

Stewart Verity
Senior Development Manager
Lendlease Millers Point Pty Ltd
Level 14, Tower 3
300 Barangaroo Avenue
BARANGAROO NSW 2000

PTL3049
SF2017/104216

Dear Mr Verity

Applicant: Lendlease Millers Point Pty Ltd (for Barangaroo Delivery Authority)

Site Address: Lot214/DP1221076 Barangaroo Avenue BARANGAROO

Proposal: Construction of the Stage 1B Public Domain elements west of the existing caisson wall including: 14m wide board-walk adjacent to Wulugul Walk and water transport pontoon; reconstruction of the Popoes Landing; board-walk around Watermans Cove and the public Pier. Public domain works include provision of all ground treatments and finishes, structural piling, fender piles and lighting.

I refer to the above Application, dated 5 May 2017 for Land Owner's Consent to Lodge a State Significant Development.

Your application has been assessed by reference to Roads and Maritime Services' (RMS) "*Obtaining Permission to Lodge Policy*". Consent to the lodgement of the application is granted and must be in accordance with the attached plans prepared by Grant Associates, numbered BAR-418-SK88-01/A, BAR-418-SK88-02/A and BAR-418-SK88-03/A, dated 28 April 2017 and stamped as approved.

A copy of this letter must be submitted with your DA to the relevant consent authority as evidence of land owner's consent – pursuant to clause 50 of the *Environmental Planning and Assessment Regulations 2000*.

This consent is valid for 12 months from the date of this letter. However, **should the nature, extent or specific location of your proposal change in this time, you must notify RMS** in order to lodge the DA. This consent cannot be transferred to another applicant.

Please be aware that, in granting this consent, RMS is **not endorsing** the proposal **nor approving the development itself**. We are simply **giving permission for you to lodge a DA**. As such, the DA could still be refused, **even if RMS is the consent authority**.

You also need to note that this letter does not, in itself, authorise a person to enter RMS' land or act on any planning permission subsequently granted. Access to, and occupation of, RMS' land must be in accordance with an appropriate tenure arrangement. I would encourage you to contact RMS' Project Manager, David Pavlich (8843 3173) to discuss tenure arrangements as soon as possible as this will need to be established **before any construction can commence**.

If you have any questions about this letter, please contact RMS' Development Approvals Officer, Ms Myriam Mendez on 0437 225 970.

Yours sincerely



15/02/2018

Susannah Webb
Senior Manager
Property, Strategy & Planning



LEGEND

- Development application boundary
- Barangaroo South 1B boundary
- Proposed public domain structures within RMS area

Transport
Roads & Maritime
Services
NSW
GOVERNMENT
15 FEB 2018
This is the plan referred to in the
Letter Dated Above

Project
BARANGAROO STAGE 1B
PUBLIC DOMAIN

grant associates
21 Tanjong Pagar Road
#02-02
Singapore 088444
T +65 6221 3596
E info@grant-associates.uk.com

lendlease
Level 14, Tower Three,
International Towers Sydney
Exchange Place,
300 Barangaroo Avenue
Barangaroo NSW 2000
T +612 9236 6111

