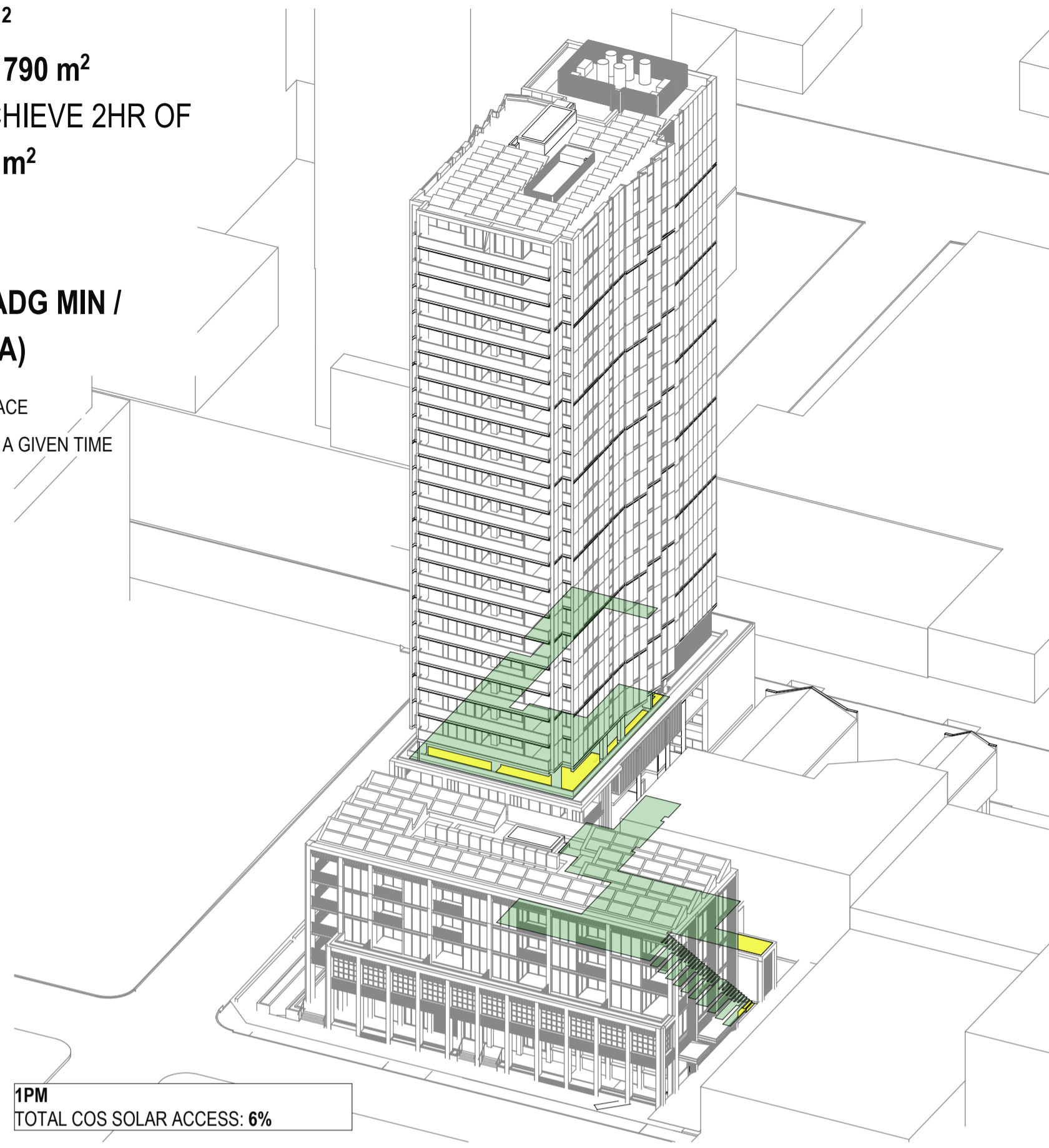


SITE AREA: 3,158.4 m²
 MINIMUM COS: 25% / 790 m²
 MINIMUM COS TO ACHIEVE 2HR OF SOLAR ACCESS: 395 m²

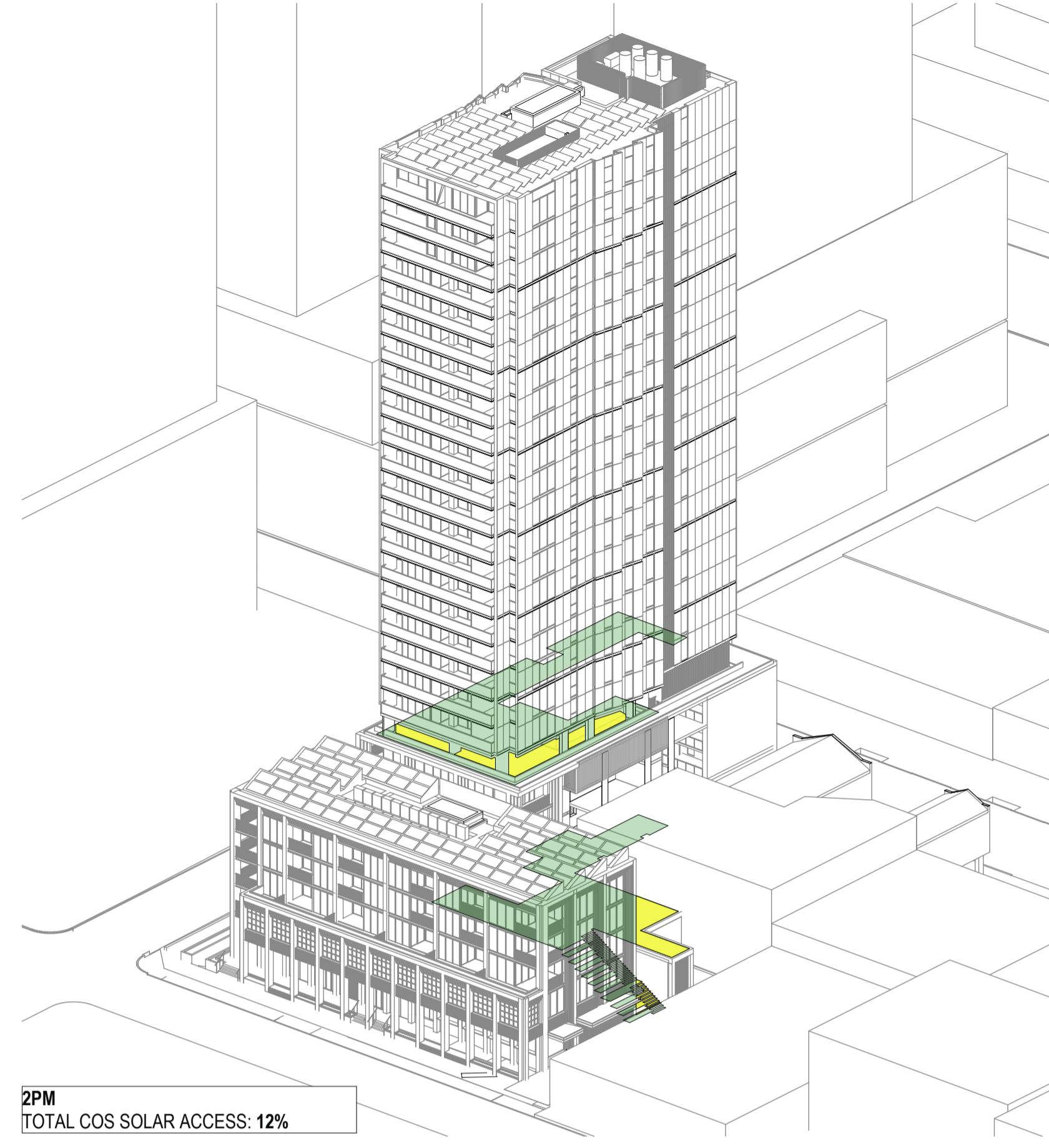
PROVIDED COS:
 915 m² (116% FROM ADG MIN / 28% FROM SITE AREA)

OUTDOOR COMMUNAL SPACE
 SPACE RECEIVING SUN AT A GIVEN TIME



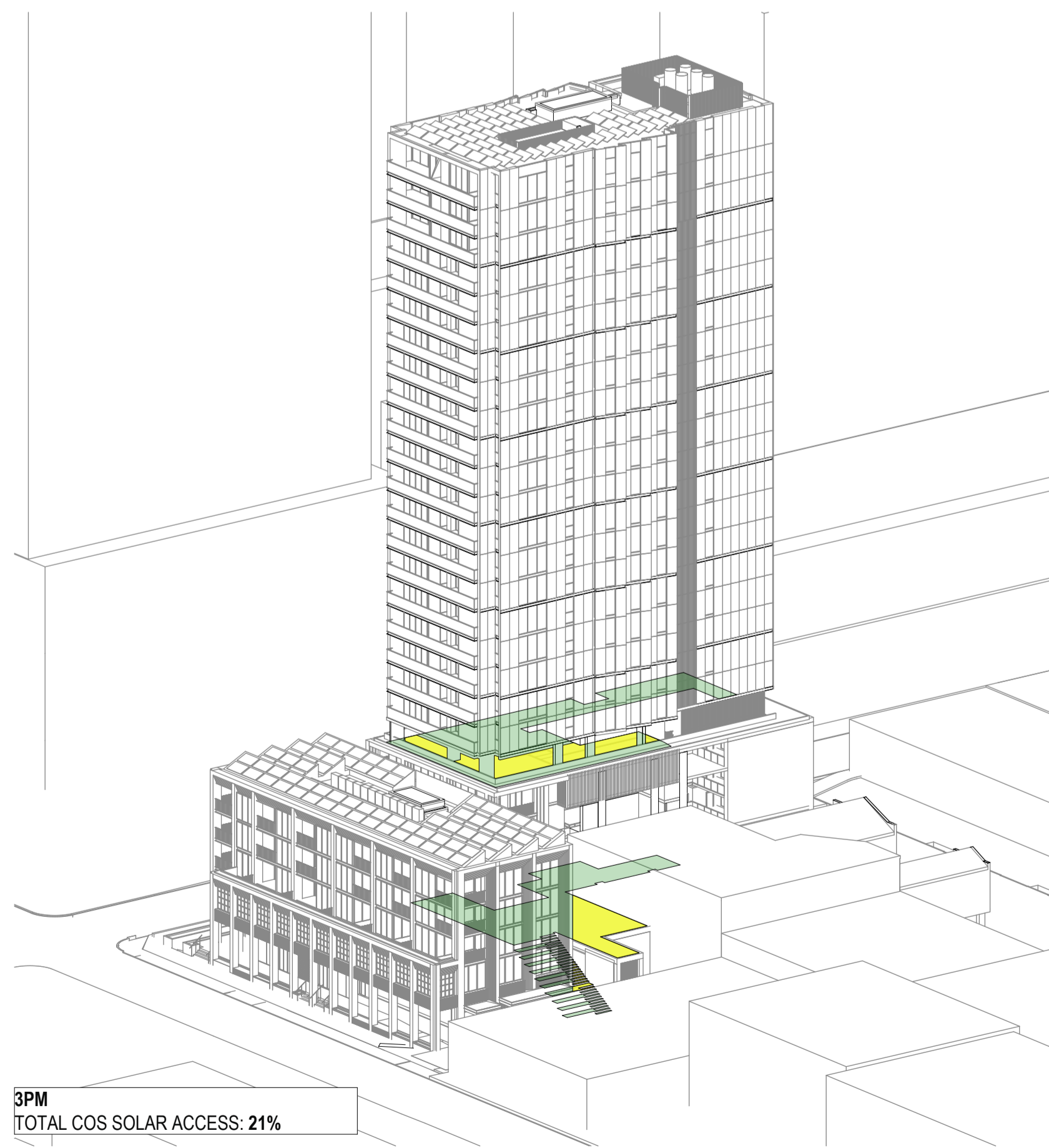
1PM
 TOTAL COS SOLAR ACCESS: 6%

01 SUN EYE VIEW 1PM
 SCALE: @A1



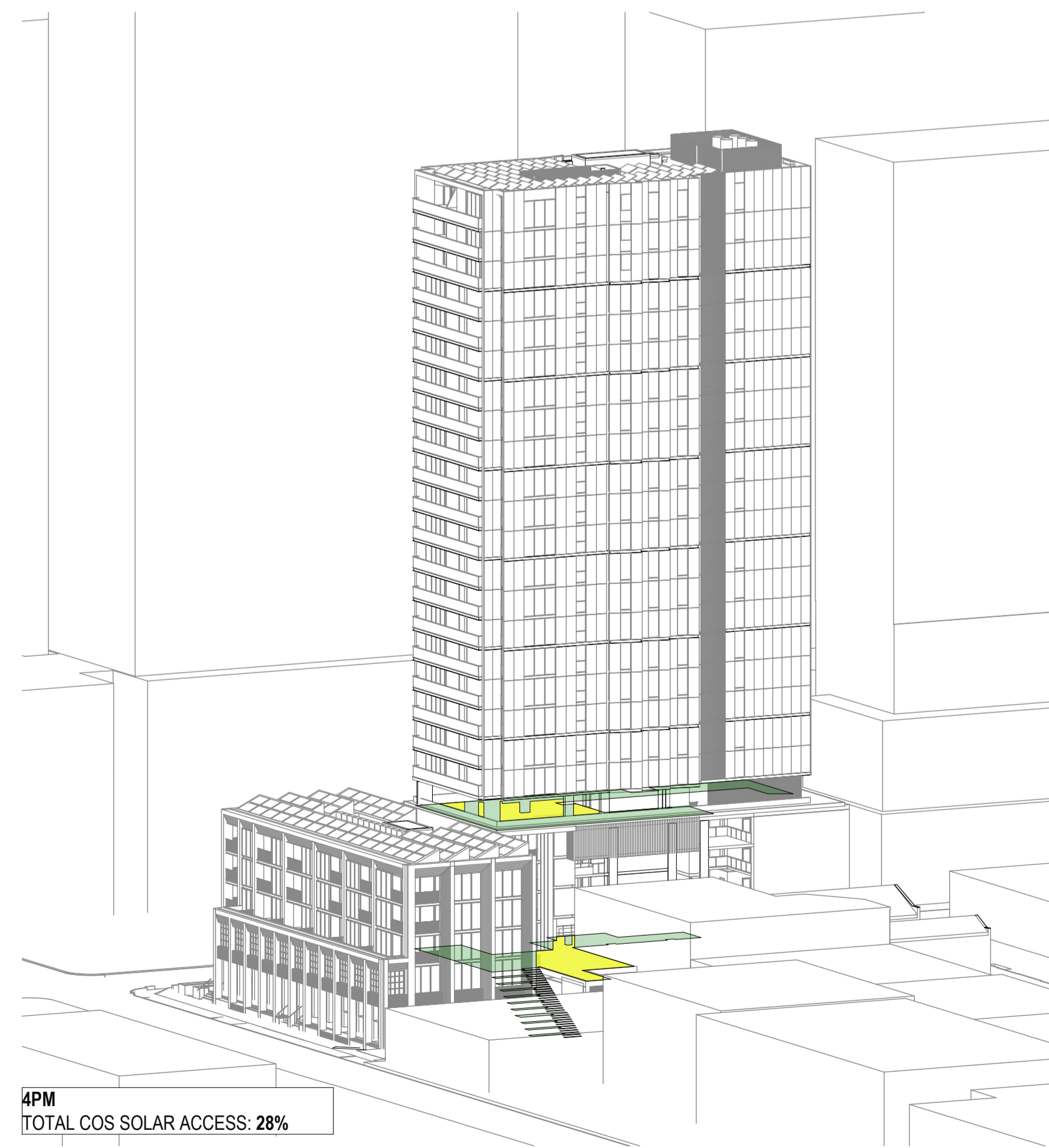
2PM
 TOTAL COS SOLAR ACCESS: 12%

02 SUN EYE VIEW 2PM
 SCALE: @A1



3PM
 TOTAL COS SOLAR ACCESS: 21%

03 SUN EYE VIEW 3PM
 SCALE: @A1



4PM
 TOTAL COS SOLAR ACCESS: 28%

04 SUN EYE VIEW 4PM
 SCALE: @A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accepting and utilizing this document, the recipient agrees that Plus Studio retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM 0403 043 345	ALLRISE (02) 4631 0271
STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM 0400 009 210
SERVICES	TRAFFIC
IGS 0466 676 666	TTPP (02) 8437 7800
LANDSCAPE	ESD
LAND AND FORM 0432 281 544	EFFICIENT LIVING 0452 532 955

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadgil Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects
 Gabriel Dupuy 1622
 Arnt Jukka 10002
 Pido Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

PLUS
STUDIO

PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK

CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
SUN EYE VIEW - 02

SCALE
 @ A1 Size

PROJECT NUMBER	STAGE
20830	SSDA
DRAWING NUMBER	REVISION
DA-0502	A

REV	Issue Date	DESCRIPTION	BY	CHK
A	3/03/2026	SSDA SUBMISSION	LS	JW
B	25/03/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING
 BEAM
 beam@beamplanning.com.au

BCA
 PHILIP CHUN
 (02) 9412 2322

STRUCTURE
 EI AUSTRALIA
 (02) 9516 0722

DDA
 PDM - Projected Design Management
 0400 009 210

SERVICES
 IGS - Integrated Group Services
 (02) 8488 4600

TRAFFIC
 TTPP - Transport Planning
 (02) 8437 7800

LANDSCAPE
 LAND + FORM
 hello@land-form.com.au

ESD
 EFFICIENT LIVING
 (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadigal Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nonnated Architects
 Gabriel Dugue 1622
 Arndt Julia 10002
 Flido Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.



