

WBAP Heritage Impact Statement

PART 4

7.2.1 Pier 2/3 Policies

Policy	Compliance Complies Capable of Complying Does Not Comply	Comment
<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000		
9.2.2 Views and Vistas		
Policy 9.2.2.1 The visual dominance of the site should be conserved.	Complies	No change expected. TZG comment: The visual dominance of the site is conserved and enhanced by the proposed works.
Policy 9.2.2.2 The existing significant views and vistas to and from the site should be conserved.	Complies	No change expected to views and vistas TO the site. Improvement to views and vistas FROM the site are part of the proposal. TZG comment: Significant views and vistas to the site are conserved as demonstrated by the Visual Impact Assessment that accompanies the proposal.
9.2.3 Context		
Policy 9.2.3.1 The existing industrial maritime streetscape character formed in association with the surrounding structures, water areas between the piers and local steep topography should be conserved.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The existing industrial maritime character is conserved. New elements have been designed to respect this highly significant context.
Policy 9.2.3.2 The open water areas around the pier should be conserved.	Complies	The introduction of the new public domain reduces the open area of water by providing an expanded apron for pedestrians. However the new form has open grid mesh and cargo style netting which allows the water to be seen and its extent clearly understood. Refer to the Public Domain drawings and details. TZG comment: The open areas around the pier are generally conserved, however, a new waterfront square is proposed adjacent the Shore Sheds.

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		This will minorly reduce the open areas around the pier at the land end. The waterfront square is required to provide an outdoor venue for events and is required to activate the Walsh Bay Arts Precinct. The impact of the new waterfront square is reduced by distinguishing the new ground plane from the wharf aprons through the choice of materials and colour. This ensures that there is a clear distinction between old and new fabric and that the infill is reversible. Mesh separates the original wharf aprons from the new waterfront square, reminiscent of the cargo nets once used here.
Policy 9.2.3.3 The historical associations of the site with Bridge 2/3, Pottinger Street, Hickson Road and Port Jackson should be conserved.	Complies	No change expected. TZG comment: Historical associations are conserved.
Policy 9.2.3.4 The two-level circulation & access-ways connecting the site to the steep topography is a feature of the Sydney Harbour Trust development & should be conserved.	Complies	No change expected. TZG comment: The proposal has no impact on the two level circulation and access ways connecting the site, which are outside of the site boundary.
Policy 9.2.3.5 The former associations of the site with the Sydney Harbour Trust, and Maritime Services Board operations, with wharf owners and labourers and generally with the local community should be interpreted.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Associations with the Sydney Harbour Trust, Maritime Services Board, wharf owners, labourers and the local community are interpreted on site.
9.2.4 Interpretation		
Policy 9.2.4.1 Informative and interpretative displays should be considered on the grounds to assist public understanding of the history, development and	Complies	There are Informative and interpretative displays already present <i>in situ</i>. They will be kept or improved.

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significance of the subject site and Walsh Bay Precinct. These interpretative techniques are to be well managed in a cohesive manner and to be integrated into the entire Walsh Bay Precinct Interpretation Plan.		
9.2.5 New Interventions		
Policy 9.2.5.1 New interventions should be carried out in a sympathetic manner to the existing size, layout, construction technique, materials and detailing.	Complies	This has been addressed in the documents and design proposal by the Consultant Team.
Policy 9.2.5.2 New interventions if required should be organised to minimise any removal or concealment of significant fabric. Interventions should be generally reversible and clearly interpreted by means of introduced interpretative devices or by method of style of construction, as new work. There should be a clear division between new and existing.	Capable of Complying	The removal of the existing fabric is minimal and new interventions are clearly distinguished as new entity, while maintaining the idea and respect for the industrial buildings. This is a design development application and Construction detailing will ensure that this is fully compliant.
9.3.1 Subject Building 9.3.1.1 Generally		
Policy 9.3.1.1 The strong sense of unity of the site as part of the wharf complex, including industrial maritime character, scale, general form, construction technology, roof envelope and treatment of facades should be conserved.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The Walsh Bay Arts Precinct project aims to unify Pier 2/3, Wharf 4/5 and the associated Shore Sheds with the remainder of Walsh Bay.
Policy 9.3.1.2 Significant open exterior spaces including apron, colonnade and open passage between sheds should be conserved.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The wharf apron, colonnade and open passages between the sheds are conserved by the proposal. A raised area is proposed adjacent the eastern façade beneath the colonnade to provide access to the

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000		building interior. This will be detailed in a reversible manner.
Policy 9.3.1.3 Significant interior industrial large spaces and volumes should be conserved.	Complies	Where possible double store large rooms maintain the original open volume. The ground floor of Pier 2/3 is kept in raw state and unobstructed as well as large foyers and commercial areas in both levels. Other rooms like offices and services need to be concealed and fragmented in smaller volumes. TZG comment: The proposal involves adaptive reuse of Pier 2/3 as a new home for three major performing arts companies: Bell Shakespeare, Australian Theatre for Young People and the Australian Chamber Orchestra. A large 'raw' foyer that connects the all levels of the building is proposed at the centre of the pier. A large space at the northern end of the pier is to be retained as a 'raw' event space on the ground floor, whilst in the upper shed a smaller 'raw' event space is proposed at the northern end. These spaces retain the full volume of the original industrial shed.
Policy 9.3.1.4 Significant and/or recorded. These include but are not limited to the following: - timber Shoreshed customs office and associated items ie. awning, painted signage at the entrance doors ('H.M. Customs'), etc - timber slatted partition wall and associated timber slatted sliding doors, hardware, etc - timber stair and associated slatted timber stairwell, timber kerbing, protective fence and metal balustrade, - timber gatekeepers office at the entrance of the shoreshed,	Complies	TZG comment: - The timber Shoreshed Customs Office is not part of the subject site. - The timber slatted partition wall and associated sliding doors and hardware located on the ground floor at the northern end of the pier are retained insitu. - The timber stair and associated wall, kerbing, fence and balustrades are non compliant. These are proposed to be retained insitu, capped off at Level 1 and interpreted in the floor of the foyer. The timber gatekeepers office at the entrance of the shoreshed and adjacent early timber offices are not part of the subject site.

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including associated painted 'Gatekeeper and Storeman' signage, timber rack, windows, timber kerbing around office, etc other adjacent early timber offices (first floor) including associated signage, timber kerbing, etc		
Policy 9.3.1.5 Existing special items and design features should be considered as design models and used as a direction for new intervention.	Complies	This has been addressed in the documents and design proposal by the Consultant Team.
9.3.2 Substructure and Ground Floor Deck Apron		
Policy 9.3.2.1 The existing open piling layout should be conserved for the outer two rows, and where possible for the inner rows.	Complies	Only reinforcement is expected. TZG comment: The open piling layout is generally conserved. Lift pits are set behind the second row of piles to minimise their visual impact. Reinforcement will be required in several locations beyond this, however, will be minimised.
Policy 9.3.2.2 The two-level deck detail and truck loading ramp on the north end apron should be conserved.	Complies	No change expected. TZG comment: The two level deck detail and truck loading ramp at the north end of the apron are conserved.
Policy 9.3.2.3 The curved timber shipping fender detail to the north end corners of the pier (round corner detail) should be conserved.	Complies	No change expected. TZG comment: The round corner detail to the north end corners of the pier are retained unchanged.
Policy 9.3.2.4 Significant fabric should be retained in-situ and conserved. This includes but is not limited to the following: Turpentine piles and raking piles,	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Significant fabric is generally retained insitu including: Turpentine piles

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000 • headstocks and girders, • fenders and walings, including timber shipping fenders fixed to the north end corners of the pier (round corner detail), • timber kerbing to the edge of the apron, • cast steel mooring bollards bolted to the apron edge, • timber ladders from water, • associated early ironmongery ie. iron spikes and straps and fixings for service lines below deck, etc • associated early signage ie. marker plates fixed to the apron kerb indicating pier lengths, etc • timber internal deck including floor boards and planks, flooring layout, floor hatches for access to substructure, etc		• Headstocks and girders • Fenders and walings including shipping fenders • Timber kerbing to the edge of the apron • Cast steel mooring bollards • Timber ladders from the water • Associated early ironmongery • Associated early signage Timber internal deck including floor boards and planks, flooring layout, floor hatches for access to substructure. On the ground floor wet areas will need to be raised above the existing floor. This will be installed in a reversible manner. The bitumen will be removed from the upper shed floor to reveal the original timber in the foyer and northern function room. Other areas require a new floor build up over the timber, installed in a reversible manner, to achieve acoustic and fire separation between the upper and lower shed.
Policy 9.3.2.5 Any intrusive recent alterations or additions should be removed and replaced with sympathetic materials.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. All the recent alterations additions are removed.
Policy 9.3.2.6 Any required strengthening, repair or replacement will be subject to the structural engineers' requirements after further investigation and analysis and should be carried out in a sympathetic manner to the existing size, layout, construction technique, materials and detailing.	Complies	This has been addressed in the documents and design proposal by the Consultant Team TZG comment: The existing structure requires strengthening in some areas. This will be carried out in a sympathetic manner. The upper shed has limited head height of 4800mm beneath the trusses

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000		requiring the removal of braces and gutters located below this level to insert two new levels.
Policy 9.3.2.7 Any repair or replacement of external (visible) piles (ie. two outer pile rows minimum), should be carried out in matching materials timber, and in a sympathetic manner to the existing size, layout; construction technique and detailing.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Any repair or replacement of external piles will be carried out using matching materials, size, layout, construction technique and detailing.
Policy 9.3.2.8 Any required new structure should be organised to minimise any removal or concealment of significant fabric and any impact on the existing open layout and vistas through the piling grid. New structure should be organised adjacent to the existing structure, be reversible and as independent as possible. New interventions should be clearly identified as such.	Capable of Complying	This has been addressed in the documents and design proposal by the Consultant Team. New walls' structure is detached to the existing walls and it is clearly identifiable such new intervention. TZG comment: A marine archaeology report prepared by Cosmos Archaeology accompanies the proposal.
Policy 9.3.2.9 Any new substructure should be planned and carried out with regard to the maritime archaeology.	Complies	This has been addressed in the documents and design proposal by the Consultant Team.
9.3.3 Superstructure		
Policy 9.3.3.1 The existing storey posts layout should be conserved.	Capable of Complying	The existing posts layout at ground level is entirely conserved. At the first level 6 posts in 2 different locations are removed. TZG comment: All storey posts are conserved in the lower shed whilst in the upper shed 5 storey posts are proposed to be removed. This is required for the ATYP Theatre (2 posts), the ACO Auditorium (2 posts) and the ACO Rehearsal Space (1 post). The posts will be salvaged and stored for future

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		re-use.
Policy 9.3.3.2 Significant fabric should be retained in-situ and conserved. This includes but is not limited to the following: • hardwood storey posts and associated items including angle iron fenders, signage, etc • riveted steel strong backs (primary), and steel bar strongbacks with turnbuckles (secondary), • triangular riveted steel web plates connecting the storey posts to the beams (colonnade), • triangular riveted steel web plates with central hole connecting the perimeter storey posts to the beams, • heavy timber framing (first floor) where the floor was raised to fill in the truck loading bay, • timber deck including girders, beams, floor boards, planks, and flooring layout, • timber truck ramps (east and west) built when the floor of the pier was raised, and associated timber kerbing, metal rails, etc • timber roof trusses, • associated early ironmongery, • associated early signage ie. painted bay identification to storey posts and roof trussers, etc	Complies	This has been addressed in the documents and design proposal by the Consultant Team. Existing brace beams under central gutter and diagonal truss braces are removed for height issues. TZG comment: Significant superstructure fabric is generally retained insitu. Exceptions are the existing brace beams under the central gutter and diagonal braces, which are required to be removed to achieve head height. Lifts and stairs will require the localised removal of superstructure. All removed original elements will be salvaged and stored for future use.
Policy 9.3.3.3 Significant associated items if detrimental to significant fabric by encouraging pest and rot should be investigated to take remedial action,	Complies	This has been addressed in the documents and design proposal by the Consultant Team.

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000 including maintenance and monitoring. This includes but is not limited to the following: angle iron fenders to storey posts, etc		
Policy 9.3.3.4 Any intrusive alterations or additions should be removed and replaced with sympathetic materials. These include but are not limited to the following: existing bitumen on top of timber floor and truck ramp should be removed and the timber floor should be exposed, etc	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The existing bitumen on top of the timber floor in the upper shed will be removed as part of the proposal. Temporary toilets will be removed from the lower shed.
Policy 9.3.3.5 Any required strengthening, repair or replacement will be subject to the structural engineers requirements after further investigation and analysis and should be carried out in a sympathetic manner to the existing size, layout, construction technique, materials and detailing.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Strengthening of trusses is required where posts are to be removed in the ACO Auditorium and ATYP theatre. Simple steel members are proposed to line either side of the existing timber trusses in these instances.
Policy 9.3.3.6 Any required new structure should be organised to minimise any removal or concealment of significant fabric. It should be organised adjacent to the existing structure, be reversible and as independent as possible. New interventions should be clearly identified as such.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. New walls' structure is detached to the existing walls and posts as independent envelope and it is clearly identifiable such new intervention. TZG comment: New structure will be clearly identifiable and located adjacent existing structure where exposed such as the required truss strengthening in the Auditoria. Structure associated with new mezzanines will be independent and reversible. A new lift and several stairs are required to provide access and egress to the upper shed. New balconies are proposed adjacent the stairs reminiscent of the travelling gantries that once moved along the apron. These elements

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9.3.4 External Fabric Facades		
Policy 9.3.4.1 The original modular design, textural pattern and treatment of facades should be conserved.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The original design of facades is restored removing the existing high level wall panels and restoring the raw of windows. TZG comment: The original modular design, textural pattern and chequerboard treatment of the facades is conserved. New windows and doors on the eastern facade, fitted into original door openings respect this original design, retain the original cargo doors as operable and are installed in a reversible manner. Upper level windows are proposed to replace the existing metal infill panels to the east, to match adjacent windows, based on historic photographs. To the north and west, new openings are proposed in line with those approved as part of the Stage 1 SSDA.
Policy 9.3.4.2 Significant fabric should be retained in-situ and conserved. This includes but is not limited to the following: - external walls protective frame, - timber jetty shed kerbing, - timber weatherboards, - heavy framed timber driveway gates (pier 2), - cargo doors, including cargo door protective frame, sliding doors, sheet metal sleeves fitted over door leaves to protect the edge, door	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Original significant fabric is retained by the proposal including: External walls Timber jetty shed kerbing Timber weatherboards The heavy timber framed driveway gates are not located on the subject site. Cargo doors and associated hardware The steel slatted pedestrian entrance roller door to Hickson Road is not