Scale
1:1000@A3



Drawing Title
RMS OWNERSHIP

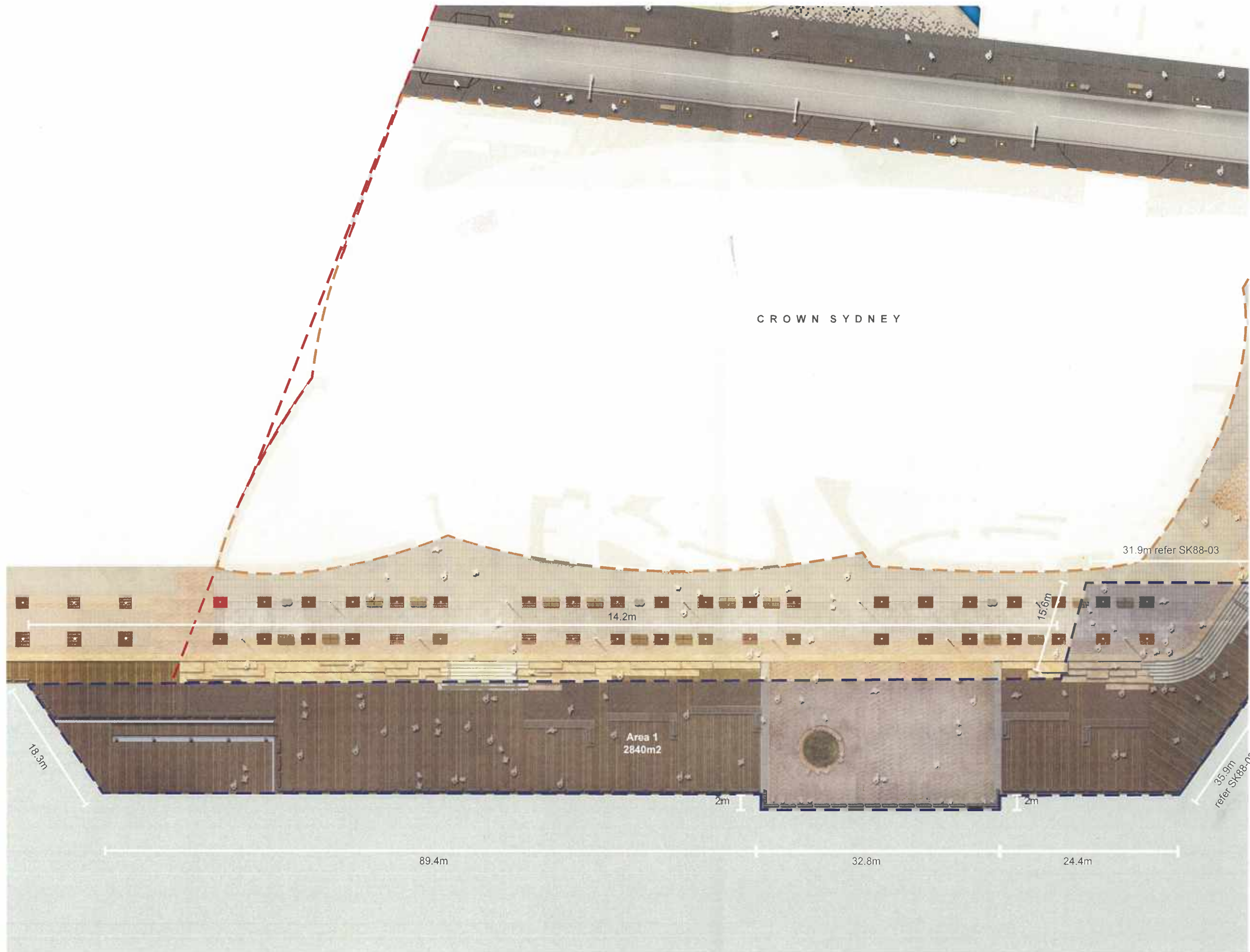
Drawn
JS

Drawing Number
BAR-418-SK88-01

Checked
MW

Revision
A

Date
28.04.2017



LEGEND

- Development application boundary
- Crown Sydney Development application boundary
- Proposed public domain structures within RMS area

Transport
Roads & Maritime
Services
NSW
GOVERNMENT
15 FEB 2018
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Project
**BARANGAROO STAGE 1B
PUBLIC DOMAIN**

