

# WATERLOO METRO QUARTER DEVELOPMENT

## Second Amending Concept Building Envelope

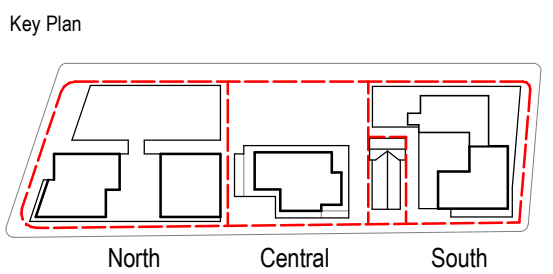
### SSD 79307765 Urban Design Drawings

WMQ Urban Design Drawing List			
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-DA000	Title Sheet	Drawing List	01
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-DA002	Amended Envelope Diagram	Envelope Comparison - Elevation	01
-DA003	Amended Envelope Diagram	Envelope Comparison - Elevation	01
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-DA102	Indicative General Arrangement	Level 02	01
-DA103	Indicative General Arrangement	Level 03	01
-DA104	Indicative General Arrangement	Level 04	01
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-DA128	Indicative General Arrangement	Level 28	01
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-DA130	Site Elevation	North & South Elevation - Raglan & Wellington Street	01
-DA131	Site Elevation	West Elevation - Botany Road	01
-DA132	Site Elevation	East Elevation - Cope Street	01
-DA133	Site Elevation	Internal Elevation - Church Square	01
-DA140	Site Section	Section - North South	01
-DA141	Site Section	Section - East West	01
Total Sheets: 23			



Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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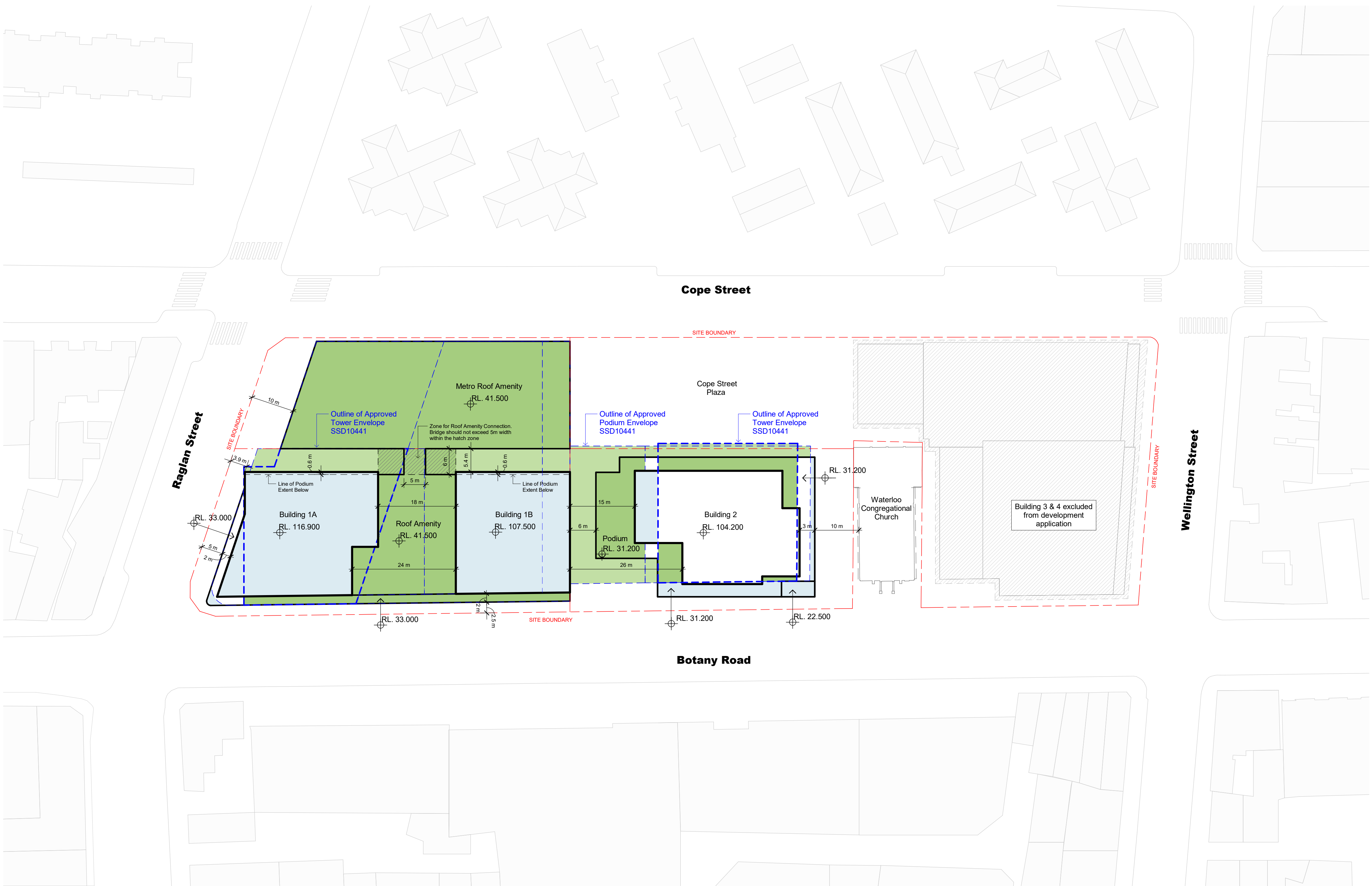
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number S12398.A	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale 1:1

Sheet title  
Title Sheet  
Drawing List

Status SSDA ISSUE	Revision 01
Sheet number WMQ-SITE-BSA-UD-DRG-DA000	





1 Amended Envelope Comparison - Roof Plan  
1 : 500

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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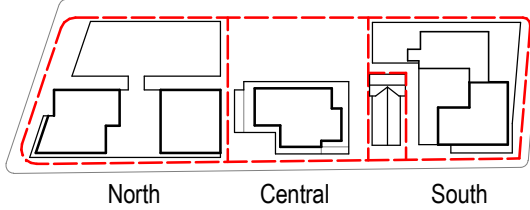
LEGEND

- REDUCED ENVELOPE
- REDUCED ENVELOPE (GROUND OPEN TO SKY)
- INCREASED ENVELOPE
- NO CHANGE TO ENVELOPE
- SITE BOUNDARY
- APPROVED ENVELOPE
- TOWER OUTLINE
- PODIUM OUTLINE

BUILDING ENVELOPE NOTE

Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are permitted to extend beyond the building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.

Key Plan



Client  
**WATERLOO COLLECTIVE**  
JOHN HOLLAND | mirvac



Consultant

**BATESMART**

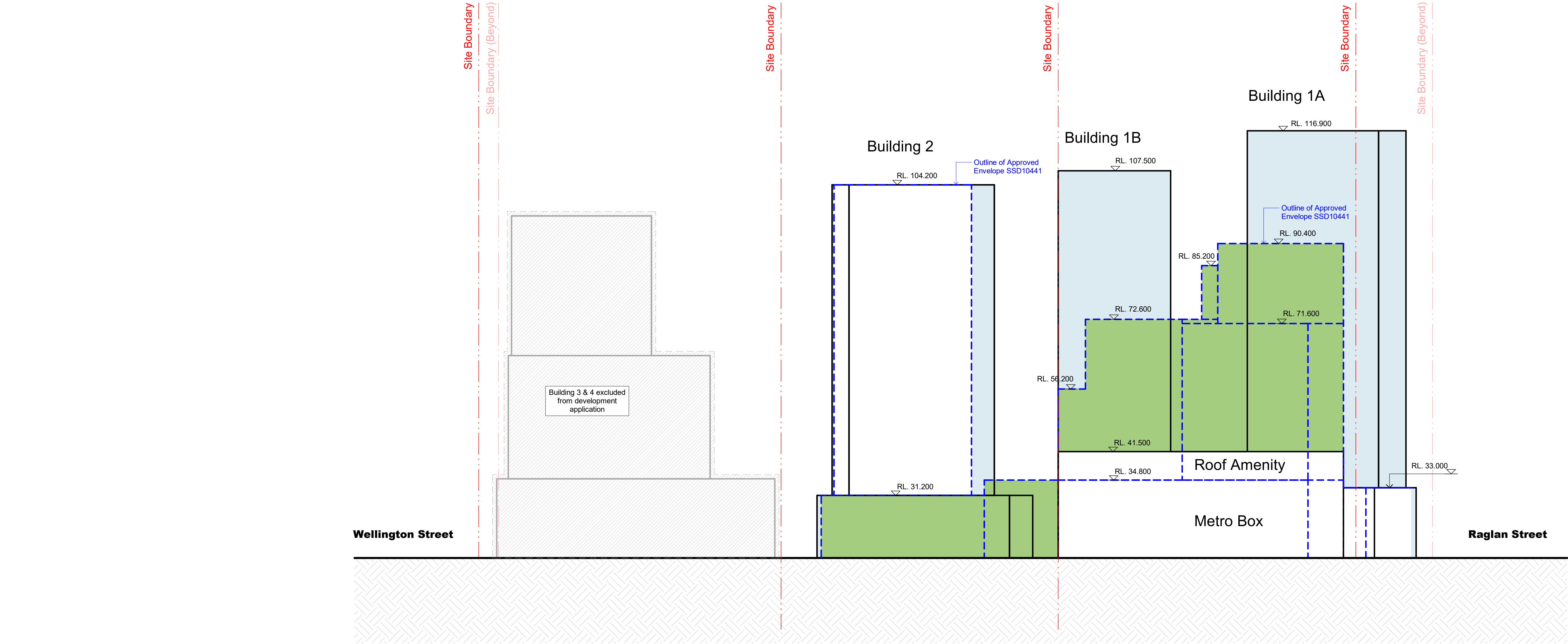
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number <b>S12398.A</b>		Size check 25mm	
Checked DS/RT	Approved NB	Sheet size B1	Scale As indicated

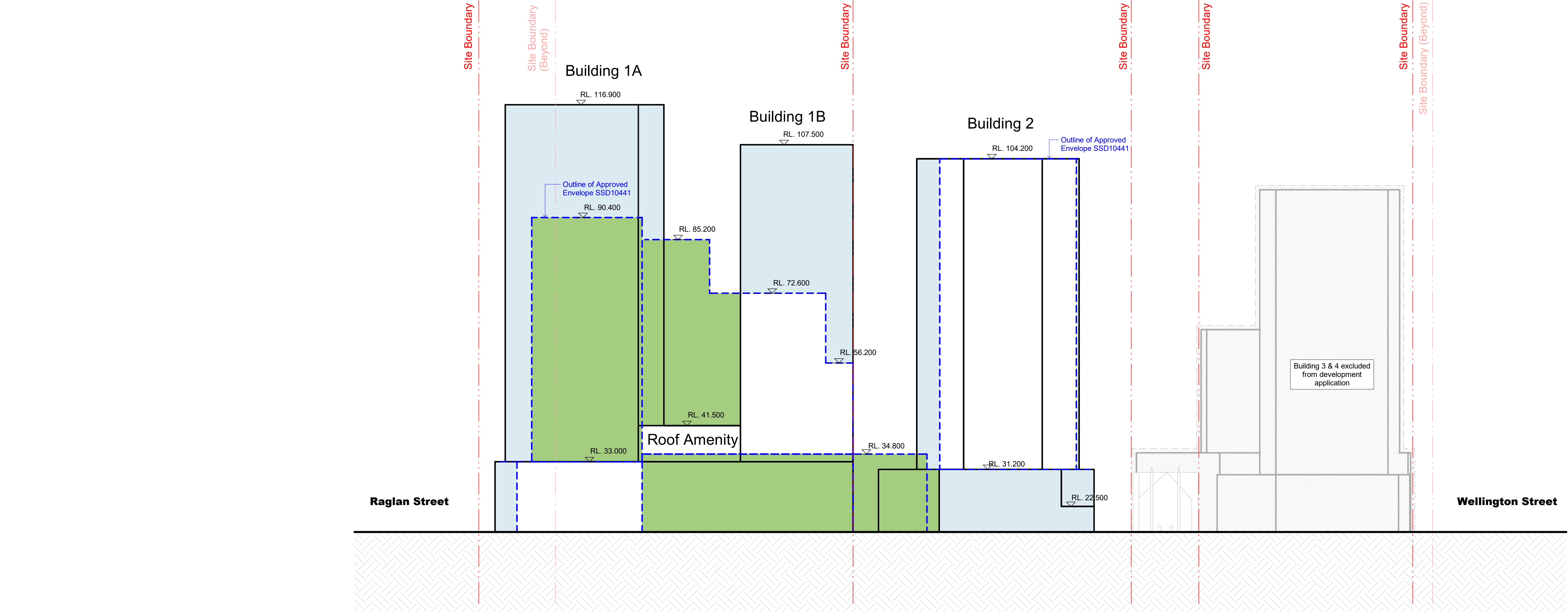
Sheet title  
Amended Envelope Diagram  
Envelope Comparison - Roof Plan

Status SSDA ISSUE	Revision 01
Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA001</b>	





1 Cope Street - East Elevation  
1:500



2 Botany Road - West Elevation  
1:500

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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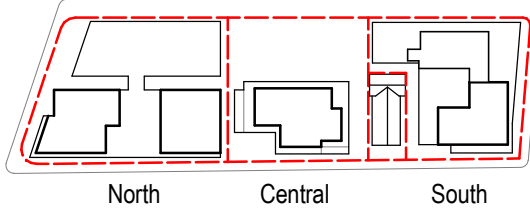
#### LEGEND

<div></div>	REDUCED ENVELOPE
<div></div>	INCREASED ENVELOPE
<div></div>	NO CHANGE TO ENVELOPE
<div></div>	SITE BOUNDARY
<div></div>	APPROVED ENVELOPE

#### BUILDING ENVELOPE NOTE

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#### Key Plan



Client  
**WATERLOO COLLECTIVE**  
JOHN HOLLAND | mirvac

NSW GOVERNMENT | **sydney METRO**

Consultant  
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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number <b>S12398.A</b>	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
**Amended Envelope Diagram**  
**Envelope Comparison - Elevation**

Status	Revision
SSDA ISSUE	01
Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA002</b>	



Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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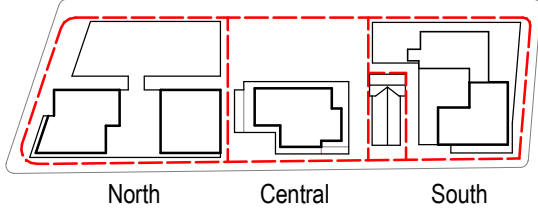
#### LEGEND

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<div></div>	NO CHANGE TO ENVELOPE
<div></div>	SITE BOUNDARY
<div></div>	APPROVED ENVELOPE

#### BUILDING ENVELOPE NOTE

Non-habitable architectural elements including vertical and horizontal shading devices, colonnades, and weather-protecting awnings are permitted to extend beyond the building envelope. The glazing line and the habitable zone of balconies must remain within the prescribed envelope extents.