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000 - rollers, hardware ie. hasp, staple, lock, etc - steel slatted pedestrian entrance roller door to Hickson Road, - lifting bay door (door with fold down platform held in place with a chain on each end) and timber fender to the external wall below (first floor), - metal louvres, - timber framed multi-paned windows, - flag pole and balcony platform used for raising flags (north facade), - associated signage ie. painted pier numbers on the north facade ('2' and '3'), bay identification to external walls, 'Roof' sign to roof truss, etc		located on the subject site. The lifting bay door is not located on the subject site. Metal louvres Timber framed multi paned windows Flag pole and balcony platform used for raising flags to the north façade. Associated signage including painted pier numbers on the north façade, bay identification etc
Policy 9.3.4.3 Any intrusive alterations or additions should be removed and replaced with sympathetic materials. These include but are not limited to the following: - recent infill and openings to ground floor cargo doors (west), - metal cladding to original window openings, - later concrete kerbing to jetty shed, etc	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Recent infill and openings to the ground floor cargo doors on the west will be removed and replaced with new glazed panels. The metal cladding to the original high level window openings on the eastern elevation will be removed and replaced with windows similar to those in adjacent bays.
9.3.5 Roof		
Policy 9.3.5.1 The existing roof envelope should be conserved.	Complies	Two portions of the roof, in the existing roof valley, are penetrated to raise the ceiling level. TZG comment: The proposed use as theatres requires two roof 'pops' – one for the ACO Auditorium and office and another for the ATYP Theatre.
Policy 9.3.5.2 The existing roof lanterns, including windows and metal louvres should	Complies	No change expected. TZG comment: The existing roof lanterns including windows and metal

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be conserved.		louvres are conserved.
Policy 9.3.5.3	Complies	Existing early rainwater heads are conserved or replaced where necessary with matching detail.
Any existing early associated items, including rainwater heads, etc should be conserved or replaced where necessary with matching detail.		The existing internal gutter will be replaced with a new stormwater pipe that runs to downpipes located in their original locations.
9.3.6 Industrial Archaeology		
Policy 9.3.6.1 Significant associated industrial items and artefacts should be conserved. Major industrial items and artefacts as identified in the Walsh Bay Precinct Heritage Technology Conservation Management Plan, November 1999, by Tropman & Tropman Architects should be retained in-situ and conserved. These include the following. • Timber slatted Dead houses (Items 52 & 55), originally for storing bonded goods, including any associated items ie. sliding doors, hardware, timber shelves, etc, • Bag Chute (item 89 -53) with door opening to east wall onto the apron, • Gantry rail to first floor jetty shed -east- facade, mounted on large riveted brackets fixed to the outer storey posts, and the gantry rail set into the apron,	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The timber slatted deadhouse, bag chute and gantry rail are all proposed to be conserved in situ.

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<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000 Policy 9.3.6.2 There is an opportunity to reconstruct the travelling gantries (Item 54, now removed) originally used to move cargo along the apron, as part of the Pier 2/3 redevelopment.	Complies	TZG comment: New balconies on Level 1 interpret the former travelling gantries. These will be detailed in an industrial manner and reference the original gantries.
Policy 9.3.6.3 Suitable examples of smaller industrial items should be retained wherever possible.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Suitable examples of smaller industrial items will be retained wherever possible
Policy 9.3.6.4 Any significant industrial archaeology to be retained in-situ should be fully incorporated into the design proposal, influencing the layout of the adaptive use of the building and the design of the new fittings. See also 'New Uses'. The design of developments in the vicinity of machinery should also take into account the spatial requirements of the operation of the machinery, the possible need for the installation of additional safety features and the need for viewing access. The design should also retain an appropriate visual setting for these items.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Significant industrial archaeology will be retained in situ and incorporated into the design proposal.
9.5 New Uses		
Policy 9.5.1 Any redevelopment of the site should be for purposes compatible with the retention of the character and the interpretation of the heritage values of the site and precinct. Wharf 2/3 site allowable uses as per the Walsh Bay Precinct Conservation Management Plan, 1998 include the following. • Warehousing • Residential Flat Building • Serviced Apartments	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Adaptive reuse of Pier 2/3 for cultural uses - to provide a home for the Australian Theatre for Young People, Bell Shakespeare Company and Australian Chamber Orchestra as part of the Walsh Bay Arts Precinct – is considered appropriate.

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• Hotel • Commercial retail • Commercial offices • Cultural (Museum, Art Gallery, etc)		
Policy 9.5.2 Interpretation of the original use and industrial context should be clearly evident with the new use.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The proposal retains a large unlined 'raw' space on the ground floor that reveals the full volume and workings of the lower shed. The northern function room in the upper shed also reveals the full volume of the original space. Further the foyer allows one to travel between the lower and upper sheds to experience the relationship between the different spaces.
Policy 9.5.3 Any new redevelopment should acknowledge significant fabric and the spatial qualities of the existing structure.	Complies	Where possible double store large rooms maintain the original open volume. The ground floor of Pier 2/3 is kept in raw state and unobstructed as well as large foyers and commercial areas in both levels. TZG comment: As per 9.5.2. The design aims to retain the original fabric of the pier with minimal interventions into the external walls. A strategy of containing new uses within separate free standing 'boxes' has been employed to reduce the need to line the original external walls.
Policy 9.5.4 The specific location of new uses within the buildings should be organised to minimise any concealment, alteration or damage to significant fabric.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: As per 9.5.3
Policy 9.5.5 The specific location of new uses within the site should take advantage of the interpretative potential of the site and contents. Significant fabric is	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: As per 9.5.3

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to be conserved and revealed to public view.		
Policy 9.5.6 New uses should be compatible with the ongoing conservation of the significant fabric.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The new uses will ensure that the pier is maintained and conserved for future generations.
Policy 9.5.7 Interior partitioning if necessary should allow the maximum amount of significant fabric to be revealed to view and interpretation of the original volumes.	Complies	TZG comment: Refer 9.5.2.
Policy 9.5.8 Vehicular movements are appropriate on the apron and into the Wharf buildings to maintain a level of activity compatible with its port history.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: A Traffic Management Strategy accompanies the proposal. Larger vehicle movements are restricted to the eastern apron, turning at the northern end. (8.8m medium rigid vehicle max) The western apron is narrower and restricted to small vans.
Policy 9.5.9 New uses of the site and building should be compatible with the following: STRUCTURAL LOADING CAPACITY New uses should be compatible with the structural loading capacity of the existing structural elements.	Complies	The new proposal require a reinforcement of the structure. This is a positive achievement for safety matter. TZG comment: The pier was originally designed to take heavy loads.

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• STATUTORY REQUIREMENTS New uses should allow minimum alteration in relation to the statutory requirements of authorities having jurisdiction over the site.	Complies	No change expected. TZG comment: New egress stairs are required to meet the BCA which require alteration to the fabric.
• VESTIGATION OF THE SITE New uses should allow for archaeological research orientated to provide information to guide restoration and reconstruction work consistent with the remainder of this policy. Allow for archaeological research only when there are adequate resources to undertake complete and published results of the study and leave the site in a stable condition.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: An Archaeological Report prepared by CRM accompanies the proposal.
• SERVICES New uses should minimise any damage to significant fabric caused by the replacement or installation of new services.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: New services will generally be installed in a co-ordinated manner to minimise damage to significant fabric.
• USE BY DISABLED PEOPLE Facilitate the use of the site by disable people consistent with the remainder of this policy.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Equitable access underpins the adaptive reused of the pier. A report prepared by Accessibility Solutions accompanies the proposal.

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VEHICLE ACCESS Continue use of existing vehicular access.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The existing vehicular access will continue to be used.
PEDESTRIAN ACCESS Continue use of existing pedestrian access.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The existing pedestrian access will continue to be used.
MARITIME ACCESS Continue use of existing maritime access.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The existing maritime access to the wharf to the east will continue to be used.
CAR PARKING No long-term car parking will be permitted on the site. Allow for drop off and currier parking areas consistent with the remainder of this policy.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: No long term car parking is permitted on site. Provision for drop off, loading and unloading and courier parking is included.
PUBLIC ACCESS AND INTERPRETATION Arrange the use of the site to facilitate interpretation, for instance in the way it is leased. Allow public access to the site on a regular basis for education and tourism.	Complies	The site is open to the public 24 hours a day and has restrictions based on the Precinct Management Controls. Other controls and regulations may be put in place for security purposes and life safety during the operations from time to time. The site will include large scale static displays of industrial heritage relics suitable curated and restored. With information and story panels paced in all public areas as an adjunct to the existing interpretation plan

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		The public open space and landscape design interprets the harbour foreshores with the figure head lands expressed in a stepped sculptural form at low level. Netting and open grid decking allow the water below to be seen and interpret the cargo nets used on the wharf apron. The harbour front is accessed by a set of sloping steps to allow a physical connection with the harbour. The original line of the whrf apron is defined and celebrated in the paving.
RESEARCH Allow investigation of the site for research only when guided by specific and scrutinised research goals and when there are adequate resources to undertake complete and published results of the study and leave the site in a stable condition.	Complies	The site is well researched but is available in request to the Precinct management committee to anyone with a genuine interest in research projects. The site is already safe and secured. Research potential still exists into the building techniques and structural methodologies employed by Hickson and Walsh in constructing these Wharves and Pier structures.
9.6 New Services		
Policy 9.6.1 Any proposed new services or service upgrades should be organised to least interfere with the existing significant fabric, industrial character, general building form, roof envelope and open layout of the substructure and building.	Capable of Complying	3 new lifts are proposed and require penetration through the floor. The external lift box is in transparent glass and it is visible only from elevated view but not from the street level around the precinct. TZG comment: New lifts are required to provide access to the upper levels in an equitable manner. Internally three lifts are required – one to provide back of house access for Bell and ATYP and two central lifts to serve the main foyer spaces. A single external lift is proposed to the northern end of the western apron to service the upper level event space and to provide an alternate means of access to the upper level offices. The architectural language of this lift will match that of those proposed to Wharf 4/5 which are required to provide

Policy	Compliance Complies Capable of Complying Does Not Comply	Comment
<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000		access to Sydney Theatre Company. The external lifts have been designed to be as transparent as possible, as simple contemporary elements with steel frames and glass walls. In order to provide the required mechanical services to the auditorium spaces two roof 'pops' are required – one over the ACO Auditorium and one over the ATYP Theatre. This will have an impact on the overall roof form, however, has been minimised by restricting the raised areas to the valley between the ridges of the original roof. This will not be visible from street level. Sheeted to match the original metal roof, the new roof pops will have minimal impact when viewed from above. Other services including electrical and hydraulic services will be co-ordinated to minimise their impact on significant fabric. They will be run in concealed spaces wherever possible and in neat runs where visible.
Policy 9.6.2 Any required new services and equipment to be installed within the site should be organised in areas and spaces of no or lower significance in preference to those of higher significance.	Capable of Complying	New water/electrical/air-conditioning ducts are organised to minimise the impact on the existing fabric and positioned in hidden areas and between floors and ceilings. TZG comment: Services will be organised in areas and spaces of no or lower significance in preference to those of higher significance where ever possible.
Policy 9.6.3 Any new services should be planned and carried out with regard to the maritime archaeology.	Complies	TZG comment: New services will be planned and carried out to have minimal impact on archaeology – historic, Aboriginal and marine.
Policy 9.6.4 Any new services should be inconspicuous throughout the building and substructure. The introduction of new services should be consistent and allow the external visible pile rows two outer pile rows minimum breezeway and exterior spaces to be clear of modern services.	Capable of Complying	TZG comment: New services will be installed in an integrated coordinated manner and allow for the two external visible pile rows to be read clear of modern services. A new sea water chiller plant is proposed which complies with this clause.

Policy	Compliance Complies Capable of Complying Does Not Comply	Comment
<i>Pier 2/3 Conservation Management Plans</i> by Tropman & Tropman Architects - 2000		
Policy 9.6.5 Any new elements which may obscure the existing views through the piling system and building should be separated by a minimum of two structural bays.	Complies	TZG comment: Lifts and additional substructure are setback from the wharf edge by a minimum of two piers. In accordance with.
Policy 9.6.6 The use of screens may be appropriate to minimise any unavoidable large modern service intrusion. This may include the use of colour finishes (eg. grey or black finish), timber screens with sympathetic traditional detailing (eg. planking screens), etc	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: New services will generally be concealed, however where this is not possible, in spaces such as the 'raw' spaces, they will be painted a recessive colour and co-ordinated in neat runs.
9.7.9 Conservation Practice		
Policy 9.7.9.5 Preservation of fabric and patina. During any work to an item of the site, including documentation, the maximum amount of significant fabric and patina should be retained consistent with the preservation of the item and in relation to the relative significance of the item. Replacements, no matter how accurate, should be considered of far less heritage value than the original fabric.	Complies	This has been addressed in the documents and design proposal by the Consultant Team that is aligned to the Burra Charter Principles. TZG comment: The works will be carried out using conservation best practice in accordance with the principles of the Australian ICOMOS Burra Charter.

