 1-3 SITE PLAN	17/04/2020	DA-2-120	B	CONSTRUCTION STAGING PLAN - LEVEL 0	28/08/2019	DA-2-121	C	CONSTRUCTION STAGING PLAN - LEVEL 1	17/04/2020	Please provide a copy endorsed Architectural and Landscape Drawings		Outstanding
Architectural Plans and Landscape Plans prepared by DesignInc Lacoste + Stevenson																																																			
bmc2																																																			
Dwg No.	Rev	Name of Plan	Date																																																
AR-2-2104J	C	STAGE 2 - EXISTING & DEMOLITION PLAN - LEVEL 4 - ZONE J - EARLY WORKS	7/08/2020																																																
AR-2-2204J	B	STAGE 2 - EXISTING & DEMOLITION RCP - LEVEL 4 - ZONE J - EARLY WORKS	7/08/2020																																																
AR-2-2304J	C	STAGE 2 - GA PLAN - LEVEL 4 - ZONE J	7/08/2020																																																
DA-2-100	C	SITE PLAN	17/04/2020																																																
DA-2-101	D	INDICATIVE CONSTRUCTION MANAGEMENT PLAN	17/04/2020																																																
DA-2-102	C	PHASE 1-3 SITE PLAN	17/04/2020																																																
DA-2-120	B	CONSTRUCTION STAGING PLAN - LEVEL 0	28/08/2019																																																
DA-2-121	C	CONSTRUCTION STAGING PLAN - LEVEL 1	17/04/2020																																																

Development Application Conditions Summary

Condition No.	Condition				Comments	Action By	Status
	DA-2-122	C	CONSTRUCTION STAGING PLAN - LEVEL 2	17/04/2020			
	DA-2-123	C	CONSTRUCTION STAGING PLAN - LEVEL 3	17/04/2020			
	DA-2-124	C	CONSTRUCTION STAGING PLAN - LEVEL 4	17/04/2020			
	DA-2-125	C	CONSTRUCTION STAGING PLAN - LEVEL 5	17/04/2020			
	DA-2-126	C	CONSTRUCTION STAGING PLAN - LEVEL 6	17/04/2020			
	DA-2-127	C	CONSTRUCTION STAGING PLAN – LEVEL 7	17/04/2020			
	DA-2-128	C	CONSTRUCTION STAGING PLAN – ROOF 8	17/04/2020			
	DA-2-200	C	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 0	28/08/2019			
	DA-2-201	B	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 1	17/04/2020			
	DA-2-202	D	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 2	17/04/2020			
	DA-2-203	D	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 3	17/04/2020			
	DA-2-204	D	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 4	17/04/2020			
	DA-2-205	D	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 5	17/04/2020			
	DA-2-206	D	PHASE 2 & 3 - PROPOSED FLOOR PLAN LEVEL 6	17/04/2020			
	DA-2-207	C	PHASE 2 & 3 - PROPOSED ROOF PLAN	17/04/2020			
	DA-2-300	C	NORTH & SOUTH BUILDING ELEVATION	17/04/2020			
	DA-2-301	C	EAST & WEST BUILDING ELEVATION	17/04/2020			
	DA-2-400	B	BUILDING SECTIONS - SHEET 1	17/04/2020			
	DA-2-401	B	BUILDING SECTIONS - SHEET 2	17/04/2020			
	LA-2-0005	G	LANDSCAPE ANALYSIS	25/08/2020			
	LA-2-0006	H	LANDSCAPE MASTER PLAN	25/08/2020			
	LA-2-0007	B	LANDSCAPE MASTER PLAN	25/08/2020			
	LA-2-0008	G	CIRCULATION DIAGRAM	25/08/2020			
	LA-2-0009	H	WSUD DIAGRAM	25/08/2020			
	LA-2-0010	G	LANDSCAPE BLOW UP PLAN 1	25/08/2020			
	LA-2-0011	G	LANDSCAPE BLOW UP PLAN 2	25/08/2020			
	LA-2-0012	G	LANDSCAPE BLOW UP PLAN 3	17/04/2020			
	LA-2-0013	G	LANDSCAPE BLOW UP PLAN 4	17/04/2020			
	LA-2-0014	G	LANDSCAPE BLOW UP PLAN 5	17/04/2020			
	LA-2-0015	G	LANDSCAPE BLOW UP PLAN 6	25/08/2020			
	LA-2-0016	G	LANDSCAPE BLOW UP PLAN 7 – PARKOUR TRAIL	25/08/2020			
	LA-2-0017	G	LANDSCAPE BLOW UP PLAN 8	25/08/2020			
	LA-2-0018	E	SHELTER DESIGN	22/07/2019			