#### Key Plan



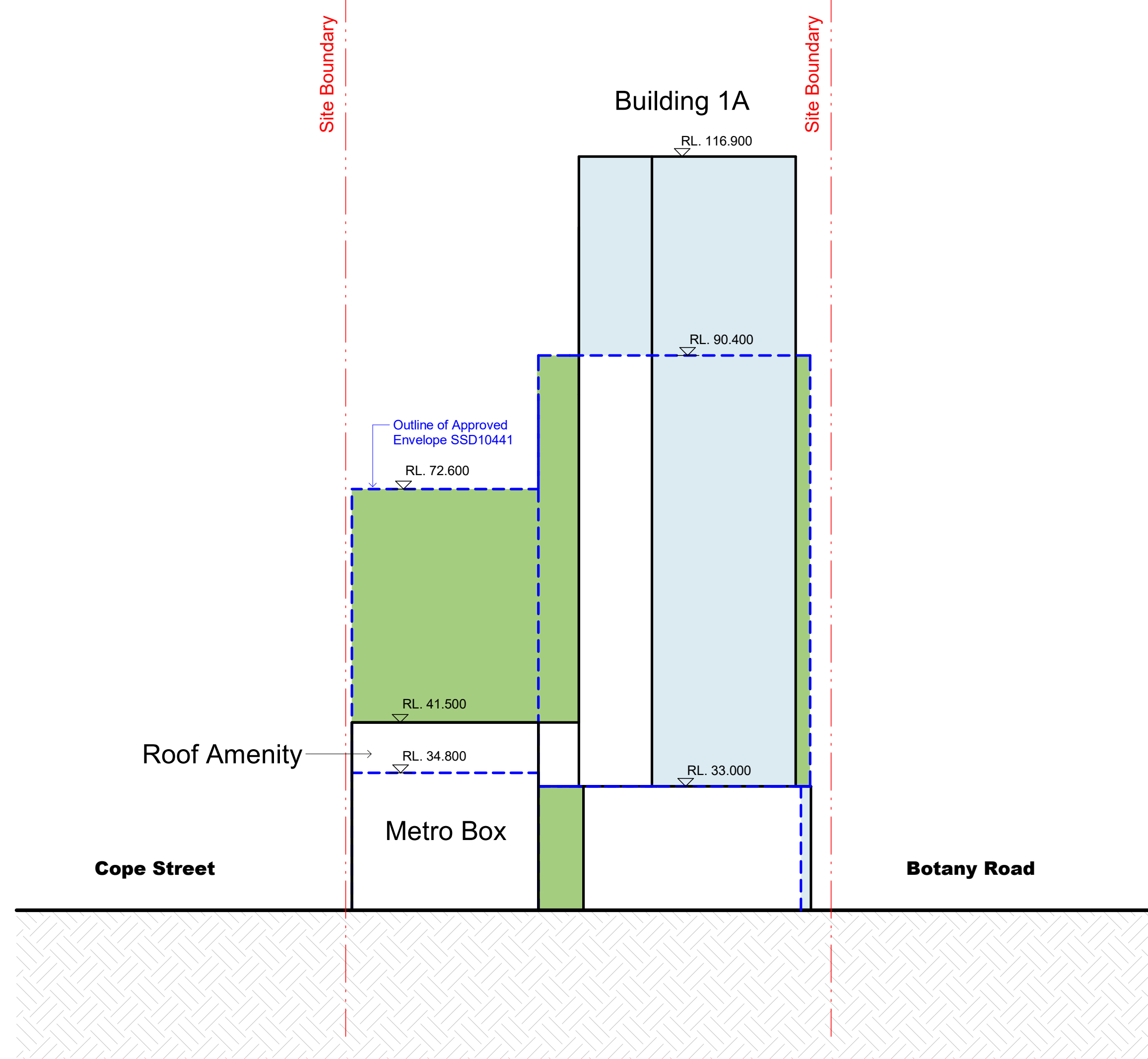
Consultant  
**BATESSMART™**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

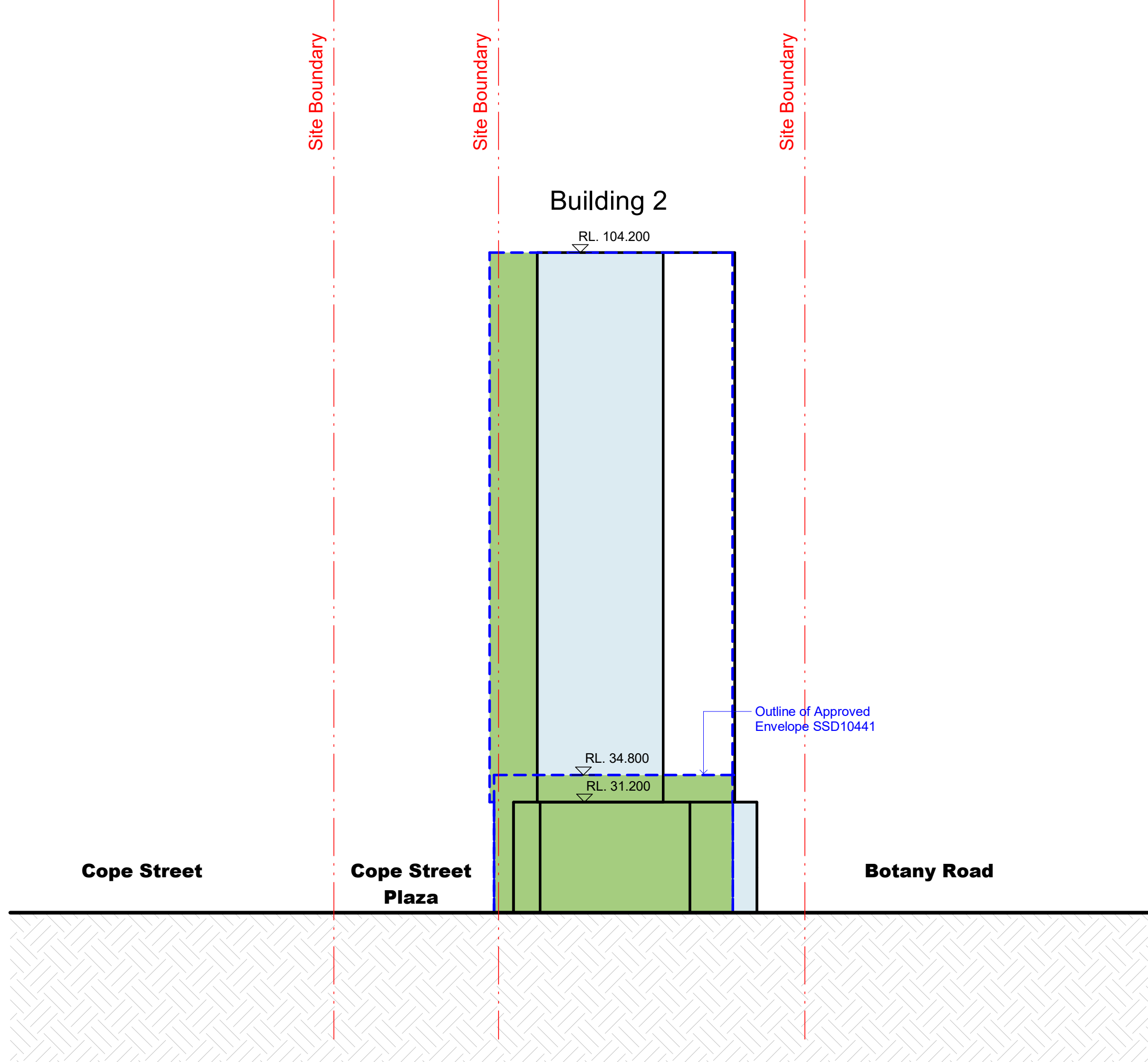
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Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
**Amended Envelope Diagram  
Envelope Comparison - Elevation**

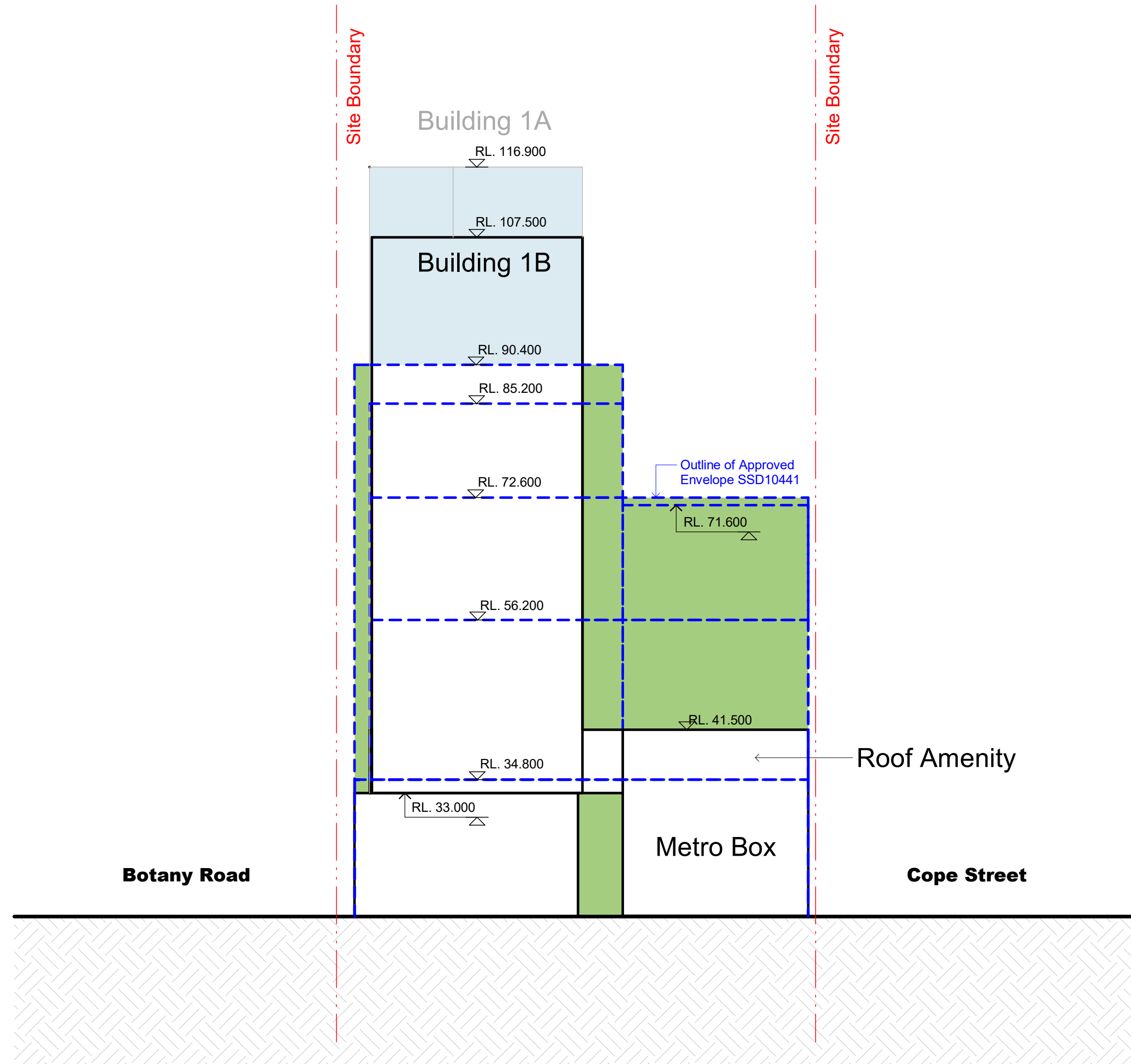
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Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA003</b>	



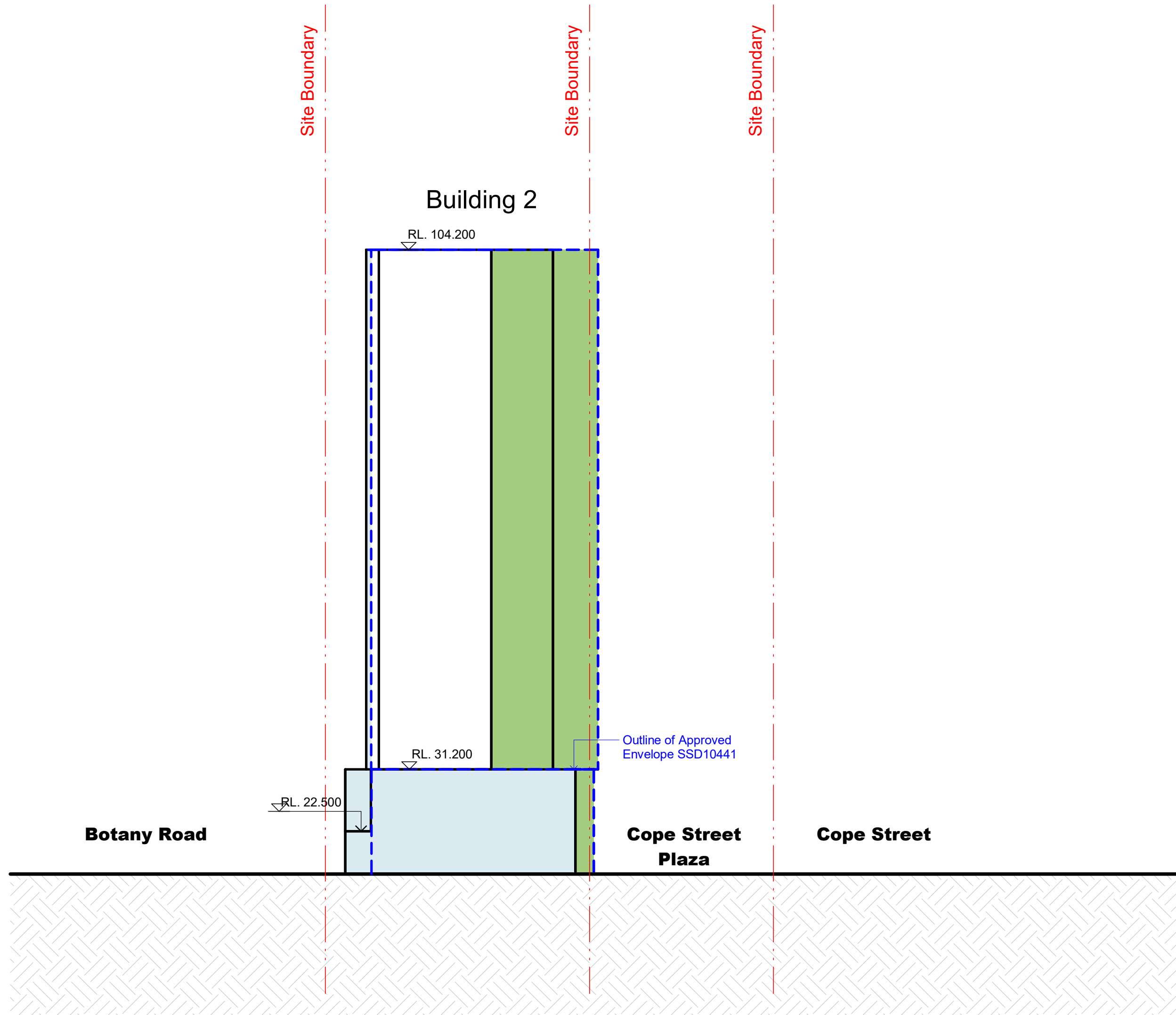
1 Raglan Street - North Elevation  
1 : 500



2 Grit Lane - Building 2 North Elevation  
1 : 500

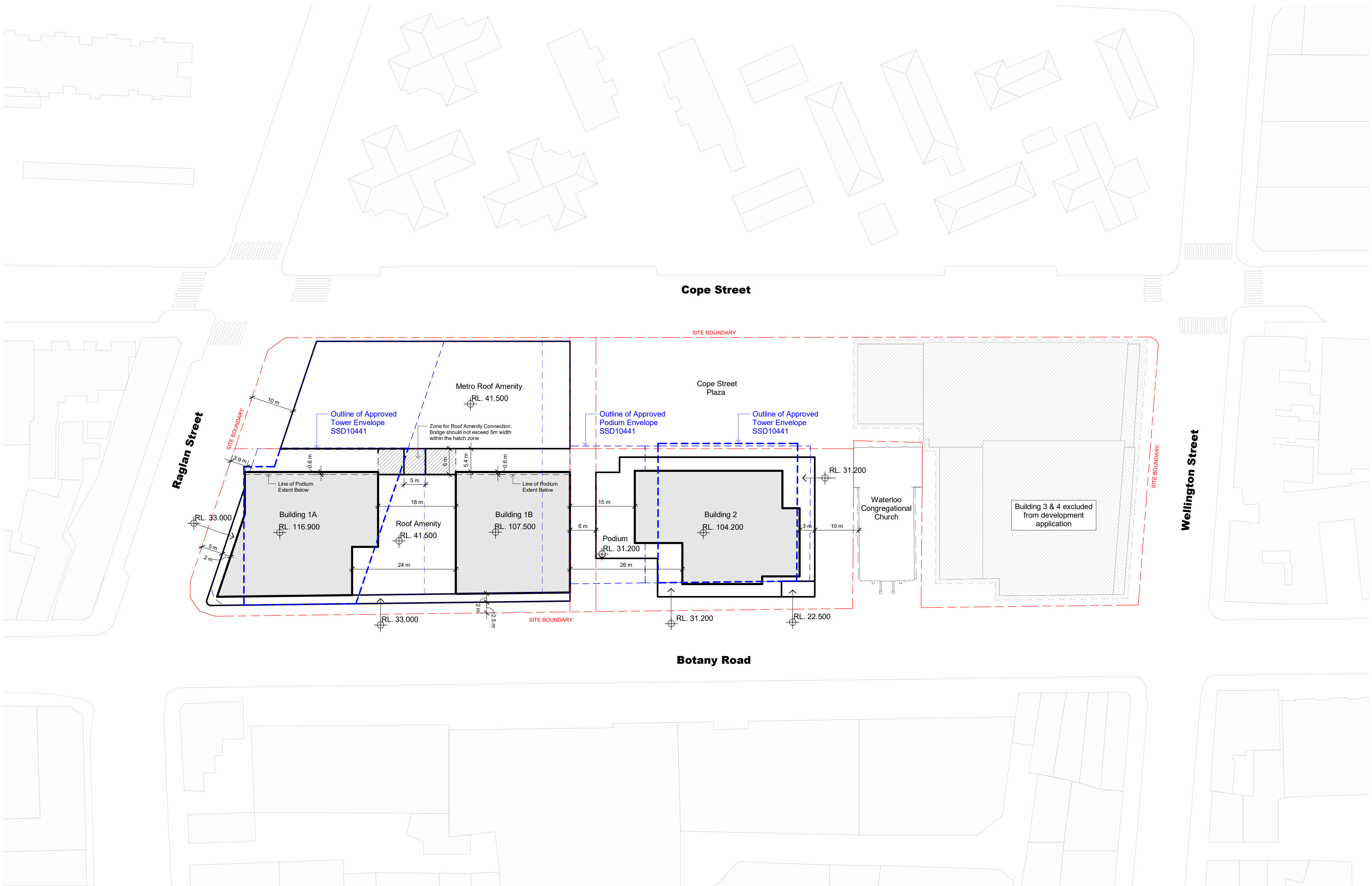


3 Grit Lane - Building 1B South Elevation  
1 : 500



4 Church Square - Building 2 South Elevation  
1 : 500





1 Proposed Envelope - Roof Plan  
1 : 500

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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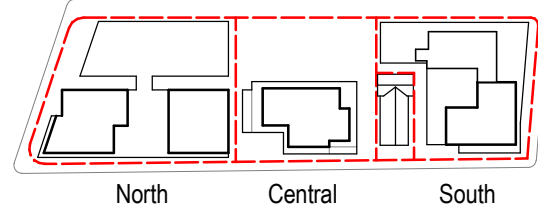
#### LEGEND

