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Stargate Property Group

194-214 Oxford St & 2 Nelson St, Bondi
Junction NSW

SEARS ESD Assessment Report

20E-21-0065-TRP-96426-0-draft

26 February 2025

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Executive Summary

VIPAC Consulting has been engaged by to undertake the required Ecologically Sustainable Design (ESD) assessments and provide a sustainability report for the proposed at 194-214 Oxford St & 2 Nelson St, Bondi Junction NSW.

The principles of ecologically sustainable design will be an integral consideration throughout this development. This report summarises the ESD provisions for the development which demonstrate commitment to environmental sustainability.

The sustainability targets for the development will be achieved in an integrated and staged approach through minimising the need for energy consumption (via passive measures) and then consumption optimisation (energy efficiency) and use of renewable resources where required.

The initiatives presented in this report demonstrate a wide range of measures which will result in high levels of environmental performance and also improvement of occupants' health, productivity, comfort and satisfaction.

Aiming at leading practice in energy and environmental targets, the project architect and building services design team will maximise energy efficiency in an integrated and staged approach described in table below:

Energy efficiency approach.

Load Reduction (Minimising the need for resource consumption e.g., energy, water, and material)	Passive Design
	Building fabric improvements
	Maximise use of natural lighting
	Maximise use of Natural ventilation
Optimising resources consumption (energy, water & materials)	Maximise use of native plants and species
	High efficiency Heating, Ventilation and Air Conditioning
	High efficiency lighting
	High efficiency hot water systems
	High efficiency appliances
	Commissioning and tuning of building services post completion
Indoor Environmental Quality	High efficiency building control, automation and BMS
	Thermal Comfort
	Acoustic comfort
	Effective Daylighting / Natural Lighting
	Natural Ventilation
Material	Volatile Organic Compounds (VOC) & Formaldehyde Minimisation
	Maximise separation and recycling of demolition and construction materials.
	Minimise use of Ozone Depleting materials
	Avoid specifying materials with environmentally sensitive content
	Participation in waste minimisation training for contractors and sub-contractors.
Transport Efficiency	Waste minimisation plan to reduce site waste to landfill.
	Sustainable transport measures & bicycle racks
Use of renewable resources (renewable energy and rainwater harvesting)	Application of Solar Energy & Heat Pump technology
	Rainwater harvesting
Land use and Ecology	Maintaining and improving the ecological value of the land
Emissions	Insulation products with low Ozone Depletion Potential
	Refrigerants with Ozone Depletion Potential of zero
	Stormwater Management
	Light Pollution: Minimise light beams directed upwards or outside the buildings.

Benchmarking and compliance requirements:

The development will meet and outperform the following regulatory sustainability requirements:

- NCC Section J – Energy Efficiency
- BASIX – Energy, Water and Thermal Comfort
- SEARs Sustainability Requirements

Sustainability targets beyond the minimum requirements

Although not seeking formal rating certification, where feasible, the design team will also consider the sustainable design principles based on the following sustainability tool.

- Green Star Buildings Tool – Green Building Council of Australia. 5 Star Design Aspiration.

The purpose of the project is to facilitate the delivery of (market and affordable) housing at a strategically located site and to deliver a built form outcome that is consistent with the desired future character of the 'Bondi Junction Town Centre'.

This report has been prepared to address the Secretary's Environmental Assessment Requirements (SEARs) issued for the project.

This report concludes that the proposed development is suitable and warrants approval, subject to implementing the sustainability measures outlined in this report.

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1 Introduction

This ESD assessment report has been prepared by VIPAC to accompany an Amending State Significant Development Application (SSDA) for a shop top housing development at 194-214 Oxford Street and 2 Nelson Street, Bondi Junction. The site is made up of nine (9) lots. The legal description of the site is outlined in Table 1-1.

Table 1-1 Legal Description.

Property Address	Title Description
194 Oxford Street Bondi Junction	Lot 10 in DP260116
196 Oxford Street Bondi Junction	Lot 11 in DP260116
198 Oxford Street Bondi Junction	Lot 12 in DP 260116
200 Oxford Street Bondi Junction	Lot 13 in DP260116
204 Oxford Street Bondi Junction	Lot 16 in DP68010 Lot 1 in DP79947
214 Oxford Street Bondi Junction	Lot 1 in DP708295
2 Nelson Street Bondi Junction	Lot 1 in DP583228
Part of Osmund Lane	Lot 1 in DP1300781

This report has been prepared to address the Secretary's Environmental Assessment Requirements (SEARs) issued for the project (SSD-77175998).

This report concludes that the proposed development is suitable and warrants approval, provided that the ESD measures are implemented.

Following the implementation of the above mitigation measures, the remaining impacts are appropriate.

Following a design excellence competition, development consent was granted to DA-400/2021 (herein, referred to as the parent development consent) which authorised demolition of existing buildings and the construction of a shop top housing development comprising ground floor retail and 10 storeys of residential apartments above the retail podium, across two tower buildings (herein referred to as Building A and Building B). Subsequently, an amending DA (DA-360/2023) was approved on 28 August 2024 which amended the Basement Levels 4, 3, 2 and 1 and the Ground Floor Level of the approved development under the parent development consent.

The proposed SSDA generally seeks approval for the redevelopment of 194-214 Oxford Street and 2 Nelson Street, Bondi Junction, proposing to retain key design principles in accordance with the parent consent. The proposal will provide additional residential dwellings, in accordance with the in-fill affordable housing provisions under the State Environmental Planning Policy (Housing) 2021 and incorporate a 30% increase in Gross Floor Area (GFA) and building height.

The development of the site has physically commenced pursuant to the development consent, with demolition and excavation completed. Construction Certification has been obtained and construction is intended to continue for the lower portion of the building (up to Level 8).

Simultaneously with the construction of the lower parts of the building, the proponent seeks approval for new works to the remaining levels of the building (above level 9) as well as the internal fit out and servicing for the whole of the building (Basement to Level 16).

It is intended that the relationship between the approval of the SSDA and the existing consents be managed through the imposition of a condition pursuant to s 4.17(1)(b) of the EP&A Act and lodgement of a Notice of Modification pursuant to cl. 67 of the EP&A Regulation to ensure consistency across all development consents.

Specifically, this SSDA seeks development consent for:

Proposed New Works:

- Construction of Levels 9 – 16 of the residential towers including Buildings A (Western Tower) and Building B (Eastern Tower) comprising:
 - Building A (Western Tower, Residential Levels 9 -13) – with a maximum height of 42.5m
 - Building B (Eastern Tower, Residential Levels 9 -16) – with a maximum height of 54.0m
 - Communal open space on Level 11 (Building A)

- Plant and lift overrun
- Public Domain Works
- Internal fit out of Level 9 – 16

Proposed Amendments to Existing Parent Development Consent

- Internal fit out from basement level 4 - 9
- The allocation of 1,708 m2 of affordable housing on Levels 1,2 and 3 of Building A and Building B
- Additional services to overall development including an additional plant area at ground floor and an addition of a second substation
- Basement services, including additional parking spaces and updated storage and waste storage areas
- Awning over the ground retail along Oxford St and addition of a glazing window to create visual continuation from the neighbouring retail.

Cumulative Development (Existing Parent Development Consent and Subject Amending SSDA)

- Construction of a shop-top housing development, comprising a podium with ground floor retail, two residential towers (Building A and Building B) as well as four levels of basement parking and associated public domain works.
- The delivery of a total of 11,288 m2 of GFA.
- 467 m2 of retail GFA.
- 85 apartments, equating to a total residential GFA of 10,792 m2 including 1,708 m2 (17 apartments) of affordable housing GFA.
- 29 m2 GFA for communal amenities, incl. WC, steam room and sauna
- The apartments will comprise the following mix:
 - 1 bedroom 2 (2%)
 - 2 bedrooms 35 (42%)
 - 3 bedrooms 48 (56%)
 - 4 levels of basement for 139 car parking spaces and 42 motorbikes, with vehicular access from Osmund Lane.
 - Storage areas and services.
 - Communal open space and associated landscaping.

Purpose of this Report

The purpose of the project is to facilitate the delivery of (market and affordable) housing at a strategically located site and to deliver a built form outcome that is consistent with the outcomes of the design competition.

This report has been prepared in response to the requirements contained within the Secretary’s Environmental Assessment Requirements (SEARs) dated 25/10/2024 and issued for the Amending SSDA (SSD-77175998). Specifically, this report has been prepared to respond to the SEARs requirement issued below in Table 1-2.

Table 1-2 SEARs Relevant References.

Item	Description of Requirement	Project Response	Section Reference (this Report)
9. Ecologically Sustainable Development (ESD)	Identify how ESD principles (as defined in section 193 of the EP&A Regulation) are incorporated in the design and ongoing operation of the development.	<p>The sustainability targets for the development will be achieved in an integrated and staged approach through first minimising the need for energy consumption (via passive measures) and then consumption optimisation (energy efficiency) and use of renewable resources where required.</p> <p>The outcome of this staged approach is to ensure the building aligns with the ecological sustainable development principles the</p>	Section 4

Item	Description of Requirement	Project Response	Section Reference (this Report)
		Environmental Planning and the EP&A Regulation.	
	Demonstrate how the development will meet or exceed the relevant industry recognised building sustainability and environmental performance standards.	<p>Although not seeking formal rating certification, where feasible, the design team will also consider the sustainable design principles based on Green Star design principles.</p> <p>Green Star rating tools include the following nine separate environmental impact categories, Management; Indoor Environment Quality; Energy; Transport; Water; Materials; Land Use and Ecology; Emissions, and Innovation.</p>	Section 2.3 and Section 4
	Demonstrate how the development minimises greenhouse gas emissions (reflecting the Government's goal of net zero emissions by 2050) and consumption of energy, water (including water sensitive urban design) and material resources.	A net-zero assessment was conducted to evaluate the building's performance in response to projected net-zero impacts. Actions and design strategies have been identified to reduce these impacts and associated risk levels.	Section 5

Site Description

The site is located at 194-214 Oxford Street and 2 Nelson Street, Bondi Junction within the Waverley LGA. The site is comprised of multiple allotments and is legally described as:

- 194-214 Oxford Street:
 - Lot 10, 11, 12, 13 & 16 / DP 260116,
 - Lot 1 / DP 708295,
 - Lot 1 / DP 79947, and
- 2 Nelson Street:
 - Lot 1 / DP 583228.
- Part of Osmund Lane (Lot 1 in DP1300781)

The land size is 2,480m² (2,599.1m² including Part of Osmund Lane) with a northern frontage to Sydney Enfield Drive, an eastern frontage to Nelson Street, a southern frontage to Oxford Street and western frontage to York Road.

Site Surrounding Context

The immediate urban context surrounding the site is characterised by a mix of commercial, retail, residential, and recreational land uses with Centennial Park located to the west and south-west of the site.

The site is in proximity to the Bondi Junction shopping and transport hub to the east, comprising Bondi Junction Westfield Shopping Centre, a pedestrian shopping mall and Bondi Junction Train Station. The site is located within the Western Precinct of Bondi Junction. The site is closely located to two (2) bus stops recognised as ID 202260 'Oxford St before York Rd' approximately 57m from the site and ID 202238 'Oxford St after York Rd' approximately 96m from the site. The site is in proximity to the Bondi Junction Train Station being within 800m from the site (5-minute walk).

The lot at 2 Nelson Street contains a local landscape heritage item I506 'Norfolk Pine-Landscape'. The remainder of the site has recently been demolished in accordance with the existing development consents.

The site (Figure 1-1 and Figure 1-2) will be progressively developed under the existing approvals and the remaining works will be the subject of this application.

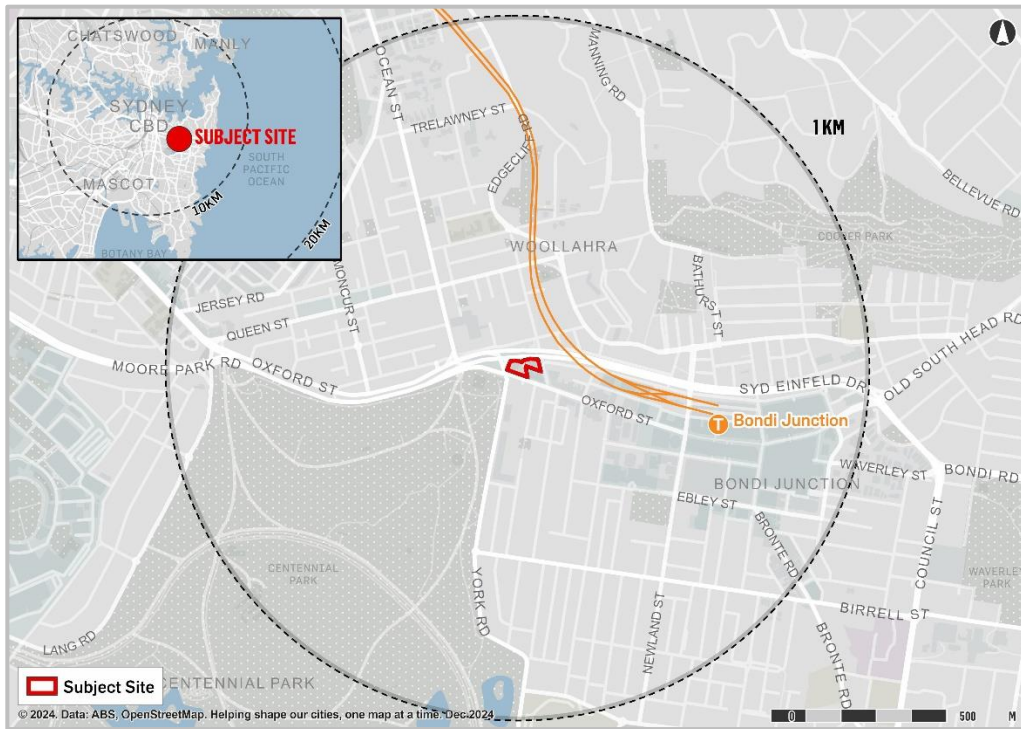


Figure 1-1 Local Context of Site. Reference: 194-214 Oxford Street & 2 Nelson Street, Bondi Junction | Shop Top Housing SSDA - Standard Consultants Text, Dated 17 Feb 2025.



Figure 1-2 the site location. Reference: 194-214 Oxford Street & 2 Nelson Street, Bondi Junction | Shop Top Housing SSDA - Standard Consultants Text, Dated 17 Feb 2025.

The design team recognise the importance of sustainable developments in terms of environmental preservation, occupants’ health, safety and wellbeing, as well as in terms of greenhouse gases emissions reduction.

The project architect, consultants and contractors will strive to design and construct the building based on the Environmentally Sustainable Design (ESD) principles which exceed the minimum regulatory NCC Section J requirements.

The facade and floor plans are designed with the vision to give occupants the very best in terms of passive heating and passive cooling. This, when combined with other energy efficiency strategies (listed later in the report) will lead to low energy demands for the tenancies and base building and therefore lower greenhouse gas emissions during the life of this development.

Natural lighting and natural ventilation will be utilised very effectively throughout the development. In addition to thermal comfort, energy and water efficiency, the proposed building design will provide sustainable and efficient operation to the occupants.

The proposed sustainable design initiatives will not only improve the building services life but are low-cost, low maintenance and reliable, especially when compared to often prohibitively complex and expensive retrofits. Furthermore, the passive design principles will facilitate a low-energy and cost-effective operation for the occupants.

The following are some of the design initiatives which will improve the environmental performance of the development and deliver long term energy efficiency during the life of the building.

- Optimising the size of the mechanical plant to ensure the plant is working at its peak efficiency and minimise the capital cost of the plant.
- Having high efficiency lighting and air conditioning equipment will reduce the energy consumption of the buildings.
- Variable Speed Drives (VSD) controls the speed of pumps, fans, and other mechanical plant to ensure that they are only using as much power as it is needed.
- Commissioning of all services equipment to ensure their correct operation.
- A high-performance façade will limit the heat entering the buildings, reducing air conditioning system sizes and the energy use over the year.
- A mixed mode approach allowing the buildings to be naturally ventilated when outdoor conditions are suitable allowing significant energy reduction by not requiring the air conditioning system to operate at all times.
- Emission reductions and material optimisation.
- Maximise use of non-toxic building materials.
- Maximise use of materials that are recyclable.
- Minimise Waste in Construction.
- Minimise Waste in Operation.
- Renewable Energy generation – Solar PV & Heat Pump technology.

2 Benchmarking

Benchmarking and compliance requirements:

The development will meet and outperform the following regulatory sustainability requirements:

- Standard Secretary's Environmental Assessment Requirements (SEARs) – ESD requirements
- NCC Section J – Energy Efficiency
- BASIX – Energy, Water and Thermal Comfort

Sustainability targets beyond the minimum requirements

Although not seeking formal rating certification, where feasible, the design team will also consider the sustainable design principles based on the following sustainability tool.

- Green Star Design & As Built Tool – Developed by Green Building Council of Australia. 5 Star Design Aspiration.

2.1 National Construction Code (NCC) Section J

Section J of the NCC sets regulations for energy efficiencies for all types of buildings with respect to the building's construction, design, and activity.

The objective of the NCC Section J is to reduce the greenhouse gas emissions. Section J requires that a building, including its services, must have features to the degree necessary that facilitate the efficient use of energy.

The NCC offers two compliance methods that differ in complexity and flexibility. The two compliance methods are:

- Deemed-to-Satisfy (DTS) Compliance.
- J1V3 – Verification using a referenced building.

The Deemed-to-Satisfy Provisions in Section J of the NCC 2022 include the following 8 components.

- Part J1 - Energy efficiency performance requirements.
- Part J2 - Energy efficiency.
- Part J3 - Elemental provisions for a sole-occupancy unit of a Class 2 building or a Class 4 part of a building.
- Part J4 - Building Fabric relates to the building fabric and minimum thermal performance for constructions according to climate zone for roofs, ceilings, roof lights, walls, glazing and floors.
- Part J5 – Building Sealing – Provisions to reduce the loss of conditioned air and restrict unwanted infiltration to a building.
- Part J6 - Air-Conditioning and Ventilation – Requirements to ensure these services are used and use energy in an efficient manner.
- Part J7 - Artificial Lighting and Power – Requirements for lighting and power to ensure energy is used efficiently within a building.
- Part J8 - Heated water supply and swimming pool and spa pool plant – Restrictions for hot water supply design except for solar systems within climate zones 1, 2 and 3.
- Part J9 - Energy monitoring and on-site distributed energy resources.

The development will meet and outperform the NCC energy efficiency requirements of Part J4 report will be prepared once the design is further progressed.

2.2 Building and Sustainability Index (BASIX)

The National Construction Code (NCC) Section J deems those developments with a building class of 1 or 2 in NSW should be assessed against the BASIX rating scheme. The BASIX rating scheme investigates the thermal comfort of the building, energy consumption and water consumption.

There are three input sections: Energy, Thermal Comfort, and Water. Each of these three categories is integrated and often influences each other.

New residential developments in NSW must reduce their energy and water use, according to BASIX requirements developed by the Department of Planning, the objectives of the BASIX scheme are relative to an average development in NSW.

- 40% reduction in water consumption,
- 25% reduction in greenhouse gas emissions, depending on building height,
- Minimum thermal performance requirements for heating and cooling loads. The maximum allowable heating and cooling loads for each apartment are dependent on the glazing and floor area.

Achievement of the specified targets is demonstrated through use of a web-based prediction tool. This tool requires input of several aspects of the dwelling's design and produces a BASIX certificate and report listing all of the environmental initiatives proposed and required to achieve the mandatory performance.

A BASIX Certificate is a DA requirement and demonstrates compliance with the NSW Government's sustainability targets. The development will meet and exceed the minimum requirements for all following areas and BASIX Certificate No. XXXXX has been provided.

- Water Efficiency: 46% reduction (minimum requirements under BASIX: 40%)
- Energy Efficiency: 33% reduction (minimum requirements under BASIX: 25%)
- Thermal Comfort: Will pass the thermal performance requirements under BASIX.

2.3 Green Star

Green Star is an environmental rating tool developed by the Green Building Council of Australia (GBCA) that has a holistic approach over a wide range of issues that covers a range of sustainability impact areas. There are various Green Star tools developed to suit a range of different building types including:

- Green Star Buildings.
- Design and As-Built
- Office Interiors
- Performance
- Communities

Green Star rating tools use Stars to rate performance:

- Legal compliance: The building is compliant with legislation (National Construction Code 2019 or later)
- Good Practice: The building meets the Minimum Expectations of good practice energy and water efficient, good indoor environment quality and built to operate well.
- 4 Star reflects a Best Practice environmental performer. It builds on the Minimum Expectations to deliver a building that is either climate positive or a higher performer in energy, water, and health related issues (15 out of 100 points)
- 5 Star demonstrates Australian Excellence by being a high environmental performer that addresses social issues relevant to the building owner (35 out of 100 points)
- 6 Star showcases World Leadership. It has been built to be a highly efficient building fully powered by renewables that addresses a significant number of environmental and social issues, and contributes to the community (70 out of 100 points).

The diagram in Figure 2-1 below details the ratings awarded by Green Star Buildings.



Figure 2-1 The ratings awarded by Green Star Buildings.

Green Star rating tools include eight separate environmental impact categories, as shown Figure 2-2 and Figure 2-3 follows.



Figure 2-2 Environmental impact categories list used in Green Star rating tools.

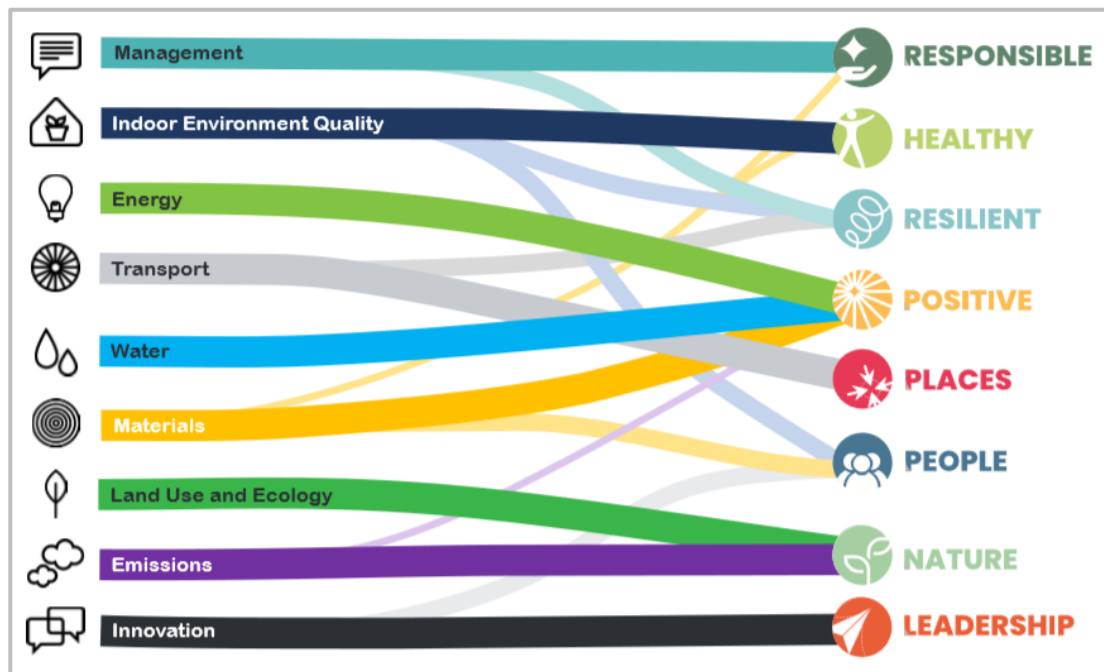


Figure 2-3 Eight separate environmental impact categories chart used in Green Star rating tools.

Although not seeking formal rating certification, where feasible, the design team will also consider the sustainable design principles based on the following sustainability tool.

3 Development Location

The development is located in Bondi Junction NSW which is within the NCC climate zone 5 (Warm temperate). The climate zone map of the development is depicted in Figure 3-1.

