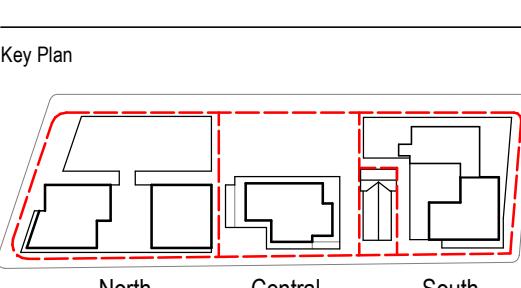


# WATERLOO METRO QUARTER DEVELOPMENT

## Second Amending Concept Building Envelope

### SSD 79307765 Urban Design Drawings

WMQ Urban Design Drawing List			
Sheet Number	Sheet Series	Sheet Name	Current Revision
-DA000	Title Sheet	Drawing List	01
-DA001	Amended Envelope Diagram	Envelope Comparison - Roof Plan	01
-DA002	Amended Envelope Diagram	Envelope Comparison - Elevation	01
-DA003	Amended Envelope Diagram	Envelope Comparison - Elevation	01
-DA004	Amended Envelope Diagram	Proposed Envelope - Roof Plan	01
-DA005	Amended Envelope Diagram	Proposed Envelope - Elevation	01
-DA006	Amended Envelope Diagram	Proposed Envelope - Elevation	01
-DA100	Indicative General Arrangement	Level 00 - Ground	01
-DA101	Indicative General Arrangement	Level 01	01
-DA102	Indicative General Arrangement	Level 02	01
-DA103	Indicative General Arrangement	Level 03	01
-DA104	Indicative General Arrangement	Level 04	01
-DA105	Indicative General Arrangement	Level 05-19 Typical Low Rise (BLD 1A & 1B) / Typical Co-Living (BLD 2)	01
-DA120	Indicative General Arrangement	Level 20-26 Typical High Rise (BLD 1A & 1B) / Level 24 Communal (BLD 2)	01
-DA127	Indicative General Arrangement	Level 27	01
-DA128	Indicative General Arrangement	Level 28	01
-DA129	Indicative General Arrangement	Roof	01
-DA130	Site Elevation	North & South Elevation - Raglan & Wellington Street	01
-DA131	Site Elevation	West Elevation - Botany Road	01
-DA132	Site Elevation	East Elevation - Cope Street	01
-DA133	Site Elevation	Internal Elevation - Church Square	01
-DA140	Site Section	Section - North South	01
-DA141	Site Section	Section - East West	01
Total Sheets: 23			



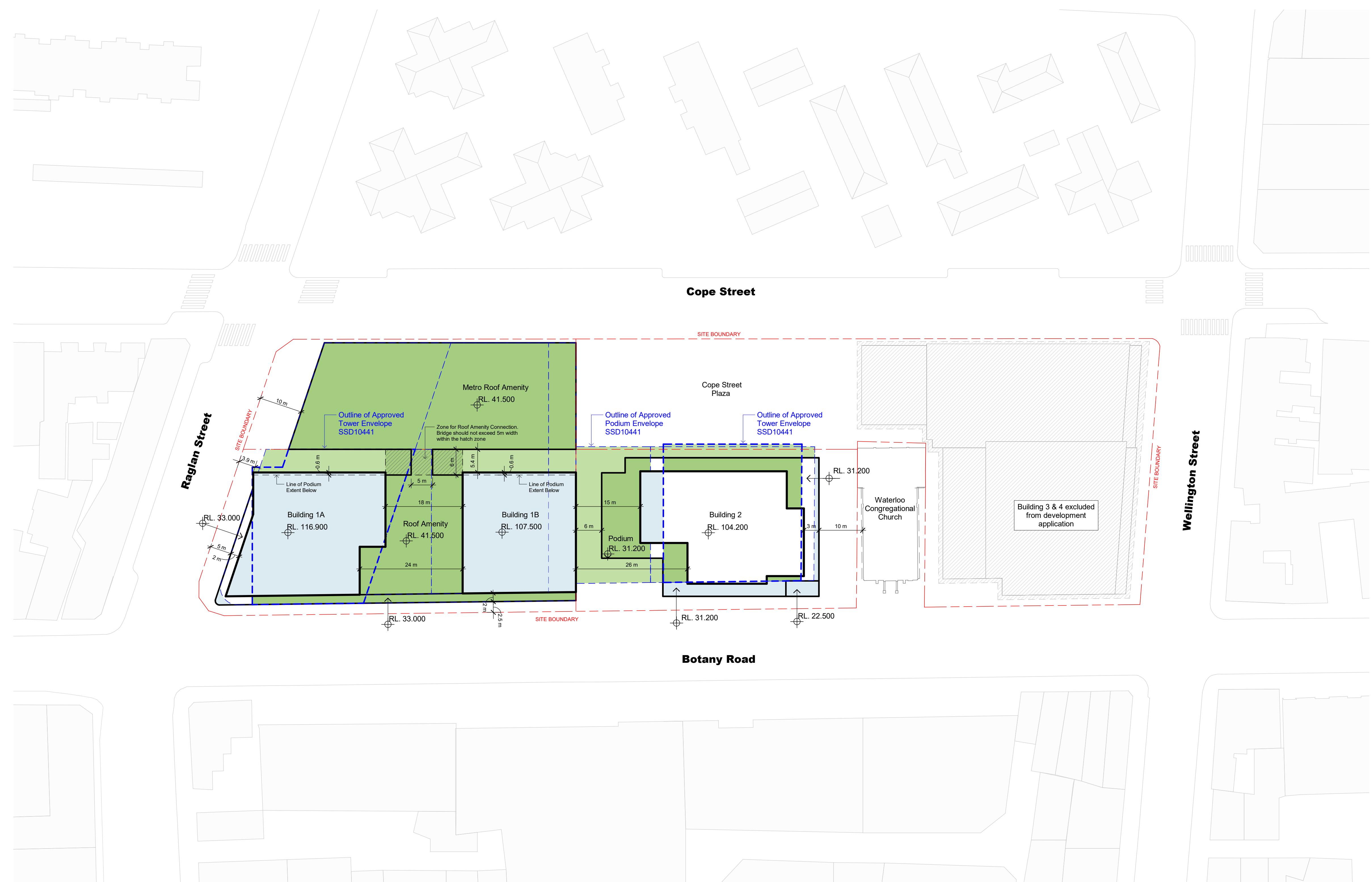
BATESMART

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

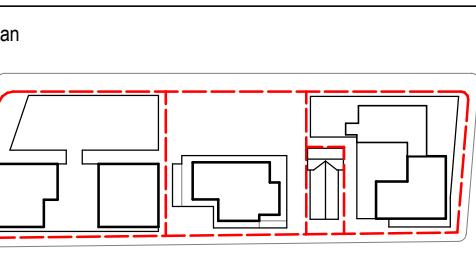
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S12398.A Size check  
25mm  
Checked Approved Sheet size  
DS/RT NB B1 Scale  
1:1

Sheet title  
Title Sheet  
Drawing List

Status  
SSDA ISSUE Revision  
01  
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA000



1 Amended Envelope Comparison - Roof Plan  
1 : 500



Client **WATERLOO COLLECTIVE**  
JOHN HOLLAND | mirvac

Consultant **NSW GOVERNMENT** **sydney METRO**

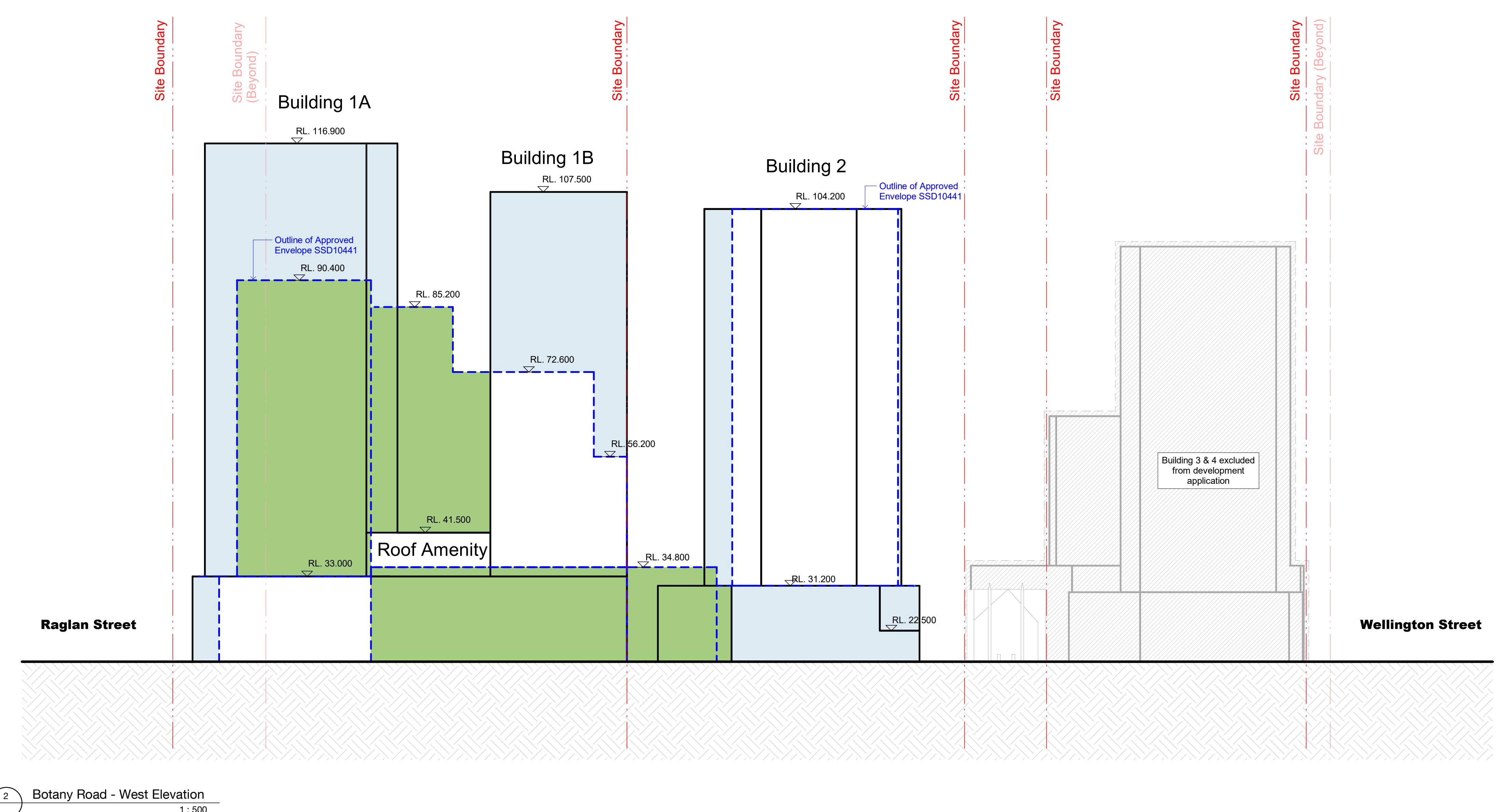
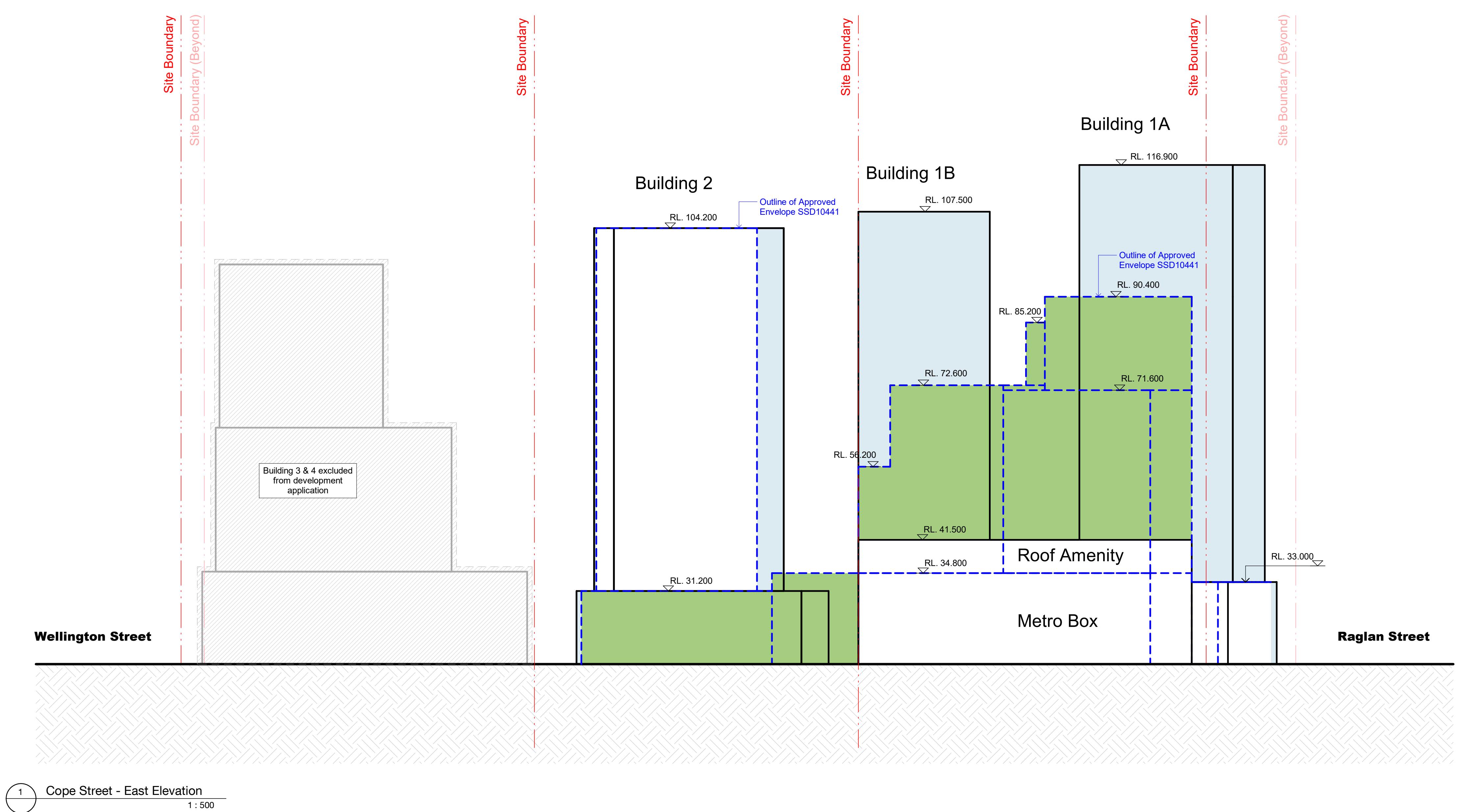
**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number  
**S12398.A** Size check  
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DS/RT NB B1 Scale  
As indicated

Sheet title  
Amended Envelope Diagram  
Envelope Comparison - Roof Plan

Status  
SSDA ISSUE Revision  
01  
Sheet number  
**WMQ-SITE-BSA-UD-DRG-DA001**



Description	Date
SSDA ISSUE	19.09.2023

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preparing shop drawings.  
scale drawings.