7.2.2 Pier 4/5 Policies

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
7.3 Retention and Re-use of Historic Building		
7.3.1 Wharf 4/5 as part of the Walsh Bay cultural precinct should be retained and conserved as part of any future redevelopment on the site.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The proposal retains and expands the role of Wharf 4/5 as a cultural precinct to include it in the Walsh Bay Arts Precinct, which includes Pier 2/3 and the associated Shore Sheds. The proposal involves alterations to the Sydney Dance Company (SDC) and Bangarra tenancies within the lower shed of Wharf 4/5. The proposal also involves the provision of additional stairs and lifts to provide access to Sydney Theatre Company in the upper shed of Wharf 4/5. Internal works associated with STC50 are the subject of a separate SSDA application.
7.3.2 Future changes to fabric, form and associated structural elements should respect its visual significance and architectural integrity and respond accordingly.	Complies	TZG comment: Internal changes proposed to SDC are relatively minor whilst those to Bangarra involve a predominantly new fitout. Changes proposed to the façade adjacent Bangarra involve removal of non original timber framed doors and will improve the relationship between the adjacent piers. New windows and doors are required to address the new stairs and gantries proposed for STC50 at the upper level. These will be detailed to respect the architectural integrity of the Wharf and relate to the existing chequerboard pattern of openings in the elevation. A similar architectural language is proposed for the new lifts, stairs and gantries for both Wharf 4/5 and Pier 2/3 to maintain a close visual

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		relationship. Upgrades are required to the existing curved external stairs and western balcony to comply with the BCA. These works will be detailed in a sympathetic manner. STC50 requires two roof extensions to house mechanical plant associated with the theatre spaces. These extensions will be detailed in a similar manner to those proposed on Pier 2/3 to ensure architectural consistency and minimal visual impact.
Policy 7.3.3 Landmark position as a strong visual element on the foreshores of Sydney Harbour should be maintained.	Complies	No change expected. TZG comment: The works retain and respect the landmark position of the Wharf as a strong visual element within Walsh Bay on the foreshores of Sydney Harbour. Works across the Walsh Bay Arts Precinct will ensure that this position is retained and enhanced.
7.3.4 Conservation of Wharf 4/5 wharf, shoreded and wharf structure should be in the form of compatible new uses for the buildings, uses that respect and utilise the current scale, form and configuration of the building, with minimal external changes to the structure.	Complies	Uses are compatible to the use as a cultural precinct, already established and approved. The 1998 DA approvals for Walsh Bay and the approval of stage 1 consolidates the use of these relics as cultural facilities. These require some extensive changes to the volumes. TZG comment: Works associated with Wharf 4/5 are to provide better amenity for the existing tenants, all of whom are key to the success of Sydney's cultural scene. Works to the Bangarra and SDC tenancies in the lower shed upgrade their existing fitouts to contemporary standards. STC50, located in the upper shed, requires more extensive alteration to accommodate upgraded theatres. The internal changes are the subject of a separate SSDA, however, the base building works have been included in the WBAP project to ensure consistency of language between the wharfs.

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		These works include two roof pops and their associated structural modifications, new lifts, stairs and gantries. The visual impact of these alterations will be minimised through careful contemporary design that is consistent across the precinct. A new mezzanine level is proposed in the Shore Sheds to provide office space for the choirs. This space is currently ceiling void.
7.4 Principles for Re-use of building		
7.4.1 During preparation of future uses for the buildings, care should be taken to respect the scale and character of the existing interior spaces, external openings and general character of each building.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The proposed works sensitively conserve and reveal a greater heritage volume, not only for public appreciation but also to enhance the heritage value and narrative of Wharf 4/5. Large workshop spaces are maintained that allows the scale and volume of the original building to be perceived and appreciated. TZG comment: Works associated with SDC involve the subdivision of the existing workshop to create Studio 5 and alterations to the office located on the mezzanine. Bangarra, the Philharmonia Choir, Gondwanna Choir and Song Company currently occupy the northern end of the pier. A separate office tenancy adjacent is currently unoccupied. The proposal involves consolidation of this space for Bangarra. The two existing studio spaces and recording suite are retained. A new foyer gallery runs along the eastern side of the tenancy leading to a new full height function space proposed at the northern end of the wharf. The Choir Offices are to be relocated to a mezzanine level proposed above the existing Choir space in the Shore Sheds. This space is currently ceiling

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		void and is capable of housing the offices with minimal impact on existing significant fabric. New external glazed doors are proposed to replace the existing substandard doors to the western elevation on ground level to Bangarra and to provide access to the new lifts, stairs and gantries required for STC50 on the upper level, consistent in detailing to those proposed on Pier 2/3.
7.4.2 New uses that are selected for any particular internal space should adopt the principle of “loose fit” whereby the functional and spatial requirements of each use are tailored to suit the available space, in contrast to an approach that alters the building to suit the requirements of the new use.	Complies	The current condition of the building with large scale theatres, workshops areas and rehearsal rooms have negated this notion. This statement was written 30 years after the existing works were undertaken so in that sense the author has chosen to ignore the reality that the repurposing of Pier 4/5 was accepted as being an appropriate methodology for sustaining the heritage building and ensuring it remains as a viable and useful object.
7.4.3 Installation of any new enclosures within the larger internal volumes of Wharf 4/5 should recognise the tradition that such enclosures are clearly expressed as new, self contained elements.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The planning of new spaces as clearly identifiable and separate from the heritage fabric has been a driving principle from the outset of masterplanning. Wherever possible, new spaces pull away from the heritage shell. This is of mutual benefit to the internal program and heritage, allowing the shell to remain unaltered and the internal spaces to be appropriately detailed to perform thermally and acoustically. Inevitably, these insertions will need to connect to the existing structure to transfer loads efficiently. Where junctions with existing roofs and columns are required, these have been carefully considered to preserve the original context of the heritage structure. TZG comment: This policy applies more to the upper shed than the lower shed which is currently detailed in a different way. Existing walls meet columns at their centres and meet the existing external walls. Works to SDC are minor and adopt a similar approach to the existing and major spaces are

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		retained in the Bangarra tenancy which have also set the precedent for new works adjacent. The upper shed has more clearly expressed self contained volumes and the STC50 project has been guided by this philosophy.
7.4.4 Location and visual presentation of new services within the building should generally remain subservient and respectful to the scale, dignity and presentation of the existing building.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. New services will remain subservient and respectful to the scale, dignity and presentation of the existing building. TZG comment: New services will remain subservient and respectful to the scale, dignity and presentation of the existing building.
7.5 Retention of Visual Curtilage around Building		
7.5.1 The open spaces around Wharf 4/5 should be retained so that the wharf's relationship with the other buildings in the precinct can be identified.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Egress stairs and lifts are required to provide access to STC50. These have been designed to match those required for Pier 2/3 and will therefore share a common architectural language of detailing. These new elements are distinctly contemporary, with a clear distinction between new and old fabric, yet sympathetic, referencing the stairs and gantries that once adorned the sides of the piers.
7.5.2 The design and siting of new works and additions should be sited in such a way that the visual relationship of Wharf 4/5 to the other buildings is not impaired.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The new public domain space is insignificant in height and it doesn't preclude the visual relationship within the piers. TZG comment: The new lifts, stairs and gantries are designed to have minimal visual impact, respecting the relationship of Wharf 4/5 to the other buildings in Walsh Bay.
7.5.3 Adaptive reuse which respects the integrity of the structure of the	Complies	TZG comment: The current uses of the wharf are retained and improved by the proposal.

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
building and its curtilage should continue to maintained.		
7.6 Retention of Significant Spaces		
7.6.1 There should be no major and permanent partitions introduced on the Upper Deck of Wharf 4/5 that would diminish the building's interpretation as a former commercial goods warehouse.	Complies	The 1983 prize winning and celebrated works have already modified and partitioned the space. This current proposal maintains large areas un-partitioned to comply with this policy. TZG comment: Internal alterations to the Upper Deck are not included in the scope of works for the Walsh Bay Arts Precinct. They are included in the separate STC50 SSDA, which has been lodged concurrently.
7.6.2 There should be no new or permanent development on the wharf apron.	Does not comply	New stairs, lifts and gantries are critical to STC operationally and for accessibility and egress. The new entries are a contemporary interpretation of the heritage gantries that at one point would have moved along the length of the Wharf to facilitate upper level access. The new lifts enable STC to accommodate patrons and staff of varying abilities, and are DDA requirement. They will follow the visual precedent set by the Vivian Fraser refurbishment. Historical documentary, photos and drawings evidence shows how the aprons accommodated gantries and balconies. TZG comment: External lifts and stairs are proposed to provide access to STC50. Locating them external to the building minimises impact on interior significant fabric. Their impact on the wharf apron has been minimised by designing them as contemporary steel and glass elements that are reversible. Further a similar architectural language will be employed to those serving Pier 2/3 unifying the composition across the precinct.
7.7 Conservation of Significant Fabric		
7.7.1 Roof structure Where repairs to the buildings are required, the roof framing including significant roof trusses should be retained where possible.	Complies	The significant heritage asset that the Wharf structure represents has been carefully balanced against the requirements of a reinvigorated STC. The original structure is retained in full, wherever possible. However, the current

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		height restriction that the existing trusses represent is an operational limitation to STC that restricts its ability to continue to meet its world class aspirations. STC manufactures and assembles sets for the Ros Packer Theatre and Opera House Drama Theatre, which requires the ability to assemble sets at full height (8m). This cannot be accommodated with the current roof structure. Through careful planning, the partial alteration of a single roof truss is required in only one internal location. The portion of truss in the public Walk is retained in situ to maintain the full heritage experience and rhythm along the Walk. Where the roof structure is required to support additional load, the existing timber trusses will be strengthened by flat plate of PFC steel structure on either side, bolted through, in keeping with the precedent set elsewhere in Wharf 4/5 and in other Wharf buildings in the Walsh Bay redevelopment.
7.7.2 Roof structure Replacement of corrugated roof panels should match existing corrugated roofing material.	Complies	The STC technical zone above the Theatres permits a fall of five degrees so that the original roof profile can be matched in the cladding to the roof modification. TZG comment: New corrugated metal roof panels will match existing.
7.7.3 Walls - Weatherboard Panelling All identified significant fabric of Wharf 4/5 should continue to undergo regular maintenance. Replacement of weatherboard panelling should match existing panelling. Painted finishes should match existing cladding.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The recent glazing covering the cargo doors are removed to restore the original looking. TZG comment: Regular maintenance will continue to be carried out. Replacement weatherboard panelling and painted finishes will match existing.
7.7.4 Walls - Face Brickwork Retain significant unpainted face brickwork on the Hickson Road facades of the shoresheds.	Complies	No change expected. TZG comment: No changes are proposed to the unpainted face brickwork to Hickson Road.
7.7.5 Flooring	Complies	The original ironbark flooring is a heritage feature of the building. The

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
Original timber flooring should be retained in any future use or modifications to the building.		current proposal will retain the ironbark flooring in full, and where it cannot be exposed, it will be protected and preserved. Where programmatic requirements necessitate a different floor type, such as wet areas, the ironbark will be retained and protected prior to the new floor structure being installed. TZG comment: The original timber flooring is retained. The bitumen will be removed from the Bangarra foyer to reveal the original timber.
7.7.6 Wharf Sub-structure Replacement of timber wharf piles should continue to be part of the cyclical maintenance program arranged in 3 year terms. A detailed pile and structural survey should be undertaken at the commencement of each term to plan the next term of pile and timber replacement due to termite damage and rot above water and teredo damage and erosion below water level.	Complies	TZG comment: Maintenance of the wharf substructure forms part of the scope of works. Timber wharf piles will be replaced as required based on a Condition Audit that is currently being carried out.
7.7.7 Timber Joinery Retain significant timber joinery, including original windows and doors and original internal timber staircase.	Complies	Facade alterations introduce glazing to facilitate the internal program. This will follow the rhythm and precedent of the existing facade. TZG comment: Significant original timber joinery including timber windows and doors are retained. The later windows and doors to Bangarra will be replaced as part of the works.
7.7.8 Building Services Existing functional fire protection, emergency and electrical lighting should be maintained as part of the regular maintenance program.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The building services are upgraded to satisfy BCA requirements. TZG comment: The proposal includes an upgrade of the existing fire protection, emergency and electrical lighting services to ensure that they comply with current standards.

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
7.7.9 Wheelchair Access The installation of a wheelchair access lift to the STC Wharf Theatres and Restaurant should respect significant fabric and internal layout of the building. It should be located along the public access to the STC and serve both the main level of the STC and the mezzanine to provide access to all public areas of the STC. It should be designed and treated as a new element, but one that respects the tradition of externally mounted services infrastructure.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. Already an existent lift is present along the public access to the STC. New lifts are proposed at Mid Wharf and End of Wharf locations to facilitate access to both Level 1 and 2. They will be treated as contemporary insertions that follow the precedent of the existing Vivian Fraser lift, but pull away from the heritage facade to minimise impact to the heritage fabric, gutter and crane rail. TZG comment: Two new lifts are proposed externally, on the eastern side of the wharf, to provide public access to the theatres, offices and bar at the end of the wharf. On the western side a new goods lift is also proposed externally. These lifts will be designed to match that proposed to Pier 2/3 to ensure a consistency of architectural language across the precinct. They will be designed to read as distinctly contemporary, free standing elements and be detailed in steel and glass to maximise their transparency and minimise their visual impact.
7.7.10 Air Conditioning The provision of air conditioning units for the Wharf Theatres at roof level should be situated so as to minimise the visual impact from recognised viewpoints such as between the major roof ventilator structures. A visual impact assessment should form part of any proposed works involving the installation of services to the exterior of the building.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. The roof as existing contains plant and exhausts at disparate locations along its length. The new proposal sees the mechanical equipment consolidated and rationalised to the north of the Wharf in its existing valley location, where it is visually screened by the Theatre Roof modification and lanterns. TZG comment: The existing roof contains plant and exhausts at disparate locations along its length. New air conditioning is proposed to Bangarra, SDC and STC50. The proposal seeks to update the mechanical systems utilised in the building and to rationalise and consolidate the associated equipment. This involves packaged units, similar to existing to the lower shed and

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
		plantrooms within the new roof pops with consolidated plant platforms located in the northern valley. A Visual Impact Assessment accompanies the proposal.
7.7.11 Environmental Efficiency Proposals to upgrade the environmental efficiency of the services infrastructure should take into account a “whole of building” approach and be considered for their physical or visual impact on the spatial and architectural integrity of the buildings in their own right and as components of Walsh Bay as a whole.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. All consultants view the STC50 project holistically, and as part of the broader Walsh Bay Arts Precinct. Coordination has been undertaken between consultants of the WBAP and the STC50 project to identify opportunities for efficiencies. TZG comment: The roof currently houses a large solar array and STC have a large rainwater reuse tank located under the wharf. A whole of building approach has been adopted for service upgrades which extends across the Walsh Bay Arts Precinct.
7.8 Conservation of Equipment and Machinery		
7.8.1 The Goods Lift within Wharf 4/5 should be retained and an adaptive reuse strategy created.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The goods lift is retained. As it passes between two different tenancies - a commercial tenancy and STC50- it is not possible to use it in the current adaptive reuse. It will however be retained insitu so that it could be used in the future.
7.8.2 Gantry rails on the eastern and western facades should be retained.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Gantry rails on the eastern and western facades are retained. New lifts, stairs and gantries have been designed to be proud of the facades to ensure that the gantry rails are unaffected.