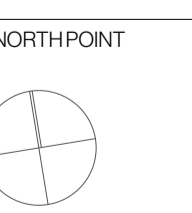
PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

CLIENT
 DPGPROJECT 37PTY LTD

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
SHADOW DIAGRAMS - 01

SCALE
 1:1000, 1:1 @ A1 Size

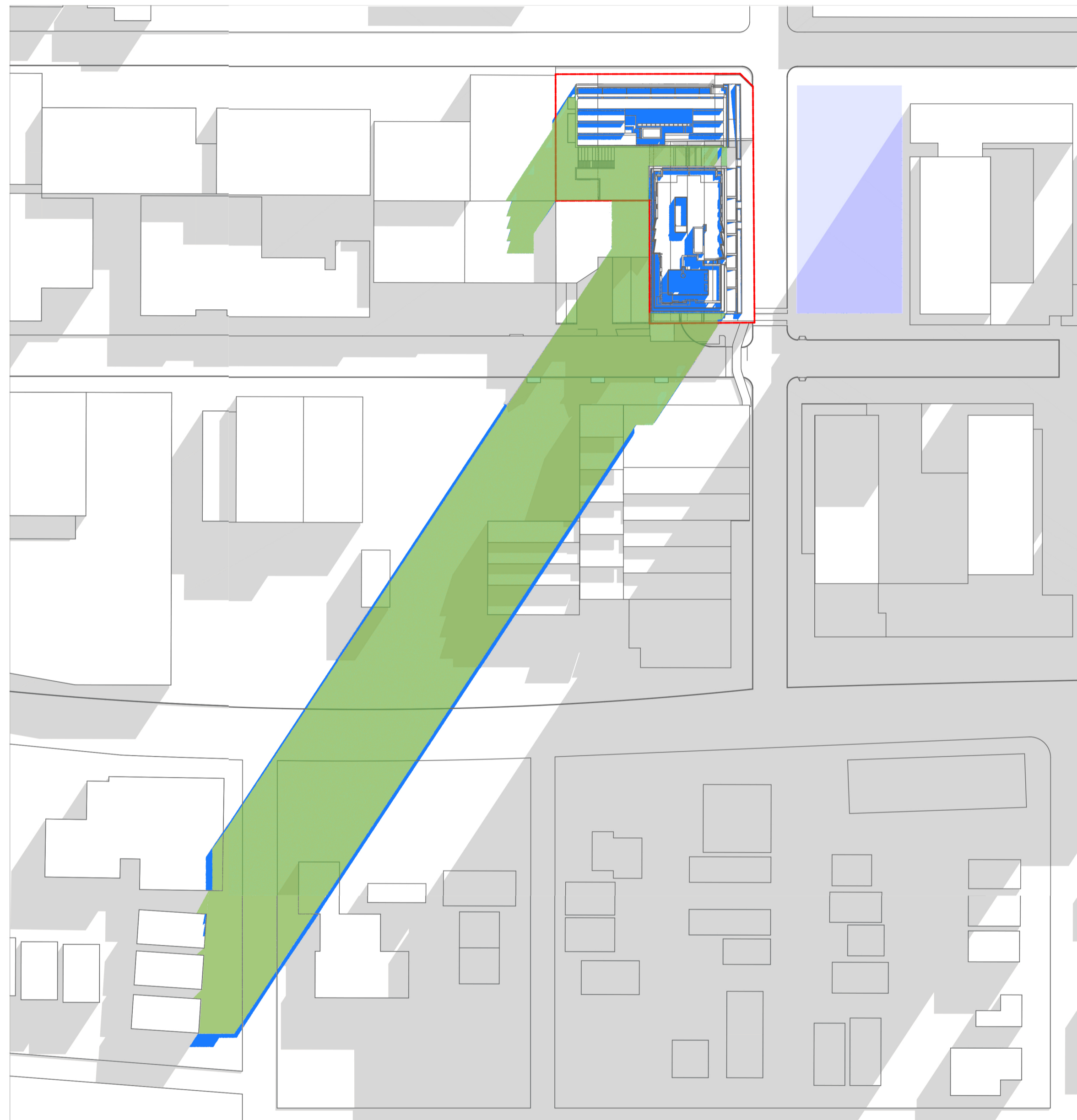


PROJECT NUMBER
20830

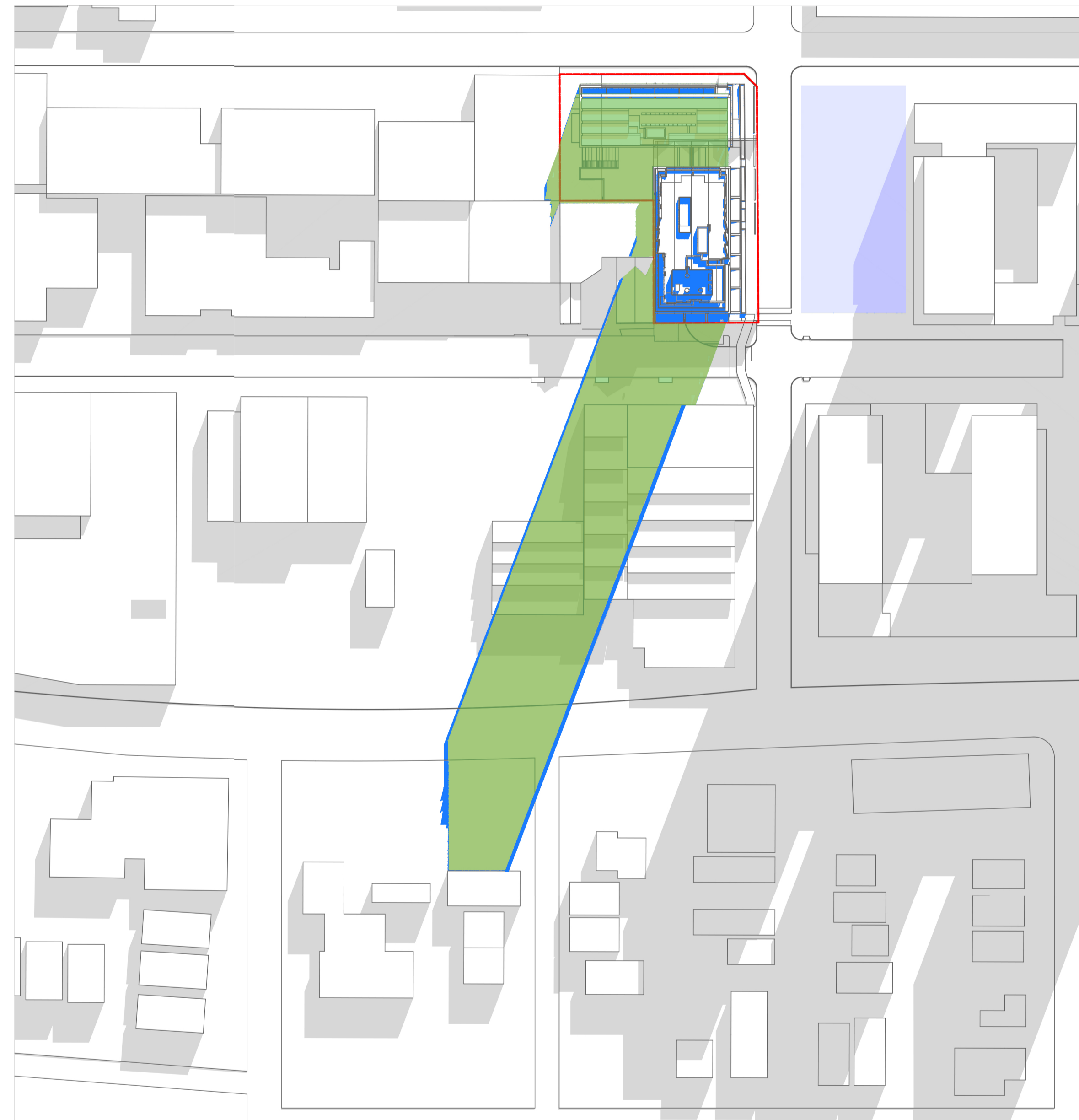
STAGE
SSDA

DRAWING NUMBER
DA-0511

REVISION
B



01 JUNE 21 - 9AM
 Scale 1:1000



02 JUNE 21 - 10AM
 Scale 1:1000

- PROPOSED SHADOWS
- DCP EXPECTED SHADOWS
- EXISTING SHADOWS
- FUTURE PARK

REV	Issue Date	DESCRIPTION	BY	CHK
A	3/03/2026	SSDA SUBMISSION	LS	JW
B	25/03/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive claims against Plus Studio resulting from unauthorised changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING BEAM beam@beamplanning.com.au	BCA PHILIP CHUN (02) 9412 2322
STRUCTURE EI AUSTRALIA (02) 9516 0722	DDA PDM - Projected Design Management 0400 009 210
SERVICES IGS - Integrated Group Services (02) 8488 4600	TRAFFIC TTPP - Transport Planning (02) 8437 7800
LANDSCAPE LAND + FORM hello@land-form.com.au	ESD EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadigal Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nonnatis Architects
 Gabriel Dugue 1622
 Arnt Julia 10002
 Flido Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

PLUS
STUDIO

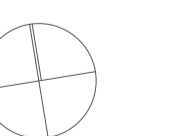
PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED	CHECKED	DRAWN
JW	JW	LS

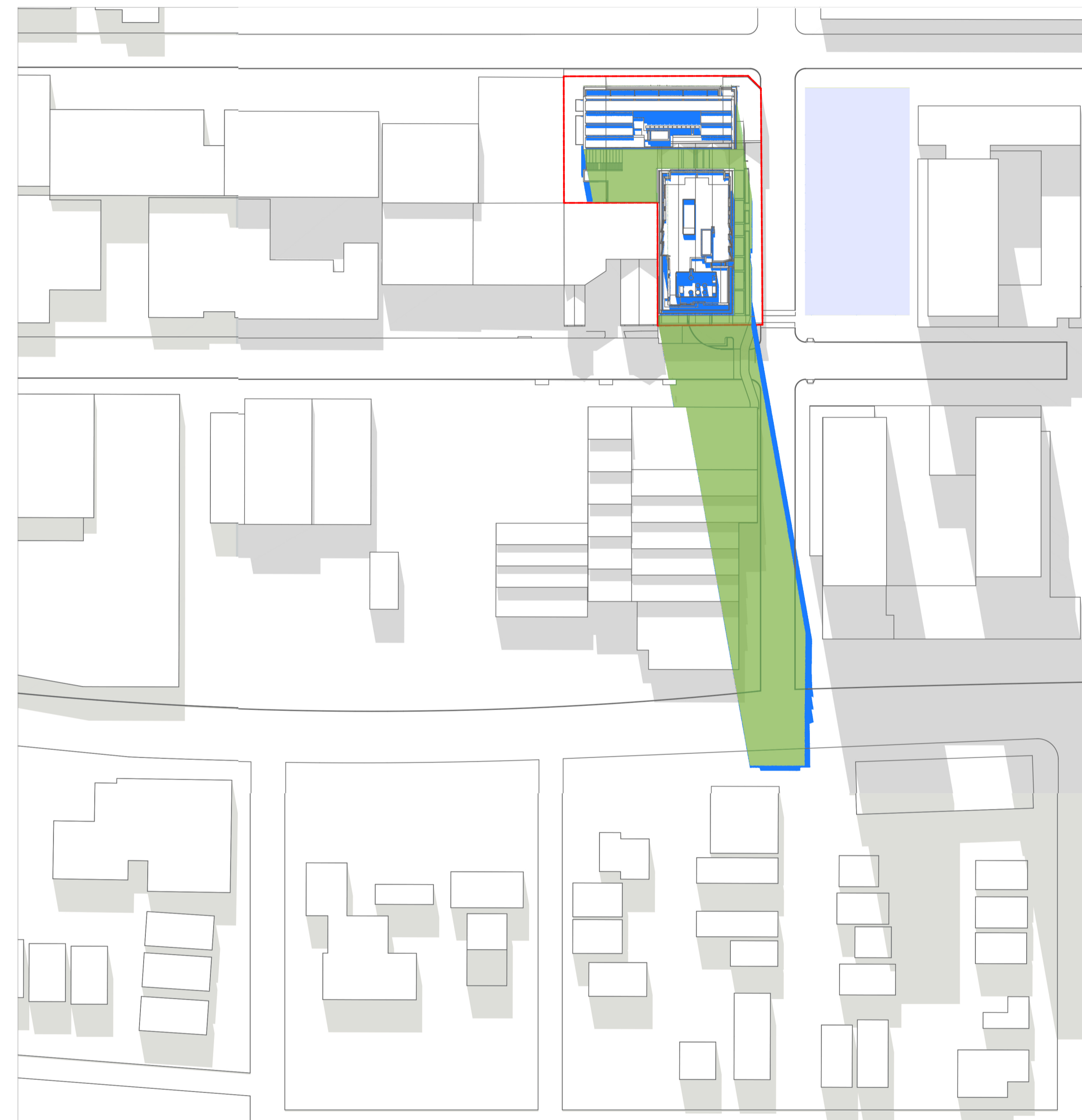
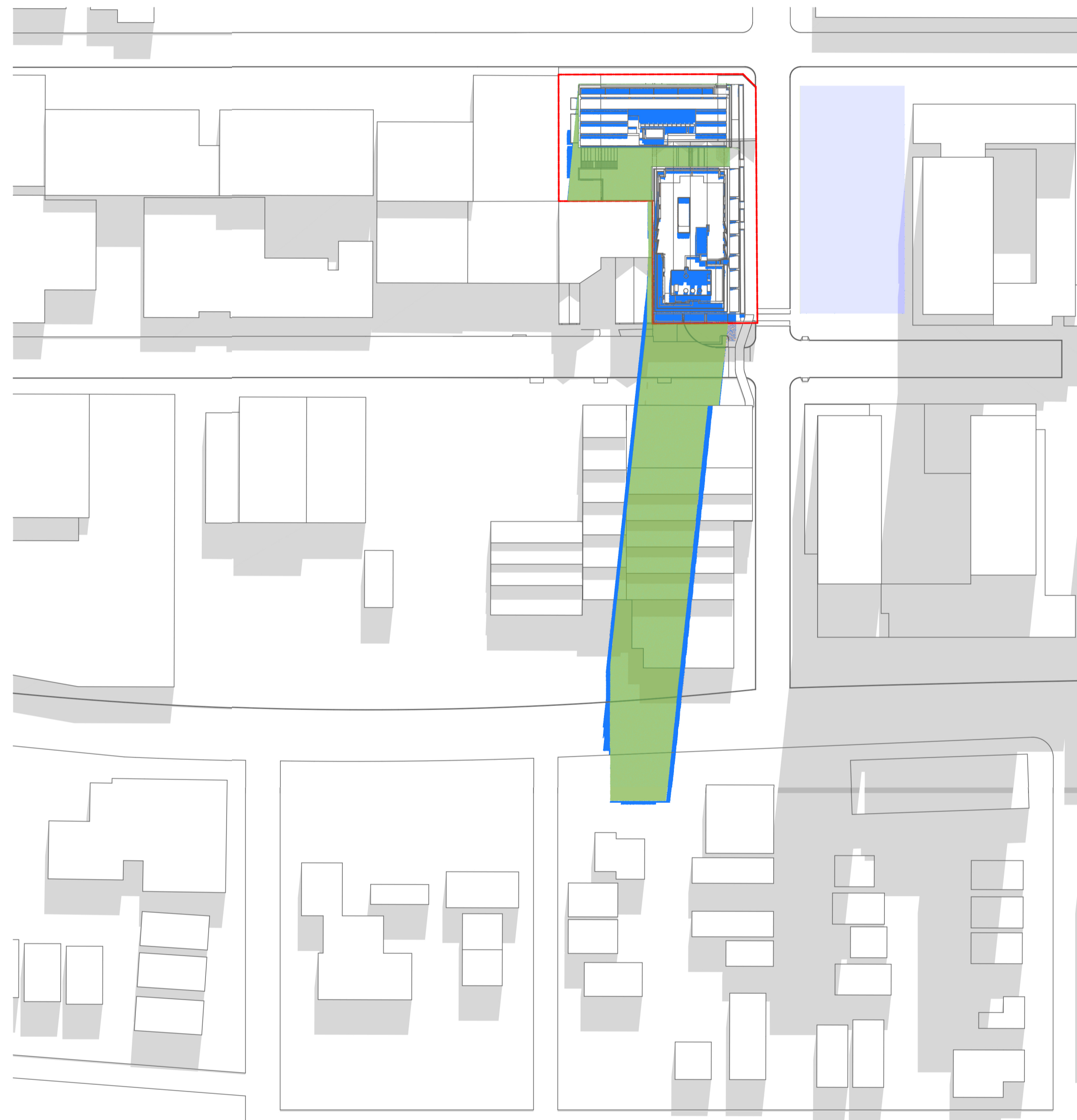
DRAWING TITLE
SHADOW DIAGRAMS - 02

