

27 March 2018

15320

Ms Carolyn McNally
Secretary
Department of Planning and Environment
320 Pitt Street
Sydney NSW 2000

Dear Ms McNally

SECTION 4.55(1A) MODIFICATION APPLICATION SSD 7714 BLACKTOWN HOSPITAL STAGE 2 MAIN BUILDING WORKS

This application has been prepared by Ethos Urban on behalf of Health Infrastructure NSW, pursuant to section 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EP&A Act) to modify Development Consent SSD 7714 relating to Blacktown Hospital at 18 Blacktown Road, Blacktown (the site).

The modification relates to various modifications to the approved Main Hospital Building including:

- Refurbishment of Level 4 to provide for a Gastroenterology department.
- Refurbishment of Level 3 to provide administration work areas for Allied Health; and
- Refurbishment to Level 3 to provide a Day Medical department.

This application identifies the consent, describes the proposed modifications and provides an assessment of the relevant matters contained in section 4.55(1A) of the EP&A Act. This application is accompanied by:

- Architectural Plans prepared by Jacobs (**Attachment A**)

1.0 Consent proposed to be modified

Development consent SSD 7714 was granted by Minister of Planning on 16 December 2016 for Stage 2 Main Building work comprising *construction and operation of a nine storey Acute Services Building; construction of a new public entry atrium, bridge link to a multi-storey car park and bridge and tunnel connections to the existing hospital and Stage 1 Clinical Services Building; and refurbishment of areas of the existing hospital.*

This is the first modification to the consent and follows a review of hospital facilities within the existing Main Hospital Building to be refurbished as part of SSD 7714.

2.0 Proposed modifications to the consent

2.1 Modifications to the development

The following modifications are proposed to the approved development.

Level 3

- Refurbishment of Level 3 to provide administration work areas for the Allied Health department; and
- Refurbishment of Level 3 to provide a Day Medical Unit.

Level 4

- Refurbishment of Level 4 to provide for a Gastroenterology department;
- Extension of Level 4 to provide additional Gastroenterology department work space; and
- Connection of the extension to existing fire stairs and outdoor terrace.

The modifications are described below in more detail.

Changes to Hospital Services

The proposed modifications to hospital services seek to meet the needs of the Hospital by renovating existing spaces within the Main Hospital Building. The modification includes new administration spaces for Allied Health on Level 3, a Day Medical Unit on Level 3 and Gastroenterology department on Level 4.

Changes to building facade

The proposed modification includes an extension of Level 4 to partially in fill the existing roof space above Level 3 (see **Figure 1 and 2**).