Development Application Conditions Summary

Condition No.	Condition				Comments	Action By	Status
	LA-2-1000	G	SECURITY FENCE MASTER PLAN	28/04/2020			
	LA-2-1001	G	SECURITY FENCE PLAN 1	17/04/2020			
	LA-2-1002	F	SECURITY FENCE PLAN 2	4/12/2019			
	LA-2-1003	G	SECURITY FENCE PLAN 3	28/07/2020			
	LA-2-1004	G	SECURITY FENCE PLAN 4	17/04/2020			
	LA-2-1005	G	SECURITY FENCE PLAN 4	28/04/2020			
	LA-2-2000	E	LANDSCAPE DETAILS	21/04/2020			
	LA-2-3000	E	PLANTING PALLETTE	21/04/2020			
	LA-2-4001	A	TREE LOCATION PLAN 1	25/08/2020			
	LA-2-4002	A	TREE LOCATION PLAN 2	25/08/2020			
A3	Consistent with the requirements in this consent, the Planning Secretary may make written directions to the Applicant in relation to:				Applicant to note these requirements		Noted
	(a) the content of any strategy, study, system, plan, program, review, audit, notification, report or correspondence submitted under or otherwise made in relation to this consent, including those that are required to be, and have been, approved by the Planning Secretary;						
	(b) any reports, reviews or audits commissioned by the Planning Secretary regarding compliance with this approval; and						
	(c) the implementation of any actions or measures contained in any such document referred to in (a) above.						
A4	The conditions of this consent and directions of the Planning Secretary prevail to the extent of any inconsistency, ambiguity or conflict between them and a document listed in condition A2(c).						Noted
	In the event of an inconsistency, ambiguity or conflict between any of the documents listed in condition A2(c), the most recent document prevails to the extent of the inconsistency, ambiguity or conflict.						
Limits of Consent							
A5	This consent lapses five years after the date of consent unless work is physically commenced.						Noted
Prescribed Conditions							
A6	The Applicant must comply with all relevant prescribed conditions of development consent under Part 6, Division 8A of the EP&A Regulation.						Noted
Planning Secretary as Moderator							
A7	In the event of a dispute between the Applicant and a public authority, in relation to an applicable requirement in this approval or relevant matter relating to the Development, either party may refer the matter to the Planning Secretary for resolution. The Planning Secretary's resolution of the matter must be binding on the parties.						Noted
Evidence of Consultation							
A8	Where conditions of this consent require consultation with an identified party, the Applicant must:						Noted
	(a) consult with the relevant party prior to submitting the subject document for information or approval; and						
	(b) provide details of the consultation undertaken including:						
	(i) the outcome of that consultation, matters resolved and unresolved; and						
	(ii) details of any disagreement remaining between the party consulted and the Applicant and how the Applicant has addressed the matters not resolved.						
Staging							

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
A9	The project may be constructed and operated in stages. Where compliance with conditions is required to be staged due to staged construction or operation, a Staging Report (for either or both construction and operation as the case may be) must be prepared and submitted to the satisfaction of the Planning Secretary. The Staging Report must be submitted to the Planning Secretary no later than one month before the commencement of construction of the first of the proposed stages of construction (or if only staged operation is proposed, one month before the commencement of operation of the first of the proposed stages of operation).			Please provide a copy of Staging Report when available prior to occupation		Outstanding
A10	A Staging Report prepared in accordance with condition A9 must: (a) if staged construction is proposed, set out how the construction of the whole of the project will be staged, including details of work and other activities to be carried out in each stage and the general timing of when construction of each stage will commence and finish; (b) if staged operation is proposed, set out how the operation of the whole of the project will be staged, including details of work and other activities to be carried out in each stage and the general timing of when operation of each stage will commence and finish (if relevant); (c) specify how compliance with conditions will be achieved across and between each of the stages of the project; and (d) set out mechanisms for managing any cumulative impacts arising from the proposed staging.			Please provide a copy of Staging Report when available prior to occupation		Outstanding
A11	Where a Staging Report is required, the project must be staged in accordance with the Staging Report, as approved by the Planning Secretary.					Noted
A12	Where construction or operation is being staged in accordance with a Staging Report, the terms of this consent that apply or are relevant to the works or activities to be carried out in a specific stage must be complied with at the relevant time for that stage as identified in the Staging Report.					Noted
Staging, Combining and Updating Strategies, Plans or Programs						
A13	The Applicant may: (a) prepare and submit any strategy, plan (including management plan, architectural or design plan) or program required by this consent on a staged basis (if a clear description is provided as to the specific stage and scope of the development to which the strategy, plan (including management plan, architectural or design plan) or program applies, the relationship of the stage to any future stages and the trigger for updating the strategy, plan (including management plan, architectural or design plan) or program); (b) combine any strategy, plan (including management plan, architectural or design plan), or program required by this consent (if a clear relationship is demonstrated between the strategies, plans (including management plan, architectural or design plan) or programs that are proposed to be combined); and (c) update any strategy, plan (including management plan, architectural or design plan), or program required by this consent (to ensure the strategies, plans (including management plan, architectural or design plan), or programs required under this consent are updated on a regular basis and incorporate additional measures or amendments to improve the environmental performance of the development).			Strategy, plan and program to be developed		Noted
A14	Any strategy, plan or program prepared in accordance with condition A13, where previously approved by the Planning Secretary under this consent, must be submitted to the satisfaction of the Planning Secretary.					Noted
A15	If the Planning Secretary agrees, a strategy, plan (including management plan, architectural or design plan), or program may be staged or updated without consultation being undertaken with all parties required to be consulted in the relevant condition in this consent.					Noted