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
7.9 Principles for Design of new elements		
7.9.1 New or repaired elements should generally adopt the visual characteristics of the surrounding context in order to minimise visual interruption to the original context.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: New elements such as lifts, stairs and gantry balconies adopt a simple contemporary language and are designed to minimise visual interruption to the original context. Changes to the roof are restricted to the central valley to minimise their visual impact. Works to the façades have been designed to respect the chequerboard rhythm of the original facades. The existing curved stairs and western balcony both require upgrades to comply with the BCA. These will be detailed in a simple unobtrusive manner.
7.10 Interpretation		
7.10.1 The current and future re-use of the buildings should include a strong program of interpretation to ensure that the heritage characteristics and layered significance of the place are communicated to visitors.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: A strong program of interpretation is present on the site and will be continued in the new works.
7.10.2 An oral history program should be implemented, participants should include individuals who have been involved in the conversion and maintenance of the wharf and the shoresheds. Rees McKay, Government Architect, who has been responsible for the care and maintenance of Wharf 4/5 through the Department of Commerce is an invaluable source of information regarding the history and use of the site.	Do not Comply	This is not part of the scope. Arts NSW currently lease the site from RMS. No known oral history program has been implemented to date, however, is encouraged in the future. TZG comment: Arts NSW currently lease the site from RMS. No known oral history program has been implemented to date, however, is encouraged in the future.

Policy <i>Wharf 4/5 Conservation Management Plans</i> by Graham Brooks and Associated - 2007	Compliance Complies Capable of Complying Does Not Comply	Comment
7.11 Appropriate Conservation Skills and Experience		
7.11.1 Appropriate professional and trade skills should be sourced and employed during the implementation of conservation works and in the design and installation of future uses within the buildings.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: Appropriate professional and trade skills will be sourced and employed to undertake the works.
7.12 Signage		
7.12.1 Signage on Heritage Items should be: (i) consistent in design to the architectural form of the building to which it is attached; (ii) of a high standard of materials, construction and graphics; (iii) appropriately located on the Heritage Item and of a Compatible design and style with appropriate lettering.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: A Signage and Wayfinding Strategy accompanies the proposal prepared by Urban & Public. It advocates signage that is consistent in design to the architectural form of the building to which it is attached, is of a high standard of materials, construction and graphics and is appropriately located.
7.13 On-going Maintenance Regime		
7.13.1 The current maintenance program should be continued and updated as required.	Complies	This has been addressed in the documents and design proposal by the Consultant Team. TZG comment: The current maintenance program is ongoing. This has recently been reviewed on behalf of Arts NSW by Tropman & Tropman.
7.13.2 Funding should be made available on a cyclical basis for the replacement of wharf piles as part of the regular maintenance program.	Complies	TZG comment: Arts NSW have allocated funds for replacement of wharf piles on a cyclical basis as part of their regular maintenance program.

7.2.3 Review of "Walsh Bay Art precinct Heritage Impact Assessment" by design 5 architects - June 2014

The SSDA requires that this report guides the development of the WBAP. A number of matters may require review as a result of the design development process in Phase 1.

Guidelines <i>Heritage Impact Assessment by Design 5 Architects - 2014</i>	Comments
7.3.1 Waterfront Square	
- The design retains the configuration and reading of the original aprons. - Materiality and character of the space respects the industrial character of the Walsh. - Bay precinct, however, is distinguished from the existing concrete aprons. - The design is flexible to accommodate a range of uses including pop-ups, major events (i.e. New Years Eve, Vivid or Sydney Writers Festival), outdoor cinema and stage performances. - The waterfront square is set lower than the apron of Pier 2/3 and Wharf 4/5 and flush with apron adjacent to the shore sheds to allow on-grade access.	The assessment of the waterfront square is correct and consistent with the current modification of the project. The last modifications have drastically reduced the size of the area.
7.3.2 Proposed Public Domain	
- The structure is to be of exceptional design merit and quality. - The design should be entirely modern and should not copy or confuse itself with the surrounding heritage buildings. - New structure should respect the significance of WBAP. It should be contemporary in design to distinguish it from the earlier work at the same time as being inspired by and reflecting the industrial character of the place. Within these constraints, the structure can also create an "iconic" and "landmark" presence for the site. - The new structure should be visually separate from the surrounding heritage buildings and be self supporting. - The new structure should respect significant views and vistas to and from the site and not impede other significant views that pass through the site. In this respect, it should be open on all sides but can have the ability to be temporarily screened when required for special performances or events.	The current design of the public domain has a strong distinction between the existent Wharfs and the addition, as an independent element but well connected with the surrounding and the original idea of the bay. The modern materials and colours mark the distinction to the heritage buildings. It is at the water level, so it doesn't impede or obstruct any vistas or views of the site, but it creates a new viewpoint to admire the existing Wharfs. It is completely separated from the surrounding building, with a floating self supporting structure just lightly fastened to the apron between Pier 2/3 & 4/5 and anchored with 4 piles on the other extremity to the sea floor.

7.4.5 Roof Top Penetration (ACO)

- Single breach of the roof in one location only.
- It should only occur within the central valley and not impact or alter outer roof slopes.
- In accordance with Policy 9.3.5.2 of the Tropman and Tropman CMP, It must not alter any existing roof lanterns “the existing roof lanterns, including windows and metal louvers should be conserved”.
- Any additions to the roof should respect the prominence of the roof lanterns. Any alteration to the roof should be setback from the roof lantern and preferably centered between them.
- It should not extend higher than the outer roof ridges.
- The pair of north-south ridges (over Wharf 2 and Wharf 3) should continue to be a dominant element, and legible as continuing for the full length of the building.
- The roof material and colour should match the existing adjacent roofs.

The 2 new roof rises in the existent roof valley do not extend higher than other ridges, do not alter the existing lanterns and being much smaller than the other roofs, they do not dominate.

8.1 Conclusions

Heritage Impact Assessment by Design 5 Architects - 2014

Archaeology

- It is expected that any proposal for replacement of piles will cause no additional heritage impacts otherwise caused by normal repair and replacement.
- Overlays show the proposed square is likely to affect part of an area formally occupied by late nineteenth century wharves, which in 1900 comprised 1no. jetty, as part of Dalton's complex (late Parbury's).

Further investigations will demonstrate any issues. See the overlay in this report.

TZG comment: An Archaeology Report prepared by CRM and a Marine Archaeology Report prepared by Cosmos Archaeology accompany the proposal.

Industrial Archaeology

- The Proposal will retain and conserve items of industrial archaeology in Pier 2/3 and Wharf 4/5 including the dead-house (Pier 2/3), bag chute (Pier 2/3), gantry rails (Pier 2/3 & Wharf 4/5) and goods lift (Wharf 4/5).
- Introduction of gantries will have a positive heritage impact on the east façade by adding visual depth and assisting in the interpretation of former uses and first floor cargo doors. The gantries should remain industrial in character, but can be built from modern expressed steel components, welded and bolted.

The current proposal hasn't had any changes regarding the heritage items of industrial archaeology. All the listed items are to be conserved and maintained.

Views and Vistas

- Proposed changes to the exterior including opening cargo bay doors, new gantries, balconies and stairs

The new entries are a contemporary interpretation of the heritage gantries that at one point would have moved along the length of the

will not alter the scale or mass of the buildings, which are central to their visual dominance. - Centrally located between two important headlands and culturally significant sites; the new Barangaroo Headland Park and Dawes Point Park. The waterfront square has potential to be one of Sydney's major outdoor public spaces and will have a heritage benefit through activation of the wharf. - The design for the cover to the outdoor performance space should be sympathetic and respect the established identity and character of the place. However, within these constraints, there is the opportunity to create a modern structure that reflects current uses and responds to how people interact with historic environments and Sydney Harbour generally as a space for gatherings, events and celebrations.	Wharf to facilitate upper level access.
Pier 2/3, Elevations - The configuration of the west elevation retains the modular and repetitive character of the façade, including regular bay treatment, semi-flush fenestration and “chequerboard” appearance and accords with Policy 9.3.4.1 of the Tropman and Tropman CMP. - Additional openings are supported on the north elevations of Pier 2/3 and Wharf 4/5. Openings are minimised and centered in the facades with the corners retained as solid. The objective is to retain the wharf as appearing solid at the end. - Opening up of northernmost first floor bay on the east and west elevations by altering existing weatherboards to become adjustable louvres is supported.	Opening up the north facade with additional windows is still a supported idea. It dramatically improves the view to the Harbour Bridge. TZG comment: The opening to the north east corner of Pier 2/3 is consistent with the Stage 1 SSDA. Openings proposed are generally consistent with the approved Stage 1 SSDA.
Wharf 4/5 East elevation - External alterations to ground floor openings on Wharf 4/5 are made to existing glazed openings and will cause no additional heritage impact to significant fabric. - We consider the heritage impact of the additional stair to be moderate but acknowledge the public domain benefits and architectural benefit in mirroring Pier 2/3.	The additional stairs are part of the design idea that relates the Piers 2/3 & 4/5 as a unique organism. The proposal of having 2 sets of stairs mirrored between the two Piers reinforces this idea. TZG comment: These stairs are required to provide egress.
Roof - A photomontage of the roof taken from the Harbour Bridge approach is used to assess the visual impacts of raising the roof. This photomontage shows that if the criteria (outlined in Section 8) are followed, the heritage impacts would be relatively low to moderate. The additions appear to blend in with the existing roof and the lanterns and double ridge retain prominence as an architectural composition. - The addition of the solar array on the inside roof slopes have a minor impact and are deemed acceptable but not on the external slopes.	We agree with this statement. The new roof rises in the existent roof valley, it doesn't extend higher than other ridges, it doesn't alter the existing lanterns and being much smaller than the other roofs, it doesn't dominate.

Surrounding Area - The proposals to Pier 2/3 and Wharf 4/5 are mainly confined and centralised around the aprons of Pier 2/3 and Wharf 4/5. Additions to the east elevation of Pier 2/3 will have a positive heritage impact as activating the Pier towards Dawes Point, Pier One and the Harbour Bridge. - No physical changes are proposed to the Hickson Road shore shed elevations or the west elevation of Wharf 4/5. The buildings themselves act as screens to surrounding residential areas. - The proposal reinforces the area as an existing arts precinct and brings a benefit to this diverse community. The facilities will be used by a broad section of the community and considered a positive and “good fit”.	No change. TZG comment: A new goods lift and stair are proposed to the western façade of Wharf 4/5. Further minor alterations are required to the existing curved stairs and western balcony to meet the BCA.
Internal alterations - The internal configuration of spaces have been redesigned following the Master Plan and Final Business Case with an emphasis on improving the relationship and opportunities the heritage building offers each space. With consideration to program and planning matters, we consider the current internal planning arrangement to be the best outcome for the retention and celebration of heritage fabric. Volume, quality and material of original spaces are readily identified and appreciated while new elements are seen as separate and sitting within the heritage envelope. New insertions take on a secondary identity to the primary character of the heritage building. These qualities are fundamental to successful adaptive reuse and consistent with the Tropman and Tropman CMP. - The accommodation of the ACO auditorium will have a high adverse impact, however, these impacts are minimised in terms of the impact to structure and location. The proposal is considered acceptable for the accommodation of the ACO auditorium only. - The retention of a large raw space is a positive attribute to the proposal overall and recognises the important nature of Pier 2/3 as the only unaltered and intact example of large-scale wharfage and goods storage in Sydney Harbour dating from the early 20th Century.	Some improved volumes have been designed by TZG as compared to the stage 1 SSDA. The themed approach has been carried through. TZG comment: This has been further emphasised by separating new volumes from the façade where possible. ATYP also require removal of columns and a roof modifications to accommodate plant and equipment. The upper shed in Pier 2/3 is only 4800mm to the underside of the trusses, which is prohibitive.
Moveable heritage and interpretation The retention of moveable heritage provide opportunities for interpretive displays, however, these displays need to be carefully considered in their context and must not overwhelm or saturate the site.	TZG comment: A Movable Heritage Interpretation Strategy prepared by Tropman & Tropman accompanies the proposal.
Services Introduction of services will need to be done sensitively to avoid potential for adverse impacts.	Services intrusions represent the greatest challenge in the Phase 1 design. TZG comment: Services will be co-ordinated, run in concealed

	spaces wherever possible and in neat runs where exposed to minimise their impact.
8.2 General Recommendations <i>Heritage Impact Assessment by Design 5 Architects - 2014</i>	
General - All policies in the Conservation Management Plans should be adhered to and followed as amended by the recommendations in this report. - The approach to future conservation and development of the place should be carried out in accordance with the principles of the Australia ICOMOS Burra Charter. - Detailed designs should be based on drawings prepared by Bates Smart Architects submitted as part of this application. An appropriately experienced conservation architect must be engaged to oversee and advise during detailed design and construction stages. - Archival recorded of the building must be carried out prior to any works on site.	The proposal is consistent with the general recommendations.
Archaeology - The location and extent of retained former wharves should be further investigated and mapped prior to any work commencing consistent with Tropman and Tropman CMP 2000 Policy 9.2.1.2 quoted above. The number and location of new piles should be carefully considered in a heritage context to minimize disturbance to archaeological fabric of earlier wharves. Industrial - Before any commencement of works, a dive team under the supervision of maritime archaeologist should be engaged to undertake an underwater visual survey within the site to locate and record any structural remains and/or cultural deposits associated with the previous wharves (T&T CMP'00, Policy 9.2.1.3).	A Marine Archaeologist is to be appointed. TZG comment: The proposal is accompanied by a Marine Archaeology Report prepared by Cosmos Archaeology. This involved an underwater visual survey within the site, focusing on the proposed new waterfront square.
Industrial Archaeology - Industrial archaeology should be retained and respected in accordance with the Conservation Management Plans for the site. - The structural capacity of existing gantry rails to support new gantries will need to be assessed and if necessary strengthened.	Noted
Views and Vistas New stairs, balconies and gantries should be designed and detailed to respect the integrity of the	TZG comment: Stairs, balconies and gantries are designed and detailed to respect the integrity of the industrial character of Walsh Bay.