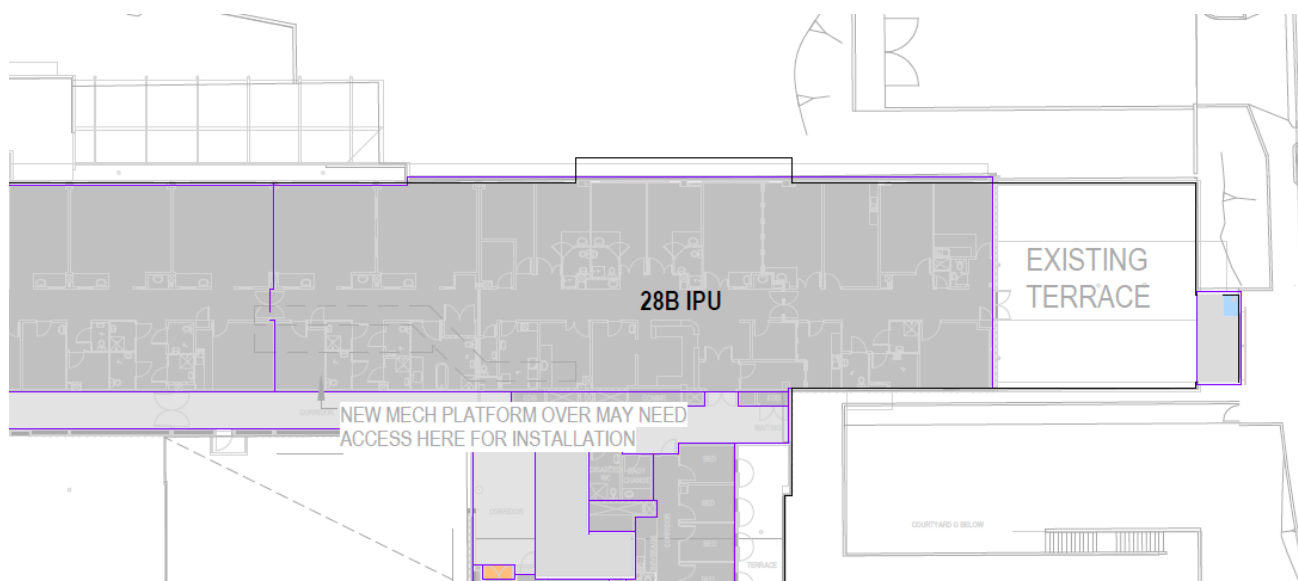


Figure 1 Existing Level 4 layout

Source: Jacobs

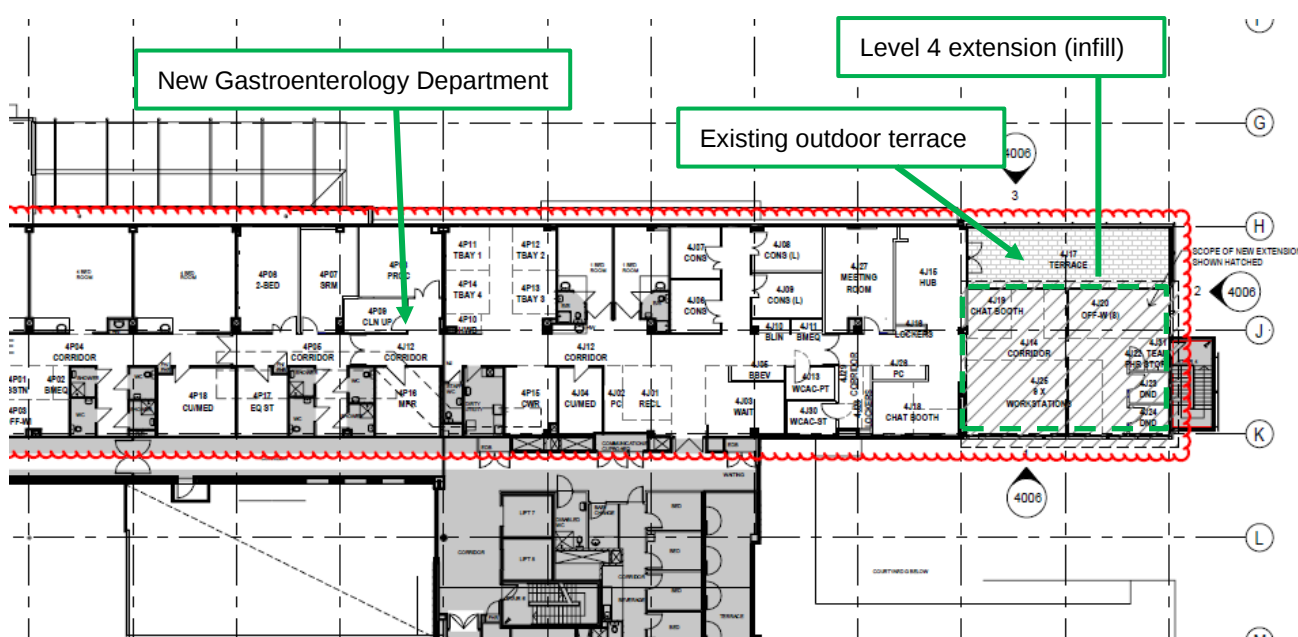


Figure 2 Proposed Level 4 layout

Source: Jacobs

2.2 Modifications to conditions

The proposed modifications described above necessitate amendments to the consent conditions which are identified below. Words proposed to be deleted are shown in ~~bold strike through~~ and words to be inserted are shown in ***bold italics***.

