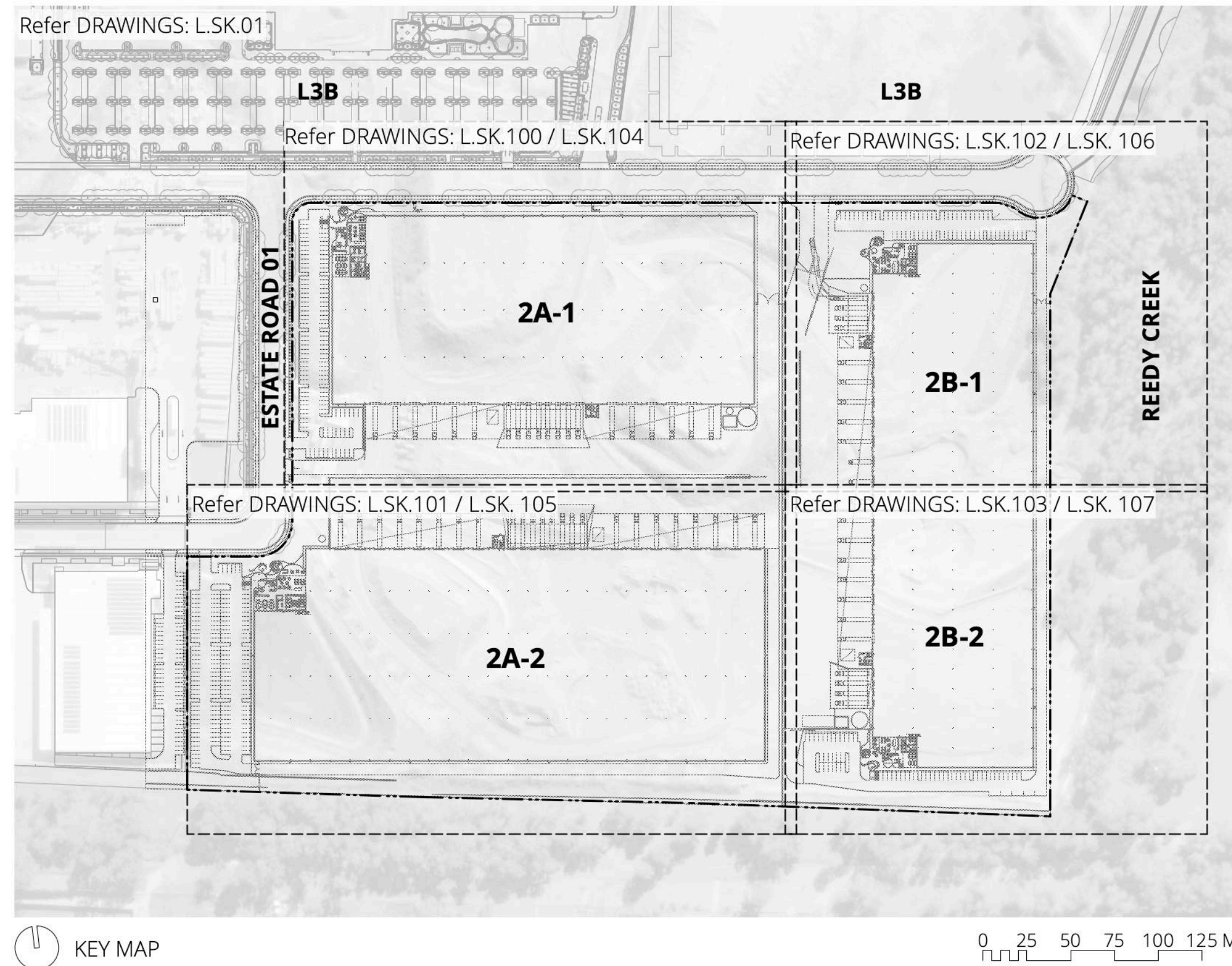


DRAWINGS BY



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PROJECT

# Oakdale East Estate - Precinct 2

Horsley Park, NSW

DRAWING NAME

# Coversheet

CLIENT

Goodman Property Services (AUST) PTY LTD

PHASE

Development Application  
Landscape Drawing Set

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	REVISION	DATE
L.SK.00	Coversheet		
L.SK.01	Landscape Master Plan	C	22/1/25
L.SK.02	Planting Schedule	C	22/1/25
L.SK.03	Materials & Character	C	22/1/25
L.SK.04	Deep Soil Analysis	C	22/1/25
L.SK.05	Irrigation Zone Analysis	C	22/1/25
L.SK.06	Canopy Cover Analysis	C	22/1/25
L.SK.100	Landscape Concept Plan 01	C	22/1/25
L.SK.101	Landscape Concept Plan 02	C	22/1/25
L.SK.102	Landscape Concept Plan 03	C	22/1/25
L.SK.103	Landscape Concept Plan 04	C	22/1/25
L.SK.104	Landscape Planting Plan 01	C	22/1/25
L.SK.105	Landscape Planting Plan 02	C	22/1/25
L.SK.106	Landscape Planting Plan 03	C	22/1/25
L.SK.107	Landscape Planting Plan 04	C	22/1/25
L.SK.108	Landscape Detail Plans	C	22/1/25
L.SK.109	Carpark Details		
L.SK.200	Landscape Sections	C	22/1/25
L.SK.201	Landscape Sections	C	22/1/25

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Legend - Landscape Sketch Plan

<b>PROGRAMME</b>	<b>PAVEMENTS</b>
WT Water tank	Concrete - pedestrian footpaths
CP Carpark	Concrete - hardstand
CE Carpark entry/exit	Driveway
TE Truck entry/exit	Maintenance path
NG Native garden & Nature trail	Precast concrete
<b>BOUNDARIES</b>	Concrete sets
Site boundary	Stone tiles
Lot boundary	Decomposed granite
Structure below	Ballast sandstone mulch
Structure above	Ballast mulch
Sheet adjoints	Brick tiled pavers
<b>GENERAL</b>	Stairs
Building	Reinforced turf
Office	<b>FURNITURE AND FITTINGS</b>
Demolition	Sandstone seating
Services	Timber bollards
Existing native vegetation	Tree pit
<b>LEVELS AND CONTOURS</b>	Proposed pot plants
+R.L.0.0 Reduced level	<b>PLANTING</b>
+F.L.0.0 Finished level	TFF-General Turf
SS.L.0.0 Structural slab level	PM1A-Carpark edge mix (sun)
FF.L.0.0 Finished floor level	PM1B-Car park edge mix (shade)
Contour proposed	PM2A-Grass mix (ornamental)
Weathering steel edge	PM2B-Grass mix (screening)
<b>WALLS &amp; EDGES</b>	PM3A-Feature shrub mix (sun)
Retaining insitu wall	PM3B-Feature shrub mix (shade)
Noise wall	PM4A-Groundcover mix (A)
<b>RAILS AND FENCING</b>	PM4B-Groundcover mix (B)
Fencing - general	PM6A-Low hedge
Retaining wall strap back zone	PM7A-Screen hedge
	PM7B-Screen hedge (native)
	PM10 - Native groundcover/Climber mix
	PM13 - Native understorey planting mix
	<b>TREES</b>
	Narrow width screening tree
	Proposed native small tree
	Proposed exotic small tree
	Proposed carpark tree
	Proposed medium tree
	Proposed large tree



- NOTES**
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
  - Supplementary species should be recommended by contractor for approval by landscape architect.
  - Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.
  - Pool fencing and gates are to be designed and constructed in accordance with AS1926.
  - All planting and turf areas are to be irrigated.
  - All planting areas are to be mulched as specified.
  - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
  - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

**NOT FOR CONSTRUCTION**

DRAWING NUMBER  
**L.SK.01**

DRAWING NAME  
**Landscape Master Plan**

REVISION  
**C**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2  
Horsley Park, NSW**

CONSULTANTS  
**Architect sba Civil Engineer ARCADIS**

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PROJECT NUMBER  
**SD 23228**

DRAWING DATE  
**22/01/2025**

SCALE  
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STATUS  
**DRAFT**

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

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Drawn by **AW**  
Checked by **CH**

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**PLANT SCHEDULE**

BOTANICAL NAME COMMON NAME HEIGHT (m) SPREAD (m) POT SIZE RATE (per m2) QUANTITY

Proposed trees					
<i>Corymbia maculata</i>	Spotted Gum	30	8	75L	40
<i>Cupaniopsis anacardioides</i>	Tuckeroo	10	6	100L	60
<i>Elaeocarpus eumundi</i>	Quandong	25	6	45L	31
<i>Elaeocarpus reticulatus</i>	Blueberry ash	10	5	75L	22
<i>Eucalyptus crebra</i>	Narrow leaved iron-bark	25	6	75L	46
<i>Eucalyptus moluccana</i>	Grey Box	15	10	200L	30
<i>Eucalyptus tereticornis</i>	Forest red gum	30	8	75L	3
<i>Lagerstroemia indica x fauriei 'Natchez'</i>	Crepe myrtle	6	6	200L	15
<i>Magnolia grandiflora 'Exmouth'</i>	Southern magnolia	12	8	200L	3
<i>Melaleuca linariifolia</i>	Snow in summer	10	5	45L	27
<i>Pyrus calleryana 'Capital'</i>	Calleryana pear	10	3	200L	5
<i>Syzygium australe 'Pinnacle'</i>	Creek lilly-pilly	8	2	45L	354
<i>Tristanopsis laurina</i>	Water Gum	8	5	100L	8
<i>Waterhousia floribunda</i>	Weeping lilly pilly	7	5	100L	24

PM1A - carpark edge mix (sun)					
<i>Callistemon viminalis 'Little John'</i>	Little John Bottlebrush	0.6	0.8	140mm	4
<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	4
<i>Lomandra 'Lime Tuff'</i>	Mat Rush	0.6	0.6	140mm	4
<i>Trachelospermum jasminoides 'tricolor'</i>	Tricolor Star Jasmine	0.5	1	140mm	4

PM1B - carpark edge (mix shade)					
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	2	2	140mm	4
<i>Lomandra 'Lime Tuff'</i>	Mat Rush	0.6	0.6	140mm	4
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	75mm	4
<i>Trachelospermum jasminoides</i>	Star Jasmine	1.2	1	140mm	4

PM2A - Grass mix ornamental					
<i>Anigozanthos 'Red Cross'</i>	Red Cross Kangaroo Paws	1.5	1.5	140mm	4
<i>Lomandra fluviatilis 'Shara'</i>	Shara	0.5	0.5	70mm	4
<i>Lomandra longifolia 'Tanika'</i>	Mat Rush	0.5	0.65	70mm	4
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	70mm	4

PM2B - Grass mix native screening					
<i>Dianella caerulea</i>	Flax-lily	0.5	0.5	70mm	4
<i>Lomandra longifolia</i>	Spiny-headed Mat-Rush	0.8	1	140mm	4
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	70mm	4
<i>Themeda triandra</i>	Kangaroo Grass	1.5	0.5	70mm	4

PM3A - Feature shrub mix (sun)					
<i>Callistemon citrinus 'White Anzac'</i>	Bottlebrush	1	1	200mm	4
<i>Acacia cognata 'Limelight'</i>	Bower Wattle	0.8	1	200mm	4
<i>Loropetalum chinense 'Plum Gorgeous'</i>	Loropetalum Plum Gorgeous	1	1.2	300mm	4
<i>Leptospermum polygalifolium</i>	Tantoon	2	2	200mm	4
<i>Metrosideros thomasi</i>	New Zealand Christmas Bust	4	4	300mm	4
<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Sacred Bamboo	0.75	0.75	300mm	4
<i>Rhagodia spinescens</i>	Creeping Saltbush	0.8	1	140mm	4
<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary	0.2	1.5	140mm	4

PM3B - Feature shrub mix (shade)					
<i>Acmena smithii 'Cherry Surprise'</i>	Lilly Pilly	2	1	200mm	4
<i>Callistemon hybrid 'Calkwr' PBR</i>	Red rover Callistemon	0.4	1.5	140mm	4
<i>Callistemon linearis</i>	Narrow-leaved Bottlebrush	2	2	200mm	4
<i>Dodonaea viscosa purpurea</i>	Purple Hop Bush	2.5	1.5	200mm	4
<i>Grevillea lanigera 'Mt Tamboritha'</i>	Mt Tamboritha Grevillea	0.3	1	140mm	4
<i>Grevillea rosmarinifolia Crimson Villea</i>	Rosemary Grevillea, H16	0.8	0.8	140mm	4
<i>Hardenbergia violacea 'Mystic Marvel'</i>	Hardenbergia	2.5	2.5	140mm	4
<i>Lomandra confertifolia 'Seascope'</i>	Mat Rush	0.6	0.55	70mm	4
<i>Melaleuca thymifolia</i>	Thyme Honey-myrtle	1.5	0.8	140mm	4

PM4A - Groundcover mix (A)					
<i>Carpobrotus glaucescens</i>	Pig Face	0.1	0.6	140mm	4
<i>Gazania tomentosa</i>	Silver Gazania	0.3	1.5	140mm	4
<i>Lomandra 'Lime Tuff'</i>	Mat Rush	0.6	0.6	70mm	4
<i>Trachelospermum jasminoides 'tricolor'</i>	Tricolor Star Jasmine	0.5	1	140mm	4

PM4B - Groundcover mix (B)					
<i>Callistemon hybrid 'Calkwr' PBR</i>	Red rover Callistemon	0.4	1.5	140mm	4
<i>Grevillea lanigera 'Mt Tamboritha'</i>	Mt Tamboritha Grevillea	0.3	1	140mm	4
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	2	2	140mm	4
<i>Trachelospermum jasminoides</i>	Star Jasmine	1.2	1	140mm	4
<i>Viola hederacea</i>	Native Violet	0.1	0.2	140mm	4

PM6A - Low hedge					
<i>Acmena smithii 'Fire Screen'</i>	Creek Lilly Pilly	2	1.2	300mm	4
<i>Viburnum odoratissimum</i>	Sweet Viburnum	4	4	300mm	4
<i>Callistemon viminalis 'Little John'</i>	Little John Bottlebrush	0.6	0.8	300mm	4
<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Sacred Bamboo	0.75	0.75	300mm	4
<i>Loropetalum chinense 'Plum Gorgeous'</i>	Loropetalum Plum Gorgeous	1	1.2	300mm	4

PM7A - Sreen hedge					
<i>Metrosideros thomasi</i>	New Zealand Christmas Bust	4	4	300mm	4
<i>Photinia x fraseri</i>	Red robbin	2.5	1.5	300mm	4
<i>Rhaphiolepis indica 'Oriental Pearl'</i>	Oriental Pearl Indian Hawtho	1	1	300mm	4
<i>Viburnum odoratissimum</i>	Sweet Viburnum	4	4	300mm	4

PM7B - native screening hedge					
<i>Acmena smithii 'Fire Screen'</i>	Creek Lilly Pilly	2	1.2	300mm	4
<i>Callistemon viminalis 'Captain Cook'</i>	Bottlebrush	1.2	1	300mm	4

PM10 - Native groundcover / climber mix					
<i>Carpobrotus glaucescens</i>	Pig Face	0.1	0.6	140mm	4
<i>Dianella caerulea</i>	Flax-lily	0.5	0.5	70mm	4
<i>Hardenbergia violacea 'Mystic Marvel'</i>	Hardenbergia	2.5	2.5	140mm	4
<i>Hibbertia scandens</i>	Climbing Guinea-Flower	2	2	140mm	4
<i>Lomandra longifolia 'Tanika'</i>	Mat Rush	0.5	0.65	70mm	4
<i>Poa labillardieri</i>	Tussock Grass	1.3	0.7	70mm	4
<i>Viola hederacea</i>	Native Violet	0.1	0.2	140mm	4

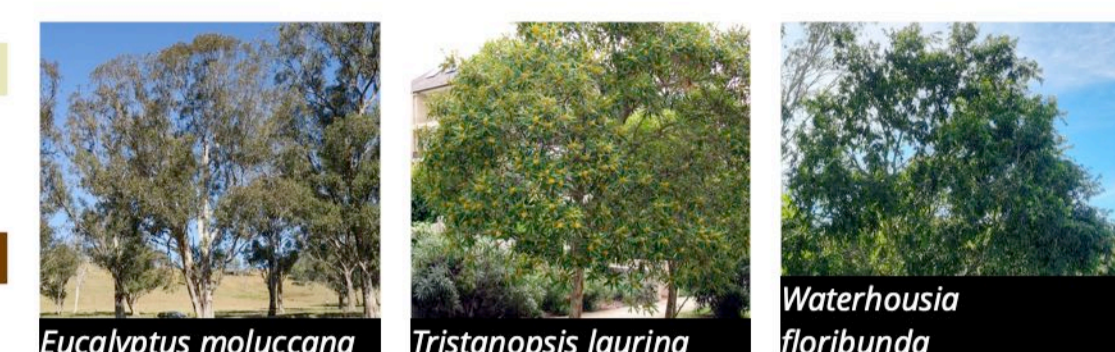
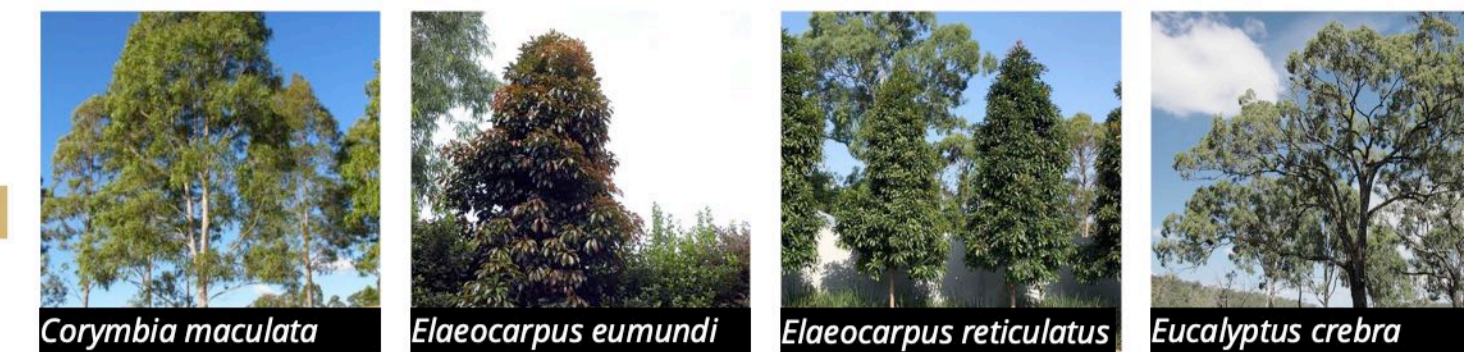
PM13 - Native undestorey planting mix					
<i>Callistemon linearis</i>	Narrow-leaved Bottlebrush	2	2	200mm	4
<i>Dianella revoluta</i>	Spreading Flax Lily	1	1.5	200mm	4
<i>Dodonaea viscosa purpurea</i>	Purple Hop Bush	2.5	1.5	200mm	4
<i>Enchylaena tomentosa</i>	Ruby Saltbush	0.5	0.3	200mm	4
<i>Hakea dactyloides</i>	Broad-leaved Hakea	3	1	200mm	4
<i>Indigofera australis</i>	Australian Indigo	1.8	1.8	200mm	4
<i>Kunzea ambigua</i>	White Kunzea	4	1.6	200mm	4
<i>Kunzea parvifolia</i>	Small-leaved Kunzea	1	2	200mm	4
<i>Lomandra multiflora</i>	Many-flowered Mat-rush	0.9	0.3	70mm	4
<i>Leptospermum polygalifolium</i>	Tantoon	2	2	200mm	4
<i>Melaleuca thymifolia</i>	Thyme Honey-myrtle	1.5	0.8	140mm	4