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
A16	Updated strategies, plans (including management plan, architectural or design plan), or programs supersede the previous versions of them and must be implemented in accordance with the condition that requires the strategy, plan, program or drawing.					Noted
Structural Adequacy						
A17	All new buildings and structures, and any alterations or additions to existing buildings and structures, that are part of the development, must be constructed in accordance with the relevant requirements of the BCA. <i>Notes:</i> <ul style="list-style-type: none">Part 8 of the EP&A Regulation sets out the requirements for the certification of the development.Under section 21 of the Coal Mine Subsidence Compensation Act 2017, the Applicant is required to obtain the Chief Executive of Subsidence Advisory NSW's approval before carrying out certain development in a Mine Subsidence District.			structural plans together with design certification		Satisfied
External Walls and Cladding						
A18	The external walls of all buildings including additions to existing buildings must comply with the relevant requirements of the BCA.			Refer to BCA Assessment Report		Noted
Design and Construction for Bush Fire						
A19	New construction must comply with the recommendations and specifications as outlined in the Bushfire Design Fire Engineering Report prepared by Stephen Grubits & Associates, dated 30 September 2020 .			Please provide a copy of each report. We will require architectural drawings together with services design to incorporate recommendation from these reports. Please provide statement from each designer.		Satisfied
A20	Water, electricity and gas are to comply with sections 4.1.3 and 4.2.7 of Planning for Bush Fire Protection 2019.			Please provide services design for water, electricity and gas with written verification that compliance in accordance with Bush Fire Protection 2019.		Satisfied
Applicability of Guidelines						
A21	References in the conditions of this consent to any guideline, protocol, Australian Standard or policy are to such guidelines, protocols, Standards or policies in the form they are in as at the date of this consent.			Applicant to note these requirements		Noted
A22	Consistent with the conditions of this consent and without altering any limits or criteria in this consent, the Planning Secretary may, when issuing directions under this consent in respect of ongoing monitoring and management obligations, require compliance with an updated or revised version of such a guideline, protocol, Standard or policy, or a replacement of them.			Applicant to note these requirements		Noted
Monitoring and Environmental Audits						
A23	Any condition of this consent that requires the carrying out of monitoring or an environmental audit, whether directly or by way of a plan, strategy or program, is taken to be a condition requiring monitoring or an environmental audit under Division 9.4 of Part 9 of the EP&A Act. This includes conditions in respect of incident notification, reporting and response, non- compliance notification, site audit report and independent auditing. <i>Note : For the purposes of this condition, as set out in the EP&A Act, "monitoring" is monitoring of the development to provide data on compliance with the consent or on the environmental impact of the development, and an "environmental audit" is a periodic or particular documented evaluation of the development to provide information on compliance with the consent or the environmental management or impact of the development.</i>			Hindmarsh to note these requirements		Noted
Access to Information						
A24	At least 48 hours before the commencement of construction until the completion of all works under this consent, or such other time as agreed by the Planning Secretary, the Applicant must:					Noted

Development Application Conditions Summary

Condition No.	Condition				Comments	Action By	Status
	(a) make the following information and documents (as they are obtained or approved) publicly available on its website:						
	(i) the documents referred to in condition A2 of this consent;						
	(ii) all current statutory approvals for the development;						
	(iii) all approved strategies, plans and programs required under the conditions of this consent;						
	(iv) regular reporting on the environmental performance of the development in accordance with the reporting arrangements in any plans or programs approved under the conditions of this consent;						
	(v) a comprehensive summary of the monitoring results of the development, reported in accordance with the specifications in any conditions of this consent, or any approved plans and programs;						
	(vi) a summary of the current stage and progress of the development;						
	(vii) contact details to enquire about the development or to make a complaint;						
	(viii) a complaints register, updated monthly;						
	(ix) audit reports prepared as part of any independent audit of the development and the Applicant's response to the recommendations in any audit report;						
	(x) any other matter required by the Planning Secretary; and						
	(b) keep such information up to date, to the satisfaction of the Planning Secretary.						
Compliance							
A25	The Applicant must ensure that all of its employees, contractors (and their sub-contractors) are made aware of, and are instructed to comply with, the conditions of this consent relevant to activities they carry out in respect of the development.						Noted
Incident Notification, Reporting and Response							
A26	the Planning Secretary must be notified through the major projects portal immediately after the Applicant becomes aware of an incident. The notification must identify the development (including the development application number and the name of the development if it has one), and set out the location and nature of the incident.						Noted
A27	Subsequent notification must be given and reports submitted in accordance with the requirements set out in Appendix 1 .						Noted
Non-Compliance Notification							
A28	The Planning Secretary must be notified through the major projects portal within seven days after the Applicant becomes aware of any non-compliance. The Certifier must also notify the Planning Secretary through the major projects portal within seven days after they identify any non-compliance.						Noted
A29	The notification must identify the development and the application number for it, set out the condition of consent that the development is non-compliant with, the way in which it does not comply and the reasons for the non-compliance (if known) and what actions have been, or will be, undertaken to address the non-compliance.						Noted
A30	A non-compliance which has been notified as an incident does not need to also be notified as a non-compliance.						Noted
Revision of Strategies, Plans and Programs							
A31	Within three months of:						Noted
	(a) the submission of a compliance report under condition A33;						
	(b) the submission of an incident report under condition A27;						
	(c) the submission of an Independent Audit under condition C37 Error! Reference source not found. ;						