SCALE
 1:1000, 1:1 @ A1 Size

NORTHPOINT



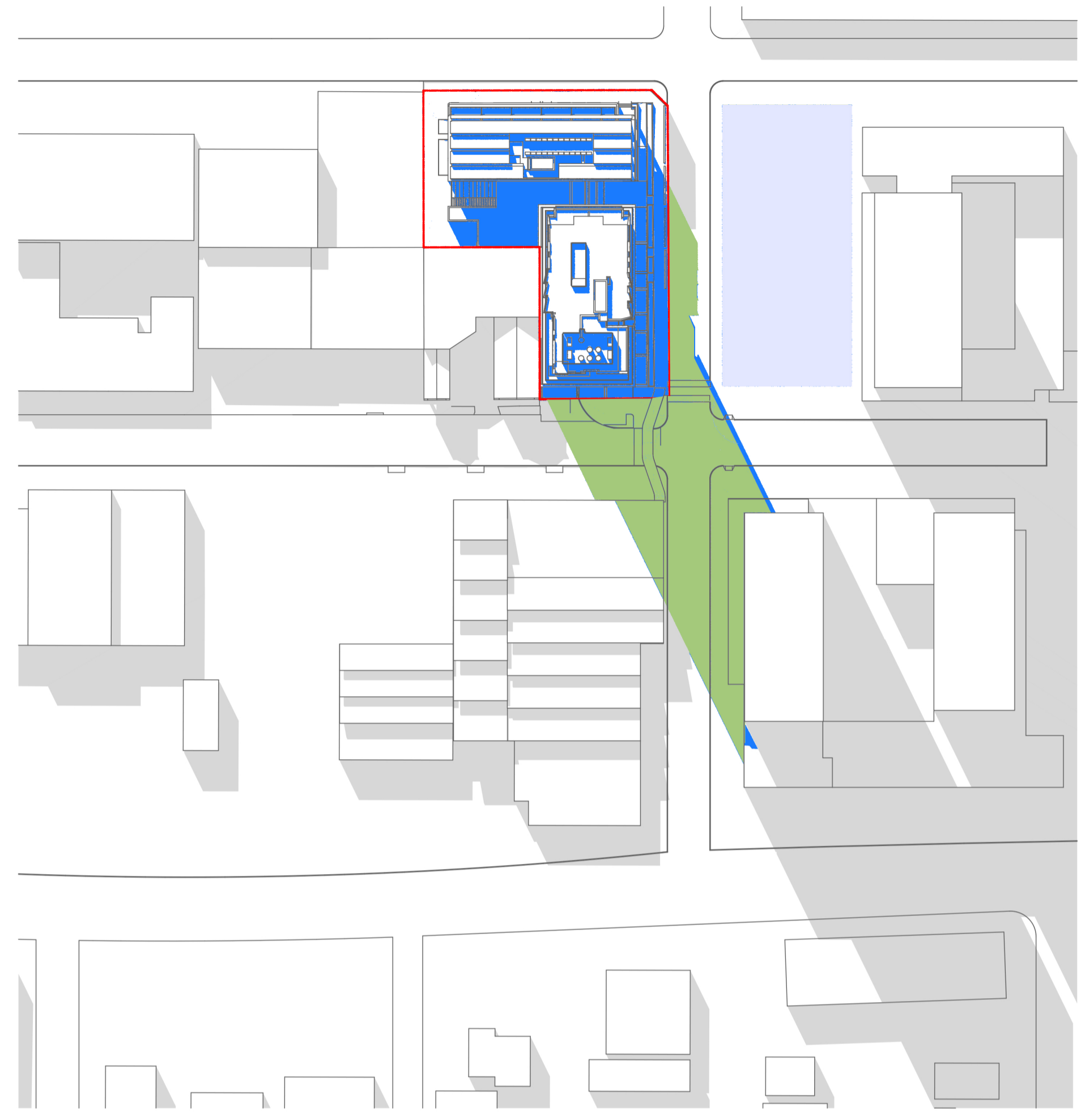
PROJECT NUMBER 20830	STAGE SSDA
DRAWING NUMBER DA-0512	REVISION B



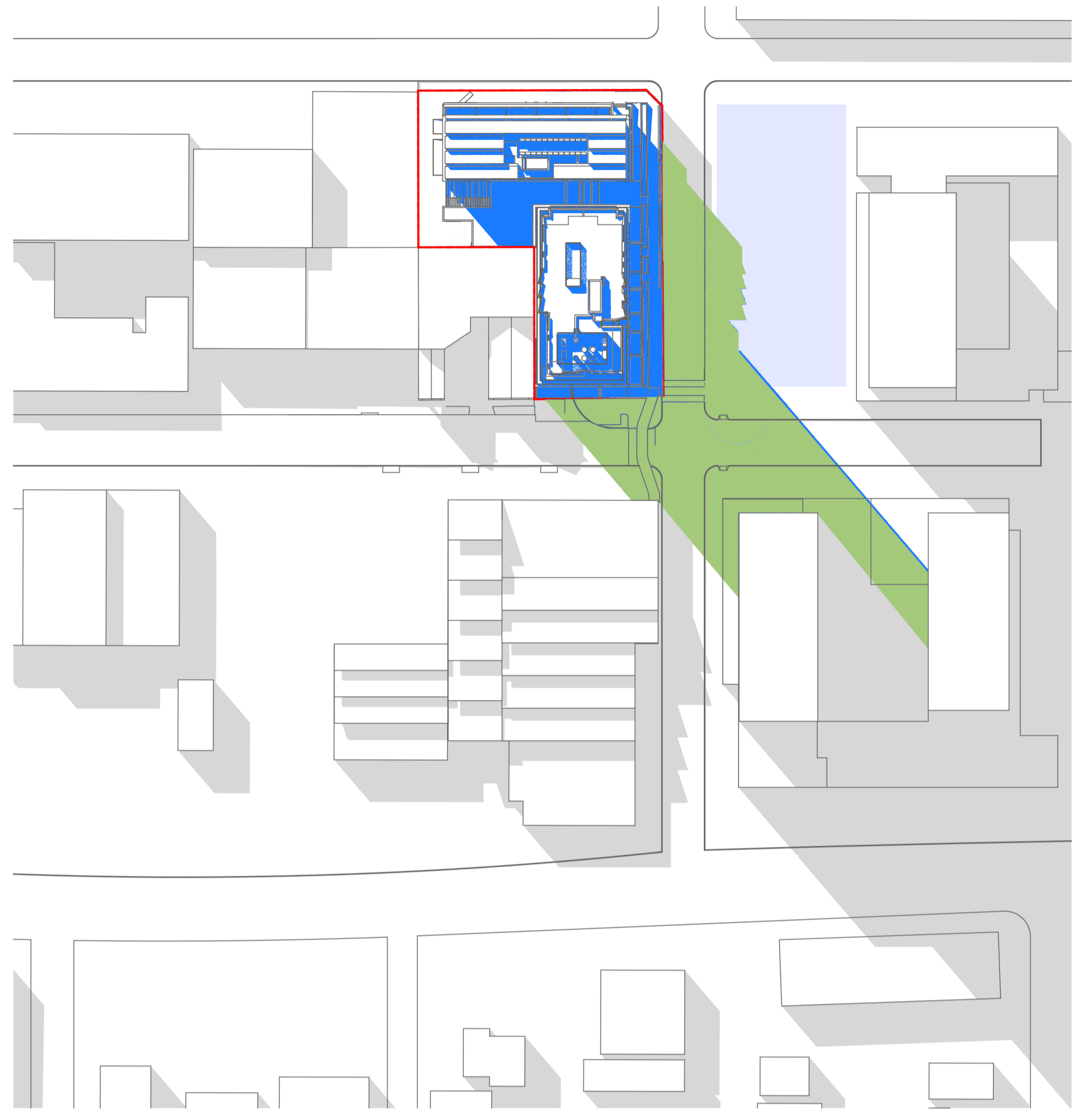
M J gr.kb-ONHN j pA-E-NMM

M J gr.kb-ONHN j pA-E-NMM

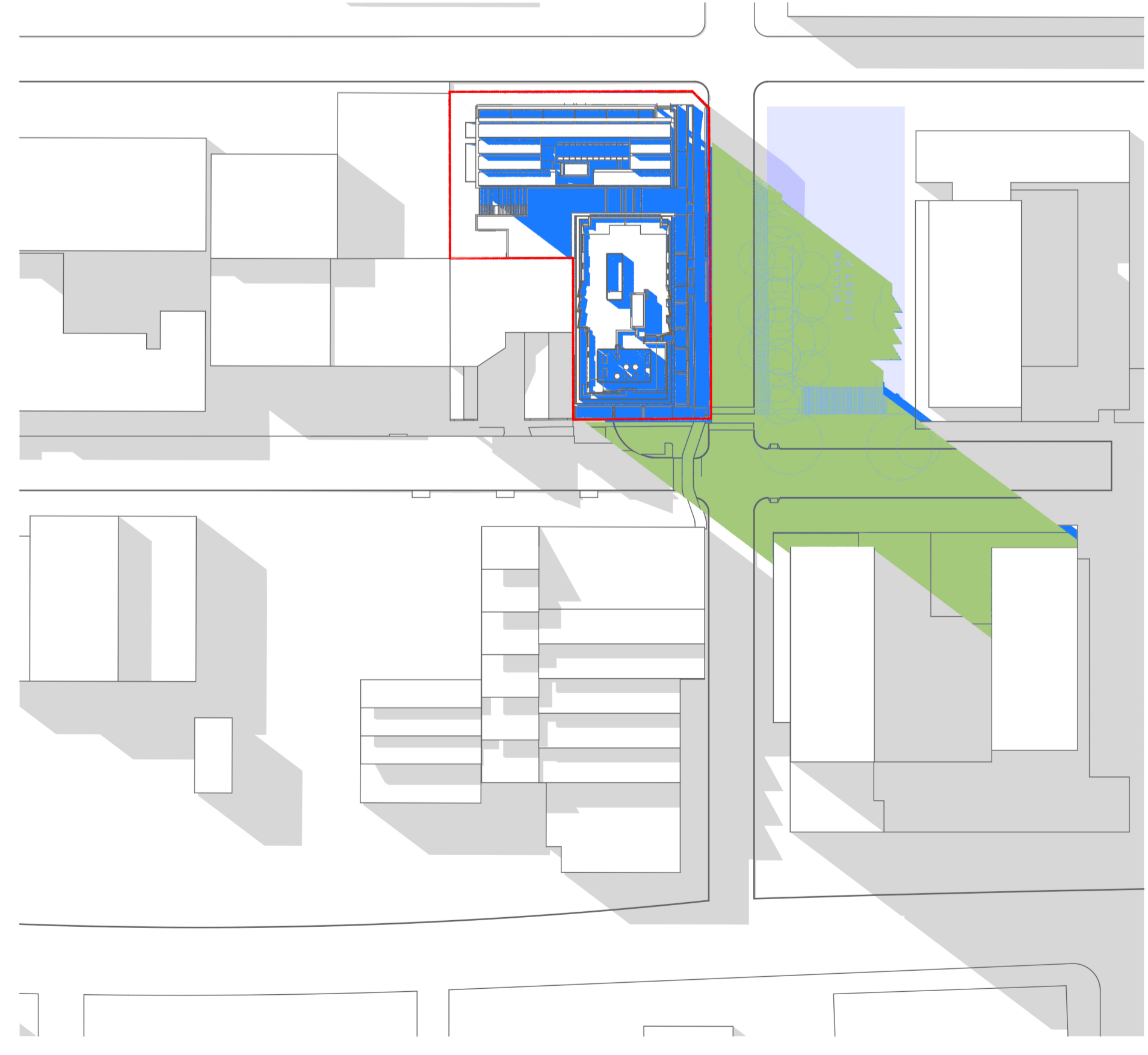
- PROPOSED SHADOWS
- DCP EXPECTED SHADOWS
- EXISTING SHADOWS
- FUTURE PARK



MR J gr kb ONHnj
pA-E-NMM



MS J gr kb ONHnj
pA-E-NMM



MR J gr kb ONHnj
pA-E-NMM

- PROPOSED SHADOWS
- DCP EXPECTED SHADOWS
- EXISTING SHADOWS
- FUTURE PARK

REV	Issue Date	DESCRIPTION	BY	CHK
A	25/03/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to reuse the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING BEAM beam@beamplanning.com.au	BCA PHILIP CHUN (02) 9412 2322
STRUCTURE EI AUSTRALIA (02) 9516 0722	DDA PDM - Projected Design Management 0400 009 210
SERVICES IGS - Integrated Group Services (02) 8488 4600	TRAFFIC TTPP - Transport Planning (02) 8437 7800
LANDSCAPE LAND + FORM hello@land-form.com.au	ESD EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects
Gabriel Duppe 1622
Amls Julia 1002
Rido Pin 1026
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio is a trademark of Plus Architecture International Pty Ltd.

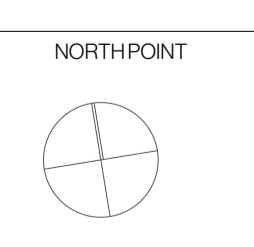
PLUS
STUDIO

PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED JW	CHECKED JW	DRAWN LS

DRAWING TITLE
SHADOW DIAGRAMS - 03

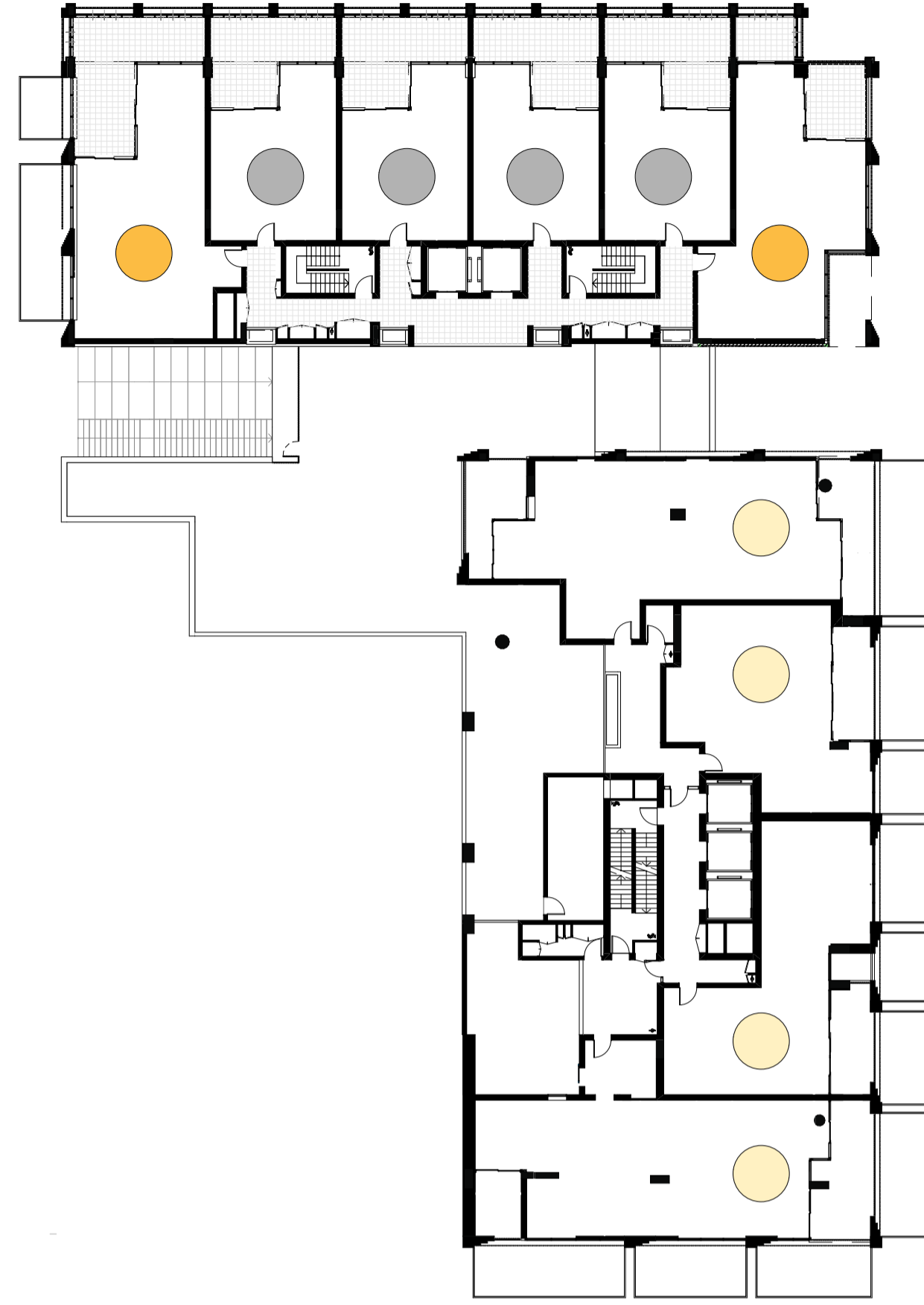
SCALE
1:1000, 1:1 @ A1 Size



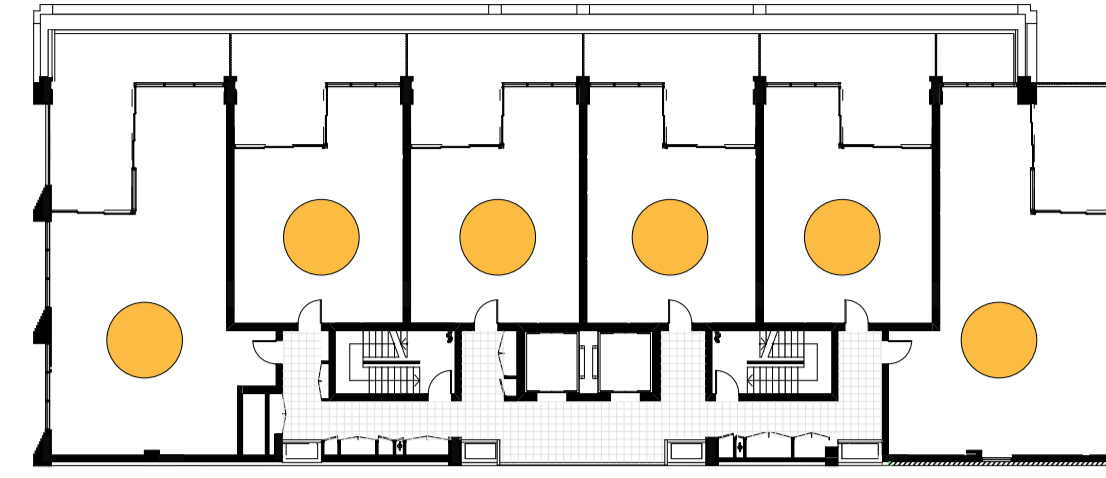
PROJECT NUMBER 20830	STAGE SSDA
DRAWING NUMBER DA-0513	REVISION A

TOTAL APARTMENTS: 134

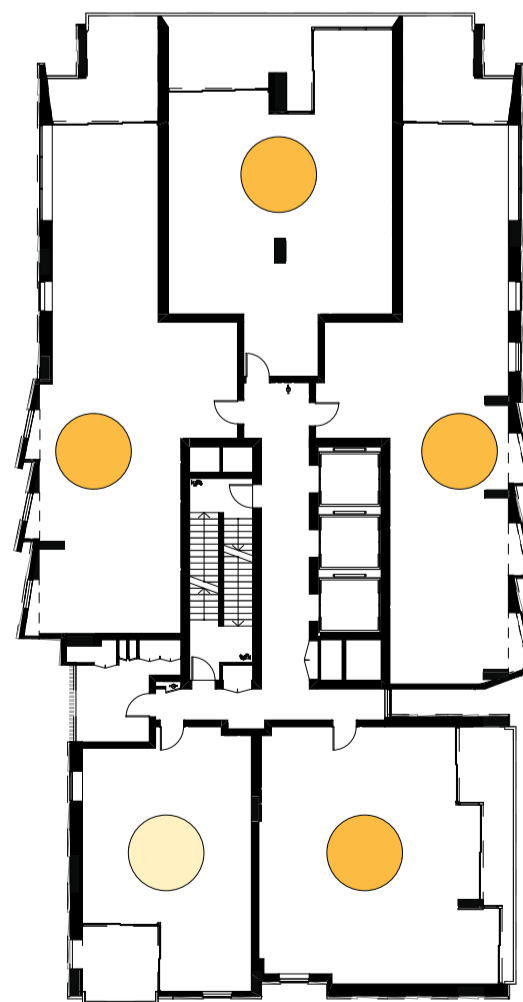
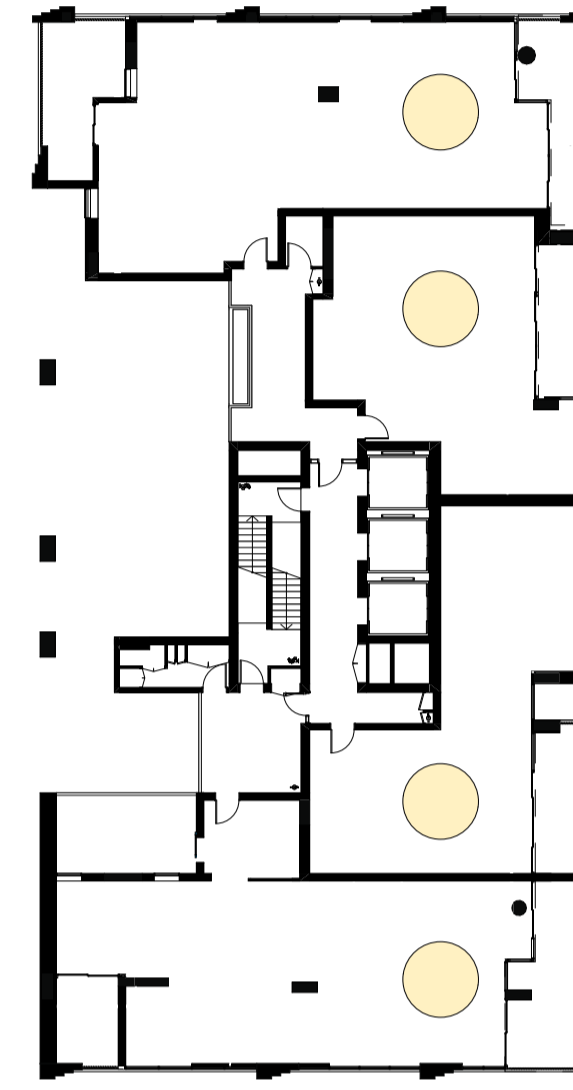
TOTAL 2H SOLAR ACCESS: 97 APTS / 72%
 TOTAL <2H SOLAR ACCESS: 33 / 25%
 TOTAL NO SOLAR ACCESS: 4 / 3%