- PROPOSED TOWER ENVELOPE
- PROPOSED PODIUM ENVELOPE
- SITE BOUNDARY
- APPROVED ENVELOPE

#### BUILDING ENVELOPE NOTE

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#### Key Plan



Client



Consultant

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Project

WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number

S12398.A

Checked

DS/RT

Approved

NB

Sheet size

B1

Scale

As indicated

Status

SSDA ISSUE

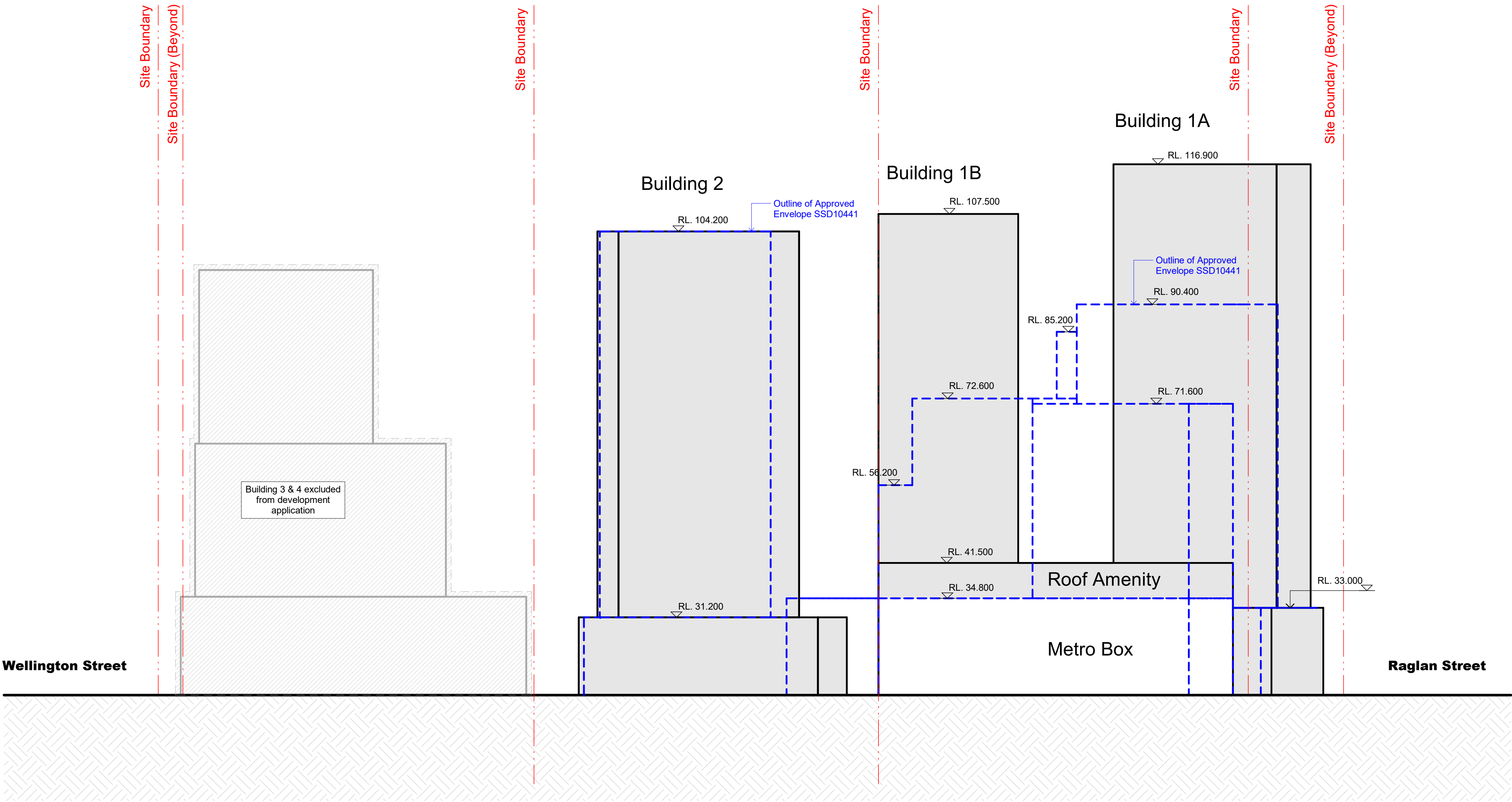
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WMQ-SITE-BSA-UD-DRG-DA004

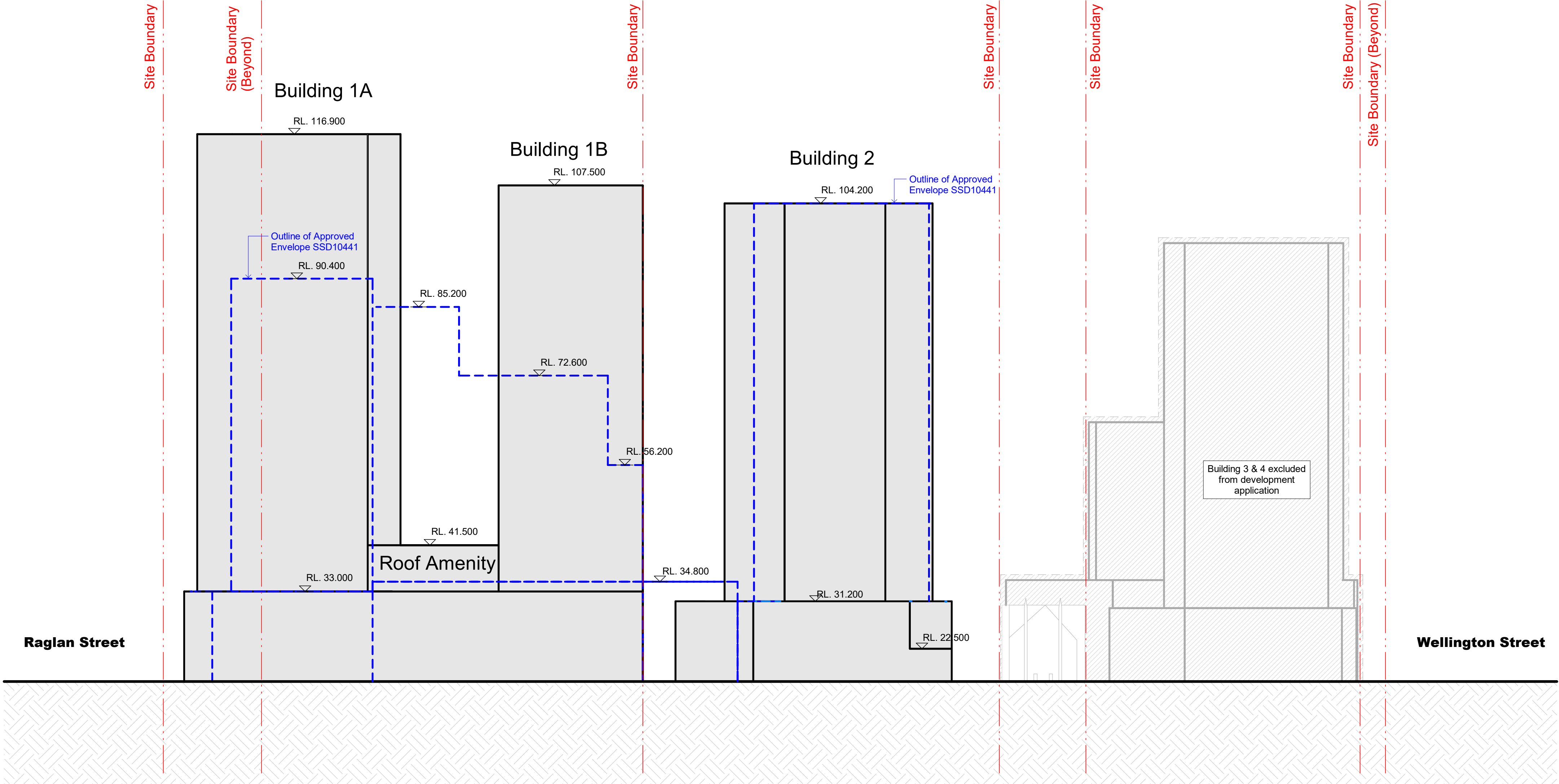
Revision

01





1 Cope Street - East Elevation  
1: 500



2 Botany Road - West Elevation  
1: 500

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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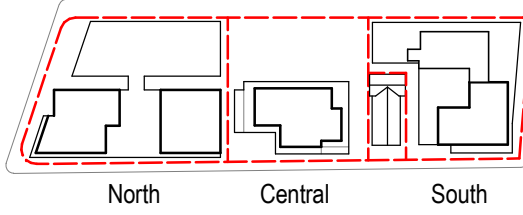
#### LEGEND

	PROPOSED ENVELOPE
	SITE BOUNDARY
	APPROVED ENVELOPE

#### BUILDING ENVELOPE NOTE

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#### Key Plan



Consultant  
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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number <b>S12398.A</b>	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
**Amended Envelope Diagram**  
**Proposed Envelope - Elevation**

Status SSDA ISSUE	Revision 01
Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA005</b>	



Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25




Notes

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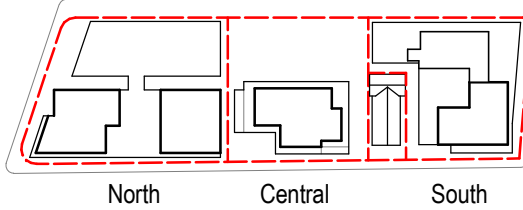
#### LEGEND

	PROPOSED ENVELOPE
	SITE BOUNDARY
	APPROVED ENVELOPE

#### BUILDING ENVELOPE NOTE

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#### Key Plan



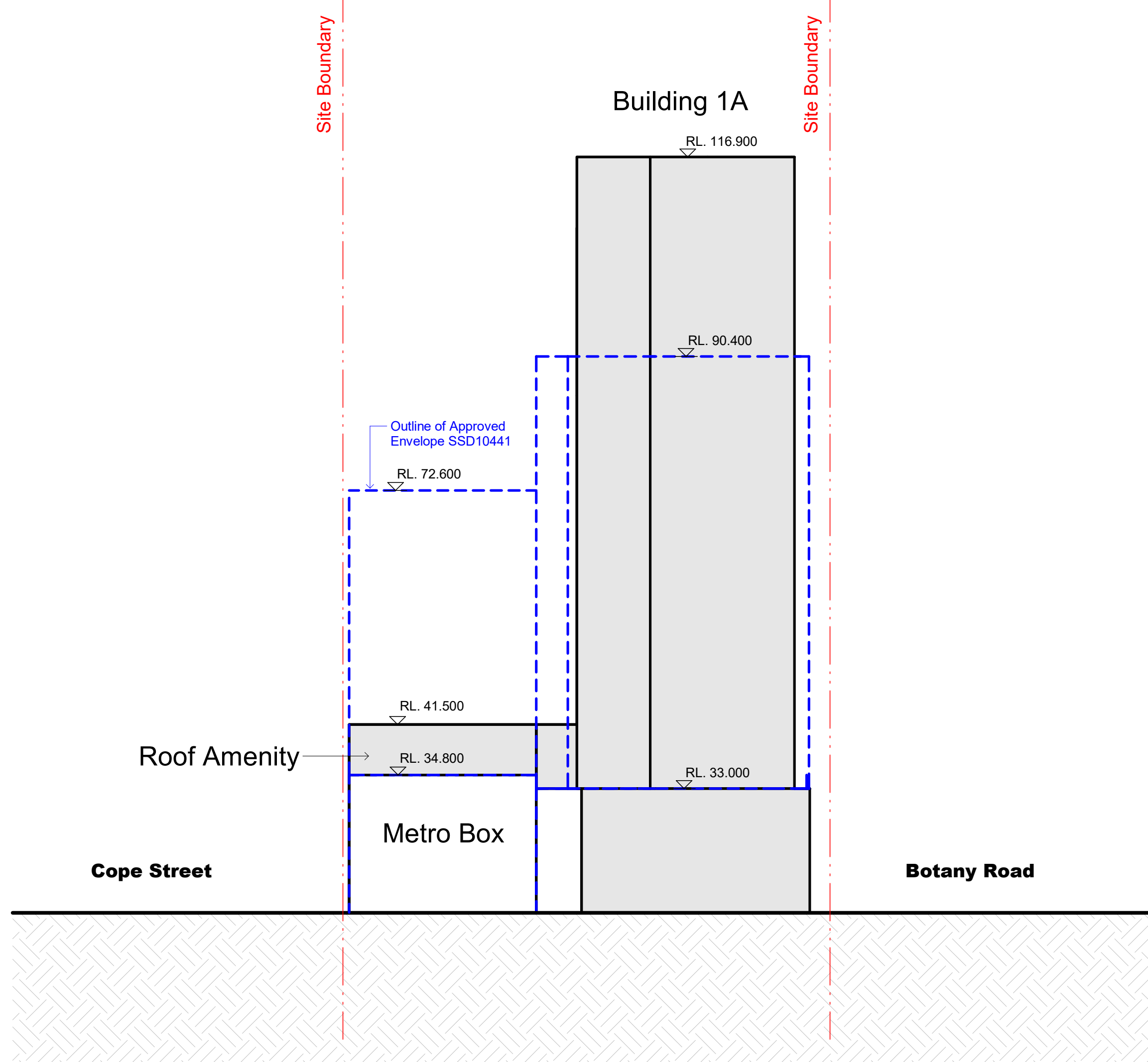
Consultant  
**BATESMART**

Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

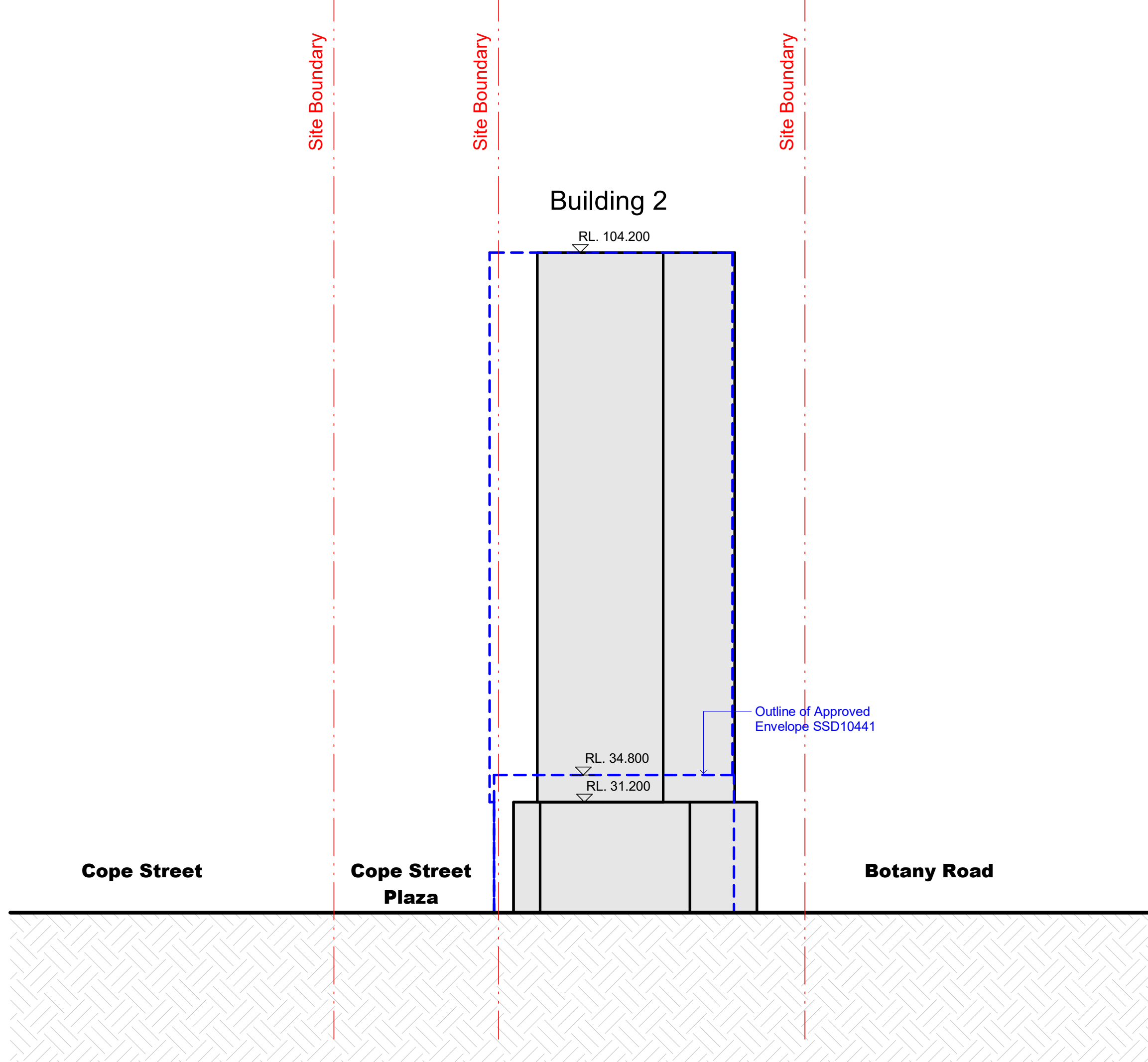
Project number <b>S12398.A</b>	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
**Amended Envelope Diagram  
Proposed Envelope - Elevation**