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(d) the approval of any modification of the conditions of this consent; or (e) the issue of a direction of the Planning Secretary under condition A2 which requires a review, the strategies, plans and programs required under this consent must be reviewed, and the Planning Secretary and the Certifier must be notified in writing that a review is being carried out.					
A32	If necessary to either improve the environmental performance of the development, cater for a modification or comply with a direction, the strategies, plans, programs or drawings required under this consent must be revised, to the satisfaction of the Planning Secretary or Certifier (where previously approved by the Certifier). Where revisions are required, the revised document must be submitted to the Planning Secretary and / or Certifier for approval and / or information (where relevant) within six weeks of the review. <i>Note: This is to ensure strategies, plans and programs are updated on a regular basis and to incorporate any recommended measures to improve the environmental performance of the development.</i>					Noted
Compliance Reporting						
A33	Compliance Reports of the project must be carried out in accordance with the Compliance Reporting Post Approval Requirements.					Noted
A34	Compliance Reports must be submitted to the Department in accordance with the timeframes set out in the Compliance Reporting Post Approval Requirements, unless otherwise agreed by the Planning Secretary.					Noted
A35	The Applicant must make each Compliance Report publicly available 60 days after submitting it to the Planning Secretary.					Noted
A36	Notwithstanding the requirements of the Compliance Reporting Post Approval Requirements, the Planning Secretary may approve a request for ongoing annual operational compliance reports to be ceased, where it has been demonstrated to the Planning Secretary's satisfaction that an operational compliance report has demonstrated operational compliance.					Noted
Signage						
A37	Building identification signage is not approved as part of this consent.			Applicant to note these requirements		Noted
Surrender of Existing Partial Phase 1 Consent						
A38	Within one month of the date of commencement of operation under this consent, or within another timeframe agreed by the Planning Secretary, the Applicant must surrender the existing Phase 1 Partial Development Consent in accordance with the EP&A Regulation.			Applicant to note these requirements		Noted
A39	Upon the commencement of development to which this consent applies, and before the surrender of the existing development consent under condition A38, the conditions of this consent prevail to the extent of any inconsistency with the conditions of that existing consent. <i>Note: This requirement does not extend to the surrender of construction and occupation certificates for existing and proposed building works under Part 6 of the EP&A Act. The surrender should not be understood as implying that works legally constructed under a valid consent or approval can no longer be legally maintained or used.</i>			Applicant to note these requirements		Noted
PART B PRIOR TO COMMENCEMENT OF CONSTRUCTION						
Notification of Commencement						
B1	The Applicant must notify the Planning Secretary in writing of the dates of the intended commencement of construction and operation at least 48 hours before those dates.					Noted
B2	If the construction or operation of the development is to be staged, the Planning Secretary must be notified in writing at least 48 hours before the commencement of each stage, of the date of commencement and the development to be carried out in that stage.					Noted
Certified Drawings						

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
B3	Prior to the commencement of construction, the Applicant must submit to the satisfaction of the Certifier structural drawings prepared and signed by a suitably qualified practising Structural Engineer that demonstrates compliance with this development consent.			Structural Drawings and certificate provided.		Satisfied
External Walls and Cladding						
B4	Prior to the commencement of construction, the Applicant must provide the Certifier with documented evidence that the products and systems proposed for use or used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the requirements of the BCA. The Applicant must provide a copy of the documentation given to the Certifier to the Planning Secretary within seven days after the Certifier accepts it.			Documentation has been submitted from protect architect in relation to material and test report. MBC are satisfied the external walls and cladding will comply with NCC.		Satisfied
Protection of Public Infrastructure						
B5	Prior to the commencement of construction, the Applicant must: (a) consult with the relevant owner and provider of services that are likely to be affected by the development to make suitable arrangements for access to, diversion, protection and support of the affected infrastructure; (b) prepare a dilapidation report identifying the condition of all public infrastructure in the vicinity of the site (including roads, gutters and footpaths); and (c) submit a copy of the dilapidation report to the Planning Secretary, Certifier and Council.			Dilapidation Report has been recieved		Satisfied
Pre-Construction Dilapidation Report						
B6	Prior to the commencement of construction, the Applicant must submit a pre-commencement dilapidation report to Council, Heritage NSW and the Certifier. The report must provide an accurate record of the existing condition of adjoining private properties, heritage items and Council assets that are likely to be impacted by the proposed works.			Dilapidation Report has been recieved		Satisfied
Community Communication Strategy						
B7	No later than two weeks before the commencement of construction, a Community Communication Strategy must be submitted to the Planning Secretary for information. The Community Communication Strategy must provide mechanisms to facilitate communication between the Applicant, the relevant Council and the community (including adjoining affected landowners and businesses, and others directly impacted by the development), during the design and construction of the development and for a minimum of 12 months following the completion of construction. The Community Communication Strategy must: (a) identify people to be consulted during the design and construction phases; (b) set out procedures and mechanisms for the regular distribution of accessible information about or relevant to the development; (c) provide for the formation of community-based forums, if required, that focus on key environmental management issues for the development; (d) set out procedures and mechanisms: (i) through which the community can discuss or provide feedback to the Applicant; and (ii) through which the Applicant will respond to enquiries or feedback from the community.			Applicant to note these requirements		Noted
Ecologically Sustainable Development						
B8	Prior to the commencement of construction, unless otherwise agreed by the Planning Secretary, the Applicant must demonstrate that ESD is being achieved by either: (a) registering for a minimum 4 star Green Star rating with the Green Building Council Australia and submit evidence of registration to the Certifier; or			Crown Certificate 01 - Please provide documentation from Planning Secretary for an alternative certification process.		Outstanding