TF1 - general turf					
<i>Stenotaphrum secundatum 'Sir Walter'</i>	Sir Walter Buffalo				
					Turf Roll

<b>PM1A</b>  <i>Callistemon viminalis 'Little John'</i>	 <i>Lomandra 'Lime Tuff'</i>	 <i>Trachelospermum jasminoides 'Tri-color'</i>	<b>PM1B</b>  <i>Poa labillardieri</i>	 <i>Trachelospermum jasminoides</i>	 <i>Hibbertia scandens</i>	<b>PM2A</b>  <i>Lomandra tanika</i>	 <i>Lomandra fluviatilis</i>	 <i>Poa labillardieri</i>
<b>PM2B</b>  <i>Lomandra longifolia</i>	 <i>Dianella caerulea</i>	 <i>Themeda australis</i>	<b>PM3A</b>  <i>Acacia cognata</i>	 <i>Loropetalum chinese</i>	<b>PM3B</b>  <i>Acmena smithii</i>	<b>PM4A</b>  <i>Lomandra 'Lime Tuff'</i>	 <i>Gazania tomentosa</i>	
<b>PM4B</b>  <i>Trachelospermum jasminoides</i>	 <i>Callistemon hybrid</i>	<b>PM6A</b>  <i>Callistemon viminalis 'Little John'</i>	 <i>Nandina domestica</i>	<b>PM7A</b>  <i>Viburnum odoratissimum</i>	<b>PM7B</b>  <i>Photinia robusta</i>	 <i>Acmena smithii</i>	 <i>Callistemon viminalis</i>	
<b>PM10</b>  <i>Atriplex semibaccata</i>	 <i>Lomandra longifolia</i>	<b>PM13</b>  <i>Callistemon linearis</i>	 <i>Kunzea ambigua</i>	 <i>Indigofera australis</i>	<b>TF1</b>  <i>Soft-leaf Buffalo 'Sir Walter'</i>			

**TREES**

**NATIVE**



**SCREENING**



**CARPARK**

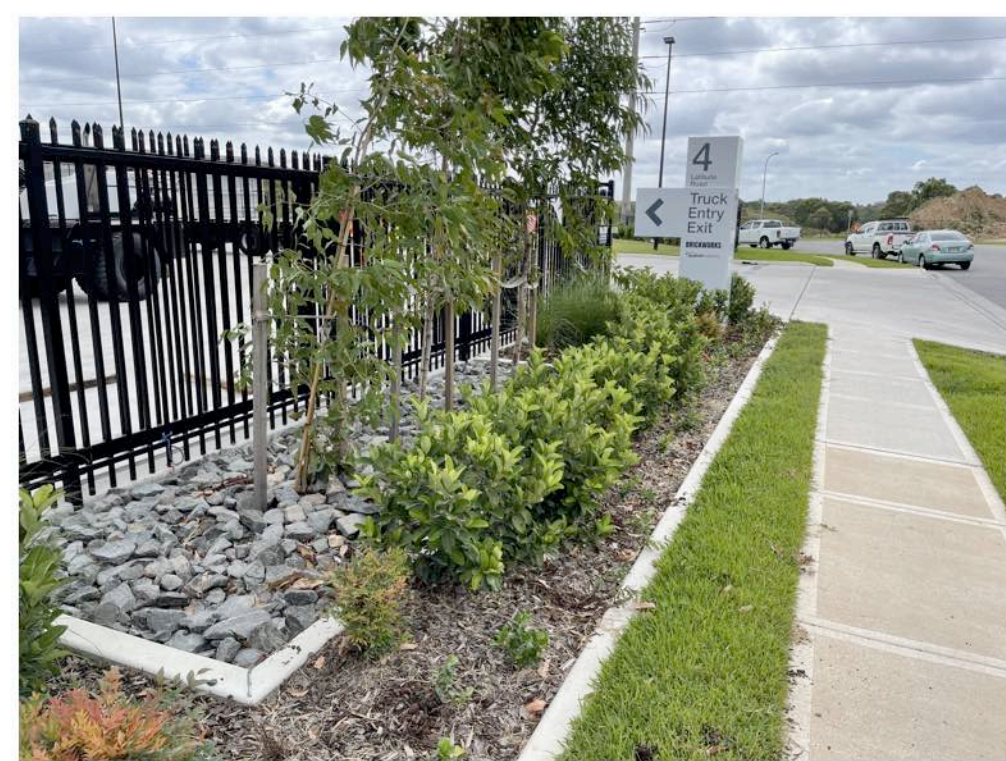
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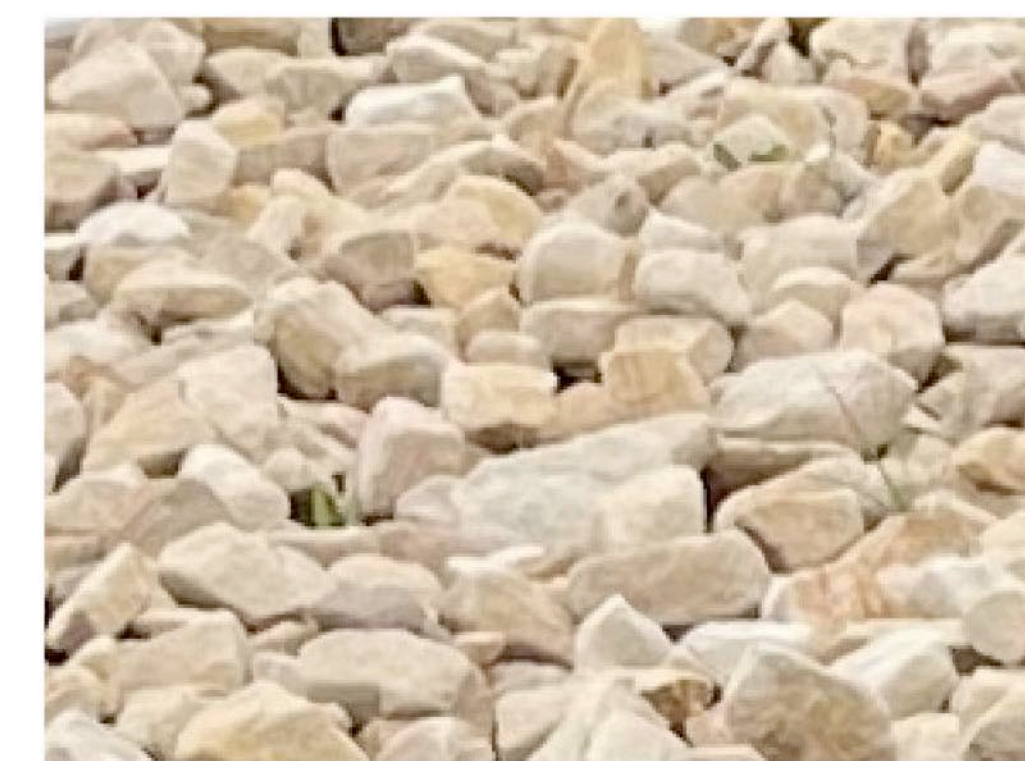
DRAWING NUMBER <b>L.SK.02</b>	DRAWING NAME <b>Planting Schedule</b>	REVISION <b>C</b>	PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>	CONSULTANTS <b>Architect sba</b> <b>Civil Engineer ARCADIS</b>	DRAWINGS BY <b>scape DESIGN</b> LANDSCAPE ARCHITECTURE
PROJECT NUMBER <b>SD 23228</b>	DRAWING DATE <b>22/01/2025</b>	SCALE SCALE BAR	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060 +61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276

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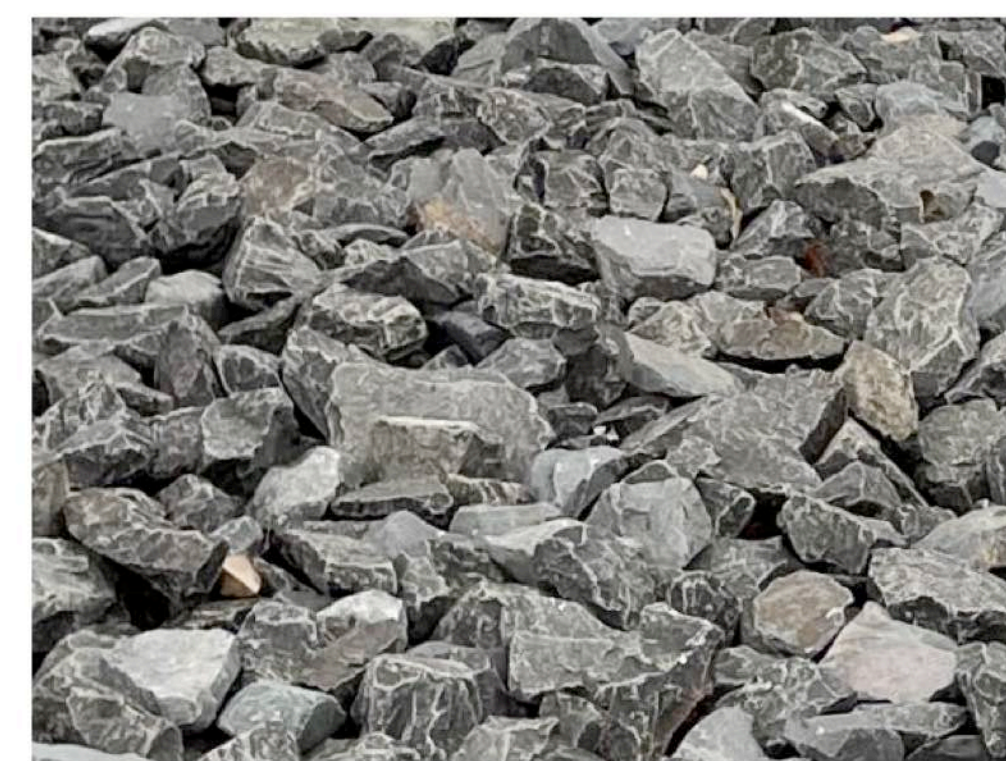
# Estate Character



# Materials & Finishes



Sandstone ballast



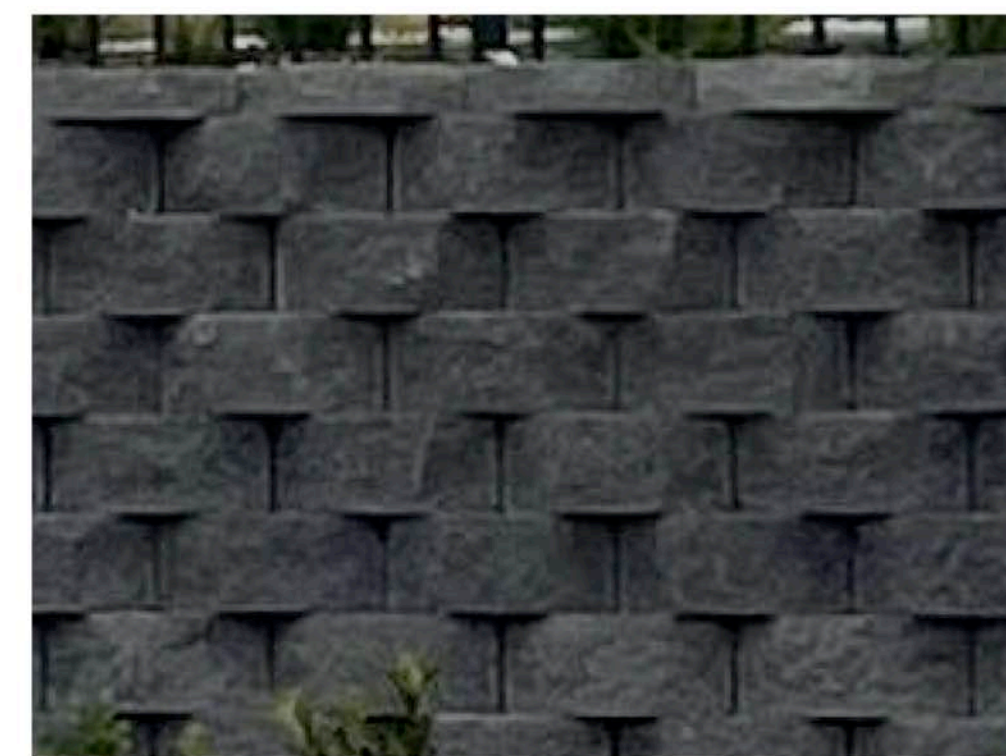
Basalt ballast



Concrete Kerbs



Recycled hardwood mullions

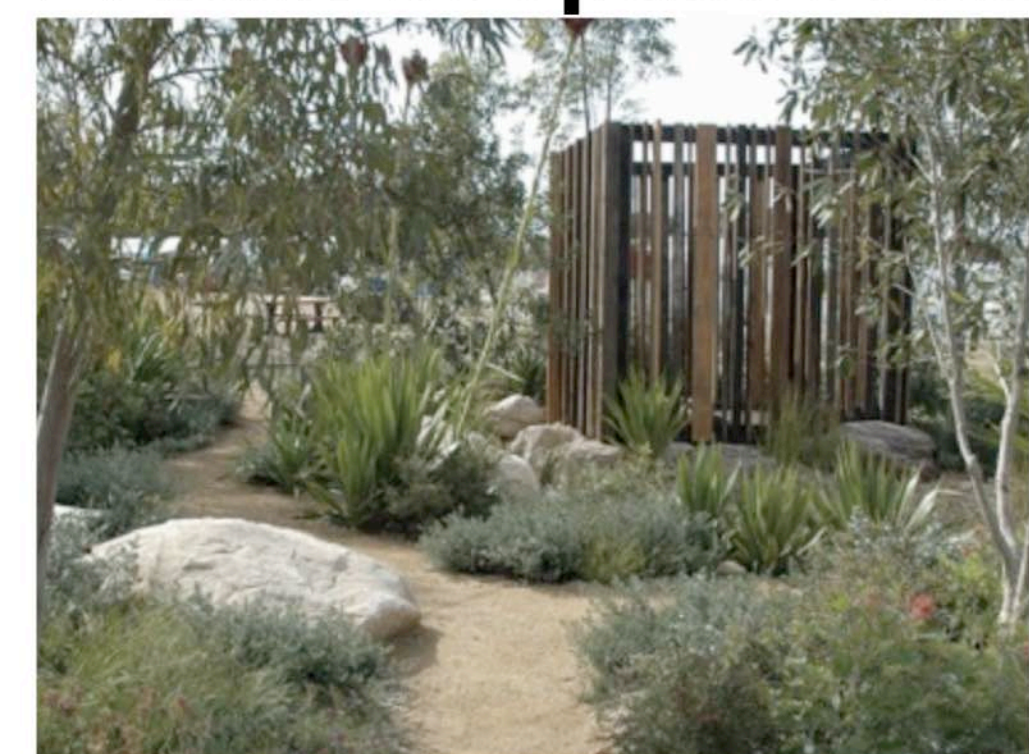


Keystone concrete retaining wall blocks



Sandstone blocks

# Breakout Space Precedents



# Design Statement

## Landscape Design Statement - Precinct 2, Oakdale East, Horsley Park - SCAPE Design

The landscape masterplan prepared for Oakdale East Estate, Precinct 2 aims to provide an aesthetic landscape treatment, conforming with the existing design language established in the constructed portions of Precinct 1, while addressing the key objectives as outlined in the NSW Planning *Greener Places* and *Urban Tree Canopy* guidelines, and relevant Fairfield City Council guidelines. Primarily these documents aim to maximise opportunities for dense tree canopy cover to mitigate the urban heat island effect caused by large paved surface areas and provide screening for the large built form.

Strategies to combat varying climatic conditions have been implemented through the inclusion of permeable surfaces such as turf, deco granite and large planting areas with a variety of planting typologies to reduce stormwater run-off. Planting species are chosen to be low maintenance drought tolerant to perform well in the south western Sydney climate.

Dense tree planting creates a visual screening between the precinct and neighbouring blocks, as well as users of common paths and internal roads. It is recognised that vegetative screening has limitations for developments of this scale, so we have employed a massed/clustering approach to increase tree densities and to focus attention on more robust areas of planting. This also has the potential to increase small bird habitat as opposed to standalone trees. There are opportunities of way finding proposed with feature planting of low hedges and mass planting. Feature trees with bright, long lasting floral displays are located within the precinct to create entry and exit points for pedestrians and vehicles, assisting in wayfinding.

Oakdale East Estate intends to align with the planting palette proposed by council environmental and planning requirements to ensure a high-quality landscape character similarly reflected in other Oakdale precincts and more broadly western Sydney projects. Goodman will be responsible for the landscape implementation of healthy and functional planting in the establishment period and on-going maintenance of high quality and robust landscape outcome.

