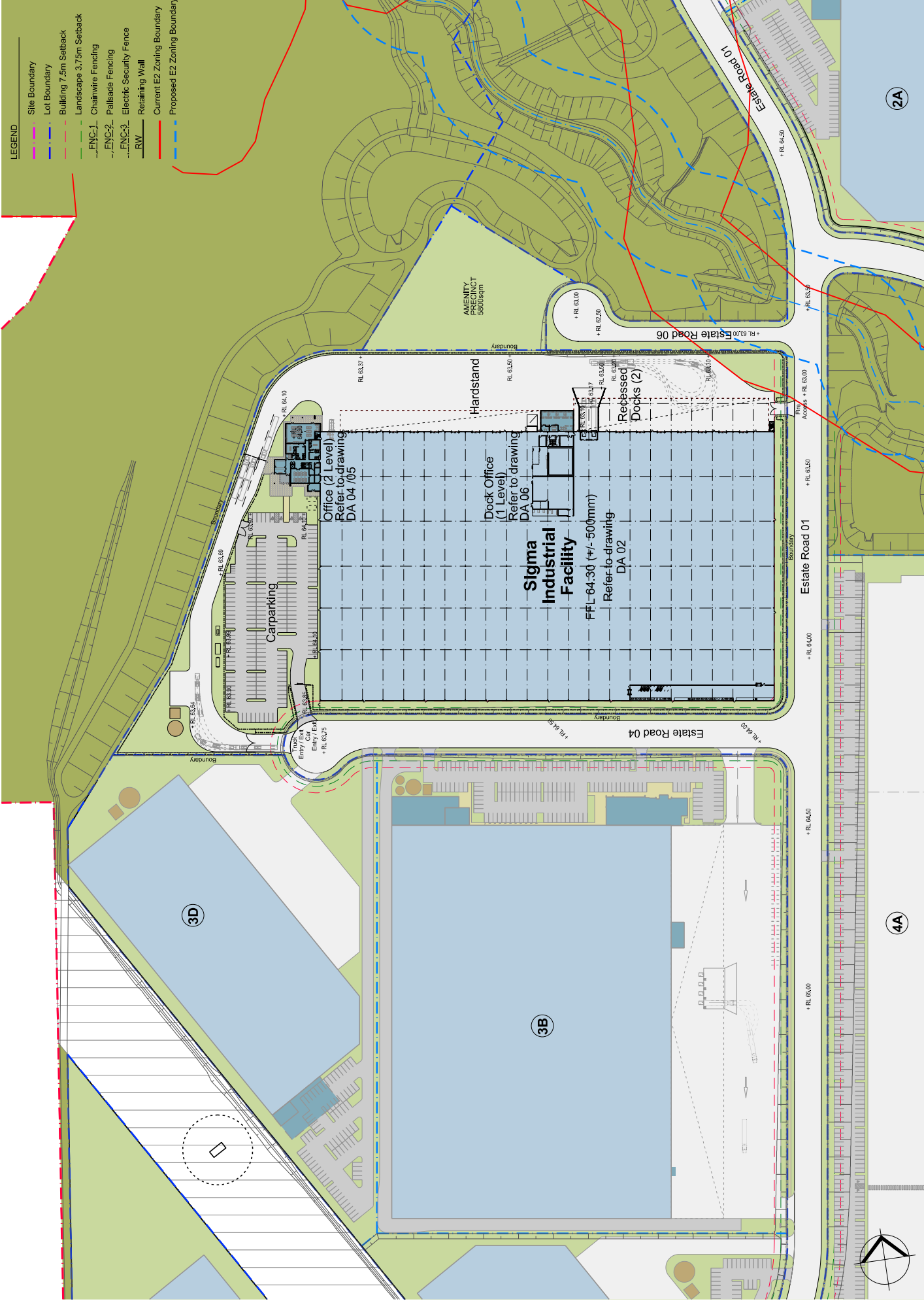
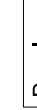
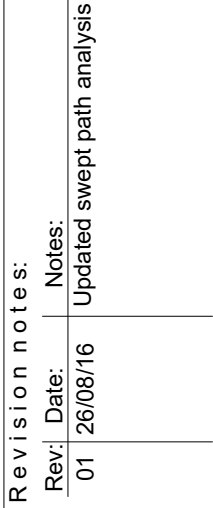


Appendix A





Appendix B



Drawn By: KH	Client: Goodman Property Services
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Project: 0240 Lot 3A, Oakdale South Industrial Estate	Drawing Title: Semi-trailer (AV) Movements
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Date: 31 August 2016
Scale @ A3: 1:1250
Drawing No: AG0240d02

Appendix C



Industry Assessments

Contact: Thomas Piovesan

Phone: (02) 9228 6356

Fax: (02) 9228 6555

Email: Thomas.Piovesan@planning.nsw.gov.au

Mr Guy Smith
Planning Manager
Goodman Limited
Level 17, 60 Castlereagh Street
SYDNEY NSW 2000

Our Ref: SSD 7719
File:16/08666

Dear Mr Smith

**State Significant Development - Secretary's Environmental Assessment Requirements
Sigma Warehouse and Distribution Facility, Lot 3A - Oakdale South Industrial Estate (SSD 7719)**

Please find attached the Secretary's Environmental Assessment Requirements (SEARs) for the proposed Sigma Warehouse and Distribution Facility at Oakdale South, Kemps Creek in the Penrith LGA.