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(b)	seeking approval from the Planning Secretary for an alternative certification process.				
Outdoor Lighting						
B9	Prior to commencement of lighting installation, evidence must be submitted to the satisfaction of the Certifier that all outdoor lighting within the site has been designed to comply with AS 1158.3.1:2005 Lighting for roads and public spaces – Pedestrian area (Category P) lighting – Performance and design requirements and AS 4282-2019 Control of the obtrusive effects of outdoor lighting.			Design certification received from Erbas. Condition has been satisfied.		Satisfied
Demolition						
B10	Prior to the commencement of construction, demolition work plans required by AS 2601-2001 The demolition of structures (Standards Australia, 2001) must be accompanied by a written statement from a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the statement of compliance must be submitted to the Certifier and Planning Secretary.					Satisfied
Environmental Management Plan Requirements						
B11	Management plans required under this consent must be prepared in accordance with relevant guidelines, including but not limited to the Environmental Management Plan Guideline: Guideline for Infrastructure Projects (DPIE April 2020).					Noted
	Notes:					
	• The Environmental Management Plan Guideline is available on the Planning Portal at: https://www.planningportal.nsw.gov.au/majorprojects/assessment/post-approval/					
	• The Planning Secretary may waive some of these requirements if they are unnecessary or unwarranted for particular management plans					
Construction Environmental Management Plan						
B12	Prior to the commencement of construction, the Applicant must submit a Construction Environmental Management Plan (CEMP) to the Certifier and provide a copy to the Planning Secretary. The CEMP must include, but not be limited to, the following:			Crown Certificate 01 - submit copy of CEMP to MBC		Satisfied
	(a) Details of:					
	(i) hours of work;					
	(ii) 24-hour contact details of site manager;					
	(iii) management of dust and odour to protect the amenity of the neighbourhood;					
	(iv) stormwater control and discharge;					
	(v) measures to ensure that sediment and other materials are not tracked onto the roadway by vehicles leaving the site;					
	(vi) groundwater management plan including measures to prevent groundwater contamination;					
	(vii) external lighting in compliance with AS 4282-2019 Control of the obtrusive effects of outdoor lighting;					
	(viii) community consultation and complaints handling;					
	(b) Construction Traffic and Pedestrian Management Sub-Plan (see condition B13);					
	(c) Construction Noise and Vibration Management Sub-Plan (see condition B14);					
	(d) Construction Waste Management Sub-Plan (see condition B15);					
	(e) Construction Soil and Water Management Sub-Plan (see condition B16);					
	(f) Bush Fire and Flood Emergency Response Sub-Plan (see condition B17);					
	(g) Construction Soil and Water Management Plan (see condition B18);					
(h) an unexpected finds protocol for contamination and associated communications procedure to ensure that potentially contaminated materials is appropriately managed;						
(i) an unexpected finds protocol for Aboriginal and non-Aboriginal heritage and associated communications procedure;						

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(j) waste classification (for materials to be removed) and validation (for materials to remain) be undertaken to confirm the contamination status in these areas of the site; and					
B13	The Construction Traffic and Pedestrian Management Sub-Plan (CTPMSP) must be prepared to achieve the objective of ensuring safety and efficiency of the road network and address, but not be limited to, the following:			copy of CTPMSP by TTPA dated October 2020		Satisfied
	(a) be prepared by a suitably qualified and experienced person(s);					
	(b) be prepared in consultation with Council and TfNSW;					
	(c) detail the measures that are to be implemented to ensure road safety and network efficiency during construction in consideration of potential impacts on general traffic, cyclists and pedestrians and bus services; and					
	(d) detail heavy vehicle routes, access and parking arrangements.					
B14	The Construction Noise and Vibration Management Sub-Plan must address, but not be limited to, the following:			a copy of Construction Noise and Vibration Management Sub-Plan		Satisfied
	(a) be prepared by a suitably qualified and experienced noise expert;					
	(b) describe procedures for achieving the noise management levels in EPA's <i>Interim Construction Noise Guideline</i> (DECC, 2009);					
	(c) describe the measures to be implemented to manage high noise generating works such as piling, in close proximity to sensitive receivers;					
	(d) include strategies that have been developed with the community for managing high noise generating works;					
	(e) describe the community consultation undertaken to develop the strategies in condition B14(d);					
	(f) include a complaints management system that would be implemented for the duration of the construction; and					
	(g) include a program to monitor and report on the impacts and environmental performance of the development and the effectiveness of the management measures in accordance with condition B11.					
B15	The Construction Waste Management Sub-Plan (CWMSP) must address, but not be limited to, the following:			a copy of CWMSP by Foresight Environmental dated 15 Oct 2020		Satisfied
	(a) detail the quantities of each waste type generated during construction and the proposed reuse, recycling and disposal locations; and					
	(b) removal of hazardous materials, particularly the method of containment and control of emission of fibres to the air, and disposal at an approved waste disposal facility in accordance with the requirements of the relevant legislation, codes, standards and guidelines, prior to the commencement of construction.					
B16	The Bush Fire and Flood Emergency Response Sub-Plan (BFFERSP) must address, but not be limited to, the following:			Refer to BFFERSP prepared by Blackash and EWWF		Satisfied
	(a) be prepared by a suitably qualified and experienced person(s);					
	(b) address the <i>Planning for Bushfire Protection 2019</i> ;					
	(c) address the provisions of the <i>Floodplain Risk Management Guidelines</i> (EESG);					
	(d) include details of:					
	(i) the bush fire and flood emergency responses for the construction phase of the development;					
	(ii) predicted flood levels;					
	(iii) flood warning time and flood notification;					
	(iv) assembly points and evacuation routes;					