NOT FOR CONSTRUCTION

DRAWING NUMBER

**L.SK.03**

DRAWING NAME

Materials Plan

REVISION

C

PROJECT NAME AND ADDRESS

Oakdale East Estate - Precinct 2  
Horsley Park, NSW

CLIENT NAME

Goodman Property Services (AUST) PTY LTD

CONSULTANTS

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SD 23228

DRAWING DATE  
22/01/2025

SCALE

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STATUS

NP



DRAWN BY **AW**

CHECKED BY **CH**



**Legend**

DEEP SOIL ANALYSIS

- Precinct boundary
- Building
- Car Park
- Deep soil area
- Permeable paving
- LOT 2A
- LOT 2B

**Precinct 2 Landscape area**

	DA
Precinct area (m2)	157,492 sq m
Deep soil (m2)	13527 sq m
Deep soil (% of Precinct area)	<b>8.59%</b>
50% Permeable paving (m2) 50	2305 sq m
Permeable paving (% of Precinct area)	<b>1.46%</b>
Total landscape area (m2)	15,831 sq m
Total landscape area (% of Precinct area)	<b>10.05%</b>

**LOT 2A Landscape area**

LOT 2A area (m2)	103,849 sq m
Deep soil (m2)	8353 sq m
Deep soil (% of LOT2A area)	<b>8.04%</b>
50% Permeable paving (m2)	1815 sq m
50% Permeable paving (% of LOT2A area)	<b>1.75%</b>
Total landscape area (m2)	10,168 sq m
Total landscape area (% of LOT2A area)	<b>9.79%</b>

**LOT 2B Landscape area**

LOT 2B area (m2)	53,643 sq m
Deep soil (m2)	5,054 sq m
Deep soil (% of LOT2B area)	<b>9.42%</b>
50% Permeable paving (m2)	489 sq m
50% Permeable paving (% of LOT2B area)	<b>0.91%</b>
Total landscape area (m2)	5,544 sq m
Total landscape area (% of LOT2B area)	<b>10.33%</b>

**NOT FOR CONSTRUCTION**

DRAWING NUMBER  
**L.SK.04**

PROJECT NUMBER  
SD 23228

DRAWING DATE  
22/01/25

DRAWING NAME  
**Deep Soil Analysis**

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0 10 20 30 40 50 M

REVISION  
**C**

STATUS  
NP

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2**  
Horsley Park, NSW

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

DRAWN BY  
**AW**

CHECKED BY  
**CH**

CONSULTANTS

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DRAWINGS BY

**scape** LANDSCAPE ARCHITECTURE  
DESIGN

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**Legend**

IRRIGATION ANALYSIS

- Precinct Boundary
- Building
- Car Park
- Turf - pop-up sprinklers
- Tree Island - drip line coil (30L/s)
- Garden bed - drip line

	Area m2
Precinct 2 (Combined Precinct Area)	157492 sq m
Turf - Pop up sprinklers area (m2)	504 sq m
Turf - % of area	0.32%
Tree Island - Drip line coil (30L/s)	731 sq m
Tree Island - % of area	0.46%
Garden Bed - Drip line	12975 sq m
Garden Bed - % of area	8.24%

**NOT FOR CONSTRUCTION**

DRAWING NUMBER <b>L.SK.05</b>		DRAWING NAME <b>Irrigation Analysis</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>Civil Engineer</b> <b>ARCADIS</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER SD 23228	DRAWING DATE 22/01/25	SCALE 1:1000	SCALE BAR 0 10 20 30 40 50 M	STATUS NP	CLIENT NAME Goodman Property Services (AUST) PTY LTD	DRAWN BY AW	CHECKED BY CH	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au	Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276



**Legend**

CANOPY COVER ANALYSIS

- Precinct boundary
- Building
- Car Park
- Proposed canopy
- Proposed canopy carpark
- Retaining wall strap-back zone
- Retaining wall

DA	
Total Canopy	Size
Lot area (including carpark and buildings)	157,492 sq m
Proposed mature canopy (Precinct)	8,521 sq m

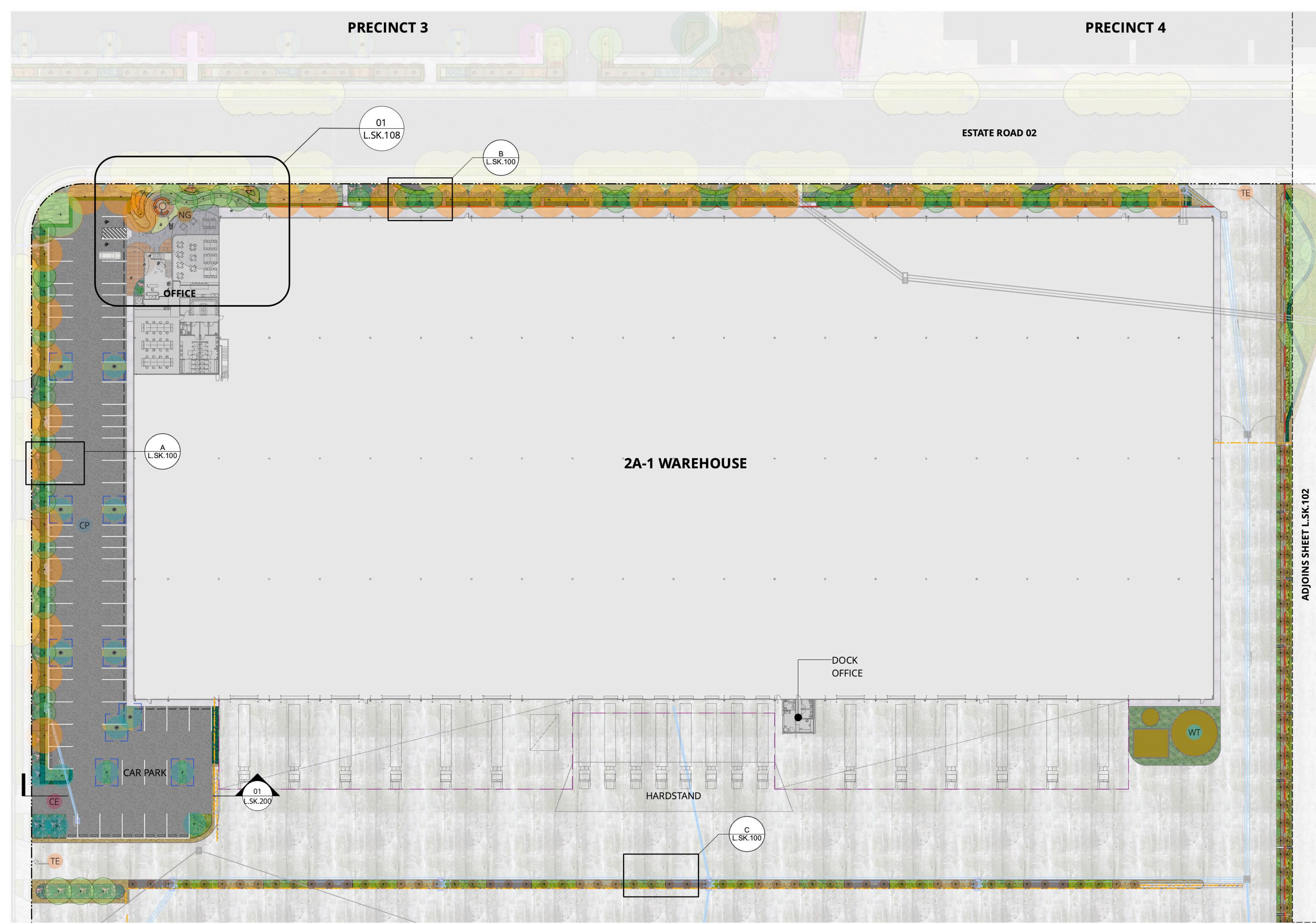
Percentage cover
<b>5.41%</b>

Carpark	
Carpark area (only)	Size
Carpark area (only)	12,548 sq m
Mature canopy (carpark)	1,449 sq m

Percentage cover
<b>11.55%</b>

**NOT FOR CONSTRUCTION**

DRAWING NUMBER <b>L.SK.06</b>		DRAWING NAME <b>Canopy Cover Analysis</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>Civil Engineer</b> <b>ARCADIS</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER SD 23228		DRAWING DATE 22/01/25		SCALE 1:1000		SCALE BAR 0 10 20 30 40 50 M		STATUS <b>DRAFT</b>		CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	
DRAWN BY <b>AW</b>		CHECKED BY <b>CH</b>		SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060		+61 2 9439 1777		Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au		Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276	



**Legend - Landscape Sketch Plan**

PROGRAMME	PAVEMENTS
WT Water tank	Concrete - pedestrian footpaths
CP Carpark	Concrete - hardstand
CE Carpark entry/exit	Driveway
TE Truck entry/exit	Maintenance path
NG Native garden & Nature trail	Precast concrete
	Concrete sets
	Stone tiles
	Decomposed granite
	Ballast sandstone mulch
	Ballast mulch
	Brick tiled pavers
	Stairs
	Re-inforced turf

BOUNDARIES
Site boundary
Lot boundary
Structure below
Structure above
Sheet adjoints

GENERAL
Building
Office
Demolition
Services
Existing native vegetation

LEVELS AND CONTOURS
+R.L.0.0 Reduced level
+F.L.0.0 Finished level
SSL.0.0 Structural slab level
FFL.0.0 Finished floor level
Contour proposed
Weathering steel edge

WALLS & EDGES
Retaining insitu wall
Noise wall

RAILS AND FENCING
Fencing - general
Retaining wall strap back zone

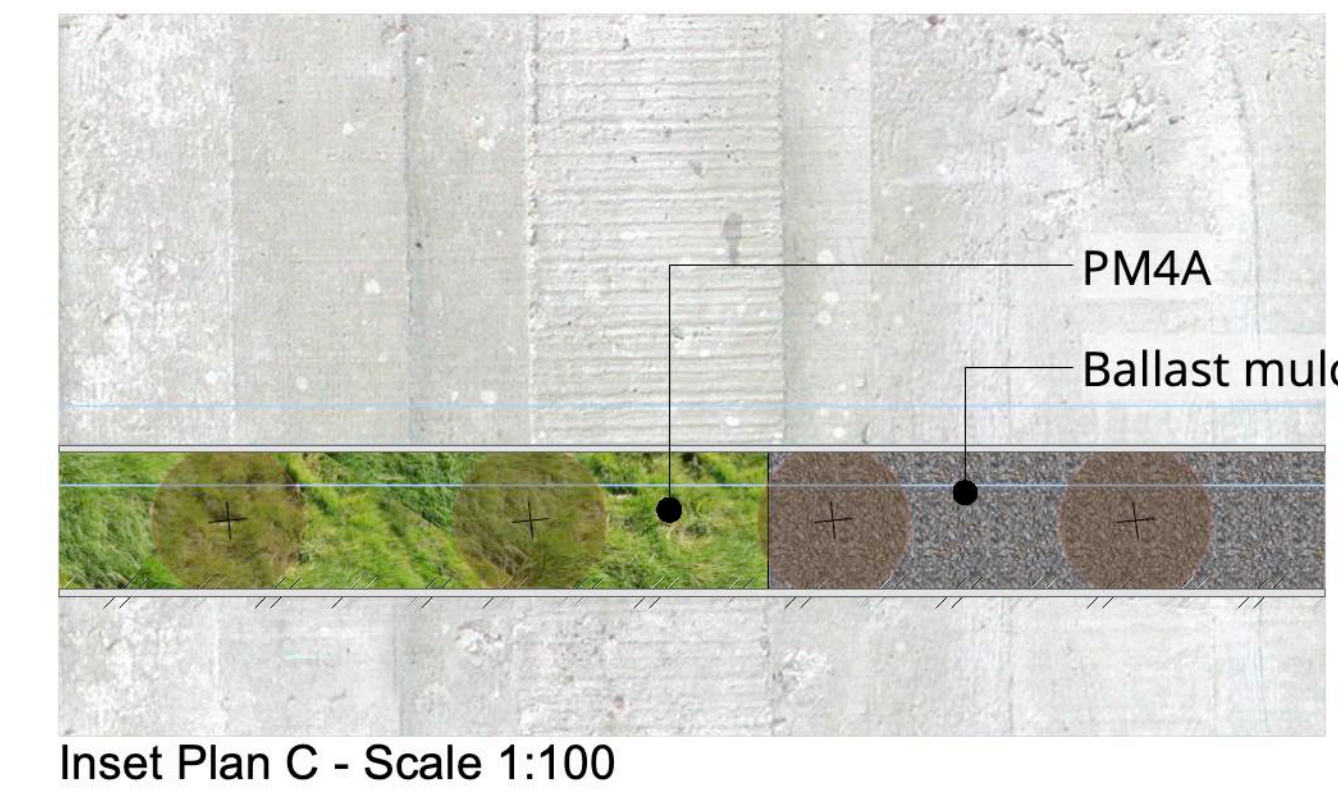
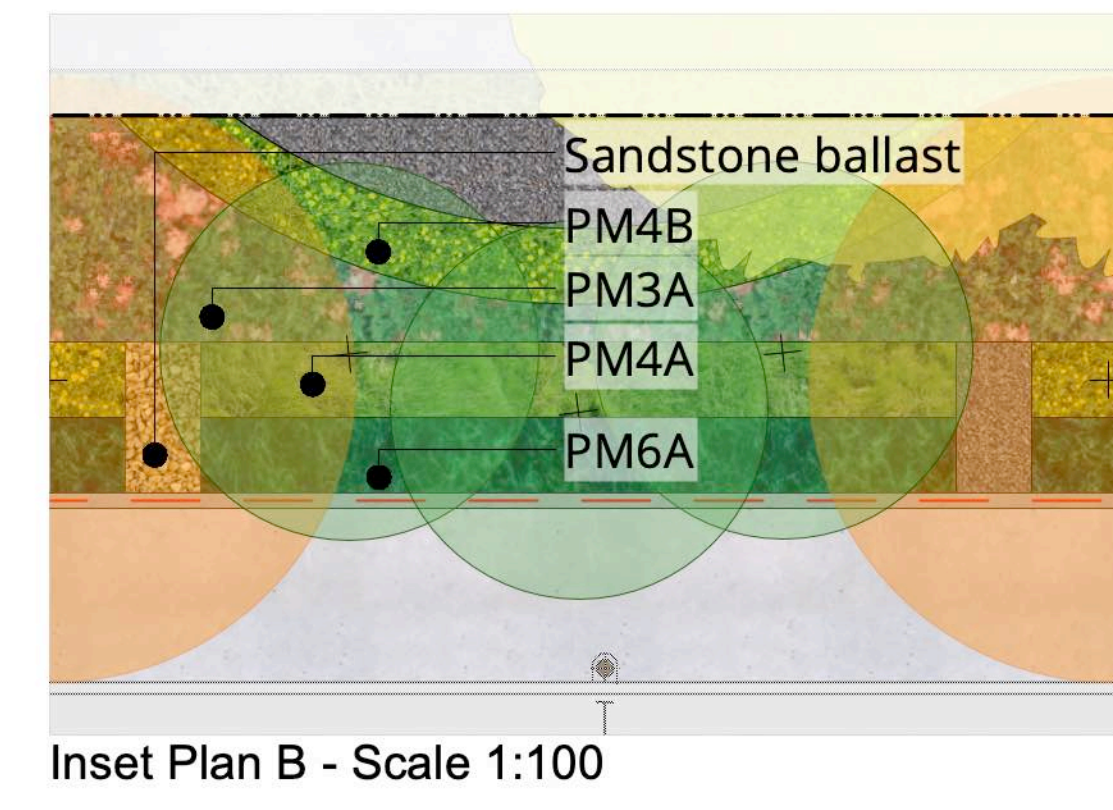
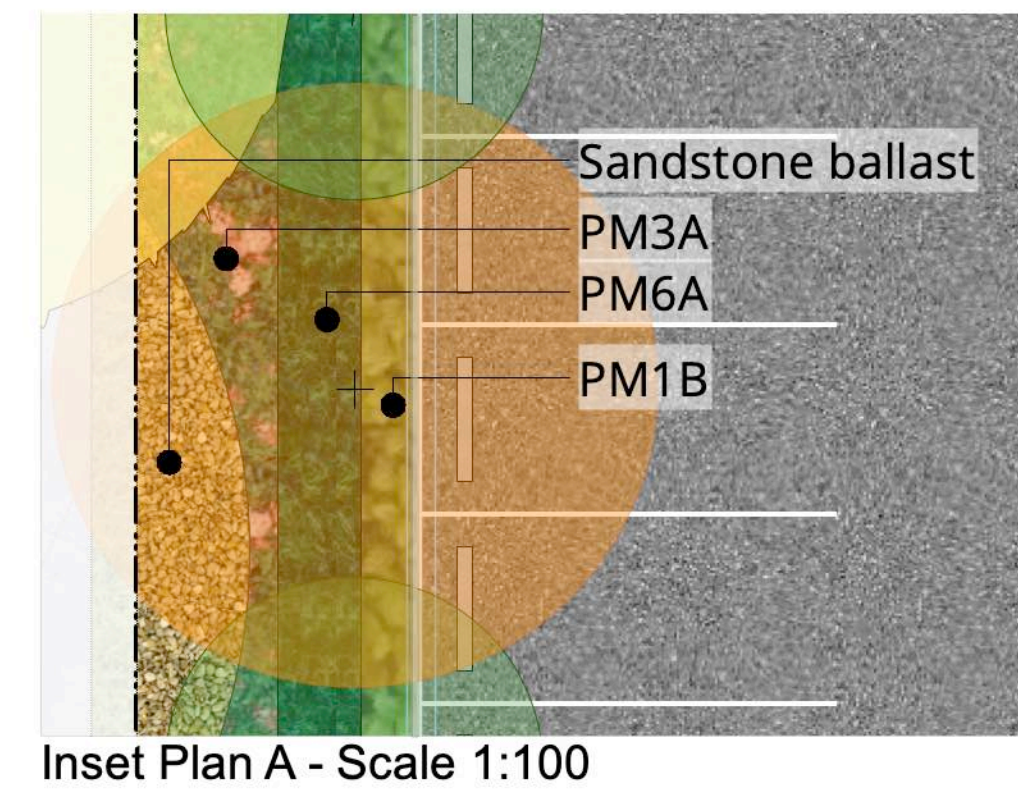
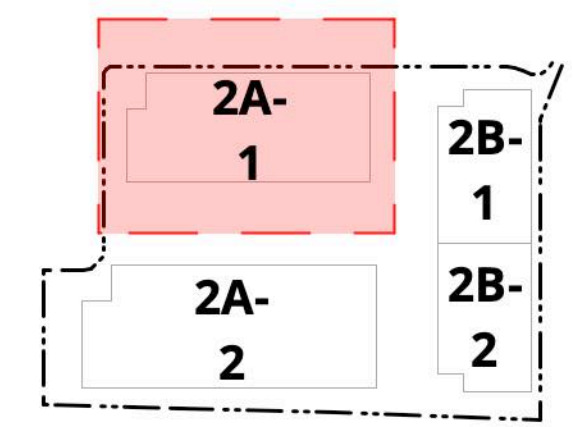
FURNITURE AND FITTINGS
Sandstone seating
Timber bollards
Tree pit
Proposed pot plants

PLANTING
TF1-General Turf
PM1A-Carpark edge mix (sun)
PM1B-Car park edge mix (shade)
PM2A-Grass mix (ornamental)
PM2B-Grass mix (screening)
PM3A-Feature shrub mix (sun)
PM3B-Feature shrub mix (shade)
PM4A-Groundcover mix (A)
PM4B-Groundcover mix (B)
PM6A-Low hedge
PM7A-Screen hedge
PM7B-Screen hedge (native)
PM10 - Native groundcover/Climber mix
PM13 - Native understorey planting mix

TREES
Narrow width screening tree
Proposed native small tree
Proposed exotic small tree
Proposed carpark tree
Proposed medium tree
Proposed large tree

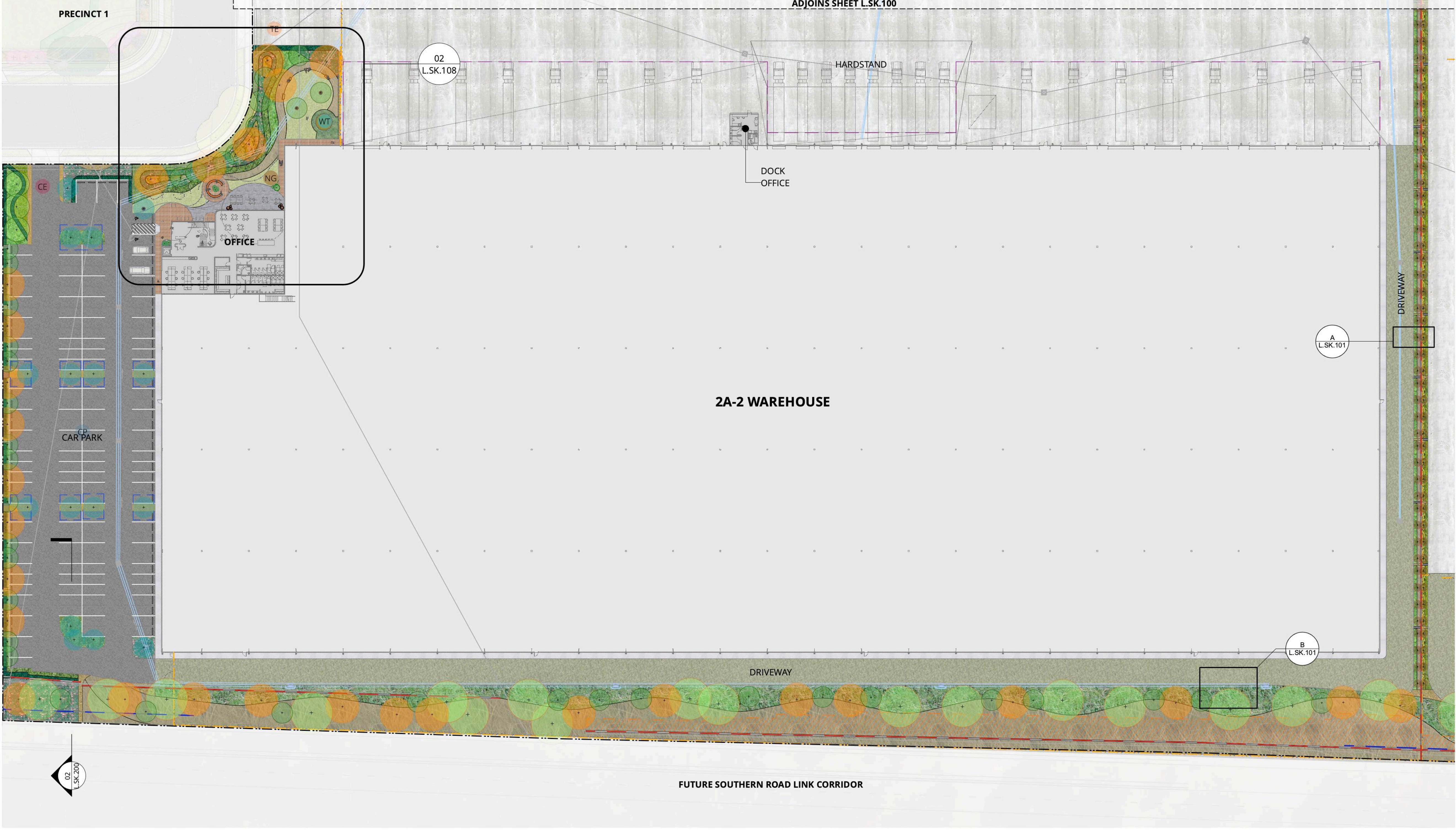


- NOTES**
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
  - Supplementary species should be recommended by contractor for approval by landscape architect.
  - Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.
  - Pool fencing and gates are to be designed and constructed in accordance with AS1926.
  - All planting and turf areas are to be irrigated.
  - All planting areas are to be mulched as specified.
  - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
  - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