ND

REduced ENVELOPE

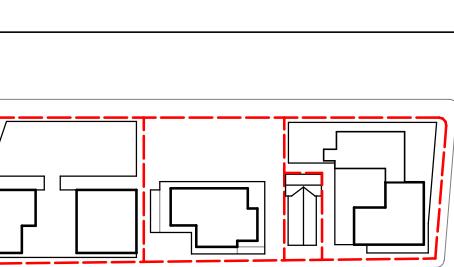
INCREASED ENVELOPE

NO CHANGE TO ENVELOPE

• • — SITE BOUNDARY

— APPROVED ENVELOPE

habitable architectural elements including vertical and horizontal shading devices, shades, and weather-protecting awnings permitted to extend beyond the building envelope. The glazing line and the habitable area of balconies must remain within the described envelope extents.



# WATERLOO COLLECTIVE



# ATESSSMART

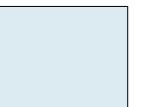
# OO METRO QUARTER DEVELOPMENT and Amending Concept

umber	Size check
98.A	25mm
Approved	Sheet size

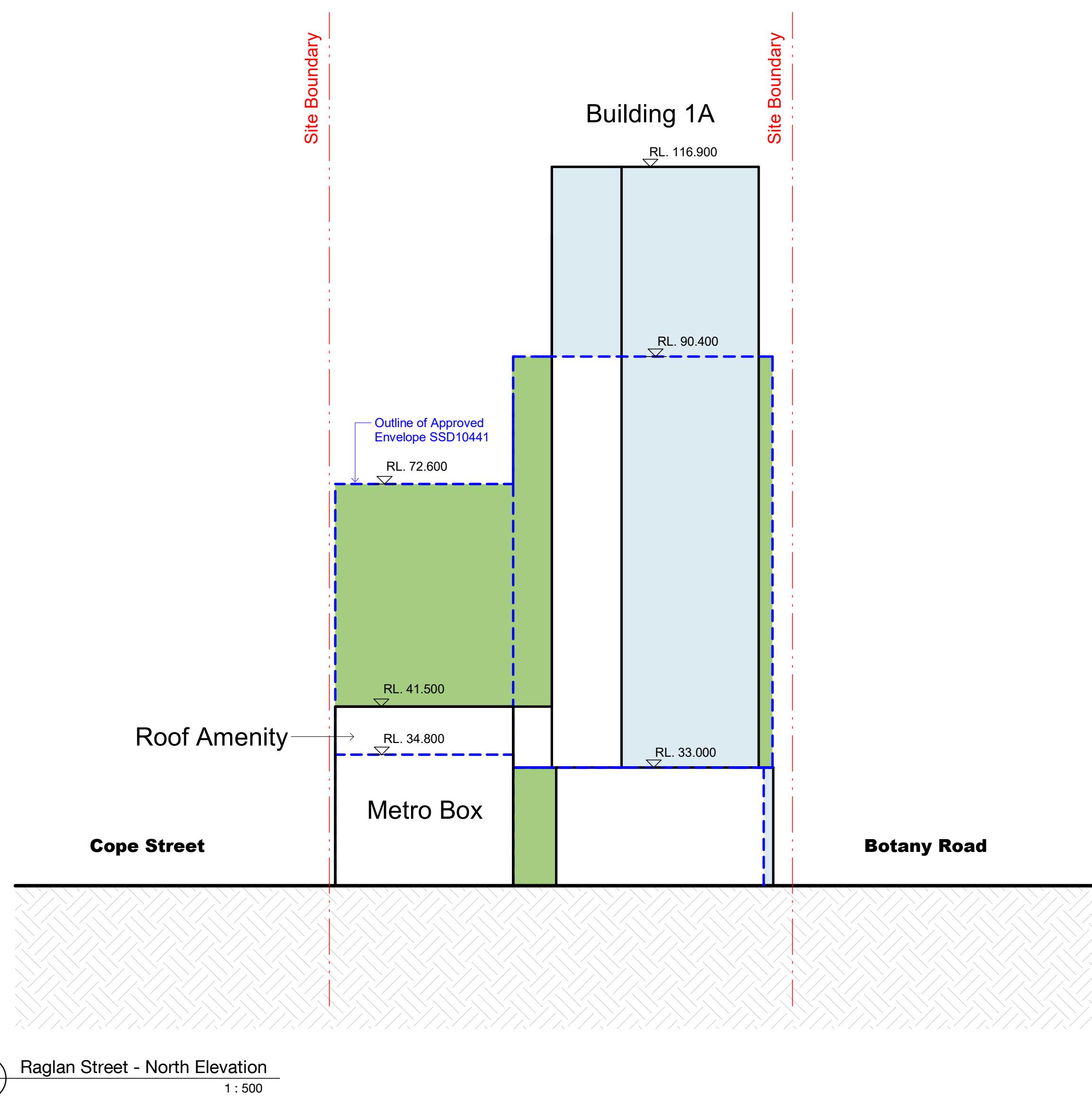
## Extended Envelope Diagram Envelope Comparison - Elevation

Revision  
01  
A ISSUE  
Number  
0-SITE-BSA-UD-DRG-DA002

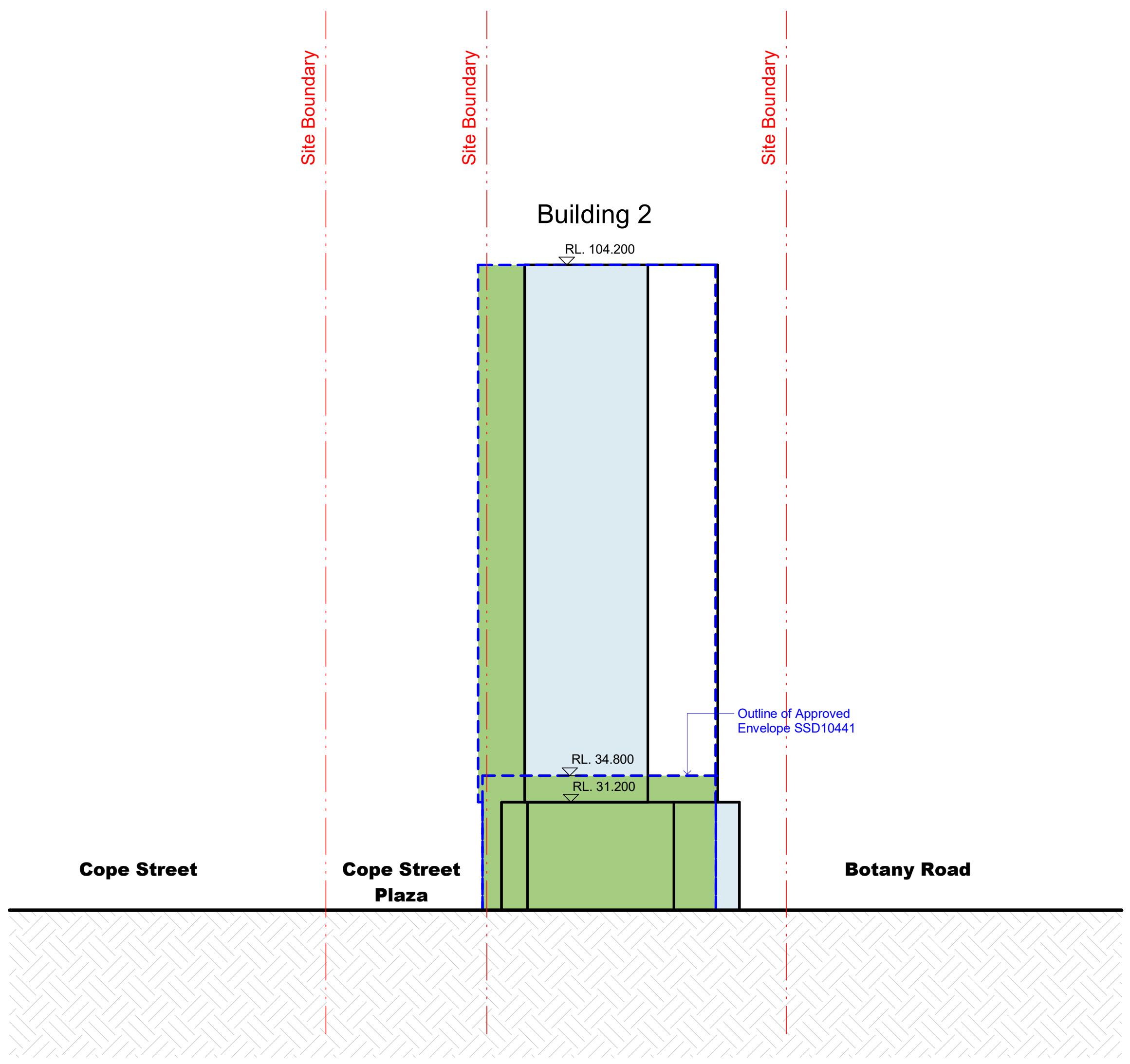
Notes  
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LEGEND  
 REDUCED ENVELOPE  
 INCREASED ENVELOPE  
 NO CHANGE TO ENVELOPE  
 SITE BOUNDARY  
 APPROVED ENVELOPE

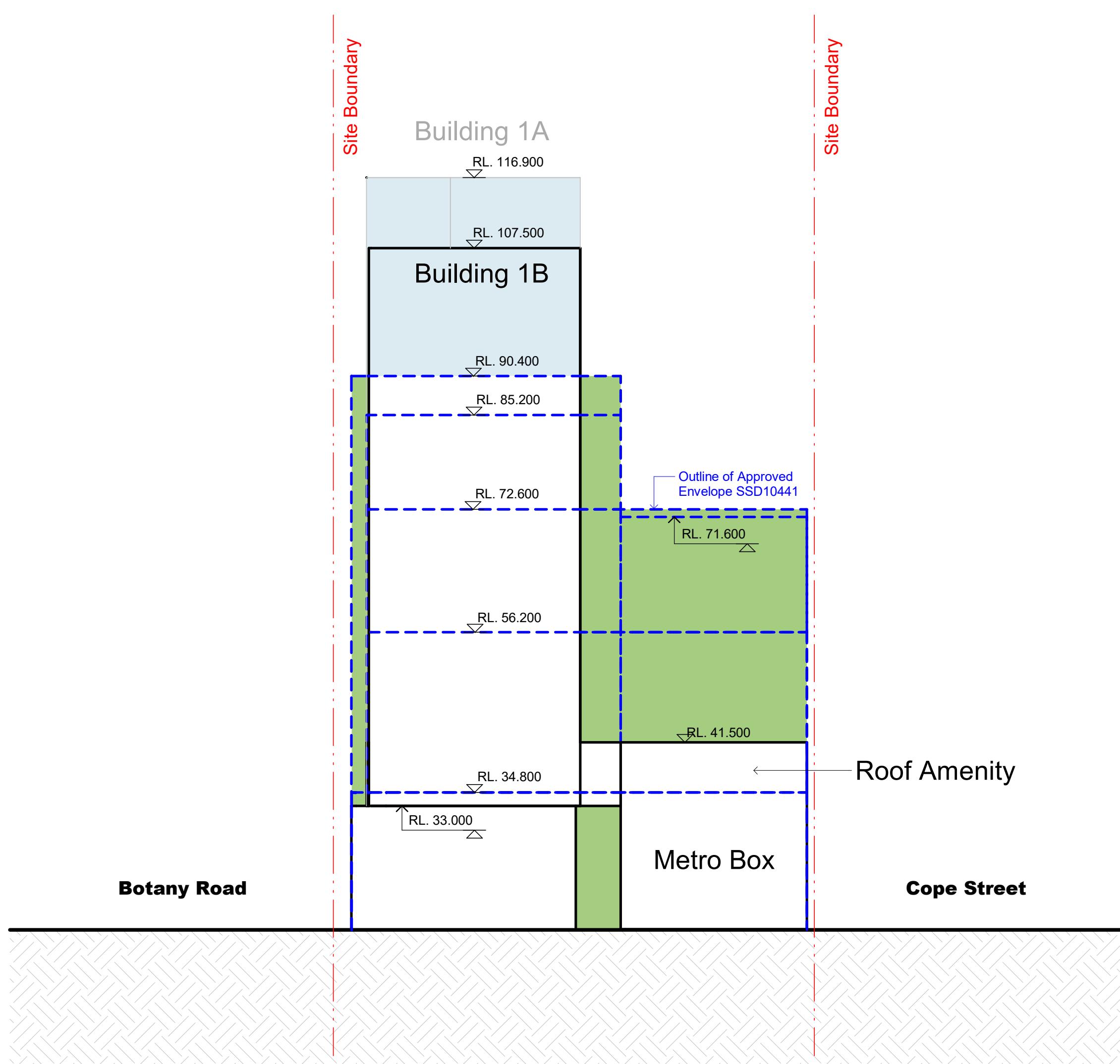
BUILDING ENVELOPE NOTE  
Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are permitted to extend beyond the building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.