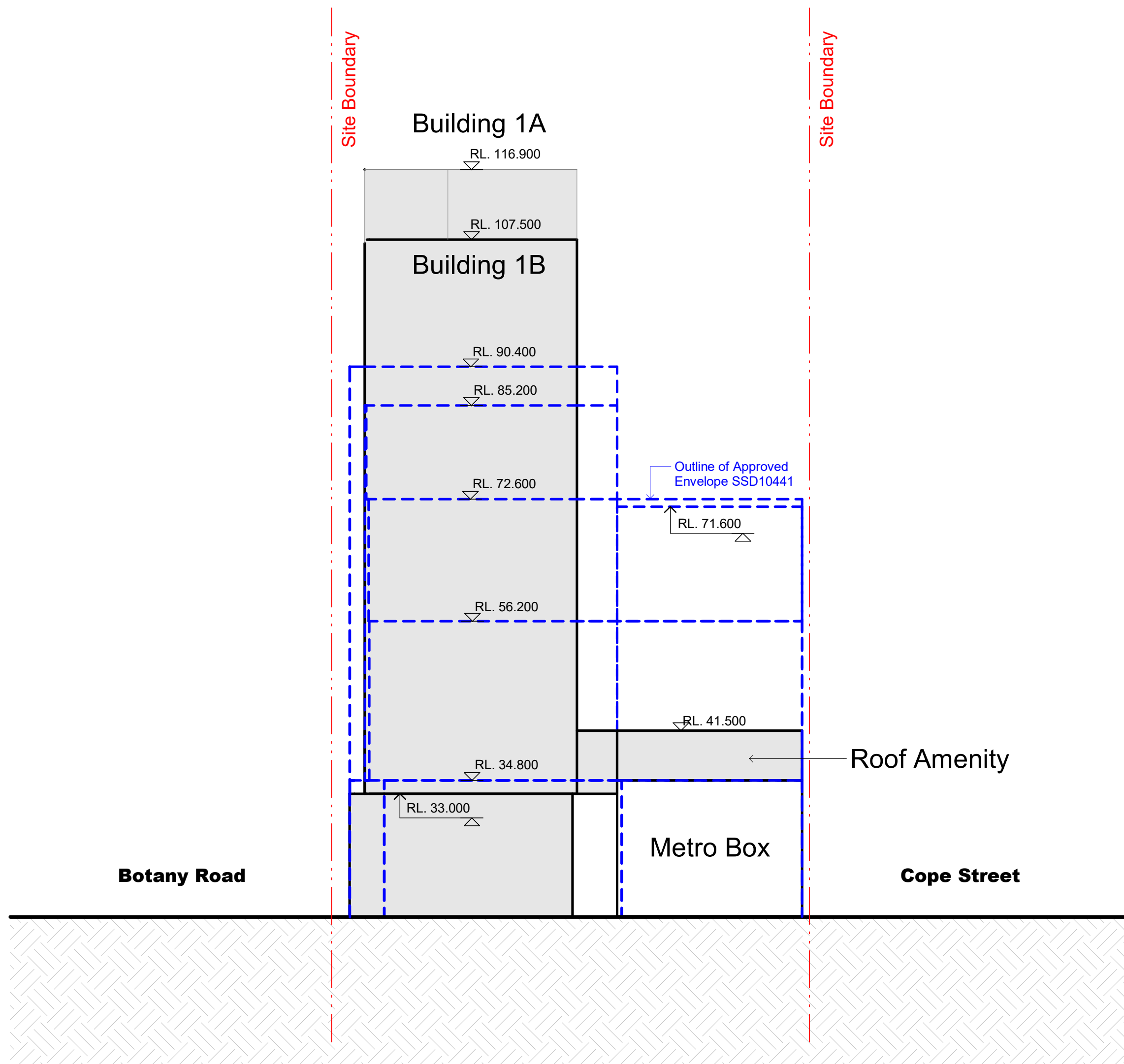
Status	Revision
SSDA ISSUE	01
Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA006</b>	



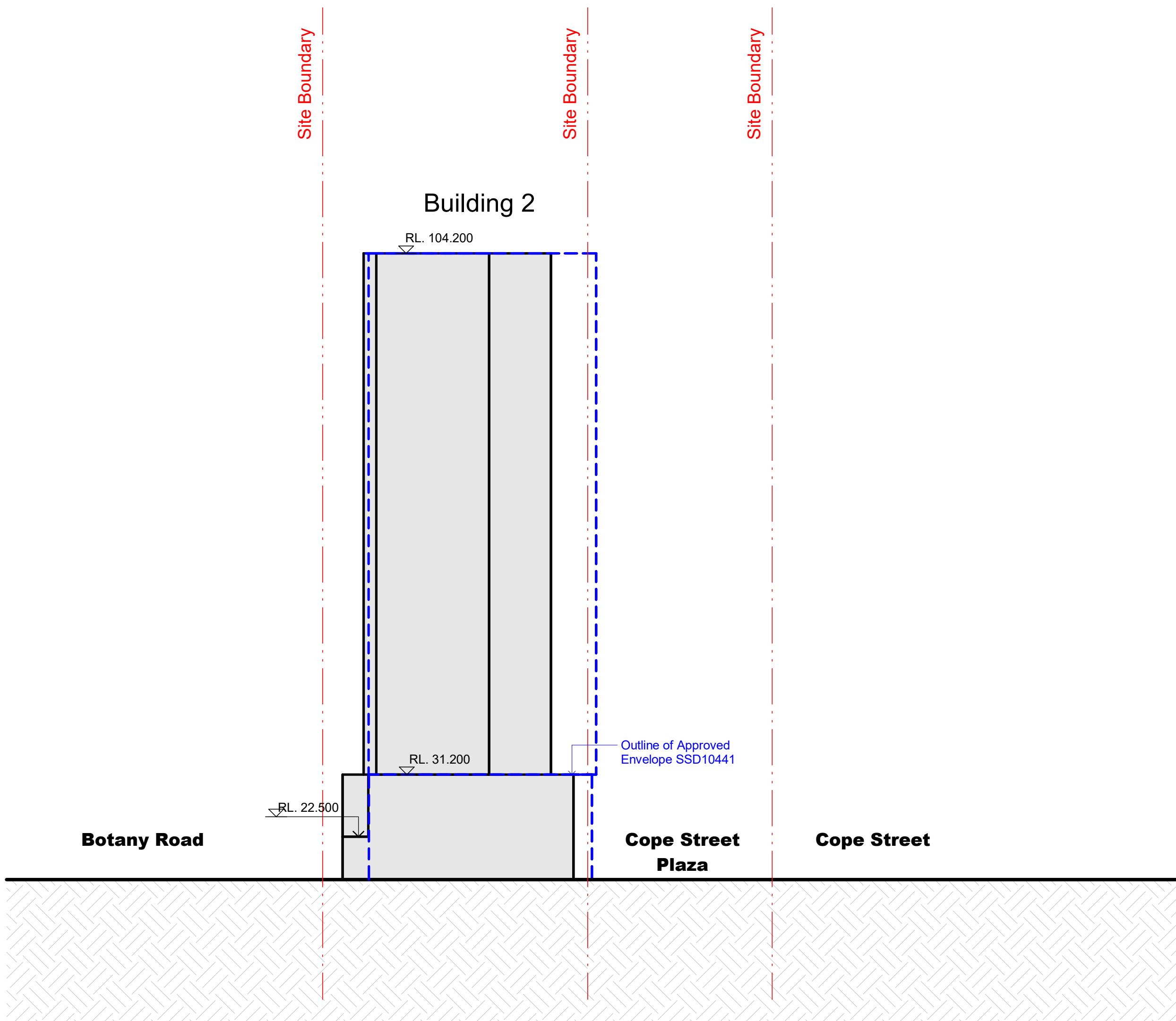
1 Raglan Street - North Elevation Proposed  
1 : 500



2 Grit Lane - Building 2 North Elevation  
Proposed  
1 : 500

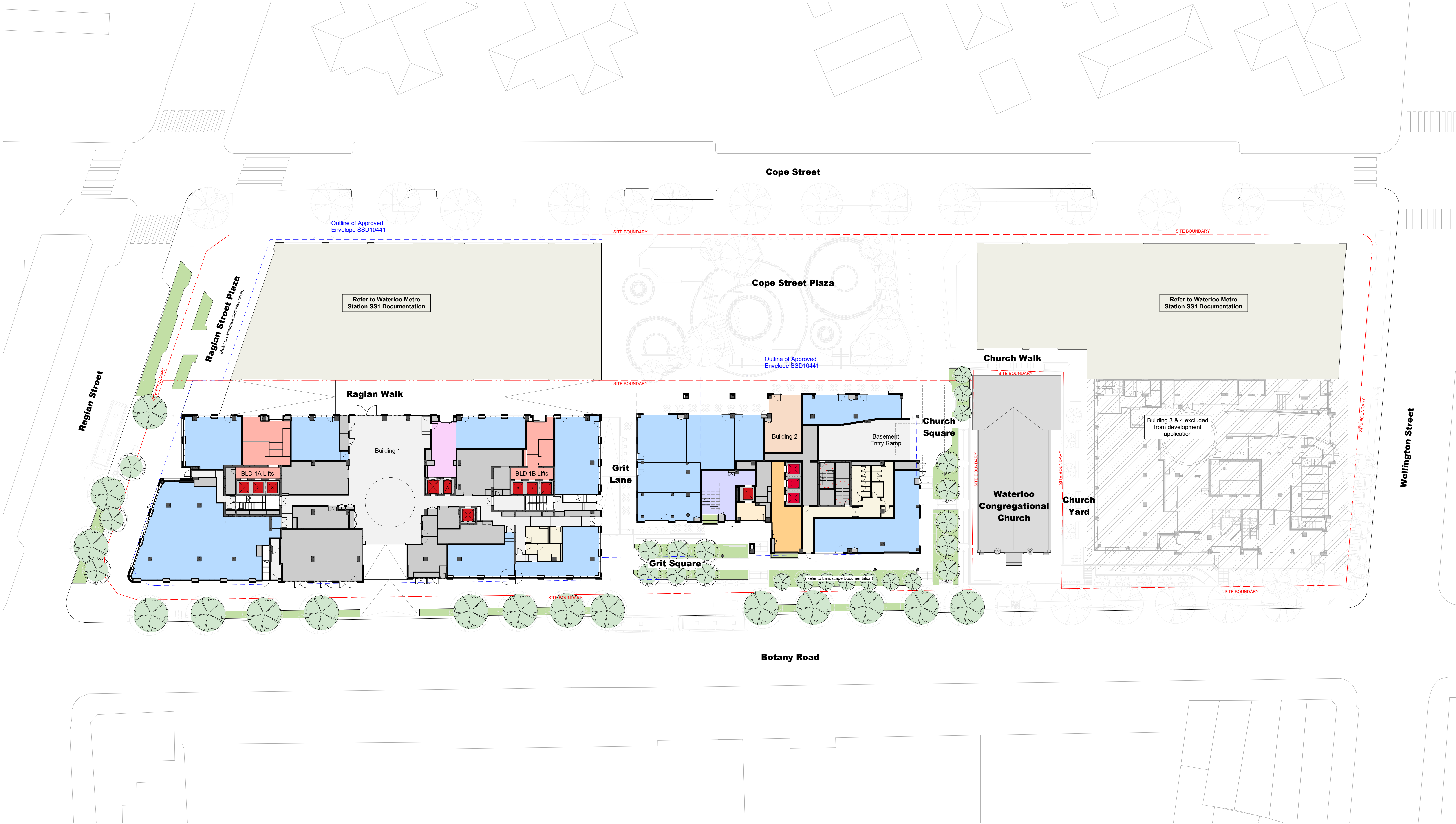


3 Grit Lane - Building 1B South Elevation  
1 : 500



4 Church Square - Building 2 South Elevation  
1 : 500



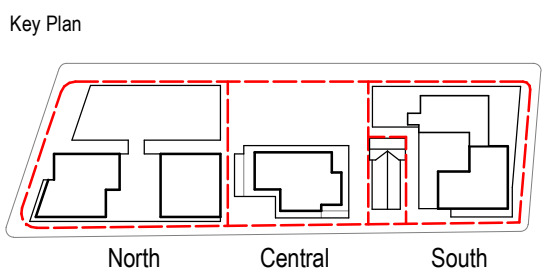


1 Plan - Level 00  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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Legend	
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<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Community
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Residential Lobby
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Shared Basement Access Lobby
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Childcare
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Childcare Outdoor
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Co-Living
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Co-Living Communal
<span style="background-color: #FFDAB9; border: 1px solid black;"></span>	Residential / 1 Bed
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Consultant  
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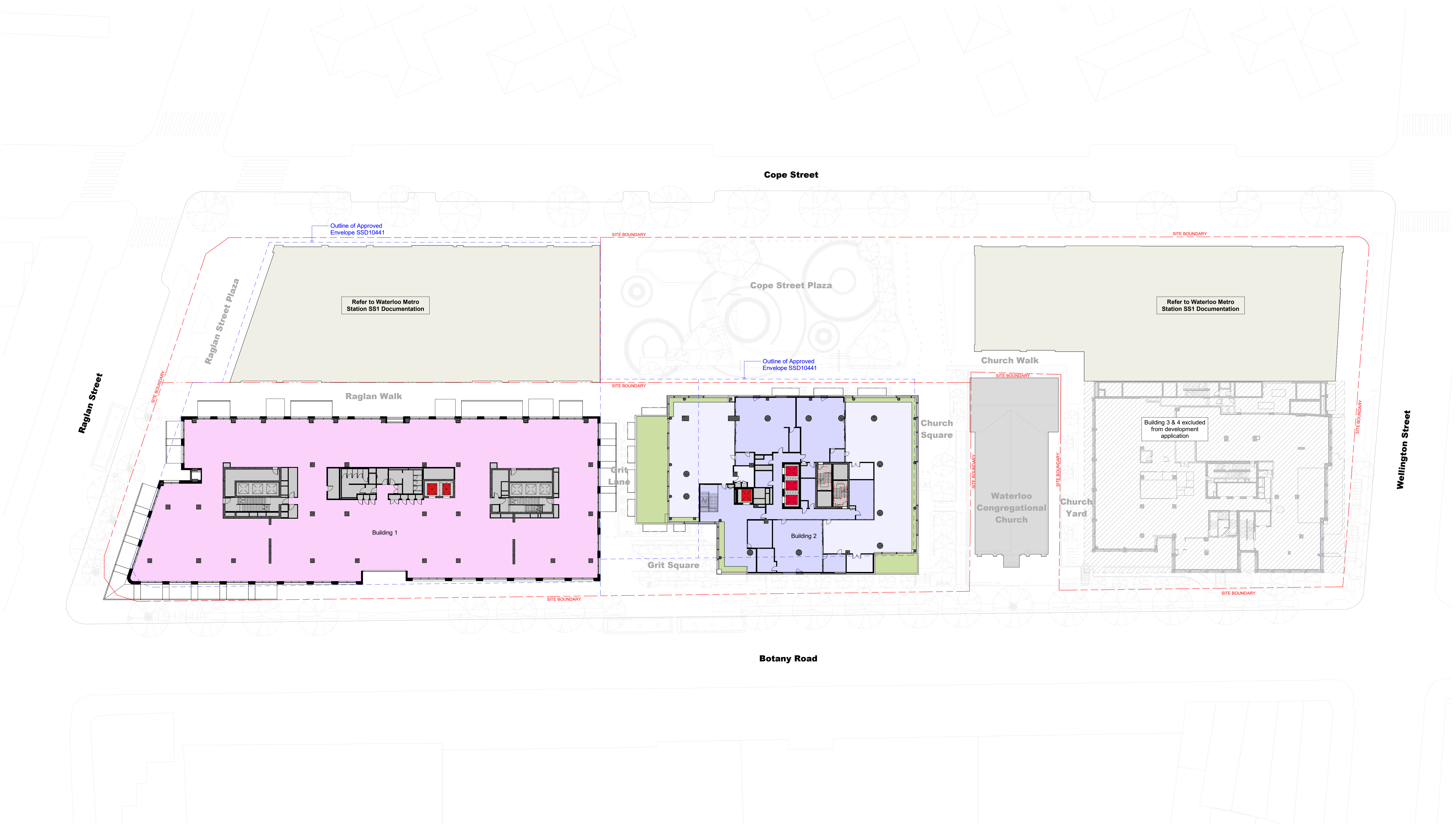
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number <b>S12398.A</b>	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
Indicative General Arrangement  
Level 00 - Ground