**NOT FOR CONSTRUCTION**

DRAWING NUMBER <b>L.SK.100</b>		DRAWING NAME <b>Landscape Concept Plan 01</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>Civil Engineer</b> <b>ARCADIS</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER SD 23228	DRAWING DATE 22/01/2025	SCALE 1:500	SCALE BAR 0 5 10 15 20 25 M	STATUS NP	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	DRAWN BY <b>AW</b>	CHECKED BY <b>CH</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au	Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright. Scape Design Pty. Ltd. ABN 79 568 162 276

<b>PROGRAMME</b>	<b>PAVEMENTS</b>
WT Water tank	Concrete - pedestrian footpaths
CP Carpark	Concrete - hardstand
CE Carpark entry/exit	Driveway
TE Truck entry/exit	Maintenance path
NG Native garden & Nature trail	Precast concrete
<b>BOUNDARIES</b>	Concrete sets
Site boundary	Stone tiles
Lot boundary	Decomposed granite
Structure below	Ballast sandstone mulch
Structure above	Ballast mulch
Sheet adjoins	Brick tiled pavers
<b>GENERAL</b>	Stairs
Building	Reinforced turf
Office	<b>FURNITURE AND FITTINGS</b>
Demolition	Sandstone seating
Services	Timber bollards
Existing native vegetation	Tree pit
<b>LEVELS AND CONTOURS</b>	Proposed pot plants
+R.L.O.O Reduced level	<b>PLANTING</b>
+F.L.O.O Finished level	TFF-General Turf
SS.O.O Structural slab level	PM1A-Carpark edge mix (sun)
FF.L.O.O Finished floor level	PM1B-Car park edge mix (shade)
Contour proposed	PM2A-Grass mix (ornamental)
Weathering steel edge	PM2B-Grass mix (screening)
<b>WALLS &amp; EDGES</b>	PM3A-Feature shrub mix (sun)
Retaining insitu wall	PM3B-Feature shrub mix (shade)
Noise wall	PM4A-Groundcover mix (A)
<b>RAILS AND FENCING</b>	PM4B-Groundcover mix (B)
Fencing - general	PM6A-Low hedge
Retaining wall strap-back zone	PM7A-Screen hedge
	PM7B-Screen hedge (native)
	PM10 - Native groundcover/Climber mix
	PM13 - Native understorey planting mix
	<b>TREES</b>
	Narrow width screening tree
	Proposed native small tree
	Proposed exotic small tree
	Proposed carpark tree
	Proposed medium tree
	Proposed large tree



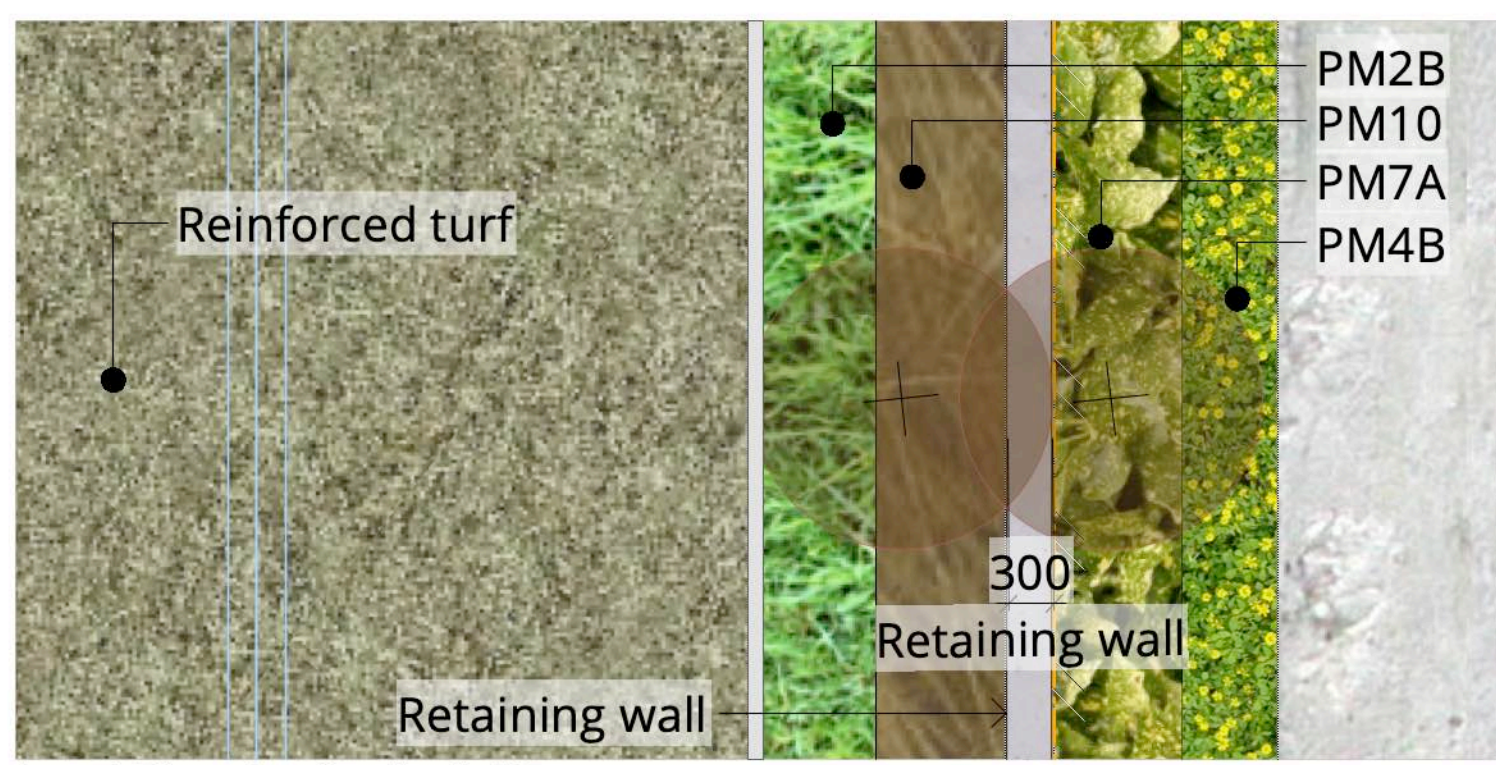
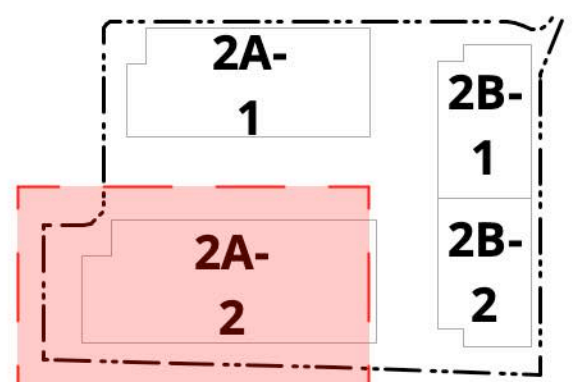
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02 L.SK.108

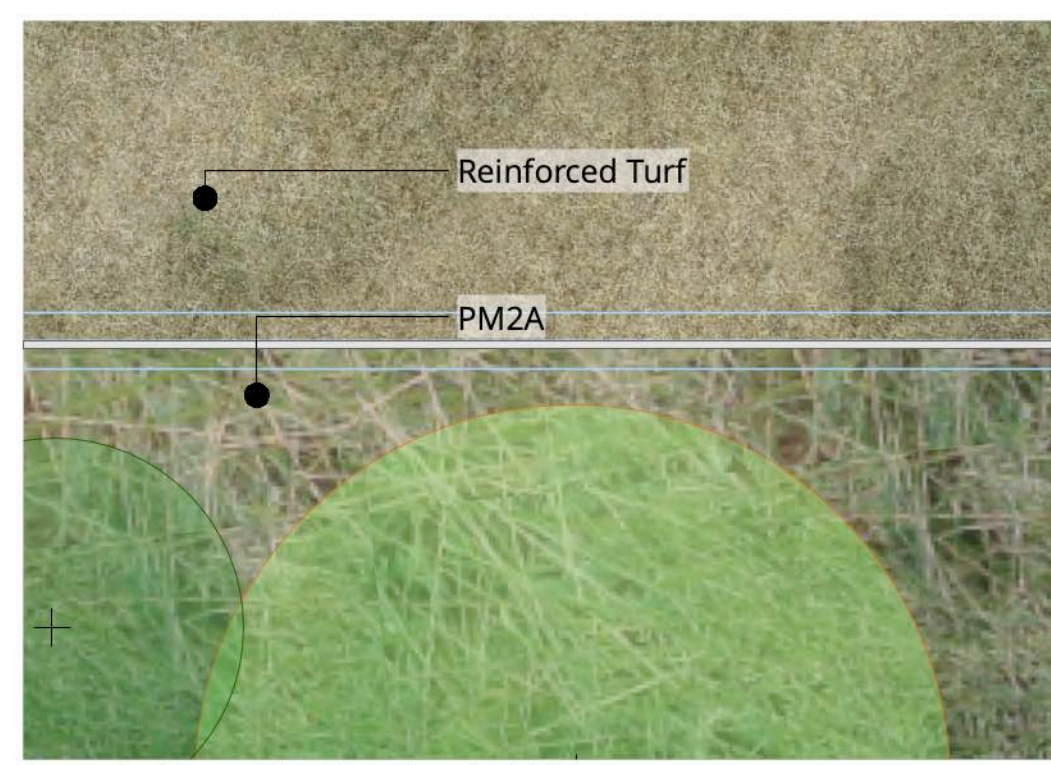
A L.SK.101

B L.SK.101

FUTURE SOUTHERN ROAD LINK CORRIDOR



Inset Plan A - Scale 1:50



Inset Plan B - Scale 1:100

- NOTES
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
  - Supplementary species should be recommended by contractor for approval by landscape architect.
  - Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.
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  - All planting and turf areas are to be irrigated.
  - All planting areas are to be mulched as specified.
  - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
  - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

NOT FOR CONSTRUCTION

DRAWING NUMBER  
**L.SK.101**

DRAWING NAME  
**Landscape Concept Plan 02**

REVISION  
**C**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2  
Horsley Park, NSW**

CONSULTANTS  
**Architect sba Civil Engineer ARCADIS**

DRAWINGS BY  
**scape DESIGN** LANDSCAPE ARCHITECTURE  
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www.scapedesign.com.au

PROJECT NUMBER  
**SD 23228**

DRAWING DATE  
**22/01/2025**

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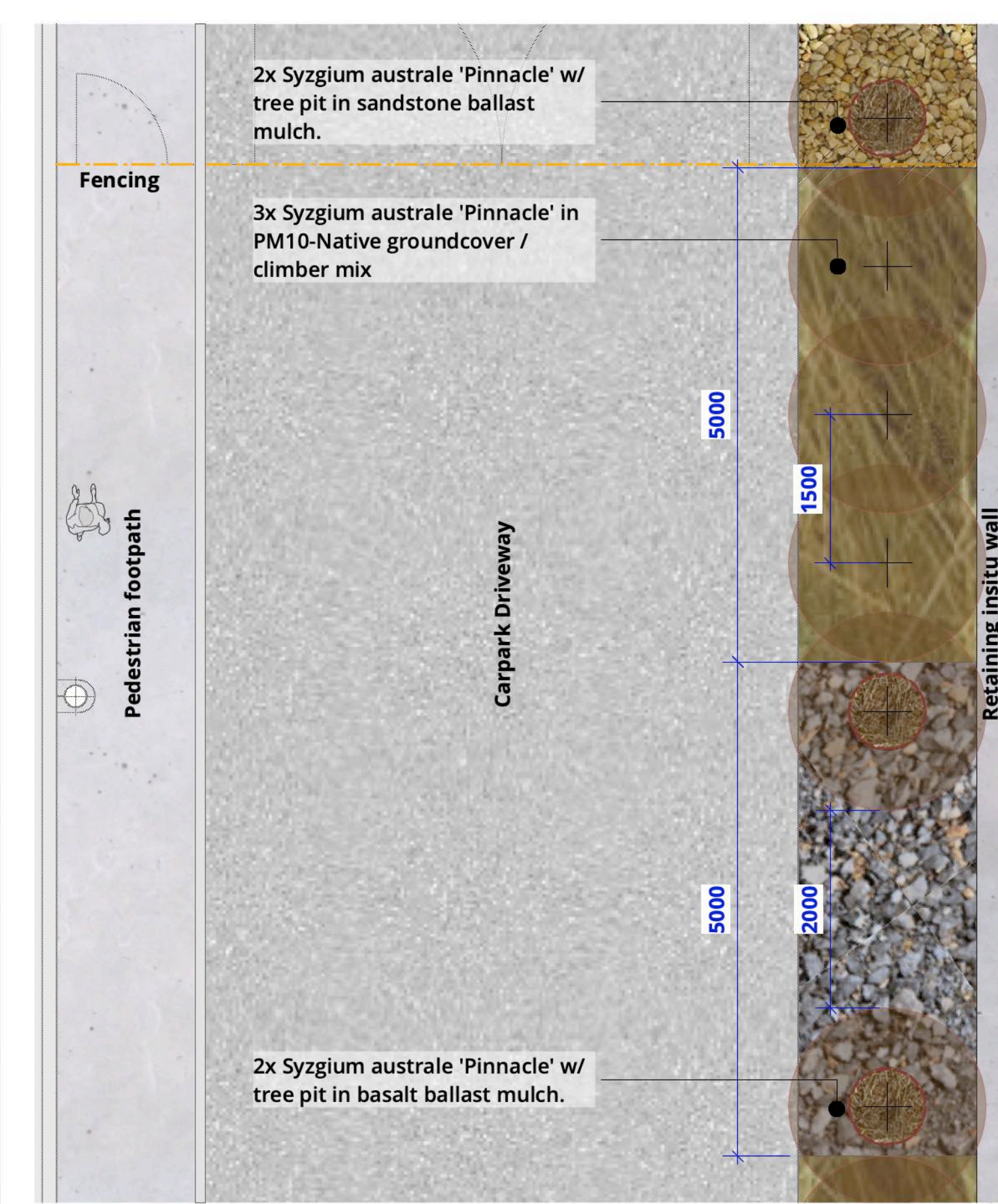
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CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

DRAWN BY  
**AW**

CHECKED BY  
**CH**

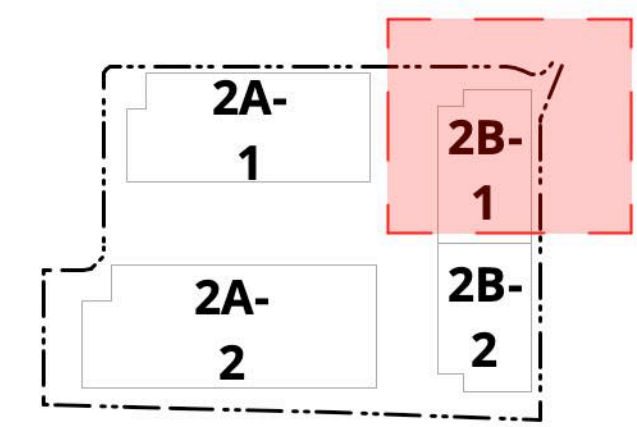
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Inset Plan A - Scale 1:50

Legend - Landscape Sketch Plan

PROGRAMME	PAVEMENTS
WT Water tank	Concrete - pedestrian footpaths
CP Carpark	Concrete - hardstand
CE Carpark entry/exit	Driveway
TE Truck entry/exit	Maintenance path
NG Native garden & Nature trail	Precast concrete
	Concrete sets
	Stone tiles
	Decomposed granite
	Ballast sandstone mulch
	Ballast mulch
	Brick tiled pavers
	Stairs
	Reinforced turf
BOUNDARIES	FURNITURE AND FITTINGS
Site boundary	Sandstone seating
Lot boundary	Timber bollards
Structure below	Tree pit
Structure above	Proposed pot plants
Sheet adjoins	
GENERAL	PLANTING
Building	TFF-General Turf
Office	PM1A-Carpark edge mix (sun)
Demolition	PM1B-Car park edge mix (shade)
Services	PM2A-Glass mix (ornamental)
Existing native vegetation	PM2B-Glass mix (screening)
	PM3A-Feature shrub mix (sun)
	PM3B-Feature shrub mix (shade)
	PM4A-Groundcover mix (A)
	PM4B-Groundcover mix (B)
	PM6A-Low hedge
	PM7A-Screen hedge
	PM7B-Screen hedge (native)
	PM10 - Native groundcover/Climber mix
	PM13 - Native understorey planting mix
LEVELS AND CONTOURS	RAILS AND FENCING
+R.L.O.O Reduced level	Fencing - general
+F.L.O.O Finished level	Retaining wall strap back zone
SSS.O.O Structural slab level	
FFS.O.O Finished floor level	
Contour proposed	
Weathering steel edge	
WALLS & EDGES	
Retaining insitu wall	
Noise wall	



- NOTES
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**NOT FOR CONSTRUCTION**