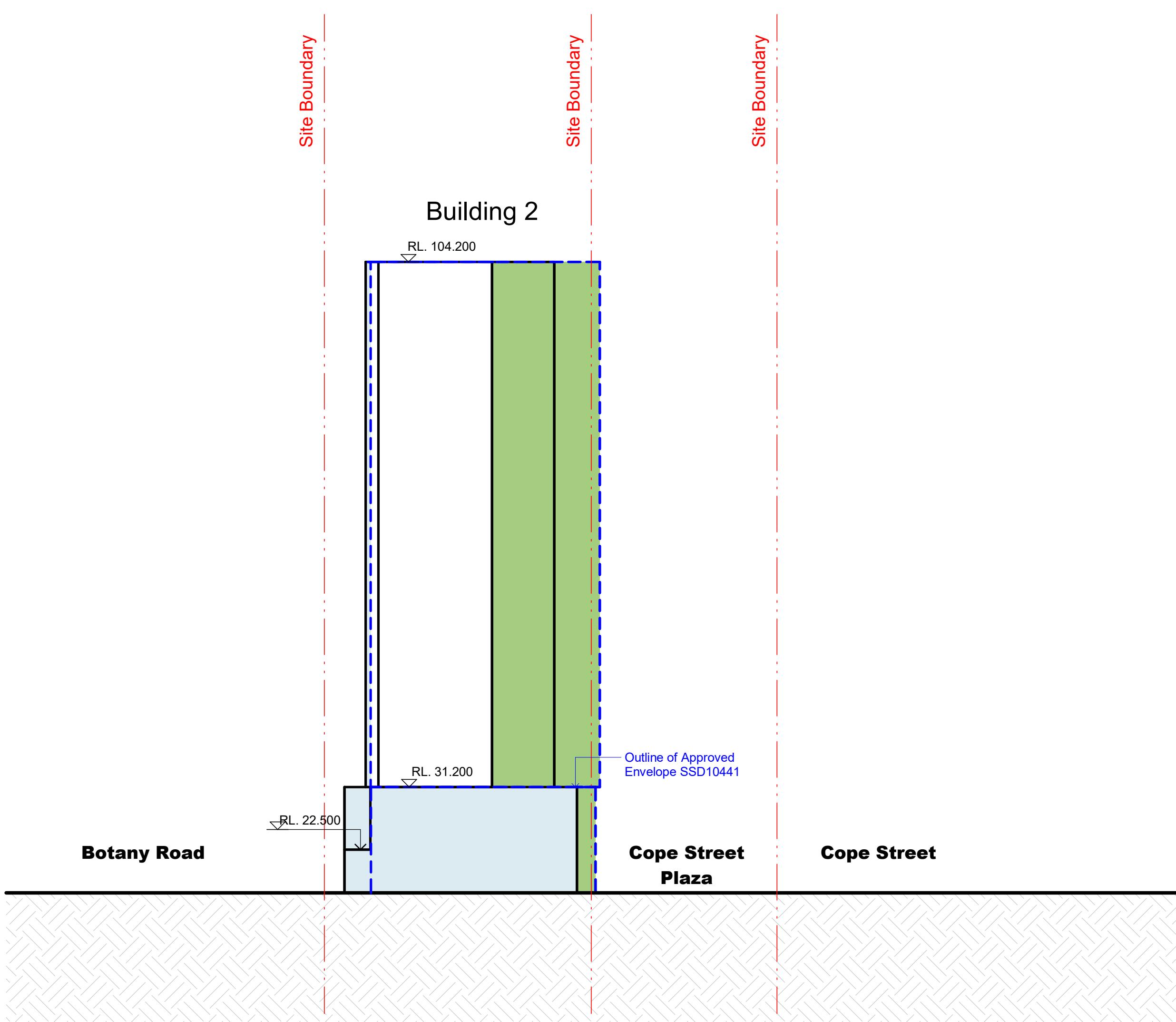
1 Raglan Street - North Elevation  
1 : 500



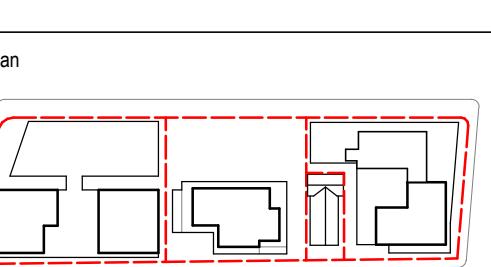
2 Grit Lane - Building 2 North Elevation  
1 : 500



3 Grit Lane - Building 1B South Elevation  
1 : 500



4 Church Square - Building 2 South Elevation  
1 : 500



Client  
WATERLOO COLLECTIVE  
JOHN HOLLAND | mirvac

Consultant  
NSW GOVERNMENT | sydney METRO

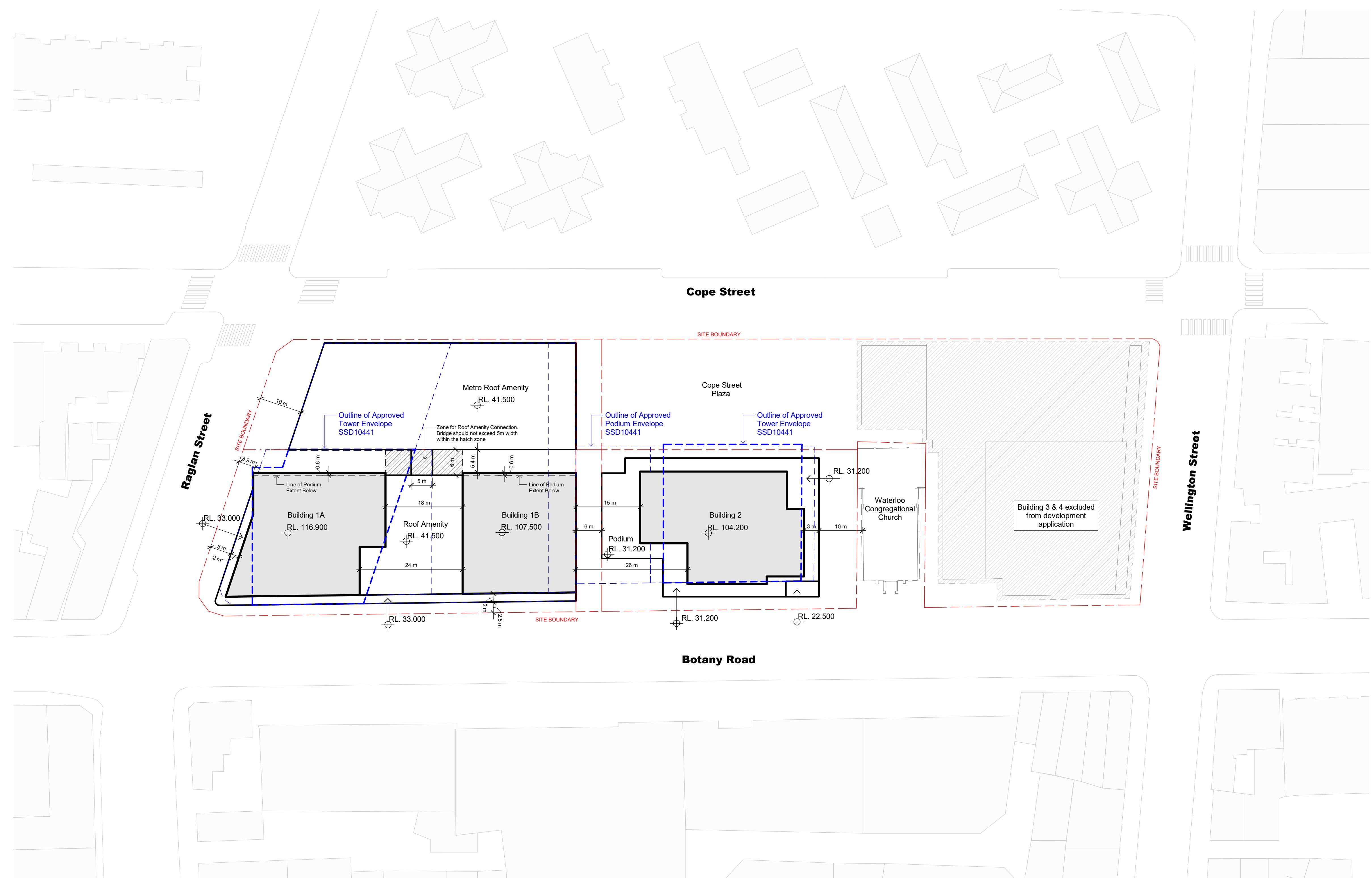
BATESMART

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number  
S12398.A  
Size check  
25mm  
Checked  
Approved  
Sheet size  
B1  
Scale  
As indicated

Sheet title  
Amended Envelope Diagram  
Envelope Comparison - Elevation

Status  
SSDA ISSUE  
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA003  
Revision  
01



1 Proposed Envelope - Roof Plan  
1 : 500

Recent revision history  
01 SSDA ISSUE  
19.09.25

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**LEGEND**

- PROPOSED TOWER ENVELOPE
- PROPOSED PODIUM ENVELOPE
- SITE BOUNDARY
- APPROVED ENVELOPE

**BUILDING ENVELOPE NOTE**

Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are permitted to extend beyond the building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.

**Key Plan**

**Client**  
WATERLOO COLLECTIVE  
JOHN HOLLAND | mirvac

**Consultant**  
NSW GOVERNMENT | sydney METRO

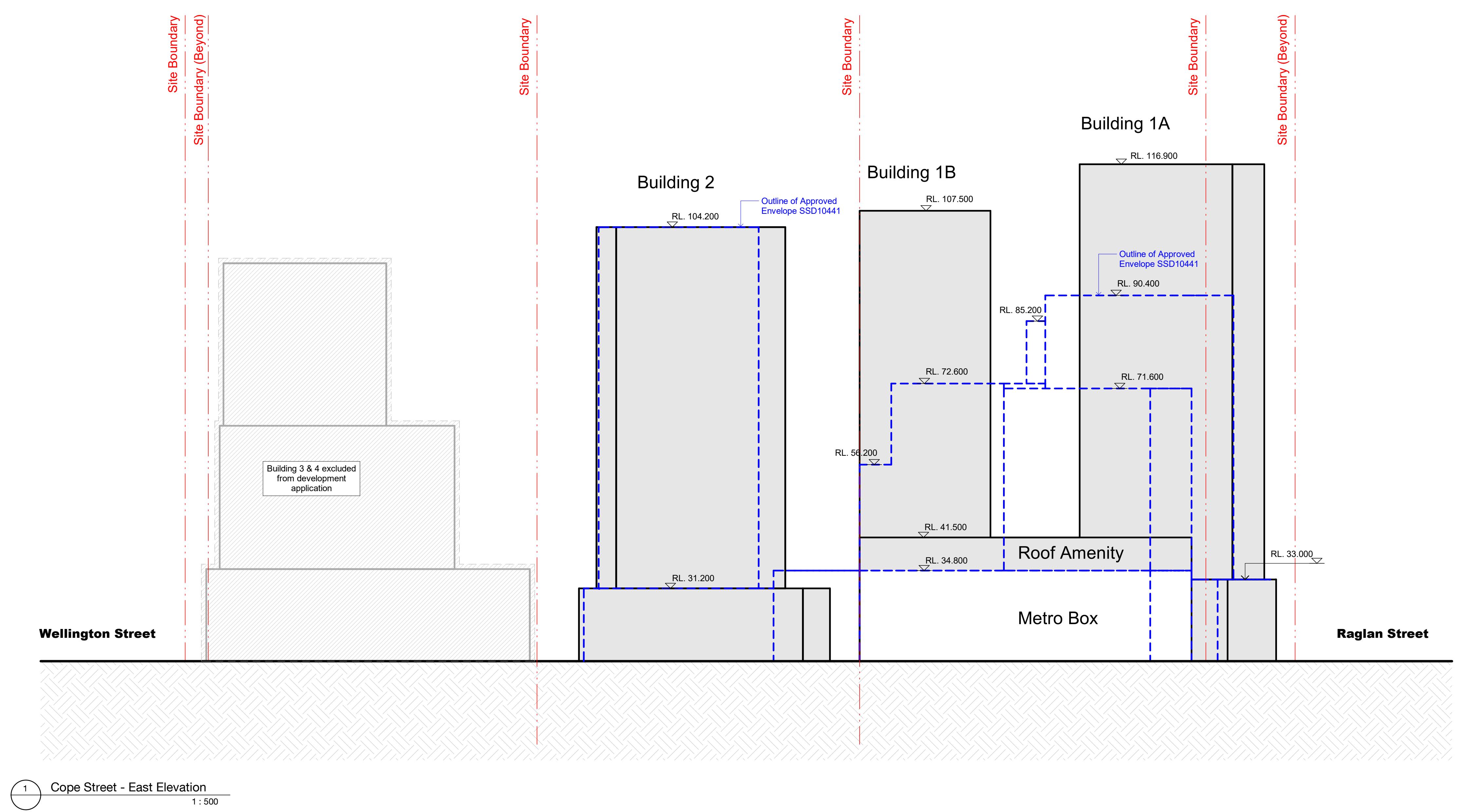
**BATESMART**

**Project**  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

**Project number** S12398.A **Size check** 25mm  
Checked Approved Sheet size B1 Scale As indicated

**Sheet title** Amended Envelope Diagram  
Proposed Envelope - Roof Plan

**Status** SSDA ISSUE **Revision** 01  
**Sheet number** WMQ-SITE-BSA-UD-DRG-DA004

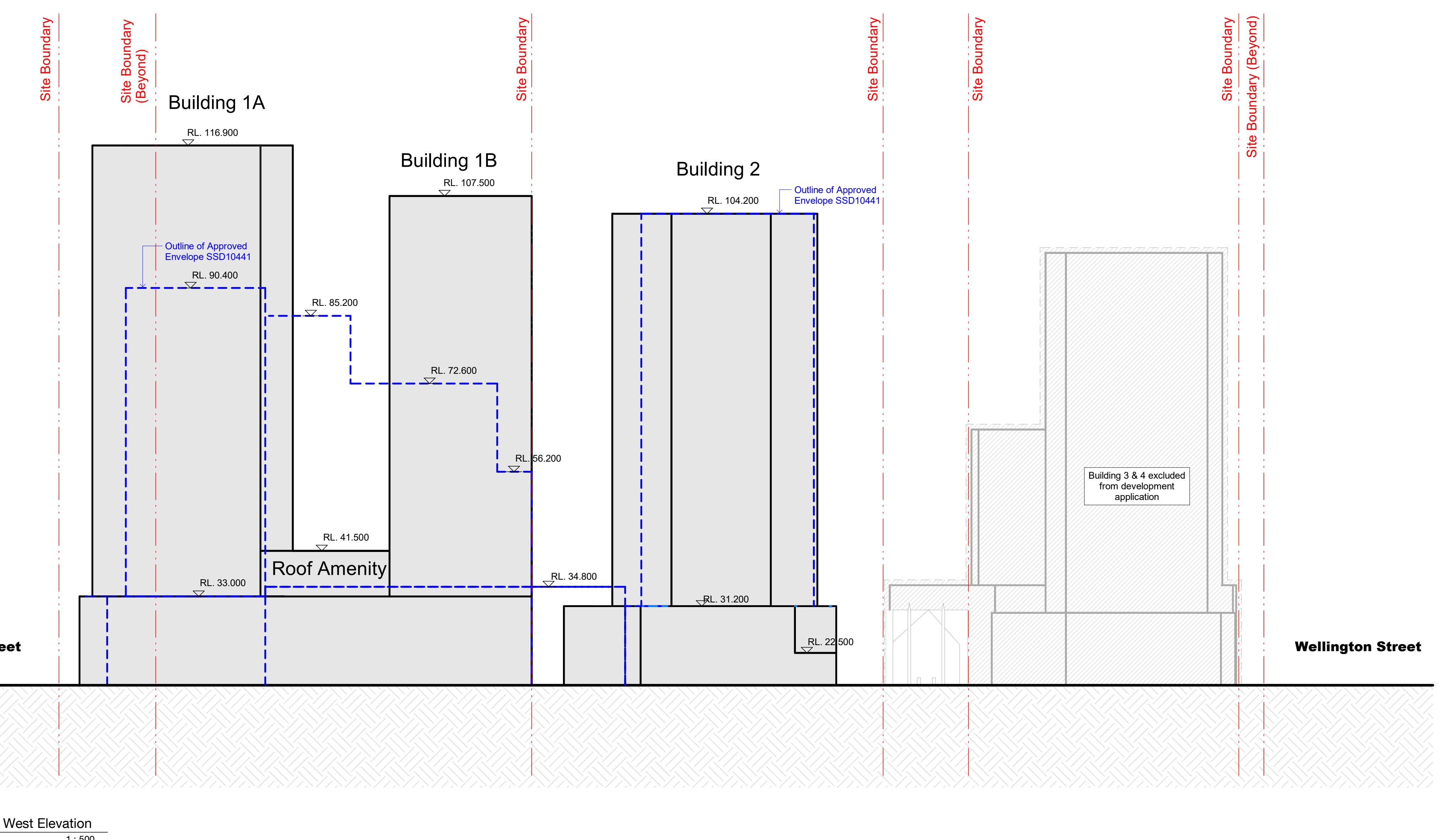


Recent revision history  
01 SSDA ISSUE Date 19.09.25

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LEGEND  
 PROPOSED ENVELOPE  
 SITE BOUNDARY  
 APPROVED ENVELOPE

BUILDING ENVELOPE NOTE  
Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are not included in the building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.