Status SSDA ISSUE	Revision 01
Sheet number <b>WMQ-SITE-BSA-UD-DRG-DA100</b>	



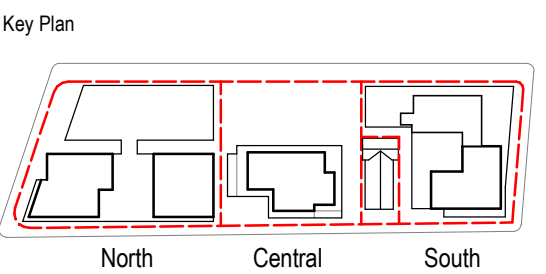


1 Plan - Level 01  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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- Legend**
- Site Boundary
  - Approved Envelope
  - Commercial
  - Retail
  - Community
  - Residential Lobby
  - Shared Basement Access Lobby
  - Childcare
  - Childcare Outdoor
  - Co-Living
  - Co-Living Communal
  - Residential / 1 Bed
  - Residential / 2 Bed
  - Residential / 3 Bed
  - Circulation
  - Amenities
  - BOH



Client

**WATERLOO COLLECTIVE**

JOHN HOLLAND | mirvac

NSW GOVERNMENT | **sydney METRO**

Consultant

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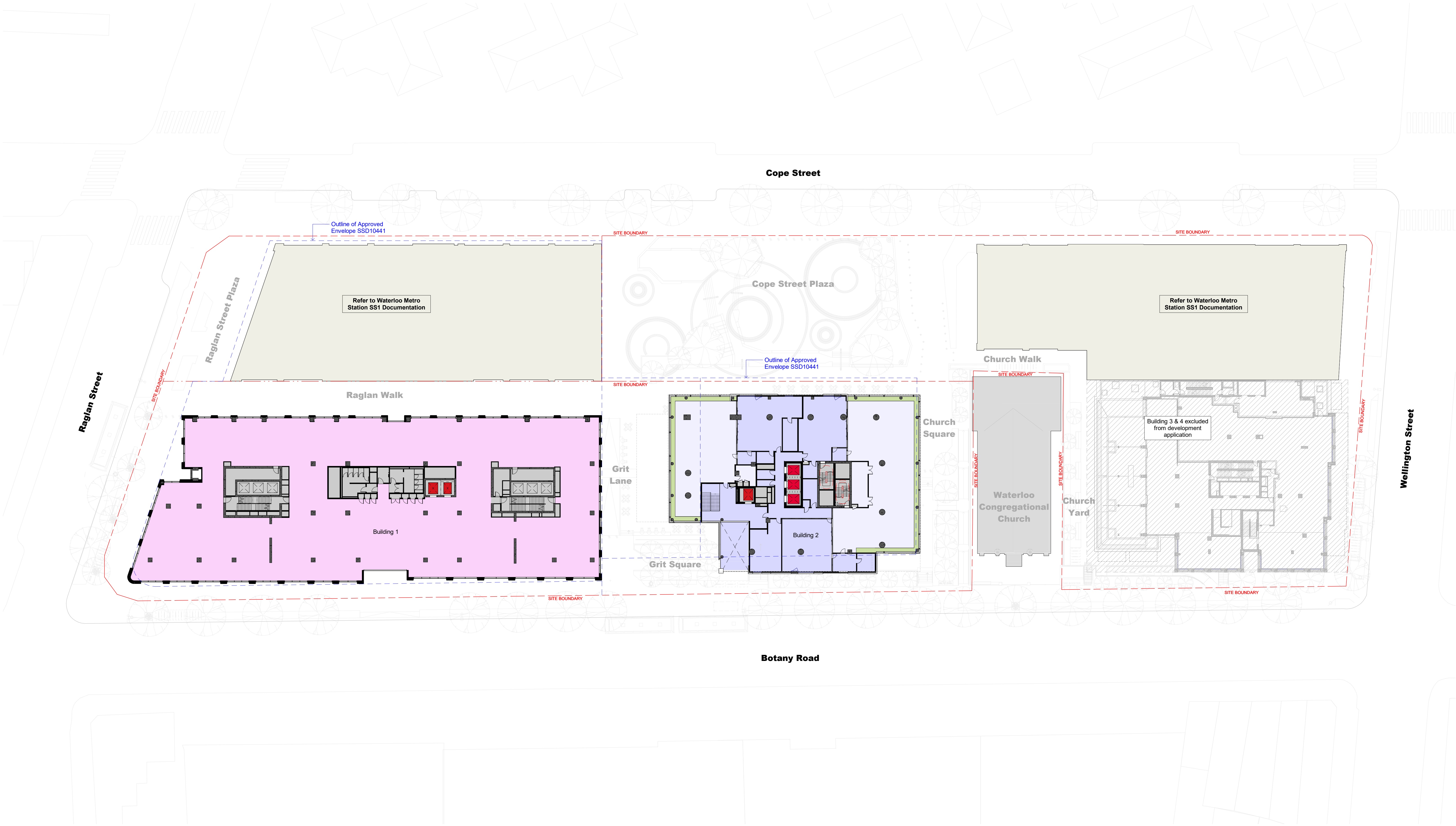
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Level 01

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA101	



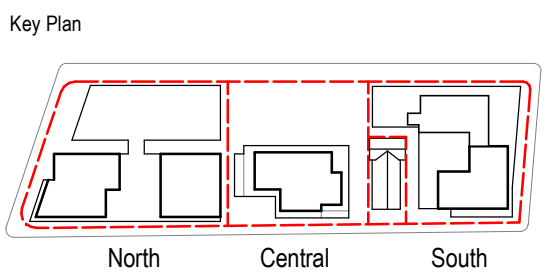


1 Plan - Level 02  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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<span style="background-color: #a0a0a0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Residential Lobby
<span style="background-color: #808080; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Shared Basement Access Lobby
<span style="background-color: #606060; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Childcare
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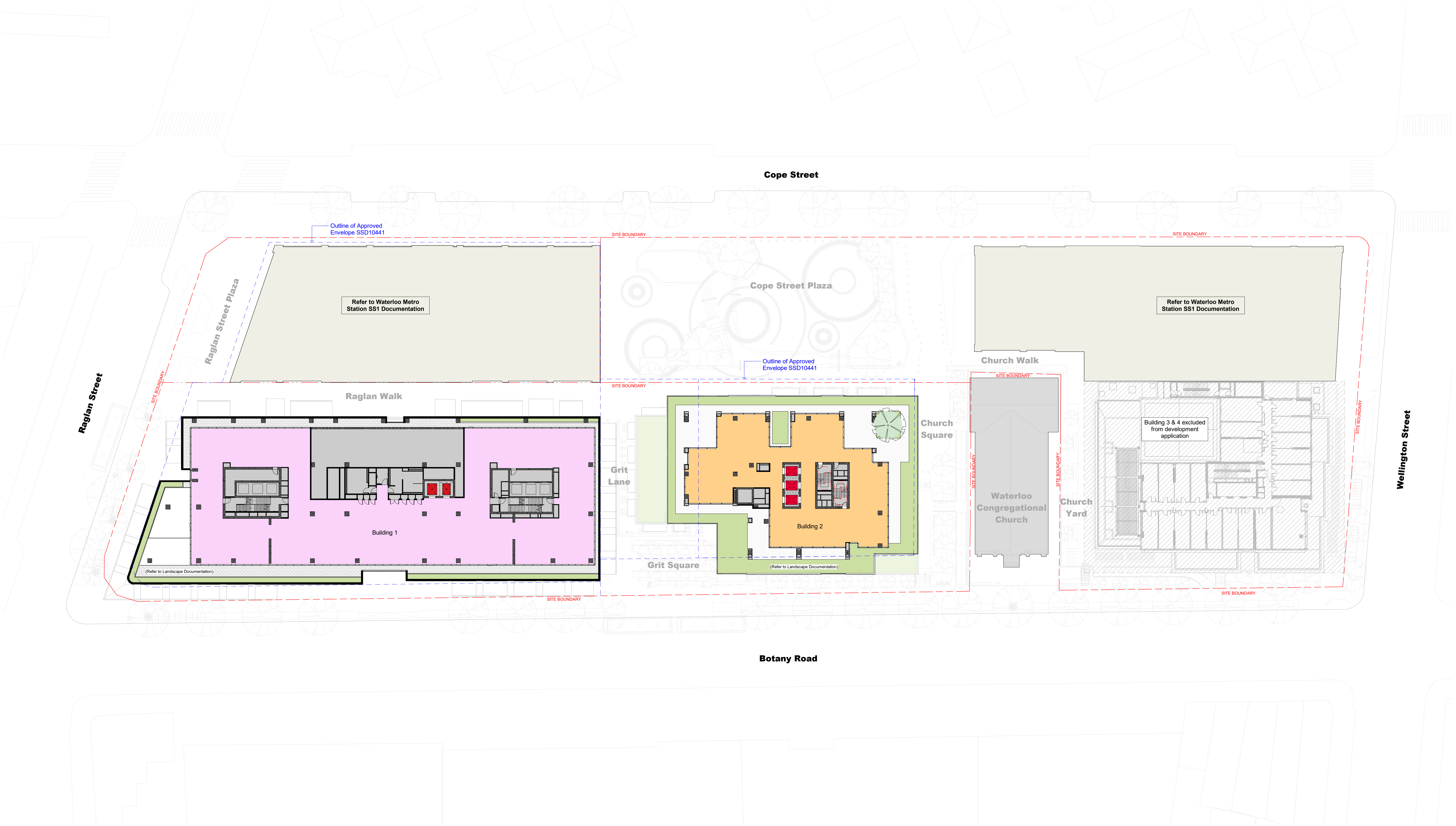
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number S12398.A	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
Indicative General Arrangement  
Level 02

Status	Revision
SSDA ISSUE	01
Sheet number WMQ-SITE-BSA-UD-DRG-DA102	



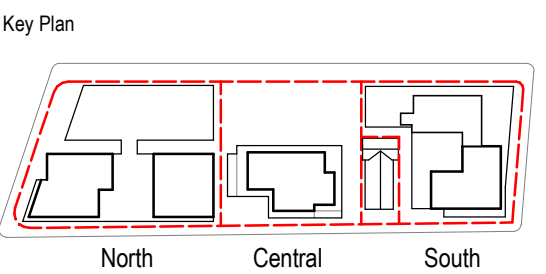


1 Plan - Level 03  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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Do not scale drawings.

Legend	
---	Site Boundary
---	Approved Envelope
	Commercial
	Retail
	Community
	Residential Lobby
	Shared Basement Access Lobby
	Childcare
	Childcare Outdoor
	Co-Living
	Co-Living Communal
	Residential / 1 Bed
	Residential / 2 Bed
	Residential / 3 Bed
	Circulation
	Amenities
	BOH



Client

**WATERLOO COLLECTIVE**

JOHN HOLLAND | mirvac

NSW GOVERNMENT | **sydney METRO**

Consultant

**BATESMART.**

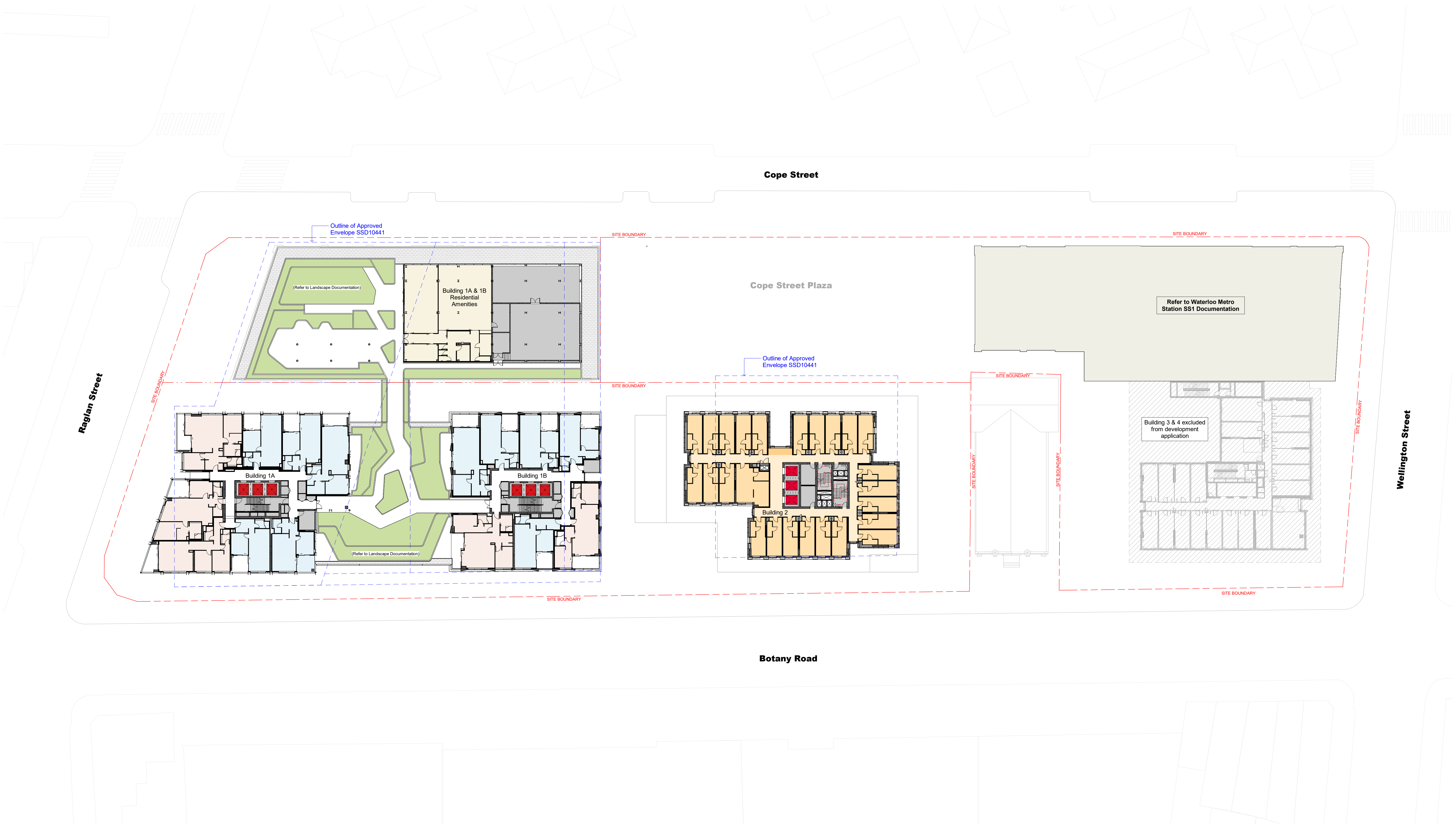
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Level 03

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA103	



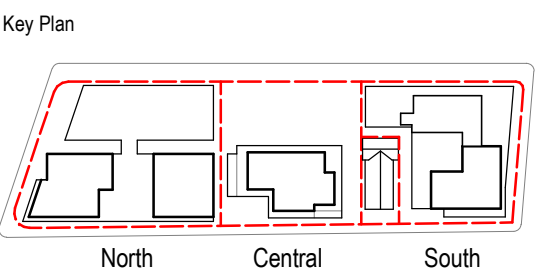


1 Plan - Level 04  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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Do not scale drawings.