DRAWING NUMBER  
**L.SK.102**

PROJECT NUMBER  
SD 23228

DRAWING DATE  
22/01/2025

DRAWING NAME  
**Landscape Concept Plan 03**

SCALE  
1:500

SCALE BAR  
0 5 10 15 20 25 M

REVISION  
**C**

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2**  
Horsley Park, NSW

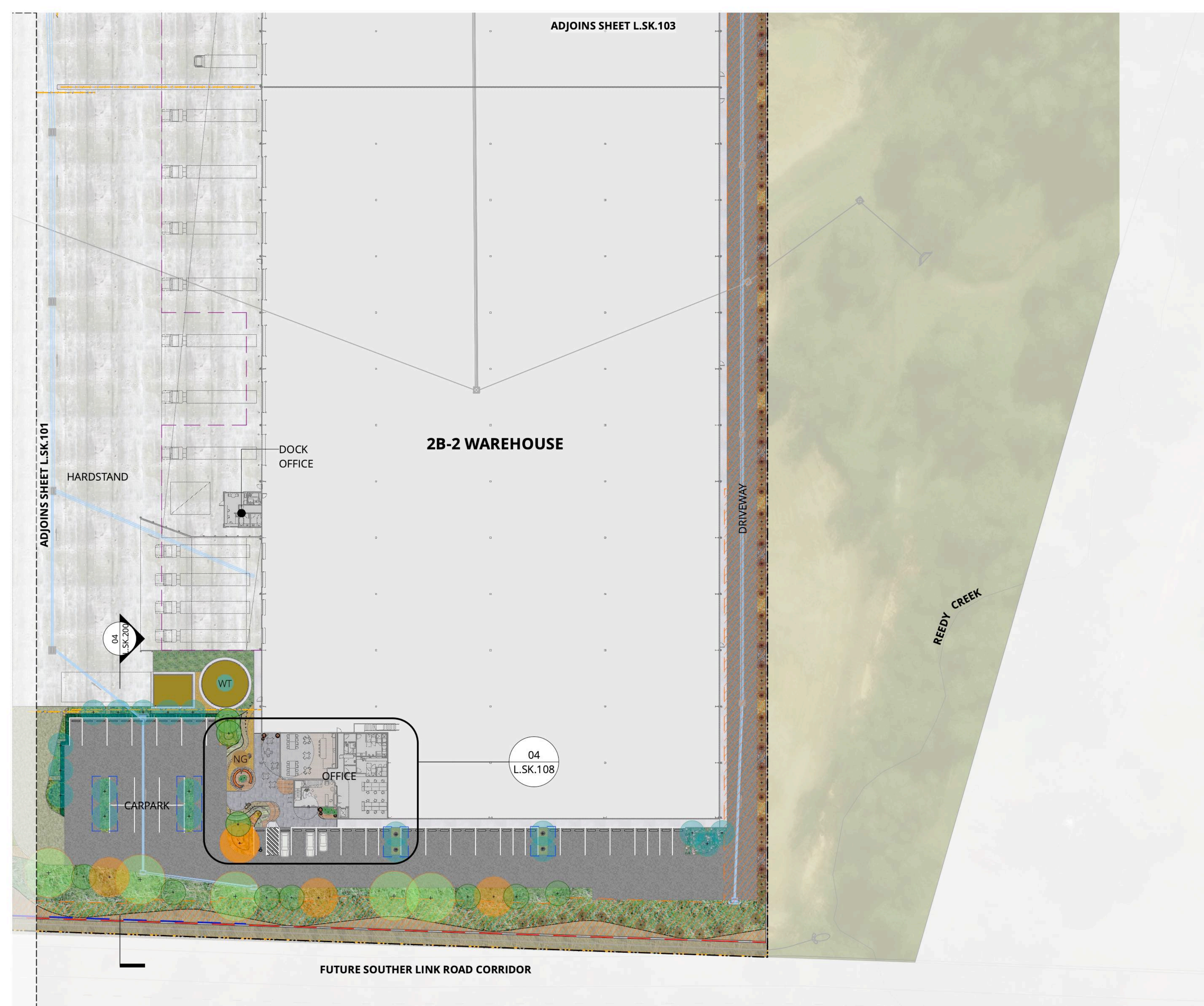
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**ARCADIS** +61 2 9439 1777

DRAWN BY **AW**  
CHECKED BY **CH**

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**SCAPE DESIGN** LANDSCAPE ARCHITECTURE

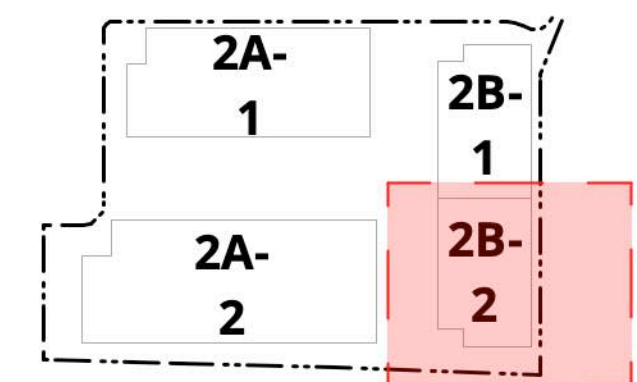
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**Legend - Landscape Sketch Plan**

PROGRAMME	PAVEMENTS
WT Water tank	Concrete - pedestrian footpaths
CP Carpark	Concrete - hardstand
CE Carpark entry/exit	Driveway
TE Truck entry/exit	Maintenance path
NG Native garden & Nature trail	Precast concrete
	Concrete sets
	Stone tiles
	Decomposed granite
	Ballast sandstone mulch
	Ballast mulch
	Brick tiled pavers
	Stairs
	Re-inforced turf
BOUNDARIES	FURNITURE AND FITTINGS
Site boundary	Sandstone seating
Lot boundary	Timber bollards
Structure below	Tree pit
Structure above	Proposed pot plants
Sheet adjoins	
GENERAL	PLANTING
Building	Tf1-General Turf
Office	PM1A-Carpark edge mix (sun)
Demolition	PM1B-Car park edge mix (shade)
Services	PM2A-Grass mix (ornamental)
Existing native vegetation	PM2B-Grass mix (screening)
	PM3A-Feature shrub mix (sun)
	PM3B-Feature shrub mix (shade)
	PM4A-Groundcover mix (A)
	PM4B-Groundcover mix (B)
	PM6A-Low hedge
	PM7A-Screen hedge
	PM7B-Screen hedge (native)
	PM10 - Native groundcover/Climber mix
	PM13 - Native understorey planting mix
LEVELS AND CONTOURS	RAILS AND FENCING
+RL 0.0 Reduced level	Fencing - general
+FL 0.0 Finished level	Retaining wall strap back zone
SSL 0.0 Structural slab level	
FFL 0.0 Finished floor level	
Contour proposed	
Weathering steel edge	
WALLS & EDGES	
Retaining insitu wall	
Noise wall	



- NOTES**
- Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.
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  - All planting and turf areas are to be irrigated.
  - All planting areas are to be mulched as specified.
  - Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.
  - Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.

**NOT FOR CONSTRUCTION**

DRAWING NUMBER  
**L.S.K.103**

PROJECT NUMBER  
SD 23228

DRAWING DATE  
22/01/2025

DRAWING NAME  
**Landscape Concept Plan 04**

SCALE  
1:500

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STATUS  
NP

REVISION  
**C**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2**  
Horsley Park, NSW

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

DRAWN BY  
**AW**

CHECKED BY  
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**sba**

**Civil Engineer**  
**ARCADIS**

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**scape** LANDSCAPE ARCHITECTURE  
DESIGN

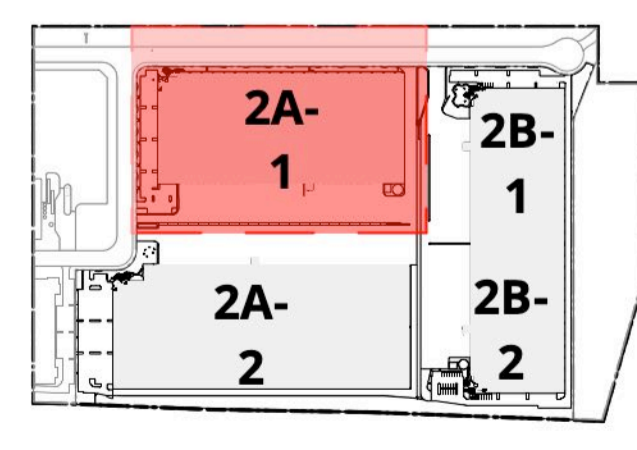
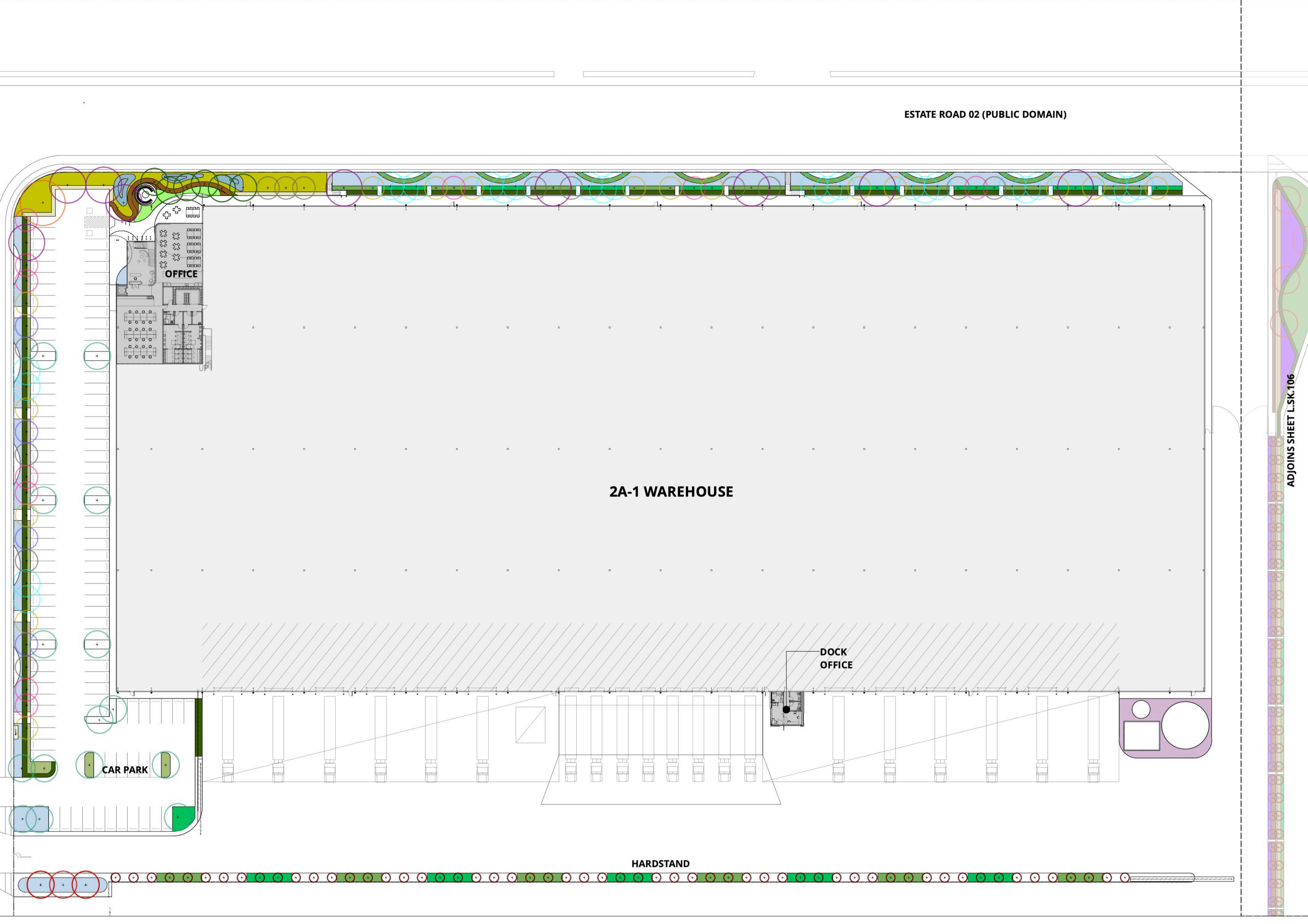
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**Legend**

- BOUNDARIES**
- Site boundary
  - Lot boundary
- GENERAL**
- Building
  - Office
  - Demolition
  - Sheet adjoins
- PLANTING**
- PM1A-Carpark edge mix (sun)
  - PM1B-Car park edge mix (shade)
  - PM2A-Grass mix (ornamental)
  - PM2B-Grass mix (screening)
  - PM3A-Feature shrub mix (sun)
  - PM3B-Feature shrub mix (shade)
  - PM4A-Groundcover mix (A)
  - PM4B-Groundcover mix (B)
  - PM6A-Low hedge
  - PM7A-Screen hedge
  - PM7B-Screen hedge (native)
  - PM10 - Native groundcover/Climber mix
  - PM13 - Native understory planting mix
  - General Turf

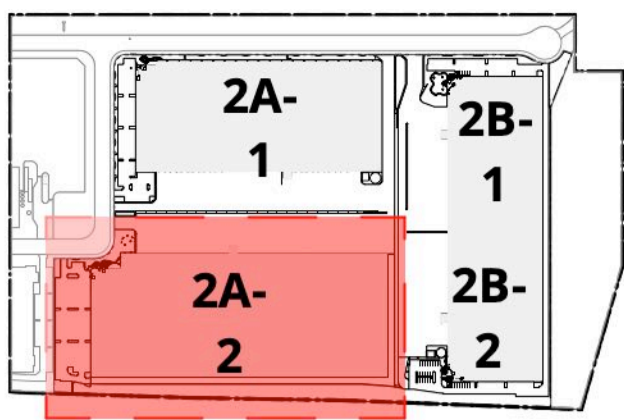
- TREES**
- Corymbia maculata
  - Cupaniopsis anacardioides
  - Elaeocarpus reticulatus
  - Elaeocarpus eumundi
  - Eucalyptus crebra
  - eucalyptus moluccana
  - Eucalyptus tereticornis
  - Lagerstroemia indica x fauriei 'hathez'
  - Melealeuca linearifolia
  - Pyrus calleryana 'Capital'
  - Syzygium australe 'Pinnacle'
  - Tristaniopsis laurina
  - Waterhousea floribunda



**NOT FOR CONSTRUCTION**

DRAWING NUMBER <b>L.SK.104</b>		DRAWING NAME <b>Planting Plan 01</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>Civil Engineer</b> <b>ARCADIS</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER SD 23228	DRAWING DATE 22/01/2025	SCALE 1:500	SCALE BAR 0 5 10 15 20 25 M	STATUS	NP	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	DRAWN BY <b>AW</b>	Checked BY <b>CH</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au

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**Legend**

<b>BOUNDARIES</b>	<b>PLANTING</b>	<b>TREES</b>
--- Site boundary	PM1A-Carpark edge mix (sun)	Corymbia maculata
--- Lot boundary	PM1B-Car park edge mix (shade)	Lagerstroemia indica x fauriei 'hatchee'
<b>GENERAL</b>	PM2A-Grass mix (ornamental)	Cupaniopsis anacardioides
■ Building	PM2B-Grass mix (screening)	Melaleuca linanifolia
■ Office	PM3A-Feature shrub mix (sun)	Elaeocarpus reticulatus
- - - Demolition	PM3B-Feature shrub mix (shade)	Pyrus calleryana 'Capital'
- - - Sheet adjoins	PM4A-Groundcover mix (A)	Elaeocarpus eumundi
	PM4B-Groundcover mix (B)	Syzygium australe 'Pinnacle'
	PM6A-Low hedge	Eucalyptus crebra
	PM7A-Screen hedge	Eucalyptus moluccana
	PM7B-Screen hedge (native)	Eucalyptus tereticornis
	PM10 - Native groundcover/Climber mix	
	PM13 - Native understorey planting mix	
	General Turf	

DRAWING NUMBER  
**L.SK.105**

DRAWING NAME  
**Planting Plan 02**

REVISION  
**C**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2  
Horsley Park, NSW**

CONSULTANTS  
**SBA Architects**    **Civil Engineer**  
**ARCADIS**

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**scape DESIGN**    LANDSCAPE ARCHITECTURE  
Suite 5 / 15 The Corso  
Manly NSW 2095  
www.scapedesign.com.au

PROJECT NUMBER  
**SD 23228**

DRAWING DATE  
**22/01/2025**

SCALE  
**1:500**

SCALE BAR  
0 5 10 15 20 25 M

STATUS  
**NP**

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

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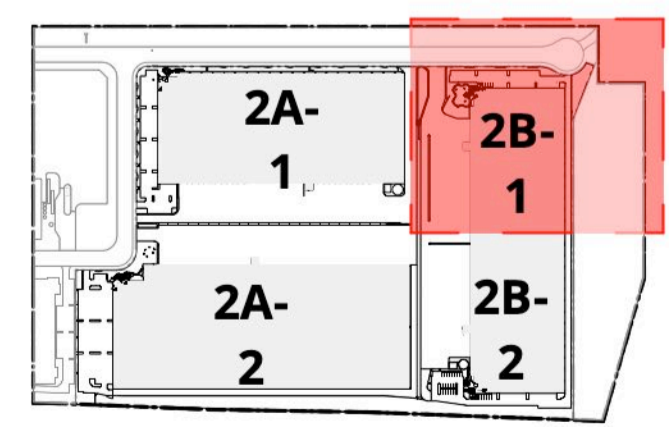
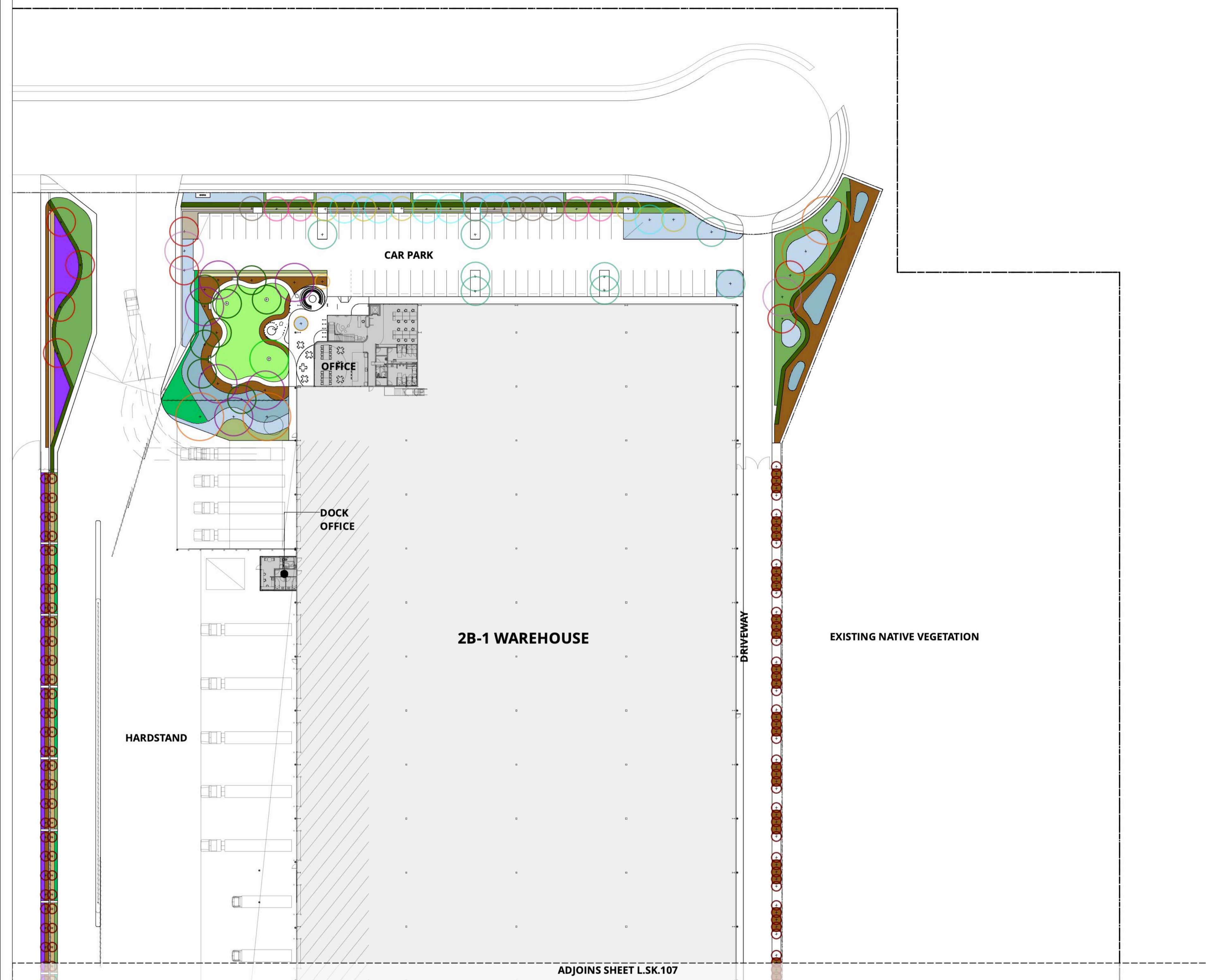
DRAWN BY  
**AW**