industrial character of Walsh Bay Precinct.	
Waterfront Square The design must recognise and respect the following principles: • The design must retain the configuration and reading of the original aprons. • Materiality and character of the space must respect the industrial character of the Walsh Bay precinct, however, is distinguished from the existing concrete aprons. • The design must be flexible to accommodate a range of uses including pop-ups, major events (i.e. New Years Eve, Vivid or Sydney Writers Festival), outdoor cinema and stage performances.	The waterfront square will be developed following the Burra Charter guidelines and is consistent with these recommendations.
Waterfront Square Shelter The following principals should be used as guideline for the design of the shelter to the performance space: • The shelter structure is to be of exceptional design merit and quality. • The design should be entirely modern and should not copy or confuse itself with the surrounding heritage buildings. • New structure should respect the significance of WBAP. It should be contemporary in design to distinguish it from the earlier work at the same time as being inspired by and reflecting the industrial character of the place. Within these constraints, the structure can also create an “iconic” and “landmark” presence for the site. • The new structure should be visually separate from the surrounding heritage buildings and be self supporting. • The new structure should respect significant views and vistas to and from the site and not impede other significant views that pass through the site. In this respect, it should be open on all sides but can have the ability to be temporarily screened when required for special performances or events.	The shelter structure proposed is consistent with those recommendations.
Gantry platforms • The reinstatement of gantries is encouraged and should remain industrial in character. • The structural capacity of existing gantry rails to support new gantries will need to be assessed and if necessary strengthened.	The balcony gantry structures will be fixed above the gantry rails. The rails are not functioning.
Roof The following design criteria should be followed for the roof penetration:	See 7.4.5 Roof Top Penetration (ACO). TZG comment: Two roof breaches are proposed for Pier 2/3 and

• Single breach of the roof in one location only. • It should only occur within the central valley and not impact or alter outer roof slopes. • In accordance with Policy 9.3.5.2 of the Tropman and Tropman CMP, It must not alter any existing roof lanterns; “the existing roof lanterns, including windows and metal louvers should be conserved.” • Any additions to the roof should respect the prominence of the roof lanterns. Any alteration to the roof should be setback from the roof lantern and preferably centered between them. • It should not extend higher than the outer roof ridges. • The pair of north-south ridges (over Wharf 2 and Wharf 3) should continue to be a dominant element, and legible as continuing for the full length of the building. • The roof material and colour should match the existing adjacent roofs. • New solar panels may be added to the inner slopes of Pier 2/3 similar to that of Wharf 4/5. Solar panels should not be extended to outer slopes.	two for Wharf 4/5. These are required for the theatre spaces and to house associated plant and equipment. Each breach complies with these criteria.
Moveable heritage • No part of the proposal should prevent the interpretation and display of moveable heritage. • In accordance with City Plan Heritage, Walsh Bay, Wharf 2/3, Moveable Heritage Use & Interpretation Plan, dated June 2011, any future detailed design for WBAP must include a detailed Interpretation Plan to guide the designs of the site specific interpretation and moveable heritage elements. The detailed interpretation plan and strategy for moveable heritage must developed in concert with detailed designs for the WBAP and be an integral part of it.	The items described are not relevant to the WBAP and are the property of Walsh Bay Precinct Committee or RMS. An interpretation plan accompanies the proposal.
Removal of storey posts Removed storey posts should be retained and appropriately tagged to identify the location from which they were removed. Posts should be retained on site as part of the moveable heritage collection and not placed where there may be risk of damage or decay.	Retained storey posts will be salvaged and stored for future se-use.
Archival recording Before any works are carried out, undertake a complete photographic recording of the place in accordance with the NSW Heritage Division Guidelines for Photographic Recoding of Heritage Items Using Film or Digital Capture (Heritage Office 2001, revised 2006). Photographic archival records should include all significant internal and external spaces.	Creation of a complete Archival Record has been completed in draft form for the whole WBAP site and accompanies the SSDA.

8.3 Commercial Arts/Events Space and Foyer Space

Space Generally

- Retain the reading of the space as predominantly unaltered.
- Retain space as full height and open.
- Potential to temporarily divide the Commercial Events /Events space using curtain type partitions or screens suspended from the ceiling, installed as required and removed entirely when not required. These may be of flexible or rigid material, transparent or opaque but must not appear to be, nor actually be permanent.
- The space should not be modified to accommodate a fully controlled air-conditioned environment. Improvements may be made to draft sealing, space heating and ventilation, however, these interventions must respect the predominant industrial character of the space and the environment in which it is located.
- Finishes to remain as existing, with evidence of previous maritime related use retained.
- Avoid new structure or services.

TTA Comment: The existing substructure consists of turpentine piles driven through the seabed down to bedrock. The existing superstructure is a framework of heavy ironbark columns, beams, and floor joists, all sheltered by existing oregon roof truss frames and purlins.

Both substructure and superstructure have been subjected to a number of structural maintenance and upgrading programs over their lifetime. Apart from general repairs to the old structure, other structure changes involved the removal of internal columns with new steel transfer framing, new steel framed stairs and lift shafts, new steel and timber framed mezzanines floors, roof plant platforms, and addition of an external apron slab all round.

The proposed upgrade and alterations involve removal of additional internal columns, replacement of some columns previously removed, additional stairs, lifts and mezzanine floors throughout, raised roof profile in parts, and some additional roof plant platforms.

The underlying structural design intent is to treat the existing structure and heritage fabric with a high priority and to minimise the structural impact whilst expressing the existing structure where possible. Different structural approaches and systems have been considered, with the least invasive adopted.

With the proposed upgrade and alterations it is inevitable that loading on the existing structure would increase. At locations where existing structural members become overloaded, where possible the existing structure is utilised by strengthening with steel plates and members in a manner acknowledging their heritage, rather than removing and replacing with new.

For the proposed performance and theatre type building use and increased number of occupants, a number of acoustic and fire safety related design aspects require upgrading. Similar to the structural alterations and strengthening, a number of approaches and systems were considered. Where achievable, the existing timber structure was reviewed and deemed adequate to provide

	the required insulation and protection. For existing structural elements that require fire protection, intumescent paint is specified for its minimalist impact on the existing form. The structural design of the Walsh Bay Arts Precinct and STC50 alterations acknowledges the history and heritage aspects of the existing structure and environment in which it is located. Structural solutions will be considered and adopted based on the most minimalist impact on the existing structure and heritage fabric. Existing structure will be sensitively re-used where possible, and all new structure will be detailed to compliment and express the existing. TZG comment: Need new lights, heaters, sprinklers But no air conditioning
Hardwood Storey Posts • Retain hardwood storey post layout and respect their dominance within the space. • To remain exposed and unpainted. • Retain and protect painted column numbers and other markings that give evidence of past uses. • Retain evidence for the original location of external screens (former loggia) along the east side.	The current proposal is aligned with this recommendations. Hardwoods storey posts are generally retained in-situ, exposed and unpainted, complete with their column numbers and other markings.
Floors • Retain and expose existing floor structure and surface including evidence of hatches, penetrations and change of board direction. • Avoid leveling out undulating and uneven boards unless they are a dangerous trip hazard. Only then should careful releveling take place by packing out or shaving the underside of the board. Boards MUST NOT be sanded to create a level surface. • Any loose boards should be appropriately re-fixed. • Timber boards should be left in their raw state and not coated.	The current proposal is aligned to these indications. No major interventions are to be undertaken, impact will be addressed.
Floor Structure Above • Retain, expose and respect the visual dominance of composite timber and steel structure overhead including elements identified in Tropman and Tropman CMP Policy 9.3.3.2:	The current proposal is aligned to these indications. Where main interventions are to be undertaken, impact will be addressed. TZG comment: Strongbacks running in the east west require intumescent paint in both Pier 2/3 and Wharf 4/5 in order to

- Riveted steel strong-backs and steel bar turnbuckles. - Triangular riveted steel web plates. - Heavy timber framing (first floor) where the floor was raised to fill in the truck loading bay. - Timber deck above including beams, floor boards, planks etc. - Conduits and services from pre 1970 uses. • Elements mentioned above must not be painted.	achieve the required 1 hour fire rating.
Cargo Doors • All bay doors should be retained in working order. • Glass screens may be erected to assist with internal comfort and noise. They should sit inside the line of the doors so they are not visible from the outside when doors are closed. The integration and detail of any new glass screens must be carefully considered so that they are not distracting and meet the objectives of the space generally. • Retain existing timber protection barriers to bay doors. • Cargo bay doors should be painted externally as required but not internally.	Cargo doors are to be retained in working order. TZG comment: New glass doors to Pier 2/3 are proposed on the outside of the cargo doors consistent with those to Wharf 4/5.
Windows and external walls • Opportunity to remove the later panel of weatherboard on the east side of the north elevation including the adjacent return panel on east elevation to interpret former loggia opening along the east elevation. • Additional external openings are to be avoided. • Inside face of external walls should be left exposed and unpainted. No linings applied unless temporary and reversible. • Window joinery should be painted externally as required. • Opportunity to reinstate the original configuration of windows and louvres based on documentary evidence if required.	TZG comment: Pier 2/3 generally consistent with Stage 1 SSDA except new windows replace metal infill to upper shed eastern facade to match original. The proposal takes this opportunity by removing the later panelling and reinstating in part the original configuration of the buildings in Pier 2/3 by removing: - The high level metal wall panels to the East facade, - Two middle panels to the North facade and panels at the first level, - One large panel to the East side of the North facade at the Ground level. The asymmetric result on this facade is a fine detail to re-equilibrate the weight of the openings already present on the West side of the same facade but in a remodulated design. This avoids sympathetic mirroring of the existing openings still keeping a regenerated balance. In Pier 4/5 the only panels to be demolished are 2 in the central section of the North facade at ground level.

	This intervention creates a harmonious rhythmic cadence to the facades and opens up the views allowing natural lighting to the place.
Lighting • Retain early steel high-bay lights in their current locations. • Opportunity to enhance the interior with new lighting design that showcases the interior and significant fabric, ceiling, columns, floor, walls etc. • Location of additional lights should be discrete and respect the repetitive and modular configuration of the space. • Any newly introduced light fittings should comfortably sit within the background and not draw attention to themselves. • Indirect lighting is preferable for all additional lighting. • Fluorescent hanging lights are intrusive and should be removed.	Lighting will be developed in the next phase consistent with this recommendations.
Services • Where services are reticulated within the space, they should be face fixed with clamps or screws and be easily removed without damage. Services must not be chased. Glues must not be used. • Radiant heaters and/or fans may be suspended from the ceiling. Their location should respect the regularity of the grid and earlier policies and they should not dominate the space. • Services should not damage significant fabric. Any new service, including a cable or hydraulic run, must be configured to go around existing fabric rather than cut through it or follow existing services routes. • Service reticulation under the floor is encouraged as opposed to within the space. • New power supply points may be provided by lift up panels within the floors, adjacent to columns or walls or other proven non-intrusive methods. Where possible, they should be fitted in the location of previous repairs.	These listed indications are sensible recommendations that are well followed in the proposal. Where possible the interventions minimise the damage to the existing fabric and choose the least intrusive option instead of the most economic. Radiant heaters are still proposed suspended from the ceiling.

8. Heritage Impact Assessment

8.1 Impact of the Design Proposal

DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
GENERAL			
Infrastructure upgrades, demolition, hazmat removal and sub structure works	These operations are essential to improve public safety	We consider there to be nil/minimal negative effect. The Walsh Bay precinct as a whole has undergone massive rejuvenation works over the past 15-20 years. Wharf 4/5 itself underwent major adaptive reuse in 1985. These works respect the heritage significance of the place and will not detrimentally impact upon this significance.	Carefully dismantle the structures and salvage and reuse fabric on site. All original and early fabric must be appropriately protected during construction and subsequently maintained.
Removal of timber columns. - 3 on Ground Level Wharf 4/5 - 7 on First Floor Level Warf 2/3	This is required to obtain completely open areas in the theatres and rehearsal rooms. Three of the columns are proposed to be reinstated in other areas.	This will cause some loss of original elements however the impact is considered to be minimal.	The removed columns must be numbered, tagged and securely stored. The holes in the floors should be covered with a similar type of floorboards but should not be made to mimic the existing in terms of age and patina in order to allow the clear interpretation of the removed column locations. The new patches should be appropriate and

DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
			clearly interpreted as new reparations. Removed columns could be re-instated in locations where they were removed during previous alterations.
New flooring	The new flooring will be laid down on top of the existing Ironbark floorboards to protect the heritage fabric in areas requiring acoustic treatments or heavy traffic: - In the rehearsal rooms and theatres this is a requirement for soundproofing. There is no loss of original fabric and this operation is reversible	We consider there to be nil/minimal negative effect.	Minimise fixings where possible. Significant building fabric and elements are to be protected from potential damage during the works, especially demolition works. Protection systems must ensure historic fabric is not damaged or removed.
Restoring of Ironbark floorboards	Large areas of the Ground and First Floor Level in Pier 2/3 expose the original heritage significant rough sawn floorboards.	We consider there to be nil/minimal negative effect.	In areas where the gaps between the floorboards exceed 5mm or there are raised edges that exceed 3mm in height then the floorboards shall be repaired to ensure a more even surface for OHS and equitable access requirements.
Upgrades to meet compliance with current BCA, DDA and fire codes	This is a positive outcome in achieving a better use of the space and upgrade the kitchen to a current quality and safety standards.	We consider there to be nil/minimal negative effect.	Locate all new fixings into non significant fabric where possible. Services such as plumbing, electrical, air-conditioning shall reuse existing service points and reticulation, as much as possible, or be accommodated within existing or new cavities to

DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
			avoid impact on significant fabric. Do not chase original fabric.
New lifts and stairs	This will create better circulation through and around the buildings and also provide equitable access to this state significant site.	We consider there to be minimal negative effect.	Clearly distinguish new elements from original fabric. Salvage removed original structural elements.
Creation of new public toilets	Upgrade and compliance to current and foreseeable future needs of the site as well as compliance with current codes.	N/A	Group toilets where possible to minimise service runs.
Creation of performance venues, rehearsal rooms, production workshops, back of house facilities and offices	This operation will provide for the current and foreseeable future demands of the buildings	The removal of heritage timber columns and steel trusses over will have some impact, however this is mitigated by the overall preservation of the buildings and ongoing adaptive reuse over the next 50 years.	Carefully dismantle the structures and salvage and reuse fabric on site where possible. Tag and store surplus.
Retention of a large proportion of the ground floor in its existing 'raw' heritage state for events and festivals including Sydney Writers' Festival and Biennale including venue and commercial hire.	This is a positive outcome in achieving overall conservation goals by keeping the original raw and empty status of some areas	We consider there to be nil/minimal negative effect.	Any works must allow for the maximum retention of heritage fabric.

DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
Creation of function spaces, bars, cafes and foyers extending onto external gantry platforms (balconies) providing breakout space for internal foyers and allowing views of outdoor performances	This operation is part of the strategy for a new use of the building. New balconies interpret the former travelling gantries.	We consider there to be nil/minimal negative effect.	Locate all new fixings into non significant fabric where possible.
Restoring of Heritage Items: - Dead House - Bag Shute	This is a positive outcome in achieving overall conservation goals by restoring existing heritage items.	We consider there to be nil/minimal negative effect.	All original and early fabric must be appropriately protected during construction and subsequently maintained.
Creation of dedicated areas for Interpretation of movable heritage items	There is an extensive interpretation display throughout the Walsh Bay Precinct and this is a continuation of that, providing for displays and interpretation of moveable heritage items explaining the past industrial maritime use of the place to the public.	We consider there to be nil/minimal negative effect.	All interpretation should be guided by the Interpretation Plans and Strategies prepared on the place in consultation with the heritage architect. Locate all new fixings into non significant fabric where possible.

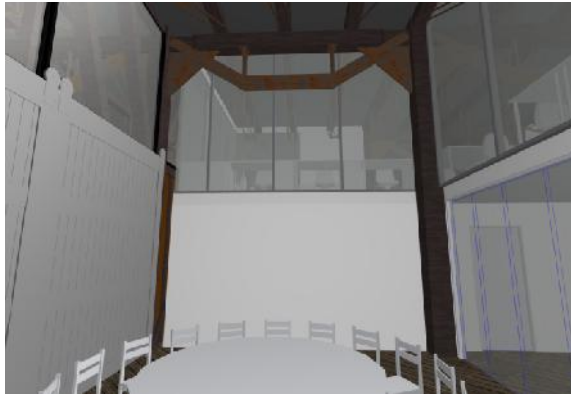
DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
EXTERNAL			
External stairs for fire egress	This reconfiguration of external stairs will improve safety and movement for people during major events. In both Pier 2/3 & 4/5 a consistency of contemporary detailing will articulate these new elements across the WBAP.	We consider there to be nil/minimal negative effect.	Locate all new fixings into non significant fabric where possible.
New external lift for access	This is a positive outcome to provide equitable access to this state significant place. By a well considered design placing the lift outside of the building, this reduces the loss of heritage fabric that an internal lift would create.	We consider there to be nil/minimal negative effect.	Locate all new fixings into non significant fabric where possible.
Installation of glazing in existing cargo sliding door openings and other solid panels on the eastern, western and northern elevations to allow for views into and out of the building.	New balconies will improve the view from the Wharfs and lighting into the Piers and interpret the travelling gantries which once moved along the aprons.	We consider there to be nil/minimal negative effect.	All original and early fabric must be appropriately protected during construction and subsequently maintained.
Roof penetrations within the central valley at the southern and northern end to accommodate new performance spaces and associated structural modifications including truss	This operation is necessary to create additional space in height, necessary for performance and set accommodation. Roofs of the Walsh Bay Wharves have been modified during the redevelopment that has taken place over the past 15	We consider there to be minor impact. In context of the size of the structures, this is a small compensation which will adequately accommodate current and foreseeable future demands on the place.	All original and early fabric must be appropriately protected during construction and subsequently maintained.

DESIGN PROPOSAL	POSITIVE EFFECT	NEGATIVE EFFECT	RECOMMENDATIONS
strengthening.	years, setting a precedent.	This is demonstrated by the visual impact analysis.	
Installation of ESD elements, such as photovoltaic panels and seawater heat exchange systems	This is in line with current best practice in sustainable design.	We consider there to be nil/minimal negative effect.	Locate all new fixings into non significant fabric where possible. Locate PV cells on new roof elements. Locate chillers past first two rows of columns under the deck.
Raising of the external floor level on the eastern side by introducing a new raised deck and continuous set of stairs beyond the existing column line	This allows level access to both sides of pier 2/3. This deck will be detailed in a reversible manner.	We consider there to be nil/minimal negative effect.	Ensure new work is identifiable as such in accordance with Burra Charter principles.
Proposed Public Domain	The current design of the public domain has a strong distinction between the existent Wharfs and the addition, as an independent element but well connected with the surrounding and the original idea of the bay. The modern materials and colours mark the distinction to the heritage buildings. It is at the water level, so it doesn't impede or obstruct any vistas or views of the site, but it creates a new viewpoint to admire the existing Wharfs.	We consider there to be nil/minimal negative effect.	Ensure new work is identifiable as such in accordance with Burra Charter principles.

8.2 Wharf 2/3: Impact of the Design Proposal by Area

Ground Level Wharf 2/3

Wardrobes, Workshops, Tech, Reception, Meeting, WCs, Utility, Meeting, Archive, Lift



Bell boardroom. 3D by TZG

WORK DESCRIPTION:

Removal lift and stair of 2003.

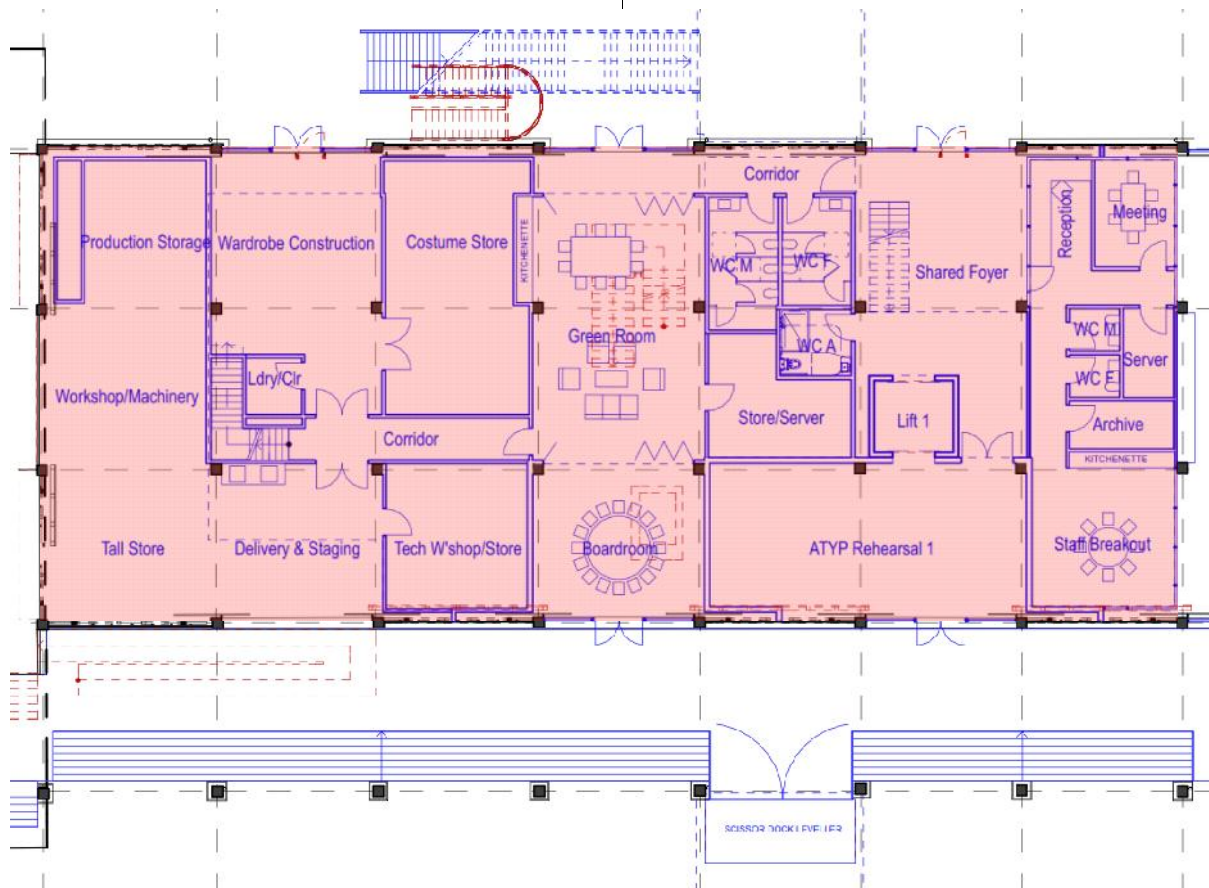
New partition walls.

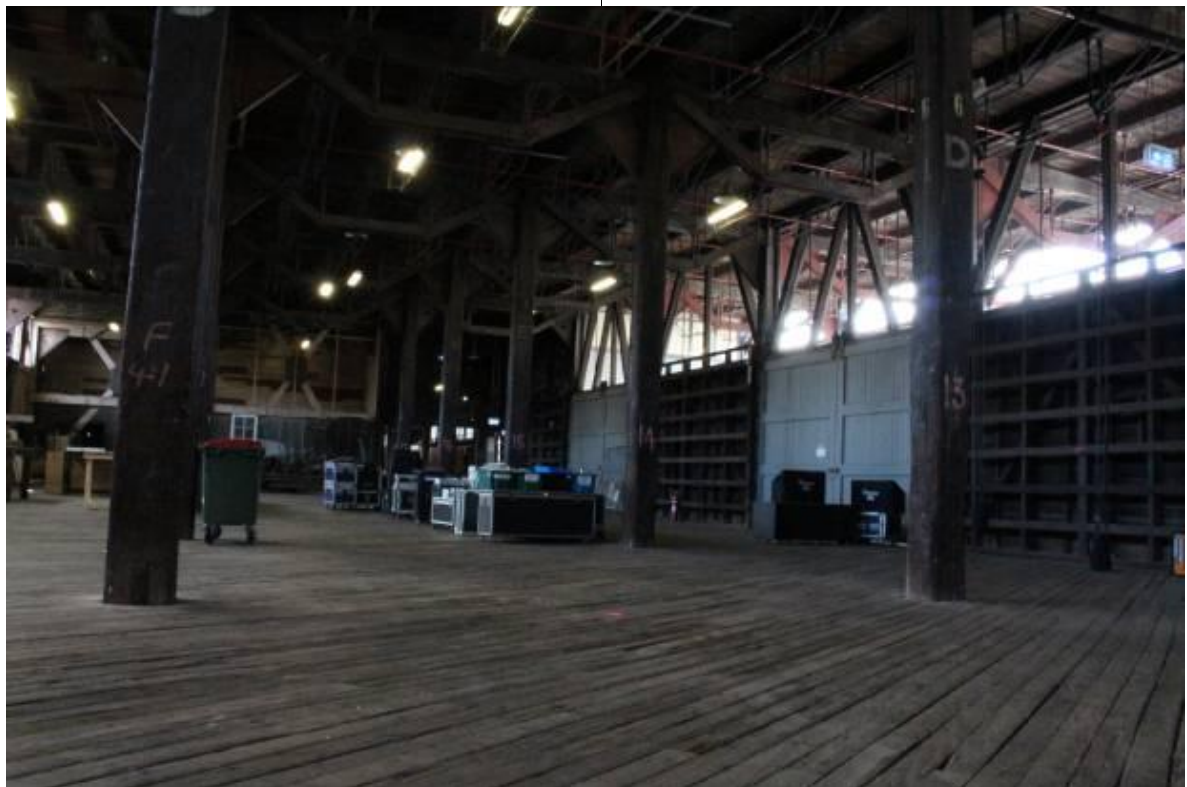
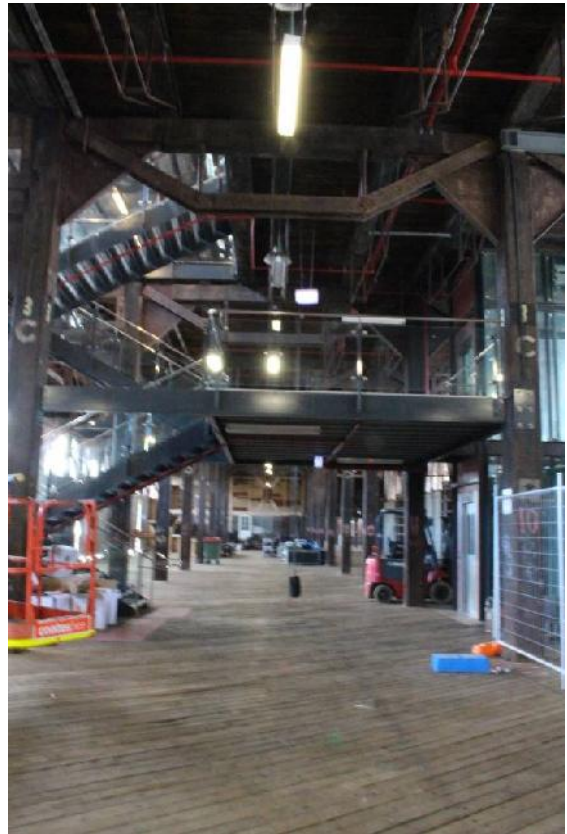
POSITIVE EFFECTS:

New partition walls are set back from external walls and generally following the spacing of the existing strongbacks, reinforcing the heritage volume of the place.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.