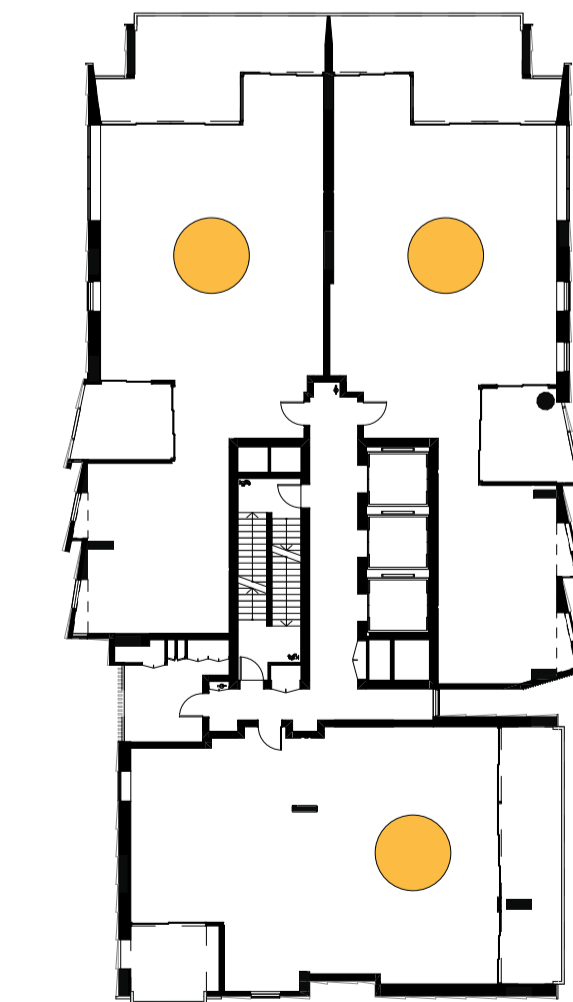
01 LEVEL 01
SCALE: 1:300@A1



02 TYPICAL LEVEL 02-04
SCALE: 1:300@A1



03 TYPICAL LEVEL 06-21
SCALE: 1:300@A1



04 TYPICAL LEVEL 23-25
SCALE: 1:300@A1

● ≥ 2 HOUR SUN
 ● < 2 HOUR SUN
 ● NO SUN

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING BEAM beam@beamplanning.com.au	BCA PHILIP CHUN (02) 9412 2322
STRUCTURE EI AUSTRALIA (02) 9516 0722	DDA PDM - Projected Design Management 0400 009 210
SERVICES IGS - Integrated Group Services (02) 8488 4600	TRAFFIC TTPP - Transport Planning (02) 8437 7800
LANDSCAPE LAND + FORM hello@land-form.com.au	ESD EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadigal Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects:
 Gabriel Duppe 1622
 Arch Julia 1002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

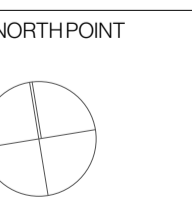


PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
SOLAR AMENITY DIAGRAMS

SCALE
 1:300 @ A1 Size

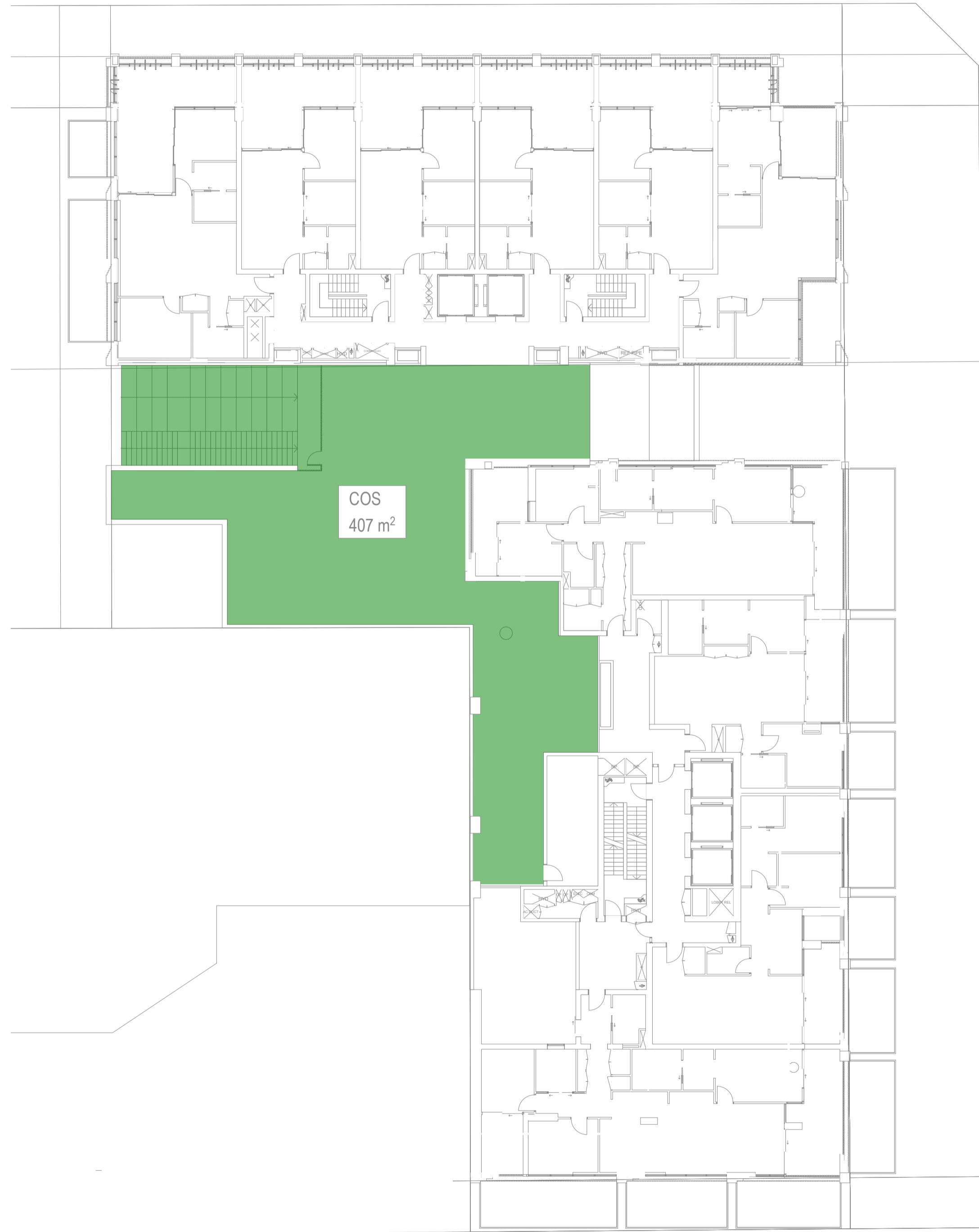


PROJECT NUMBER 20830	STAGE SSDA
DRAWING NUMBER DA-0521	REVISION A

SITE AREA: **3,158.4 m²**
 MINIMUM COS: **25% / 790 m²**
 MINIMUM COS TO ACHIEVE 2HR OF SOLAR ACCESS: **395 m²**
 PROVIDED COS: **874 m² (27% OF SITE AREA)**

SUMMARY

■ OUTDOOR COMMUNAL SPACE	
■ INDOOR COMMUNAL SPACE	
L1 COMMUNAL OUTDOOR	407 m ²
L5 COMMUNAL OUTDOOR	467 m ²
L5 COMMUNAL INDOOR	93 m ²
TOTAL COMMUNAL OPEN SPACE	874 m²
TOTAL COMMUNAL AREA	967 m²



01 LEVEL 01
SCALE: 1:200@A1



02 LEVEL 05
SCALE: 1:200@A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING
 BEAM PHILIP CHUN
 beam@beamplanning.com.au (02) 9412 2322

STRUCTURE
 EI AUSTRALIA
 (02) 9516 0722

DDA
 PDM - Projected Design Management
 0400 009 210

SERVICES
 IGS - Integrated Group Services
 (02) 8488 4600

TRAFFIC
 TTPP - Transport Planning
 (02) 8437 7800

LANDSCAPE
 LAND + FORM
 hello@land-form.com.au

ESD
 EFFICIENT LIVING
 (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadigal Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects
 Gabriel Duppe 1622
 Arch Julia 1002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.



PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

CLIENT
 DPG PROJECT 37 PTY LTD

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
COMMUNAL OUTDOOR
CALCULATION

SCALE
 1:200 @A1 Size

NORTHPOINT

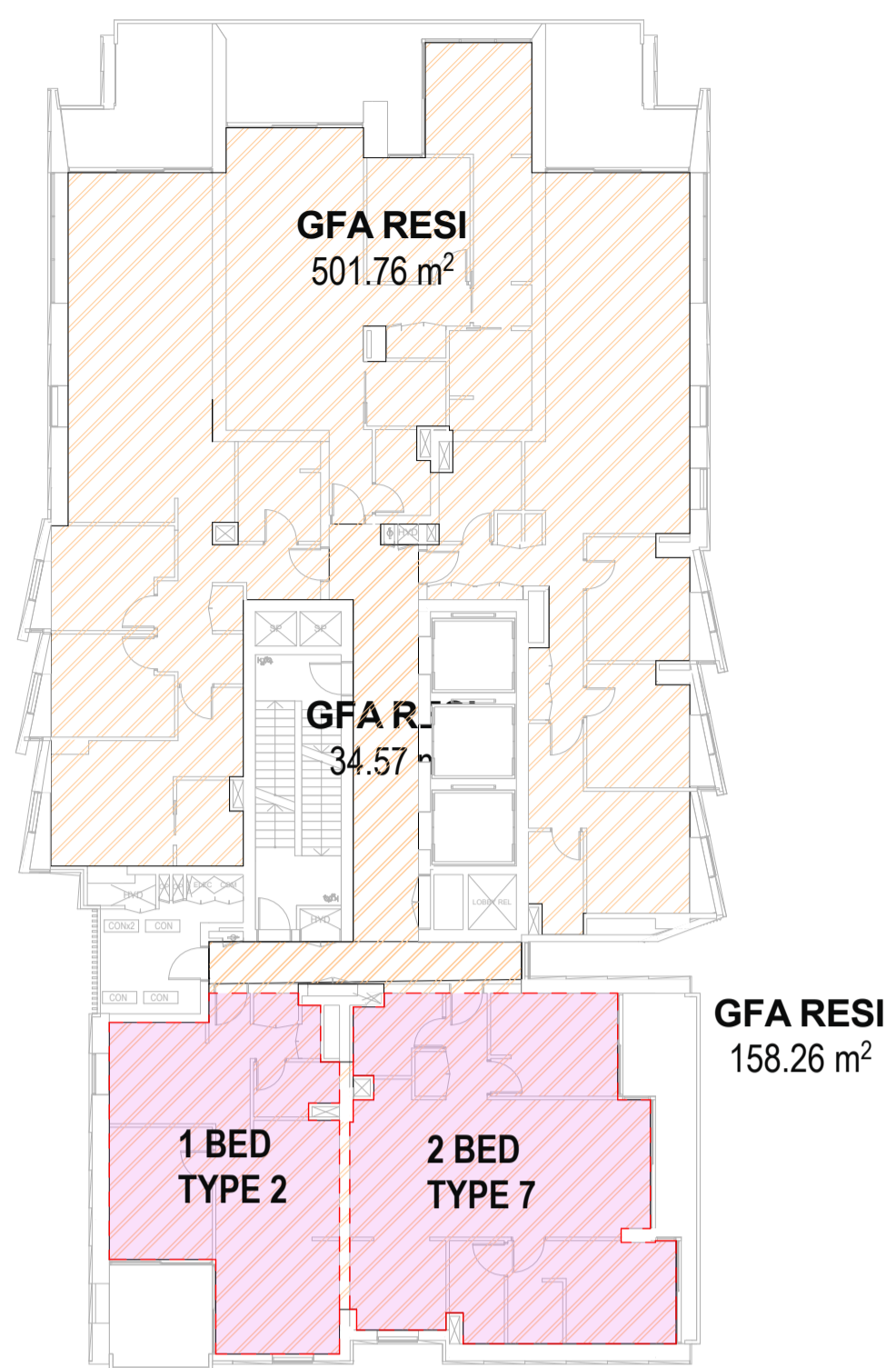
PROJECT NUMBER
20830

STAGE
SSDA

DRAWING NUMBER
DA-0523

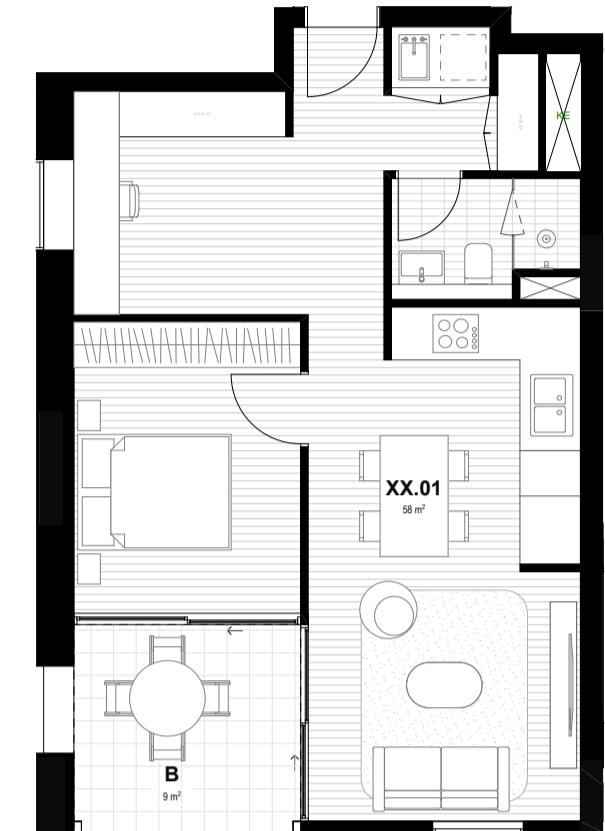
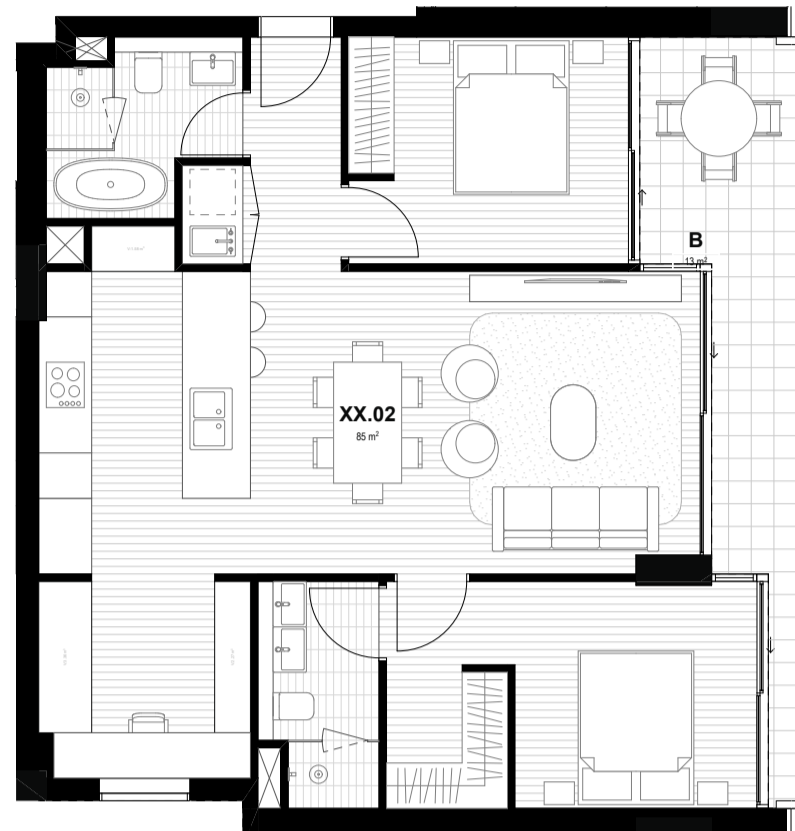
REVISION
A