The SEARs have been prepared in consultation with the relevant government agencies as well as Penrith City Council (see **Attachment 2**), and are based on the information you have provided to date. Please note that the Department may alter the SEARs at any time. You must consult further with the Department if you do not lodge a Development Application and Environmental Impact Statement (EIS) for the development within two years of the date of issue of these SEARs.

I wish to emphasise the importance of effective and genuine community consultation and the need for the proposal to proactively respond to the community's concerns. Accordingly, you must undertake a comprehensive, detailed and genuine community consultation and engagement process during the preparation of the EIS. This process must ensure the community is informed of the development and engaged with issues of concern to them. Sufficient information must be provided to the community to enable a good understanding of the development and any potential impacts.

Your development may require separate approval under the provisions of the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). If an EPBC Act approval is required, please advise the Department accordingly, as the Commonwealth assessment process may be integrated into the NSW assessment process, and supplementary SEARs may need to be issued.

Please contact the Department at least two weeks before you intend lodge the EIS and any associated documentation for the development. This will enable the Department to determine the:

- applicable fee (under Division 1AA, Part 15 of the *Environmental Planning and Assessment Regulation 2000*); and
- consultation and public exhibition arrangements, including copies and format requirements of the EIS.

If you have any enquiries about these SEARs, please contact Thomas Piovesan on the above details.

Yours sincerely


Chris Ritchie
Director
Industry Assessments
As the delegate of the Secretary

21/7/16.

Secretary's Environmental Assessment Requirements

Section 78A(8A) of the *Environmental Planning and Assessment Act 1979*

State Significant Development

Application Number	SSD 7719
Development	Construction, fit-out and operation of a warehouse and distribution facility with a gross floor area of 41,830 m ² and 200 car parking spaces. The facility will be used for the warehousing and distribution of pharmaceutical products.
Location	Lot 3A, Precinct 3, Oakdale South Industrial Estate, Kemps Creek, Penrith LGA (Part Lot 12 DP 1178389)
Applicant	Goodman Property Services (Aust) Pty Ltd
Date of Issue	July 2016
General Requirements	The Environmental Impact Statement (EIS) for the development must meet the form and content requirements in clauses 6 and 7 of Schedule 2 of the <i>Environmental Planning and Assessment Regulation 2000</i>. In addition, the EIS must include: • a detailed description of the development, including: – the need for the proposed development; – justification for the proposed development; – likely staging of the development; – likely interactions between the development and existing, approved and proposed operations in the vicinity of the site; and – plans of any proposed building works. • consideration of all relevant environmental planning instruments, including identification and justification of any inconsistencies with these instruments; • a risk assessment of the potential environmental impacts of the development, identifying the key issues for further assessment; • a detailed assessment of the key issues specified below, and any other significant issues identified in this risk assessment, which includes: – a description of the existing environment, using sufficient baseline data; – an assessment of the potential impacts of all stages of the development, including any cumulative impacts, taking into consideration relevant guidelines, policies, plans and statutes; and – a description of the measures that would be implemented to avoid, minimise, mitigate and if necessary, offset the potential impacts of the development, including proposals for adaptive management and/or contingency plans to manage significant risks to the environment. • a consolidated summary of all the proposed environmental management and monitoring measures, highlighting commitments included in the EIS; and • an assessment that demonstrates the development is consistent with any Conceptual Proposal that applies to the site. The EIS must also be accompanied by a report from a qualified quantity surveyor providing: • a detailed calculation of the capital investment value (CIV) of the development as defined in clause 3 of the <i>Environmental Planning and Assessment Regulation 2000</i>, including details of all components of the CIV; • an estimate of the jobs that will be created by the development during the construction and operational phases of the development; and • certification the information provided is accurate at the date of preparation.