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(v) evacuation and refuge protocols; and (vi) awareness training for employees and contractors, and students.					
B17	The Applicant must prepare a Construction Soil and Water Management Sub-Plan (CSWMSP) and the plan must address, but not be limited to the following: be prepared by a suitably qualified expert, in consultation with Council; (a) describe all erosion and sediment controls to be implemented during construction, including as a minimum, measures in accordance with the publication Managing Urban Stormwater: Soils & Construction (4 th edition, Landcom 2004) commonly referred to as the 'Blue Book'; (b) provide a plan of how all construction works will be managed in a wet-weather events (i.e. storage of equipment, stabilisation of the site); (c) (detail all off-site flows from the site; and (d) describe the measures that must be implemented to manage stormwater and flood flows for small and large sized events, including, but not limited to 1 in 5-year ARI.			Refer to copy of CSWMSP prepared by Birzulis Associates Pty Ltd dated 19 Oct 2020		Satisfied
B18	The Biodiversity Management Sub-Plan (BMSP) must address, but not be limited to, the following: (a) details of: (i) impacts to flora and fauna due to the development's impact on movement, construction traffic, proposed construction hours, details of fencing, light spill, construction noise and on-site crane movements; (ii) mitigation measures to limit impacts including the installation and maintenance of exclusion fencing along and around native vegetation not being removed as part of this development; (iii) tree protection measures to be implemented, including those required under condition C19; (b) measures to communicate to the construction workforce the biodiversity values that are to be retained and protected (c) procedures for: (i) any hollows to be removed to be salvaged and replaced into trees within the vegetated areas to be retained or be replaced with nest boxes that are suitable for local native fauna; (ii) pre clearing surveys and subsequent relocation of fauna to be undertaken under the guidance of a suitably qualified ecologist prior to vegetation removal; (iii) provision of evidence of pre-clearing surveys and relocation of fauna to the Certifier; and (iv) capturing and relocation of animals that are injured or displaced during vegetation clearing by a qualified ecologist or wildlife carer to nearby bushland (subject to landowner approval).			Refer to Copy of Landscape Management Plan completed by Kleinfelder dated 5/11/2020		Satisfied
B19	A Driver Code of Conduct must be prepared and communicated by the Applicant to heavy vehicle drivers and must address the following: (a) minimise the impacts of earthworks and construction on the local and regional road network; (b) minimise conflicts with other road users; (c) minimise road traffic noise; and (d) ensure truck drivers use specified routes.					Noted
Construction Parking						
B20	Prior to the commencement of construction, the Applicant must provide sufficient parking facilities on-site, including for heavy vehicles and for site personnel, to ensure that construction traffic associated with the development does not utilise public and residential streets or public parking facilities.					Noted
Operational Noise – Design of Mechanical Plant and Equipment						

www.mbc-group.com.au | Suite 4.06 / 39 East Esplanade, Manly NSW 2095 | 9939 1530

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(c) identify all existing tree/shrub species to be retained; (d) have regard to the heritage setting of the site; (e) include the entirety of the site (fire trails, footpaths, bus stop etc); (f) identify existing natural features such as rock outcrops; (g) include contour lines and levels; (h) include details of terracing or other slope stability measures; (i) include details for managing stormwater runoff; (j) include native grasses endemic to the locality; (k) detail the species to be planted on-site; (l) include details of all boundary and internal fencing constructed of non-combustible materials; (m) include details of any landscape furniture/structures such as seating, lighting etc; and (n) comply with the principles of Appendix 5 of <i>Planning for Bush Fire Protection 2019</i> and asset protection zone requirements under condition D32.					
Operational Waste Storage and Processing						
B26	Prior to the commencement of construction of waste storage and processing areas, the Applicant must obtain agreement from Council for the design of the operational waste storage area (where waste removal will be undertaken by Council). Where waste removal will be undertaken by a third party, evidence must be provided to the Certifier that the design of the operational waste storage area: (a) is constructed using solid non-combustible materials; (b) is designed to ensure the door/gate to the waste storage area is vermin proof and can be openable from both inside and outside the storage area at all times; (c) includes a hot and cold water supply with a hose through a centralised mixing valve; (d) is naturally ventilated or an air handling exhaust system must be in place; and (e) includes signage to clearly describe the types of materials that can be deposited into recycling bins and general garbage bins.			Refer to documentation - Operational Waste Management Plan, Statement from NBRIS Architecture dated 9 Oct 2020		Satisfied
Construction Access arrangements						
B27	Prior to the commencement of construction, compliance with the following requirements must be submitted to the Certifier: (a) all vehicles must enter and leave the site in a forward direction; (b) the swept path of the longest construction vehicle entering and exiting the site in association with the new work, as well as manoeuvrability through the site, must be in accordance with the latest version of AS 2890.2; and (c) the safety of vehicles and pedestrians accessing adjoining properties, where shared vehicle and pedestrian access occurs, is to be addressed.			Hindsmash to note these requirements		Noted
Pacific Highway / Grosvenor Road Intersection Works						
B28	Prior to the commencement of upgrade works to the Pacific Highway, the Applicant must submit information to TfNSW confirming that the upgrades for Pacific Highway and Grosvenor Road intersection along Pacific Highway have been designed to meet TfNSW requirements and endorsed by a suitably qualified practitioner. The information must also include the following: (a) the design has been undertaken in accordance with AUSTROADS and other Australian Codes of Practice; (b) the certified copies of the civil design plans have been submitted to TfNSW for consideration and approval (all of these documents shall be sent to development.sydney@transport.gov.au); and (c) a Works Authorisation Deed (WAD) for the abovementioned works has been entered into.			Applicant to note these requirements		Noted