Ground Level Wharf 2/3

Commercial 1

Flexible Open Space



WORK DESCRIPTION:

The brief calls for a large raw space for temporary events. This space has minimal interventions to maintain and celebrate the heritage structure, which spans the full width of the building, and to capture views both into the precinct and toward the Sydney Harbour Bridge. The structure, floor and external walls are to be left largely untouched. The cargo doors will have glazing infill installed and space heating will be provided to provide thermal comfort year round.

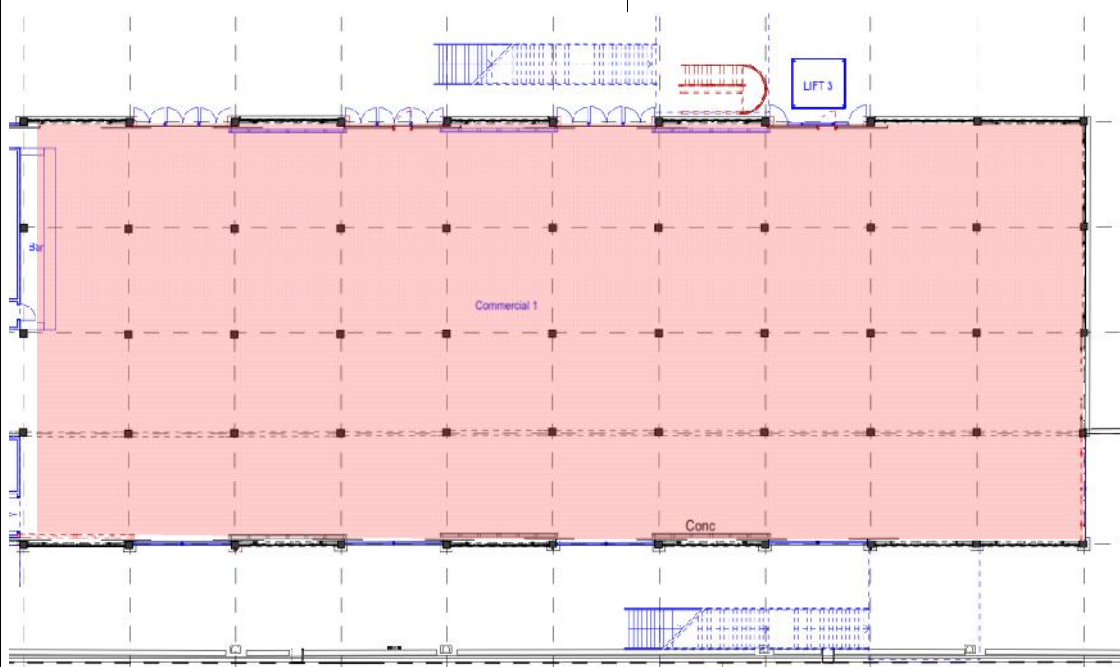
The event space spans the full width of the building, offering views both east and west. A new opening is proposed in the eastern bay of the north wall interpreting the former extend of the colonnade, providing northerly views to the Harbour.

POSITIVE EFFECTS:

A well considered design limiting intervention to heritage fabric and upgrading to current and foreseeable demands for use as a public exhibition space.

NEGATIVE EFFECTS:

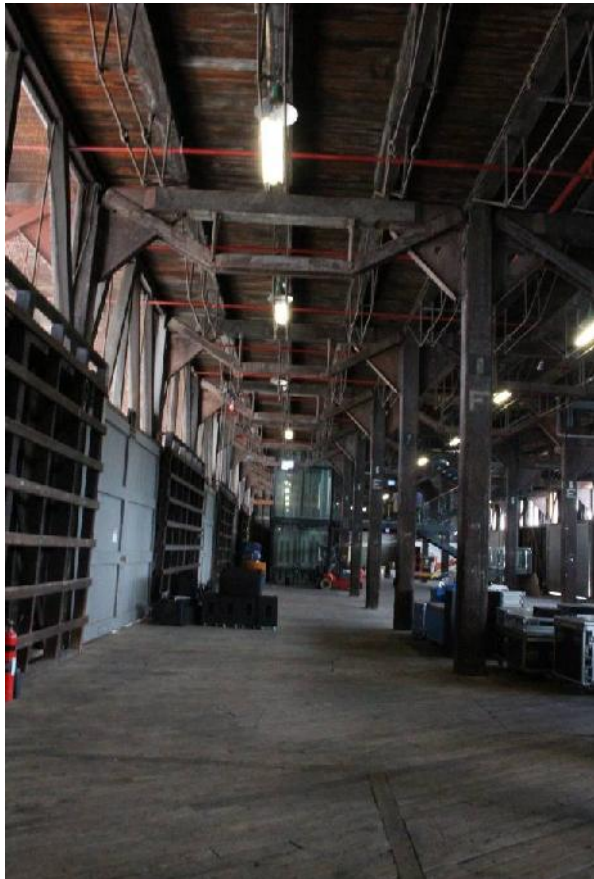
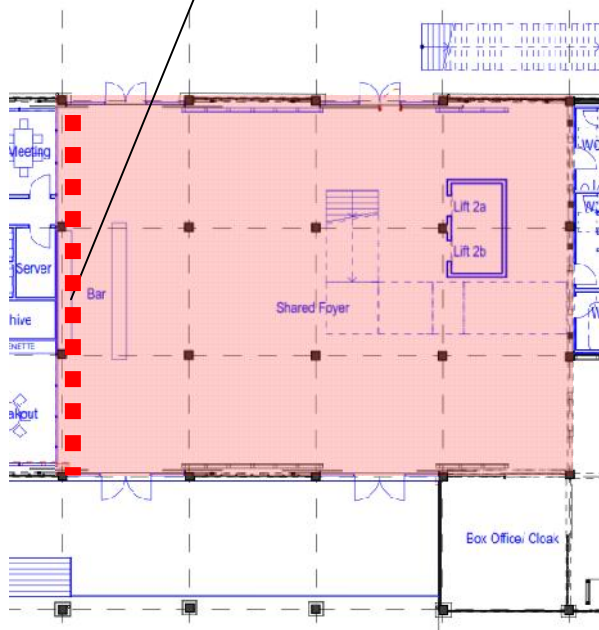
We consider there to be nil/minimal negative effect.



Ground Level Wharf 2/3

Public Foyer

Interpretation



WORK DESCRIPTION:

The main lobby is located in the centre of the lower shed providing access to the northern event space and, via a glass lift and stair, to the performance spaces in the upper shed. The lobby has two 6m-wide cargo-door openings to both the eastern colonnade and the western apron, providing public access through the building in addition to views of the Arts Precinct to the West and Sydney Harbour Bridge to the East. The 350m² lobby is designed to operate as a function space, either independently or in conjunction with, the larger Commercial Arts/Events space to the North.

POSITIVE EFFECTS:

Appreciation of heritage structure.
Interpretation wall for Heritage Movable Items.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



3D render by TGZ

Ground Level Wharf 2/3

Kitchen/Bar Block and WCs

WORK DESCRIPTION:

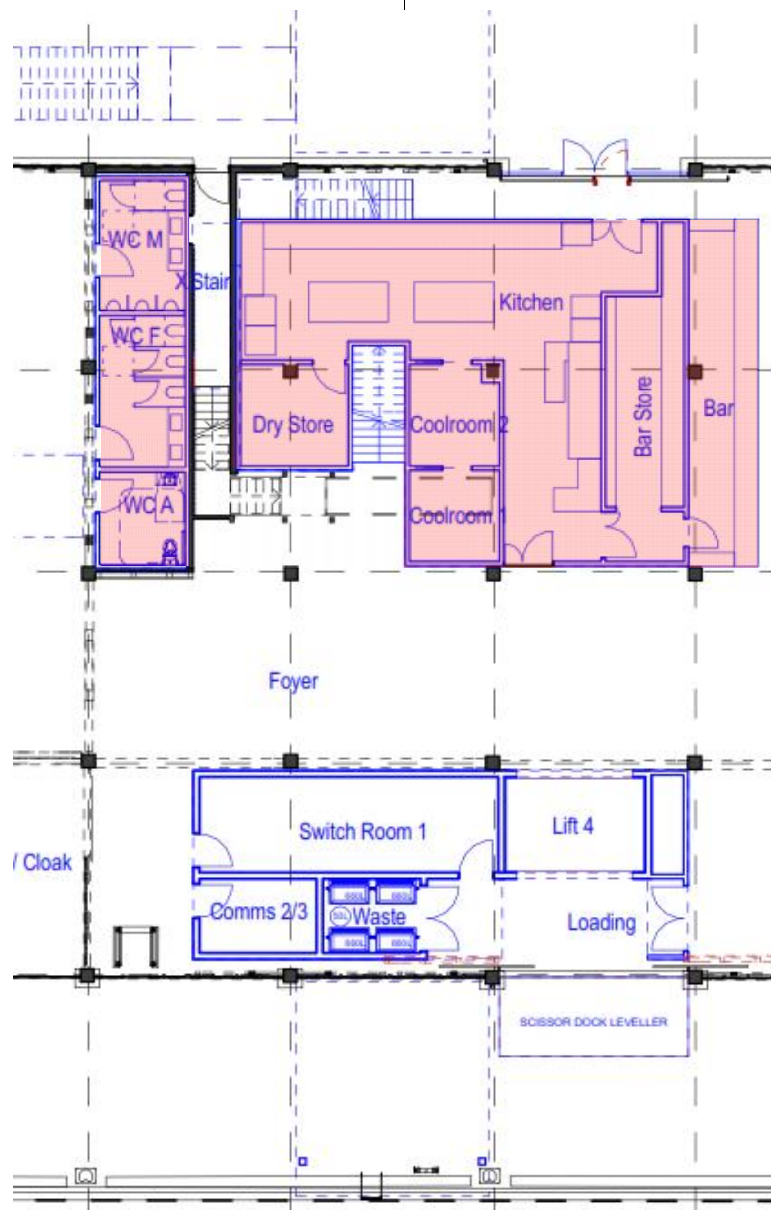
Insertion of kitchen, bar and toilets with relative plumbing.

POSITIVE EFFECTS:

The new use of the Wharf requires amenities, for both the public and staff, to satisfy not only the BCA but also the visitor's experience.

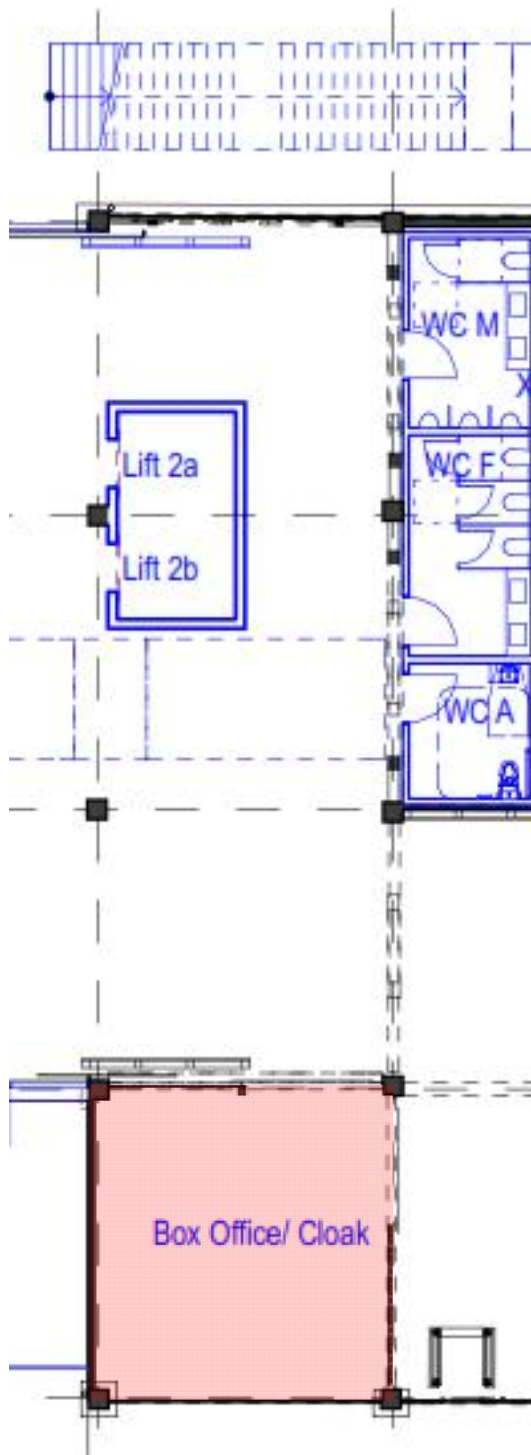
NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Wharf 2/3

Box Office /Cloak, Services



WORK DESCRIPTION:

Restoration of the Heritage significant Dead House and reusing it as box office.

POSITIVE EFFECTS:

This is a clever adaptive reuse of this significant element, ensuring it is an integrated part of the new life of Wharf 2/3.