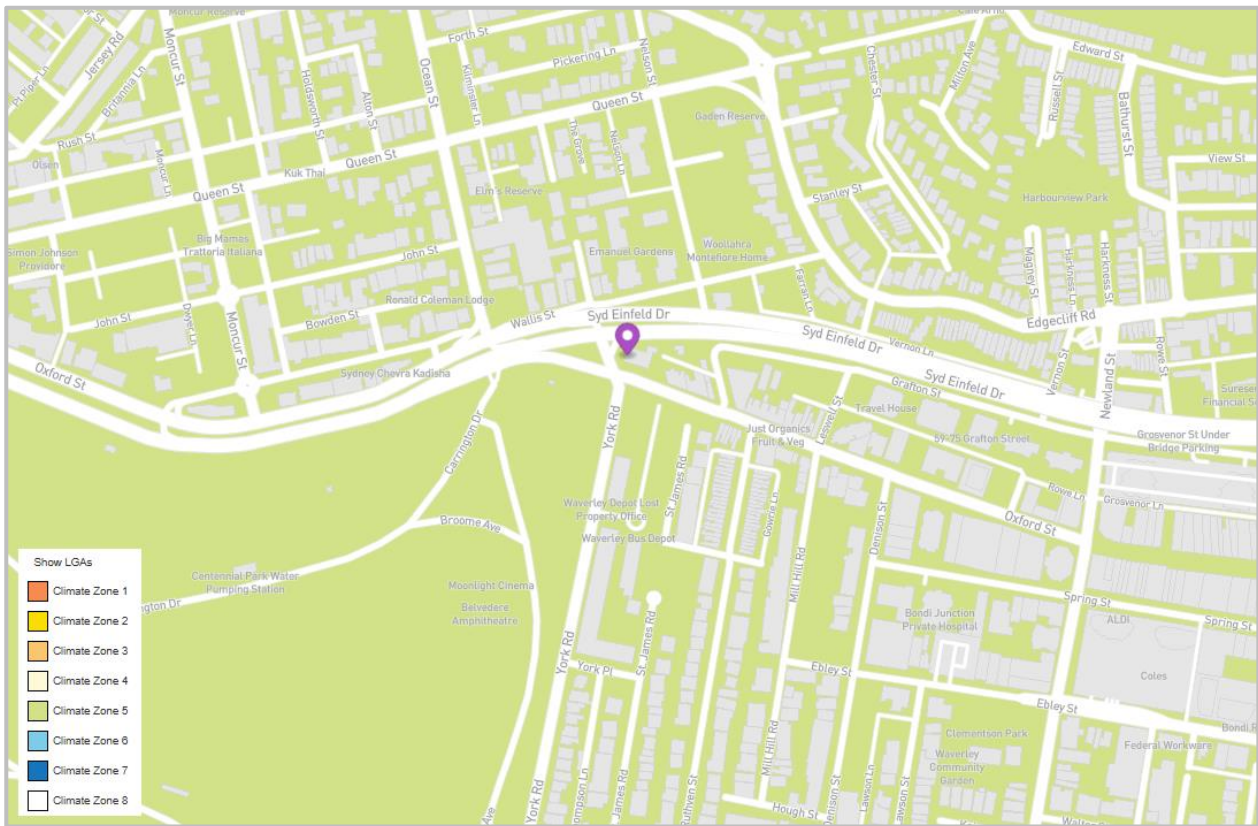


Figure 3-1 Climate zone map

3.1 Information Used in Review

Our review is based on the following preliminary architectural drawings by SJB Architecture The architectural drawings are listed in Table 3-1.

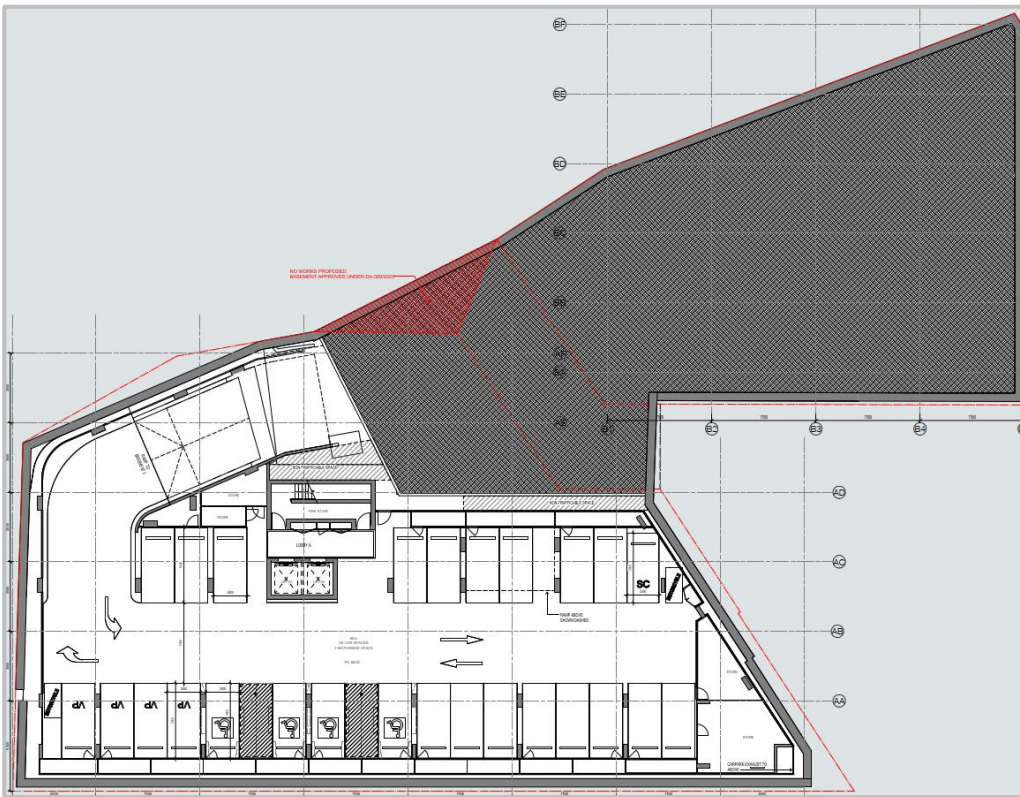
Table 3-1 Architectural drawings reference.

Drawing Title	Drawing Number	Date of Issue
Floor Plan - Basement Plans	DA-1001 to 1003	14.02.2025
Floor Plan - Ground Floor	DA-1011	14.02.2025
Floor Plan - Level 01 to Roof	DA-1012 to 1029	14.02.2025
Elevations	DA-1401 to DA-1404	14.02.2025
Sections	DA-1501 & 1502	14.02.2025
Public Domain Plan	DA-1010	14.02.2025

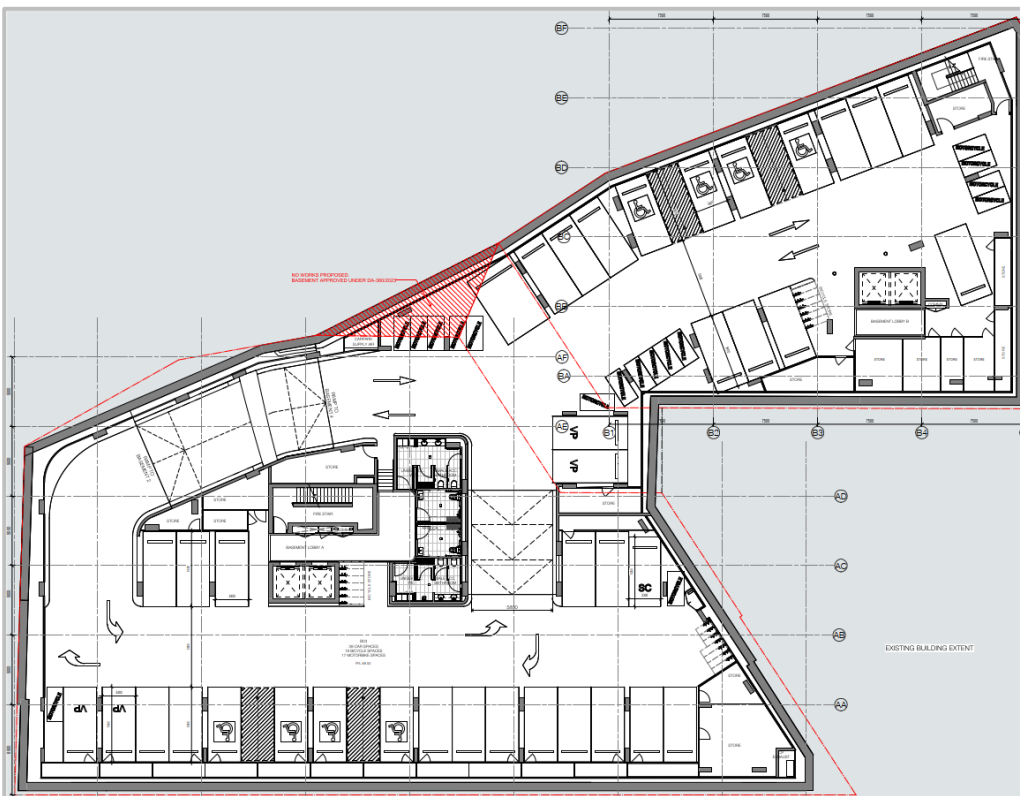
3.2 Architectural Drawings

Selected architectural plans and elevations for the proposed development are provided below.