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS, AO	JW

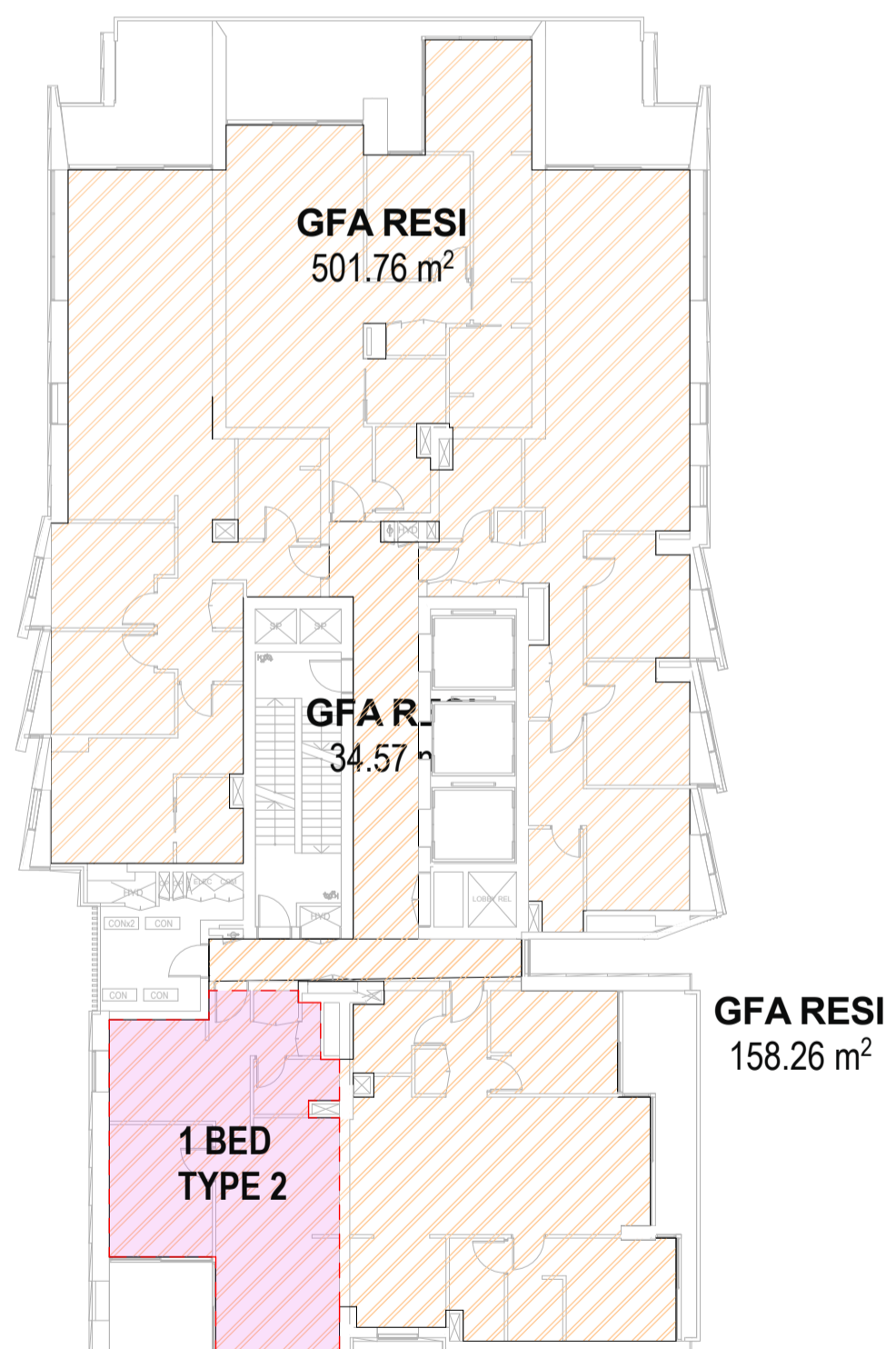


2 BED TYPE 7 - 85.4m²
 TOWER TYPICAL
 MID RISE - L6-18
 AFFORDABLE HOUSING

1 BED TYPE 2 - 57.5m²
 TOWER TYPICAL
 MID RISE - L6-19
 AFFORDABLE HOUSING



01 TYPICAL LEVEL 06-18
 Scale 1:200



MAXIMUM GFA
PROPOSED TOTAL GFA
PROPOSED RESIDENTIAL GFA

14,227.01 m²
14,218.04 m²
13,810.24 m²

PROPOSED TOTAL SSD AFFORDABLE HOUSING (STATE)

2,143.69 m²
 (GFA IS CALCULATED AT A PRO-RATA RATE BASED ON THE PROPORTION OF UNIT AREAS PER FLOOR)

PROPOSED AFFORDABLE HOUSING PERCENTAGE OF OVERALL GFA

15%

01 TYPICAL LEVEL 19
 Scale 1:200

- RESIDENTIAL GFA
- PROPOSED AFFORDABLE HOUSING UNITS

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to reuse the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING
 BEAM
 beam@beamplanning.com.au

BCA
 PHILIP CHUN
 (02) 9412 2322

STRUCTURE
 EI AUSTRALIA
 (02) 9516 0722

DDA
 PDM - Projected Design Management
 0400 009 210

SERVICES
 IGS - Integrated Group Services
 (02) 8488 4600

TRAFFIC
 TTPP - Transport Planning
 (02) 8437 7800

LANDSCAPE
 LAND + FORM
 hello@land-form.com.au

ESD
 EFFICIENT LIVING
 (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadigal Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +612 9823 7000
 sydney@plusstudio.co

Nominated Architects:
 Gabriel Dupuis 1622
 Arts Julia 10002
 Flodo Pin 11286

Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co

© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio is a trademark of Plus Architecture International Pty Ltd.



PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

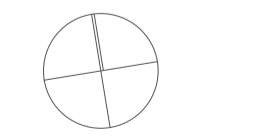
CLIENT
 DPG PROJECT 37 PTY LTD

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
GFA DIAGRAMS - AFFORDABLE HOUSING

SCALE
 1:1000, 1:100, 2:1, 1:200 @ A1 Size

NORTHPOINT

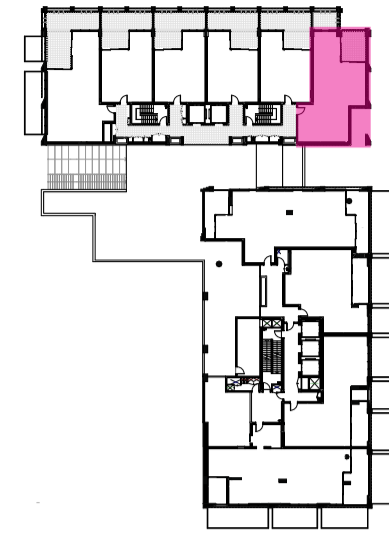


PROJECT NUMBER
20830

STAGE
SSDA

DRAWING NUMBER
DA-0604

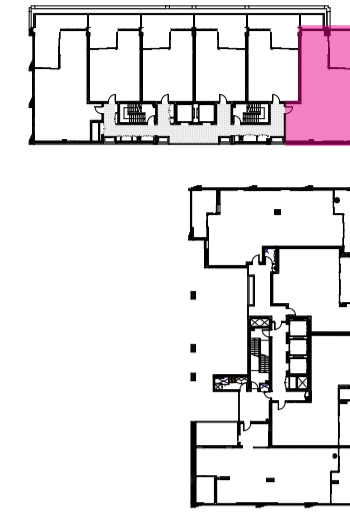
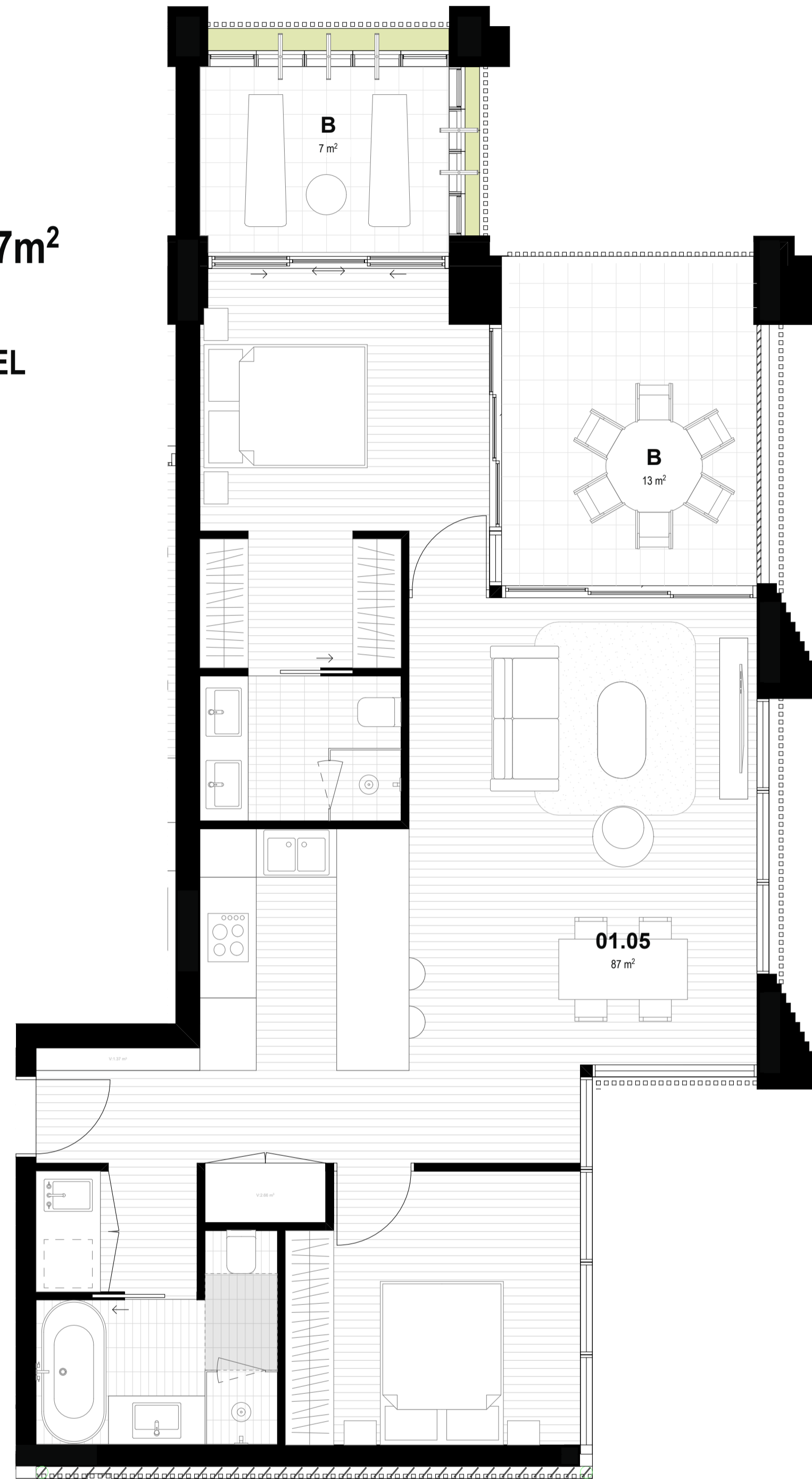
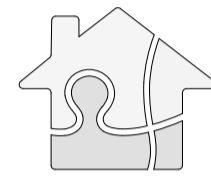
REVISION
A



2 BED TYPE 1 - 87m²

NORTH PODIUM - L1

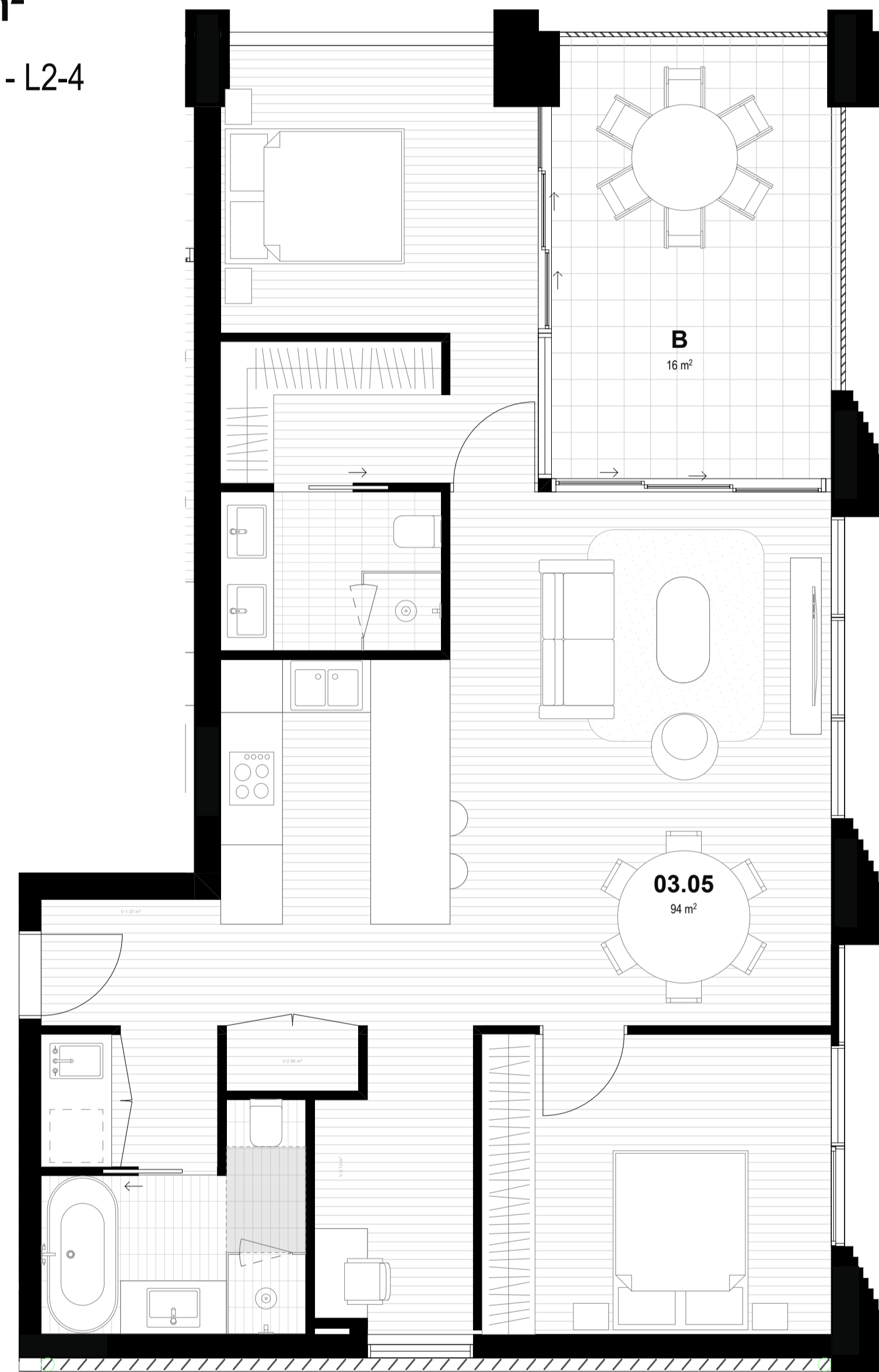
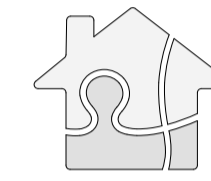
LIVABLE: SILVER LEVEL



2 BED TYPE 2 - 94m²

NORTH PODIUM TYPICAL - L2-4

LIVABLE: SILVER LEVEL



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use, to waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beampanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadgil Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects:
 Gabriel Duppe 1622
 Arndt Julia 10002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

PLUS
STUDIO

PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

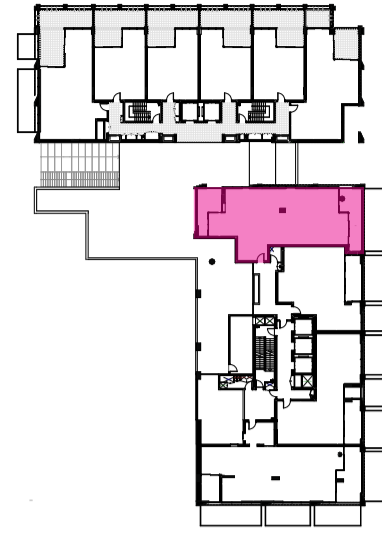
CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED JW	CHECKED JW	DRAWN LS

DRAWING TITLE
TYPOLOGIES - PODIUM NORTH 01

SCALE	NORTHPOINT
1:1000, 150 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