Client WATERLOO COLLECTIVE  
JOHN HOLLAND | mirvac

Consultant NSW GOVERNMENT | sydney METRO

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Project WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number S12398.A Size check 25mm  
Checked DS/RT Approved NB Sheet size B1 Scale As indicated

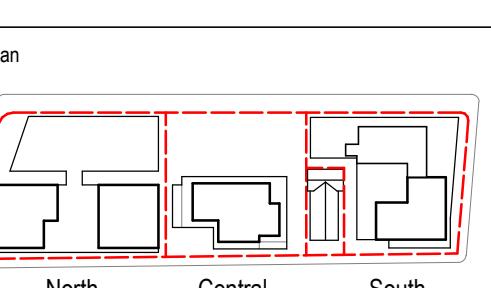
Sheet title Amended Envelope Diagram  
Proposed Envelope - Elevation

Status SSDA ISSUE Revision 01  
Sheet number WMQ-SITE-BSA-UD-DRG-DA005

Notes  
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LEGEND  
 PROPOSED ENVELOPE  
 SITE BOUNDARY  
 APPROVED ENVELOPE

BUILDING ENVELOPE NOTE  
Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are not included in the proposed building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.



Client **WATERLOO COLLECTIVE**  
JOHN HOLLAND | mirvac

Consultant **NSW GOVERNMENT** **sydney METRO**

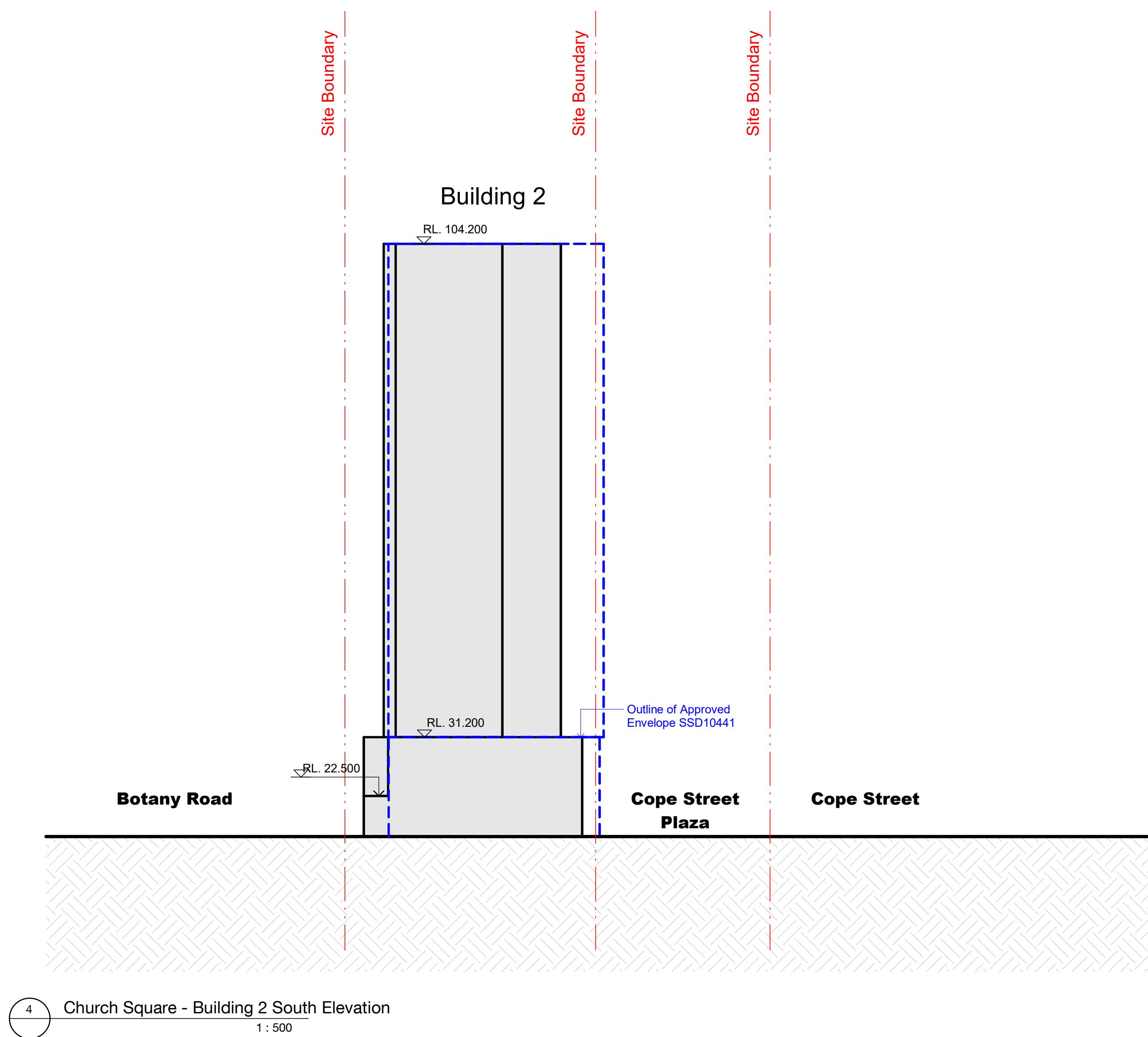
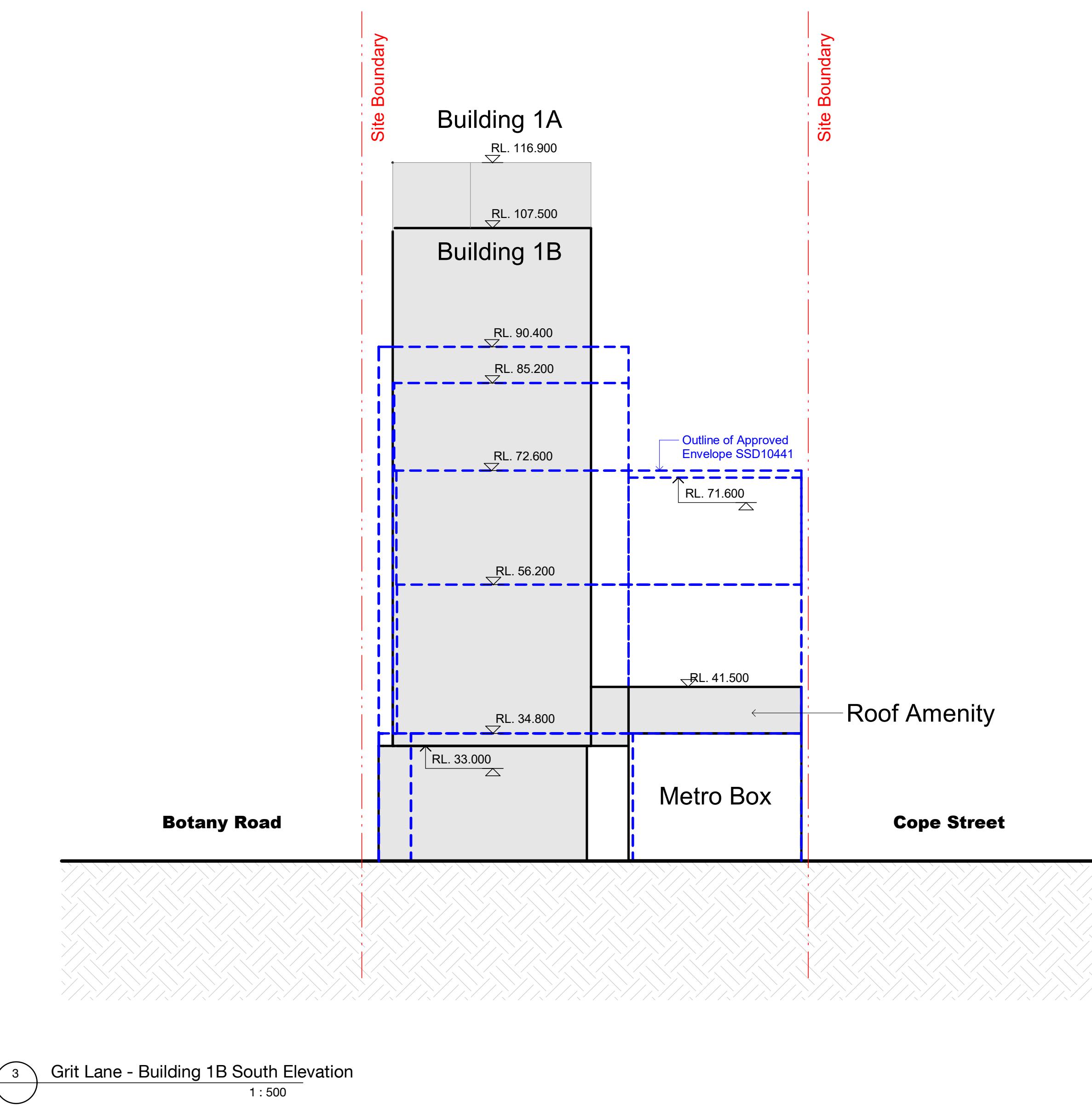
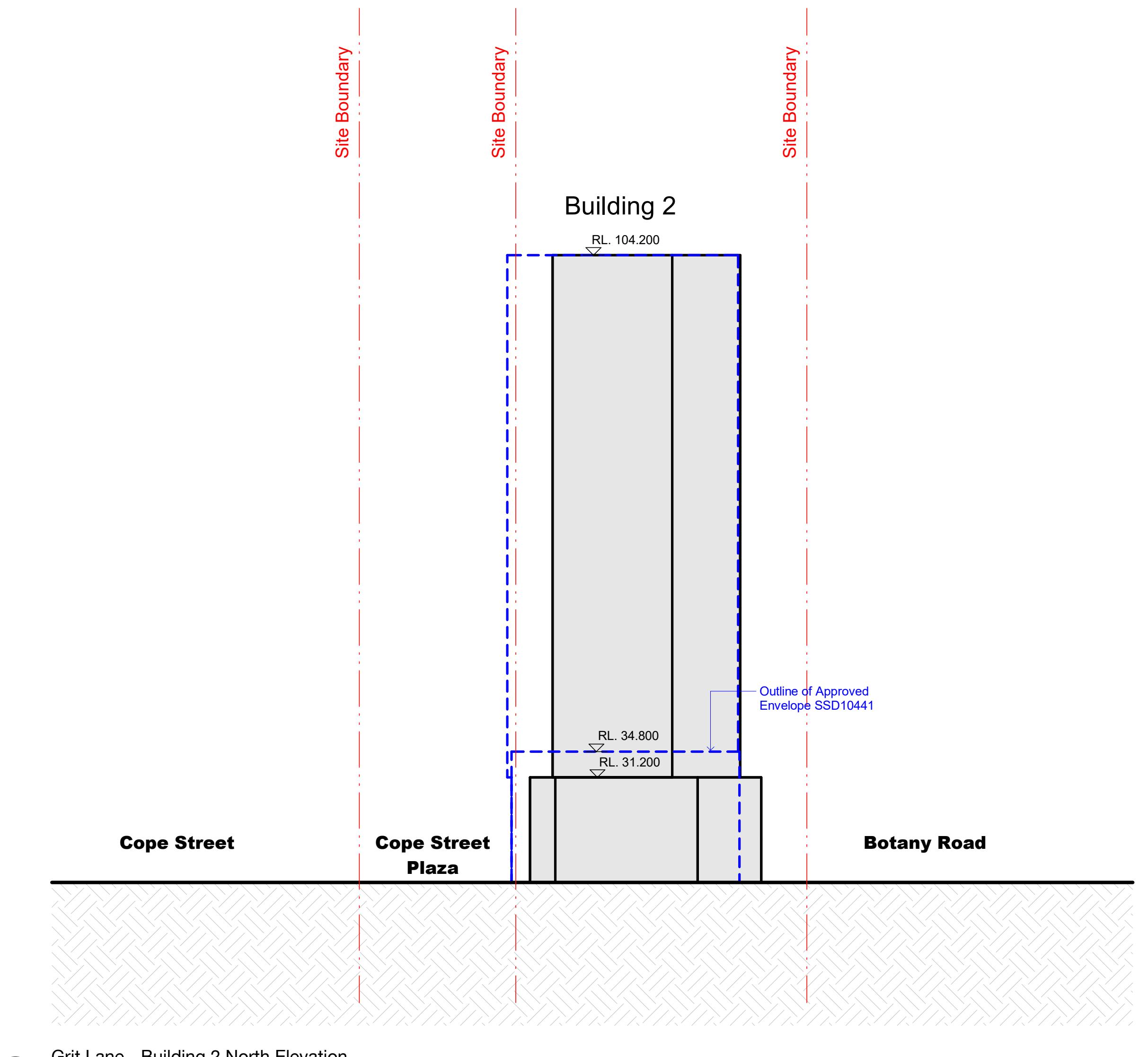
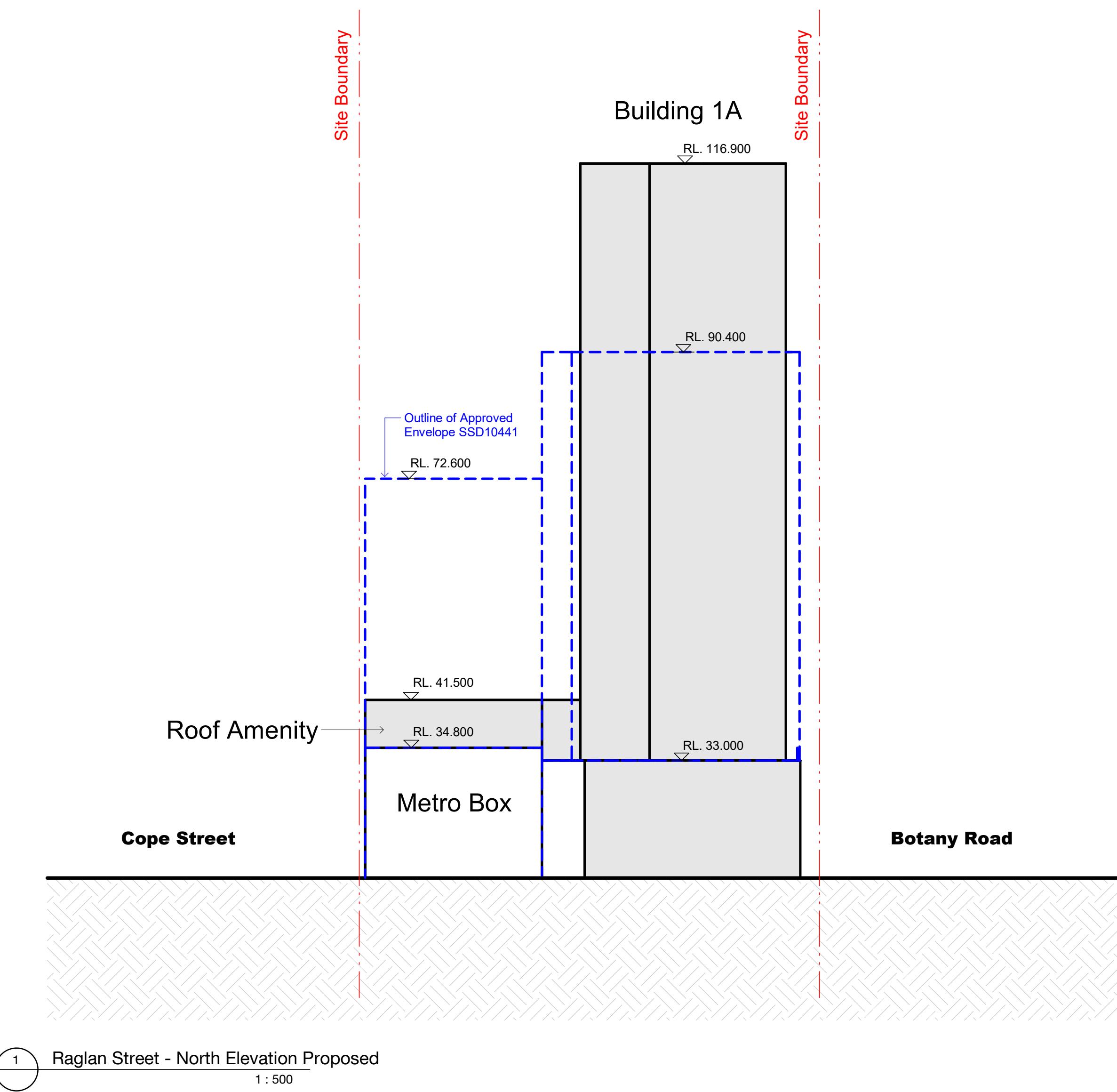
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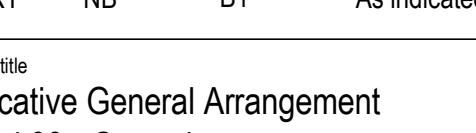
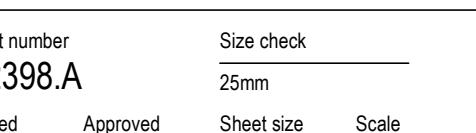
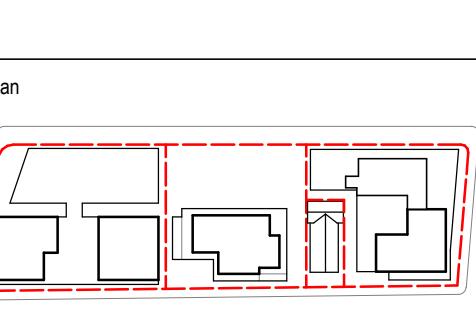
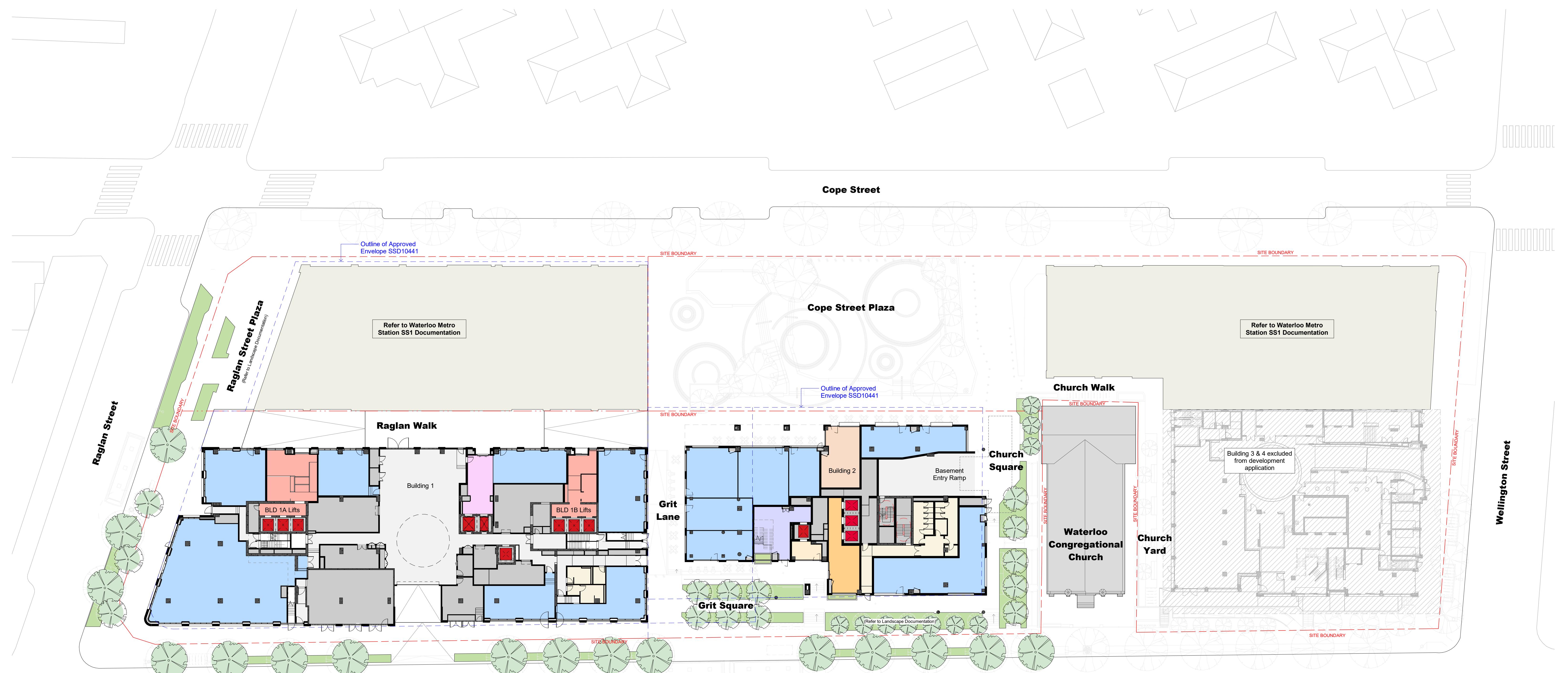
Project WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