- Legend**
- Site Boundary
  - Approved Envelope
  - Commercial
  - Retail
  - Community
  - Residential Lobby
  - Shared Basement Access Lobby
  - Childcare
  - Childcare Outdoor
  - Co-Living
  - Co-Living Communal
  - Residential / 1 Bed
  - Residential / 2 Bed
  - Residential / 3 Bed
  - Circulation
  - Amenities
  - BOH



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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Level 04

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA104	



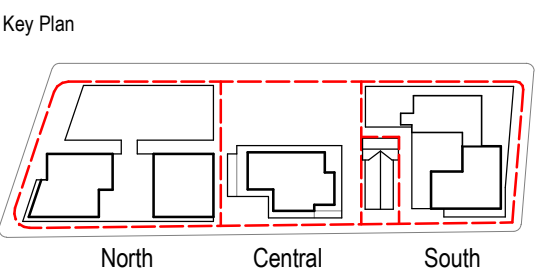


1 Plan - Level 05-19 Typical  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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- Legend**
- Site Boundary
  - Approved Envelope
  - Commercial
  - Retail
  - Community
  - Residential Lobby
  - Shared Basement Access Lobby
  - Childcare
  - Childcare Outdoor
  - Co-Living
  - Co-Living Communal
  - Residential / 1 Bed
  - Residential / 2 Bed
  - Residential / 3 Bed
  - Circulation
  - Amenities
  - BOH



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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
	B1
	Scale
	As indicated

Sheet title  
Indicative General Arrangement  
Level 05-19 Typical Low Rise (BLD 1A & 1B) / Typical Co-Living (BLD 2)

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA105	



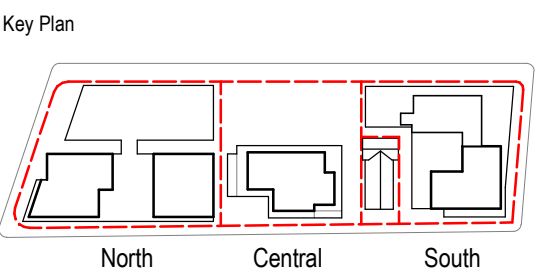


1 Plan - Level 20-26 Typical  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

Notes  
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Legend	
---	Site Boundary
---	Approved Envelope
	Commercial
	Retail
	Community
	Residential Lobby
	Shared Basement Access Lobby
	Childcare
	Childcare Outdoor
	Co-Living
	Co-Living Communal
	Residential / 1 Bed
	Residential / 2 Bed
	Residential / 3 Bed
	Circulation
	Amenities
	BOH



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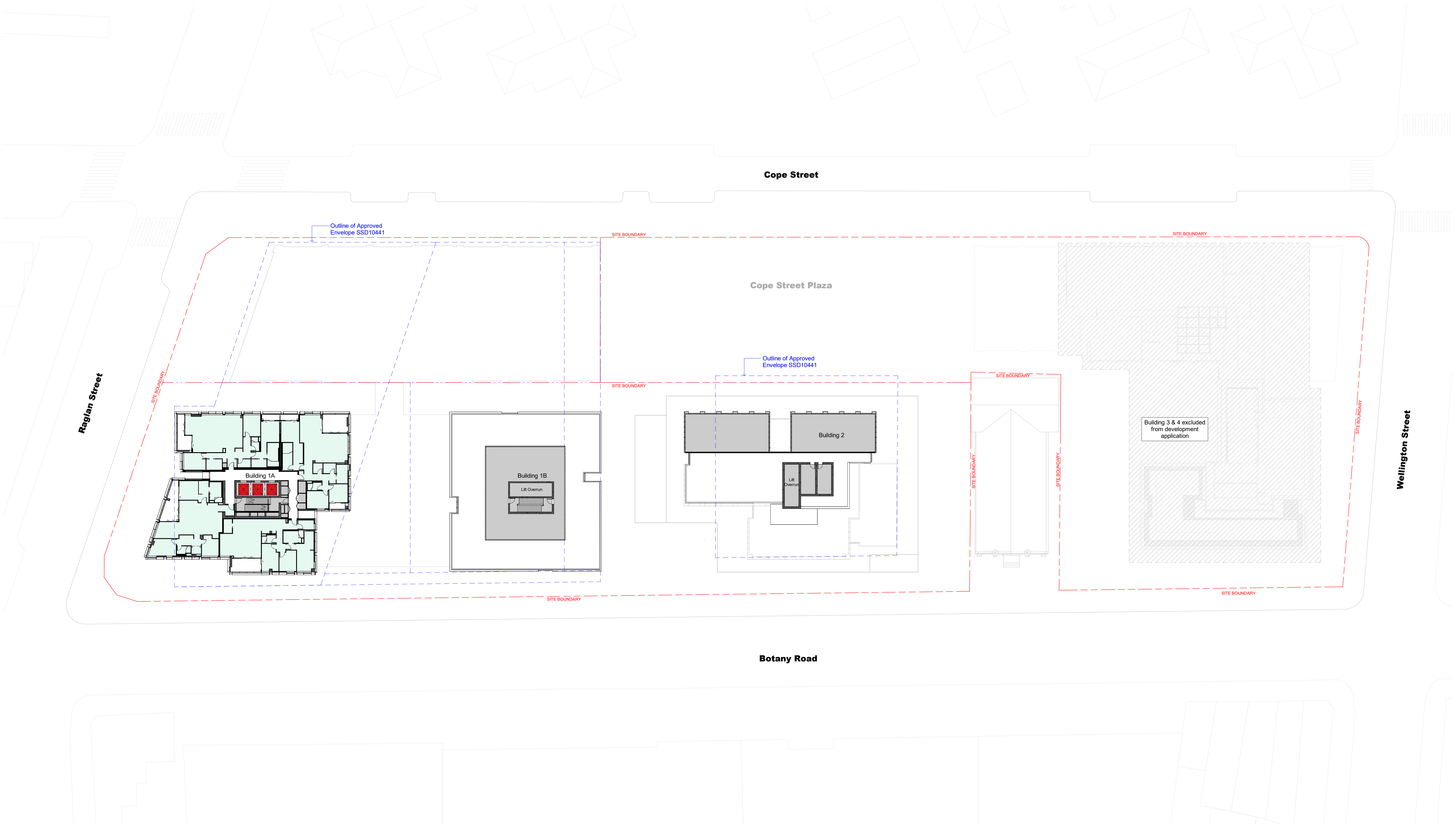
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number S12398.A	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
Indicative General Arrangement  
Level 20-26 Typical High Rise (BLD 1A  
& 1B) / Level 24 Communal (BLD 2)

Status SSDA ISSUE	Revision 01
Sheet number WMQ-SITE-BSA-UD-DRG-DA120	



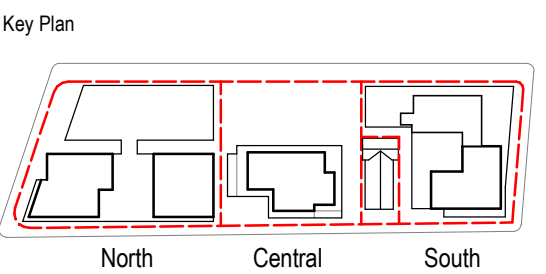


1 Plan - Level 27  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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- Legend**
- Site Boundary
  - Approved Envelope
  - Commercial
  - Retail
  - Community
  - Residential Lobby
  - Shared Basement Access Lobby
  - Childcare
  - Childcare Outdoor
  - Co-Living
  - Co-Living Communal
  - Residential / 1 Bed
  - Residential / 2 Bed
  - Residential / 3 Bed
  - Circulation
  - Amenities
  - BOH



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Consultant

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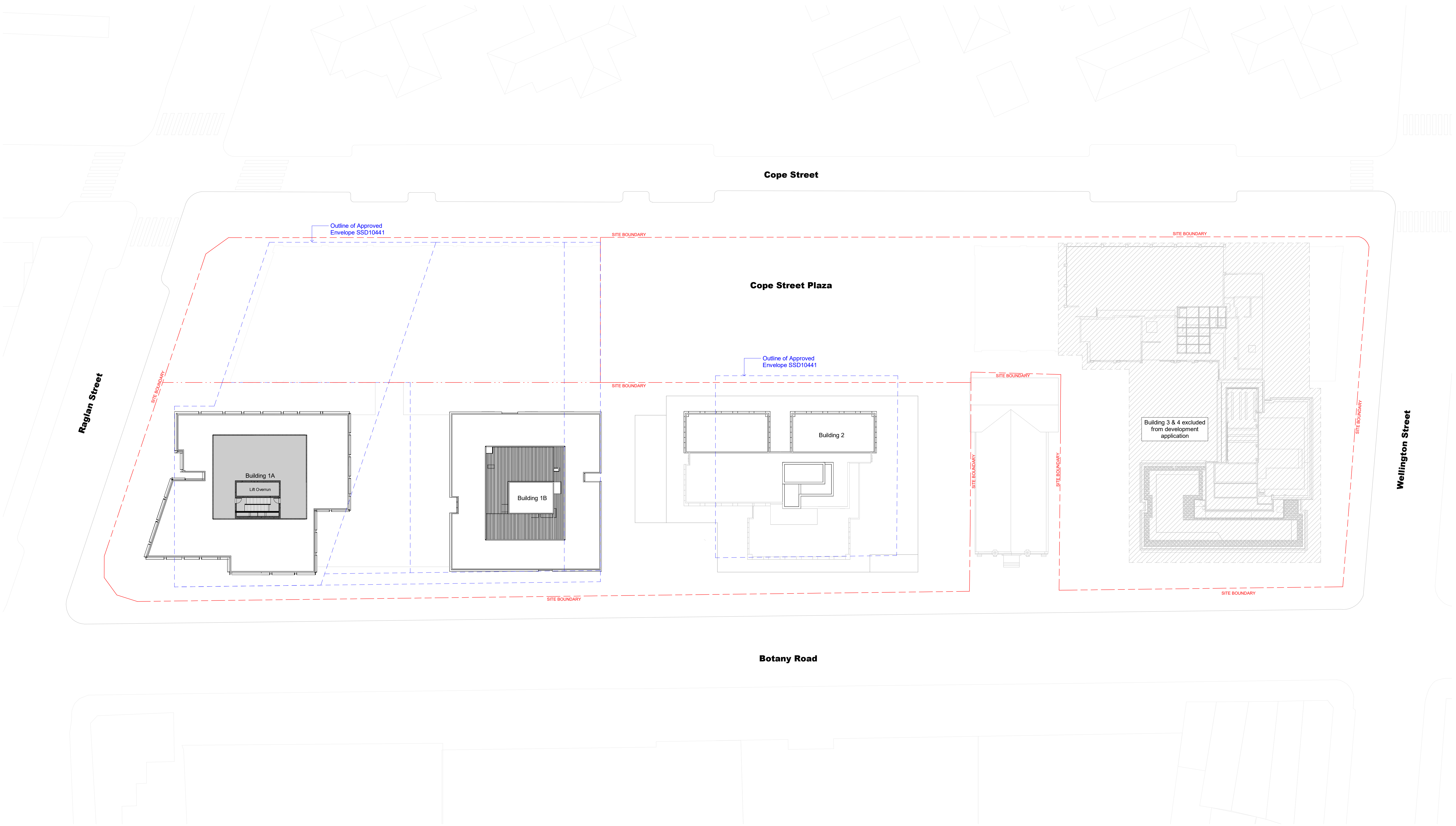
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WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

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S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Level 27

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA127	



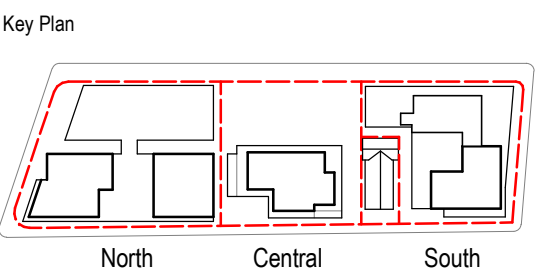


1 Plan - Level 28  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

Notes  
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- Legend**
- Site Boundary
  - - - Approved Envelope
  - Commercial
  - Retail
  - Community
  - Residential Lobby
  - Shared Basement Access Lobby
  - Childcare
  - Childcare Outdoor
  - Co-Living
  - Co-Living Communal
  - Residential / 1 Bed
  - Residential / 2 Bed
  - Residential / 3 Bed
  - Circulation
  - Amenities
  - BOH



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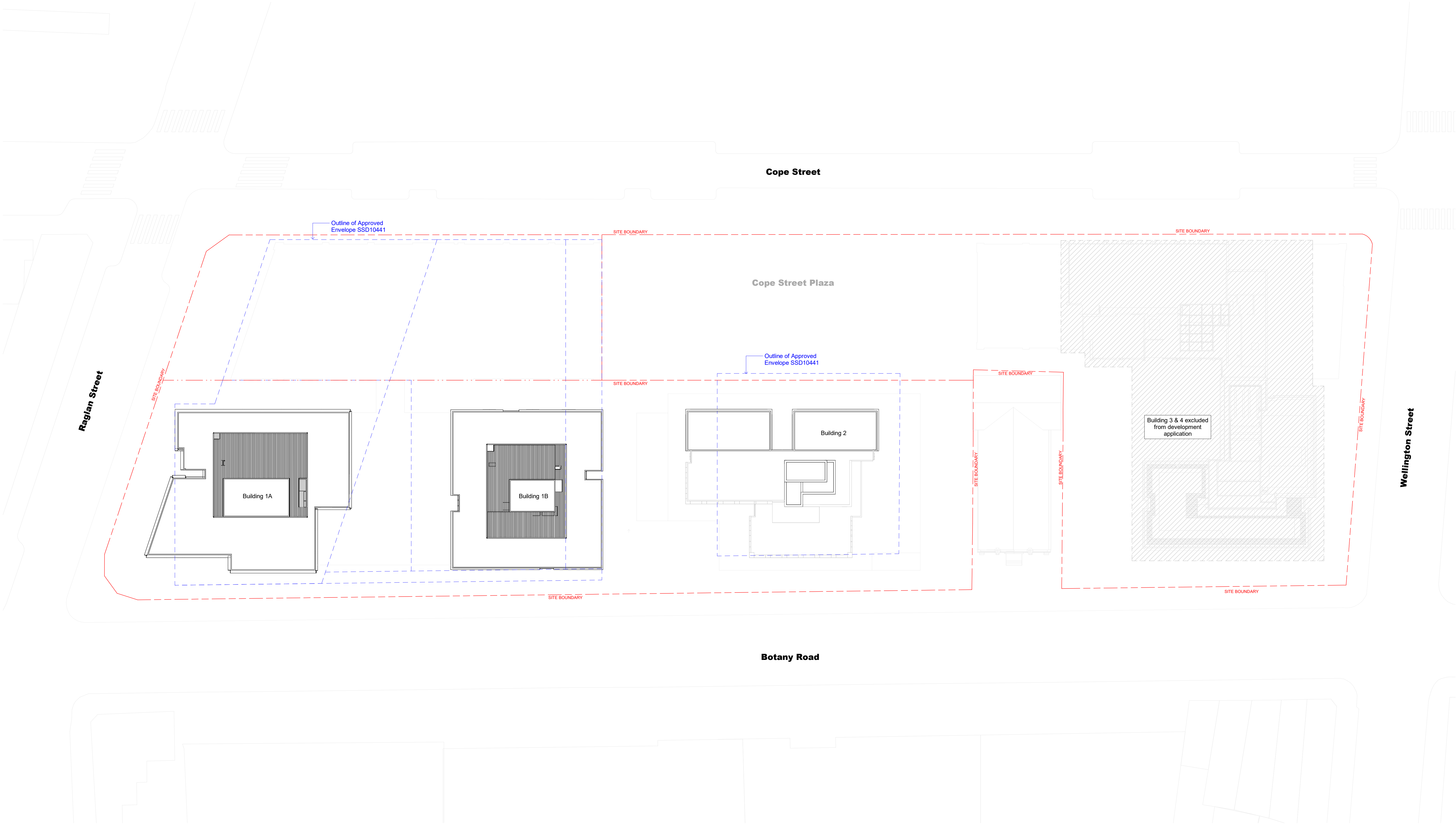
Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Level 28

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA128	



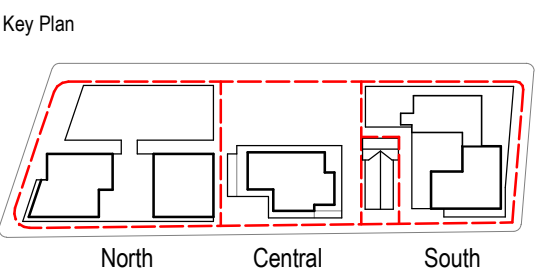


1 Roof Plan  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

Notes  
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Legend	
---	Site Boundary
---	Approved Envelope
	Commercial
	Retail
	Community
	Residential Lobby
	Shared Basement Access Lobby
	Childcare
	Childcare Outdoor
	Co-Living
	Co-Living Communal
	Residential / 1 Bed
	Residential / 2 Bed
	Residential / 3 Bed
	Circulation
	Amenities
	BOH



Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	As indicated

Sheet title  
Indicative General Arrangement  
Roof

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA129	

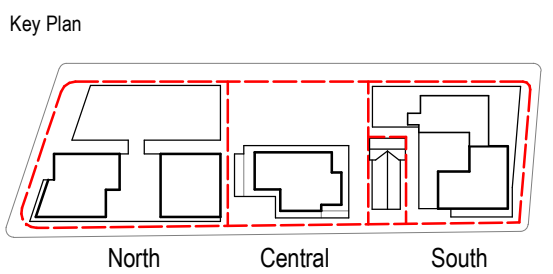
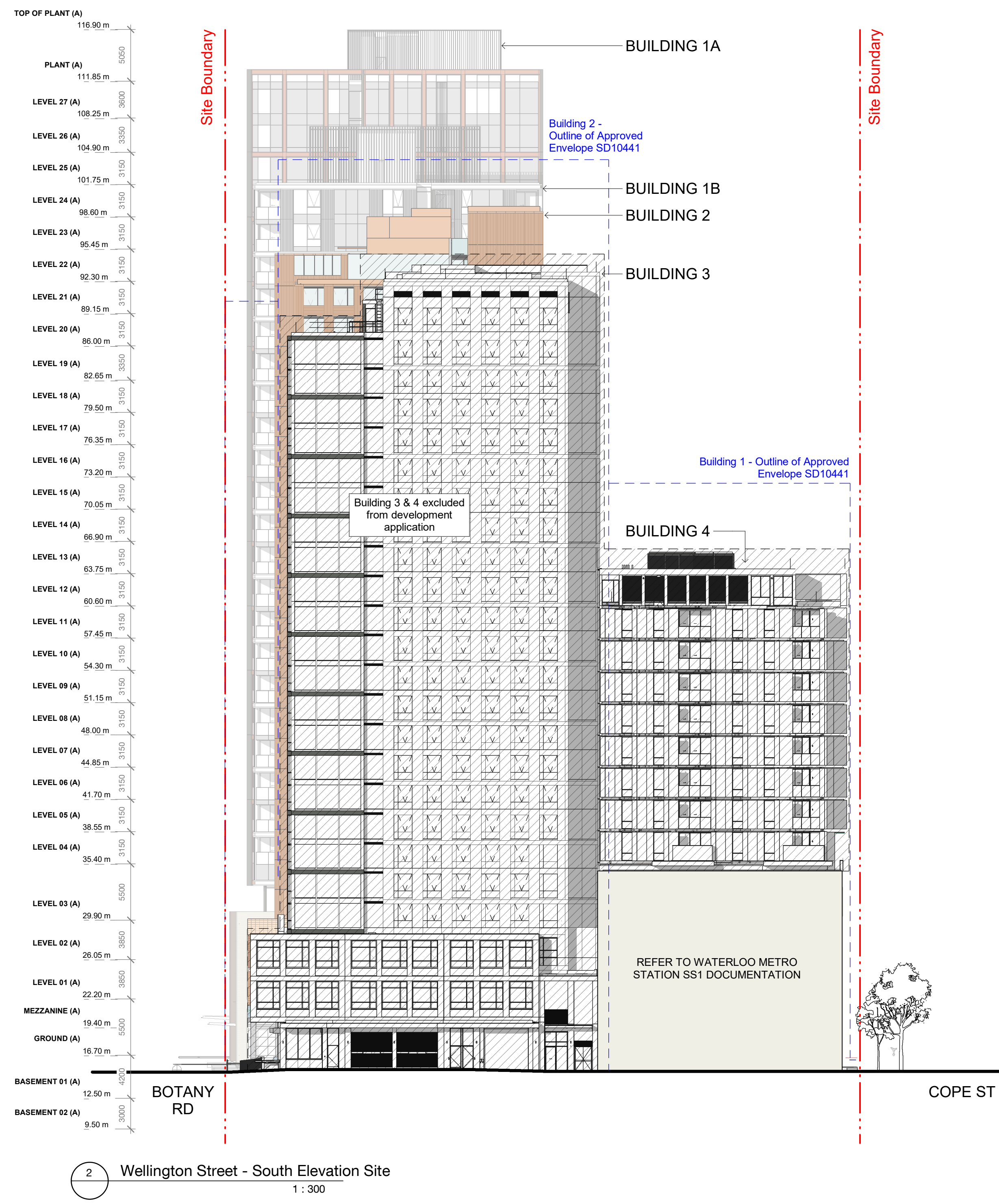
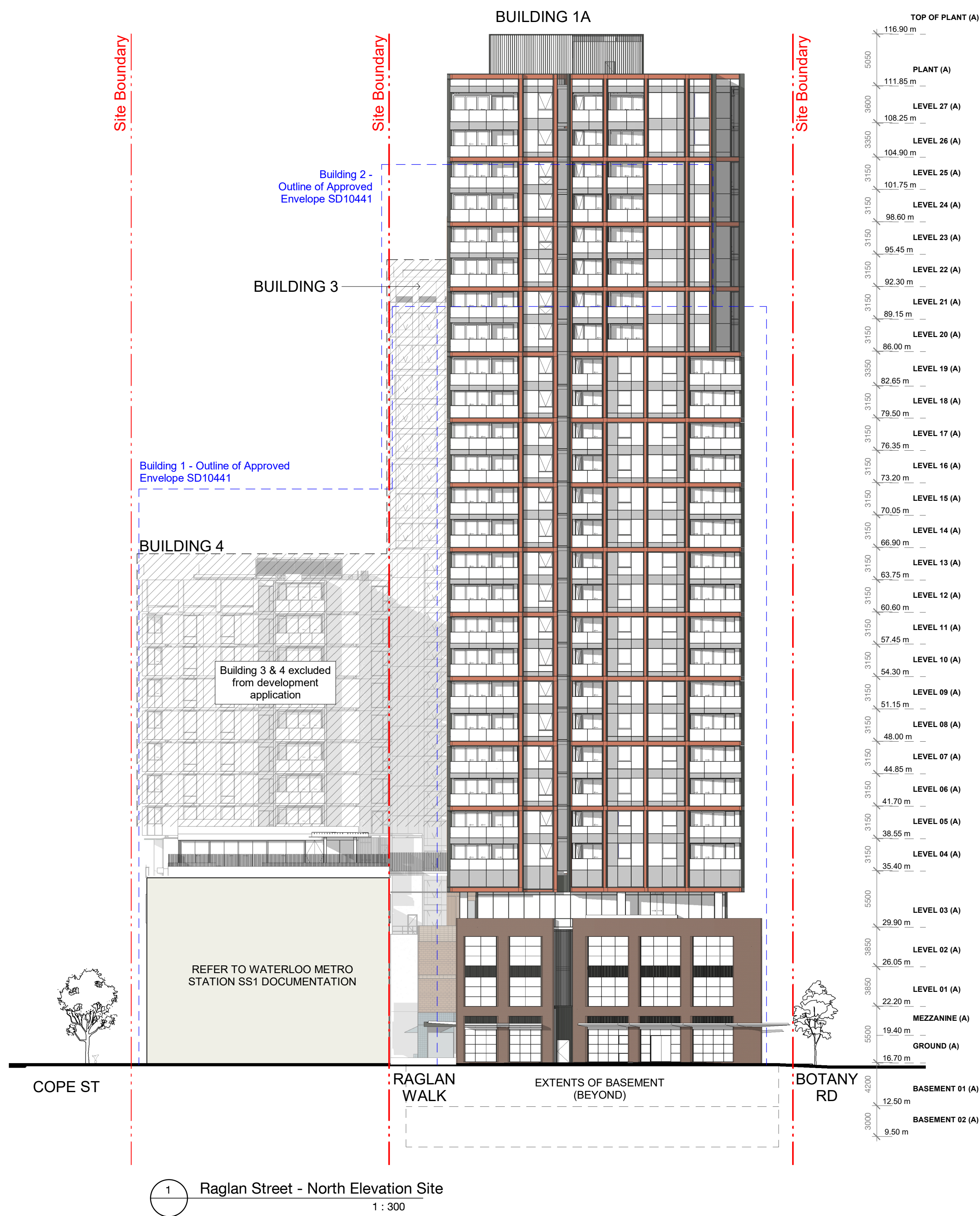


Notes

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Project

WATERLOO METRO QUARTER DEVELOPMENT

Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked DSIRT	Approved NB
Sheet size B1	Scale 1 : 300

Sheet title

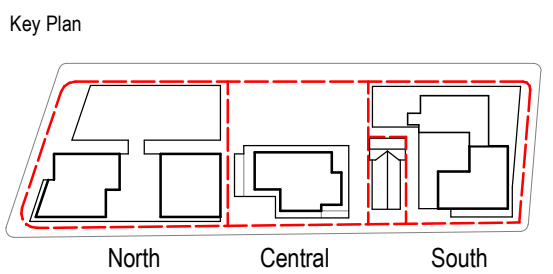
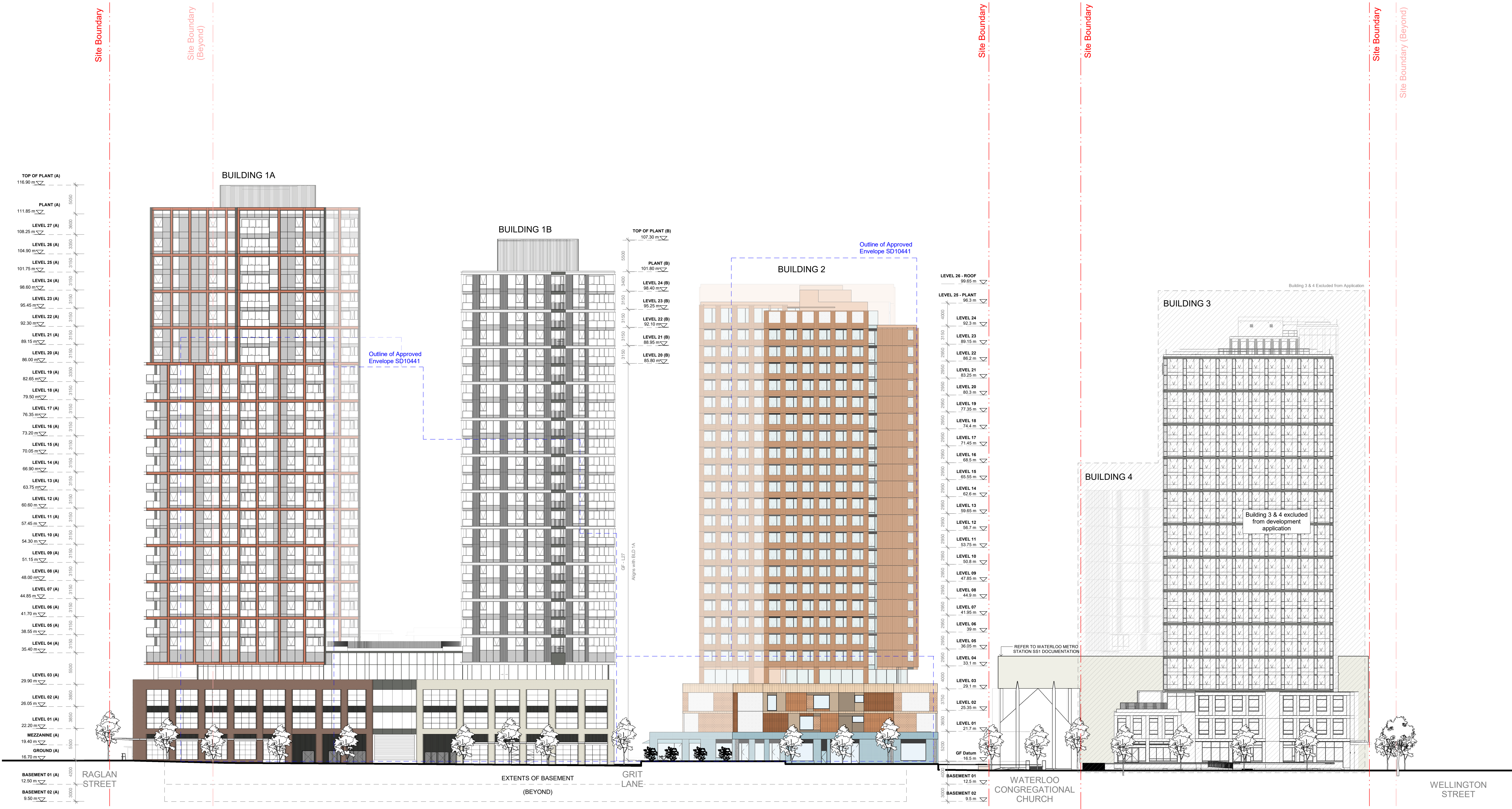
Site Elevation

North & South Elevation - Raglan & Wellington Street

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA130	



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Consultant

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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

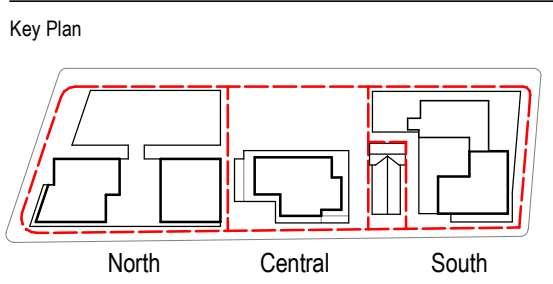
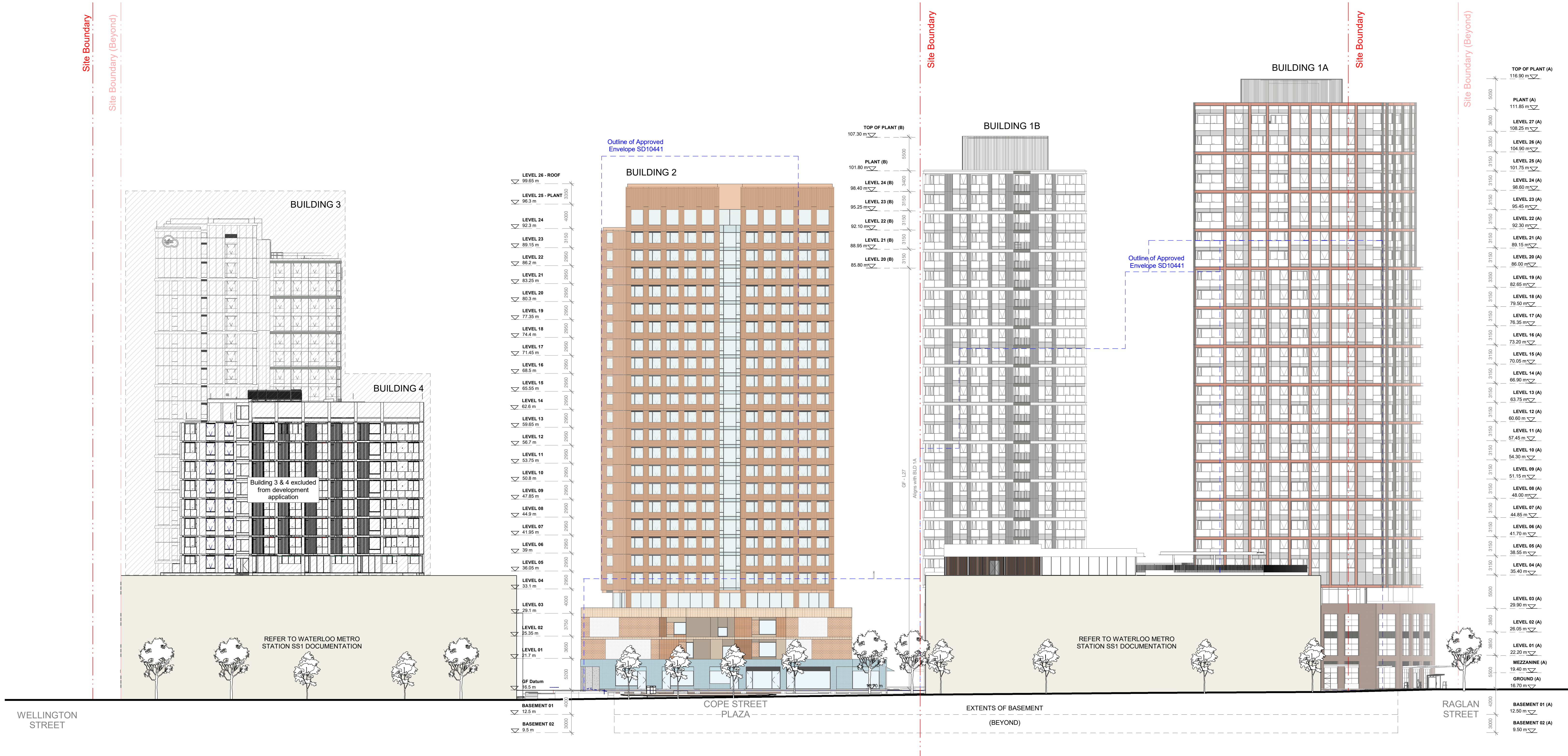
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Size check: 25mm  
Checked: DS/RT  
Approved: NB  
Sheet size: B1  
Scale: 1:300

Sheet title  
Site Elevation  
West Elevation - Botany Road

Status: SSDA ISSUE  
Revision: 01  
Sheet number: WMQ-SITE-BSA-UD-DRG-DA131



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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number  
S12398.A