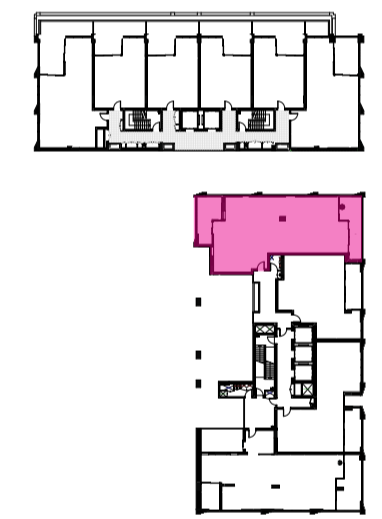
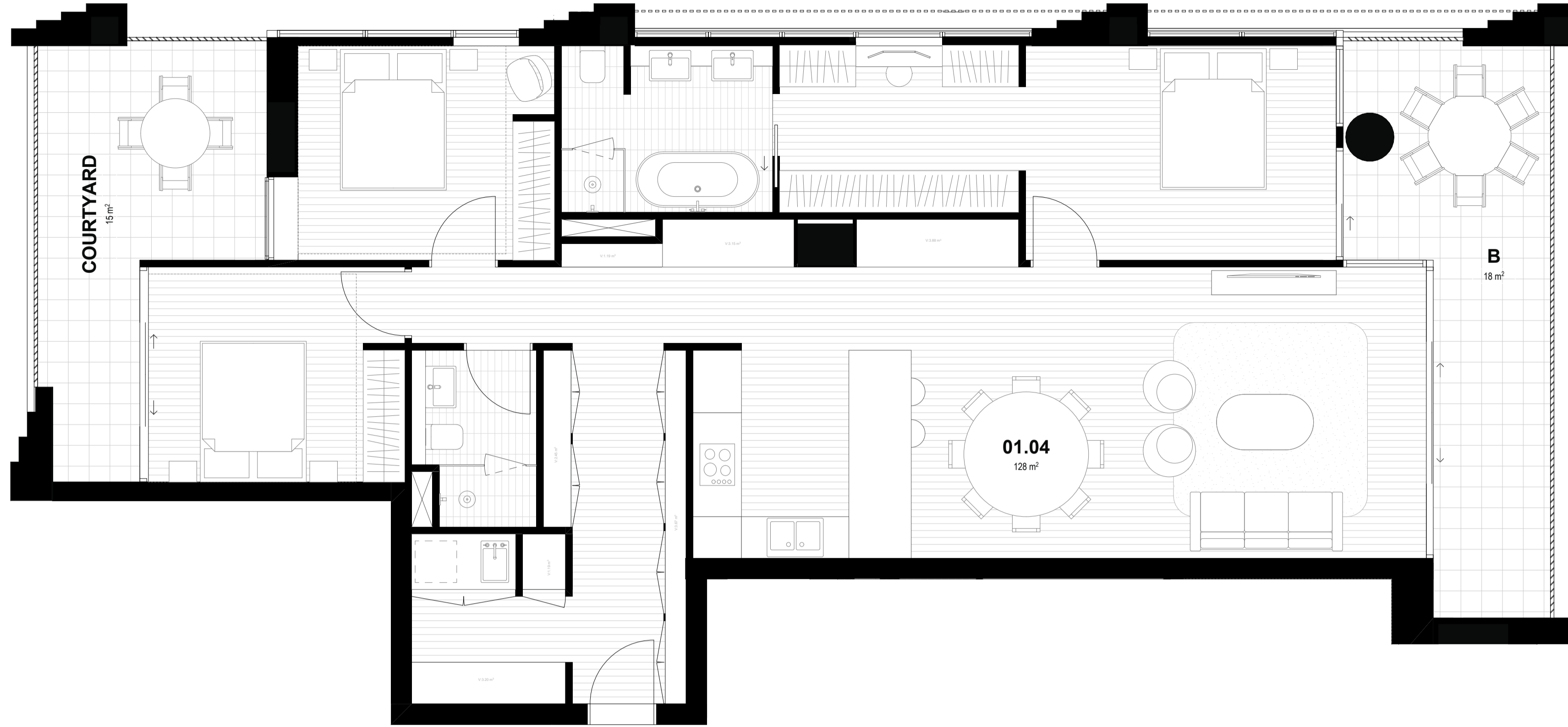
DRAWING NUMBER	REVISION
DA-0701	A



3 BED TYPE 1 - 128m²

SOUTH PODIUM - L1

ADAPTABLE



3 BED TYPE 2 - 139m²

SOUTH PODIUM - L2-4

ADAPTABLE



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW
B				

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to reuse the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

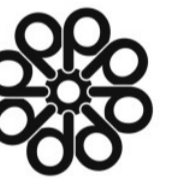
PLANNING	BCA
BEAM beam@beampanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
 PTY LTD**



ARCHITECT
EORA / SYDNEY
 Gadgil Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +612 9823 7000
 sydney@plusstudio.co
 Nominated Architects
 Gabriel Dupuis 1622
 Arnt Jukka 10002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.



PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

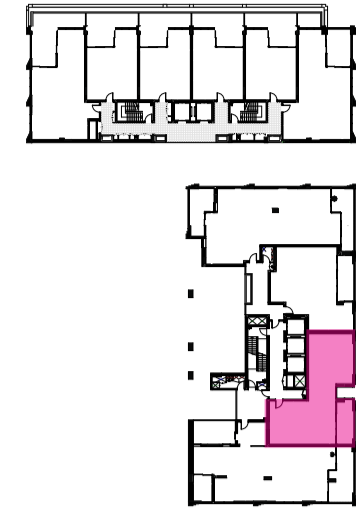
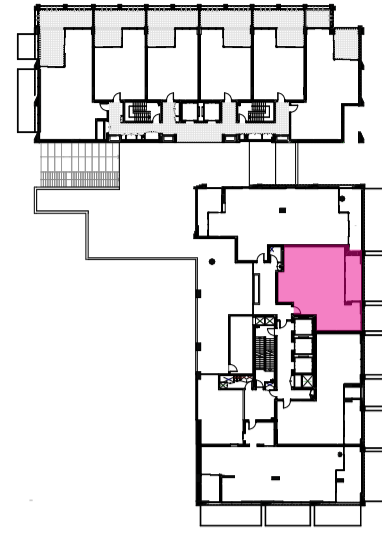
CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED JW	CHECKED JW	DRAWN LS

DRAWING TITLE
TYPOLOGIES - PODIUM SOUTH 03

SCALE	NORTHPOINT
1:1000, 150 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

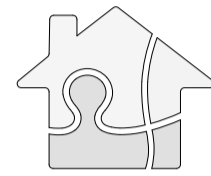
DRAWING NUMBER	REVISION
DA-0703	A



2 BED TYPE 4 - 86m²

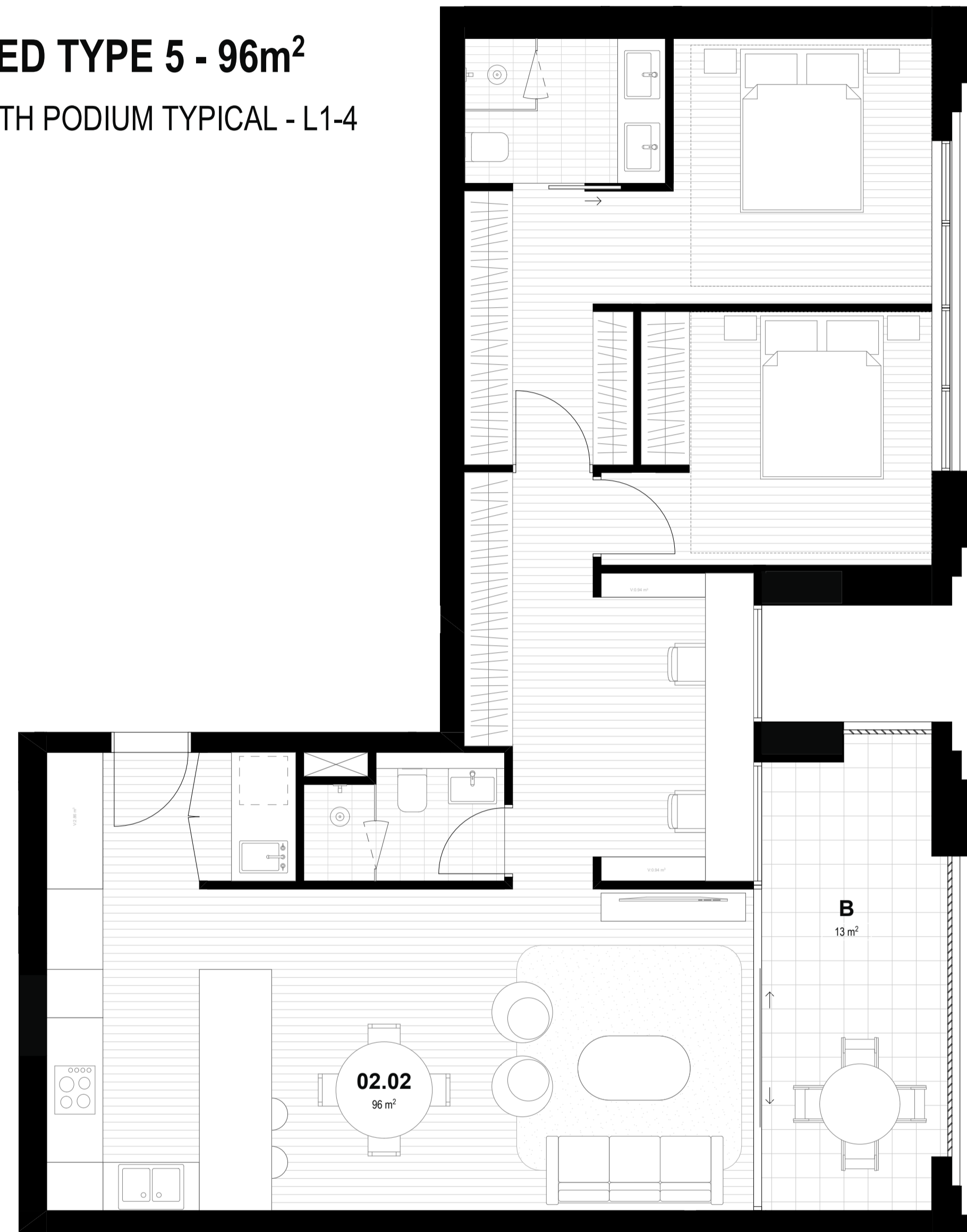
SOUTH PODIUM - L1-4

LIVABLE: SILVER LEVEL



2 BED TYPE 5 - 96m²

SOUTH PODIUM TYPICAL - L1-4



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW
B				

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

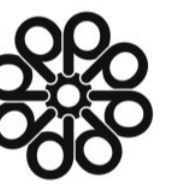
PLANNING	BCA
BEAM beam@beampanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadgil Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects:
 Gabriel Duppe 1622
 Arch Julia 1002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

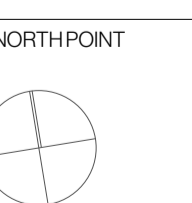
PLUS
STUDIO

PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED JW	CHECKED JW	DRAWN LS

DRAWING TITLE
TYPOLOGIES - PODIUM SOUTH 04

SCALE
 1:1000, 150 @ A1 Size

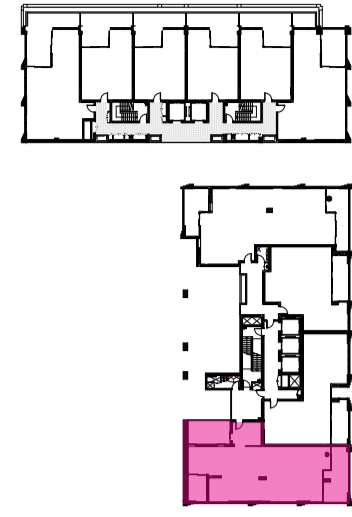


PROJECT NUMBER
20830

STAGE
SSDA

DRAWING NUMBER
DA-0704

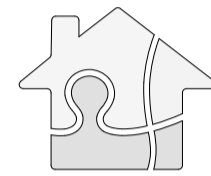
REVISION
A



3 BED TYPE 4 - 135m²

SOUTH PODIUM - L2-4

LIVABLE: SILVER LEVEL



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW
B				

DISCLAIMER
 In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

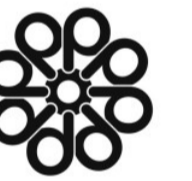
PLANNING	BCA
BEAM beam@beamplanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
DPG PROJECT 37
PTY LTD



ARCHITECT
EORA / SYDNEY
 Gadgil Country
 Level 4, 222 Clarence Street
 Sydney NSW 2000
 Australia
 +61 2 9823 7000
 sydney@plusstudio.co
 Nominated Architects
 Gabriel Duppe 1622
 Arnt Julia 10002
 Flodo Pin 11286
 Plus Architecture Pty Ltd
 ABN 40 091690 336
 plusstudio.co
 2025 © Plus Architecture International Pty Ltd. All Rights Reserved.
 Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

PLUS
STUDIO

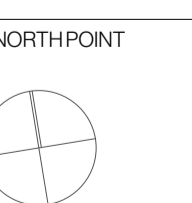
PROJECT TITLE
DPG 37
 79-81 QUEENS ROAD & 2-8 SPENCER STREET
 FIVE DOCK, NSW 2046

CLIENT
 DPG PROJECT 37 PTY LTD

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
TYPOLOGIES - PODIUM SOUTH 06

SCALE
 1:1000, 150 @ A1 Size

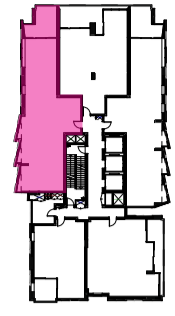


PROJECT NUMBER
20830

STAGE
SSDA

DRAWING NUMBER
DA-0706

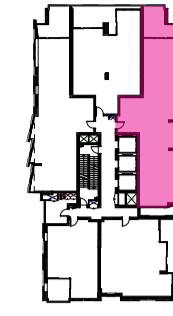
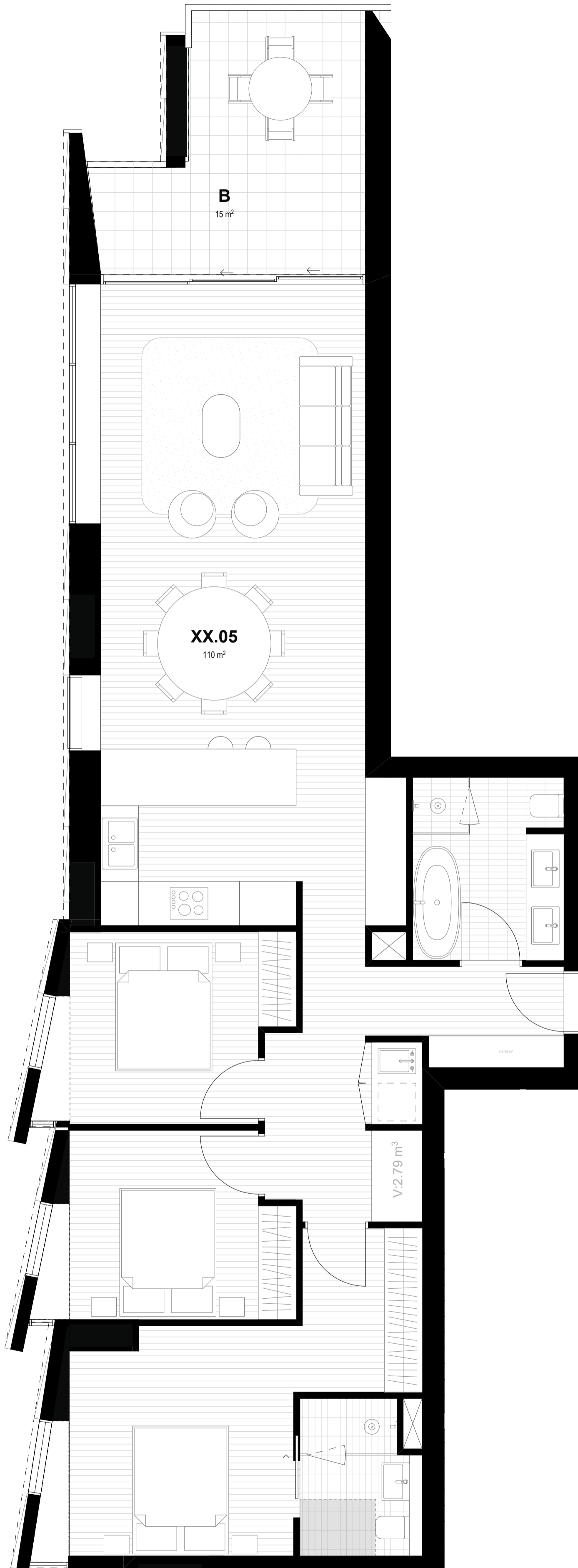
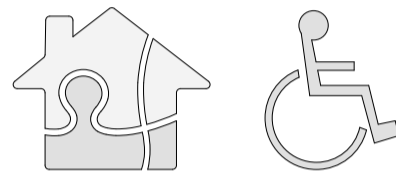
REVISION
A



3 BED TYPE 5 - 110m²

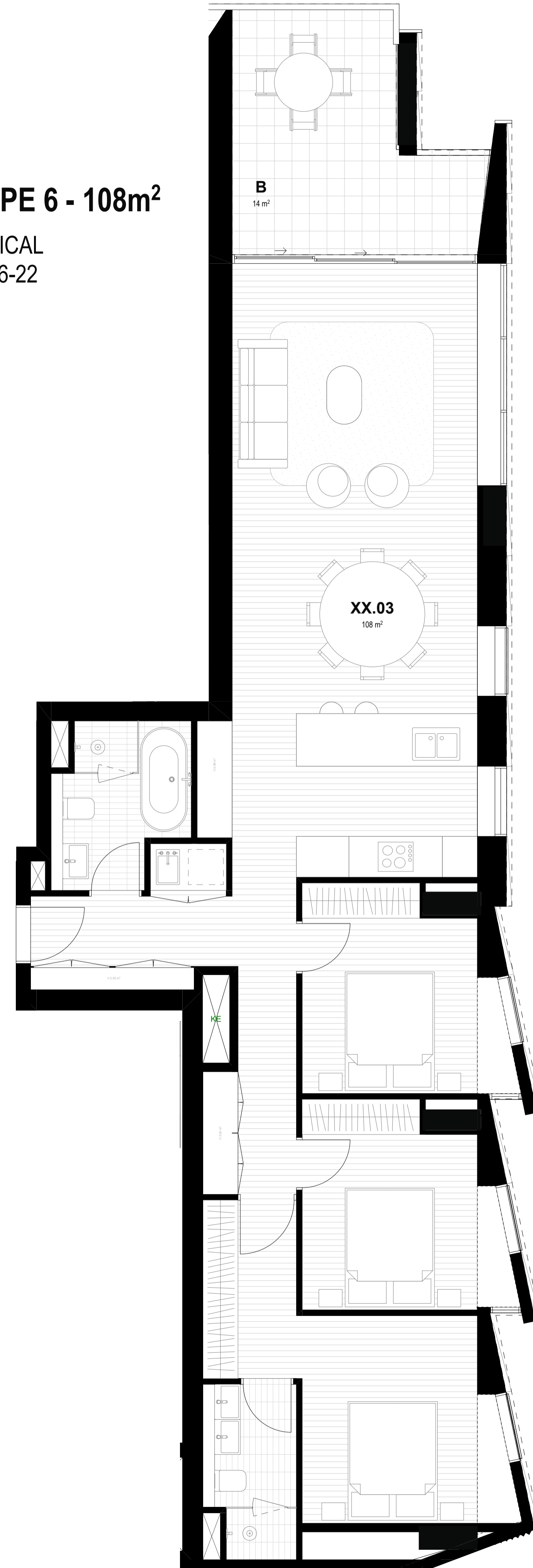
TOWER TYPICAL
MID RISE - L6-22

LIVABLE: SILVER LEVEL
ADAPTABLE



3 BED TYPE 6 - 108m²

TOWER TYPICAL
MID RISE - L6-22



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to reuse the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beampanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTTP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects
Gabriel Duppe 1622
Amla Julia 10002
Flodo Pin 11286
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio® is a trademark of Plus Architecture International Pty Ltd.