CHECKED BY  
**CH**

**Legend**

- BOUNDARIES**
- Site boundary
  - Lot boundary
- GENERAL**
- Building
  - Office
  - Demolition
  - Sheet adjoins
- PLANTING**
- PM1A-Carpark edge mix (sun)
  - PM1B-Car park edge mix (shade)
  - PM2A-Grass mix (ornamental)
  - PM2B-Grass mix (screening)
  - PM3A-Feature shrub mix (sun)
  - PM3B-Feature shrub mix (shade)
  - PM4A-Groundcover mix (A)
  - PM4B-Groundcover mix (B)
  - PM6A-Low hedge
  - PM7A-Screen hedge
  - PM7B-Screen hedge (native)
  - PM10 - Native groundcover/Climber mix
  - PM13 - Native understorey planting mix
  - General Turf

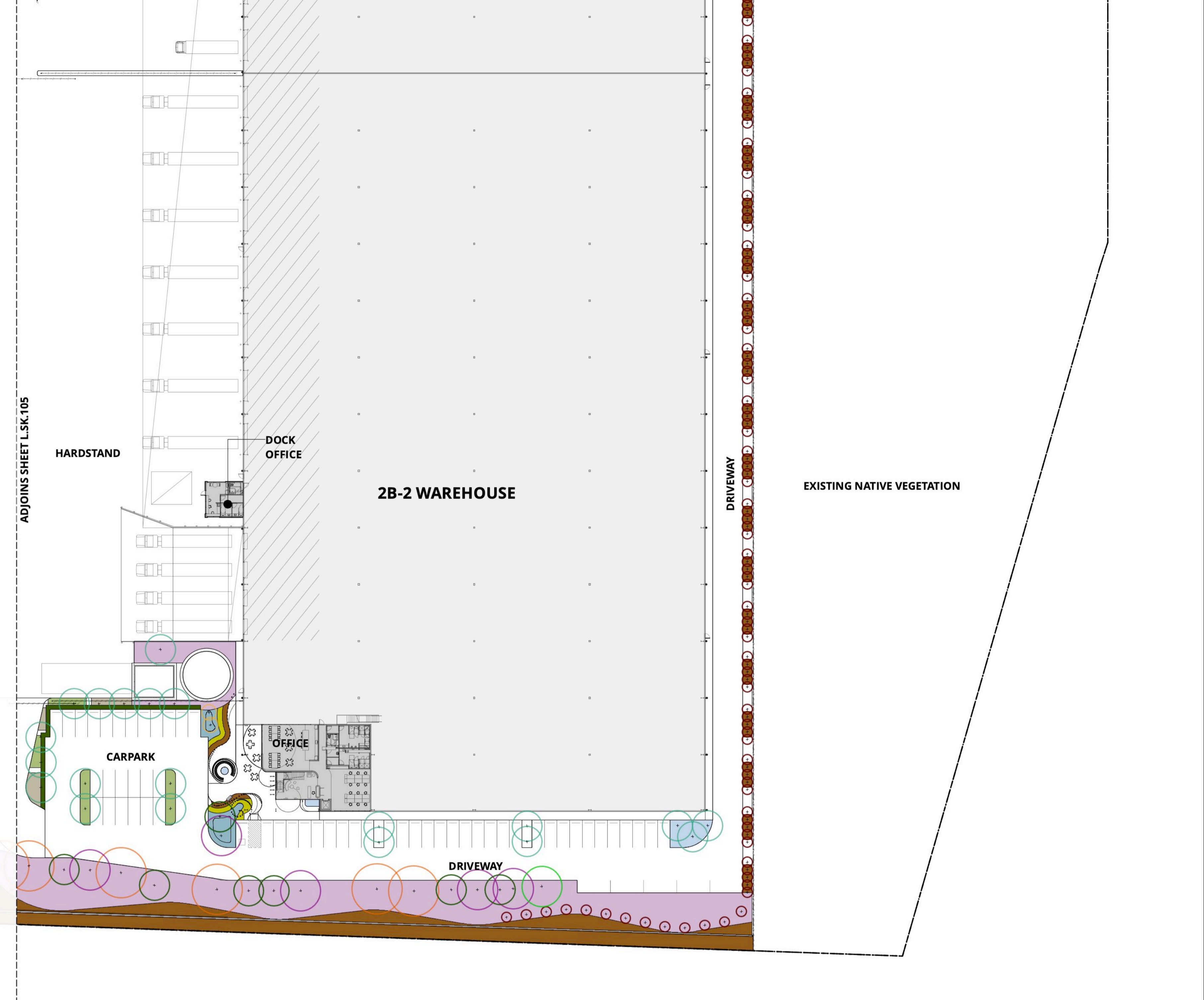
- TREES**
- Corymbia maculata
  - cupaniopsis anacardioides
  - Elaeocarpus reticulatus
  - Elaeocarpus eumundi
  - Eucalyptus crebra
  - eucalyptus moluccana
  - Eucalyptus tereticornis
  - Lagerstroemia indica x fauriei 'hathez'
  - Melaleuca linariifolia
  - Pyrus calleryana 'Capital'
  - Syzygium australe 'Pinnacle'



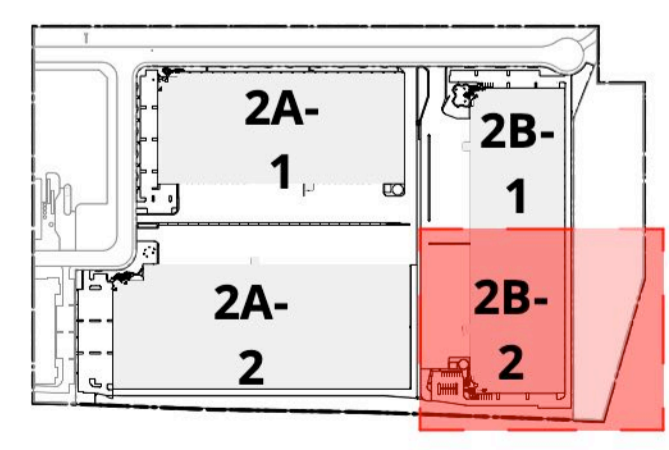
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DRAWING NUMBER <b>L.SK.106</b>		DRAWING NAME <b>Planting Plan 03</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>Civil Engineer</b> <b>ARCADIS</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER SD 23228	DRAWING DATE 22/01/2025	SCALE 1:500	SCALE BAR 0 5 10 15 20 25 M	STATUS	NP	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	DRAWN BY <b>AW</b>	CHECKED BY <b>CH</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au

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- Legend**
- BOUNDARIES**
- Site boundary
  - Lot boundary
- GENERAL**
- Building
  - Office
  - Demolition
  - Sheet adjoins
- PLANTING**
- PM1A-Carpark edge mix (sun)
  - PM1B-Car park edge mix (shade)
  - PM2A-Grass mix (ornamental)
  - PM2B-Grass mix (screening)
  - PM3A-Feature shrub mix (sun)
  - PM3B-Feature shrub mix (shade)
  - PM4A-Groundcover mix (A)
  - PM4B-Groundcover mix (B)
  - PM6A-Low hedge
  - PM7A-Screen hedge
  - PM7B-Screen hedge (native)
  - PM10 - Native groundcover/Climber mix
  - PM13 - Native understorey planting mix
  - General Turf
- TREES**
- Corymbia maculata
  - Cupaniopsis anacardioides
  - Elaeocarpus reticulatus
  - Elaeocarpus eumundi
  - Eucalyptus crebra
  - eucalyptus moluccana
  - Eucalyptus tereticornis
  - Lagerstroemia indica x fauriei 'hathez'
  - Melaleuca linariifolia
  - Pyrus calleryana 'Capital'
  - Syzygium australe 'Pinnacle'



**NOT FOR CONSTRUCTION**

DRAWING NUMBER <b>L.S.K.107</b>		DRAWING NAME <b>Planting Plan 04</b>		REVISION <b>C</b>	PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> <b>ARCADIS</b> <b>Civil Engineer</b>		DRAWINGS BY <b>SCAPE DESIGN</b> LANDSCAPE ARCHITECTURE	
PROJECT NUMBER <b>SD 23228</b>	DRAWING DATE <b>22/01/2025</b>	SCALE <b>1:500</b>	SCALE BAR 0 5 10 15 20 25 M	STATUS NP	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	DRAWN BY <b>AW</b>	CHECKED BY <b>CH</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au

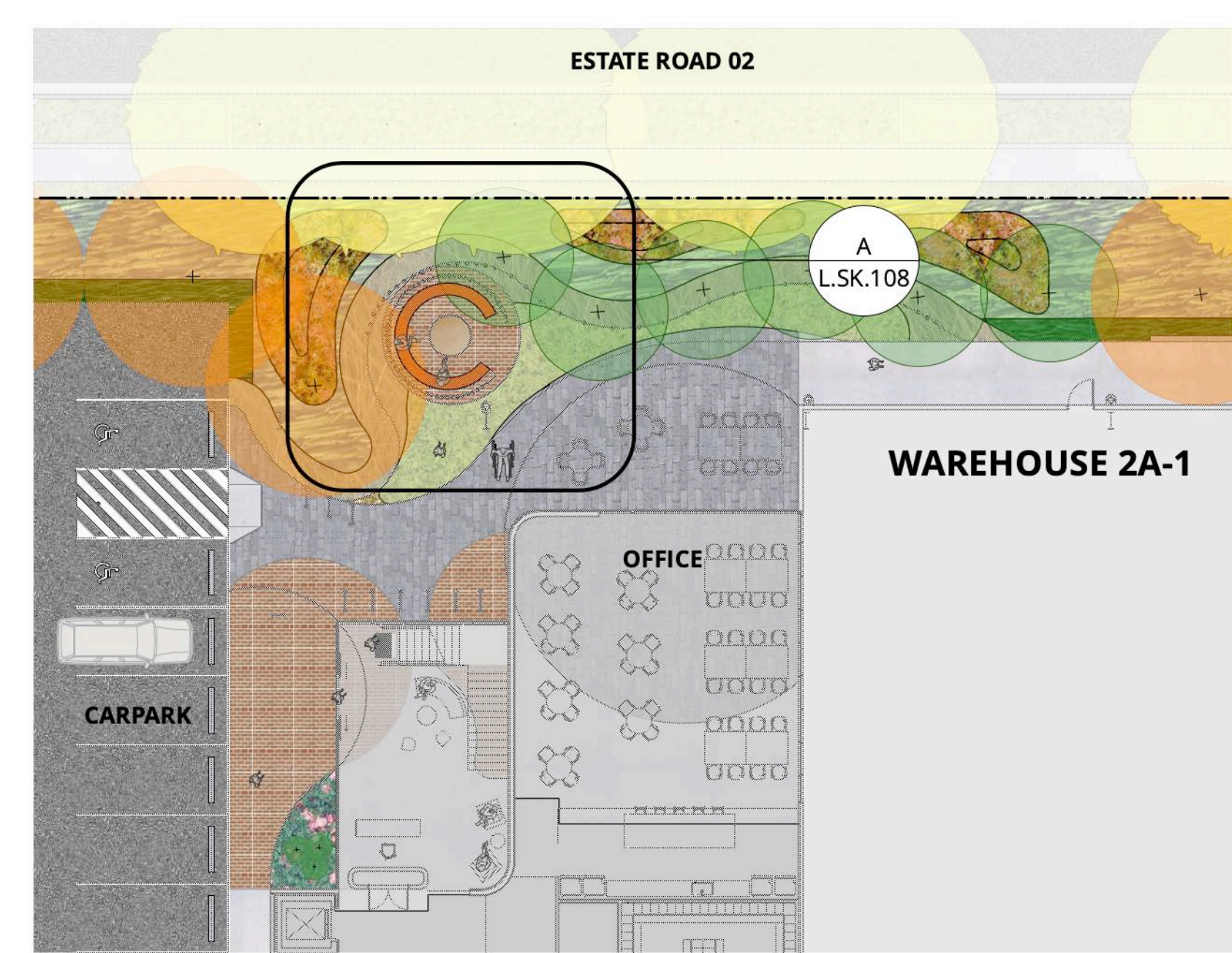
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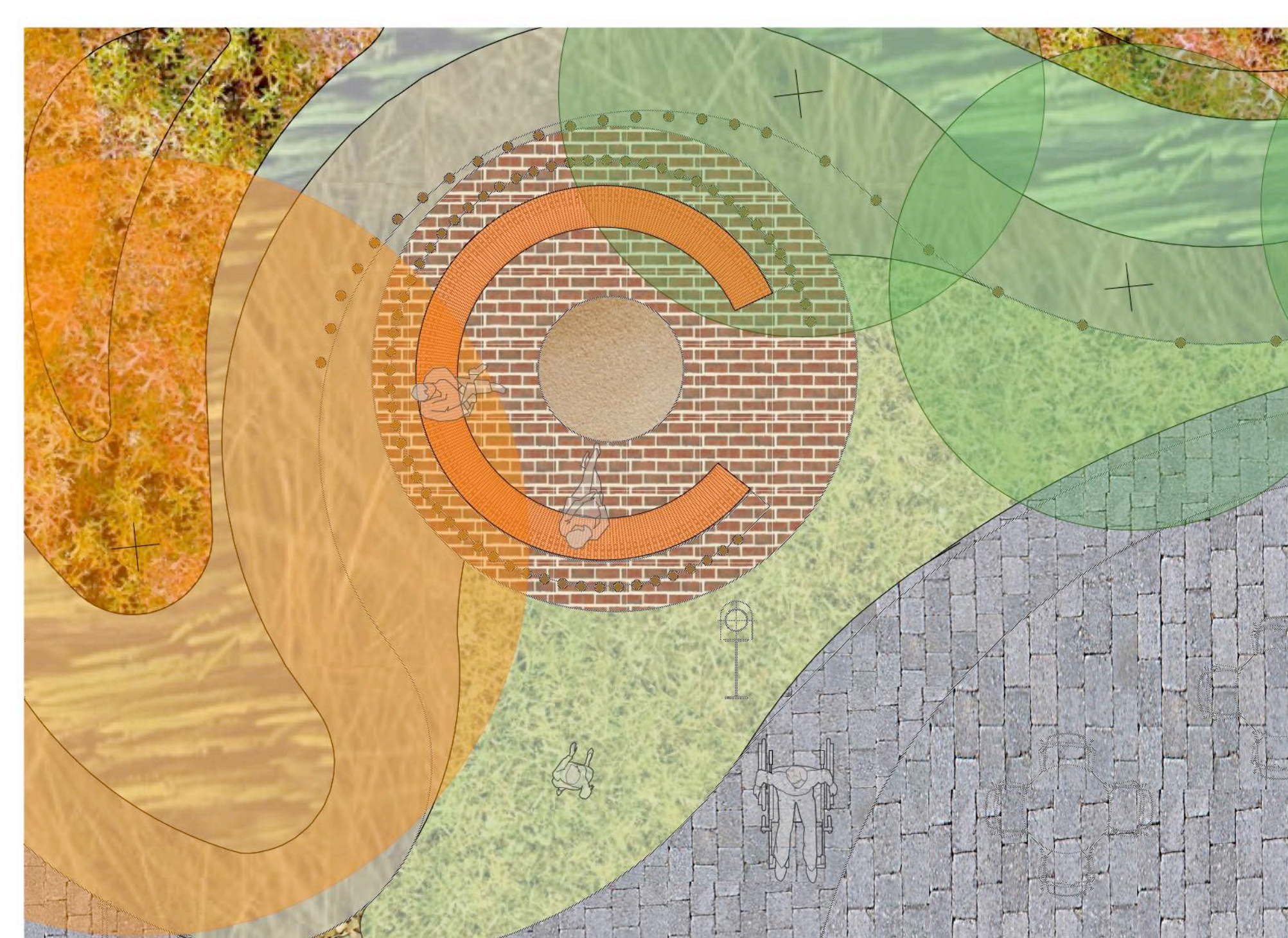
01 BREAKOUT SPACE: 2A-2 WAREHOUSE  
Inset Plan - Scale: 1:200@A1



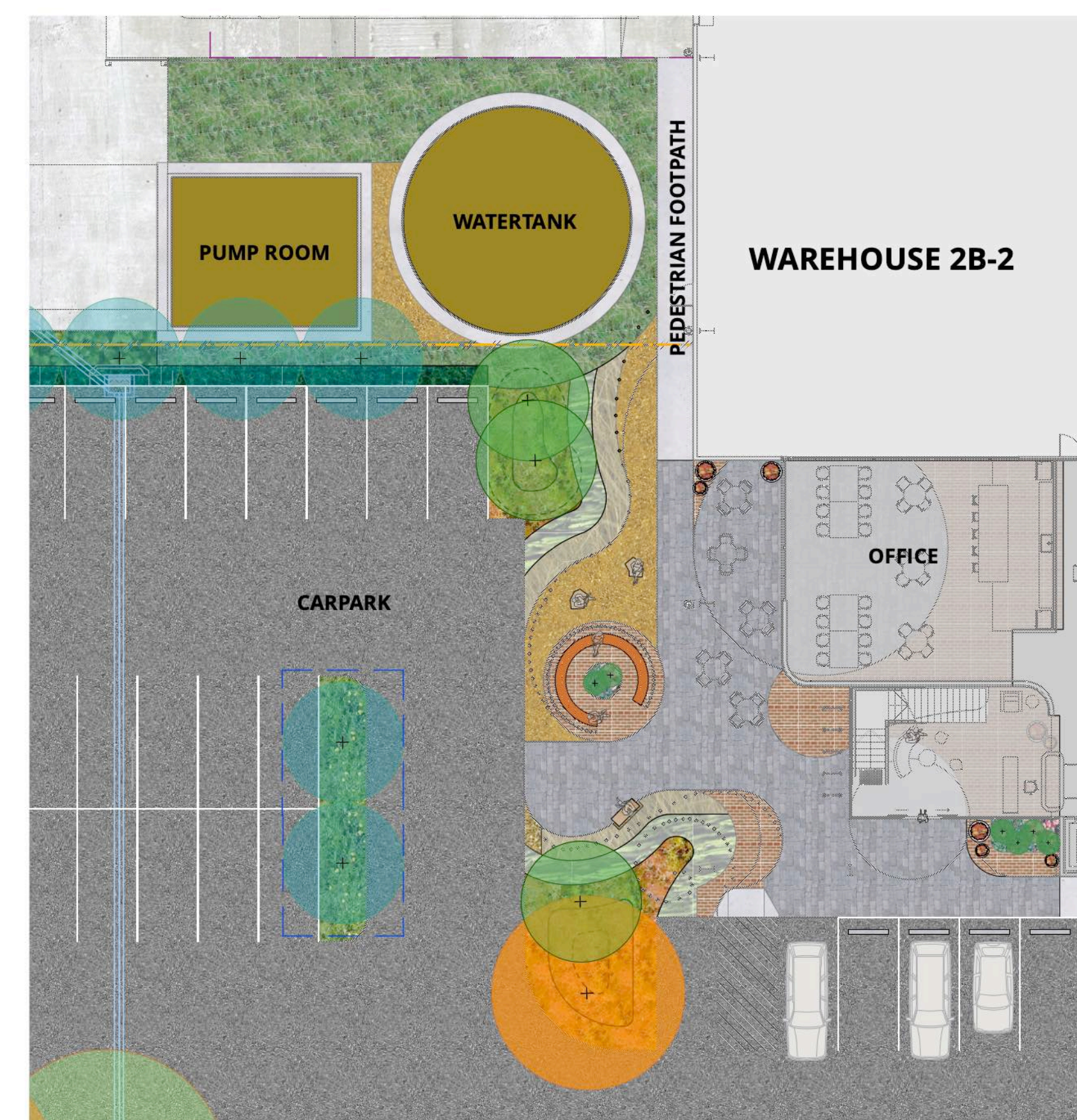
02 BREAKOUT SPACE: 2B-1 WAREHOUSE  
Inset Plan - Scale: 1:200@A1