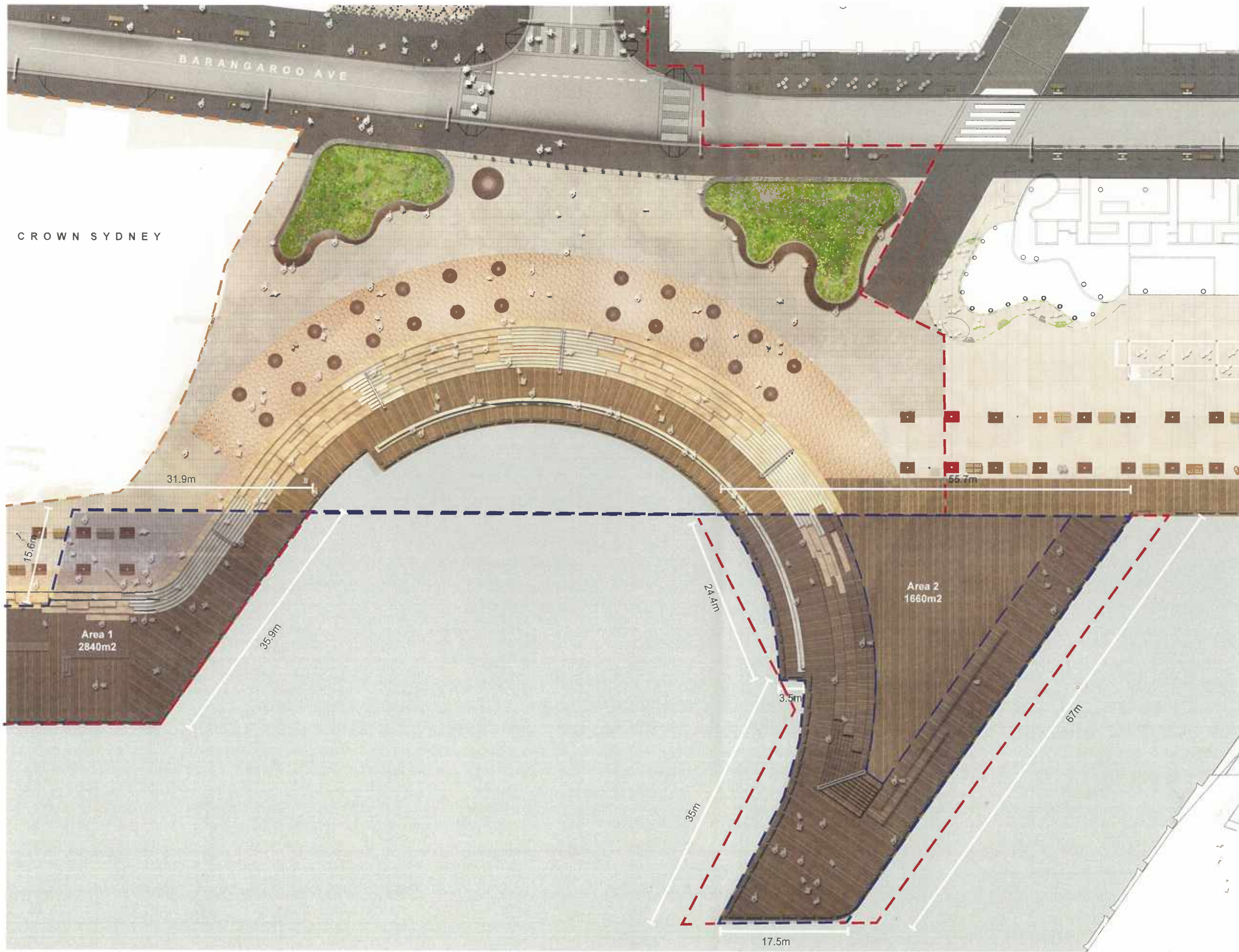
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Scale
1:500@A3
0 5 10 20m
⊙

Drawing Title
**RMS OWNERSHIP
WULUGUL WALK**
Drawn
JS
Drawing Number
BAR-418-SK88-02
Checked
MW

Revision
A
Date
28.04.2017



LEGEND

- Development application boundary
- Crown Sydney Development application boundary
- Proposed public domain structures within RMS area

Transport
Roads & Maritime
Services
NSW
GOVERNMENT

15 FEB 2018

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Letter Dated Above

Project
**BARANGAROO STAGE 1B
PUBLIC DOMAIN**

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Scale
1:500@A3

0 5 10 20m



Drawing Title
**RMS OWNERSHIP
WATERMANS COVE**

Drawn
JS

Drawing Number
BAR-418-SK88-03

Checked
MW

Revision
A

Date
28.04.2017