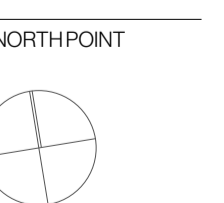
PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

CLIENT
DPG PROJECT 37 PTY LTD

APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
TYPOLOGIES - TOWER - MID RISE 02

SCALE
1:1000, 150 @ A1 Size

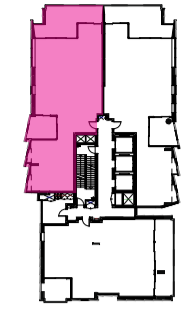


PROJECT NUMBER
20830

STAGE
SSDA

DRAWING NUMBER
DA-0708

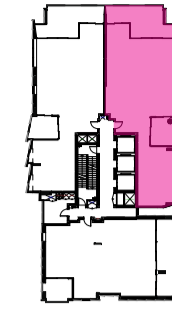
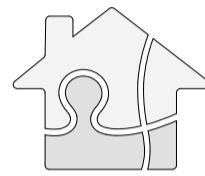
REVISION
A



**3 BED
TYPE 8 - 145m²**

TOWER TYPICAL
HIGH RISE - L23-25

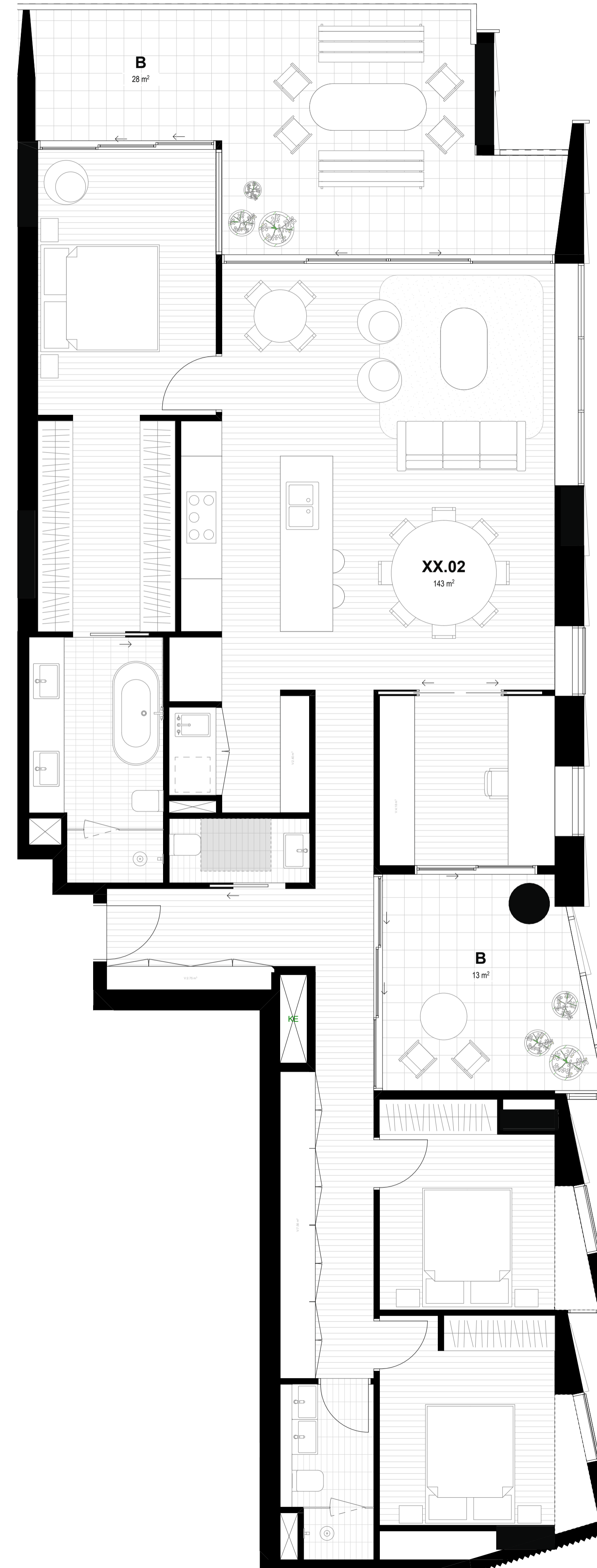
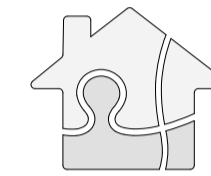
LIVABLE: SILVER LEVEL



**3 BED
TYPE 9 - 143m²**

TOWER TYPICAL
HIGH RISE - L23-25

LIVABLE: SILVER LEVEL



REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to reuse the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beamplanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTTP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects:
Gabriel Duppe 1622
Amla Jukka 10002
Rido Pin 11286
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

**PLUS
STUDIO**

PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

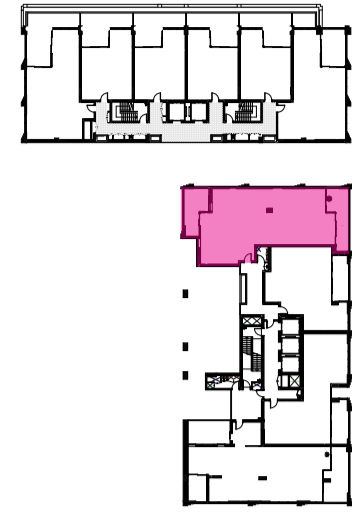
CLIENT		
DPG PROJECT 37 PTY LTD		
APPROVED JW	CHECKED JW	DRAWN LS

DRAWING TITLE
**TYPOLOGIES - TOWER - HIGH RISE
02**

SCALE	NORTHPOINT
1:1000, 150 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

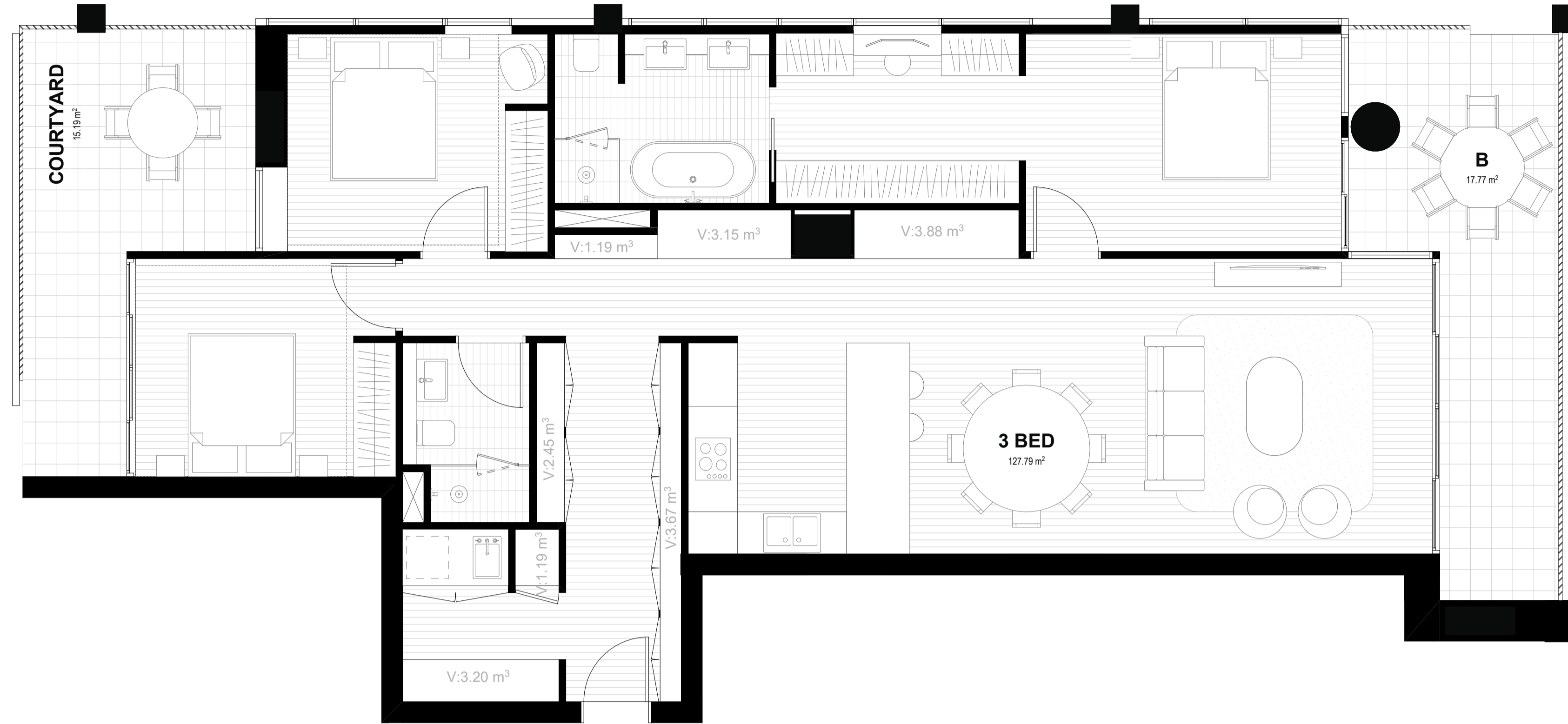
DRAWING NUMBER	REVISION
DA-0710	A



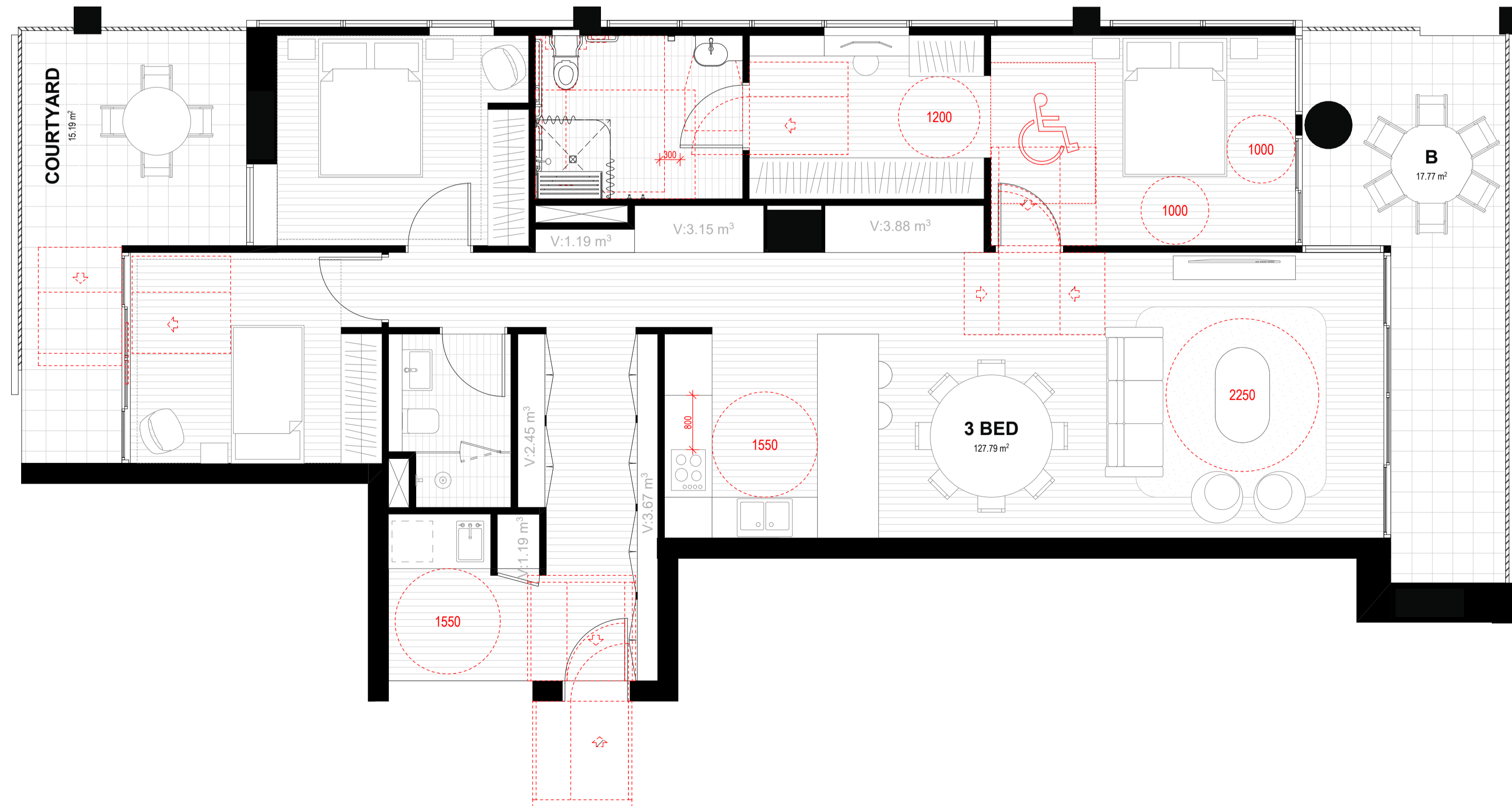
3 BED TYPE 1 - 128m²

SOUTH PODIUM - L1

ADAPTABLE



01 3B TYPE 2 - PRE-ADAPTATION
SCALE: 1:50@A1



02 3B TYPE 2 - POST-ADAPTATION
SCALE: 1:50@A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beampanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects:
Gabriel Duggie 1622
Amla Julia 1002
Rido Pin 11286
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

**PLUS
STUDIO**

PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

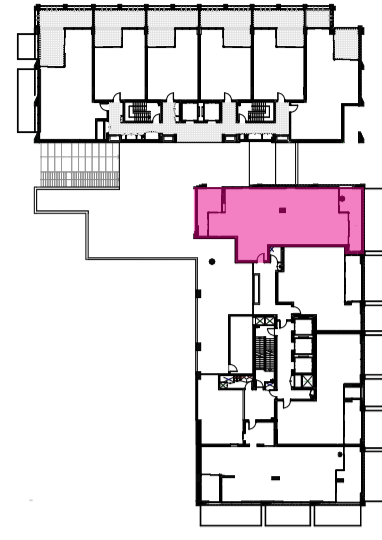
CLIENT	APPROVED	CHECKED	DRAWN
DPG PROJECT 37 PTY LTD	JW	JW	LS

DRAWING TITLE
**TYPOLOGIES - ADAPTABLE APTS -
3B T1**

SCALE	NORTH POINT
1:1000, 1:50 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

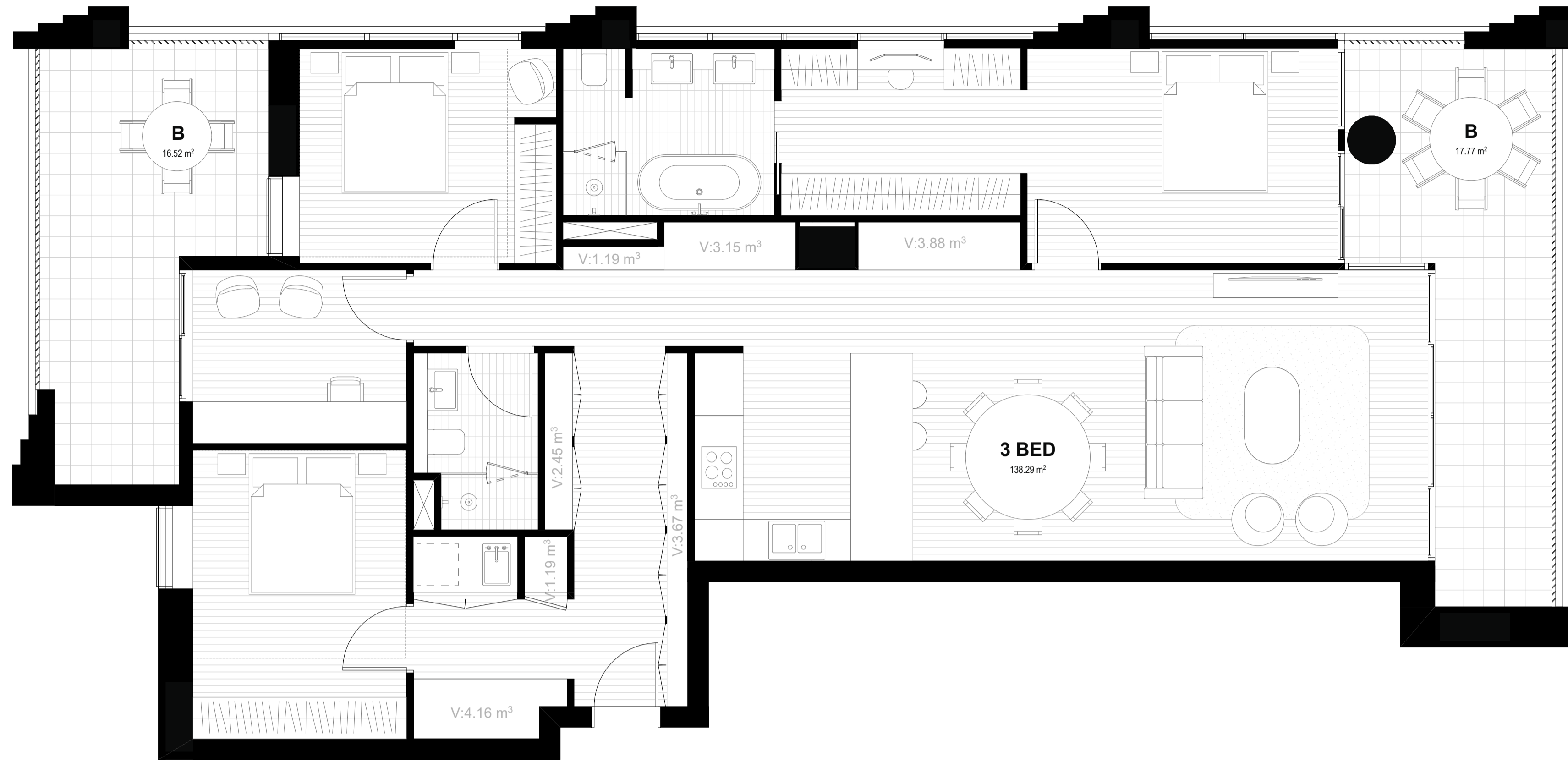
DRAWING NUMBER	REVISION
DA-0750	A



3 BED TYPE 2 - 138m²

SOUTH PODIUM - L1

ADAPTABLE



01 3B TYPE 1 - PRE-ADAPTATION
SCALE: 1:50@A1



02 3B TYPE 1 - POST-ADAPTATION
SCALE: 1:50@A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive all claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beamplanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTTP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects
Gabriel Duppe 1622
Aml Jukka 10002
Rido Pin 11286
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio is a trademark of Plus Architecture International Pty Ltd.



PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

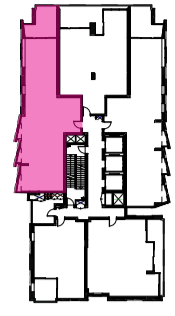
APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
**TYPOLOGIES - ADAPTABLE APTS -
3B T2**

SCALE	NORTHPOINT
1:1000, 150 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

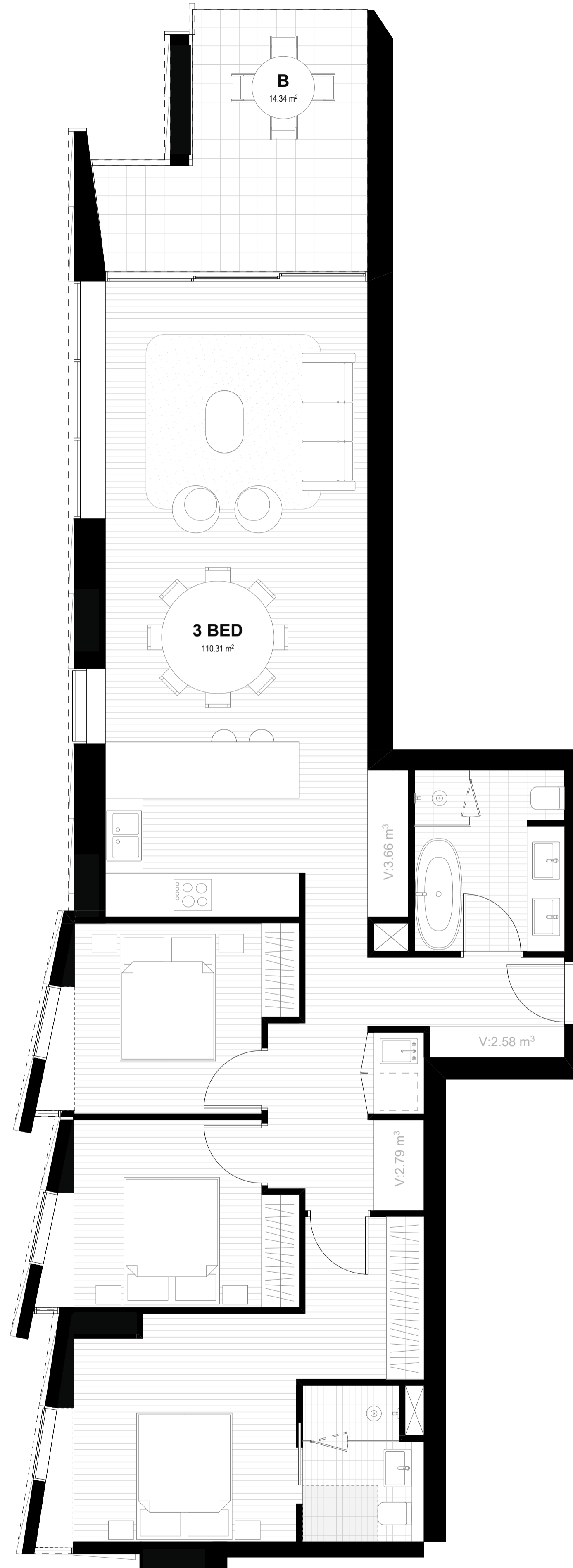
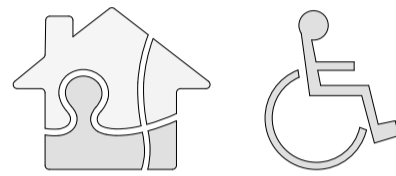
DRAWING NUMBER	REVISION
DA-0751	A



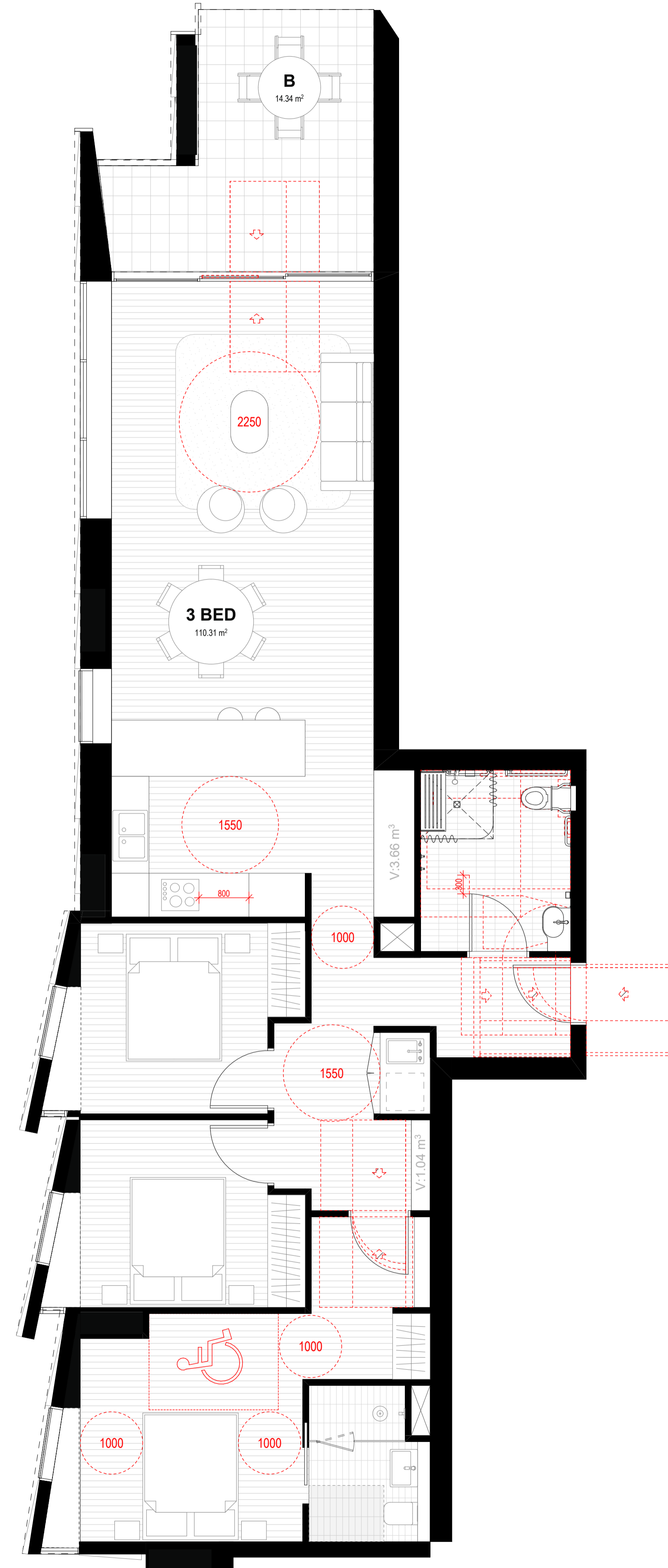
3 BED TYPE 5 - 110m²

TOWER TYPICAL
MID RISE - L6-22

LIVABLE: SILVER LEVEL
ADAPTABLE



01 3B TYPE 5 - PRE-ADAPTATION
SCALE: 1:50@A1



02 3B TYPE 5 - POST-ADAPTATION
SCALE: 1:50@A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. Plus Studio shall not be liable for any loss or damage, including consequential, special, or exemplary damages, arising from the use of this document. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

PLANNING	BCA
BEAM beam@beamplanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects
Gabriel Duppe 1622
Amls Julia 1002
Flodo Pin 1026
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
© 2025 Plus Architecture International Pty Ltd. All Rights Reserved.
Plus Studio® is a trademark of Plus Architecture International Pty Ltd.

**PLUS
STUDIO**

PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

CLIENT
DPG PROJECT 37 PTY LTD

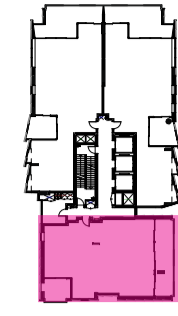
APPROVED	CHECKED	DRAWN
JW	JW	LS

DRAWING TITLE
**TYPOLOGIES - ADAPTABLE APTS -
3B T5**

SCALE	NORTH POINT
1:1000, 150 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

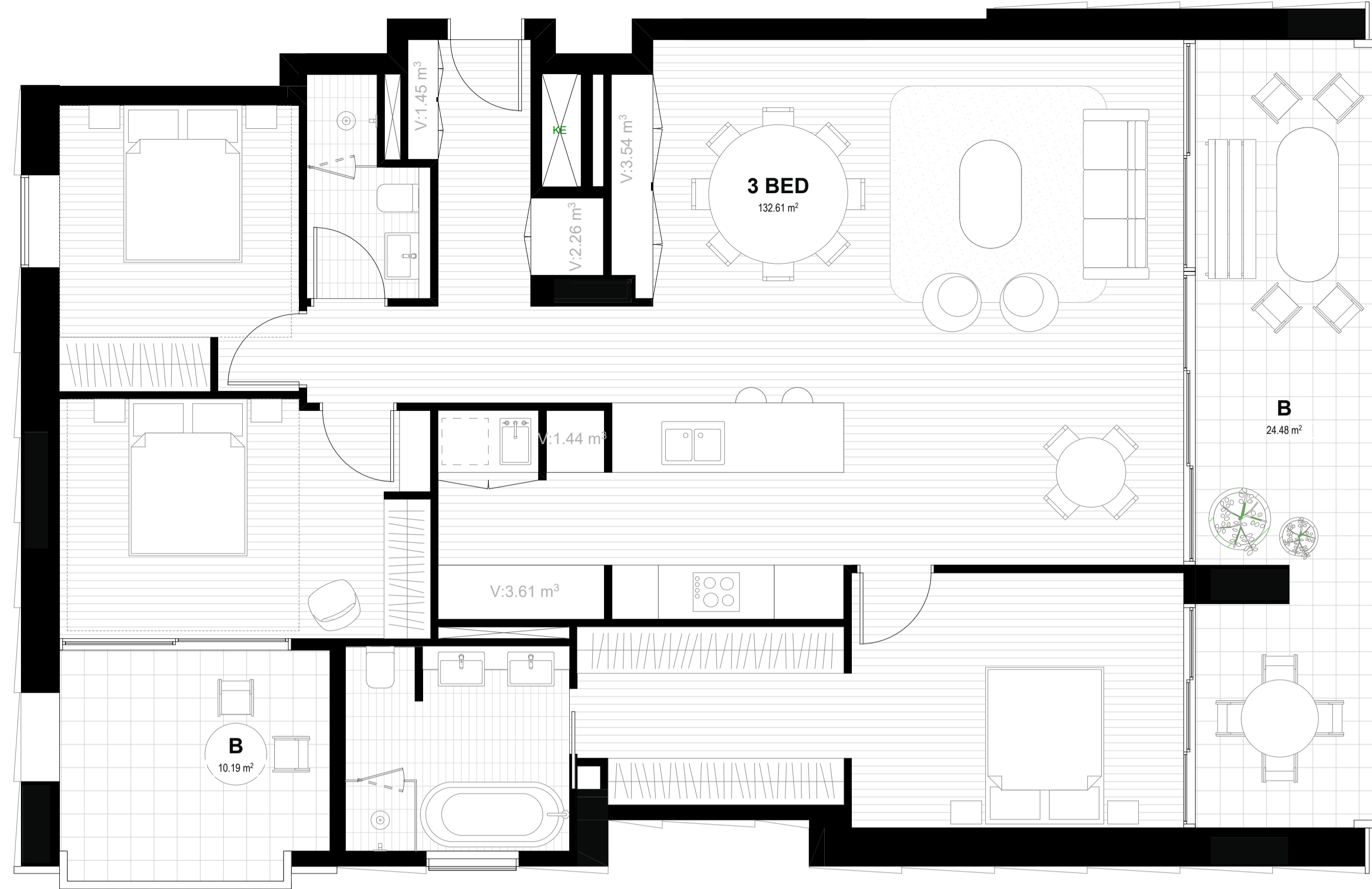
DRAWING NUMBER	REVISION
DA-0752	A



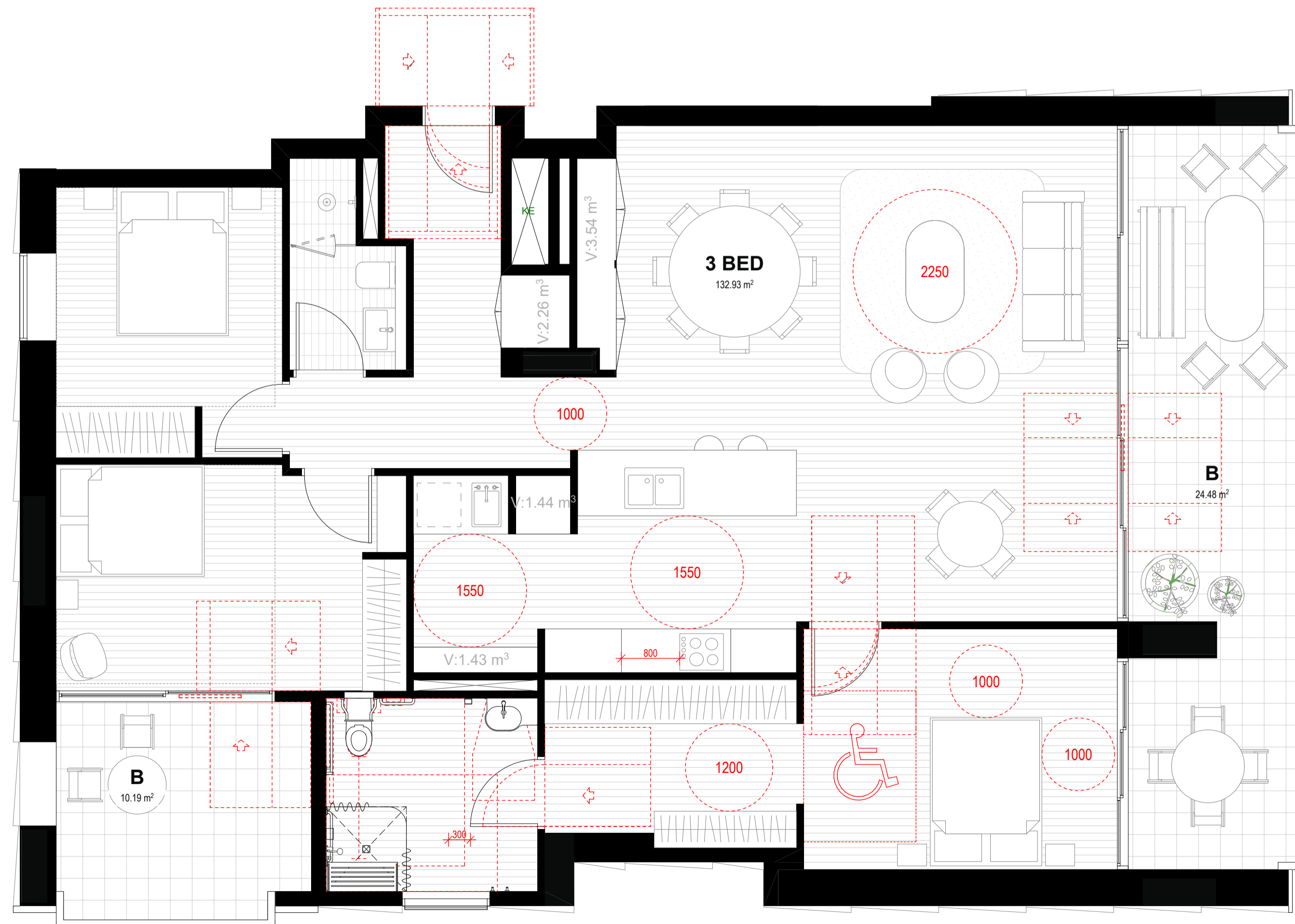
3 BED TYPE 7 - 133m²

TOWER TYPICAL
HIGH RISE - L23-25

ADAPTABLE



01 3B TYPE 7 - PRE-ADAPTATION
SCALE: 1:50@A1



02 3B TYPE 7 - POST-ADAPTATION
SCALE: 1:50@A1

REV	Issue Date	DESCRIPTION	BY	CHK
A	27/02/2026	SSDA SUBMISSION	LS	JW

DISCLAIMER
In accessing and utilizing this document, the recipient agrees that Plus Studio, retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use. To waive claims against Plus Studio resulting from unauthorized changes or to release the document on other projects without the prior written consent of Plus Studio. Under no circumstances shall transfer of this document be deemed a sale. Plus Studio makes no warranties of fitness for any purpose. The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

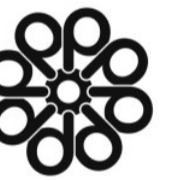
PLANNING	BCA
BEAM beam@beamplanning.com.au	PHILIP CHUN (02) 9412 2322

STRUCTURE	DDA
EI AUSTRALIA (02) 9516 0722	PDM - Projected Design Management 0400 009 210

SERVICES	TRAFFIC
IGS - Integrated Group Services (02) 8488 4600	TTPP - Transport Planning (02) 8437 7800

LANDSCAPE	ESD
LAND + FORM hello@land-form.com.au	EFFICIENT LIVING (02) 9970 6181

CLIENT
**DPG PROJECT 37
PTY LTD**



ARCHITECT
EORA / SYDNEY
Gadgil Country
Level 4, 222 Clarence Street
Sydney NSW 2000
Australia
+61 2 9823 7000
sydney@plusstudio.co
Nominated Architects
Gabriel Duppe 1622
Aml Jukka 1002
Rido Pin 1026
Plus Architecture Pty Ltd
ABN 40 091690 336
plusstudio.co
2025 © Plus Architecture International Pty Ltd All Rights Reserved.
Plus Studio® is a trademark of Plus Architecture International Pty Ltd.



PROJECT TITLE
DPG 37
79-81 QUEENS ROAD & 2-8 SPENCER STREET
FIVE DOCK, NSW 2046

CLIENT	APPROVED	CHECKED	DRAWN
DPG PROJECT 37 PTY LTD	JW	JW	LS

DRAWING TITLE
**TYPOLOGIES - ADAPTABLE APTS -
3B T7**

SCALE	NORTH POINT
1:1000, 1:50 @ A1 Size	

PROJECT NUMBER	STAGE
20830	SSDA

DRAWING NUMBER	REVISION
DA-0753	A