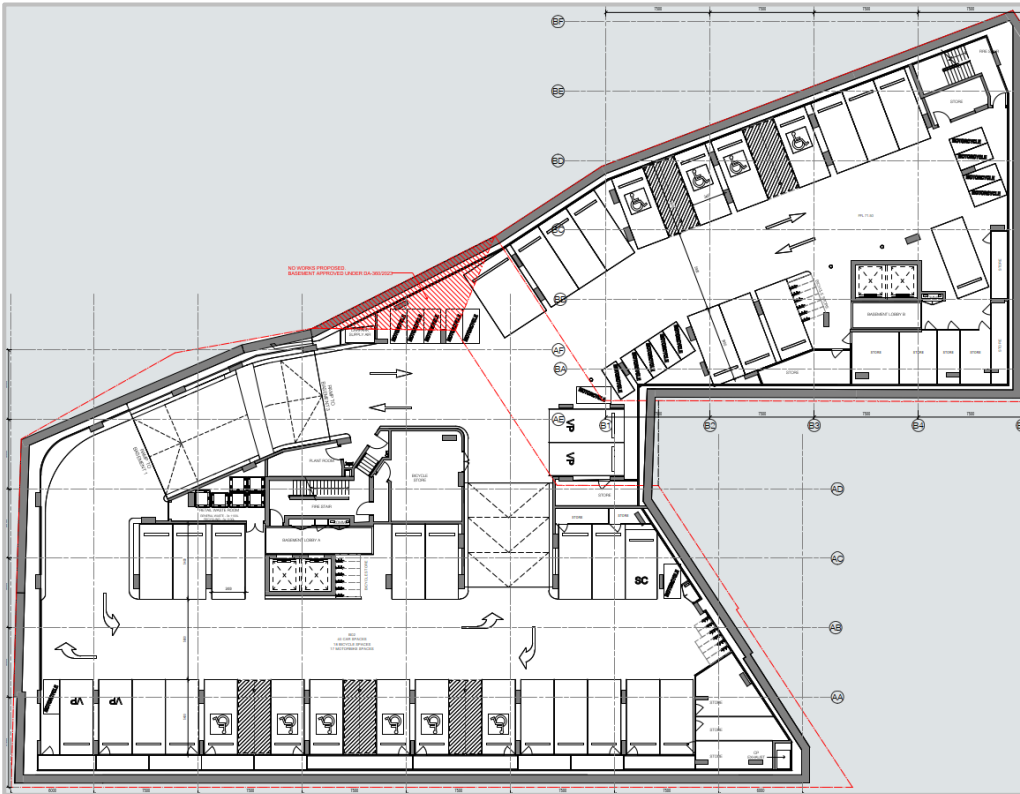
Basement 4 Floor Plan



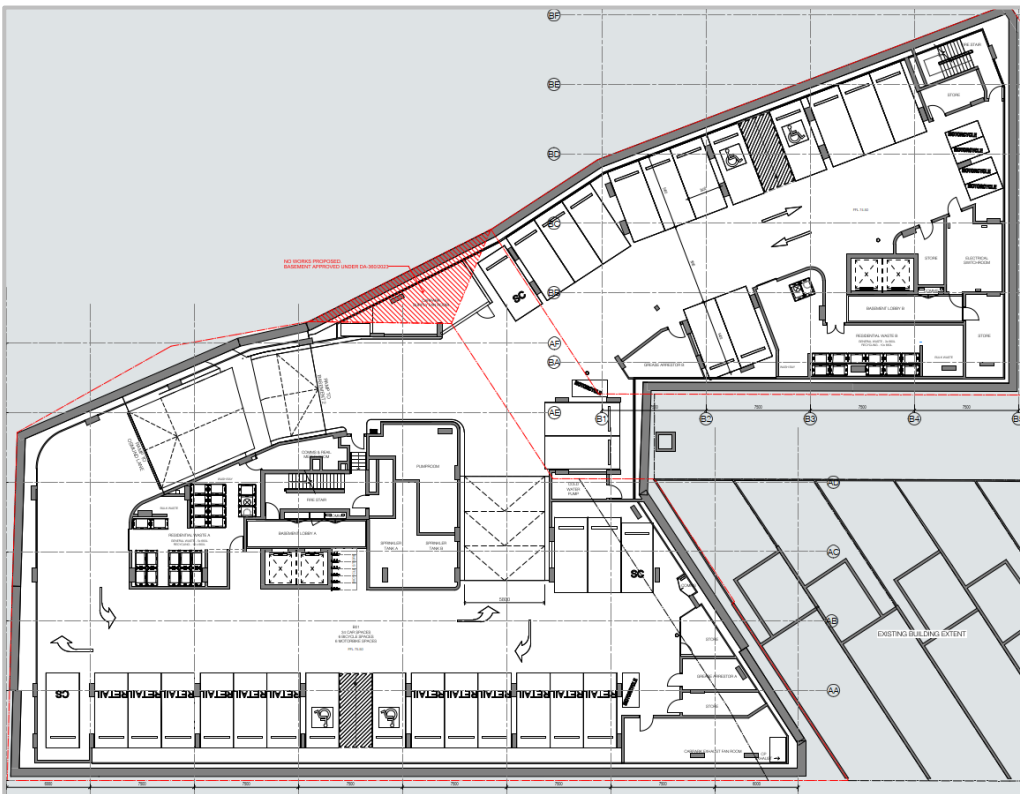
Basement 3 Floor Plan



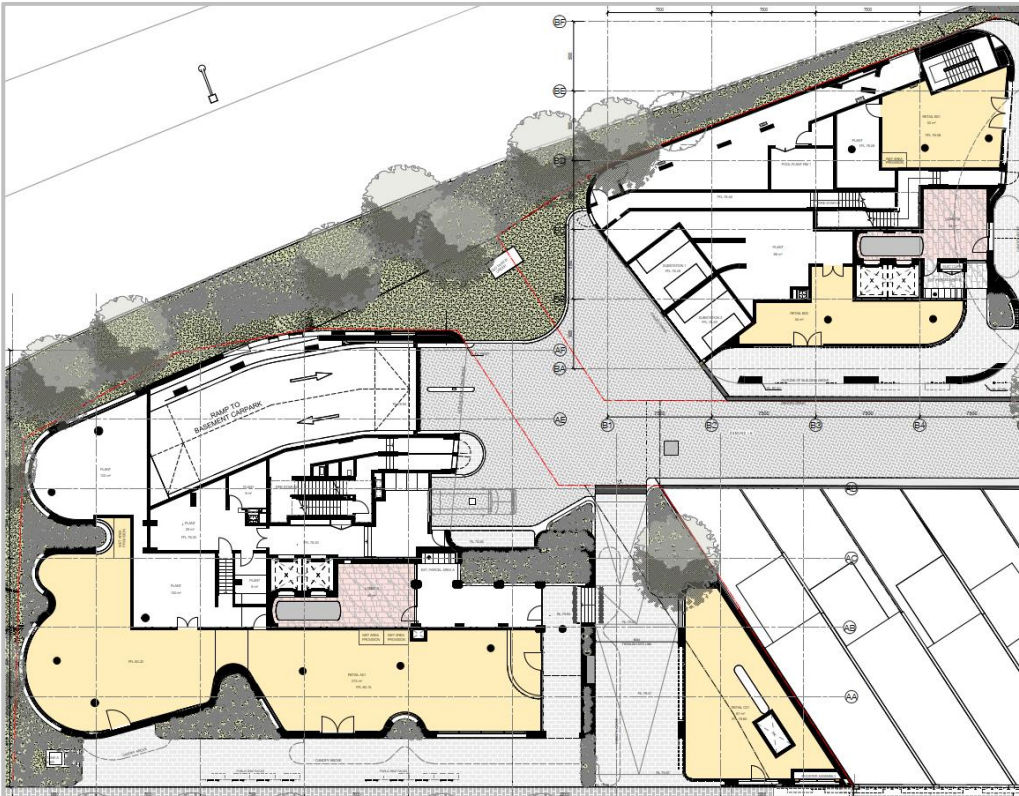
Basement 2 Floor Plan



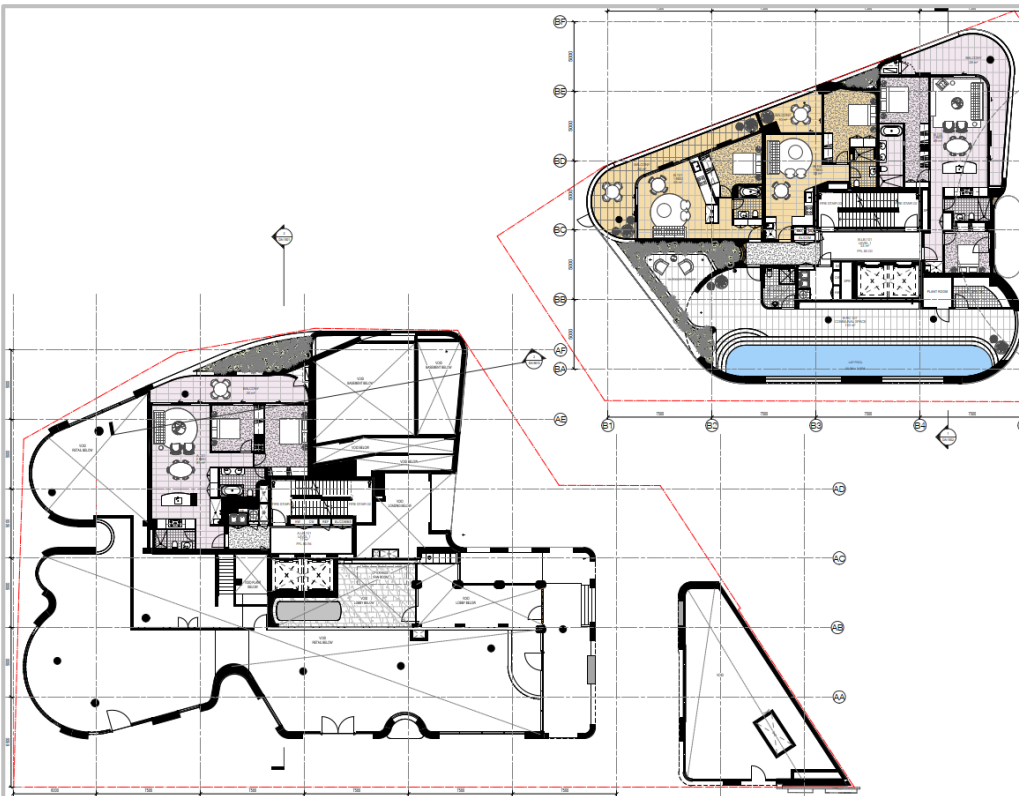
Basement 1 Floor Plan



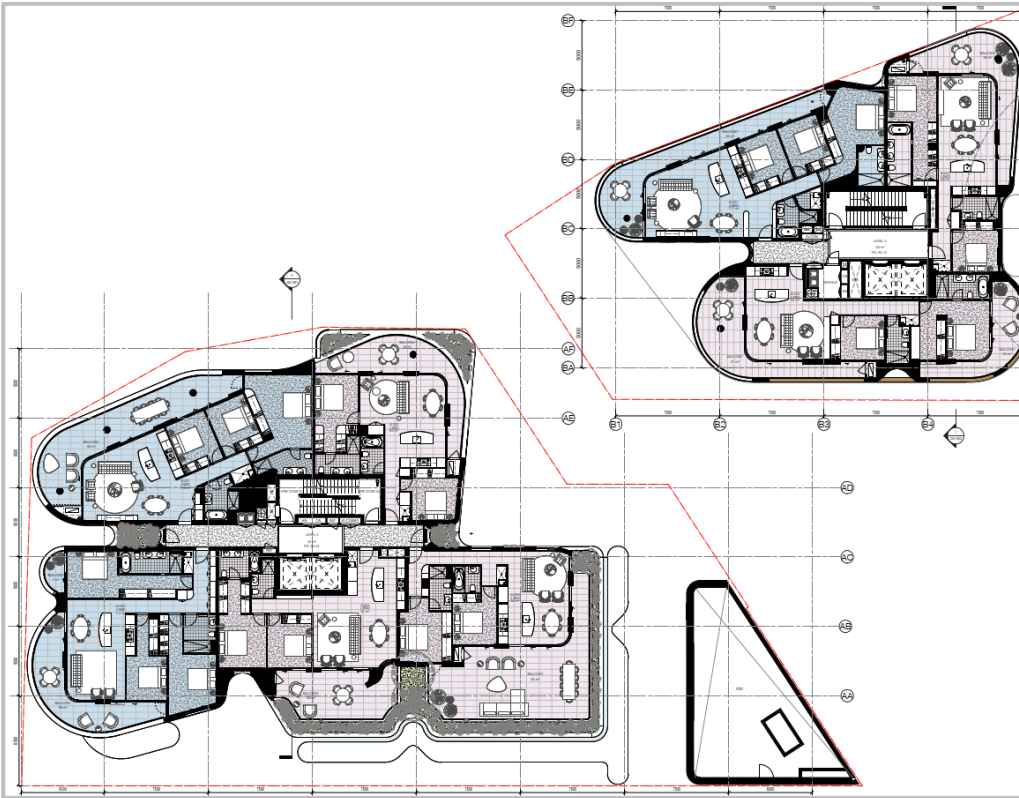
Ground Floor – Floor Plan



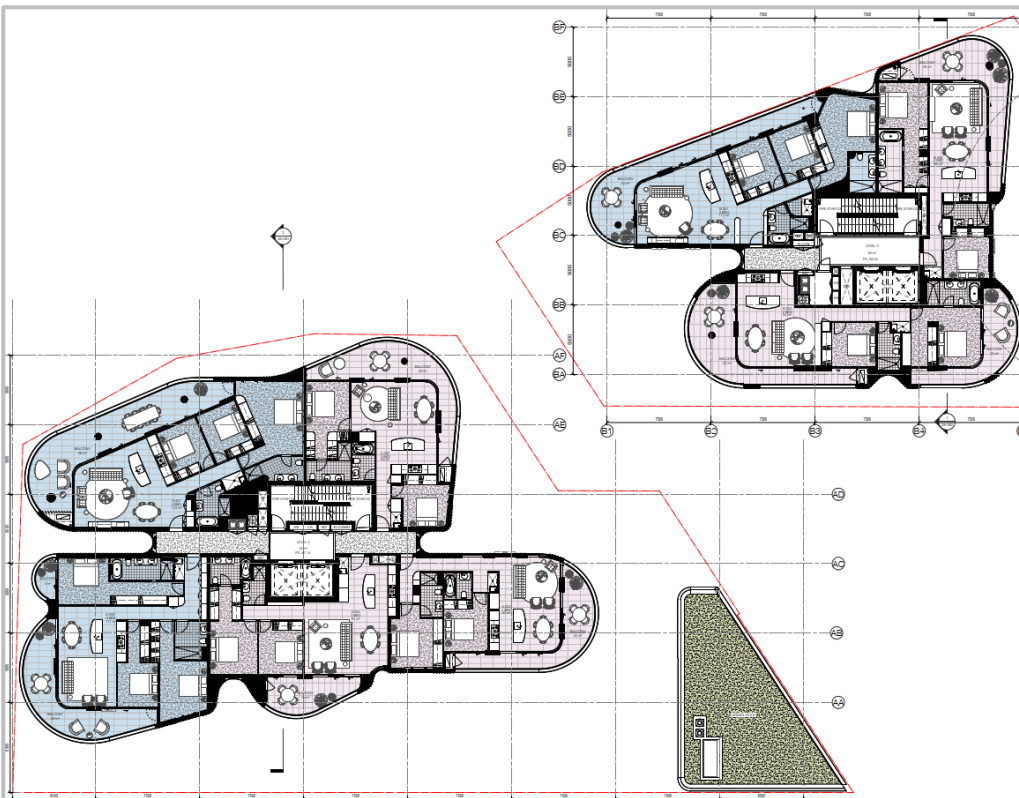
Level 1 Floor Plan



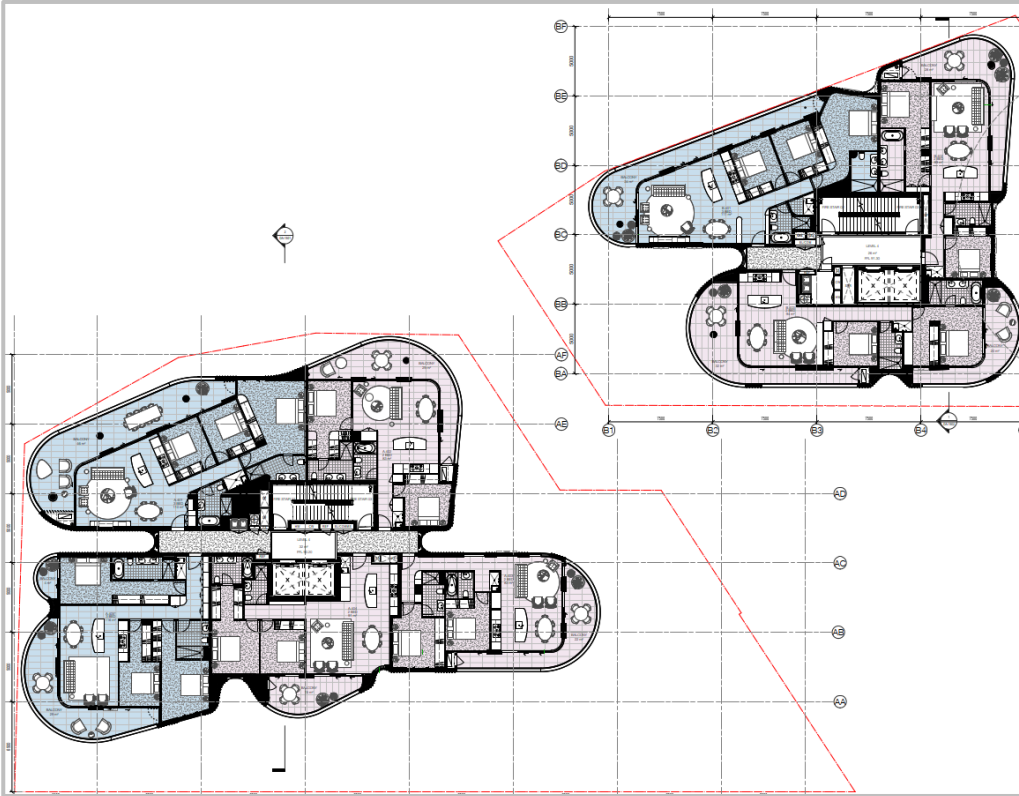
Level 2 Floor Plan



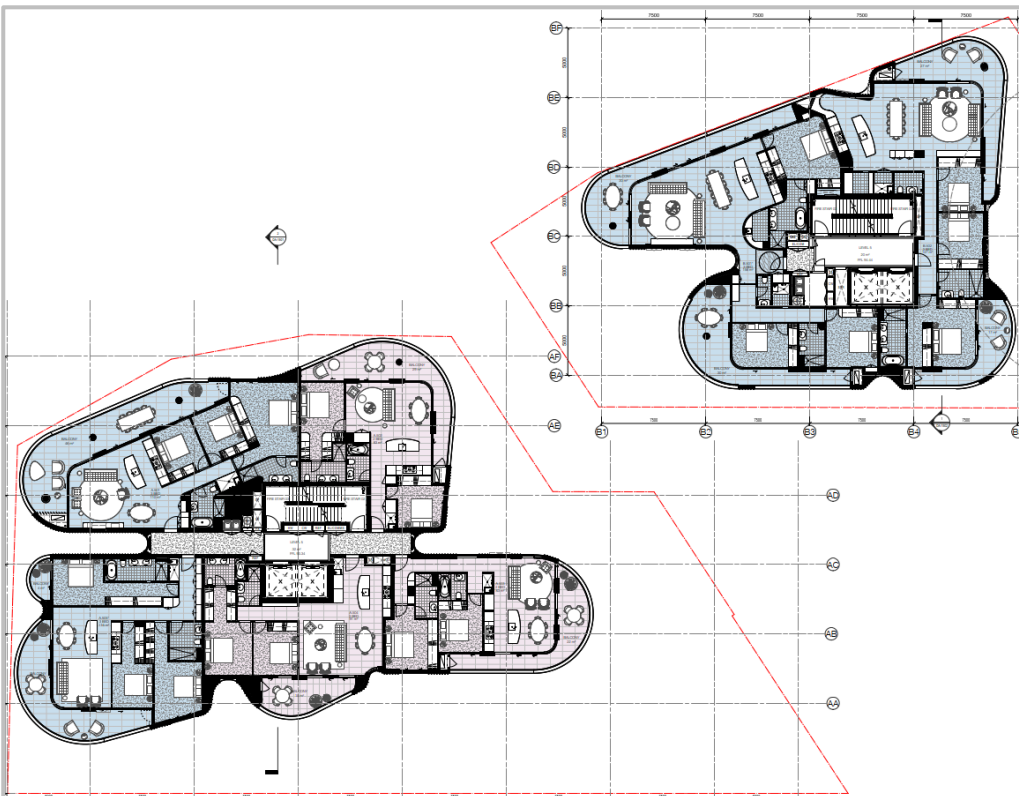
Level 3 Floor Plan



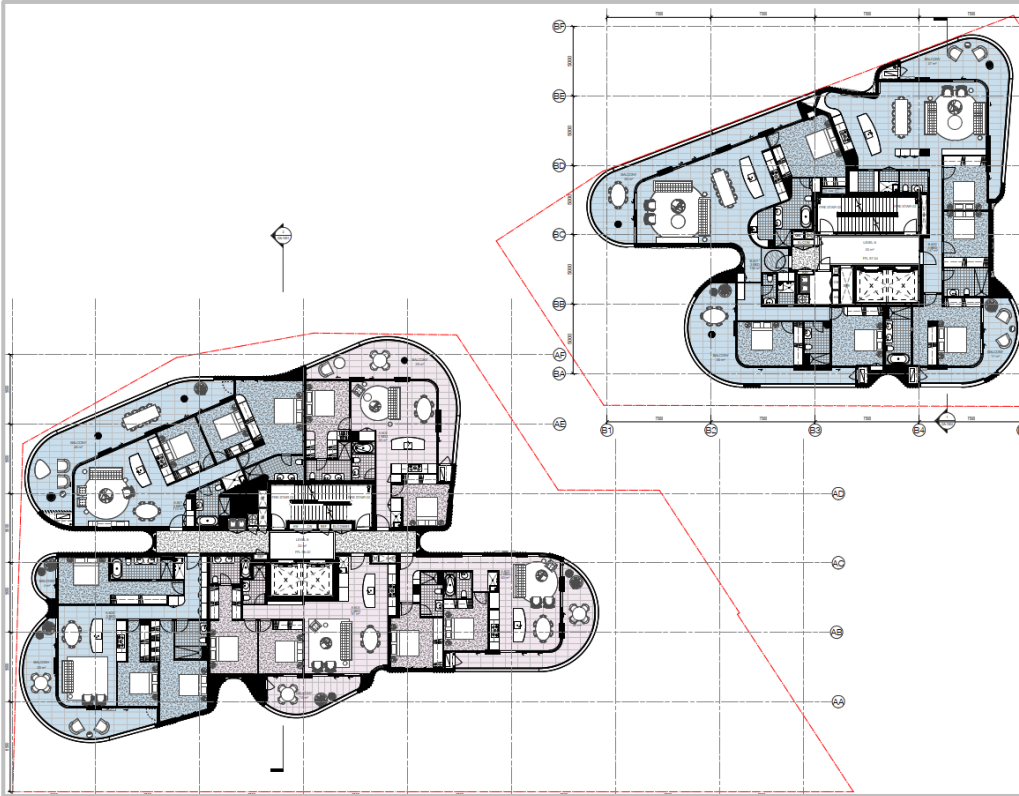
Level 4 Floor Plan



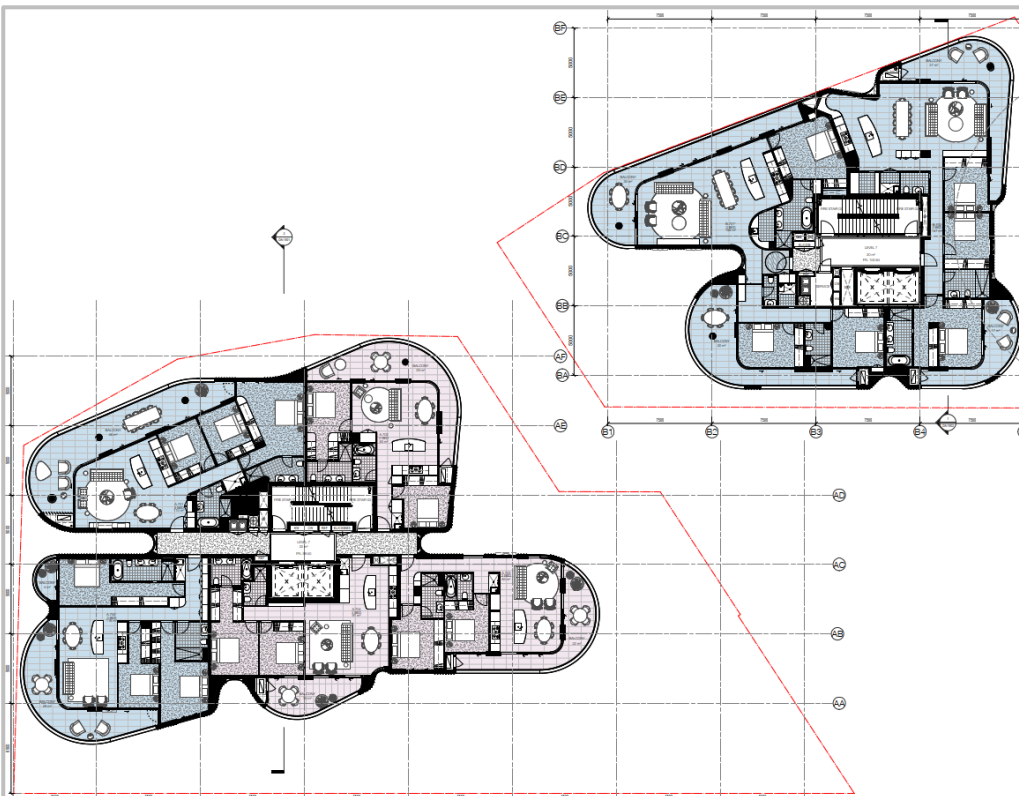
Level 5 Floor Plan



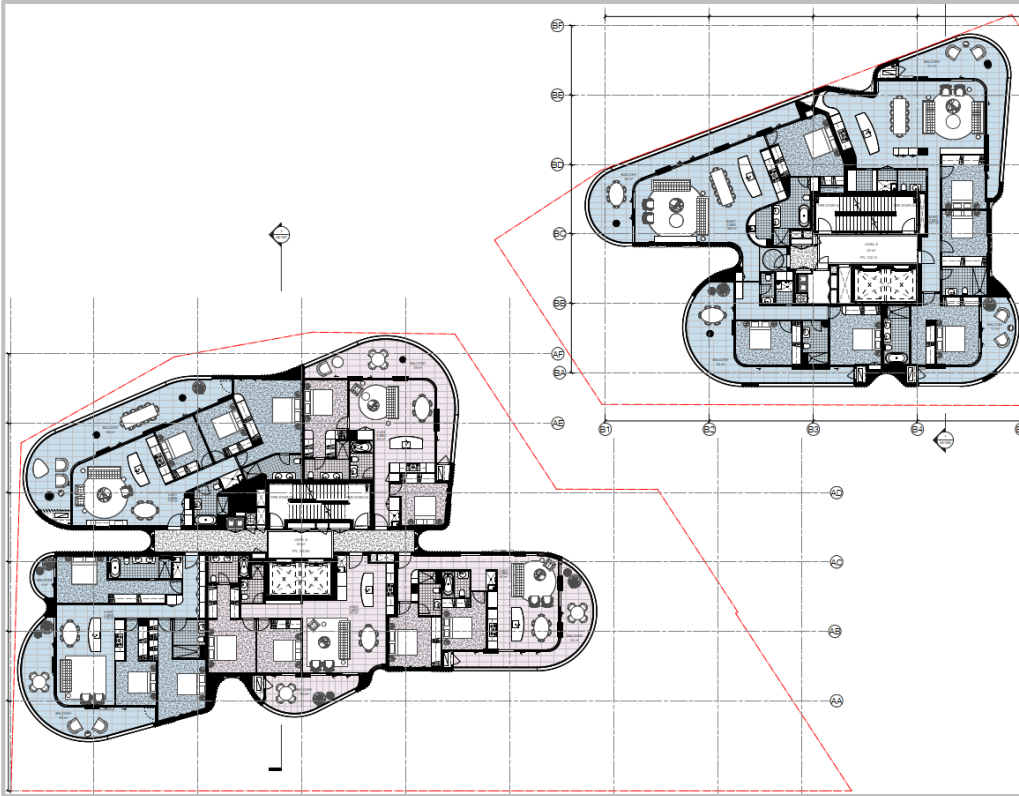
Level 6 Floor Plan



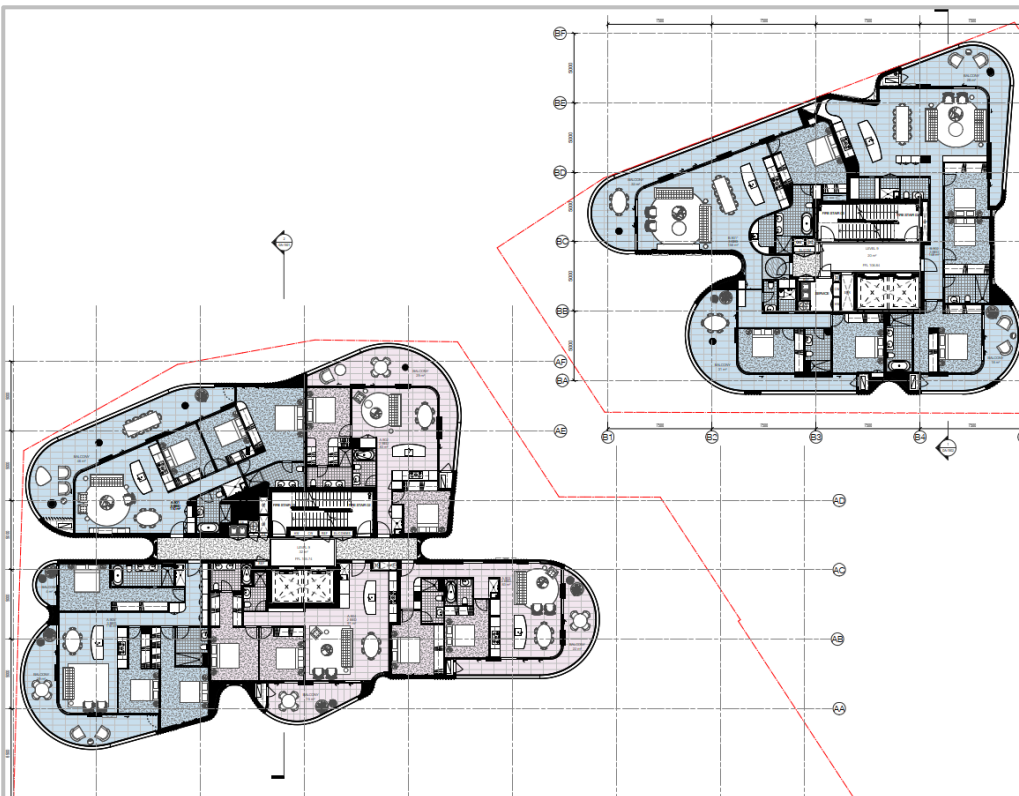
Level 7 Floor Plan



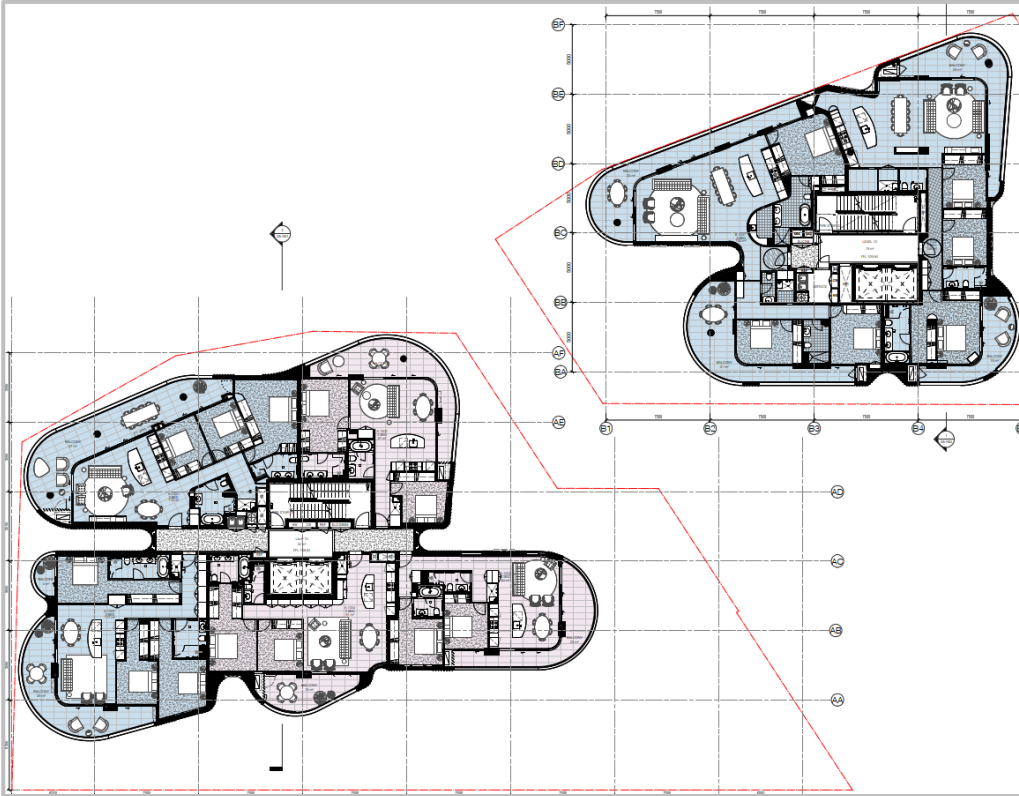
Level 8 Floor Plan



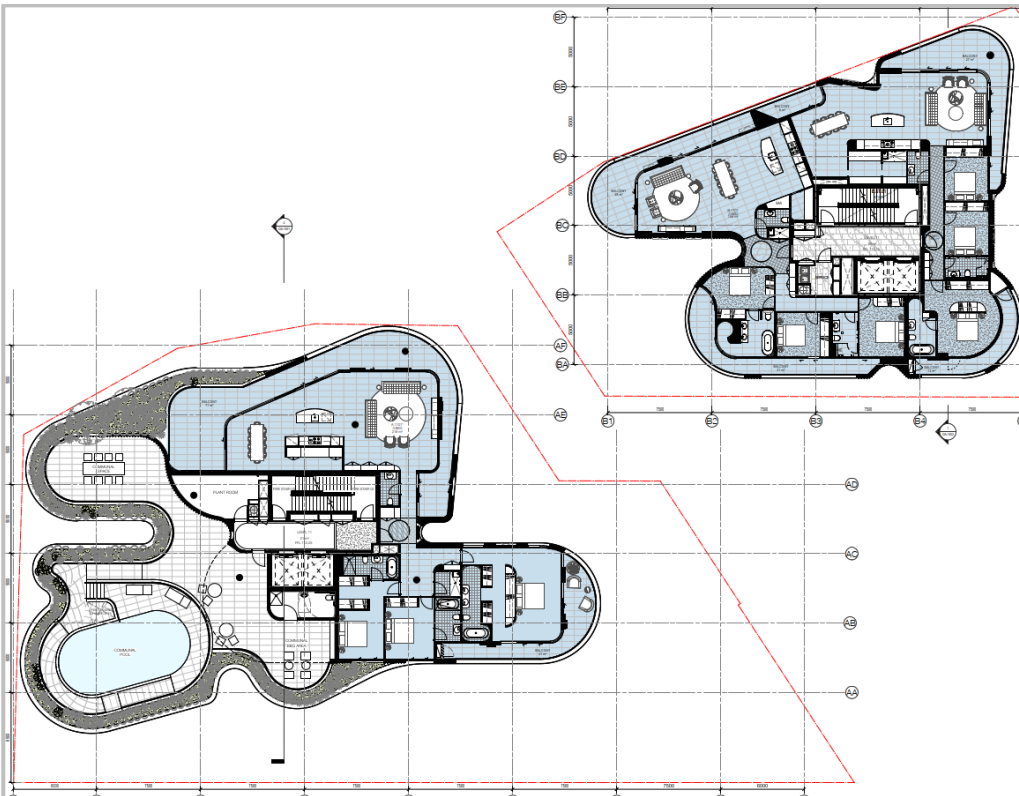
Level 9 Floor Plan



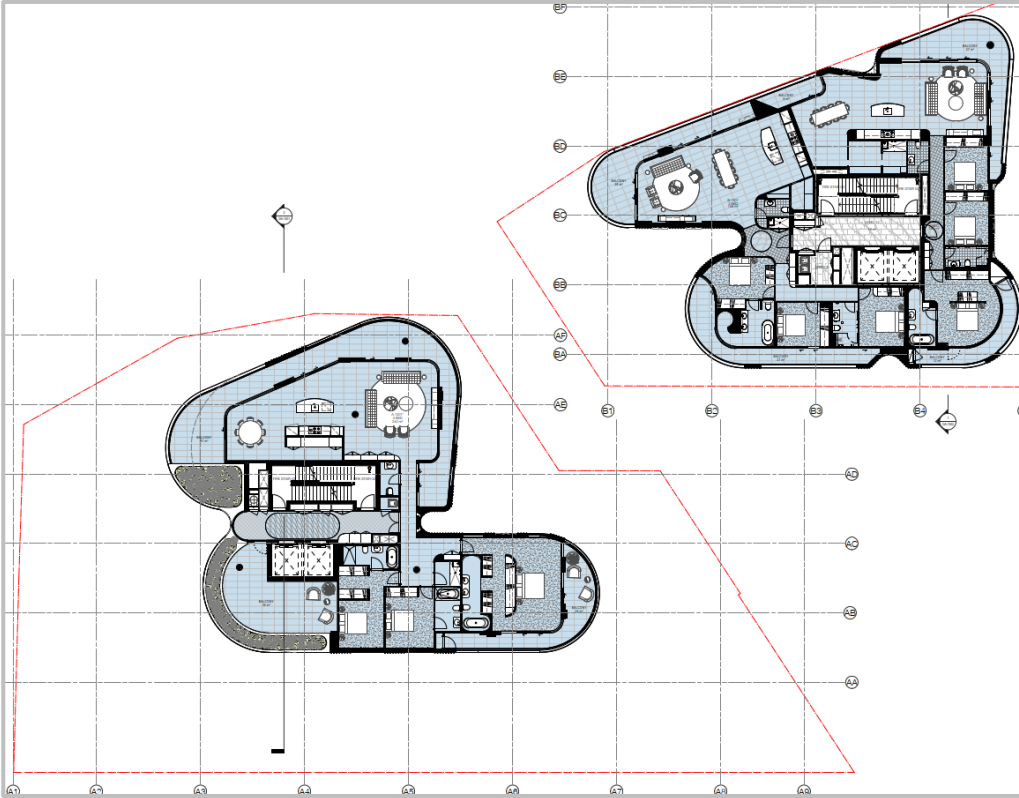
Level 10 Floor Plan



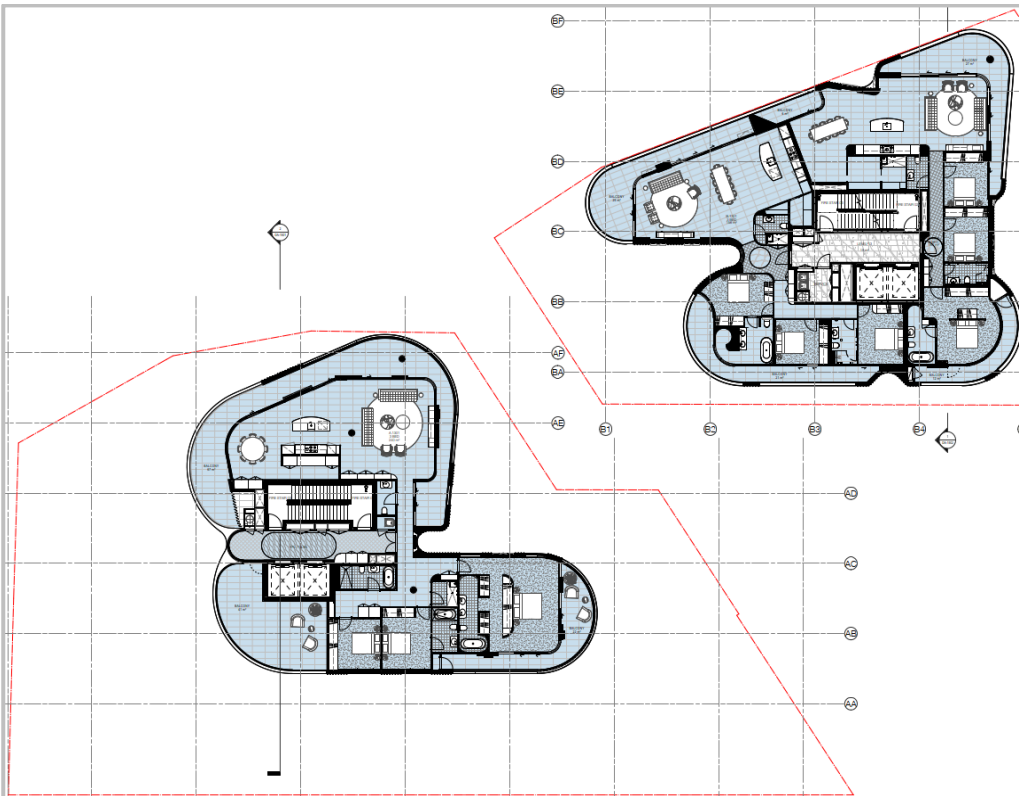
Level 11 Floor Plan



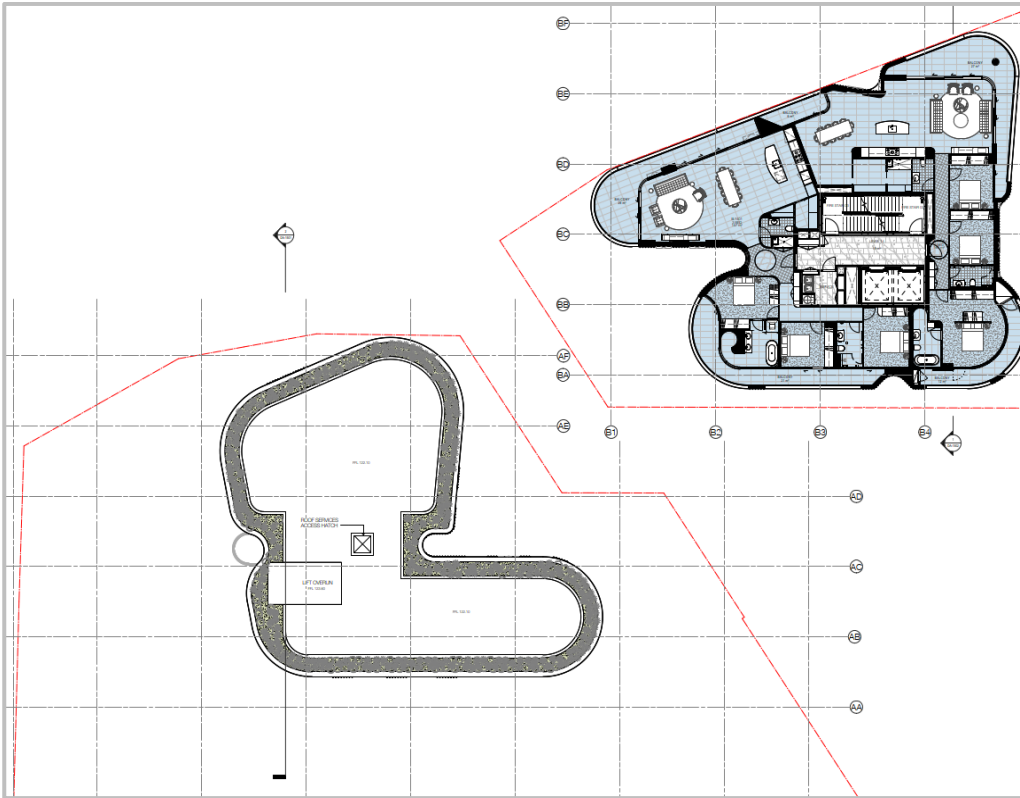
Level 12 Floor Plan



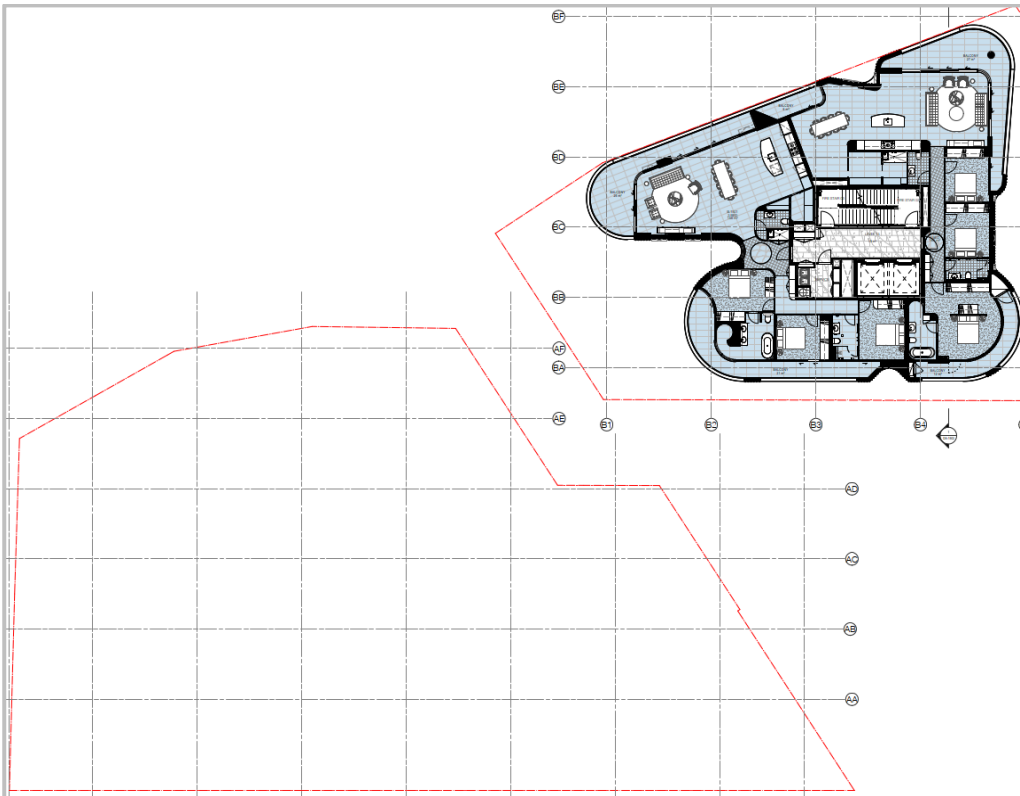
Level 13 Floor Plan



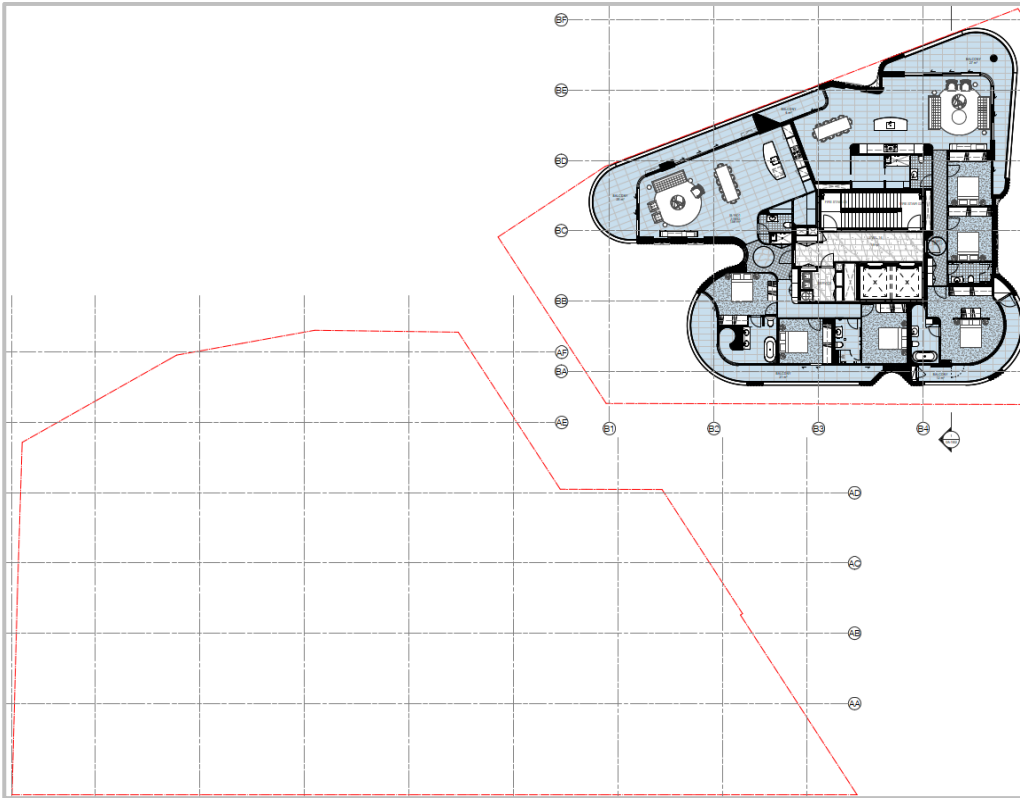
Level 14 Floor Plan



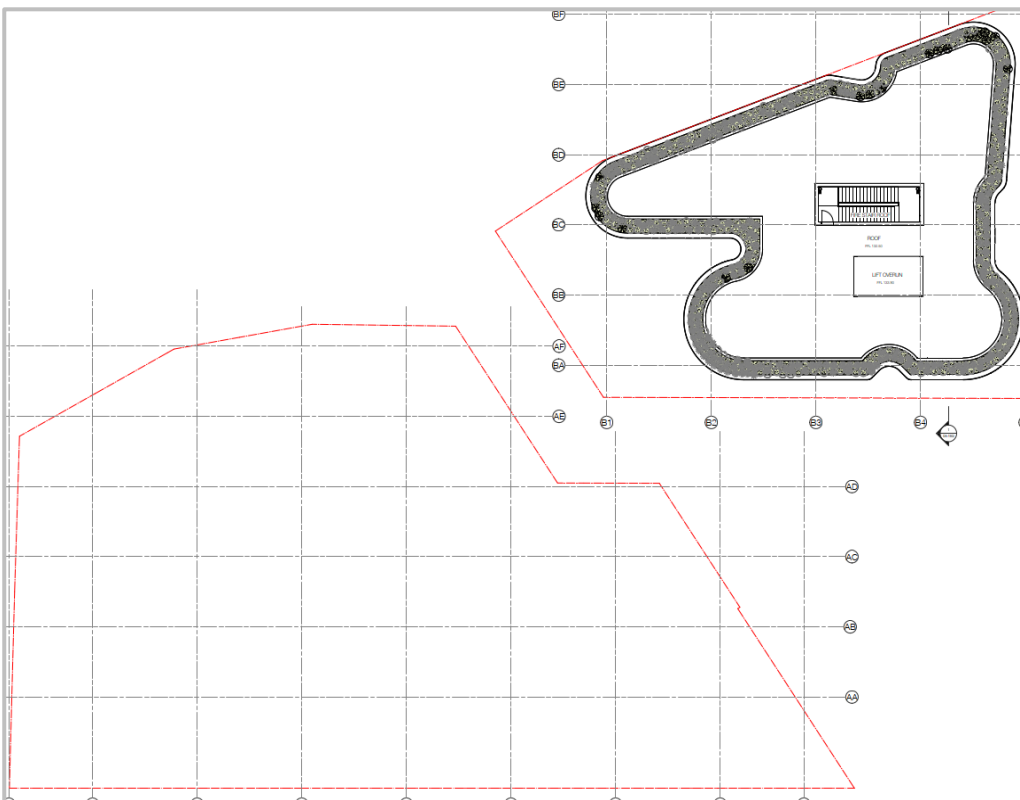
Level 15 Floor Plan



Level 16 Floor Plan



Roof Plan



North Elevation



East Elevation



South Elevations



West Elevation



4 Ecologically Sustainable Design (ESD) Initiatives

The principles of ecologically sustainable development are an integral consideration in design and construction of proposed development and also in assessing its benefits and impacts.

The design team will focus on a wide range of ESD strategies which will result in high levels of environmental performance and an increment on occupant's health, productivity, comfort and satisfaction.

4.1 Integrated Design Approach

The integrated design process is a process by which all of the design variables that affect one another are considered together and resolved in an optimal fashion. Often referred to as holistic design, this approach considers the development as a whole with the emphasis on integrating the different aspects of building's design.

4.2 Greenhouse gas emission reduction

Greenhouse gas emission reduction is achieved in a staged approach:

- First, reduction in overall energy consumption through demand reduction, passive design and energy efficiency, then;
- Reduction in electricity and gas utility consumption by utilising waste products, rainwater harvesting and renewable energy technologies (where feasible).

The integrated response to energy proposed for this project is summarised below:

1. Load Reduction and Passive Design
2. System Efficiency
3. Capture Waste
4. Renewable Energy (where feasible)

Energy consumption will be reduced through the efficient design of lighting, air-conditioning and ventilation systems, as well as energy efficient water heating and renewable energy technologies (where feasible). The development will consider Greenhouse gas emission reduction in design and operation through utilising energy conservation measures suitable for the development.

The following sections of the report outline the sustainability initiatives that will be considered and further developed by the design team during the detailed design stages.

4.3 Management

The initiatives under the management category promote the adoption of environmental principles from project inception, design, and construction phases to the operation of the building and its systems.

This category aims to highlight the importance of a holistic and integrated approach to constructing a building with good environmental performance. The following measures are some of the initiatives targeted within the management category and are subject to further design development. These initiatives aim to reduce environmental impacts at construction and operational stages as well as to maximise building performance at commissioning.

4.3.1 Environmental Ratings and Involvement of a GSAP

Environmental rating schemes such as Green Star (Australia), LEED (US), Living Building Challenge (US) or BREEAM (UK) are used to create a marketable environmental credential based on achievement of a recognised benchmark. Ratings can be useful for marketing to the occupants and for demonstrating ESD achievement for planning submissions.

Green Star is the most recognised rating scheme in Australia, with hundreds of certified buildings, mostly office buildings. The new Green Star – Design and As-Built chosen as an appropriate benchmark for the project.

Green Star includes a range of categories under which credits are available. Points are scored under each credit, and the total score is used to determine a final rating; 45-59 points for 4 Star, indicating Best Practice, 60-74 points for 5 Star, indicating Australian Excellence; and 75 or more points for 6 Star, indicating World Leadership. The categories are as follows:

- Management.
- Indoor environment quality.
- Energy.
- Water.

- Transport.
- Materials.
- Land use and ecology.
- Emissions.
- Innovation.

A Green Star Accredited Professional (GSAP) is involved as part of the design and construction to prepare the necessary ESD guidelines.

4.3.2 Commissioning Clauses

Commissioning of building systems to a high standard, with independent oversight, will ensure that a quality process is followed and provide an outside review of the practicalities of the design. An extended building tuning period should be undertaken following defects liability period to ensure that systems are performing as intended, taking into account different seasonal variables, and that any need for recommissioning is identified and carried out.

To adopt commissioning and handover initiatives that ensure that all building services can operate to optimal design potential, such as:

- Where possible, comprehensive pre-commissioning, commissioning, and quality monitoring to be contractually required to be performed for all building services (BMS, mechanical, electrical and hydraulic).

4.3.3 Building Tuning

After handover, the building owner is expected to implement tuning of all building systems and undertake full re-commissioning 12 months after practical completion.

4.3.4 Building User's Guide

To produce a Building User's / Occupant's Guide, information management that enables building users / occupants to optimise the building's environmental performance during its operation.

4.3.5 Environmental Management Plan

The contractor is expected to adhere to a comprehensive Environmental Management Plan (EMP) for the works.

Contractors are recommended to be ISO 14001:2004 certified. Environmental management plans and systems should be implemented to ensure that demolition and construction activities appropriately manage and mitigate environmental impacts.

4.3.6 Waste Management System

To encourage and facilitate effective waste management once the development is in operation, sufficient spatial provision will be made to allow for the effective separation of waste from recycling. Dedicated waste recycling rooms allow space for the separation and storage of recyclable waste during the building's operation, allowing for the following waste streams to be separated:

- Glass;
- Cardboard;
- Paper;
- Organics.
- Plastics,
- Metals.



Waste management solutions are varied and dependant on the extent of commitment of the end user. Recycling, reuse and composting are examples of waste management options.

4.3.7 Environmental Management and Maintenance

Effective environmental and waste management will be implemented throughout the demolition, construction and operational stages of this development.

The EMP shall include a Waste Management Plan, specifying recycling targets for demolition and construction waste. It is recommended that construction and demolition contracts stipulate a minimum 90% target for diversion of waste from landfill. This may be achieved through recycling or reuse.

- Identification of appropriate waste sub-contractors for recycling, costs of collection and timing of collection service;