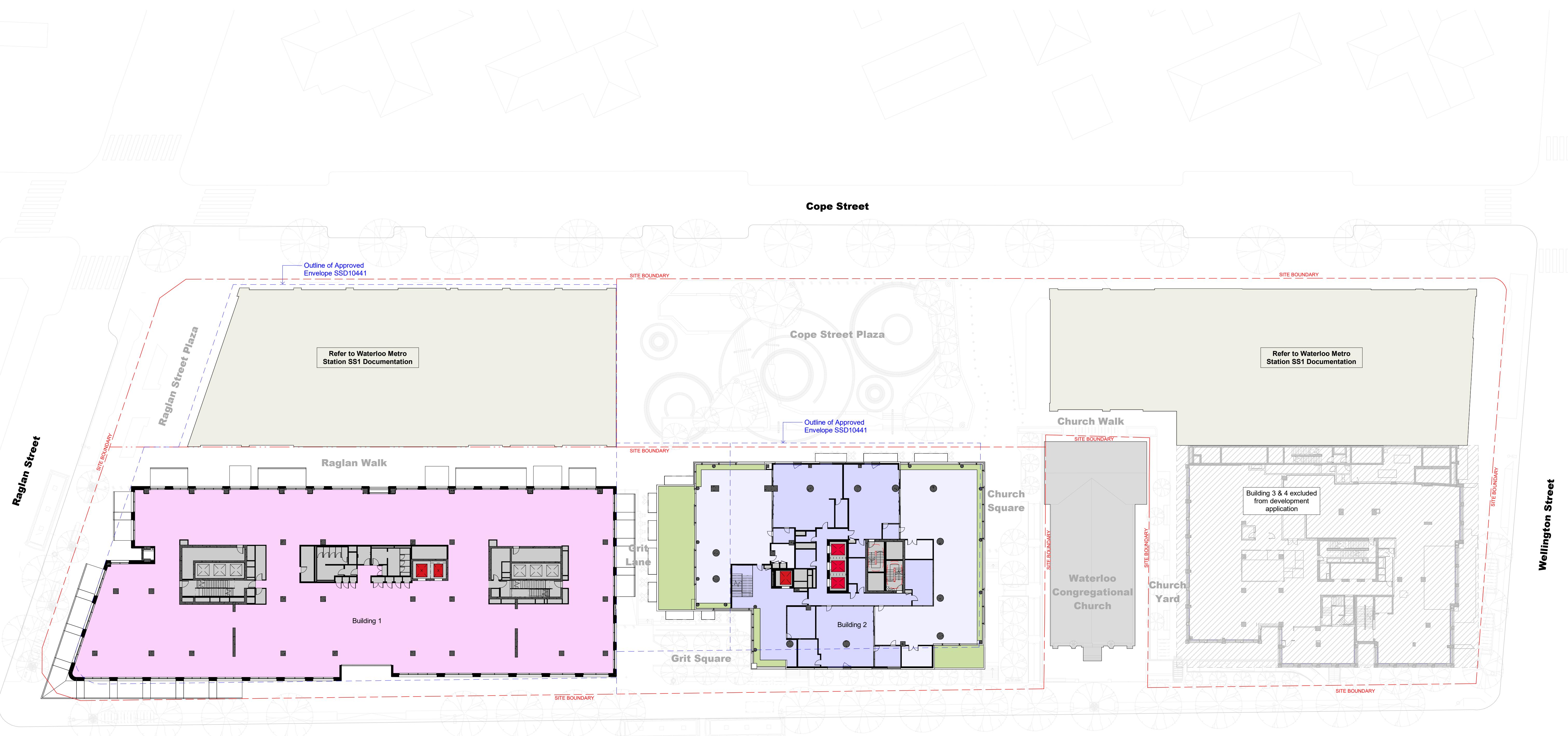
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Sheet title Amended Envelope Diagram  
Proposed Envelope - Elevation

Status SSDA ISSUE Revision 01  
Sheet number WMQ-SITE-BSA-UD-DRG-DA006







**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

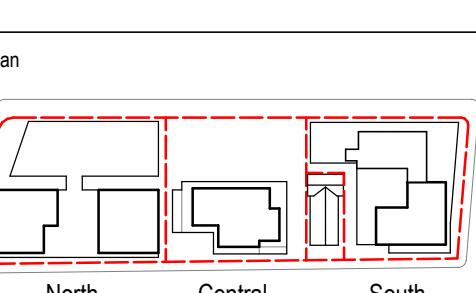
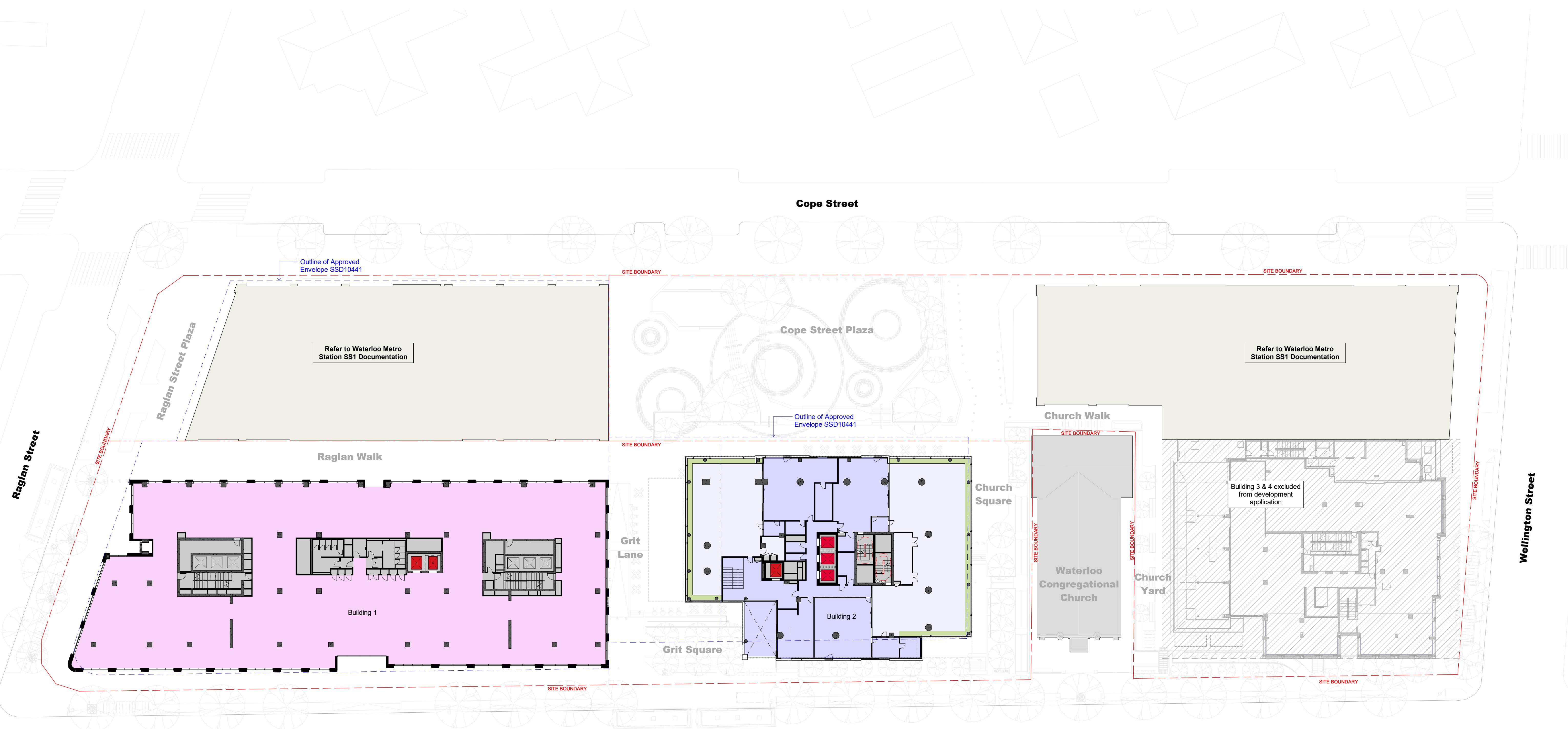
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Indicative General Arrangement  
Level 01