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	Note: Any works associated with the upgrades for Pacific Highway and Grosvenor Road intersection along Pacific Highway are to be at no cost to TINSW.					
Eton Road / Dunstan Grove Intersection Works						
B29	Prior to the commencement of upgrade works to the intersection of Eton Road and Dunstan Grove, the Applicant must submit plans and specifications of the proposed realignment of Eton Road proposed in the Further Supplementary Response to Submissions to the satisfaction of Council. The works must include the provision of a pedestrian refuge unless other pedestrian safety measures are agreed with Council.			Applicant to note these requirements		Noted
Operational Access, Car Parking and Service Vehicle Arrangements						
B30	Prior to the commencement of construction, compliance with the following requirements must be submitted to the Certifier:			Applicant to note these requirements		Noted
	(a) the proposed internal roads comply with Table 6.8b of <i>Planning for Bush Fire Protection 2019</i> ;					
	(b) all vehicles must enter and leave the site in a forward direction;					
	(c) a minimum of 166 on-site car parking spaces, including one accessible space, for use during operation of the development and designed in accordance with the latest versions of AS 2890.1 and AS 2890.6;					
	(d) the swept path of the largest service vehicle entering and exiting the site in association with the new work, as well as manoeuvrability through the site, must be in accordance with the latest version of AS 2890.2; and					
	(e) the safety of vehicles and pedestrians accessing adjoining properties, where shared vehicle and pedestrian access occurs, is to be addressed.					
Public Domain Works						
B31	Prior to the commencement of any footpath or public domain works, the Applicant must consult with Council and demonstrate to the Certifier that the streetscape design and treatment meets the requirements of Council, including addressing pedestrian management. The Applicant must submit documentation of approval for each stage from Council to the Certifier.			Crown Certificate 02 - Please submit details of approval		Outstanding
Protection of Heritage Fabric						
B32	Prior to the commencement of demolition of significant heritage fabric on the site, the Applicant must submit construction details (drawings at Scale			Email from Urbis dated 2 Nov 2020 to Heritage Council to seek comment.		Satisfied
	(a) intervention for secondary reception (Level 4);					
	(b) intervention for removal of concrete wall adjacent to spiral stair (Level 4);					
	(c) partial demolition of link between Stages 1 and 5 for emergency vehicle access; and					
	(d) partial demolition (for the purposes of light creation.) of south façade (Level 1).					
B33	Works which have the potential to reduce the internal and external significant fabric of the item (not including the landscape setting) must be designed to be reversible in the future.			Email from Urbis dated 2 Nov 2020 to Heritage Council to seek comment.		Satisfied
B34	Prior to the commencement of demolition of significant heritage fabric on site, the management and mitigation measures identified in the Conservation Management Plan (including appended documents) prepared by Urbis, dated 14 April 2020 must be implemented.			Email from Urbis dated 2 Nov 2020 to Heritage Council to seek comment.		Satisfied
Project Arborist						
B35	Prior to the commencement of any works, a project arborist must be engaged to ensure all tree protection measures and works are carried out in accordance with the conditions of this consent. The project arborist must have a minimum AQF Level 5 qualification with a minimum of 5 years' experience. Details of the arborist including name, business name and contact details must be provided to the Certifier.			McArdle Arboricultural Consultancy dated 7/11/2020		Satisfied
PART C DURING CONSTRUCTION						
Site Notice						
C1	A site notice(s):			Please provide details of site notice		Noted