- Participation in waste minimisation training for contractors and sub-contractors;
- Published waste minimisation plan to reduce site waste to landfill;

Provision of separate waste skips for cardboard, timber, metal, soft plastic, polystyrene, insulation, concrete, glass and bricks.

4.4 Indoor Environmental Quality (IEQ) Initiatives

Indoor Environmental Quality initiatives consider the wellbeing of occupants, addressing factors such as heating, ventilating and air conditioning (HVAC), lighting, indoor air quality and building attributes, all of which contribute to good indoor environmental quality.

The following measures are some of the initiatives targeted within the IEQ category for further consideration and development during detailed design.

- Improvement of outside air rate by providing at a rate greater than AS1668.2 requirements. Air-conditioning system will be installed with carbon dioxide monitoring and control to ensure sufficient outside is delivered to occupants.
- Optimisation of the air quality by improving air change effectiveness
- Maximisation of natural lighting level to the building occupants
- Minimisation of the contribution and levels of Volatile Organic Compounds (VOCs) via the use of low VOC paints, adhesives and sealants, carpets and flooring.
- All engineered wood products to be used in the development will have low formaldehyde emission.
- High efficiency lighting system with suitable luminance levels to avoid causing discomfort and strain for the occupants. All fluorescent luminaries are to be installed with high frequency ballasts to avoid discomfort caused by low frequency flicker.
- External Views: The design allows unobstructed external views for the majority of occupied spaces;
- Internal noise level at an appropriate level to ensure the occupants' satisfaction and wellbeing.

4.4.1 Thermal Comfort

Thermal comfort can be provided by passive and mechanical means. Passive design initiatives will be considered before the design of the mechanical systems to reduce operational energy costs, with potential reductions in the air conditioning size and ongoing maintenance.

Thermal comfort is a function of the following factors:

- Radiant temperature (45% of net comfort effect);
- Air temperature and humidity (35% of net comfort effect);
- Air movement, clothing and activity (20% of net comfort effect).

Passive heating and cooling design strategies which will improve occupant thermal comfort include:

- Roof insulation not only reduces heat gain and loss, but will also moderate radiant temperatures from the walls, floor and ceiling;
- Building facades with high performance glazing and window frames will have a combination of external shading and high-performance glass to reduce heat transfer and radiant temperatures in proximity to the windows.

Indoor areas will be designed to be protected from excessive summer solar radiation, reducing radiant heat loads on the space, but still providing enough daylight during appropriate times of the year to improve comfort levels.

The approximate annual Dry-bulb temperature and comfort range for the site is shown in Figure 4-1:

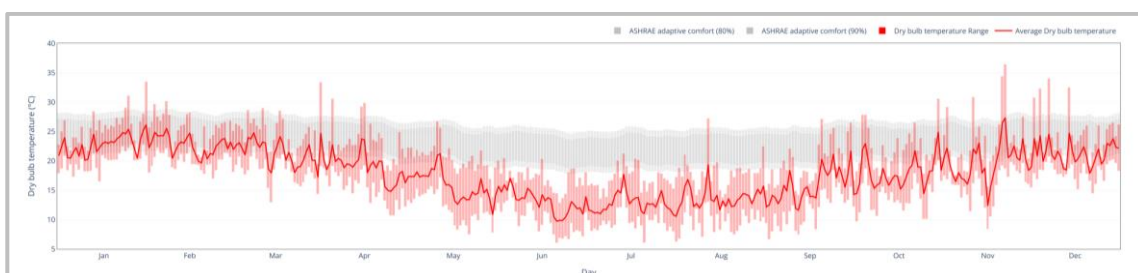


Figure 4-1 Annual Dry-bulb temperature and comfort range

4.4.2 Effective Daylighting / Natural Lighting

Daylighting is the architectural and services design to allow maximum daylight penetration into a building whilst minimizing heat gain and thereby reducing indoor lighting loads.

The level of natural light in the building is primarily determined by the extent and type of glazing, and the depth of the building floor plate. Extent of glazing must be optimised to allow maximum daylight, views, and winter sun, while minimising uncomfortable glare and excessive solar heat gains in summer. Glazing should be selected with a high Visual Light Transmission to maximise daylight penetration.

Daylighting strategies will be considered to allow effective control of indoor lighting levels whilst minimising power consumption for the building. High level of architectural input regarding design, orientation and external shading will be considered to effectively maximise natural lighting for the building.

Daylighting strategies combined with dimmable lighting systems will allow high control of indoor lighting levels whilst minimising power consumption for the building.

4.4.3 Volatile Organic Compounds (VOC) & Formaldehyde Minimisation

To ensure long term comfort of occupants, all due care will be taken to minimise VOC and formaldehydes used within the building. Maintaining VOC limits below the recommended levels will assist in reducing any potential detrimental impacts on occupant health arising from products which may emit volatile pollutants.

VOCs are commonly found in carpets, paints, adhesives and sealants uses in construction and extensive exposure to VOCs can cause Sick Building Syndrome effects (eye, nose and skin irritation, headaches lethargy etc.).

Formaldehydes are found within composite wood products and extensive exposure can cause irritation to eyes, nose and throat, lead to skin ailments and respiratory system ailments such as asthma.

Where possible, contamination of indoor air by common indoor pollutants will be minimised in this development by careful material selection, including:

- Use of low-VOC and water-based paints rather than oil-based paints, stains or sealants, reducing indoor air contamination and consequent side-effects including sick-building syndrome and respiratory problems;
- Selection of low-VOC carpets and adhesives;
- Selection of low formaldehyde composite wood products, avoiding the carcinogenic effects of formaldehyde off-gassing.

4.5 Energy Conservation Initiatives

It is essential to ensure the building is designed and built to minimise energy consumption and reduce or eliminate greenhouse gas emission to the atmosphere. Energy performance is considered by the design team as a crucial issue.

The energy conservation initiatives aim to reduce the overall energy consumption for the project directly contributing to greenhouse gas emissions and energy production capacity.

Greenhouse reductions are achieved in a staged approach:

- Reduction in overall energy consumption through demand reduction and energy efficiency.
- Reduction in electricity and gas utility consumption by utilising waste products and renewable energy technologies.

Several strategies will be assessed and put in place to minimise energy consumption.

The integrated energy strategies being considered for the development include items which are listed in Table 4-1 below:

Table 4-1 The integrated energy strategies.

Load reduction (Minimising the need for energy consumption)	Passive Design
	Building fabric improvements
	Maximise use of natural lighting
	Maximise use of natural ventilation
	High efficiency Heating, Ventilation and Air Conditioning

Optimising energy consumption	High efficiency LED lighting with occupancy controls
	High efficiency hot water systems
	High efficiency appliances
	Commissioning and tuning of building services post completion
	High efficiency building control, automation and BMS
Use of renewable resources (renewable energy and rainwater harvesting)	Application of Solar Energy & Heat Pump technology

4.5.1 Passive Design

The development will utilise passive design to minimise the amount of air-conditioning required and therefore significantly reduce the building’s energy consumption and greenhouse performance. A building’s form, fabric and orientation will have the biggest influence on its thermal comfort and environmental performance. The following factors will be considered in the detailed stages of the design:

- Orientation
- Shading
- Structure
- Insulation
- Glazing

Climate data for the site

Figure 4-2 and Figure 4-3 provide indicative site information data can be used to inform the design team.

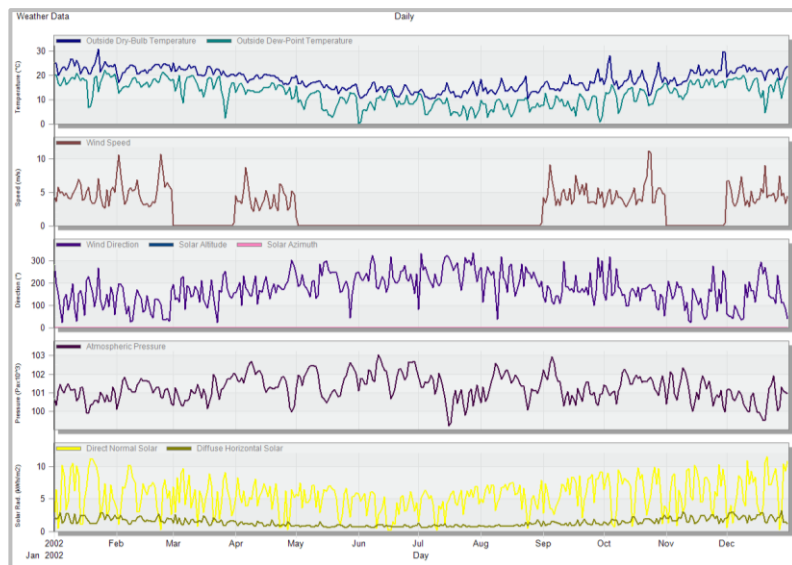


Figure 4-2 Climate data for the site.

Wind data based on the nearest weather station

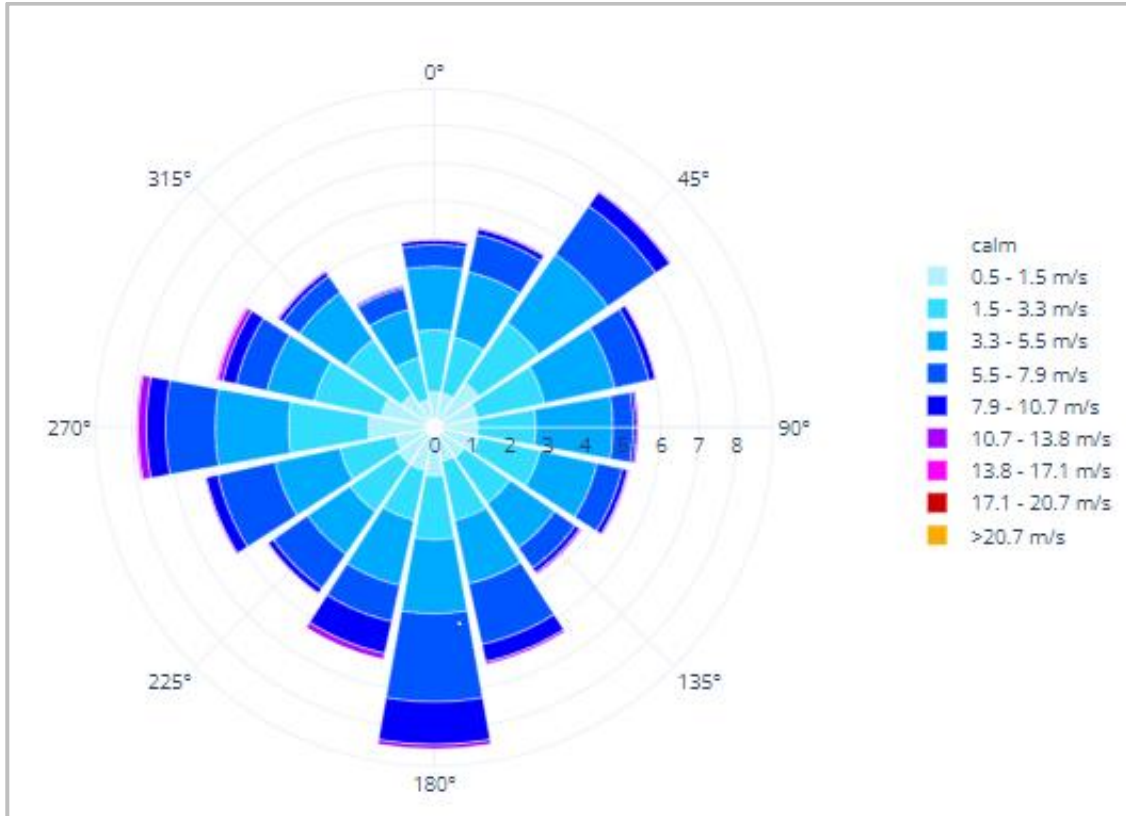


Figure 4-3 Wind data based on the nearest weather station

Sun path and temperature chart for the site show in Figure 4-4.