Condition A2 (d) ii

Architectural (or Design) Drawings prepared by Jacobs			
Drawing No.	Rev	Name of Plan	Date
SSD-AR-DG-0202	3	PROPOSED SITE PLAN	10/6/2016
SSD-AR-DG-0211	2	OVERALL PLAN – LEVEL 1	10/6/2016
SSD-AR-DG-0212	2	OVERALL PLAN – LEVEL 2	10/6/2016
SSD-AR-DG-0213	2 4	OVERALL PLAN – LEVEL 3	10/6/2016 14/1/2018
BR2-AR-DG-1530	11	GA PLAN - LEVEL 3 - SHEET 1 OF 2	12/10/2017
SSD-AR-DG-0214	2 3	OVERALL PLAN – LEVEL 4	10/6/2016 31/1/2018
BR2-AR-DG-1540	11	GA PLAN – LEVEL 4	12/10/2017
SSD-AR-DG-0215	2	OVERALL PLAN – LEVEL 5	10/6/2016
SSD-AR-DG-0216	3	OVERALL PLAN – LEVEL 6	18/7/2016
SSD-AR-DG-0217	3	OVERALL PLAN – LEVEL 7	18/7/2016
SSD-AR-DG-0218	4	OVERALL PLAN – LEVEL 8	18/7/2016
SSD-AR-DG-0219	3	OVERALL PLAN – LEVEL 9	18/7/2016
SSD-AR-DG-0223	2	OVERALL SECTION	10/6/2016
SSD-AR-DG-0224	4	ELEVATION SHEET 1	18/7/2016
SSD-AR-DG-0225	4	ELEVATION SHEET 2	18/7/2016
Unnumbered	N/A	Appendix F. Schedule of Exterior Materials	18/7/2016 (as marked)
<i>BR2-AR-DG-4006</i>	4	<i>ELEVATIONS PROPOSED</i>	6/03/2018
<i>BR2-AR-DG-4054</i>	4	<i>SECTIONS – LEVEL 4 GASTRO TERRACE</i>	6/03/2018

3.0 Substantially the same development

Section 4.55(1A) of the EP&A Act states that a consent authority may modify a development consent if “it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all)”.

The development, as proposed to be modified, is substantially the same development as that originally approved in that it:

- the proposed use of the site as a hospital remains consistent with the approved use;
- the proposed changes to the building are primarily internal;
- changes to the building façade is only minor and does not result in any significant changes to the building's appearance; and
- the environmental impacts of the modified development are the same as that of the approved development.

4.0 Environmental assessment

Section 4.55(1A) of the EP&A Act states that a consent authority may modify a development consent if “*it is satisfied that the proposed modification is of minimal environmental impact*”. Under section 4.55(3) the consent Authority must also take into consideration the relevant matters to the application referred to in section 4.15(1) of the EP&A Act.

The following assessment considers the relevant matters under section 4.55(1) and demonstrates that the development, as proposed to be modified, will be of minimal environmental impact.

4.1 Blacktown Local Environmental Plan 2015

There is no maximum Floor Space Ratio or Height of Buildings that applies to the site under the LEP.

4.2 Consistency with Concept Proposal

The Concept Proposal approved by SSD 7058 applies to the Stage 2 envelope and the detailed design approved by SSD 7714 and does not apply to the Main Hospital Building.

4.3 Matters for consideration under Section 4.15 of the EP&A Act.

The EIS submitted with the original SSD DA and subsequent assessment by the Department of Planning and Environment addressed the following environmental impacts:

- Overshadowing
- Visual Privacy
- View Impacts
- Noise and Vibration
- Traffic, Access and Parking
- Waste Management
- Water Cycle Management
- Building Code Compliance
- Contamination and Groundwater
- Acid Sulphate Soils
- Aboriginal Heritage
- Structural Adequacy
- Erosion and Sediment Control
- Construction Management

The planning assessment of the modified development remains unchanged with respect to the above matters and the development continues to be consistent with the relevant State Environmental Planning Policies, the Blacktown Local Environmental Plan 2015 and the Blacktown Development Control Plan 2015.

Privacy

The proposed modification will not have any additional adverse impacts to privacy of surrounding receivers due to the separation of the hospital building to residential dwellings, the closest being located 65 metres to the north, opposite Blacktown Road.

Overshadowing

The proposed modification will have negligible impact to overshadowing as the proposed in-fill of Level 4 will seek to occupy an existing terrace which features an existing outdoor terrace and roof. The proposed extension will therefore enclose this existing space and the resulting building volume will not be dissimilar to the existing volume, resulting in negligible overshadowing impacts.

Waste Management

The existing main hospital building has a central loading dock on its northern side, accessed from its own dedicated driveway off Blacktown Road where all waste is collected from across the Hospital campus. The central waste room will continue to be the waste collection point for the entire campus. The proposed modifications would not introduce any waste that is not already managed by the existing hospital operations and the existing waste room has sufficient capacity to appropriately manage waste generated by the modification.

5.0 Conclusion

The proposed modifications comprise predominantly internal alterations and amendments that will provide services and facilities to cater to the needs of the Hospital. The modifications will not result in any new or additional environmental impact on the surrounding area.

In accordance with section 4.55(1A) of the EP&A Act, the Department of Planning and Environment may modify the consent as:

- the proposed modification is of minimal environmental impact; and
- substantially the same development as development for which the consent was granted.

We trust that this information is sufficient to enable a prompt assessment of the proposed modification request.

Yours sincerely,



Chris McGillick
Senior Urbanist