Key issues	The EIS must address the following specific matters: • Strategic and Statutory Context – including: – detailed justification for the proposal and the suitability of the site; and – demonstration the proposal is generally consistent with all relevant planning strategies, environmental planning instruments, development control plans (DCPs) and the Oakdale South Concept Proposal (SSD 6917) and justification for any inconsistencies. • Traffic and Transport – including: – a Traffic Impact Assessment detailing all daily and peak traffic and transport movements likely to be generated (vehicle, public transport, pedestrian and cycle trips) during construction and operation of the development, including a description of vehicle access routes and the impacts on nearby intersections; – details demonstrating the proposal is consistent with the traffic impact assessment, traffic volumes and car parking provisions of SSD 6917; – details of access to the site from the road network including intersection location, design and sight distance; – an assessment of predicted impacts on road safety and the capacity of the road network to accommodate the development; – plans of any road upgrades or new roads required for the development, if necessary; – detailed plans of the proposed layout of the internal road network and parking provision on-site in accordance with the relevant Australian Standards; and – details of any likely dangerous goods to be transported on arterial and local roads to/from the site, if any, and the preparation of an incident management strategy, if necessary. • Urban Design and Visual – including: – layout of the development including staging, site coverage, setbacks, proposed open space and landscaped areas; – suitable landscaping incorporating endemic species; – the layout and design of the development having regard to the surrounding vehicular, pedestrian and cycling networks, if applicable; – a detailed assessment (including photomontages and perspectives) of the facility (buildings and storage areas) including height, colour, scale, bulk, building materials and architectural treatments and finishes, signage, lighting and any retaining walls particularly from nearby public receivers and significant vantage points within the broader public domain; – proposed cut and fill works associated with the development; and – measures to minimise the extent of cut and fill. • Noise and Vibration– including: – a description of all potential noise and vibration sources during the construction and operational phases of the development, including on and off-site traffic noise; – a noise impact assessment, including a cumulative noise impact assessment in accordance with relevant Environment Protection Authority guidelines; and – details of noise mitigation, management and monitoring measures. • Soils and Water – including: – a description of the water demands and a breakdown of water supplies; – a description of the measures to minimise water use; – a detailed water balance; – a description of all wastewater generated on-site; – a description of the proposed erosion and sediment controls during construction and operation; – a description of the surface and stormwater management system, including on-site detention, and measures to treat or re-use water; – an assessment of potential surface and groundwater impacts associated with the development; – an assessment of the impact of flooding on the proposed development
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	for the full range of flood events up to the probable maximum flood; - an assessment of the impact of the proposed development on flood behaviour; and - details of impact mitigation, management and monitoring measures. • Air Quality – including: - an assessment of the air quality impacts at private properties during construction and operation of the development, in accordance with the relevant Environment Protection Authority guidelines; and - details of any mitigation, management and monitoring measures required to prevent and/or minimise emissions. • Hazards and Risks including: - a Preliminary Hazardous Analysis (PHA) undertaken for the proposed development. The PHA shall be prepared in accordance with <i>Hazardous Industry Planning Advisory Paper No. 6 - Guidelines for Hazard Analysis</i>, and in particular: ▪ identify the hazards associated with all the dangerous goods to be stored on-site and the proposed storage quantities; ▪ demonstrate that the proposed development complies with the criteria set out in <i>Hazardous Industry Planning Advisory Paper No 4 - Risk Criteria for Land Use Safety Planning</i>; and ▪ estimate the cumulative impacts from the overall site and the surrounding potentially hazardous developments in the area (if any), and demonstrate that the proposed development does not increase the cumulative risk of the area to unacceptable levels. - details of the proposed volumes of dangerous goods to be stored on-site. • Infrastructure Requirements – including: - a detailed written and/or geographical description of the existing infrastructure on-site; - identification of any infrastructure upgrades required to facilitate the development, and describe any arrangements to ensure the upgrades will be implemented in a timely manner and maintained; and - a detailed description of cooling/heating systems to be installed on-site. • Bushfire – including: - details of how the proposal addresses the requirements of <i>Planning for Bush Fire Protection 2006</i> (RFS) and in particular the provision of access (including perimeter roads) and provision of water supply for firefighting purposes. • Waste – including: - details of the quantities and classification of all waste streams to be generated on-site; - details of waste storage, handling and disposal; and - details of the measures that would be implemented to ensure that the development is consistent with the aims, objectives and guidance in the <i>NSW Waste Avoidance and Resource Recovery Strategy 2014-2021</i>. • Heritage – including consideration of the management and mitigation measures of the indigenous and non-indigenous archaeological assessments submitted under SSD 6917. • Greenhouse Gas and Energy Efficiency – including an assessment of the energy use on-site, and demonstrate the measures proposed to ensure the development is energy efficient. • Ecologically Sustainable Development – including an assessment of how the development will incorporate ecologically sustainable development principles in all phases of the development. • Contributions – including consideration of the Voluntary Planning Agreement applicable to the site.
Plans and Documents	The EIS must include all relevant plans, architectural drawings, diagrams and relevant documentation required under Schedule 1 of the <i>Environmental Planning and Assessment Regulation 2000</i>. These documents should be provided as part of the EIS rather than as separate documents.

Consultation	During the preparation of the EIS, you must consult with the relevant local, State or Commonwealth Government authorities, service providers, community groups and affected landowners. In particular you must consult with: • Penrith City Council; • NSW Heritage Council; • Department of Primary Industries; • Department of Industry – Resources and Energy; • Transport for NSW; • Roads and Maritime Services; • Sydney Water; • WaterNSW; • NSW Fire and Rescue; • TransGrid; and • local residents and stakeholders. The EIS must describe the consultation process and the issues raised, and identify where the design of the development has been amended in response to these issues. Where amendments have not been made to address an issue, a short explanation should be provided.
Further consultation after 2 years	If you do not lodge an EIS for the development within 2 years of the issue date of these SEARs, you must consult with the Secretary in relation to any further requirements for lodgement.
References	The assessment of the key issues listed above must take into account relevant guidelines, policies, and plans as identified. While not exhaustive, the following attachment contains a list of some of the guidelines, policies, and plans that may be relevant to the environmental assessment of this development.