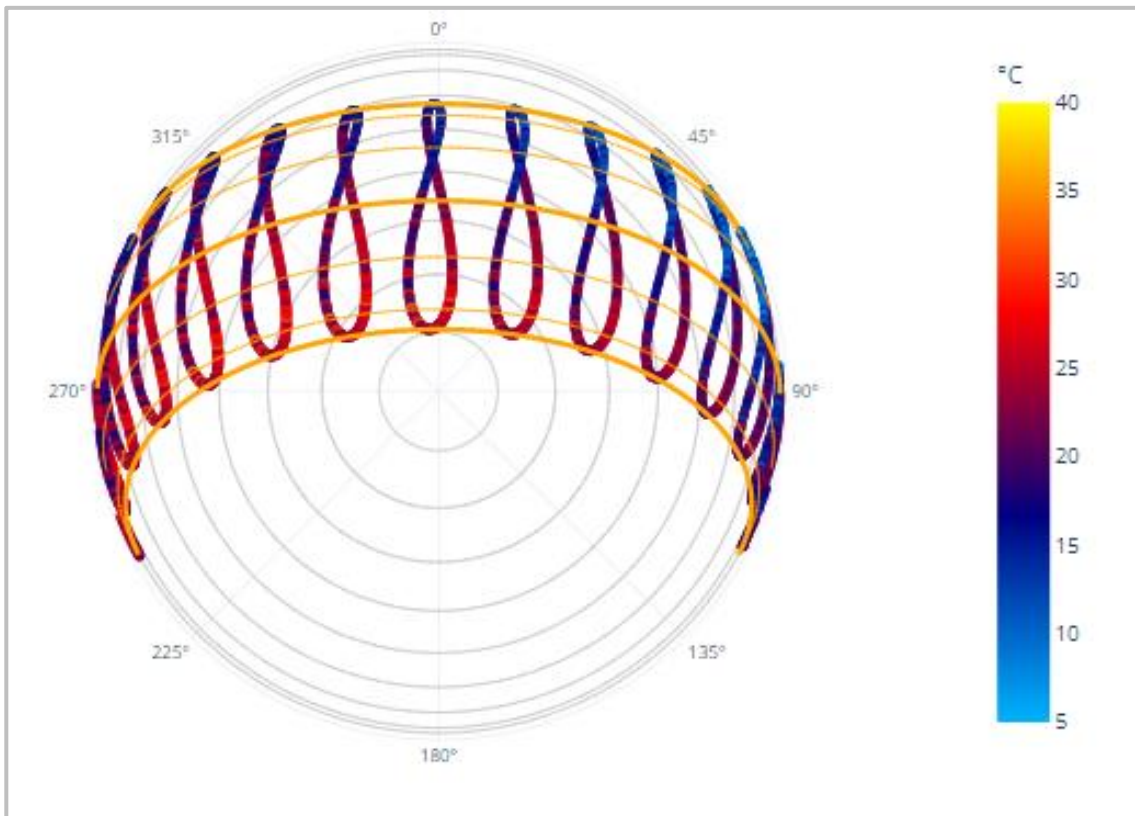


Figure 4-4 Sun path and temperature chart for the site.

4.5.2 Building Envelope

The building envelope will be designed to reduce heating and cooling requirements through passive design principles. The role of the building envelope is to block solar gains from penetrating the building fabric in summer while optimising daylight and minimising glare. The glazing performance and shading configuration for each orientation will be optimised to ensure that thermal comfort is achieved and solar gains are adequate for the efficient operation of the mechanical system.

4.5.2.1 Insulation

The building envelope will be treated with the required levels of thermal insulation to reduce heat gains in hot days and to minimise heat losses in cold days through conduction. This will have significant impact on reducing energy consumption.

Insulation reduces the heat transfer between the internal and external conditions. Adequate insulation will be allowed for the ceilings, floors and walls to reduce the heating and cooling load of the building and to reduce the ongoing operational costs. This has a twofold saving through a smaller mechanical system capacity along with operating energy consumption reduction.

All insulations installed are required to meet NCC and AS/NZ 4859.1 and the builder is required to ensure compliance, during construction.

4.5.2.2 Glazing and Window Framing

Adequate performance glass will be provided to reduce excessive heat gains in hot conditions, increasing periods when natural ventilation will be able to restore thermal comfort, and therefore reducing the frequency of air conditioning use.

The following glazing parameters will be considered:

- U-Value: a measure of how much heat is passed through the glass.
- Solar Heat Gain Coefficient (SHGC)
- Visible Light Transmission (VLT): the percentage of visible light transmitted by the glass.

Where possible, the glazing will have a low SHGC to avoid heat gains in the summer, and a low U-value to reduce losses in the winter through the glass. The performance of the proposed glazing systems (glass and frame) is required to comply with NFRC100-2001 conditions and using the tested AFRC values.

Consideration will be given to incorporating effective shading features into the design to avoid the necessity for low shading coefficients in the glass, which usually also decrease the visible light transmission (VLT) of the glass. To maximise the natural daylight within the building, VLT should be as high as possible.

Glazing properties will be specified in conjunction with the shading arrangement on each orientation to control solar loads imposed on the mechanical systems, ensuring thermal comfort, optimising daylight penetration and preventing glare. This strategy will effectively minimise direct solar loads whilst maximising daylight penetration and access to views.

To reduce heat losses in cold days, especially at night, the use of blinds will limit the contact between the internal air and the glass, therefore reducing heat losses by conduction. Relative parametric charts are shown in Figure 4-5 and Figure 4-6.

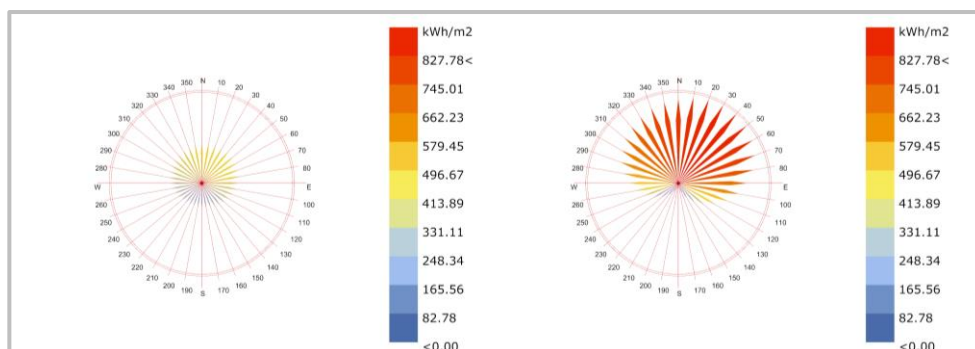


Figure 4-5 Solar Radiation Rose

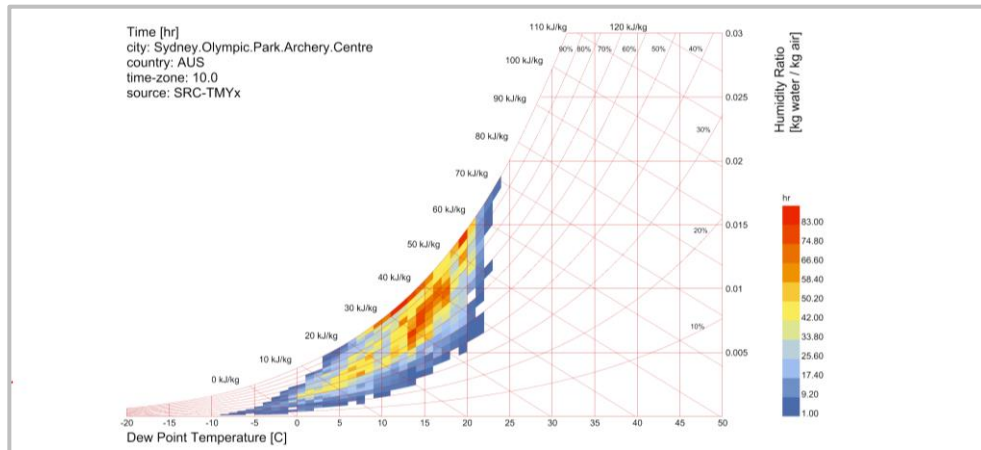


Figure 4-6 Psychrometric Chart

4.5.3 Energy Efficient Systems and Services

The mechanical and electrical systems for the building will be developed to minimise the need for plant equipment and will be designed to be responsive to the immediate climatic conditions.

Energy consumption will be reduced through the efficient design of lighting, air-conditioning, hot water and ventilation systems. The following energy efficiency initiatives will be further investigated and where feasible incorporated in the building services design.

4.5.3.1 Efficient Artificial Lighting

Lighting efficiency is important in maintaining low energy consumption for reuse projects. Lighting consumption for a facility such as this could account between 15-25% of the estimated energy use of the facility.

High efficiency lighting and effective control initiatives such as daylight and movement sensors will be considered to reduce artificial lighting energy consumption and allow maximum advantage to be taken of natural lighting.



Lighting power density is required to meet AS1680 and NCC requirements. Energy efficiency for the internal lighting throughout the building is required to be in accordance with NCC energy efficiency requirements and the following.

- High quality LED lighting where applicable;
- Lighting control system based on smart zoning, occupancy profiles and operational hours, dimming controls and timers.

Photoelectric (PE) / Photodiode sensors or similar controls to detect when external lighting should switch on and off to reduce the energy consumption associated with external lighting where possible.

No external lighting is to be installed such that any direct light beam results into the night sky either generated from within the site. The path of any direct light's angle of incidence that is directed to the sky must be obstructed by a non-transparent surface and the lighting design and is to comply with AS4282 'Control of the Obtrusive Effects of Outdoor Lighting'.

4.5.3.2 Efficient Heating, Ventilation & Air-Conditioning (HVAC)

Heating and cooling of the building accounts for a large portion of the building's energy use throughout the year. Selection of highly efficient HVAC equipment with high performance levels not only minimises energy consumption, but also reduces operational energy costs.

The design of the mechanical services will be to industry Best Practise Standards. An emphasis will be placed on providing low energy Heating Ventilation Air Conditioning (HVAC) systems and strategies. To ensure the energy efficient performance of HVAC systems specified and installed mechanical plant will be of high quality and supplied by leading industry manufacturers.

The energy efficiency of HVAC system is required to meet the minimum requirements of the National Construction Code (NCC), Green Star provisions where feasible and relevant Australian Standards including but not limited to AS1668.1, AS1668.2, AS 1682 and AS3666.

The following energy initiatives will be further considered in the detailed design phase:

- The air conditioning strategy is optimized to reduce energy consumption and maximize efficiency. For example, by moderating the amount of fresh air relative to the number of people in the space, through the use of CO2 detectors. The system will be zoned to increase the flexibility in the use of different spaces and reduce overall consumption.
- Variable speed drives will be provided to fans and pumps where feasible.
- Full outside air cycle will be provided to all air handling systems.
- Building commissioning and building tuning to be undertaken to ensure that the building systems function as required to achieve energy efficiency design targets.
- All refrigerant plant will be specified such that the refrigerant type has Zero Ozone Depletion Potential (ODP).

Common area ventilation systems are to include variable speed modes where appropriate and are to be linked to light switches where feasible to limit the extent of operation and improve energy efficiency of these areas.

The Mechanical services will be designed to satisfy the minimum Green Star and NABERS requirements.

Heatmap Chart based on the data from the nearest weather station is depicted in Figure 4-7 below:

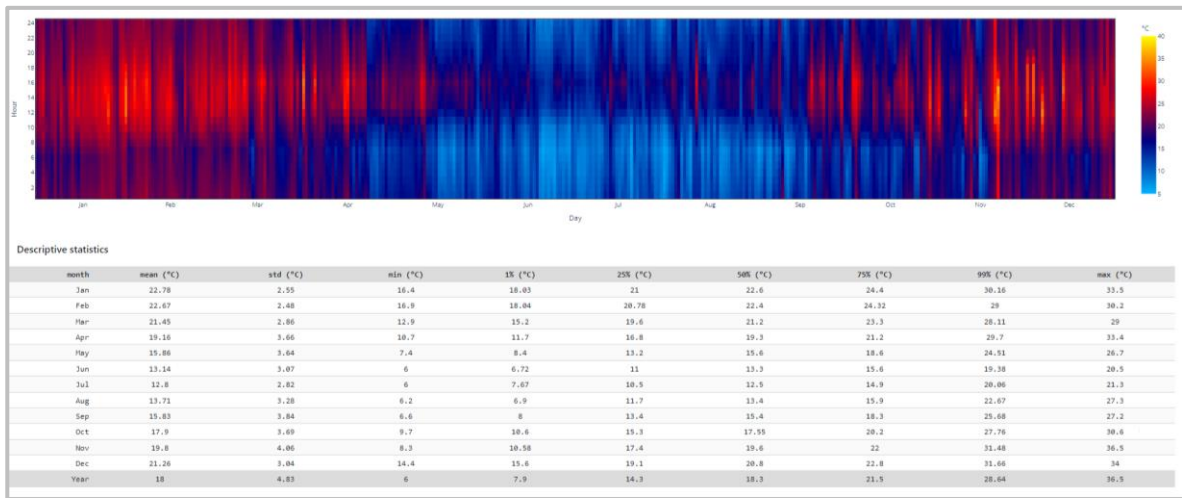
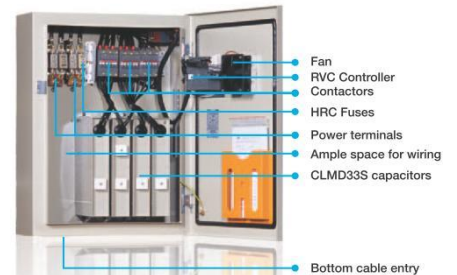


Figure 4-7 Heatmap Chart.

4.5.3.3 Power Factor Correction

To reduce maximum kVA demand on the electricity grid and lower the demand charges, power factor correction units will be provided at the main switch board(s) in accordance with the NSW Installation and Service Rules.

The power factor correction units proposed will improve the power to a factor of 0.98 or higher.



4.5.3.4 Monitoring & reporting

To enable effective monitoring and tracking of energy and water consumption, sub-metering will be considered for systems with major energy use, to help identify areas of inefficiency with potential for improvement.

Metering is to be provided throughout the building and central services for all major building plant and equipment. An effective monitoring system is to be provided to monitor energy and water consumption throughout the building as required.

Ongoing reporting may allow the manager of the facility to set goals for energy consumption reductions and attributed energy costs to particular uses. By monitoring energy, losses and wastage can be identified, therefore improving the overall performance of the building in operation. This initiative is subject to further design development and review.



4.5.3.5 Hot Water Systems

High efficiency heat pump hot water systems will be used to provide the Hot Water demands for the buildings.

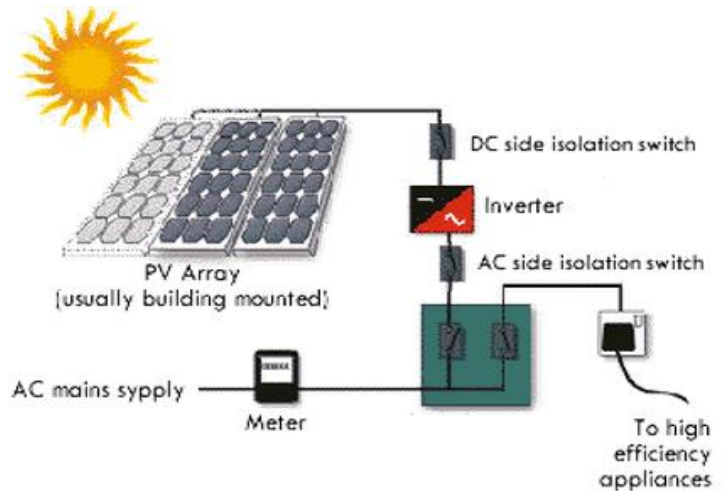
4.5.4 Renewable Energy – Solar Photovoltaic (PV) System

Photovoltaic (solar PV) is a common and widely accepted technology to generate electricity onsite. The generated electricity can be harnessed and used to power any number of devices. It is proposed that the PV panels are mounted on the roof where they will be out of sight and produce the optimum energy output.

PV modules have a very long lifetime with many manufacturers guaranteeing an output of at least 80% of manufactured capacity for 20 years. Another benefit of PV is that it can be installed in various system sizes and the modular design of the systems allows retro-fitting of additional panels if required in the future.

There are generally three types of solar panels available: mono-crystalline (proposed for this development), poly-crystalline and amorphous. Each of these have their advantages and disadvantages and efficiencies range from 6% for amorphous to 19% for mono-crystalline.

A 3kW Solar PV system has been nominated for the development. The expected renewable energy generation by the overall 3kW system is approx. 2.7MWh per annum.



4.5.4.1 Solar PV - System Components

The Photovoltaic (PV) system may consist of the following main components or of equal capacity, as listed in Table 4-2.

- Total nominal power:** **3kW**
- Approx. roof space requirements:** **19m²**

Table 4-2 Solar PV Components information.

Components	Brand, Model & Quantity
Sample PV Inverter	Sungrow 3kW – SG2K5-S - Quantity: 1
Sample PV Panels	Trina - TSM-600-DEG20C.20 – capacity: 600W - Quantity: 5 Approx.
PV mounting frame and system balance	Quantity: depending on the requirements and final design

Table 4-3 summarises the estimated annual renewable energy generation for the proposed Solar PV (3kW).

Table 4-3 Annual renewable energy generation

Annual energy generation based on full 7 days per week (With battery)	2,722 kWh
Annual energy generation based on 5 days per week.	1,944 kWh

The exact sizing, configuration and final design will be completed during the design stage. Please refer to Appendices A, B, C, D & E for technical data sheets of the proposed PV panels (Trina), the grid-connected inverter (Sungrow).

4.5.4.2 Solar Ration and Cloud Coverage for the site

Solar Ration, Cloud Coverage and Global Horizontal radiation charts for the site are shown in Figure 4-8 and Figure 4-9, respectively.

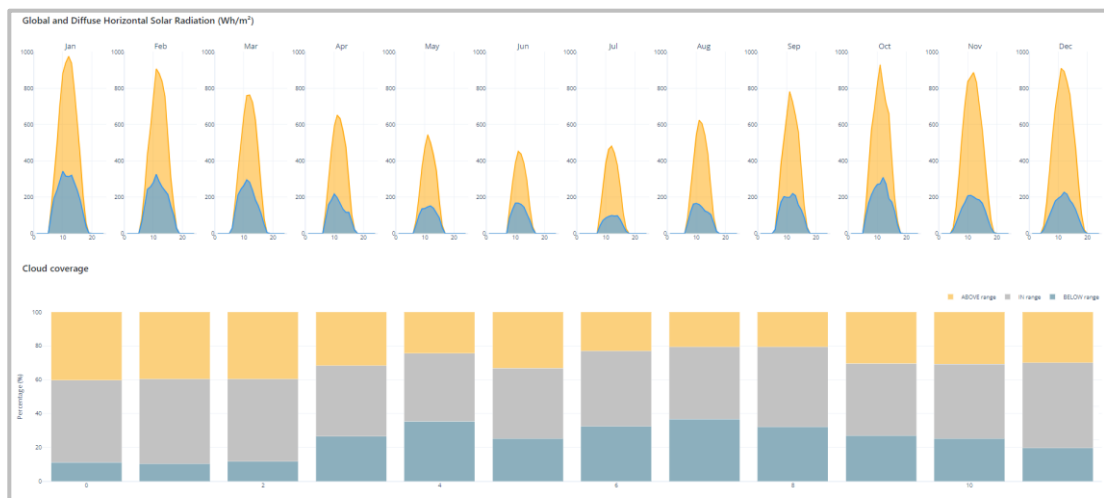


Figure 4-8 Solar Ration and Cloud Coverage.

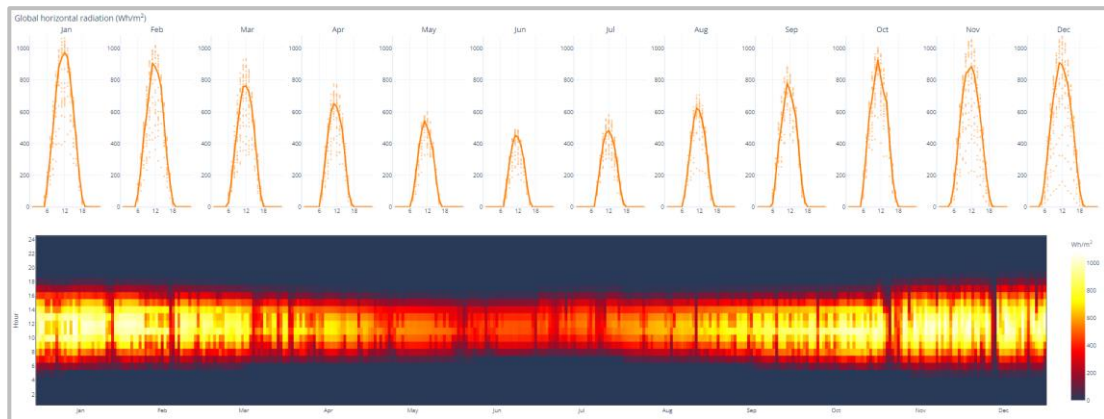
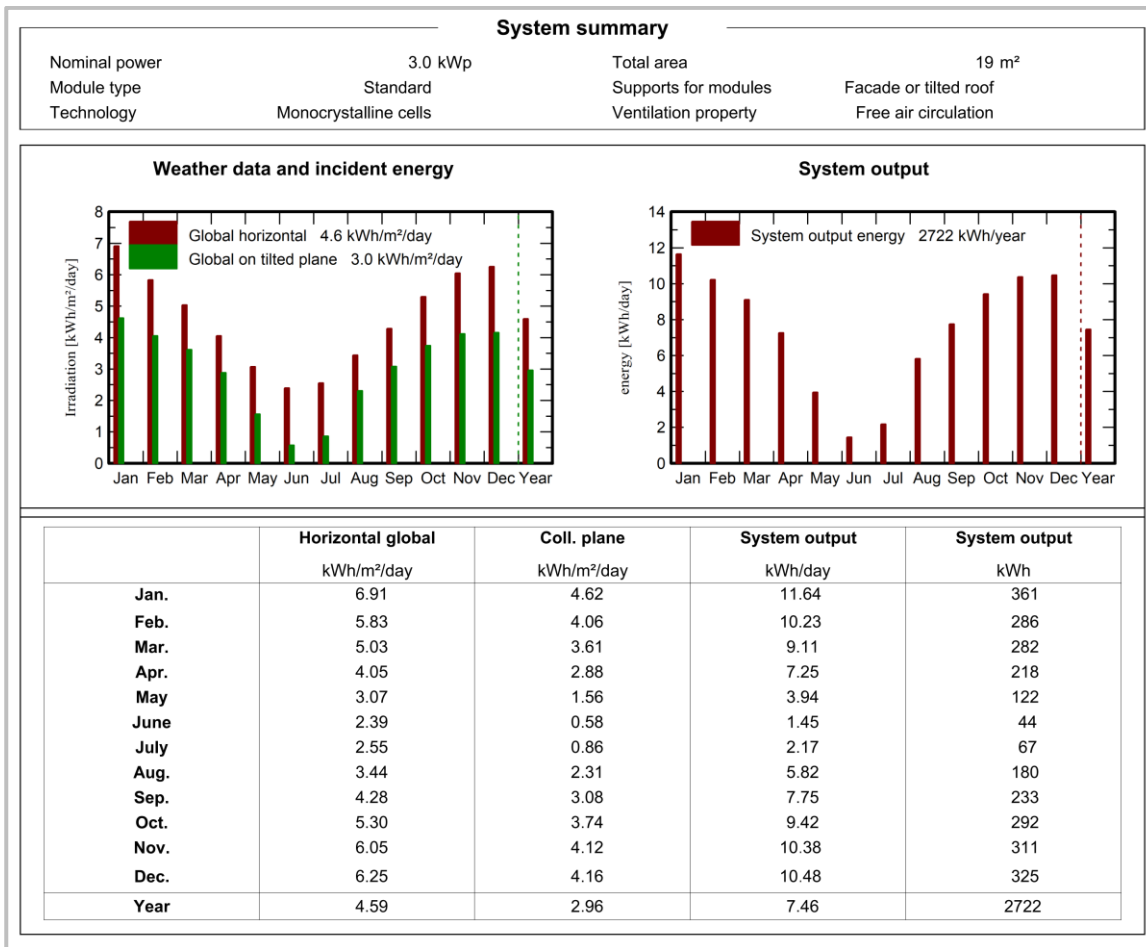


Figure 4-9 Global Horizontal radiation.

4.5.4.3 Solar PV - Projected energy generation based on 3kW system



4.6 Transport sustainability measures

The use of transport (both private and commercial) is a major contributor to environmental pollution and the excessive consumption of natural resources. The following sustainable transport principles are recommended.

- Improve amenity for active transport users (pedestrians and cyclists), with attention paid to the needs of specific user groups likely to have a greater reliance on active transport such as youths, office employees, and nearby community groups.
- Promote nearby cyclist facilities to enhance the uptake of cyclists to the site.
- Integrate transport initiatives into community engagement and communication strategies.

Given the site location of the development, the occupants will be able to take advantage of local public transport networks and available facilities around the site such as retail shops.

The following measures are some of the initiatives recommended to reduce dependence on motorised vehicles, encouraging walking, cycling and the use of mass public transport.