Size check  
25mm

Checked  
DSIRT

Approved  
NB

Sheet size  
B1

Scale  
1:300

Sheet title  
Site Elevation  
East Elevation - Cope Street

Status  
SSDA ISSUE

Revision  
01

Sheet number  
WMQ-SITE-BSA-UD-DRG-DA132



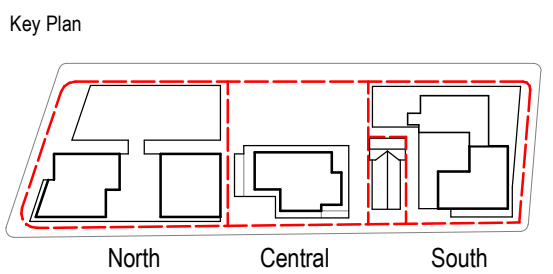
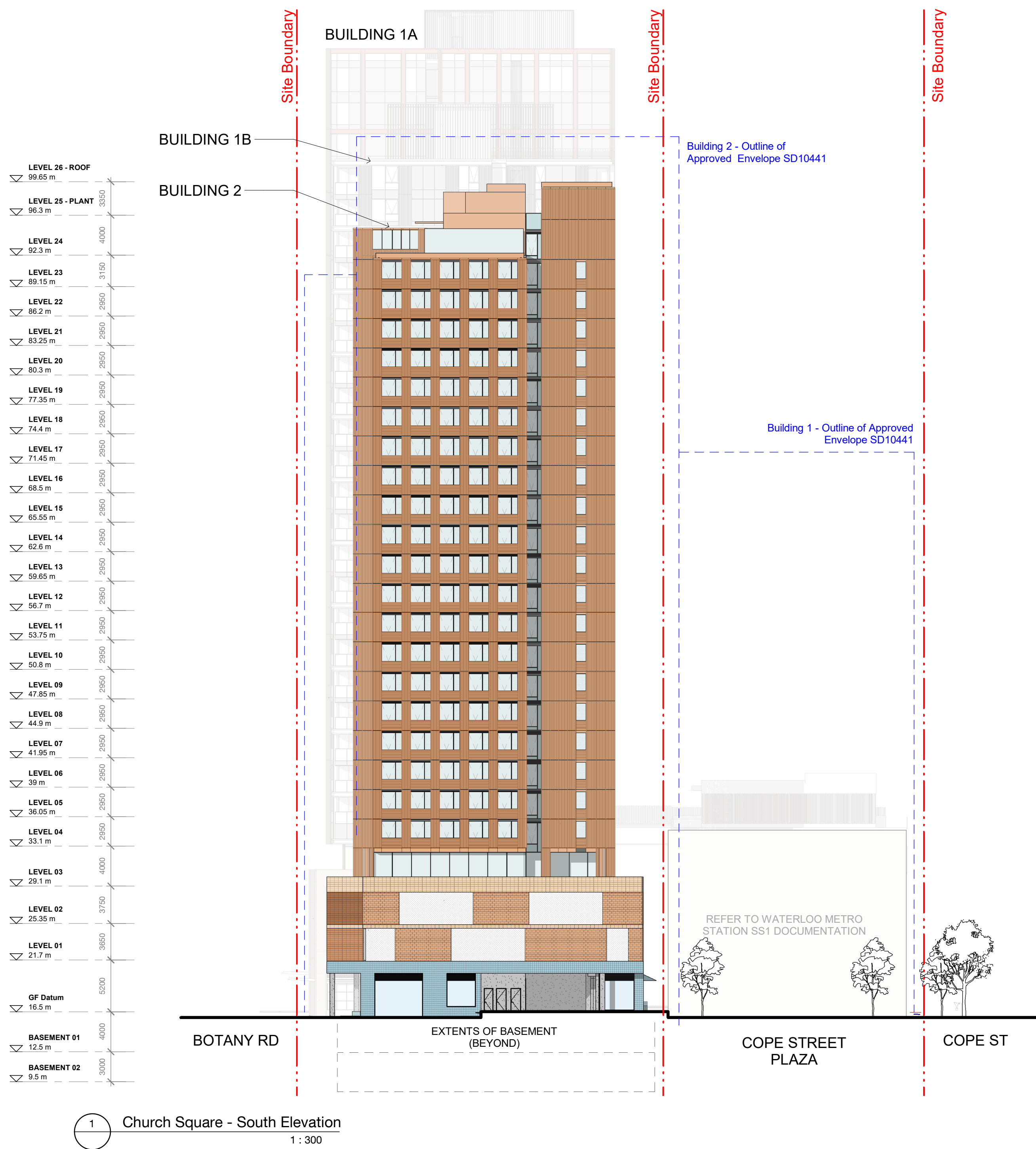
Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

Notes

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Project

WATERLOO METRO QUARTER DEVELOPMENT

Second Amending Concept

Project number	Size check
S12398.A	25mm
Checked	Approved
DS/RT	NB
Sheet size	Scale
B1	1:300

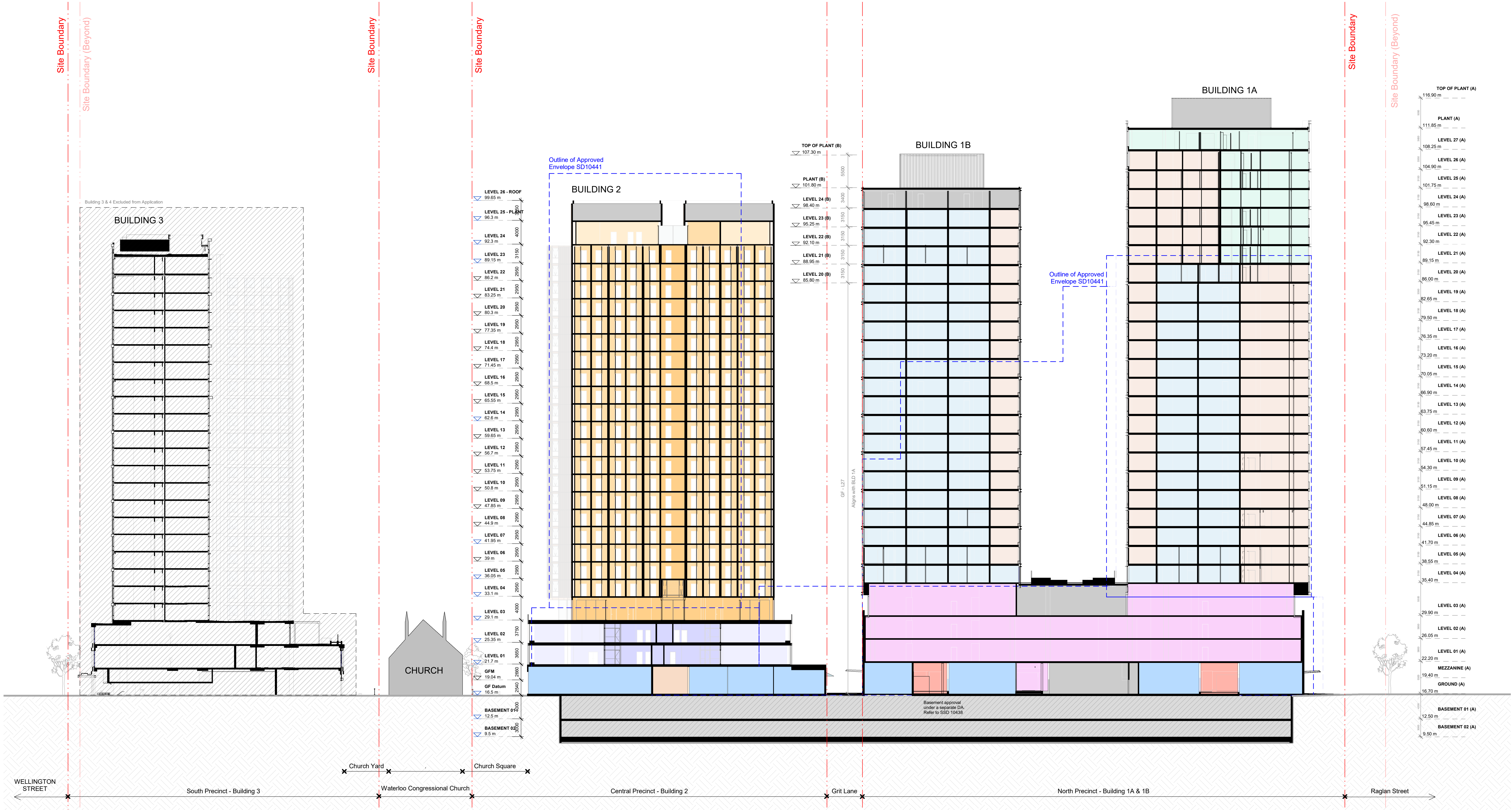
Sheet title

Site Elevation

Internal Elevation - Church Square

Status	Revision
SSDA ISSUE	01
Sheet number	
WMQ-SITE-BSA-UD-DRG-DA133	



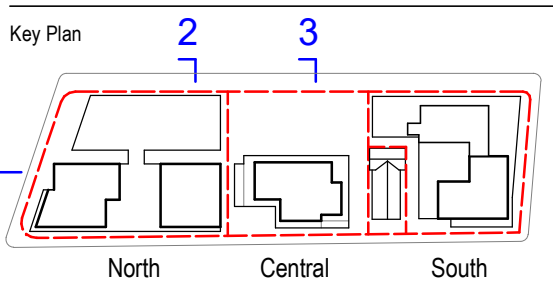


1 Site Section - North South  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

Notes  
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Legend	
---	Site Boundary
---	Approved Envelope
	Commercial
	Retail
	Community
	Residential Lobby
	Shared Basement Access Lobby
	Childcare
	Childcare Outdoor
	Co-Living
	Co-Living Communal
	Residential / 1 Bed
	Residential / 2 Bed
	Residential / 3 Bed
	Circulation
	Amenities
	BOH



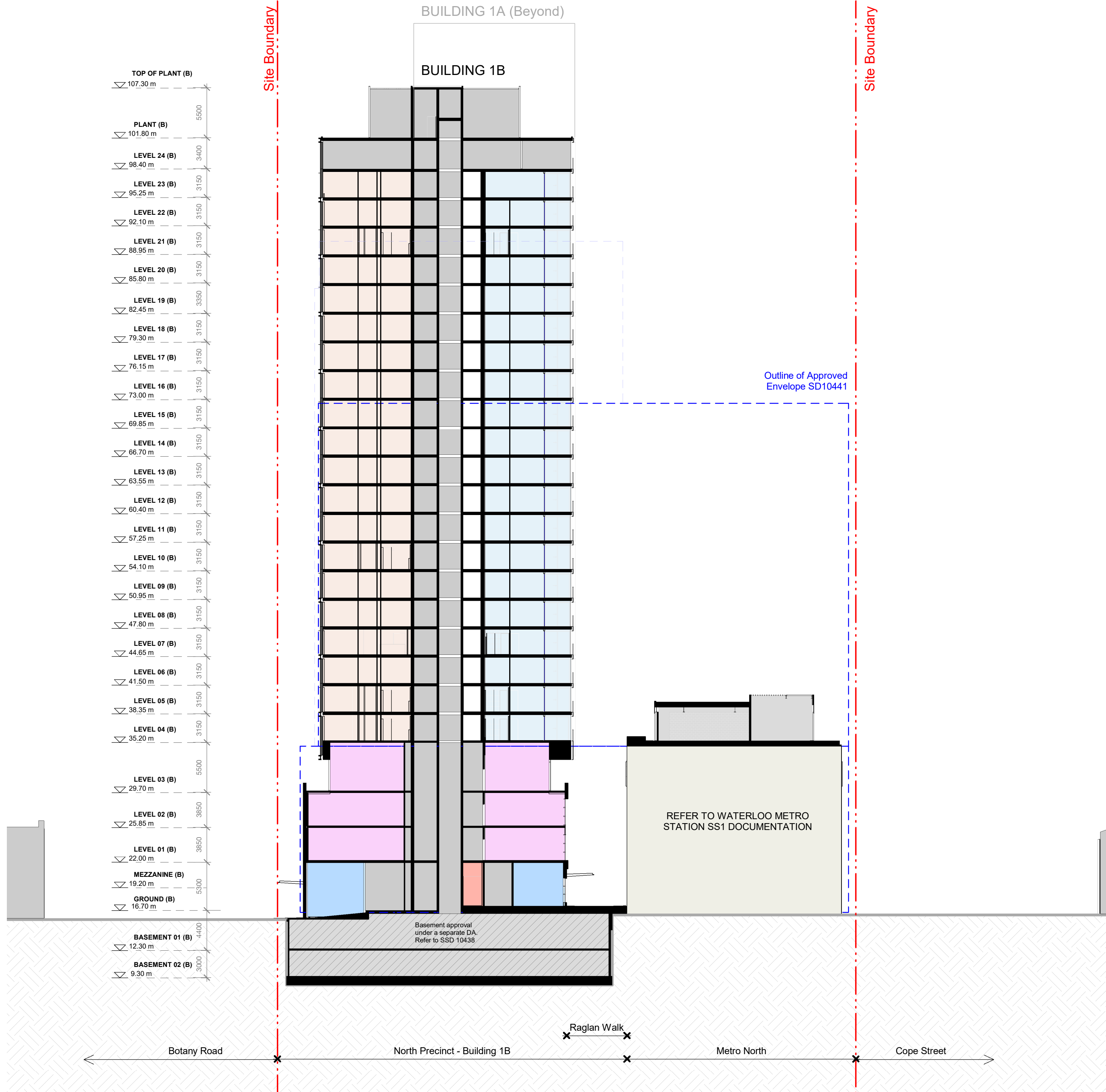
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**WATERLOO COLLECTIVE**  
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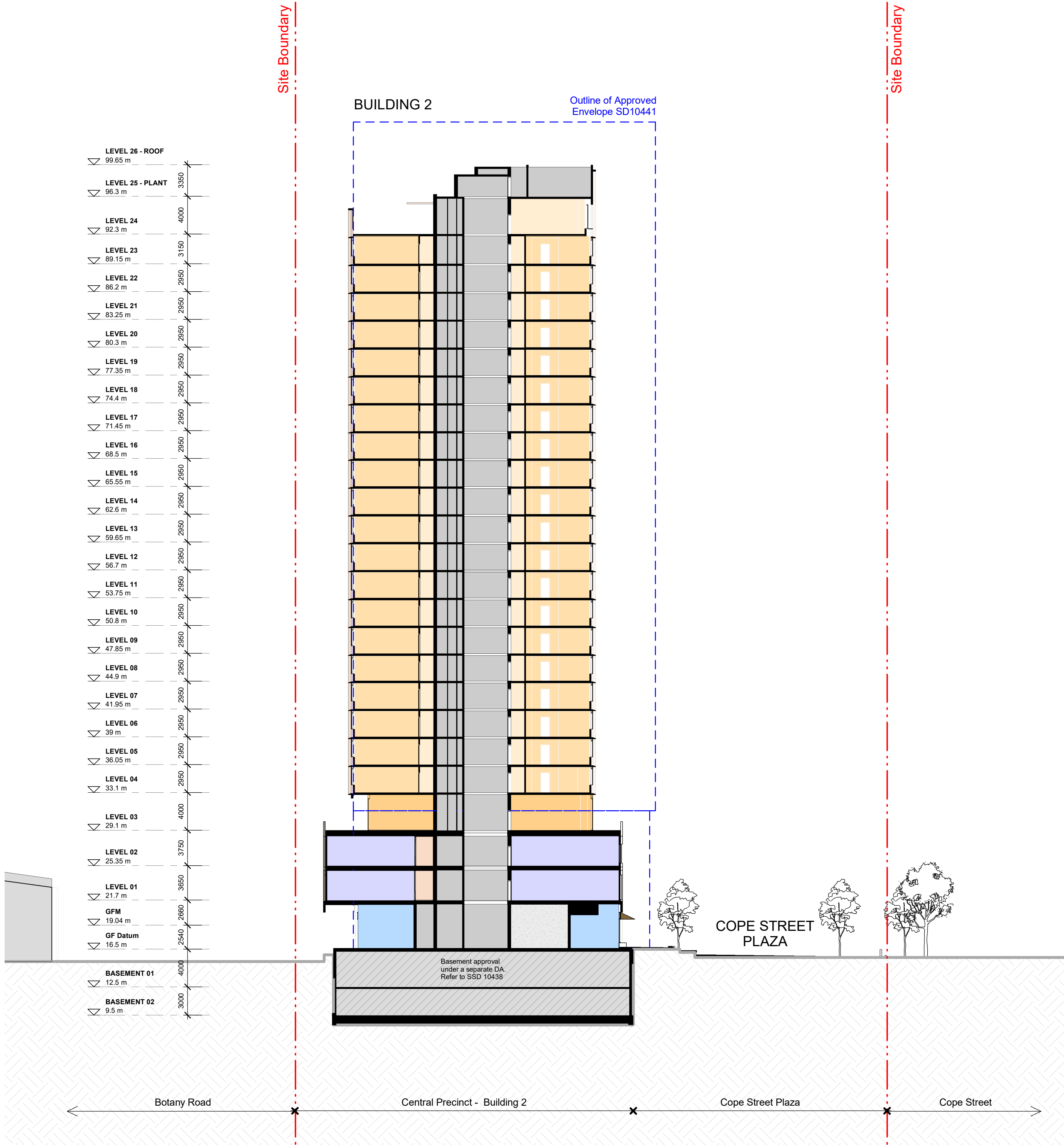
Consultant  
**BATESMART**

Project WATERLOO METRO QUARTER DEVELOPMENT Second Amending Concept				
Project number S12398.A		Size check 25mm		
Checked DS/RT	Approved NB	Sheet size B1	Scale As indicated	
Sheet title Site Section Section - North South				
Status SSDA ISSUE		Revision 01		
Sheet number WMQ-SITE-BSA-UD-DRG-DA140				





1 Site Section - East West - BLD 1B  
1 : 300

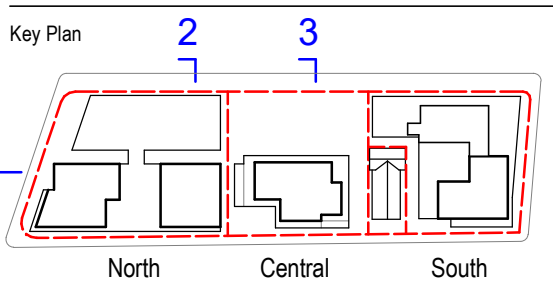


2 Site Section - East West - BLD 2  
1 : 300

Recent revision history		
#	Description	Date
01	SSDA ISSUE	19.09.25

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Legend	
---	Site Boundary
---	Approved Envelope
	Commercial
	Retail
	Community
	Residential Lobby
	Shared Basement Access Lobby
	Childcare
	Childcare Outdoor
	Co-Living
	Co-Living Communal
	Residential / 1 Bed
	Residential / 2 Bed
	Residential / 3 Bed
	Circulation
	Amenities
	BOH



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Consultant

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Project  
WATERLOO METRO QUARTER DEVELOPMENT  
Second Amending Concept

Project number S12398.A	Size check 25mm
Checked DS/RT	Approved NB
Sheet size B1	Scale As indicated

Sheet title  
Site Section  
Section - East West

Status  
SSDA ISSUE  
Revision  
01  
Sheet number  
WMQ-SITE-BSA-UD-DRG-DA141