Project number  
S12398.A Size check  
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Checked Approved Sheet size  
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Status  
SSDA ISSUE Revision  
01

Sheet number  
WMQ-SITE-BSA-UD-DRG-DA101



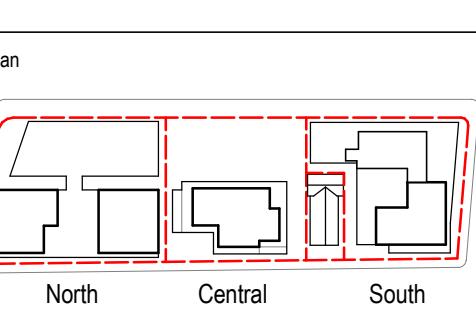
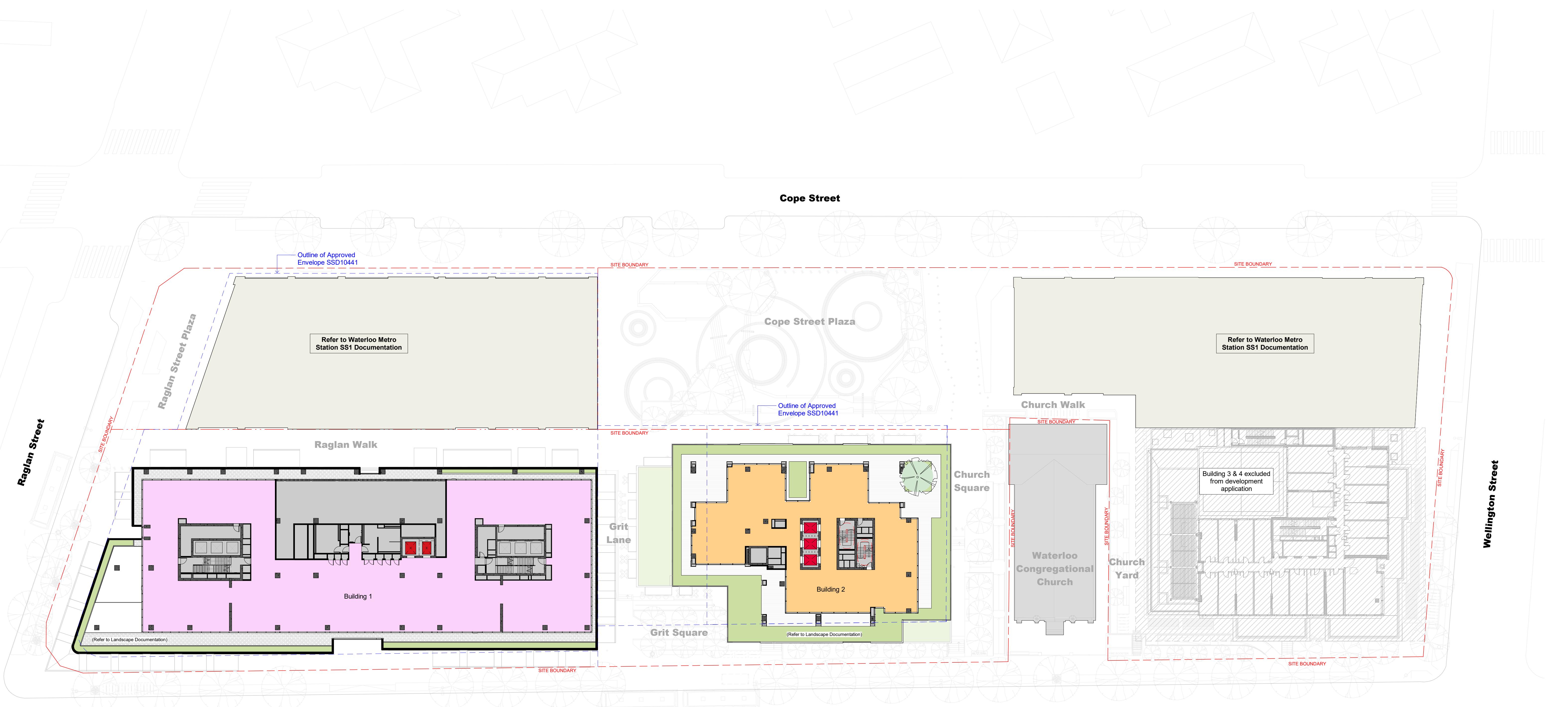
**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

1 Plan - Level 02  
1 : 300  
Project number: S12398.A  
Size check: 25mm  
Checked: DS/RT Approved: NB Sheet size: B1 Scale: As indicated

Sheet title: Indicative General Arrangement  
Level 02

Status: SSDA ISSUE Revision: 01  
Sheet number: WMQ-SITE-BSA-UD-DRG-DA102



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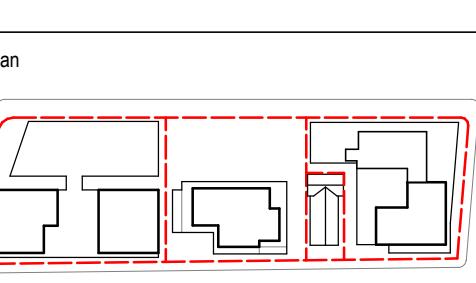
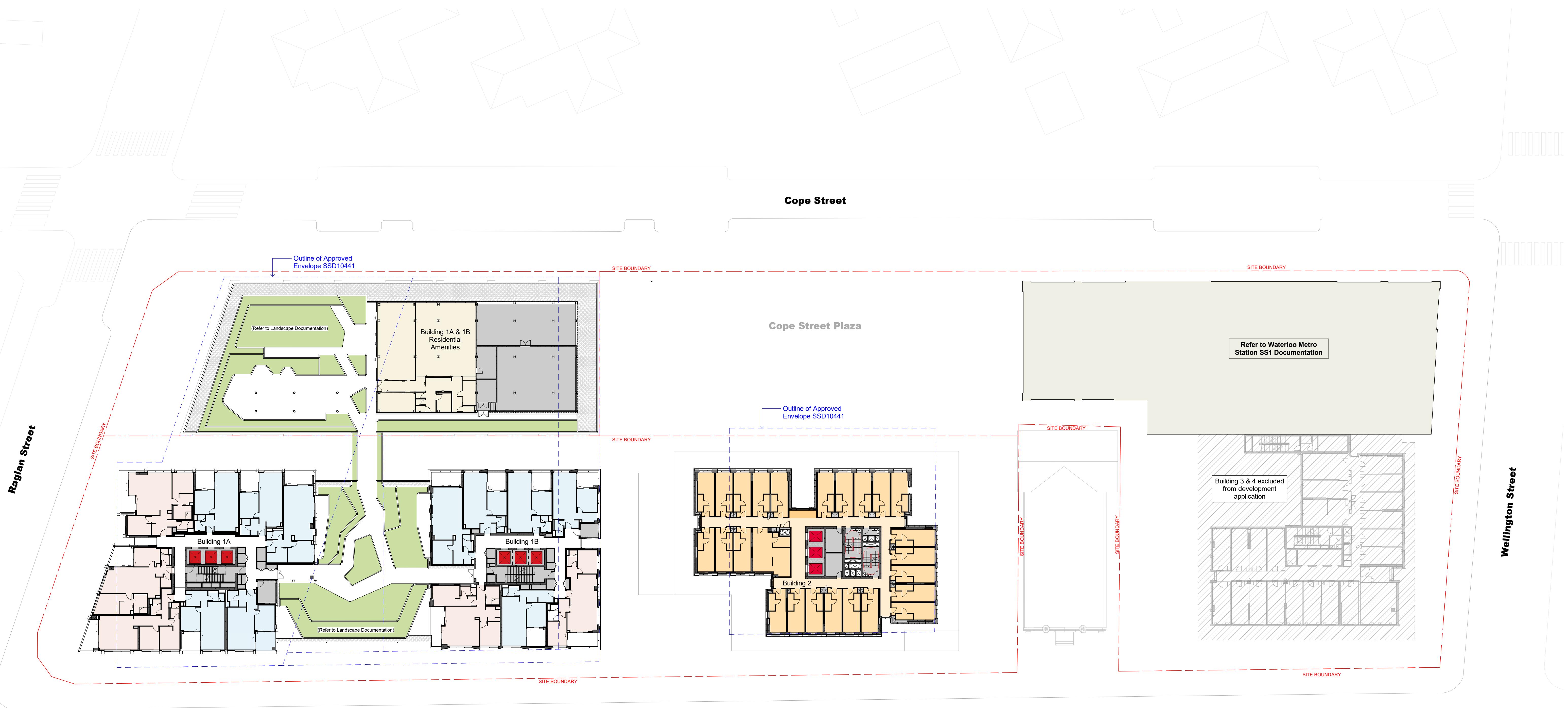
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Plan - Level 03  
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Project number: S12398.A  
Size check: 25mm  
Checked: DS/RT Approved: NB Sheet size: B1 Scale: As indicated

Sheet title: Indicative General Arrangement  
Level 03

Status: SSDA ISSUE Revision: 01  
Sheet number: WMQ-SITE-BSA-UD-DRG-DA103



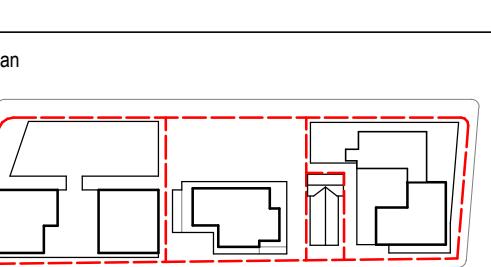
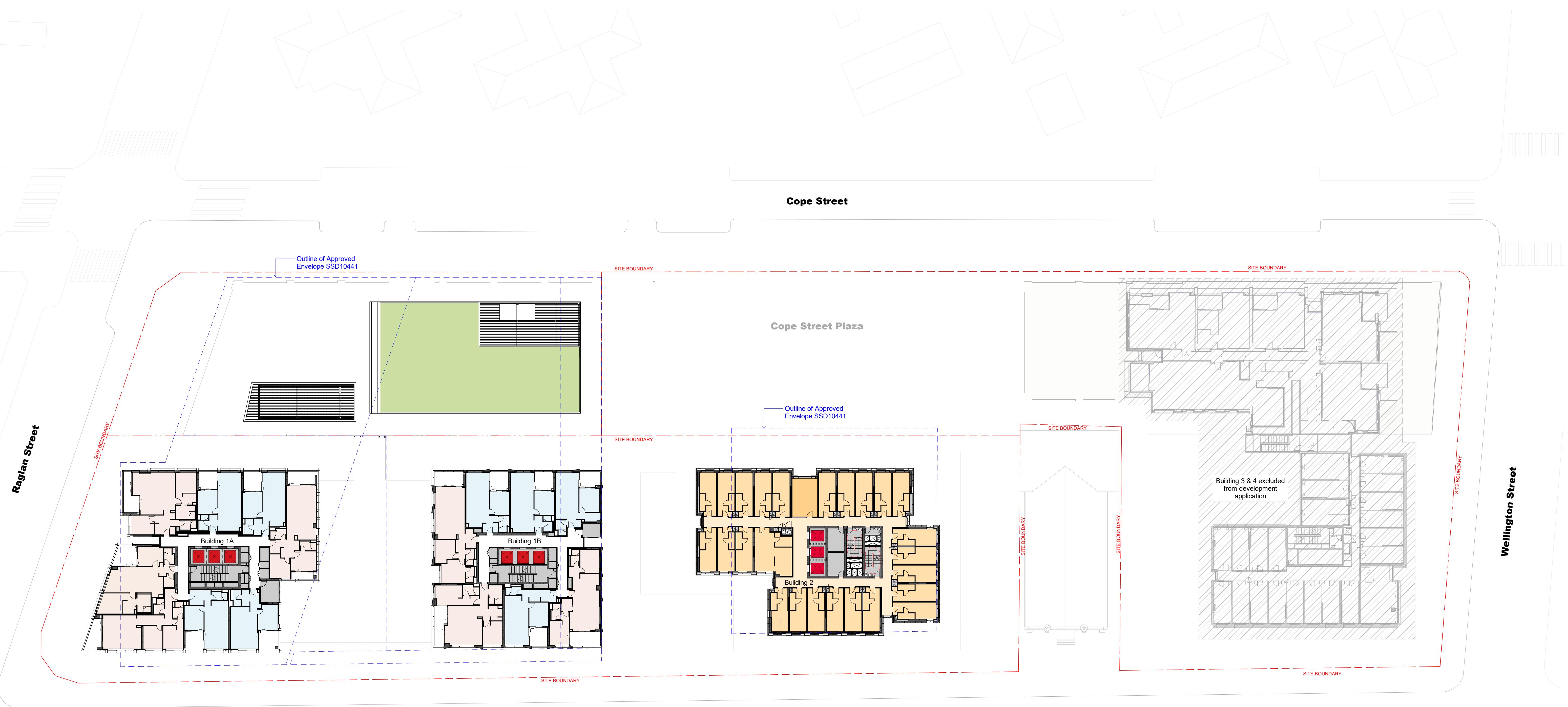
**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number  
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Size check  
25mm  
Checked  
Approved  
Sheet size  
B1  
Scale  
As indicated

Sheet title  
Indicative General Arrangement  
Level 04

Status  
SSDA ISSUE  
Revision  
01  
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA104



**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

1 Plan - Level 05-19 Typical  
1 : 300

Project number  
S12398.A  
Size check  
25mm

Checked  
Approved  
Sheet size  
B1  
Scale  
As indicated

DS/RT  
NB

Sheet title  
Indicative General Arrangement

Level 05-19 Typical Low Rise (BLD 1A & 1B) / Typical Co-Living (BLD 2)