- **Cyclist facilities:** provision of bicycle racks; where possible adequately sized and fully equipped secure cyclist facilities with change room and showers are to be provided to promote the use of cycling to work.
- **Public Transport:** The building is close to public transport with a number of bus routes served; building occupants are encouraged to use mass transport to travel to work.
- **Trip Reduction:** The development is located adjacent to several local amenities, reducing the need for trips.
- **Fuel efficient vehicles:** encouraging the use of more fuel-efficient vehicles by providing adequate parking spaces at prime parking spot solely dedicated for use by small cars, car-pool participants or other alternative fuel vehicles and EV charging points.

4.7 Water Conservation and Management Initiatives

The water conservation category aims to reduce the overall water potable consumption and provide effective mechanisms for recycling of water uses on site.

The approach to water efficiency for the development will focus on reducing water demand through conservation measures and water reuse systems. Water conservation strategies proposed for this project include:

- Reducing the potable water consumed within the development through demand management.
- Substituting mains water required to meet this demand by utilising alternative sources such as rainwater.

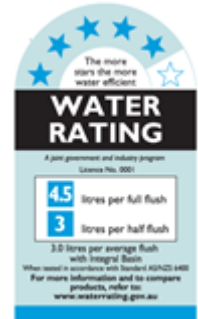
4.7.1 Demand Management

Strategies to minimise consumption include water-efficient fittings and fixtures, water-efficient appliances and low-water use air-conditioning and irrigation systems. In order to reduce the overall water consumption for this development, the following initiatives will be considered.

All water fixtures to be installed to the building are to be water efficient and where possible exceed the BASIX requirements. The criteria outlined in Table 4-4 are provided as a guide and subject to further design development.

Table 4-4 Water rating.

Water Fixtures	Hand wash basins – 5 Star WELS;
	Kitchen taps (where provided) – 5 Star WELS
	Showerheads (where provided) – 3 Star WELS or higher
	Toilets – 4 Star WELS or higher
Appliances	Dishwashers (where provided) – 2 Star WELS or higher
Air Conditioning	Minimise use of water-cooled systems
Landscape Irrigation (where applicable)	Native and water efficient species
	Sub-surface irrigation
	Rainwater usage for landscape



4.7.2 Landscape Selection

The use of native, drought-resistant planting will be considered to reduce water consumption used in irrigation. Sub-soil irrigation systems should be considered where non-native species are selected.

The landscape design shall enhance Biodiversity in terms of Landscape Area and Diversity of Species.

4.7.3 Rainwater collection and recycling

In order to reduce the impacts of stormwater runoff from the site, the following stormwater management strategies will be considered:

- Rainwater capture from rooftops for reuse in building reducing stormwater runoff as well as mains potable water use.
- The use of permeable surfaces to be considered where suitable, allowing stormwater to seep directly into the earth and reducing stormwater flows off-site.

Collecting rainwater from roof runoff is a common way to recycle water. In addition to saving potable water, it allows preparation for times of low rainfall, so landscapes will be maintained throughout the year. It also reduces loads on storm water systems because roof runoff is not flushed into the drains. Rainwater will be collected from roof runoff and piped to storage tanks and will be used on site.

Ultra-violet (UV) treatment is the disinfection process of passing water by a special light source. Immersed in the water in a protective transparent sleeve, the special light source emits UV waves that can inactivate harmful microorganisms. This method of treatment is growing in popularity because it does not require the addition of chemicals.

Harvested water will be considered to supplement non-potable water uses such as common area landscape irrigation.

This strategy will assist to significantly reduce the potable water consumption for the facility.

4.7.4 Water consumption monitoring and reporting

Where practical, it is recommended that all major water uses within the building to be provided with water meters. This includes central services, rainwater tanks, irrigation systems, potable water, non-potable water sources.

Water monitoring will assist to identify abnormal usage patterns usually associated with leaks, helping to reduce the considerable water lost in this way. In addition, it would also allow to measure and verify the impact of any water efficiency measures implemented in the facilities.



4.8 Materials

This category aims to reduce the consumption of natural resources and encourage the reuse of materials. The various environmental and human health impacts arising from building materials are reduced when special attention is given to the selection of ecologically preferable materials.

To minimise the environmental impact of the development, preference will be given to environmentally responsible materials during the selection process, according to the following principles:

- Avoidance of ecologically sensitive products (such as scarce minerals and old-growth forest)
- Selection of materials with a low embodied energy and high recycled content;
- Low toxicity material selection;
- Low impact on the indoor environment;
- Durability, flexibility and recyclability;
- Emissions in manufacture and composition, including greenhouse gases and ozone depleting substances;
- Waste reduction
- Provisions for appropriate recycling storage space that facilitates recycling

The targeted initiatives will reduce embodied energy and environmental impacts caused by the whole life cycle of building materials.

4.8.1 Reuse and Conservation of materials

Where possible reuse the building material to conserve embodied energy and water. By conserving the building fabric or structure the waste volumes are significantly reduced for the development.

4.8.2 New Materials

Material specifications for the project will consider elements of sustainability that relate to the following factors of durability, embodied energies, renewable sources content, ease of manufacturing, ability to be recycled / reused / reconditioned, maintenance, local availability, VOC content, emission production, affordability and toxicity.

Where feasible the materials specified for this project are to consider the above environmental measures through a comparison between different product types and manufacturers where possible. The design team is to adopt this approach in assessing suppliers and products for the development.

Interiors finishes will consider the concentration of Volatile Organic Compounds with products for adhesives, paints, carpets and floor sealants. The design team will work with suppliers and contractors to identify opportunities to reduce the level of VOCs within products and finishes.

4.8.3 Materials with Ozone Depletion Potential

Selection of insulation will be targeted to minimise Ozone Depletion Potential (ODP).

4.8.4 Operational Waste Minimisation

To encourage and facilitate effective waste management once the facility is in operation, sufficient spatial provision will be made to allow for the effective separation of waste from recycling. Dedicated waste recycling rooms allow space for the separation and storage of recyclable waste during the building's operation, allowing for the following waste streams to be separated:

- Glass;
- Cardboard;

- Paper;
- Organics.
- Plastics,
- Metals.

Waste management solutions are varied and dependant on the extent of commitment of the end user. Recycling, reuse and composting are examples of waste management options.

The following waste streams have currently been identified:

- Office waste.
- Paper and cardboard.
- Plastics.
- PET bottles and containers, cans, and glass.
- Compostable material.
- Grease and fats.
- Cigarette butts.
- Light tubes.
- Toxic or hazardous materials.
- Foam.
- Cleaning products and other substances going down drains.
- Composting of organic waste from the restaurant, for re-use within the Greenhouse.

4.8.5 Timber

Where possible, timber will be supplied from sustainable sources including Forestry Stewardship Council (FSC) certified plantation timbers and recycled products. No timber (either solid or veneer form) will be sourced from rainforests or old-growth forests.

4.8.6 PVC Minimisation

PVC is being phased out in the European Union, as there is widespread evidence to its harmful environmental impact, particularly during disposal or fire. PVC is used in almost all electrical and data cabling and for drainage pipework. Alternatives to PVC products will be used where feasible:

- HDPE and polypropylene pipe work instead of PVC pipe for water supply and drainage systems;
- Linoleum and other natural products instead of vinyl floor coverings;
- Composite materials for electrical cabling.

4.9 Land Use and Ecology

This initiative refers to improvements through Reuse of Land or Change of Ecological Value. The site has been previously built on, and is not a Greenfield. The new development will aim to enhance permeable area and vegetation improving the ecological value of the site.

4.10 Emissions

In addition to the reduction in greenhouse emissions as a result of lower on-site energy usage, emissions to land, air and water will be minimised. The following measures are some of the initiatives targeted within the emissions category:

- Where available, thermal insulation products should be selected which have a low Ozone Depletion Potential in their manufacture and composition, reducing the impacts of insulation on the atmosphere;
- Where feasible, refrigerants will have an Ozone Depletion Potential of zero; and integrated refrigerant leak detection will ensure early identification of leaks;
- Estimated wastewater discharge to sewer will be significantly reduced relative to a standard building through the implementation of water efficiency measures;
- Watercourse Pollution: Design that minimises stormwater run-off to and the pollution of the natural watercourses.
- Light Pollution: No light beam will be directed upwards or outside the building. External lighting will be in accordance with AS 4282-1997. This will assist to minimise interference and disturbance to neighbouring properties and wildlife.

5 Climate Change Adaptation

5.1 NARCLIM Climate Change Projections

The information provided in this section of the report follows the climate change projections based on the NSW and ACT Regional Climate Modelling (NARCLIM) project. NARCLIM is a multi-agency research partnership between the NSW and ACT governments and the Climate Change Research Centre at the University of NSW. NSW Government funding comes from the Office of Environment and Heritage (OEH), Sydney Catchment Authority, Sydney Water, Hunter Water, NSW Office of Water, Transport for NSW, and the Department of Primary Industries.

Climate change projections are presented for the near future (2030) and far future (2070), compared to the baseline climate (1990–2009). The projections are based on simulations from a suite of twelve climate models run to provide detailed future climate information for NSW and the ACT.

The climate change projections are made for the following 5 parameters:

1. Temperature extremes.
2. Hot days.
3. Cold nights.
4. Rainfall.
5. Fire weather.

Reference: <https://climatechange.environment.nsw.gov.au/>

NSW Office of Environment and Heritage (OEH)

5.1.1 Temperature

Bondi Junction NSW is expected to experience an increase in all temperature variables (average, maximum and minimum) for the near future and the far future:

- Maximum temperatures are projected to increase by 0.7°C in the near future and up to 1.9°C in the far future. Spring will experience the greatest change in maximum temperatures, increasing by up to 2.2°C in the far future. Increased maximum temperatures are known to impact human health through heat stress and increasing the number of heatwave events.
- Minimum temperatures are projected to increase by 0.6°C in the near future up to 2°C in the far future. Increased overnight temperatures (minimum temperatures) can have a considerable effect on human health (Figure 5-1).

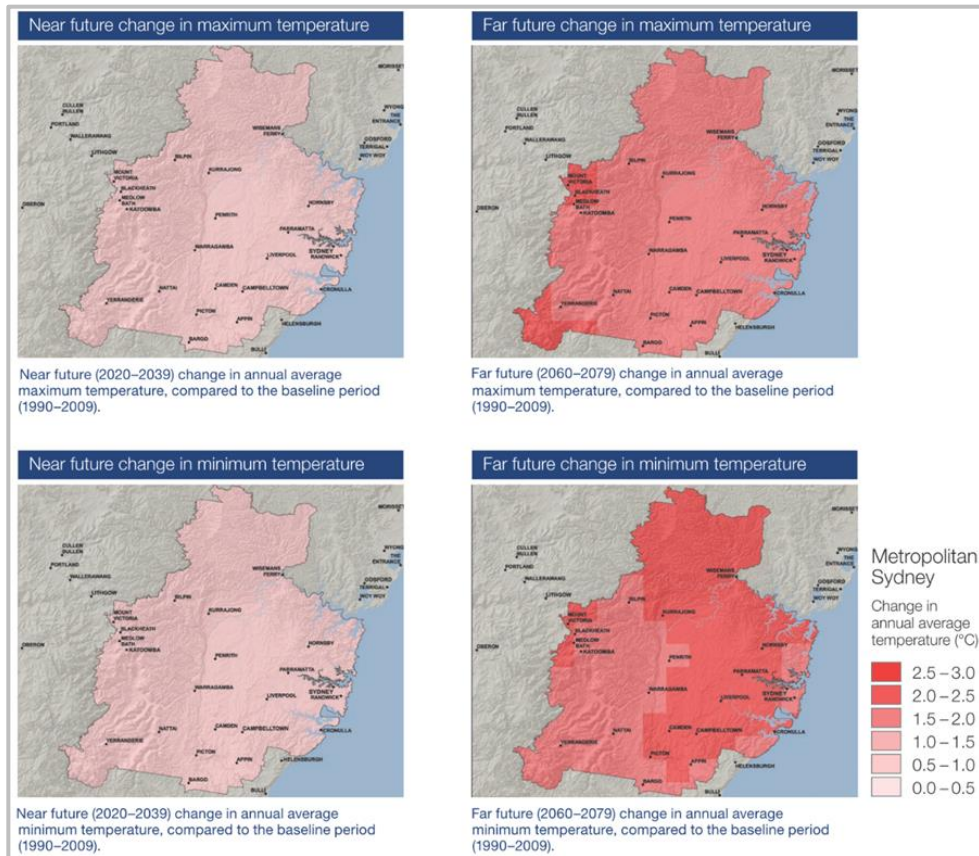


Figure 5-1 Annual average temperature – Sydney variation map.

5.1.2 Hot days (days per year above 35°C)

Currently Bondi Junction NSW experiences fewer than 10 days above 35°C each year due to its proximity to the coast. Seasonal changes are likely to have considerable impacts on bushfire danger, infrastructure development and native species diversity.

- The facility is expected to experience more hot days in the near future and in the far future.
- These increases in hot days are projected to occur mainly in spring and summer although in the far future hot days are also extending into autumn (Figure 5-2).

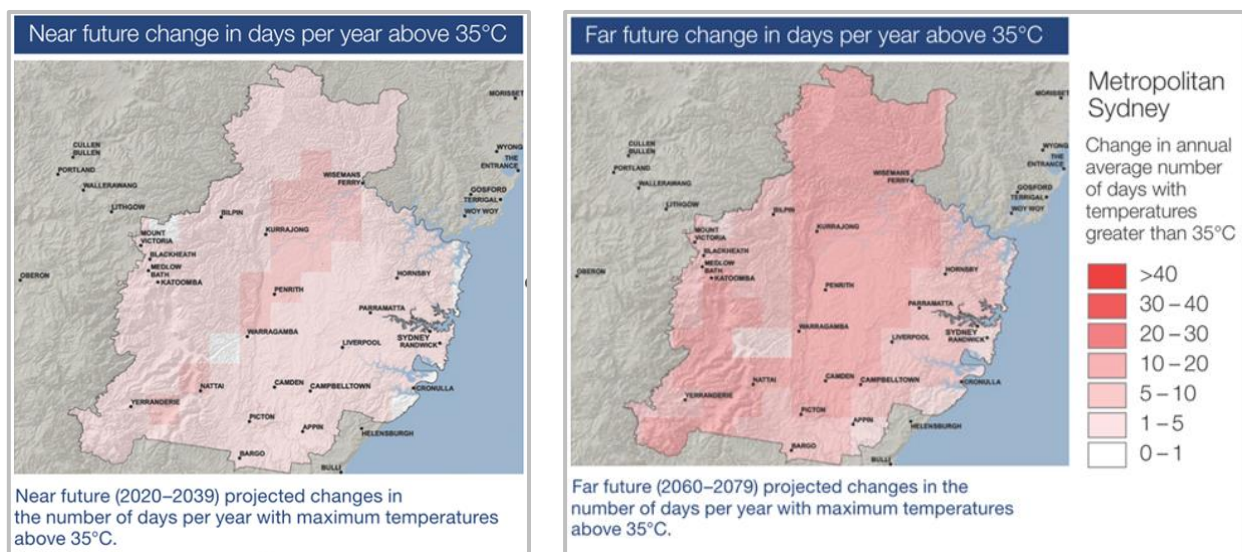


Figure 5-2 Change in annual average number of days with temperatures greater than 35°C – Sydney variation map.

5.1.3 Cold nights (days per year below 2°C)

Most of the emphasis on changes in temperatures from climate change has been on hot days and maximum temperatures, but changes in cold nights are equally important in the maintenance of our natural ecosystems and agricultural/horticultural industries. For example, some common temperate fruit species require sufficiently cold winters to produce flower buds.

- The greatest decreases are projected to occur in the south-west and in the Blue Mountains, with decreases of up to 20 nights by 2030 and more than 40 fewer cold nights by 2070.
- NARClIM projections suggest that Bondi Junction NSW will not see a considerable decrease in cold nights (see the white areas in the Figure 5-3).

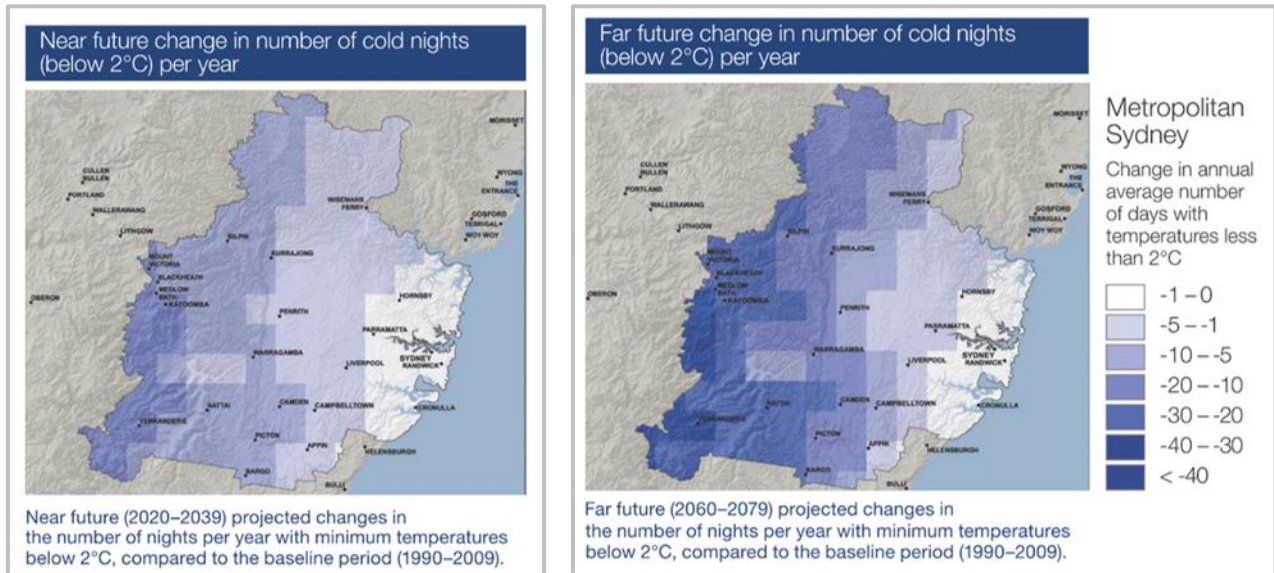


Figure 5-3 Change in annual average number of days with temperature less than 2°C – Sydney variation map.

5.1.4 Rainfall

Changes in rainfall patterns have the potential for widespread impacts. Seasonal shifts can often impact native species' reproductive cycles as well as impacting agricultural productivity, for example crops that are reliant on winter rains for peak growth. The majority of models (8 out of 12) agree that autumn rainfall will increase in the near future and the far future (7 out of 12). Rainfall is projected to increase in autumn (Figure 5-4).

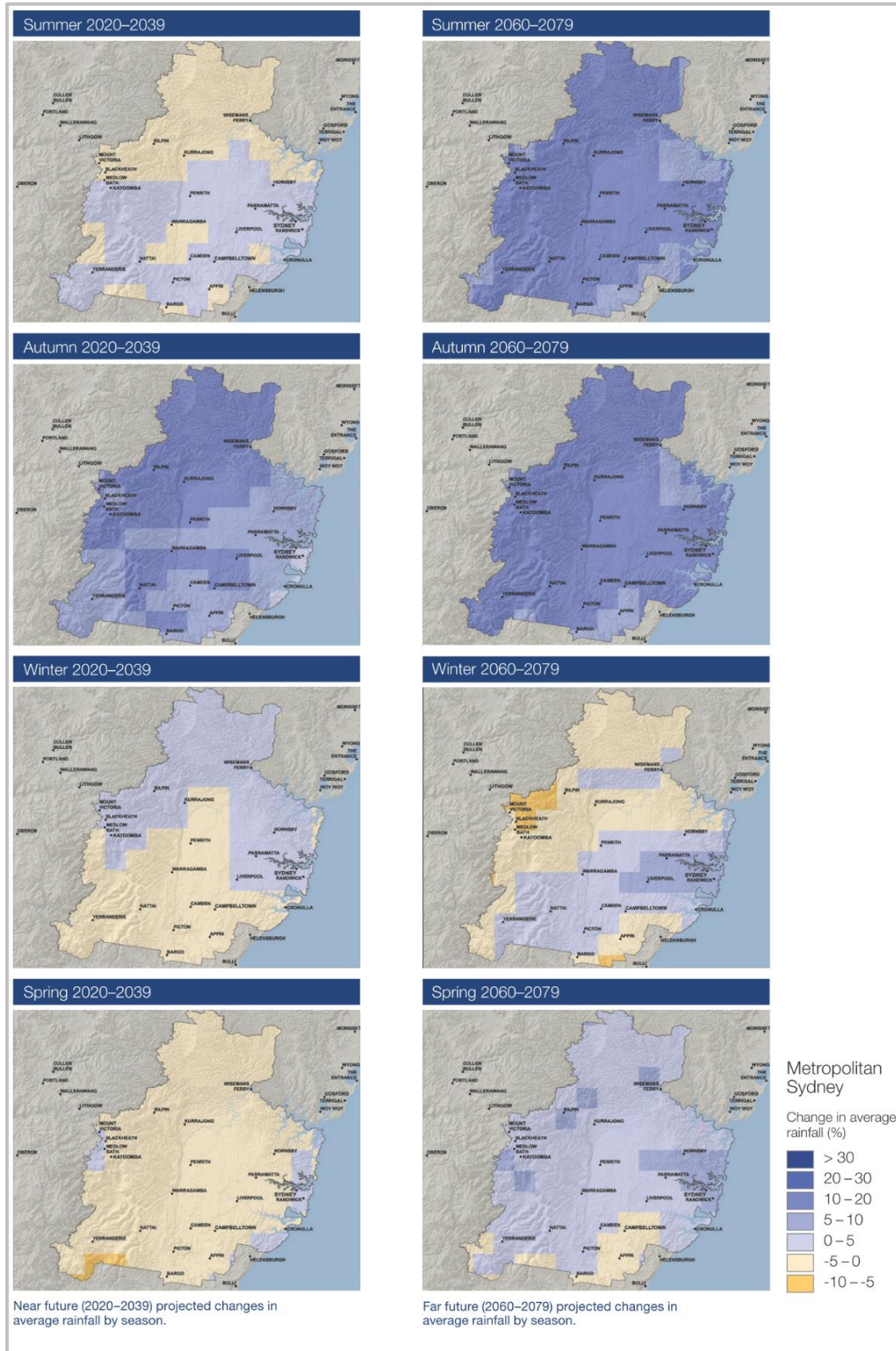


Figure 5-4 Change in average rainfall (%) – Sydney variation map.

5.1.5 Fire Weather

The Bureau of Meteorology issues Fire Weather Warnings when the FFDI (Forest Fire Danger Index) is forecast to be over 50. High FFDI values are also considered by the Rural Fire Service when declaring a Total Fire Ban.

Projected regional climate changes

- Metropolitan Sydney is expected to experience an increase in average and severe fire weather in the near future and the far future.

- The increases are projected mainly in summer and spring in the far future. These changes are projected in prescribed burning periods (spring) and the peak fire risk season (summer).
- The majority of models (7 out of 12) project an increase of severe fire weather in spring in the near future, with a greater confidence in the increase in the far future (Figure 5-5 and Figure 5-6).

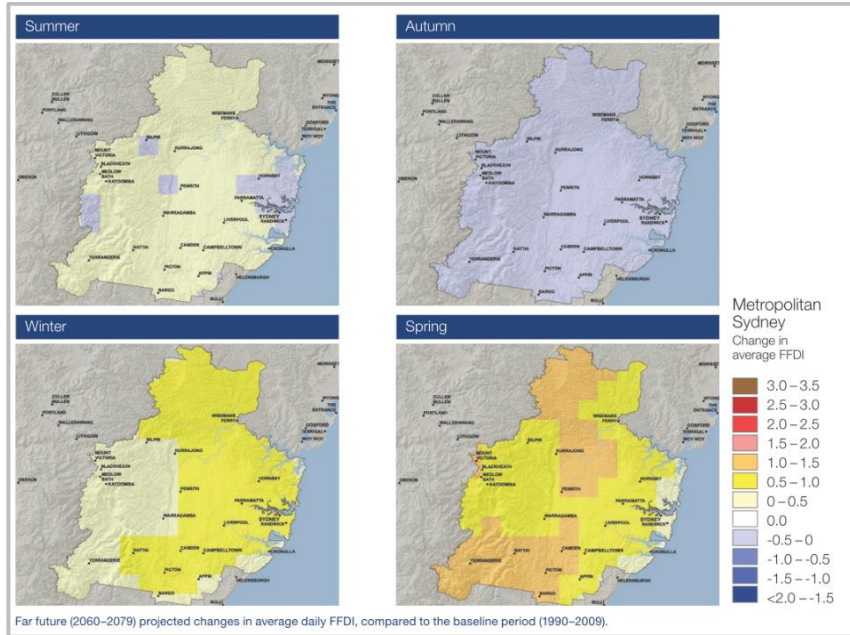


Figure 5-5 Change in average FFDI – Sydney variation map.