03 BREAKOUT SPACE: 2A-1 WAREHOUSE  
Inset Plan - Scale: 1:200@A1



A BREAKOUT SPACE: 2A-1 WAREHOUSE  
Inset Plan - Scale: 1:50@A1



04 BREAKOUT SPACE: 2B-2 WAREHOUSE  
Inset Plan - Scale: 1:200@A1

Legend - Landscape Detail Plan

BOUNDARIES	LEVELS AND CONTOURS	PAVEMENTS	FURNITURE AND FITTINGS
<ul style="list-style-type: none"> <li>Site boundary</li> <li>Lot boundary</li> <li>Structure below</li> <li>Structure above</li> </ul>	<ul style="list-style-type: none"> <li>Contour Proposed</li> </ul>	<ul style="list-style-type: none"> <li>Concrete - pedestrian footpaths</li> <li>Concrete - hardstand</li> <li>Driveway / carpark</li> <li>Stone tiles</li> <li>Decomposed granite</li> <li>Ballast sandstone mulch</li> <li>Ballast mulch</li> <li>Brick tiled pavers</li> <li>Re-inforced turf</li> </ul>	<ul style="list-style-type: none"> <li>Sandstone seating</li> <li>Timber bollards</li> <li>Tree pit</li> <li>Proposed pot plants</li> </ul>
GENERAL	RAILS AND FENCING	RAILS AND FENCING	RAILS AND FENCING
<ul style="list-style-type: none"> <li>Building</li> <li>Office</li> <li>Services</li> </ul>	<ul style="list-style-type: none"> <li>Fencing - general</li> </ul>	<ul style="list-style-type: none"> <li>Retaining insitu wall</li> <li>Noise wall</li> </ul>	<ul style="list-style-type: none"> <li>Fencing - general</li> <li>Retaining wall strap-back zone</li> </ul>

PLANTING	PLANTING	TREES	TREES
<ul style="list-style-type: none"> <li>TF1-General Turf</li> <li>PM1A-Carpark edge mix (sun)</li> <li>PM1B-Car park edge mix (shade)</li> <li>PM2A-Grass mix (ornamental)</li> <li>PM2B-Grass mix (screening)</li> <li>PM3A-Feature shrub mix (sun)</li> <li>PM3B-Feature shrub mix (shade)</li> <li>PM4A-Groundcover mix (A)</li> <li>PM4B-Groundcover mix (B)</li> </ul>	<ul style="list-style-type: none"> <li>PM6A-Low hedge</li> <li>PM7A-Screen hedge</li> <li>PM7B-Screen hedge (native)</li> <li>PM10-Native groundcover/Climber mix</li> <li>PM13-Native understorey planting mix</li> </ul>	<ul style="list-style-type: none"> <li>Narrow width screening tree</li> <li>Proposed native small tree</li> <li>Proposed exotic small tree</li> <li>Proposed carpark tree</li> </ul>	<ul style="list-style-type: none"> <li>Proposed medium tree</li> <li>Proposed large tree</li> </ul>

NOTES
<ol style="list-style-type: none"> <li>Should any plant species not be available at the time of plant ordering, it should be brought to the landscape architects attention immediately.</li> <li>Supplementary species should be recommended by contractor for approval by landscape architect.</li> <li>Communal areas and walkways are to be designed and constructed in accordance with AS1428 and NCC requirements.</li> <li>Pool fencing and gates are to be designed and constructed in accordance with AS1926.</li> <li>All planting and turf areas are to be irrigated.</li> <li>All planting areas are to be mulched as specified.</li> <li>Tree species are to be sourced in accordance with AS2303 and to the minimum pot sizes shown.</li> <li>Feature pots are to include reservoir for drainage to prevent leaking on pavement areas.</li> </ol>

DRAWING NUMBER  
**L.SK.108**

DRAWING NAME  
**Landscape Detail Plans**

REVISION  
**C**

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2  
Horsley Park, NSW**

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

DRAWN BY  
**AW**

CHECKED BY  
**CH**

CONSULTANTS  
**Architect sba**  
**Civil Engineer ARCADIS**

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+61 2 9929 9988  
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+61 2 9439 1777

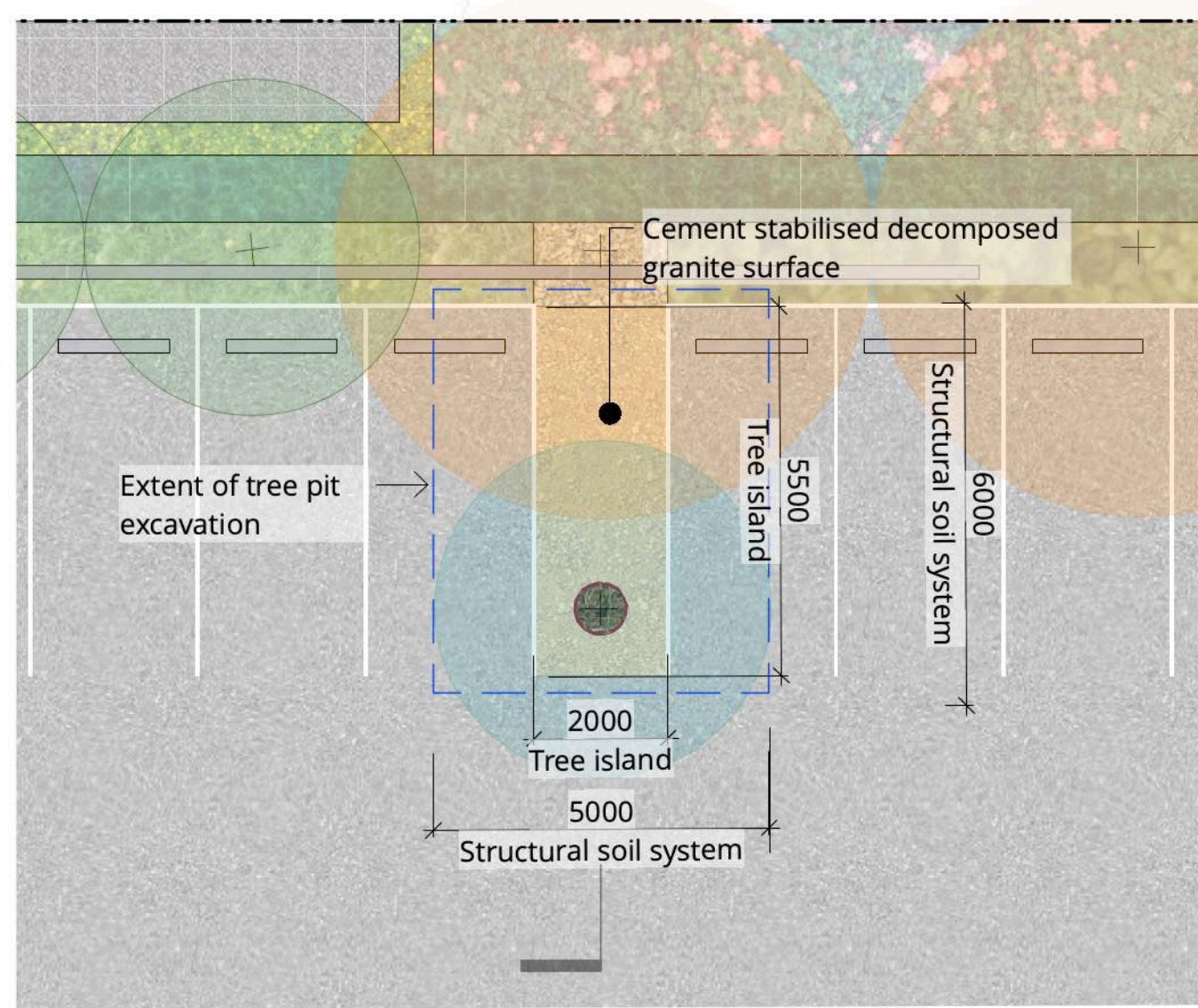
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02



01 TYPICAL CARPARK DETAIL SECTION  
Inset plan - Scale: 1:100@A1

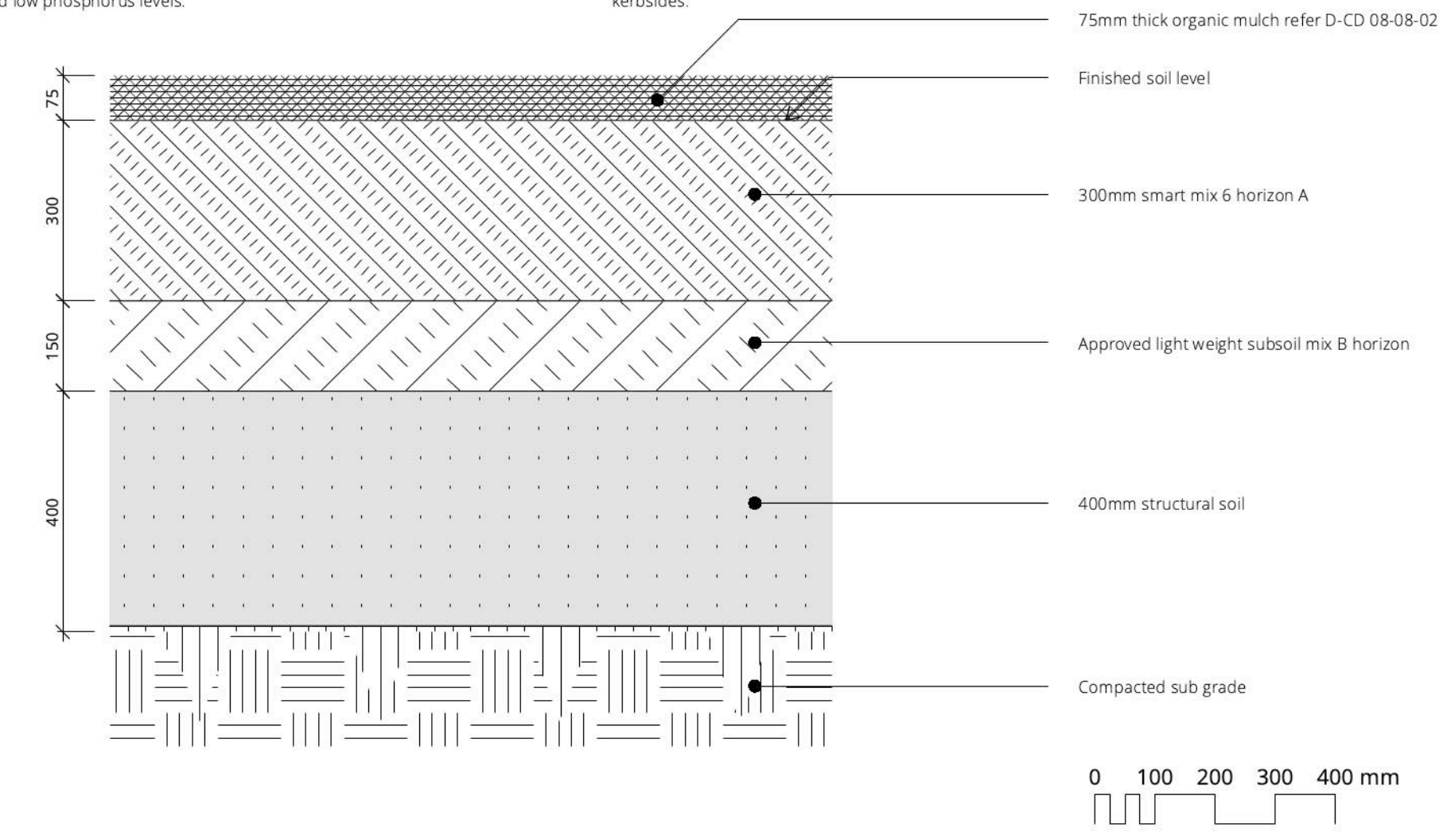


**Benedict Smart Mix 6 NATIVE GARDEN MIX (horizon A)**  
Benedict Organic Native Planting Mix (SmartMix 6) is a premium grade native garden mix offering excellent drainage, acidic pH and low phosphorus levels.

**Benedict Smart Mix 7 NATIVE GARDEN SUBSOIL (horizon B)**  
A premium grade Native Garden Sub-soil Mix specially designed for use in the B Horizon for native planting applications.

**Benedict Smart Mix 3 40mm STRUCTURAL SOIL**  
Used as a horticultural, compactable sub-base for new and existing tree planting in pavements, courtyards, car parks and kerbsides.

**Notes:**  
1. Supplier: Benedict Ph: (02) 9986 3500  
<https://www.benedict.com.au/products/gardening/growing-media/planter-box-mix/horizon-planter-box-mix/>  
2. Refer specification for selections

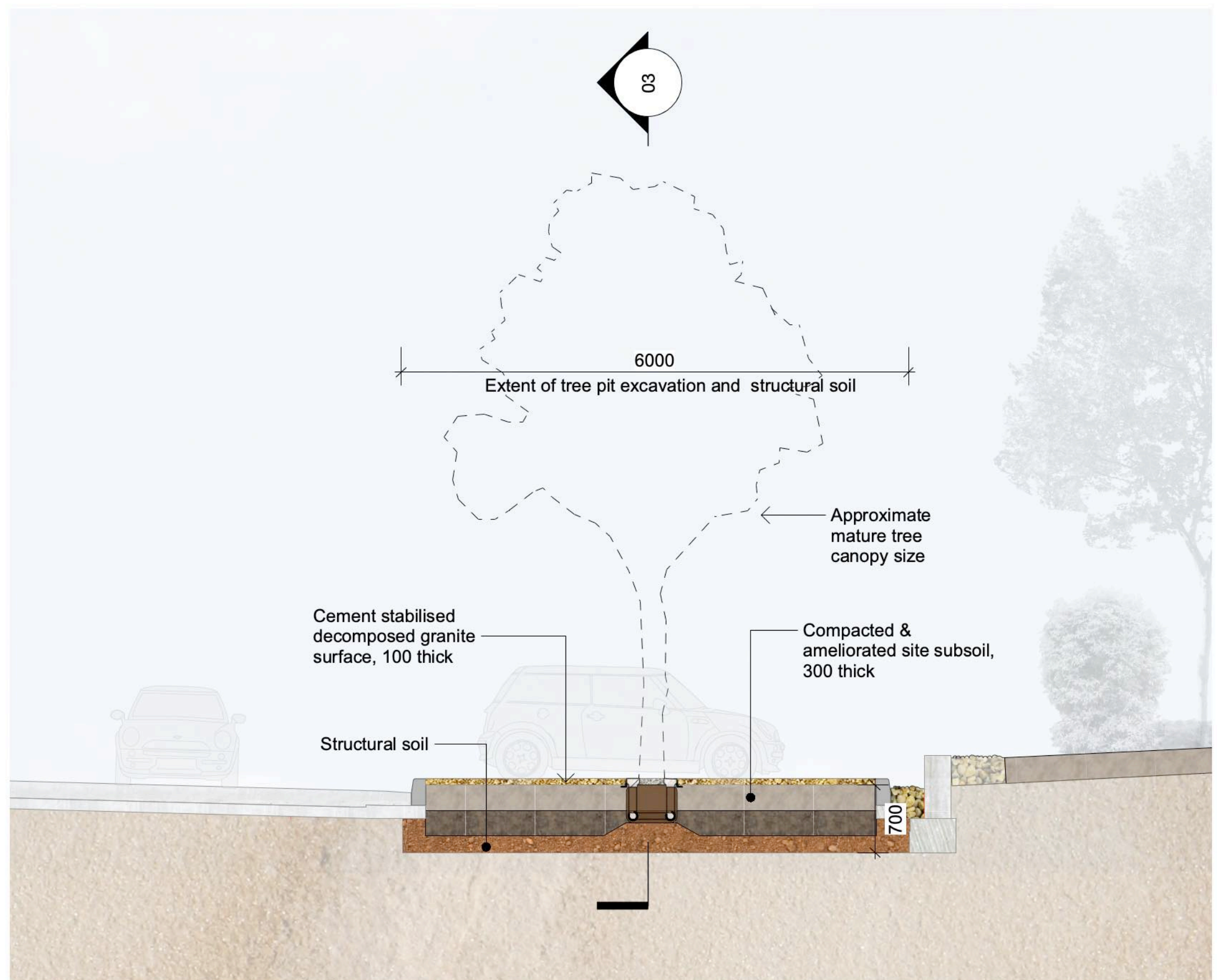
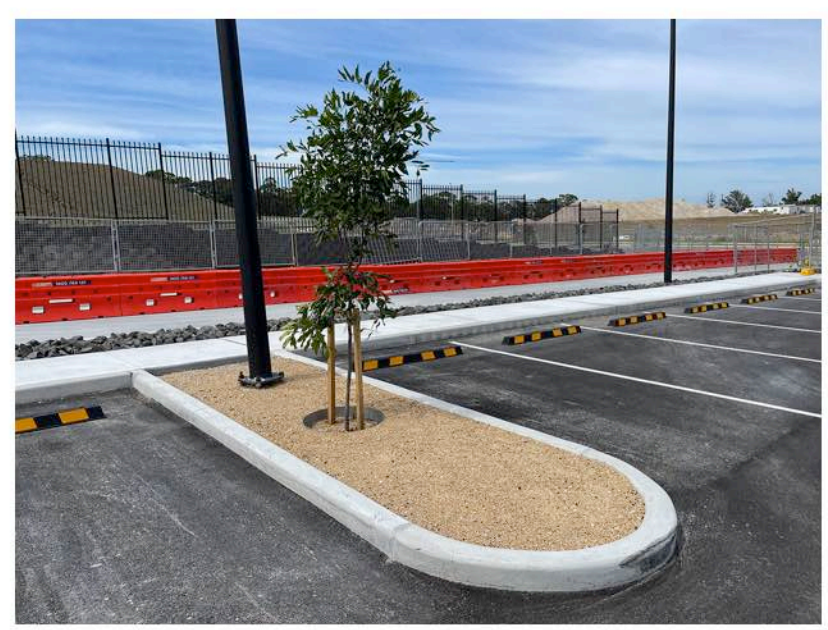