Status  
SSDA ISSUE  
01

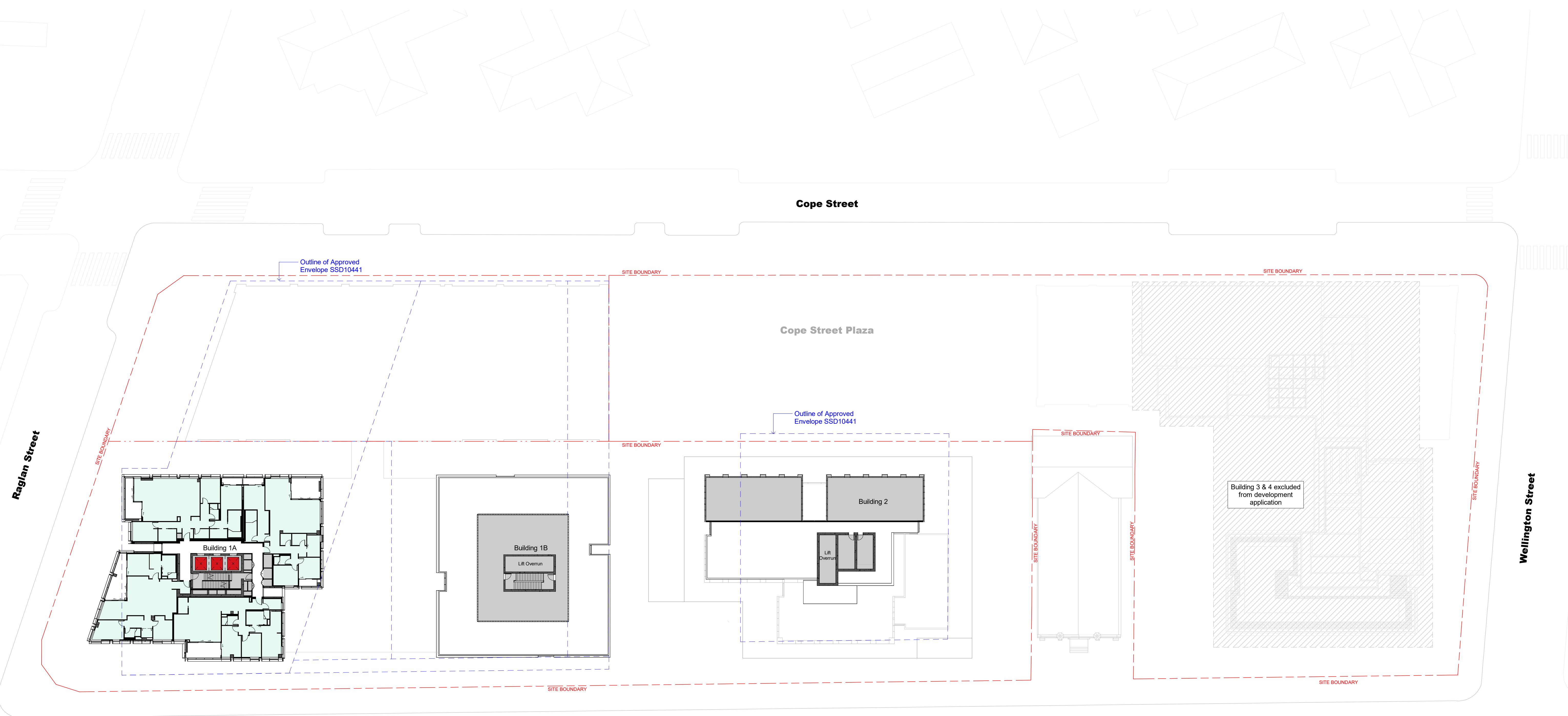
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA105



1 Plan - Level 20-26 Typical

1 : 300

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BATESMART


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WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

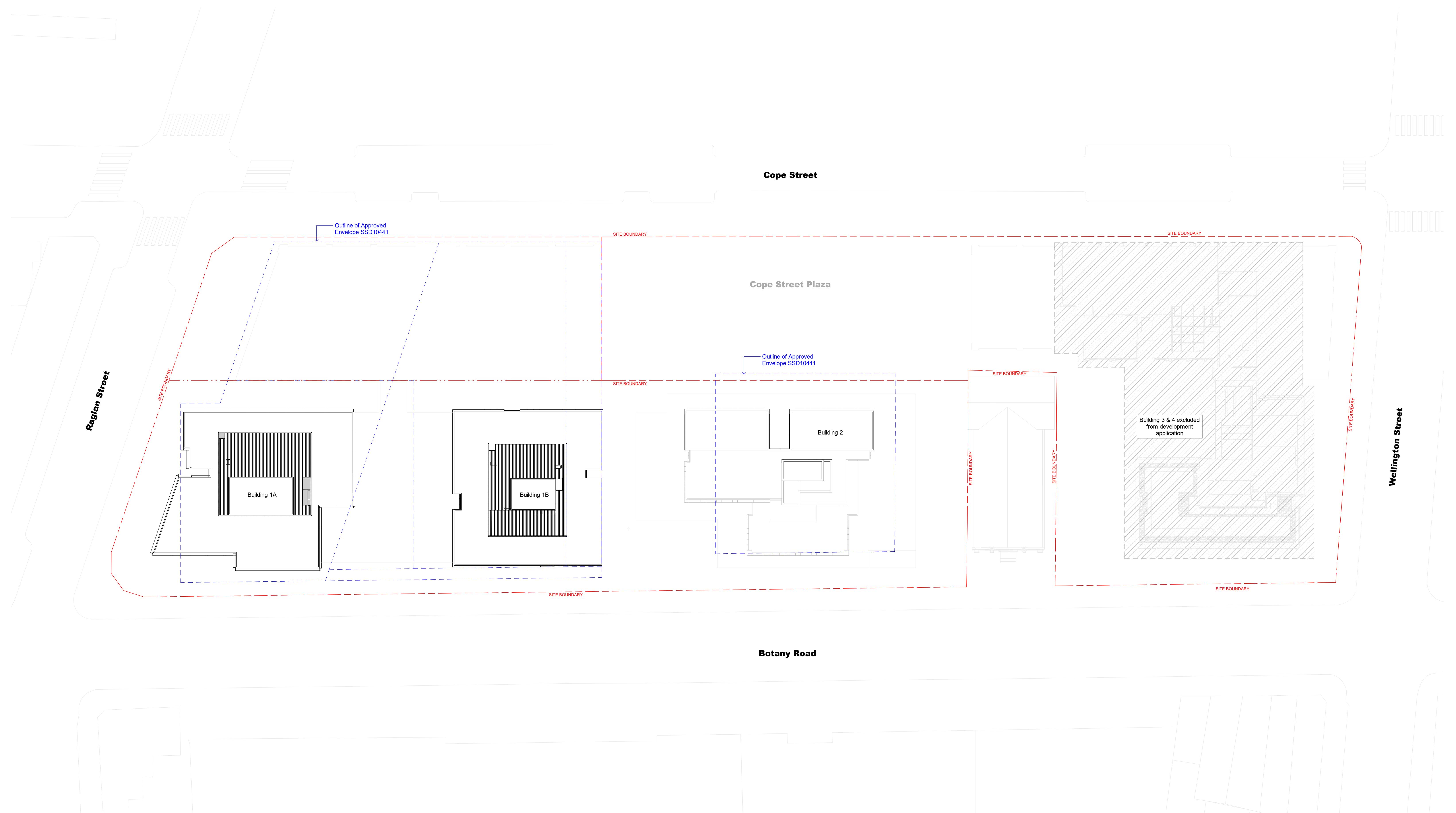
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Size check  
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Sheet size  
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Scale  
As indicated

Sheet title  
Indicative General Arrangement  
Level 27

Status  
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Revision  
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Sheet number  
WMQ-SITE-BSA-UD-DRG-DA127

1 Plan - Level 27  
1 : 300





Roof Plan 1 : 300

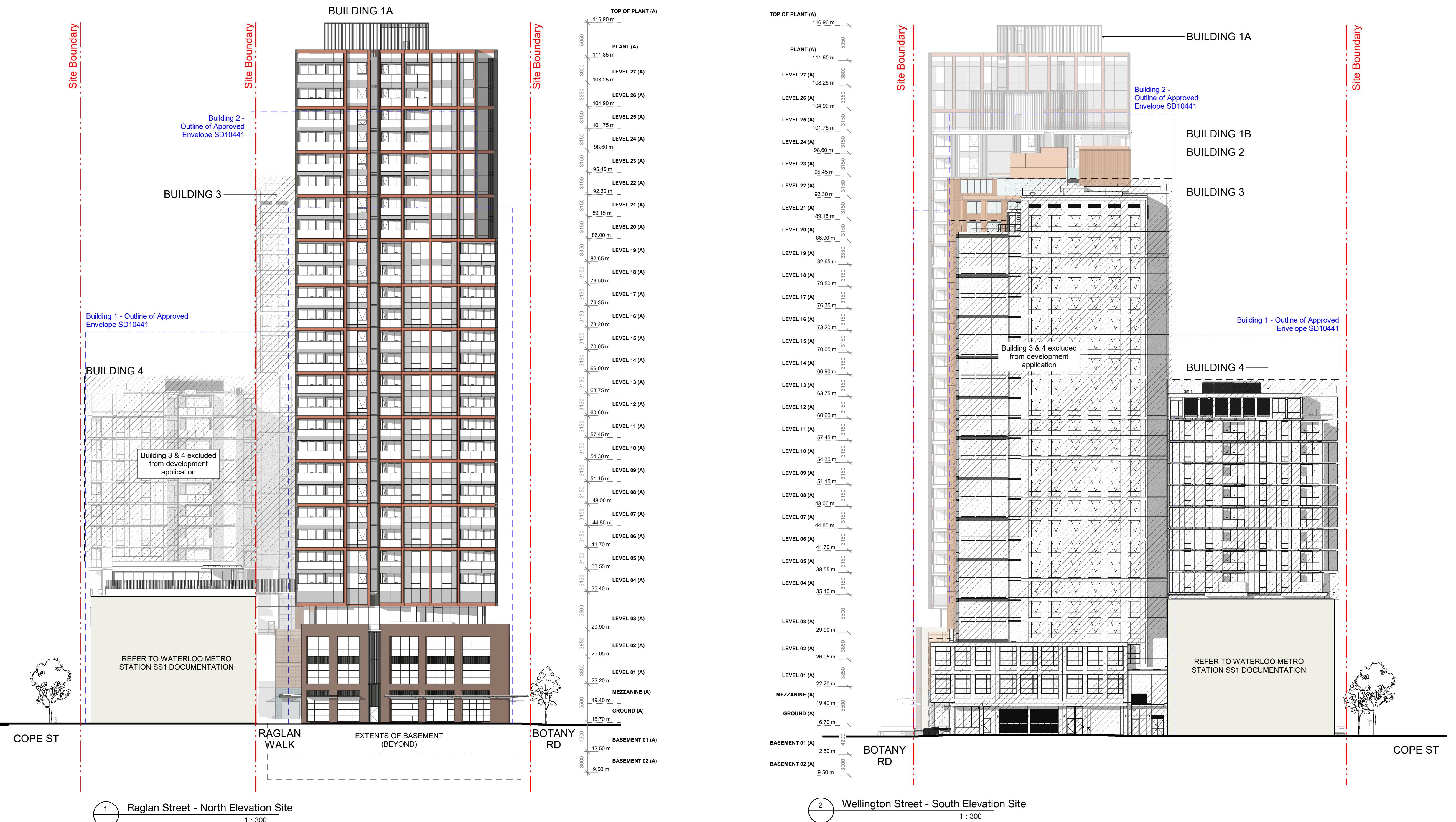
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WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number  
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DS/RT NB B1 Scale  
As indicated

Sheet title  
Indicative General Arrangement  
Roof

Status  
SSDA ISSUE Revision  
01  
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA129

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- o do not scale drawings.



A site plan showing a large, irregularly shaped property boundary outlined in red. Inside the property, there are several building footprints represented by white areas with black outlines. One building footprint is located in the lower-left quadrant, another is in the center, and a larger one is in the lower-right quadrant. The property boundary is irregular, with a small opening on the right side.

# WATERLOO COLLECTIVE

 |  **sydney**

## BATESSMART

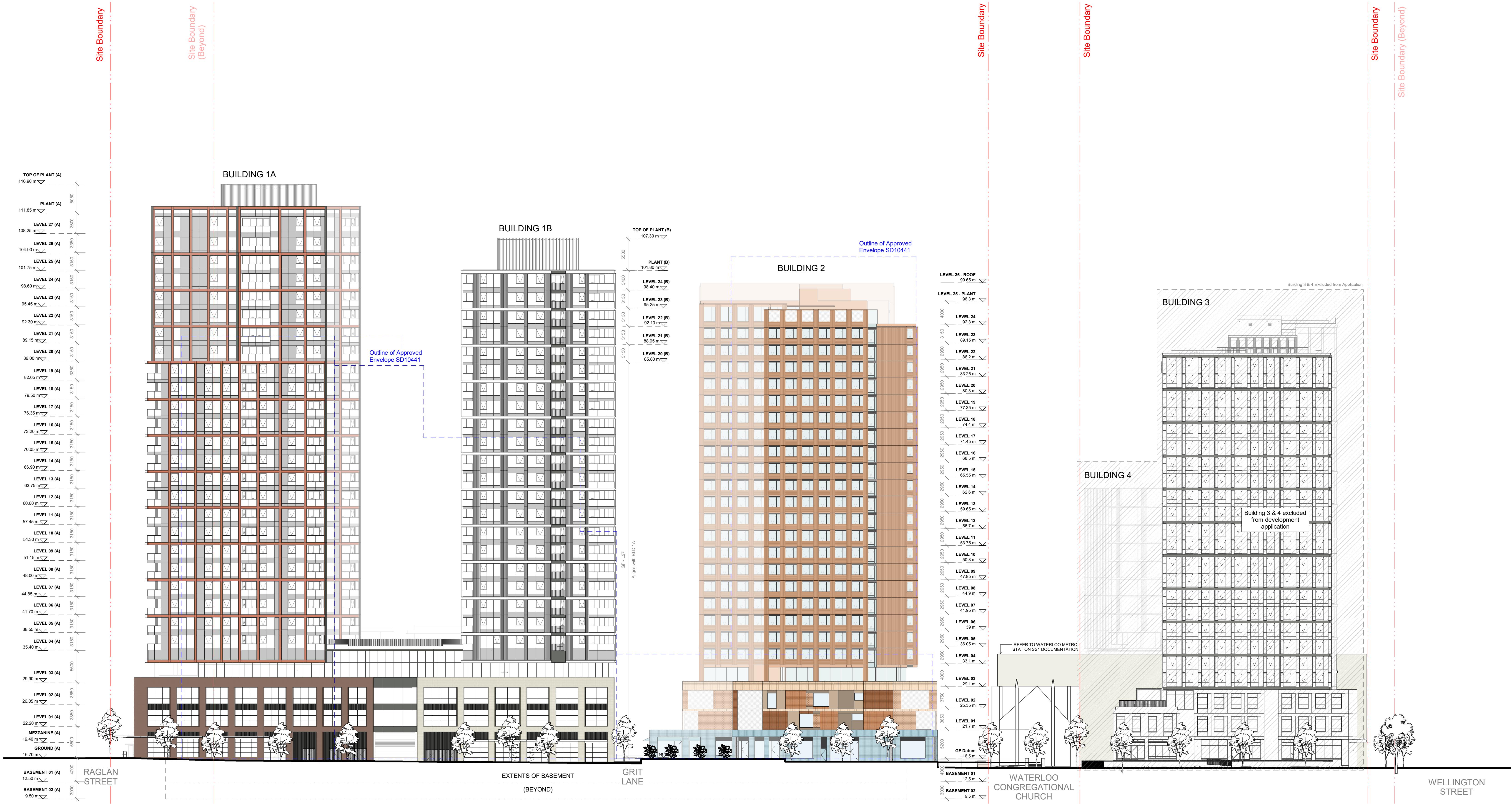
project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

project number Size check  
**612398.A**  
25mm

Sheet title  
**Site Elevation**  
North & South Elevation - Raglan &  
Wellington Street

status Revision  
CSDA ISSUE 01  
sheet number

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r preparing shop drawings.  
scale drawings.