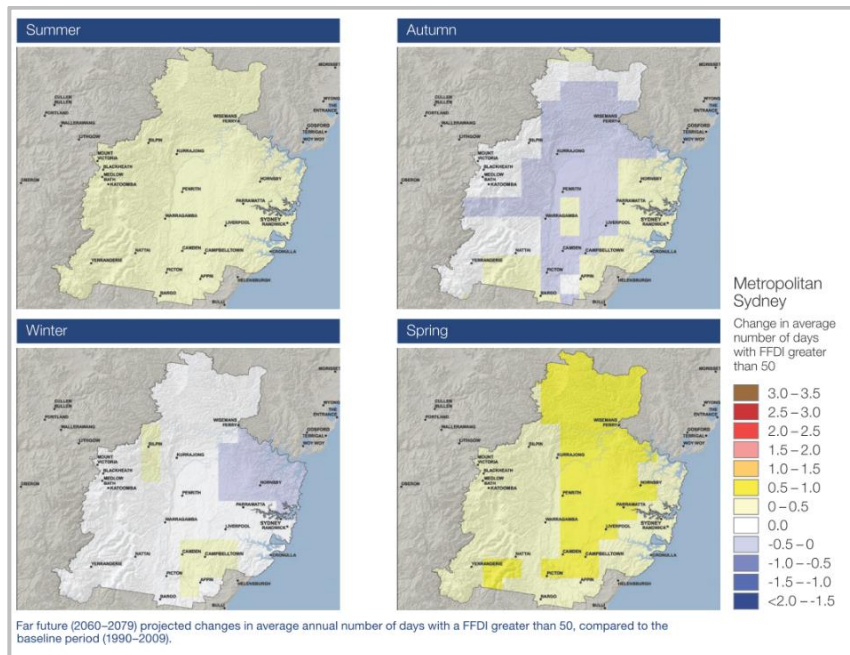


Figure 5-6 Change in average number of days with FFDI greater than 50 – Sydney variation map.

5.2 Climate Change Adaptation Plan

The climate change adaptation plan (CCAP) follows the ISO31000 Risk Management Process.

The plan involves three key steps to develop risks and mitigation strategies collaboratively with key project stakeholders.

1. Review of the development and context.
2. Risk analysis.
3. Mitigation Strategies.

5.2.1 Risk Assessment Framework

To assess risks systematically, a likelihood scale, as shown in Table 5-1, was used to determine how likely a risk was to occur, followed by consequence assessment, as detailed in Table 5-2. The first stage of the assessment is to define the likelihood of a given risk. The likelihood level can be described as the frequency or probability for a risk to occur.

Table 5-1 Risk likelihood matrix.

Likelihood	Almost Certain expected in most circumstances.
	Likely will probably occur in most circumstances.
	Possible might occur at some time.
	Unlikely could occur at some time.
	Rare may occur, only in exceptional circumstances.

Table 5-2 Example Consequence Scale and Success Criteria (AGO 2007).

	Public Safety	Local Economy and Growth	Community and Lifestyle	Environment and Sustainability	Financial /Time Program/Budgets
Catastrophic	Large numbers of serious injuries or loss of life	Precinct decline leading to widespread business failure	The area is considered very unattractive, moribund, and unable to support its community	Major widespread loss of environmental amenity and progressive irrecoverable environmental damage	Loss or increased cost of 50% or greater of annual budget.
Major	Isolated instances of serious injuries or loss of lives	Precinct stagnation such that businesses are unable to thrive	Severe and widespread decline in services and quality of life within the community	Severe loss of environmental amenity and a danger of continuing environmental damage	Loss or increased cost of 25%-50% of annual budget.
Moderate	Small numbers of injuries	Significant general reduction in precinct economic performance	General applicable decline in services	Isolated but significant instances of environmental damage that might be reversed with intensive efforts	Loss or increased cost of 10%-25% of annual budget

Minor	Serious near misses or minor injuries	Isolated areas in precinct decline	Isolated but noticeable examples of decline in services	Minor instances of environmental damage that could be reversed	Loss or increased cost of 5% to 10% of annual budget
Insignificant	Appearance of a threat but no actual harm	Minor shortfall to forecast growth	There would be minor areas in which the region was unable to maintain its current services	No environmental damage	Loss or increased cost of less than 5% of annual budget

Risk likelihood and consequence were then combined using the risk assessment matrix in Table 5-3, leading to the systematic development of a risk rating used to prioritise risk management strategies.

Table 5-3 Example Risk matrix:

Show	Matrix Score				
Risk Rating Number + Name	Insignificant	Minor	Moderate	Major	Catastrophic
Almost Certain	Medium	High	High	Critical	Critical
Likely	Medium	Medium	High	Critical	Critical
Possible	Low	Medium	Medium	High	Critical
Unlikely	Low	Low	Medium	Medium	High
Rare	Low	Low	Low	Medium	High

Risk management strategies listed in Table 5-4 aim to reduce risk levels by reducing either likelihood or consequence of the risk, or both. The objective is to develop cost-effective options for treating/controlling each identified risk and minimise its impact to the project.

Table 5-4 Risk management.

Show	Matrix Score				
Risk Rating Number + Name	Insignificant	Minor	Moderate	Major	Catastrophic
Almost Certain	Medium	High	High	Critical	Critical
Likely	Medium	Medium	High	Critical	Critical
Possible	Low	Medium	Medium	High	Critical
Unlikely	Low	Low	Medium	Medium	High
Rare	Low	Low	Low	Medium	High

5.2.2 Risk Assessment outcomes

Climate variable	Risk Statement	Likelihood	Consequence	Level of Risk	Adaptation actions	Residual Likelihood	Residual Consequence	Residual level of Risk
Increase in hot days	Accelerated structural material fatigue and degradation of facades leading to increased maintenance and repair costs	Rare	Catastrophic	High	Select materials which have a higher temperature tolerance if required. Review material datasheets for in-service temperature range and allow for increase in peak temperatures.	Rare	Moderate	Low
Increase in hot days	Brownouts/ Blackouts leading to failure of critical electrical equipment	Possible	Major	High	Ensure that existing plans to add to backup generation based on demand is followed through. Consider use of Solar Energy with Battery Energy Storage Systems (BESS).	Possible	Minor	Medium
Increased rainfall variability	Parapet roof retains water due to blockage in syphonic drainage system leading to structural failure.	Possible	Major	High	Check the design includes overflow outlets in parapet. Add to design if required.	Rare	Major	Medium
Increased rainfall variability	Parapet roof retains water due to insufficient capacity in the syphonic drainage system leading to structural failure.	Possible	Major	High	Overflow systems in place in the form of overflow slots. The capacity of these can be increased if required to allow for increased rainfall intensity.	Rare	Major	Medium

Climate variable	Risk Statement	Likelihood	Consequence	Level of Risk	Adaptation actions	Residual Likelihood	Residual Consequence	Residual level of Risk
Increased rainfall variability	Onsite Water Detention Tank (OSD) cannot deal with increased flows leading to overflow and flooding of adjacent areas.	Possible	Major	High	If necessary, overflow system to be provided. Hydraulic engineers to check if systems can manage the increased flows and implement further measures if required.	Rare	Major	Medium
Increased rainfall variability	Overland flow of water leads to pooling around the electrical infrastructure, causing electrical failure and power outage.	Possible	Catastrophic	Critical	Primary storm water drainage system to be designed to cater for a minimum of a 100-year storm. System to also have full backup of either piped overflow or overland flow designed to a higher storm intensity.	Rare	Major	Medium
Increased intensity of storm events	Mechanical plant on the roof (if any) are damaged by extreme hail event leading to failure of ventilation system.	Possible	Major	High	Consider options for protecting the mechanical plant in design. Implement if required.	Rare	Major	Medium

Climate variable	Risk Statement	Likelihood	Consequence	Level of Risk	Adaptation actions	Residual Likelihood	Residual Consequence	Residual level of Risk
Increased intensity of storm events	Severe hail blocking roof drains causing increased water ingress into building envelope and potential structural impacts, leading to increased maintenance costs	Possible	Major	High	Screen outlets with hail guards. Planned overflow slots should allow rain to overflow for all but the most severe hail events.	Rare	Major	Medium
Increased intensity of storm events	Airborne debris causing damage to exterior building elements and increased maintenance costs.	Possible	Major	High	Check wind load thresholds in engineering for façade and glazing. If required, adopt heat treated glazing for greater impact strength.	Rare	Major	Medium
Increased intensity of storm events	Wind driven rain penetrates the building, creating slip hazards for public circulation spaces.	Likely	Moderate	High	Consider in design and highlight risk for building managers. Include wet weather management plan in facilities management contract.	Rare	Moderate	Low
Increased fire weather	Smoke ingress into facility via HVAC system causing increased health risks for the occupants.	Almost certain	Major	Critical	Evacuation plan to be developed by FM company, including use of link to nearby hospitals for particularly vulnerable occupants. Consider use of non-latching outside air smoke detectors to shut down outside air systems in the event of a bushfire situation.	Almost certain	Insignificant	Medium

5.2.3 Recommendations

Many of the potential risks to the building are already addressed by existing design features of the building or are being explored as an immediate consequence of this process. All those identified through the workshop and subsequent discussions as requiring additional action are set out in table below, along with responsibility for those actions.

This information should be added to the overall project risk register, with actions implemented and recorded, and subsequently reported in the Green Star documentation.

Summary of adaptation actions required to achieve revised risk rating is presented in Table 5-5:

Table 5-5 Adaptation Actions Required to Achieve Revised Risk Rating.

Risk Statement	Initial Risk	Residual Risk	Action implementation requiring	Design / Operations	Proposed Responsibility
Brownouts/Blackouts leading to failure of critical electrical equipment.	High	Medium	Where possible, Solar PV with Battery Energy Storage System (BESS).	Design and operations	Electrical Engineer
Accelerated structural material fatigue and degradation of façades, leading to increased maintenance and repair costs	High	Low	Review material datasheets for in-service temperature range and allow for a nominal tolerance on peak temperatures based on today's values. Select materials which have a higher temperature tolerance if required.	Design	Façades Engineer, Structural Engineer
Water restrictions during prolonged droughts leading to inability to deliver core services.	High	Low	Develop a Drought Management Plan. Water restrictions would likely be signposted well in advance. Consider alternative water supply.	Operations	Facilities Manager
Parapet roof retains water due to blockage in symphonic drainage system leading to structural failure.	High	Medium	Check the design includes overflow outlets in parapet. Add to design if required.	Design	Hydraulic Engineer
Parapet roof retains water due to insufficient capacity in the symphonic drainage system leading to structural failure.	High	Medium	Check whether capacity of overflow slots and drainage system is sufficient to allow for increased rainfall intensity. Increase either/both if required.	Design	Hydraulic Engineer, Architect

Onsite Water Detention Tank (OSD) cannot deal with increased flows leading to overflow and flooding.	High	Medium	Ensure secondary overflow system provided and check if systems can manage increased flows. Implement further measures if required.	Design	Civil Engineer
Overland flow of water leads to pooling around electrical infrastructure, causing electrical failure and power outage.	Critical	Medium	Primary storm water drainage system to be designed to cater for a minimum of a 100- year storm. System to also have full backup of either piped overflow or overland flow designed to a higher storm intensity. Consider other feasible mitigation measures as required.	Design	Hydraulic Engineer, Architect, Electrical Engineer
Mechanical plant on the roof (if any) are damaged by extreme hail event leading to failure of ventilation system.	High	Medium	Consider options for protecting the mechanical plant in design. Implement if required.	Design	Mechanical Engineer
Severe hail blocking roof drains causing increased water ingress into building envelope and potential structural impacts, leading to increased maintenance costs	High	Medium	Screen outlets with hail guards.	Design	Hydraulic Engineer
Airborne debris causing damage to exterior building elements and increased maintenance costs - particularly discussed potential increase in wind loadings due to CC.	High	Medium	Check wind load thresholds in engineering for façade and glazing. Adopt heat treated glazing for greater impact strength if required.	Design	Façades Engineer, Structural Engineer
Wind driven rain penetrates the building, creating slip hazards for public circulation spaces.	High	Low	Consider in design and highlight risk for building managers. Include wet weather management plan in facilities management contract.	Design and operations	Architects and Facilities Manager

Smoke ingress into facility via HVAC system causing increased employee health risks	Critical	Medium	Evacuation plan to be developed by FM company, including use of link to nearby hospitals for particularly vulnerable occupants. Consider use of non-latching outside air smoke detectors to shut down outside air systems in the event of a bushfire situation.	Design and operations	Mechanical Engineer, Facilities Manager, Owner
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6 Cumulative impacts

To address the potential impacts of the proposed mixed-use development at 2 Nelson Street, Bondi Junction, key mitigation measures have been identified. These measures include both integrated design solutions and actions required as conditions of consent.

Integrated design measures feature podium setbacks, landscaping, and wind deflectors to mitigate wind impacts; stepped setbacks to reduce overshadowing; and sustainable design elements like energy-efficient systems, rainwater harvesting, and low-carbon materials.

Consent-based mitigation measures involve coordination with utility providers to manage service capacity, comprehensive traffic management plans to address peak-hour congestion, construction management plans to minimize disruptions, and strategies to improve public transport integration. Together, these measures will ensure the development aligns with Bondi Junction's vision as a sustainable and connected urban precinct.

7 Recommendations / Mitigation Measures

To address the potential impacts of the proposed mixed-use development at 2 Nelson Street, Bondi Junction, key mitigation measures have been identified. These measures include both integrated design solutions and actions required as conditions of consent.

Integrated design measures feature podium setbacks, landscaping, and wind deflectors to mitigate wind impacts; stepped setbacks to reduce overshadowing; and sustainable design elements like energy-efficient systems, rainwater harvesting, and low-carbon materials.

Consent-based mitigation measures involve coordination with utility providers to manage service capacity, comprehensive traffic management plans to address peak-hour congestion, construction management plans to minimize disruptions, and strategies to improve public transport integration. Together, these measures will ensure the development aligns with Bondi Junction's vision as a sustainable and connected urban precinct.


8 Disclaimer

This report is prepared using the information described above and inputs from other consultants. Whilst Vipac has endeavoured to ensure the information used is accurate, no responsibility or liability to any third party is accepted for any loss or damage arising out of the use of this report by any third party. Any third party wishing to act upon any material contained in this report should first contact Vipac for detailed advice which will take into account that party's particular requirements.

Computer performance assessment provides an estimate of building performance. This estimate is based on a necessarily simplified and idealised version of the building that does not and cannot fully represent all the intricacies of the building once built. As a result, simulation results only represent an interpretation of the potential performance of the building. No guarantee or warrantee of building performance in practice can be based on simulation results alone. Vipac and its employees and agents shall not be liable for any loss arising because of, any person using or relying on the Report and whether caused by reason or error, negligent act or omission in the report. The draft assessment has been prepared indicatively and using the limited architectural and building services design with the view to conduct a detailed assessment once the design is further developed.

Performance of the completed building may be significantly affected by the quality of construction; the quality of commissioning, ongoing management of the building, and the way the building is operated, monitored, and maintained.

Appendix A - TECHNICAL DATASHEETS FOR SAMPLE PV PANELS (600W)



BIFACIAL DUAL GLASS MONOCRYSTALLINE MODULE

PRODUCT: TSM-DEG20C.20
 PRODUCT RANGE: 580-600W

600W


MAXIMUM POWER OUTPUT

0~+5W

POSITIVE POWER TOLERANCE

21.2%

MAXIMUM EFFICIENCY



High customer value

- Lower LCOE (Levelized Cost of Energy), reduced BOS (Balance of System) cost, shorter payback time
- Lowest guaranteed first year and annual degradation;
- Designed for compatibility with existing mainstream system components
- Higher return on Investment

High power up to 600W

- Up to 21.2% module efficiency with high density interconnect technology
- Multi-busbar technology for better light trapping effect, lower series resistance and improved current collection

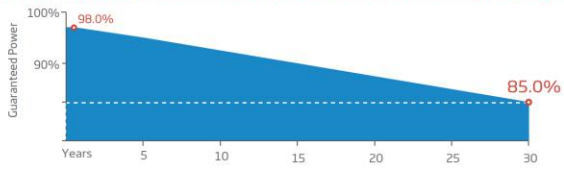
High reliability

- Minimized micro-cracks with innovative non-destructive cutting technology
- Ensured PID resistance through cell process and module material control
- Resistant to harsh environments such as salt, ammonia, sand, high temperature and high humidity areas
- Mechanical performance up to 5400 Pa positive load and 2400 Pa negative load

High energy yield


- Excellent IAM (Incident Angle Modifier) and low irradiation performance, validated by 3rd party certifications
- The unique design provides optimized energy production under inter-row shading conditions
- Lower temperature coefficient (-0.34%) and operating temperature
- Up to 25% additional power gain from back side depending on albedo

Trina Solar's Vertex Bifacial Dual Glass Performance Warranty




Years	Guaranteed Power (%)
0	98.0%
30	85.0%

Comprehensive Products and System Certificates

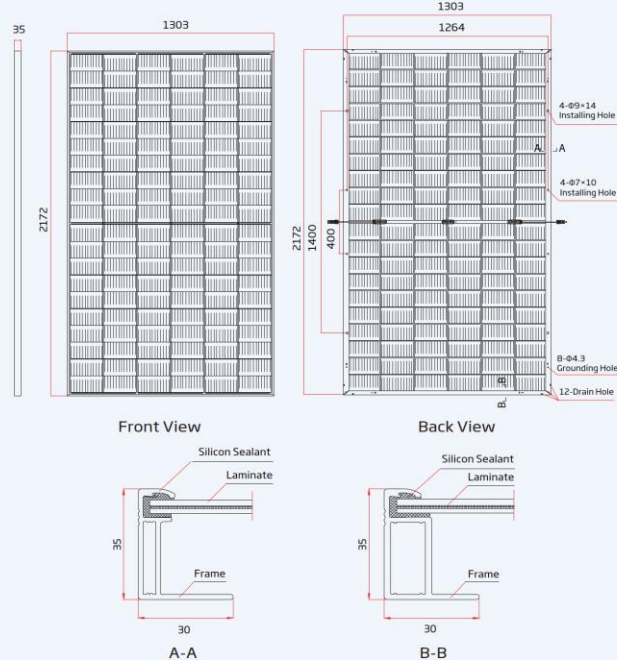


IEC61215/IEC61730/IEC61701/IEC62716/UL61730
 ISO 9001: Quality Management System
 ISO 14001: Environmental Management System
 ISO14064: Greenhouse Gases Emissions Verification
 ISO45001: Occupational Health and Safety Management System

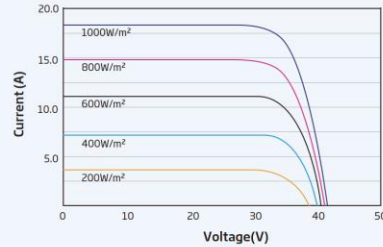


Vertex BIFACIAL DUAL GLASS MONOCRYSTALLINE MODULE

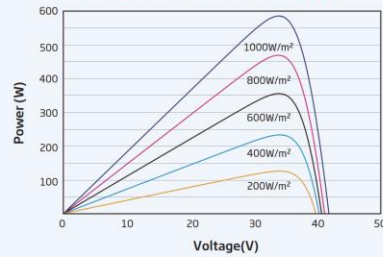
DIMENSIONS OF PV MODULE(mm)



I-V CURVES OF PV MODULE(590 W)



P-V CURVES OF PV MODULE(590 W)



ELECTRICAL DATA (STC)

	580	585	590	595	600
Peak Power Watts- P_{MAX} (Wp)*	580	585	590	595	600
Power Tolerance- P_{MAX} (W)			0 ~ +5		
Maximum Power Voltage- V_{MPP} (V)	33.8	34.0	34.2	34.4	34.6
Maximum Power Current- I_{MPP} (A)	17.16	17.21	17.25	17.30	17.34
Open Circuit Voltage- V_{OC} (V)	40.9	41.1	41.3	41.5	41.7
Short Circuit Current- I_{SC} (A)	18.21	18.26	18.31	18.36	18.42
Module Efficiency η_m (%)	20.5	20.7	20.8	21.0	21.2

STC: Irradiance 1000W/m², Cell Temperature 25°C, Air Mass AM1.5. *Measuring tolerance: ±3%.

Electrical characteristics with different power bin (reference to 10% Irradiance ratio)

	621	626	631	637	642
Total Equivalent power - P_{MAX} (Wp)	621	626	631	637	642
Maximum Power Voltage- V_{MPP} (V)	33.8	34.0	34.2	34.4	34.6
Maximum Power Current- I_{MPP} (A)	18.36	18.41	18.46	18.51	18.55
Open Circuit Voltage- V_{OC} (V)	40.9	41.1	41.3	41.5	41.7
Short Circuit Current- I_{SC} (A)	19.48	19.54	19.59	19.65	19.71
Irradiance ratio (rear/front)			10%		

Power Bifaciality: 70±5%

ELECTRICAL DATA (NOCT)

	439	443	447	451	454
Maximum Power- P_{MAX} (Wp)	439	443	447	451	454
Maximum Power Voltage- V_{MPP} (V)	31.5	31.7	31.9	32.0	32.2
Maximum Power Current- I_{MPP} (A)	13.93	13.97	14.01	14.06	14.10
Open Circuit Voltage- V_{OC} (V)	38.5	38.7	38.9	39.1	39.3
Short Circuit Current- I_{SC} (A)	14.68	14.72	14.76	14.80	14.84

NOCT: Irradiance at 800W/m², Ambient Temperature 20°C, Wind Speed 1m/s.

MECHANICAL DATA

Solar Cells	Monocrystalline
No. of cells	120 cells
Module Dimensions	2172×1303×35 mm (85.51×51.30×1.38 inches)
Weight	35.3 kg (77.8 lb)
Front Glass	2.0 mm (0.08 inches), High Transmission, AR Coated Heat Strengthened Glass
Encapsulant material	EVA/POE
Back Glass	2.0 mm (0.08 inches), Heat Strengthened Glass (White Grid Glass)
Frame	35mm(1.38 inches) Anodized Aluminium Alloy
J-Box	IP 68 rated
Cables	Photovoltaic Technology Cable 4.0mm ² (0.006 inches ²), Portrait: 280/280 mm(11.02/11.02 inches) Length can be customized
Connector	MC4 EVO2 / TS4*

*Please refer to regional datasheet for specified connector.

TEMPERATURE RATINGS

NOCT (Nominal Operating Cell Temperature)	43°C (±2°C)
Temperature Coefficient of P_{MAX}	-0.34%/°C
Temperature Coefficient of V_{OC}	-0.25%/°C
Temperature Coefficient of I_{SC}	0.04%/°C

MAXIMUM RATINGS

Operational Temperature	-40 ~ +85°C
Maximum System Voltage	1500V DC (IEC)
	1500V DC (UL)
Max Series Fuse Rating	35A

WARRANTY

12 year Product Workmanship Warranty
30 year Power Warranty
2% first year degradation
0.45% Annual Power Attenuation

(Please refer to product warranty for details)

PACKAGING CONFIGURATION

Modules per box:	25/36 pieces
Modules per 40' container:	549 pieces

Appendix B - TECHNICAL DATASHEETS FOR SAMPLE PV INVERTERS

SG2K-S/SG2K5-S/SG3K-S



Residential String Inverter



HIGH YIELD

- Industry leading efficiency of 98.2%
- Flexible PV string configurations
- High DC/AC ratio up to 1.3



SMART MANAGEMENT

- Feature-rich online monitoring via App or Web
- Firmware updates & new monitoring features
- Gain energy flow with Sungrow smart meter



SAFE AND RELIABLE

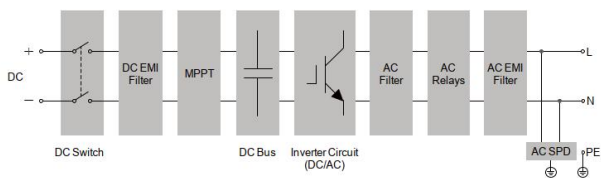
- Built-in surge arresters & RCD
- Cutting-edge technology ensures long life time
- High anti-corrosion rating at C5



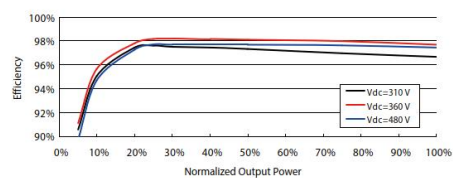
EASY INSTALLATION

- Push-in connectors for time-saving installation
- Mounting plate with built-in level
- Fast and easy commissioning via App or LCD

CIRCUIT DIAGRAM



EFFICIENCY CURVE



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SG2K-S/SG2K5-S/SG3K-S

Type designation	SG2K-S	SG2K5-S	SG3K-S
Input (DC)			
Max. PV input voltage		600 V	
Min. PV input voltage / Startup voltage		90 / 120 V	
Nominal input voltage		360 V	
MPP voltage range		90 V – 560 V	
MPP voltage range for nominal power	210 V – 480 V	260 V – 480 V	310 V – 480 V
No. of MPPTs		1	
Max. number of PV strings per MPPT		1	
Max. PV input current		10 A	
Max. current for input connector		12 A	
Max. PV short-circuit current		12 A	
Output (AC)			
Nominal AC output power	2000 W	2500 W	3000 W
Max. apparent AC output power	2000 VA	2500 VA	3000 VA
Max. AC output current	9.1 A	11.3 A	13.7 A
Nominal AC voltage		230 Vac	
AC voltage range		180 Vac – 276 Vac	
Nominal grid frequency		50 Hz / 60 Hz	
Grid frequency range		45 Hz – 55 Hz / 55 Hz – 65 Hz	
Total Harmonic Distortion (THD)		< 3 % (of nominal power)	
DC current injection		< 0.5 % (of nominal current)	
Power factor		> 0.99 / 0.8 leading – 0.8 lagging	
Feed-in phases / Connection phases		1 / 1	
Efficiency			
Max. efficiency / European efficiency	98.2 % / 97.2 %	98.2 % / 97.5 %	98.2 % / 97.7 %
Protection			
PV reverse connection protection		Yes	
AC short circuit protection		Yes	
Leakage current protection		Yes	
Grid monitoring		Yes	
PV string current monitoring		Yes	
DC switch		Yes	
Overvoltage protection		AC Type II	
General Data			
Dimensions (W*H*D)		300*370*125 mm	
Weight		8.5 kg	
Isolation method		Transformerless	
Ingress protection rating		IP65	
Night power consumption		< 3 W	
Operating ambient temperature range		-25 °C to 60 °C (>45 °C derating)	
Allowable relative humidity (non-condensing)		0 – 100 %	
Cooling method		Natural cooling	
Max. operating altitude		4000 m (> 2000 m derating)	
Display		LCD	
Communication		Wifi / Ethernet (optional)	
DC connection type		MC4 (Max. 6 mm ²)	
AC connection type		Plug and play connector (Max. 6 mm ²)	
Compliance		IEC62109-1, IEC62109-2, IEC62116, IEC61727, EN 61000-6-2, EN 61000-6-3, VDE-AR-N-4105, CEI 0-21, VDE0126-1-1, UTE C15-712, VFR-2014, EN50438, C10/11, G83/2, G59/3	
Compliance		Active & reactive power control, power ramp rate control	
Type designation	SG2K-S	SG2K5-S	SG3K-S

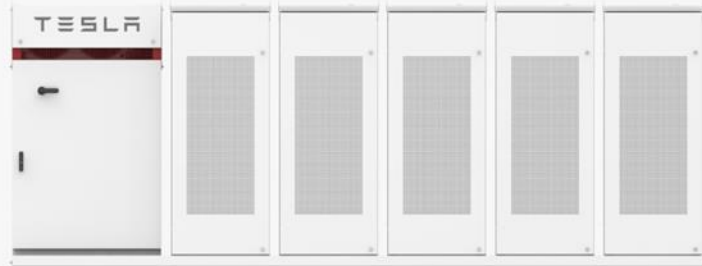


Appendix C – Technical Data Sheet for Tesla

POWERPACK

Tesla has been building integrated battery systems in cars for over 10 years. The same degree of expertise, quality control and technological innovation has informed our process of developing high-performance energy storage systems.