Development Application Conditions Summary

Condition No.	Condition			Comments	Action By	Status
	(a) must be prominently displayed at the boundaries of the site during construction for the purposes of informing the public of project details including, but not limited to the details of the Builder, Certifier and Structural Engineer is to satisfy the following requirements;					
	(b) minimum dimensions of the notice must measure 841 mm x 594 mm (A1) with any text on the notice to be a minimum of 30-point type size;					
	(c) the notice is to be durable and weatherproof and is to be displayed throughout the works period;					
	(d) the approved hours of work, the name of the site/ project manager, the responsible managing company (if any), its address and 24-hour contact phone number for any inquiries, including construction/ noise complaint must be displayed on the site notice; and					
	(e) the notice(s) is to be mounted at eye level on the perimeter hoardings/fencing and is to state that unauthorised entry to the site is not permitted.					
Operation of Plant and Equipment						
C2	All construction plant and equipment used on site must be maintained in a proper and efficient condition and operated in a proper and efficient manner.			Hindmarsh to note these requirements		Noted
Demolition						
C3	Demolition work must comply with the demolition work plans required by <i>Australian Standard AS 2601-2001 The demolition of structures</i> (Standards Australia, 2001) and endorsed by a suitably qualified person as required by condition B10.			Hindmarsh to note these requirements		Noted
Construction Hours						
C4	Construction, including the delivery of materials to and from the site, may only be carried out between the following hours: (a) between 7am and 6pm, Mondays to Fridays inclusive; and (b) between 8am and 1pm, Saturdays. No work may be carried out on Sundays or public holidays.			Hindmarsh to note these requirements		Noted
C5	Notwithstanding condition C4, provided noise levels do not exceed the existing background noise level plus 5dB, works may also be undertaken during the following hours: (a) between 6pm and 7pm, Mondays to Fridays inclusive; and (b) between 1pm and 4pm, Saturdays.			Hindmarsh to note these requirements		Noted
C6	Construction activities may be undertaken outside of the hours in condition C4 and C5 if required: (a) by the Police or a public authority for the delivery of vehicles, plant or materials; or (b) in an emergency to avoid the loss of life, damage to property or to prevent environmental harm; or (c) where the works are inaudible at the nearest sensitive receivers; or (d) where a variation is approved in advance in writing by the Planning Secretary or his nominee if appropriate justification is provided for the works.			Hindmarsh to note these requirements		Noted
C7	Notification of such construction activities as referenced in condition C6 must be given to affected residents before undertaking the activities or as soon as is practical afterwards.			Hindmarsh to note these requirements		Noted
C8	Rock breaking, rock hammering, sheet piling, pile driving and similar activities may only be carried out between the following hours: (a) 9am to 12pm, Monday to Friday; (b) 2pm to 5pm Monday to Friday; and (c) 9am to 12pm, Saturday.			Hindmarsh to note these requirements		Noted
Implementation of Management Plans						
C9	The Applicant must carry out the construction of the development in accordance with the most recent version of the approved CEMP (including Sub-Plans).			Hindmarsh to note these requirements		Noted
Construction Traffic						
C10	All construction vehicles are to be contained wholly within the site, except if located in an approved on-street work zone, and vehicles must enter the site or an approved on-street work zone before stopping.			Hindmarsh to note these requirements		Noted

Development Application Conditions Summary

Condition No.	Condition				Comments	Action By	Status
Hoarding Requirements							
C11	The following hoarding requirements must be complied with:				Hindmarsh to note these requirements		Noted
	(a) no third-party advertising is permitted to be displayed on the subject hoarding/ fencing; and						
	(b) the construction site manager must be responsible for the removal of all graffiti from any construction hoardings or the like within the construction area within 48 hours of its application.						
No Obstruction of Public Way							
C12	The public way (outside of any approved construction works zone) must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.				Hindmarsh to note these requirements		Noted
Construction Noise Limits							
C13	The development must be constructed to achieve the construction noise management levels detailed in <i>the Interim Construction Noise Guideline</i> (DECC, 2009). All feasible and reasonable noise mitigation measures must be implemented and any activities that could exceed the construction noise management levels must be identified and managed in accordance with the management and mitigation measures identified in the approved Construction Noise and Vibration Management Plan.				Hindmarsh to note these requirements		Noted
C14	The Applicant must ensure construction vehicles (including concrete agitator trucks) do not arrive at the site or surrounding residential areas on Dunstan Grove and Tubs View outside of the construction hours of work outlined under condition C4.				Hindmarsh to note these requirements		Noted
C15	The Applicant must implement, where practicable and without compromising the safety of construction staff or members of the public, the use of 'quackers' to ensure noise impacts on surrounding noise sensitive receivers are minimised.				Hindmarsh to note these requirements		Noted
Vibration Criteria							
C16	Vibration caused by construction at any residence or structure outside the site must be limited to:				Hindmarsh to note these requirements		Noted
	(a) for structural damage, the latest version of <i>DIN 4150-3 (1992-02) Structural vibration - Effects of vibration on structures</i> (German Institute for Standardisation, 1999); and						
	(b) for human exposure, the acceptable vibration values set out in the <i>Environmental Noise Management Assessing Vibration: a technical guideline</i> (DEC, 2006) (as may be updated or replaced from time to time).						
C17	Vibratory compactors must not be used closer than 30 metres from residential buildings unless vibration monitoring confirms compliance with the vibration criteria specified in condition C16.				Hindmarsh to note these requirements		Noted
C18	The limits in conditions C16 and C17 apply unless otherwise outlined in a Construction Noise and Vibration Management Plan, approved as part of the CEMP required by condition B14 of this consent.				Hindmarsh to note these requirements		Noted
Tree Protection							
C19	For the duration of the construction works:				Hindmarsh to note these requirements		Noted