# PROLOO METRO QUARTER DEVELOPMENT Second Amending Concept

Part number 398.A Size check 25mm  
Approved   Sheet size   Scale

## title

# Elevation

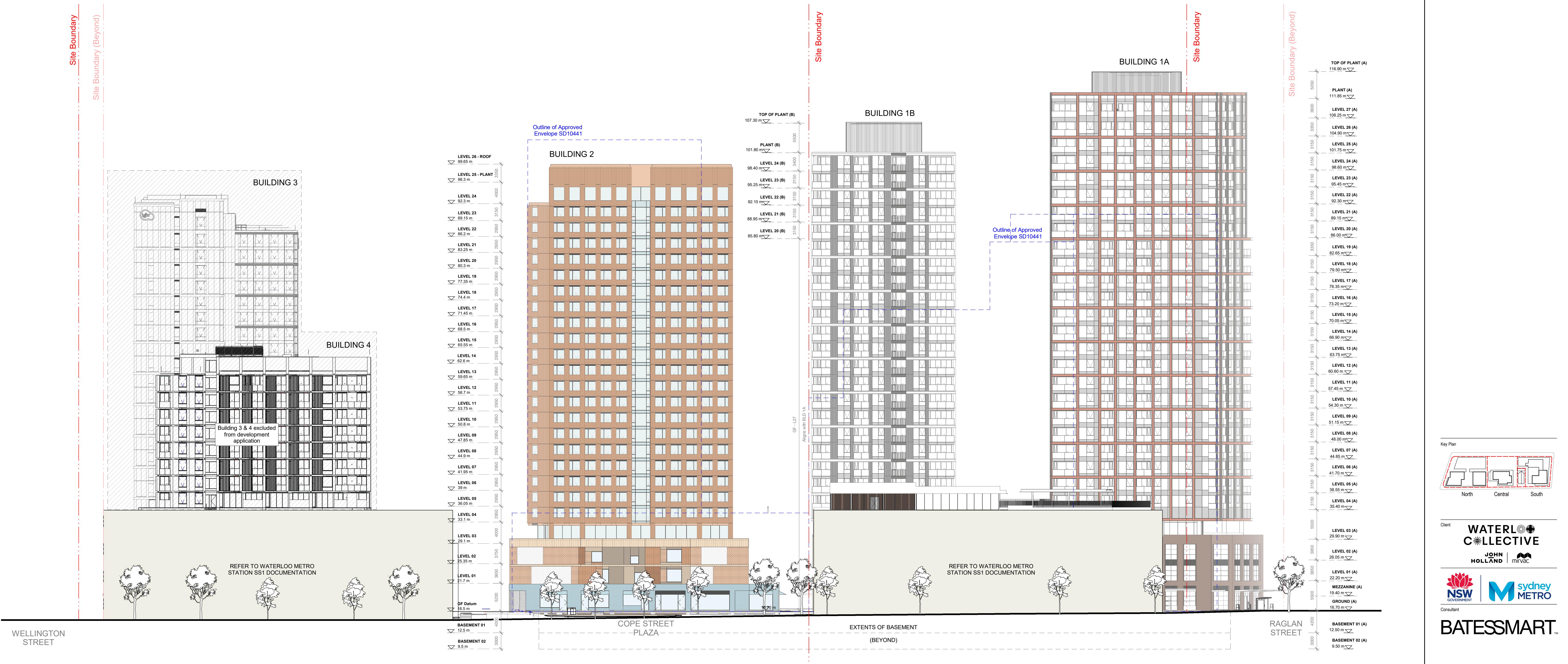
## East Elevation - Botany Road

# DA ISSUE

number

## 01

Revision



Recent revision history

#	Description	Date
01	SSDA ISSUE	19.09.25

Project

WATERLOO METRO QUARTER DEVELOPMENT

Second Amending Concept

Project number

S12398.A

Size check

25mm

Checked Approved Sheet size

DS/RT NB B1 1:300

Sheet title

Site Elevation

East Elevation - Cope Street

Status

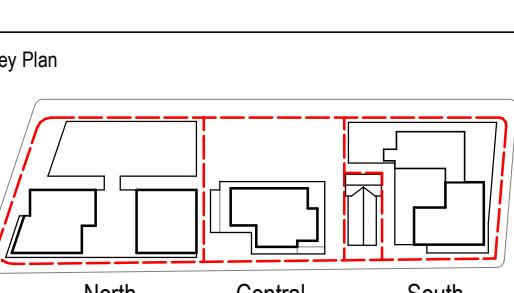
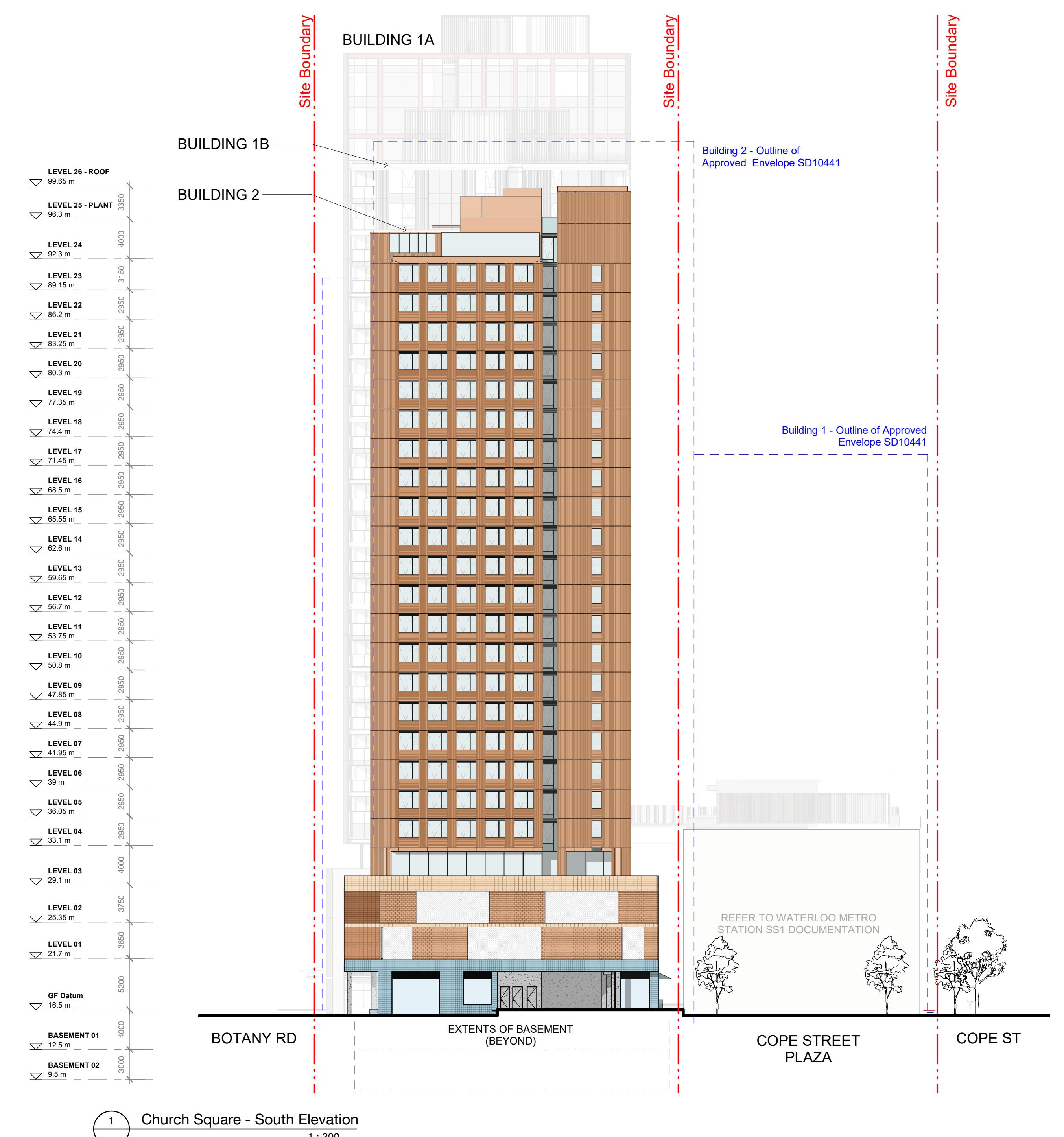
SSDA ISSUE

Revision

01

Sheet number

WMQ-SITE-BSA-UD-DRG-DA132



Client **WATERLOO COLLECTIVE**  
JOHN HOLLAND | mirvac

Consultant  
**NSW GOVERNMENT** **sydney METRO**

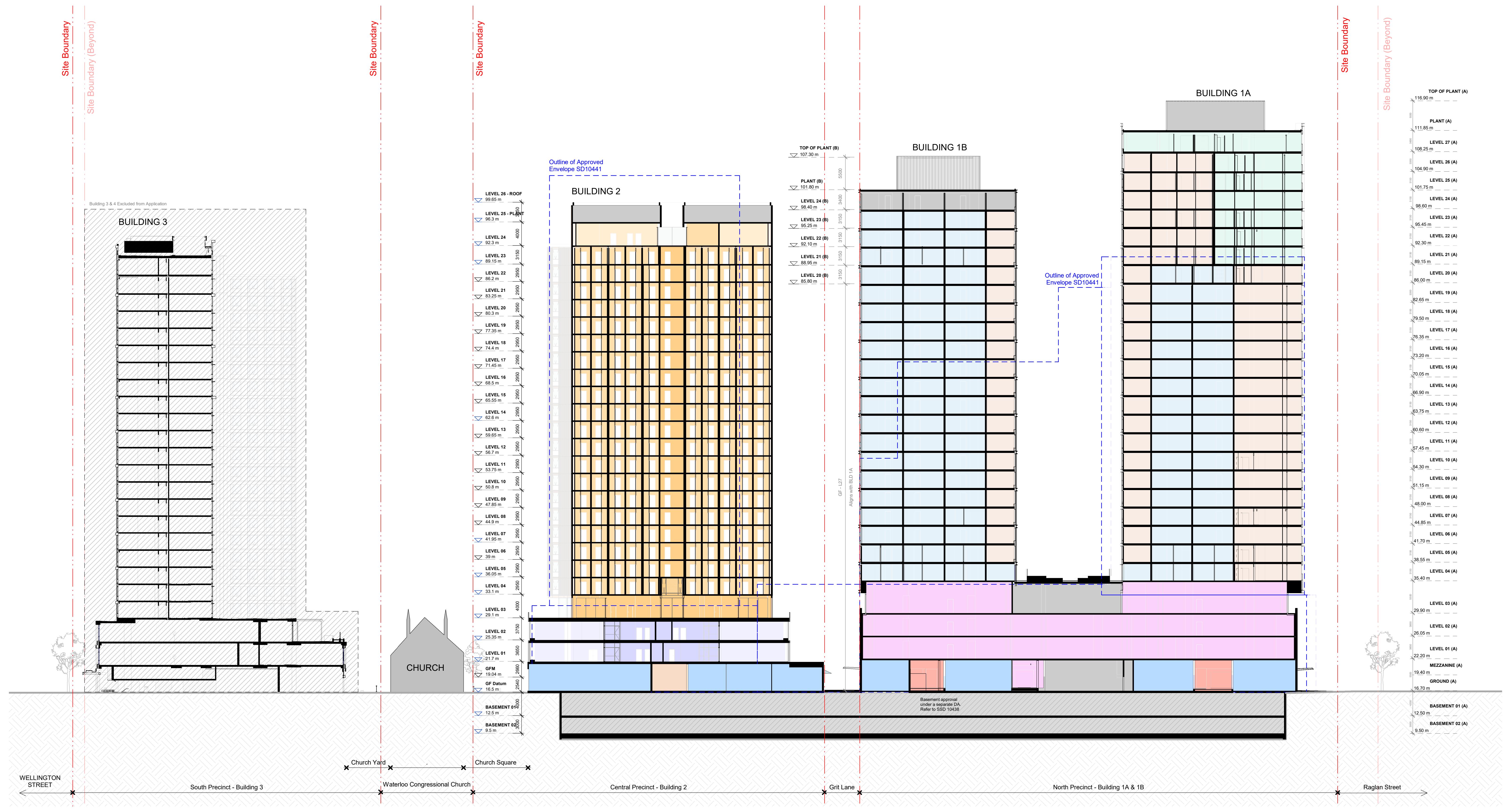
**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number: **S12398.A** Size check: 25mm  
Checked: **NB** Approved:  Sheet size: **B1** Scale: **1:300**

Sheet title: Site Elevation  
Internal Elevation - Church Square

Status: **SSDA ISSUE** Revision: **01**  
Sheet number: **WMQ-SITE-BSA-UD-DRG-DA133**



Recent revision history  
01 SSDA ISSUE Date 19.09.25

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**Legend**

- Site Boundary
- Approved Envelope
- Commercial
- Retail
- Community
- Residential Lobby
- Shared Basement Access Lobby
- Childcare
- Childcare Outdoor
- Co-Living
- Co-Living Communal
- Residential / 1 Bed
- Residential / 2 Bed
- Residential / 3 Bed
- Circulation
- Amenities
- BOH

**Project** WATERLOO METRO QUARTER DEVELOPMENT Second Amending Concept

**Sheet title** Site Section - North South

**Scale** 25mm

**Status** SSDA ISSUE **Revision** 01

**Sheet number** WMQ-SITE-BSA-UD-DRG-DA140

**Status** SSDA ISSUE **Revision** 01

**Sheet number** WMQ-SITE-BSA-UD-DRG-DA140

Legend	
<span style="color: red;">—</span>	Site Boundary
<span style="color: blue;">—</span>	Approved Envelope
<span style="background-color: pink;">■</span>	Commercial
<span style="background-color: lightblue;">■</span>	Retail
<span style="background-color: lightorange;">■</span>	Community
<span style="background-color: lightred;">■</span>	Residential Lobby
<span style="background-color: lightyellow;">■</span>	Shared Basement Access Lobby
<span style="background-color: lightpurple;">■</span>	Childcare
<span style="background-color: lightgray;">■</span>	Childcare Outdoor
<span style="background-color: lightbrown;">■</span>	Co-Living
<span style="background-color: orange;">■</span>	Co-Living Communal
<span style="background-color: lightteal;">■</span>	Residential / 1 Bed
<span style="background-color: pink;">■</span>	Residential / 2 Bed
<span style="background-color: lightgreen;">■</span>	Residential / 3 Bed
<span style="background-color: lightyellow;">■</span>	Circulation
<span style="background-color: lightorange;">■</span>	Amenities
<span style="background-color: gray;">■</span>	BOH