The Powerpack system scales to the space, power and energy requirements of any site from 210 kWh to 100 MWh+.



Powerpack System Includes an Inverter and DC Battery Packs

FULLY INTEGRATED SYSTEM

A complete energy storage system including DC batteries, bi-directional inverter, and a Powerpack controller with intelligent software. This turnkey system is designed to maximize savings and prolong battery life.

OPTIMIZATION SOFTWARE

Powerpack systems have the most advanced battery technology and dispatch optimization software to quickly learn and predict a facility's energy patterns. Tesla's proprietary storage dispatch software can charge and discharge autonomously to maximize customer value.

ENHANCED SYSTEM SAFETY

Powerpack's battery architecture consists of a low voltage battery with a DC/DC converter for added electrical isolation and safety. It also has an integrated liquid cooling / heating system for thermal safety and enhanced performance and reliability.

APPLICATIONS



PEAK SHAVING
 Discharge at times of peak demand to reduce expensive demand charges



EMERGENCY BACKUP
 Powers a facility when the grid goes down



CAPACITY FIRING
 Smooth out the intermittency of renewables by storing and dispatching when needed



LOAD SHIFTING
 Shift energy consumption from one point in time to another



MICROGRID
 Build a localized grid that can disconnect from the main power grid



TRANSMISSION & DISTRIBUTION SUPPORT
 Supply power at a distributed location to defer the need to upgrade aging infrastructure



DEMAND RESPONSE
 Discharge or charge in response to signals from a demand response administrator



ANCILLARY SERVICES
 Provide service to the grid in response to signals sent

Appendix D - Powerpack (Energy Storage Option)

POWERPACK SPECIFICATIONS 4hr System

- 1 Powerpack includes 16 battery pods
- Each pod has an isolated DC/DC inverter and thermal control system
- Sensors to monitor cell-level performance in real-time
- Standard configuration:
 - 4 hour discharge duration



ELECTRICAL

AC Voltage	380-480VAC 3-phase
Nominal Frequency	50 & 60 Hz
Continuous Discharge Duration	4 hours
AC Energy available per Powerpack ¹	210 kWh
Inverter Sizes	Scalable from 50kW - 653kW
Roundtrip ¹ System Efficiency	89%

¹Net energy delivered at 25°C (77°F) including thermal control.

REGULATORY

Lithium-Ion Cells	NRTL listed to UL 1642
System	NRTL listed to UL 1973, 9540, 1741 IEEE 1547 Compliant to grid codes and safety standards of all major markets. Full list provided upon request.

MECHANICAL AND MOUNTING

Enclosure	IP67 (Pod) NEMA 3R / IP35 (Powerpack) NEMA 4 / IP66 (Inverter)
System Area Requirements	50kW / 210kWh: 95ft ² / 8.9m ² 100kW / 420kWh: 127ft ² / 11.8m ² 250kW / 1050kWh: 221ft ² / 20.5m ² 500kW / 2100kWh: 377ft ² / 35m ²
Powerpack Unit Dimensions	L: 51.5" (1308mm) W: 32.4" (822mm) H: 86" (2185mm)
Weight	2160 kg / 4765 lbs
Inverter Dimensions	L: 39.9" (1014mm) W: 49.4" (1254mm) H: 86.3" (2192mm)
Weight	Up to 1200 kg / 2645 lbs
Operating Ambient Temperature	-22°F to 122°F / -30°C to 50°C

COMMUNICATIONS

Protocol	Modbus TCP DNP3 Rest API
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Tesla's software for behind the meter Powerpack applications, called Opticaster, is designed to maximize economic benefit for customers. Opticaster now operates in more than 100 commercial and industrial stationary energy storage systems, resulting in tens of thousands of hours of field experience in a vast range of grid-connected and off-grid applications. With each of Tesla's 120,000+ electric vehicles operating its proprietary battery system software, Tesla's experience in this realm is unparalleled.

The robust data set accumulated through Tesla's field experience informs the development and continuous improvement of Tesla's global fleet of vehicles and energy storage systems. Tesla's software logic for behind the meter energy storage applications is a culmination of this vast experience and is the focus of this paper.

Opticaster is an integral component of Powerpack system. At every stage of project maturity, Opticaster is used to optimize Powerpack system size to achieve maximum financial returns for customers. During operation, it forecasts and optimizes the dispatch of stored electricity to reduce electricity bills and perform grid services.

This paper illustrates the applications Tesla's Opticaster performs, and explores three layers of functionality that define its operation: forecasting, optimization, and real-time control.

SYSTEM SIZING

System modeling enables customers to evaluate the benefits of adding a Powerpack system. Based on a simple set of customer data, such as utility rate structures and historical load data, Opticaster leverages its core optimization and forecast abilities to perform detailed simulations, which determine an optimal system size and application set for any customer. Figure 1 illustrates commonly modeled functions and applications:

INDIVIDUAL OR CO-OPTIMIZATION OF APPLICATIONS



Figure 1

To ensure the greatest probability for customer savings and revenue, Tesla simulates multiple scenarios for each customer. Each scenario provides a probability for economic benefit by testing multiple customer load behaviors against an array of Powerpack sizes and applications.

APPLICATIONS

Commercial electricity bills are usually comprised of demand charges and energy charges. Opticaster automatically optimizes both weighted by their respective costs.

Demand charges typically make up the greatest portion of commercial electricity bills, and can be reduced by discharging an on-site Powerpack system during the customer's period of peak demand. Through peak shaving / demand charge management, Opticaster automatically forecasts customers' site peak and discharges Powerpack batteries to reduce demand charges.

To reduce energy charges, Opticaster charges Powerpacks when the site demand or utility energy prices are low, then dispatches electricity to the customer when prices are high. Figure 2 demonstrates a combination of peak shaving and energy load shifting in an application called **tariff optimization**.

Commercial customers may also use solar panels to offset the electricity their site consumes from the local grid. For these customers, an on-site Powerpack system stores the solar electricity generated during the day for use during peak demand times through an application called **solar self-consumption**.

In solar self-consumption, Opticaster maintains system parameters to ensure optimal performance: maximum solar export power, percentage of battery to charge from solar, maximum and minimum site power level, utility interconnection rules, and other requirements that qualify the customer for government incentives. This flexible approach maximizes economic benefit for customers.

Figure 3 shows an example of Opticaster commanding Powerpacks to charge from solar during the day, then discharge to shave the customer's evening peak.

To secure multiple revenue streams for customers, Opticaster also supports demand response (DR) and other special price events such as critical peak pricing in PG&E and TUoS in the U.K.. Figure 4 shows an example of a DR event, during which the algorithm commands the Powerpack system to precisely meet the DR commitment of 50 kW below the baseline.

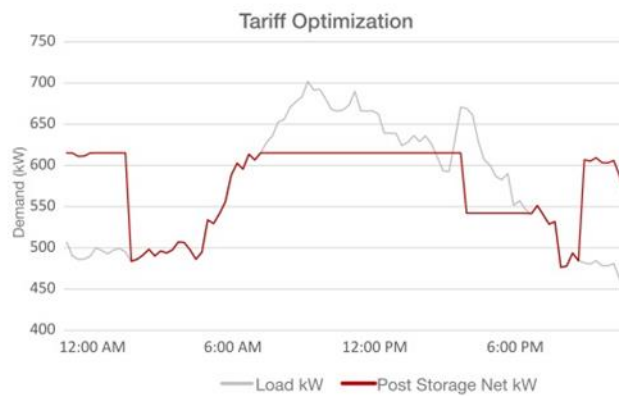


Figure 2

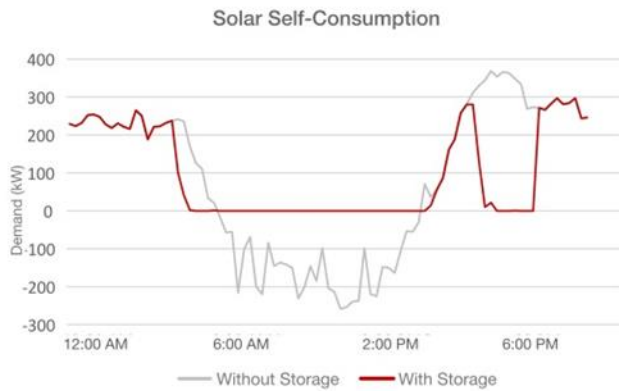


Figure 3



Figure 4

Through a combination of peak shaving and load shifting applications, customers reduce demand charges and energy charges on-site. By also participating in a DR program, customers add a layer of revenue that increases financial returns. Figure 5 depicts a customer co-optimizing all applications, which includes tariff optimization where Powerpacks charge during the night and discharge to keep the maximum peak below 410 kW at all time, and demand response where Powerpacks discharge to reduce the load well below the demand response baseline.

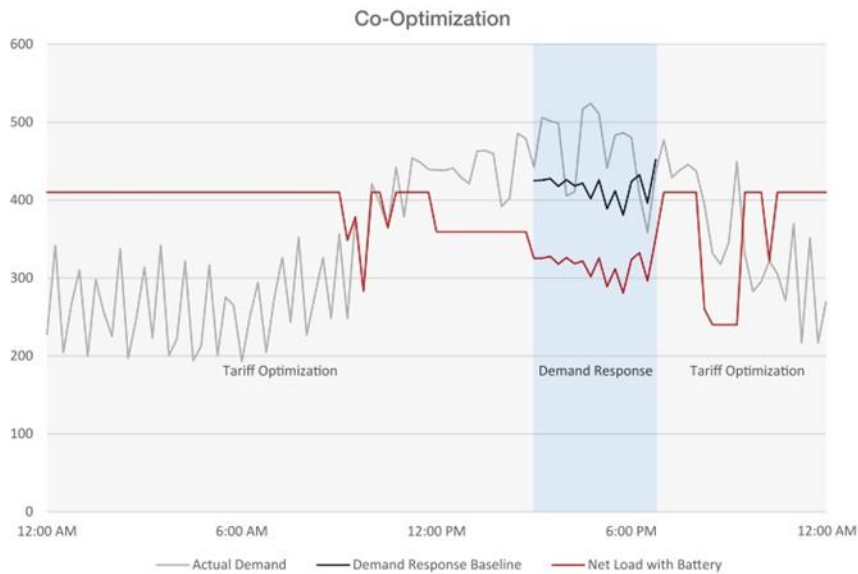


Figure 5

OPERATION

Opticaster’s operation takes three major steps: demand forecast, optimization, and real-time operation.

Accurately forecasting customer demand is critical to overall system performance. To produce a customer demand forecast, Opticaster considers a robust set of variables including load profiles, solar profiles, holiday schedules, and temperature data. In addition, on-site electric and solar meters feed data into the system’s data set to update the demand forecast continuously.

Continuous updates of demand forecast occur every couple of minutes. As shown in Figure 6, the forecast of the peak load gets increasingly accurate as it moves forward in time. The data retrieved between each new forecast become new input for the optimization model explained next.



Figure 6

Based on the forecasted demand, utility rate structure, and battery state, Opticaster's optimization module autonomously develops a charge/discharge schedule that maximizes customer savings while satisfying other non-monetary requirements. These schedules are updated with the same frequency as demand forecasts.

Then the real-time operation module translates the charge/discharge schedules to the instantaneous power commands that control Powerpacks. It monitors the real-time demand from the site and ensures that optimal charge/discharge schedules are satisfied.

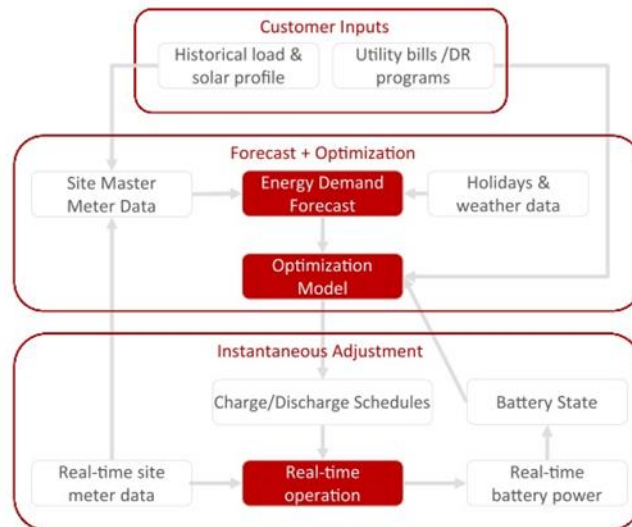


Figure 7

Every new version of Opticaster is benchmarked against Tesla's performance at existing sites to ensure constant improvement. Opticaster's combination of forecasting, optimization, and real-time controls makes it the most capable software solution on the market for managing advanced energy storage applications. Scalable to the power and energy requirements of any site, Powerpack systems provide a complete solution for a breadth of commercial and utility applications. To determine if energy storage is right for your site, please email powerpack@tesla.com.

Appendix E – Technical Datasheet for Tesla Powerpack Inverter (Storage Option)



TESLA POWERPACK INVERTER

May 12, 2017

CONFIDENTIAL INFORMATION - SHARED UNDER NDA ONLY

Rev. 1.2

SPECIFICATIONS

Mechanical Specifications

Width	1254 mm (49.4 in)
Depth	1014 mm (39.9 in)
Height	2140 mm (84.3 in)
Weight	1200 kg (2645 lbs) max

NOTE: Dimensions do not include removable mounting feet and lifting flanges, which add 136mm (5.4in) to the overall width and 50mm (2in) to the height of the inverter.

NOTE: Weight changes depending on number of installed power stages.

Power Specifications

The inverter is configurable to a nominal output voltage of 400 VAC or 480 VAC. The specs below are split for each default voltage value. Each inverter contains up to 10 inverter modules, or "Powerstages".

Grid-Connected (Utility-Interactive) Mode

Default Voltage	400 VAC	480 VAC
Rated Output Power (for 10 Powerstages)	500 kVA	625 kVA
Future Rated Output Power (for 10 Powerstages, available Aug. 2017)	540 kVA	650 kVA
Overload Capability	120% of rated power (10 sec max)	120% of rated power (10 sec max)
Input Voltage Range	880-950 VDC	
Output Voltage Range	360-528 VAC (380-480 VAC grid)	
Nominal Frequency (configurable)	50 or 60 Hz	
Frequency Range	40-70 Hz	
Input Current	720 A	
Phases	3	
System configuration	4-wire, Wye grounded	
Max Output Current	800 A (80A per Powerstage)	
Peak Efficiency	> 98.9%	
Full Load Efficiency	98.5%	
CEC Weighted Efficiency	98.84%	
Power Factor at Full Load	> 99%	
Adjustable Power Factor (Controller Feature)	-1 to +1	
Total Current Harmonic Distortion (THD)	< 1.2%	
Power Regulation Accuracy	< 2%	
Overvoltage Category	Category IV up to 3000 m	

Supplemental Specifications for Grid-Forming (Islanding) Mode

Total Voltage Harmonic Distortion (THD)	< 8% (Individual Harmonic: Max 6%)
Imbalanced Phase Load Power Output	100%

The inverter may be de-rated by changing software parameters to meet specific site restrictions and requirements.

Environmental Specifications

Operating Temperature	-30°C to 50°C (-22°F to 122°F)
Storage Temperature	-40°C to 60°C (-40°F to 140°F)
Humidity	Up to 100% condensing
Maximum Altitude	3000 m (9840 ft) above sea level
Noise	< 70 dBA at 1 meter
Ingress Rating	IP66, NEMA 4
Impact Rating	IK09
Seismic Rating	High seismic level, 1.0g ZPA, 2% damping per IEEE 693-2005 (pending)

Product Configurations

Each inverter is configured by Tesla with one of the following:

- 1 to 10 Powerstages
- Four DC fuse variants: 5, 10, 15, or 20 pre-installed DC fuses (corresponding to the number of DC Powerpack Units installed with each inverter)

Note: Inverter configurations are at Tesla's discretion.

Table 1 describes the inverter configurations possible with the corresponding power values.

Table 1: Inverter Configurations

Number of Powerstages	kVA Nameplate at 480V as of Q4 2016	kVA Nameplate at 400V as of Q4 2016	kVA Nameplate at 480V Aug 2017	kVA Nameplate at 400V Aug 2017	Max Continuous Current (A)
1	62.5	50	65	54	80
2	125	100	130	108	160
3	187.5	150	195	162	240
4	250	200	260	216	320
5	312.5	250	325	270	400
6	375	300	390	324	480
7	437.5	350	455	378	560
8	500	400	520	432	640
9	562.5	450	585	486	720
10	625	500	650	540	800

FEATURES

Voltage Ride-Through

The inverter has five voltage and time setpoints for low voltage ride-through, configurable to the following ranges (measured as line to neutral):

Table 2: Inverter LVRT Settings

Parameter	Voltage Range	Default Values for 480V (in EU)	Time (sec)	Notes
LVRT Point 5	0-415.5 V	124.65	0-30	0.1 sec resolution
LVRT Point 4	0-415.5 V	166.2	0-30	0.1 sec resolution
LVRT Point 3	0-415.5 V	243.76	0-30	0.1 sec resolution
LVRT Point 2	0-415.5 V	243.76	0-30	0.1 sec resolution
LVRT Point 1	0-415.5 V	243.76	0-30	0.1 sec resolution

The inverter has four high voltage ride-through setpoints, with one instantaneous trip voltage setting, configurable to the following ranges (measured as line to neutral):

Table 3: Inverter HVRT Settings

Parameter	Voltage Range	Default Values for 480V (in EU)	Time (sec)	Notes
HVRT Point 3	0-415.5 V	332.4	0-30	0.1 sec resolution
HVRT Point 2	0-415.5 V	332.4	0-30	0.1 sec resolution
HVRT Point 1	0-415.5 V	304.7	0-30	0.1 sec resolution
HVRT max trip	0-415.5 V	346.25	N/A	

The above tables represent the max parameter values that the user can input. However, 480 VAC nominal systems are limited to a maximum HVRT of 120%, and 400 VAC nominal systems are limited to a maximum HVRT of 145%.

The inverter ships with the following pre-defined settings:

Table 4: Interconnection System Default Settings for Abnormal Voltages

Voltage Range (% of base voltage)	Clearing Time (s)
$V < 45$	0.16
$45 \leq V < 60$	1
$60 \leq V < 88$	2
$110 < V < 120$	1
$V \geq 120$	0.16

Frequency Ride-Through

The inverter has three under-frequency (UF) and three over-frequency (OF) trip points and times, as well as one under-frequency instantaneous trip point and one over-frequency instantaneous trip point. These parameters are configurable to the following ranges:

Table 5: Inverter Frequency Trip Points

Trip Point	Frequency Range	Time (sec)	Notes
Instantaneous UF Trip	40Hz-70Hz	N/A	0.1Hz resolution
UF Trip Time 3	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
UF Trip Time 2	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
UF Trip Time 1	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
OF Trip Time 1	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
OF Trip Time 2	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
OF Trip Time 3	40Hz-70Hz	0-600	0.1Hz and 0.01 second resolution
Instantaneous OF Trip	40Hz-70Hz	N/A	0.1Hz resolution

The following FQRT settings are pre-programmed in the inverter to comply with IEEE 1547 requirements:

Table 6: Inverter FQRT Default Settings

Function	Frequency (Hz)	Clearing Time (s)
UF1	< 57	0.16
UF2	< 59.5	2
OF1	> 60.5	2
OF2	> 62	0.16

Anti-Islanding Features

The Powerpack Inverter includes these anti-islanding features:

- Reconnection delay timer
- Active anti-islanding: Sandia Frequency Shift implemented on all systems
- Passive anti-islanding: Configurable Rate of Change of Frequency (ROCOF) preferences

The reconnection delay timer is configurable with the following settings:

Table 7: Reconnection Delay Timer Default Settings

Feature Name	Effect	Setting Range	Default
Reconnect Time Delay	The amount of time the inverter waits before reconnection, after the grid returns within the frequency and voltage windows defined above	0-1,000 sec	300 sec
Reconnect Min. Voltage	The minimum voltage at which the inverter interprets the grid is within tolerable conditions	0-415.5 V	240.99 V
Reconnect Max. Voltage	The maximum voltage at which the inverter interprets the grid is within tolerable conditions	0-415.5 V	293.62 V
Reconnect Min. Frequency	The minimum frequency at which the inverter interprets the grid is within tolerable conditions	40-70 Hz	59.3 Hz
Reconnect Max. Frequency	The maximum frequency at which the inverter interprets the grid is within tolerable conditions	40-70 Hz	60.5 Hz

ROCOF is configurable with the following settings:

Table 8: ROCOF Settings

Feature Name	Effect	Setting Range	Default
ROCOF Enable	Turns ROCOF on or off	n/a	Off
ROCOF Fault Limit	Sets the rate of change required for a trip	0.1-100.0 Hz/sec	1 Hz/sec
ROCOF Time Delay	Sets how long the rate of change has to be present for the inverter to trip	0-1 seconds	1 second

Certifications (Pending)

The Powerpack Inverter is certified to, and meets the requirements for, the following codes, standards, and regulations:

- UL1741
- IEEE 1547.1 (EMI: Complies with immunity requirements)
- FCC Part 15 Sub B Class A
- CSA 22.2 #107.1
- EN 62109-1, EN 62109-2
- IEC 61000-6-2, IEC 61000-6-4
- NERSA Version 2.8
- G59
- VDE-AR-N 4105 & VDE-V0 124-100
- CEI 0-21
- AS/NZS 4777.2:2015
- NBR 16149 & NBR 16150
- NBR IEC 62116
- RD 1699 / UNE 206007-1

Dimensions

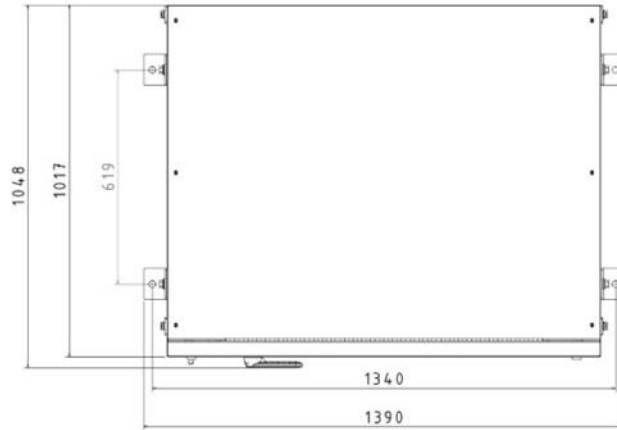


Figure 1: Inverter Top View (in mm)

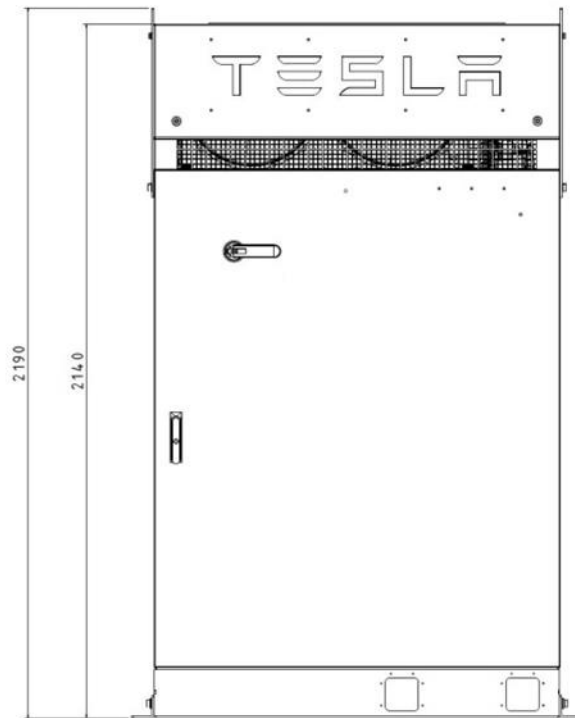


Figure 2: Inverter Front View (in mm)