**Car park tree pit soil volume notes**

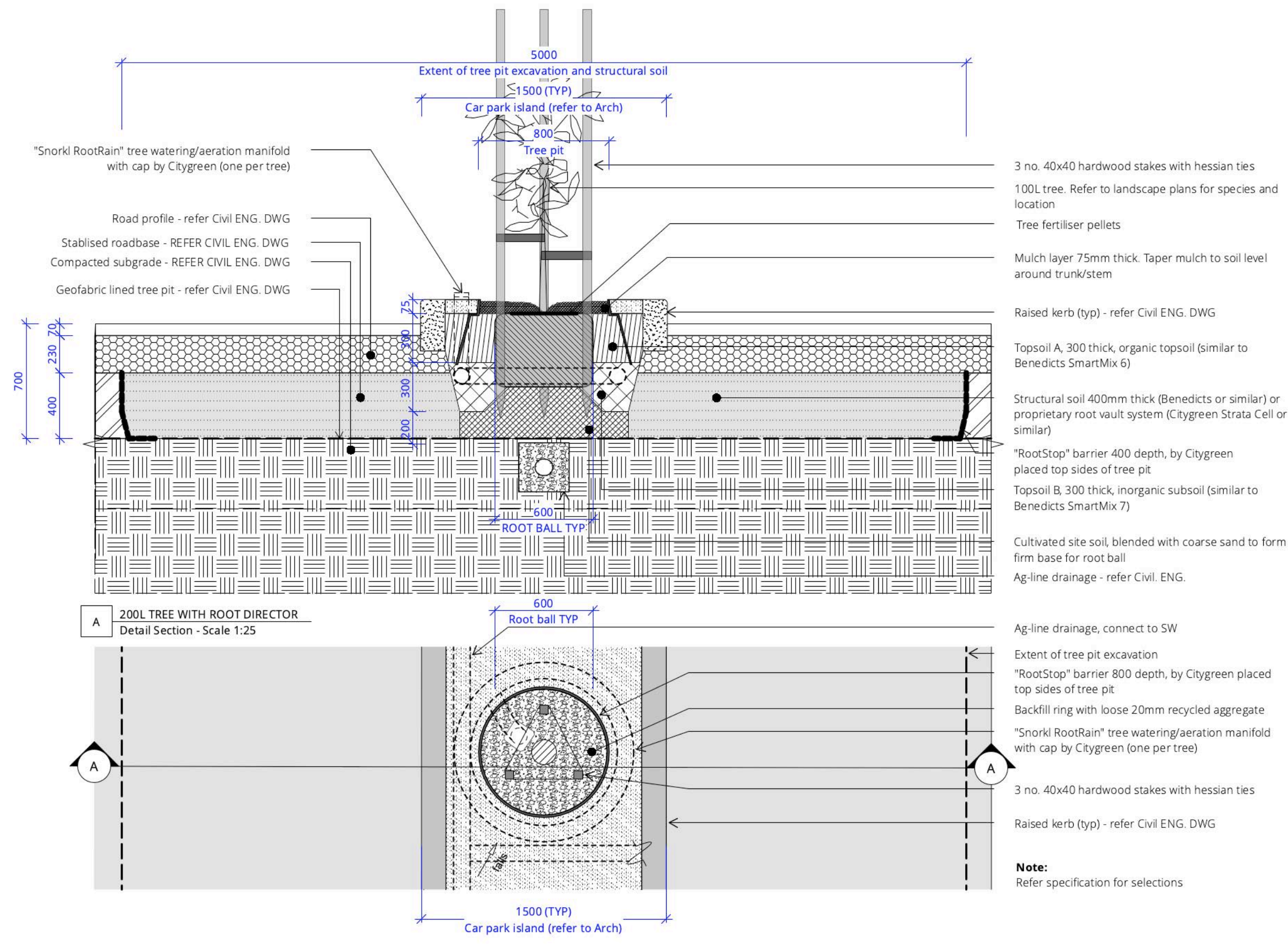
Car park islands 2000 wide tree pit excavation 3000 wide x 6000 long x 700 deep, equates to tree soil volume of 12.6 m<sup>3</sup> (excluding 100mm top surface depth).

Tree soil includes the following layers (from top to bottom):

- Horizon a topsoil, 300mm thk
- Horizon b subsoil (site won & ameliorated), 300mm thk
- Structural soil, 500mm thk
- Total depth 1100mm.



02 TYPICAL CARPARK DETAIL SECTION  
Section - Scale: 1:500@A1



**Notes:**  
1. Supplier (Root Director): City Green. Ph: +61 1300 066 949  
<https://citygreen.com/products/rootdirector-c-series/>  
Supplier (Decomposed Granite "Pink"): ANL  
Ph: 02 9450 1444  
<https://laniscape.com.au/landscaping/gravels-and-pebbles-for-pathways-and-driveways/deco-granite-pink-gravel/>  
2. Refer specification for selections

DRAWING NUMBER  
**L.SK.109**

PROJECT NUMBER  
SD 23228

DRAWING NAME  
**Carpark Details**

DRAWING DATE  
22/01/2025

REVISION  
**C**

STATUS  
NP

PROJECT NAME AND ADDRESS  
**Oakdale East Estate - Precinct 2  
Horsley Park, NSW**

CLIENT NAME  
**Goodman Property Services (AUST) PTY LTD**

DRAWN BY  
**AW**

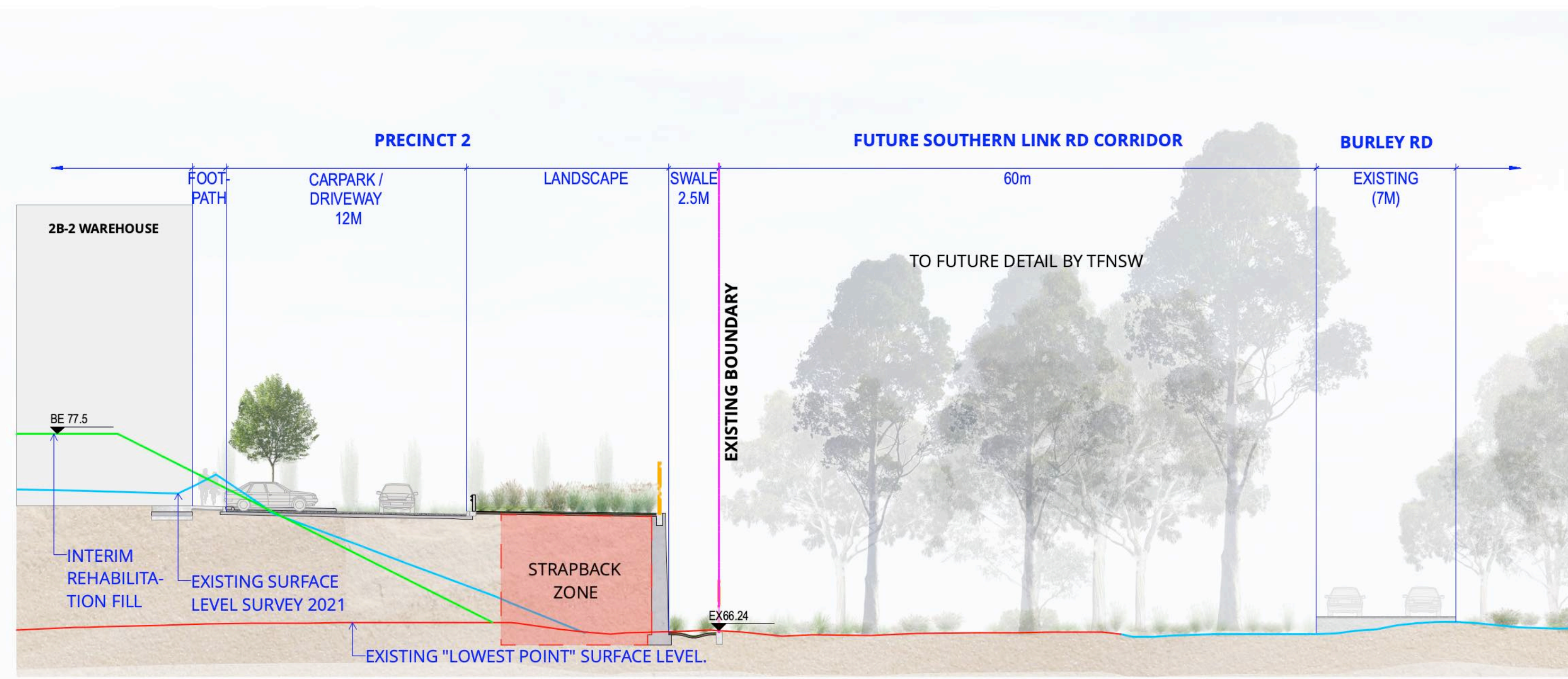
CONSULTANTS  
**sba** Architect  
**ARCADIS** Civil Engineer

SBA Architects  
+61 2 9929 9988  
702/83 Mount St, North Sydney, NSW 2060

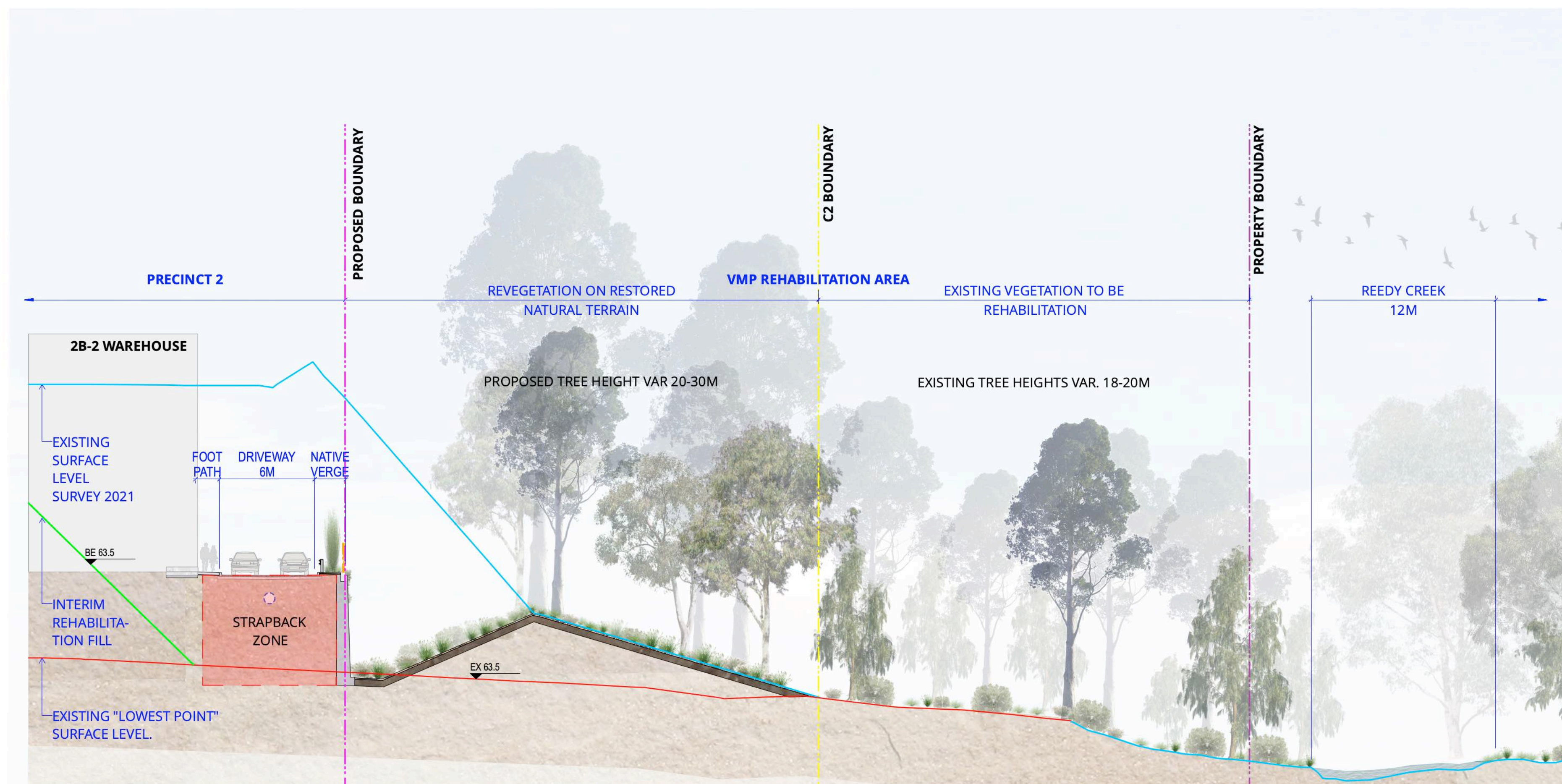
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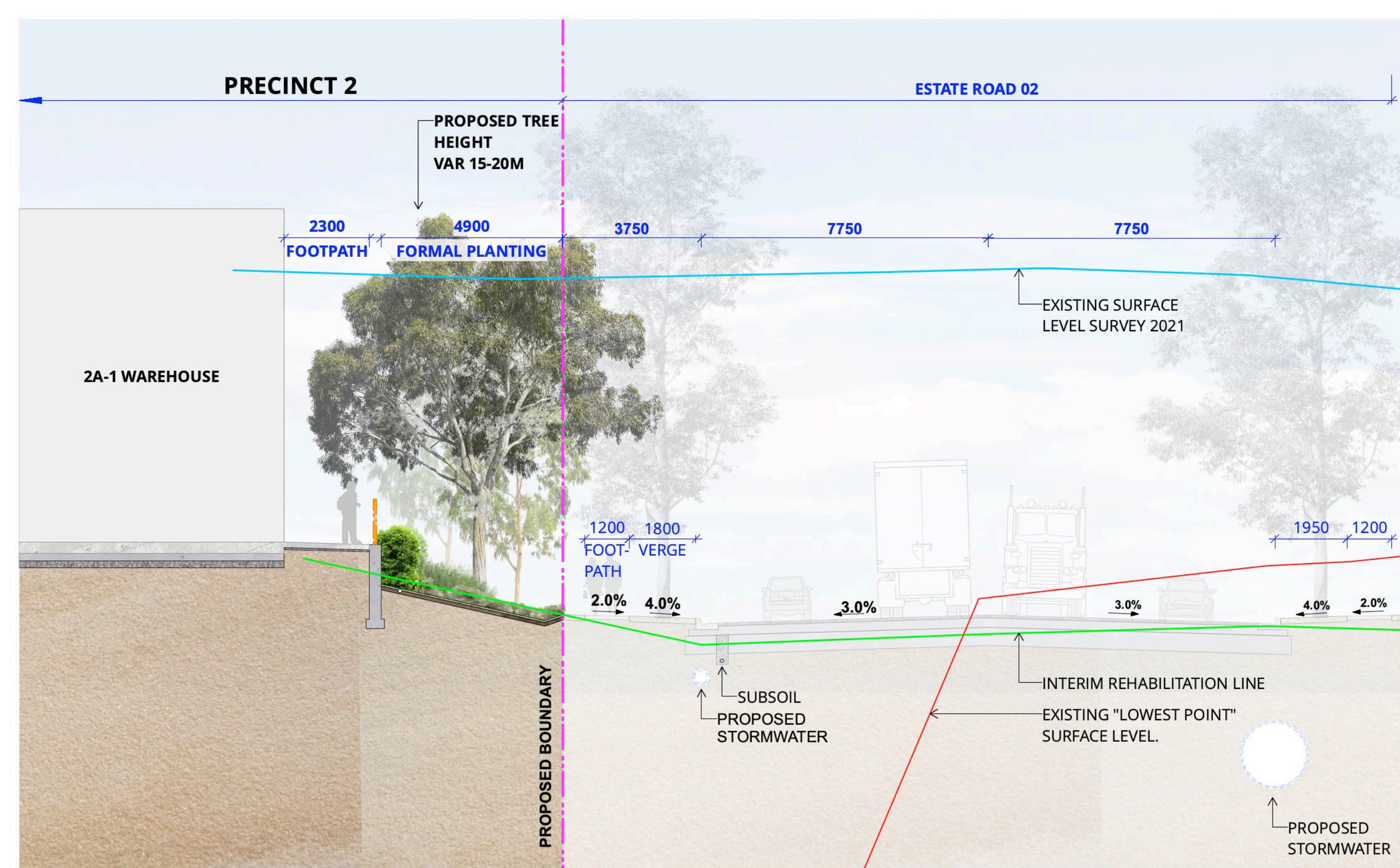
01 Section  
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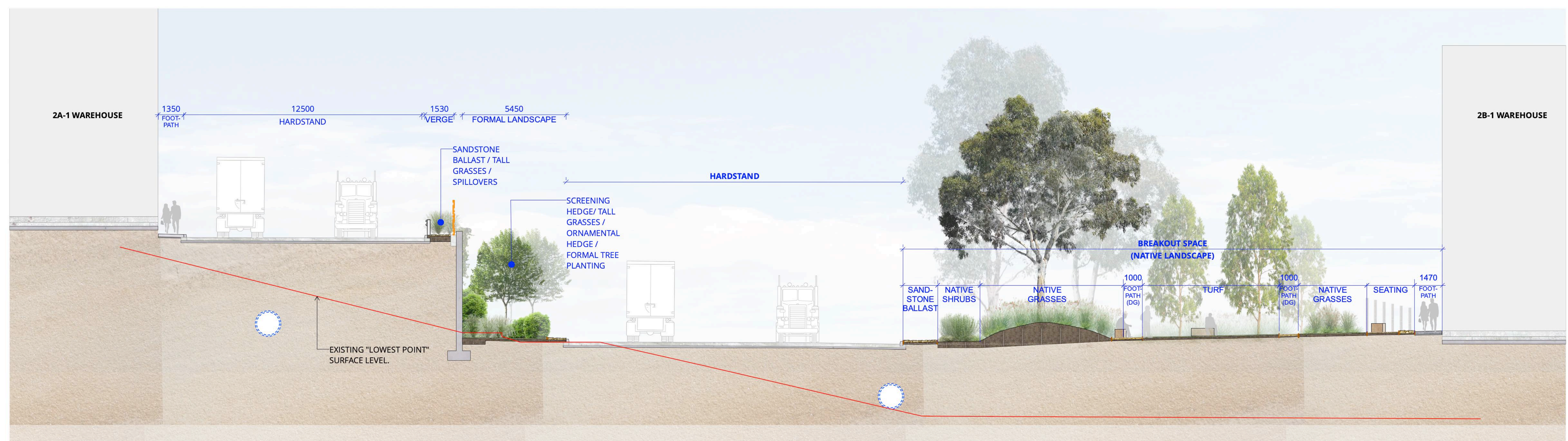
02 SECTION  
Inset Plan - Scale: 1:200@A1

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PROJECT NUMBER SD 23228	DRAWING DATE 22/01/2025	SCALE 1:200	SCALE BAR 0 2 4 6 8 10 M	STATUS NP	CLIENT NAME Goodman Property Services (AUST) PTY LTD	DRAWN BY AW	CHECKED BY CH	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060	+61 2 9439 1777	Suite 5 / 15 The Corso Manly NSW 2095 www.sapedesign.com.au	Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright Scape Design Pty. Ltd. ABN 79 568 162 276



03 Section  
Inset Plan - Scale: 1:100@A1



04 Section  
Inset Plan - Scale: 1:100@A1

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DRAWING NUMBER <b>L.SK.201</b>		DRAWING NAME <b>Landscape Sections</b>		REVISION <b>C</b>		PROJECT NAME AND ADDRESS <b>Oakdale East Estate - Precinct 2 Horsley Park, NSW</b>		CONSULTANTS <b>SBA Architects</b> +61 2 9929 9988 <b>ARCADIS</b> +61 2 9439 1777		DRAWINGS BY <b>scapedesign</b> LANDSCAPE ARCHITECTURE Suite 5 / 15 The Corso Manly NSW 2095 www.scapedesign.com.au	
PROJECT NUMBER SD 23228	DRAWING DATE 22/01/2025	SCALE	SCALE BAR	STATUS	NP	CLIENT NAME <b>Goodman Property Services (AUST) PTY LTD</b>	DRAWN BY <b>AW</b>	SBA Architects +61 2 9929 9988 702/83 Mount St, North Sydney, NSW 2060		Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. © copyright Scape Design Pty. Ltd. ABN 79 558 162 276	