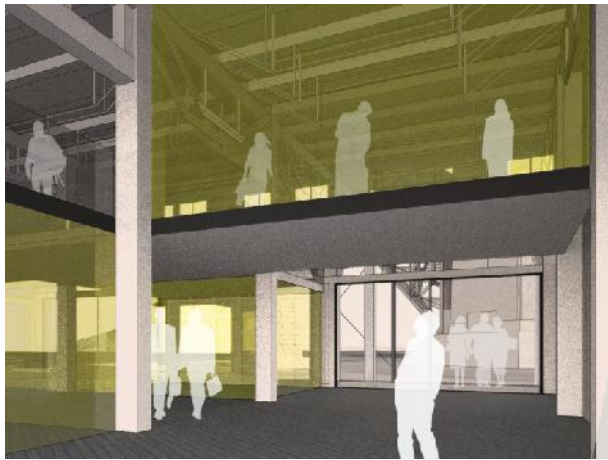
NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Mezzanine Level Wharf 2/3

Open Plan Office ; Offices ; Meeting Rooms



3D by TGZ

WORK DESCRIPTION:

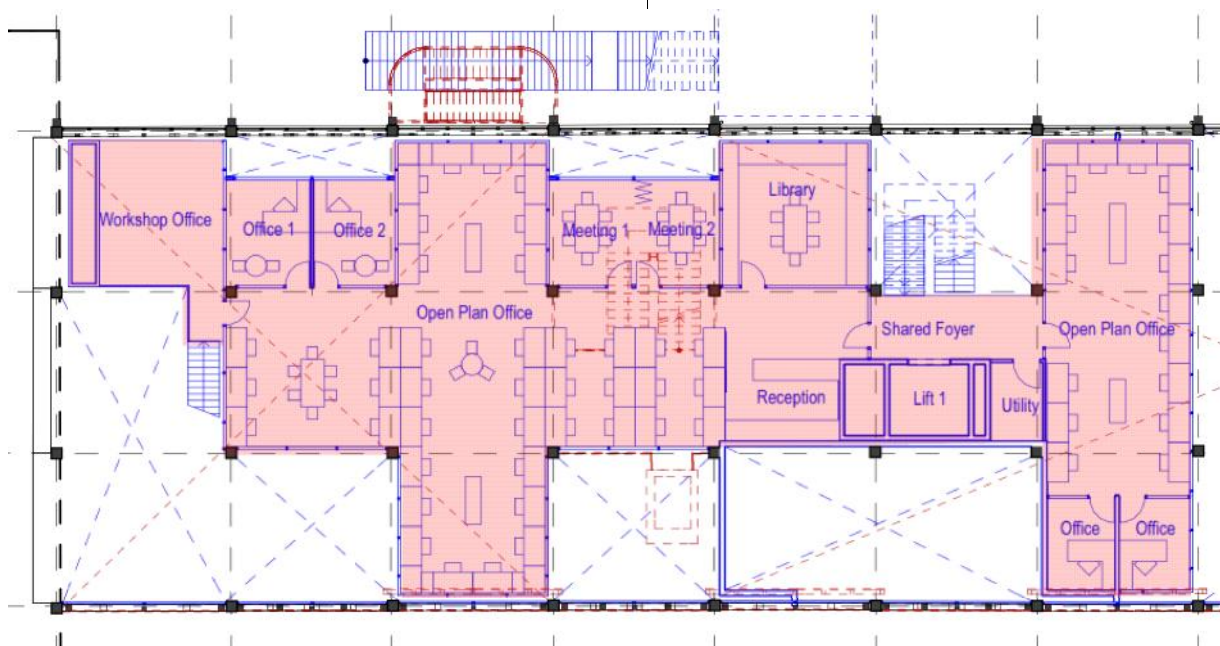
At the south end of the lower shed, mezzanines are carefully located to reveal the full height space immediately inside the cargo doors. Mezzanine floors have been set back from the cargo doors at the facade in order not to interrupt the existing rhythm of the facade and to permit their operation. Mezzanine floors will be designed as inserted contemporary elements, clearly independent of the original fabric.

POSITIVE EFFECTS:

Insertion of mezzanine floors is appropriate to the former uses and scale of the building.

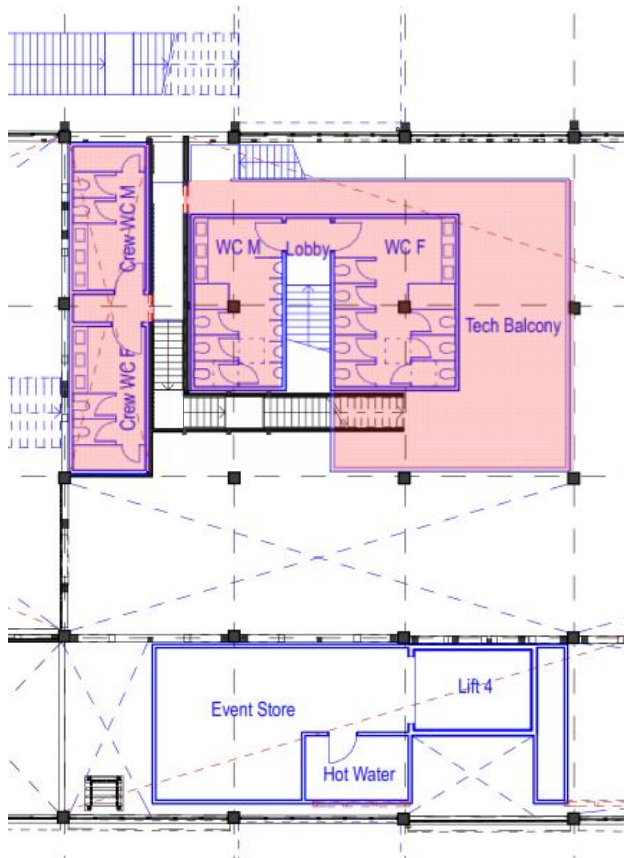
NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Mezzanine Level Wharf 2/3

WCs and Tech Balcony



WORK DESCRIPTION:

Insertion of a new mezzanine floor

POSITIVE EFFECTS:

Insertion of mezzanine levels for needed space is an accepted design in industrial buildings and is appropriate here.

The new use of the Wharf requires amenities, for both the public and staff, to satisfy not only the BCA but also the visitor's experience.

Toilets are grouped in this new area. Plumbing is located in the new floor and walls which are set back from the heritage fabric, limiting impact.

NEGATIVE EFFECTS:

Downstairs accessible toilet may require removal of top layer of flooring to achieve levels.

Removal of fabric mitigated by improved functionality. Impact is minor.

Level 1 Wharf 2/3

Rehearsal Rooms

POSITIVE EFFECTS:

Works will cater for the current and foreseeable future demands of the place.

NEGATIVE EFFECTS:

Removal of two timber posts, installation of new beam and truss strengthening. Mitigated by improved functionality. Impact is minor.

WORK DESCRIPTION:

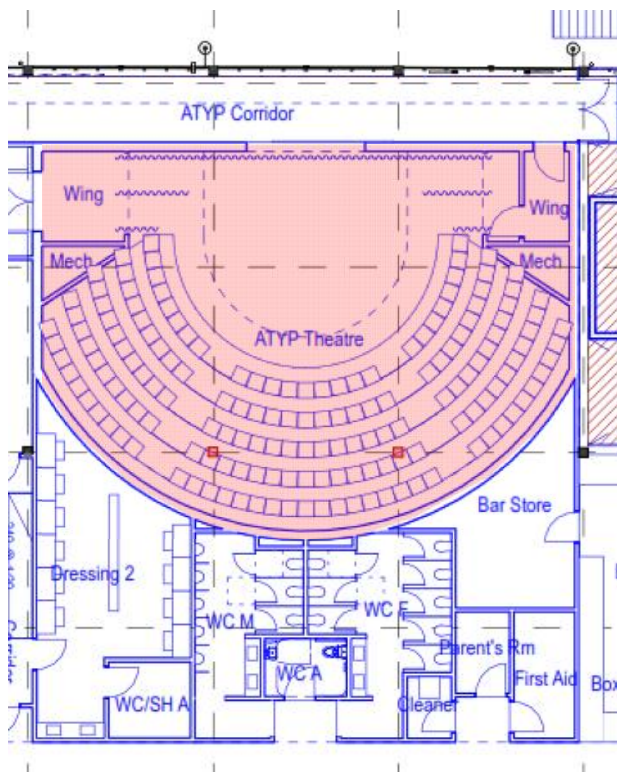
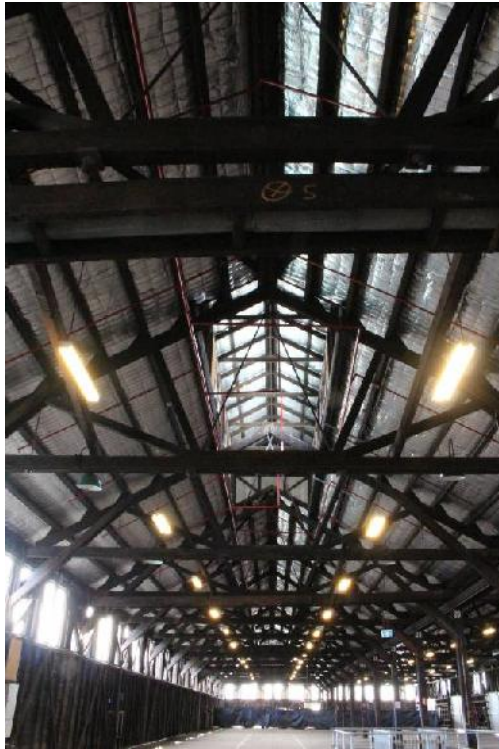
Because of the need to provide a very tightly controlled environment to protect valuable music instruments, the air-conditioning system will need to operate out of normal operational hours. The systems required to control humidity separately from the adjoining auditorium will need careful assessment for noise control.

Mechanical plant is located in the raised section of roof between the valleys.



Level 1 Wharf 2/3

ATYP Theatre



WORK DESCRIPTION:

Auditorium and rehearsal space are required to be column free and are thus located in the upper shed to minimise removal of existing structure. It cannot be avoided to accommodate the arts companies' requirements. New insertions will be expressed as distinct architectural elements that will read as objects independent of the original fabric. This performance space present a raised floor over a concrete topping.

The design of the air-conditioning system ensure that the ductwork does not interfere with the technical theatre systems and to avoid the system being overly noisy.

The southern half of the upper shed accommodates a 200 seat theatre for ATYP and three large rehearsal spaces. These have been arranged to minimize the removal of heritage fabric.

The theatre is arranged in a semi-circular, thrust arrangement with a steep rake. This limits the distance required for children performers to project their voices and maximises a sense of intimacy and audience engagement.

POSITIVE EFFECTS:

Design has been well considered to minimize impact on heritage fabric and removal

NEGATIVE EFFECTS:

Removal of two timber posts, installation of new beam and truss strengthening. Mitigated by improved functionality. Impact is minor.



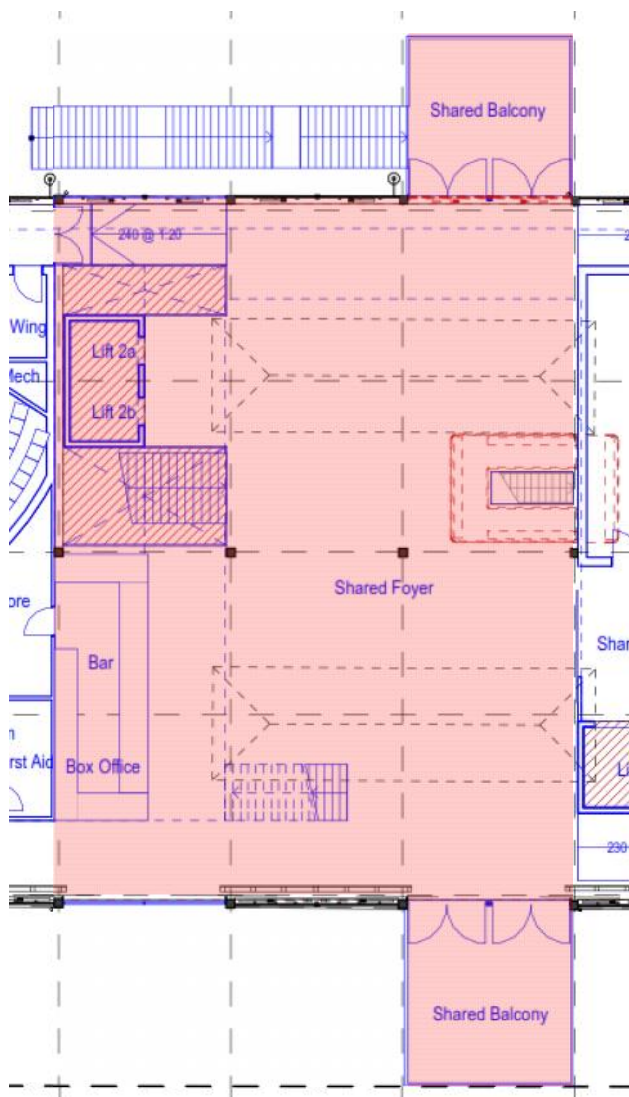
3D by TGZ

Level 1 Wharf 2/3

Shared Foyer



3D by TGZ



WORK DESCRIPTION:

At the centre of Level 1 is a double-height foyer with a mezzanine. The foyer is set over two bays, underneath the existing lanterns and is bounded on either side by new performance spaces. These are expressed as new volumes separate and distinct from the original structure. Both east and west sides of the foyer open onto generous external balconies. The central foyer connects all of the circulation routes in the upper shed. To the south of the foyer, a front of house corridor along the eastern side gives access to public amenities and Bell's rehearsal spaces. To the north of the foyer, a front of house corridor along the western side gives access to ACO's auditorium and other facilities along with the independent function space.

The mezzanine level of the foyer wraps around the east side of the ATYP theatre providing a separate pre-show function area for ATYP with views of the Sydney Harbour Bridge. Access to the ATYP theatre and supplementary access to the ACO auditorium also occurs at the mezzanine level.

POSITIVE EFFECTS:

Improved circulation and functionality of the space. New work is distinct from the heritage fabric.

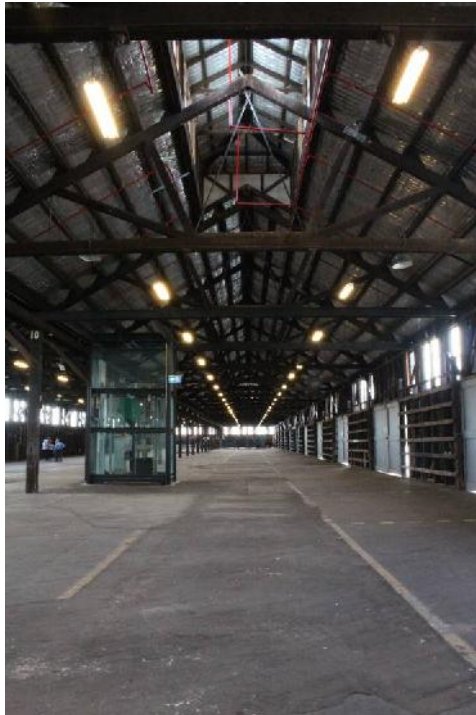
NEGATIVE EFFECTS:

Heritage stairs from lower shed capped at this level. The handrail is removed.

Removal of fabric mitigated by improved functionality. Impact is minor.

Level 1 Wharf 2/3

ACO Auditorium and Rehearsal Room



WORK DESCRIPTION:

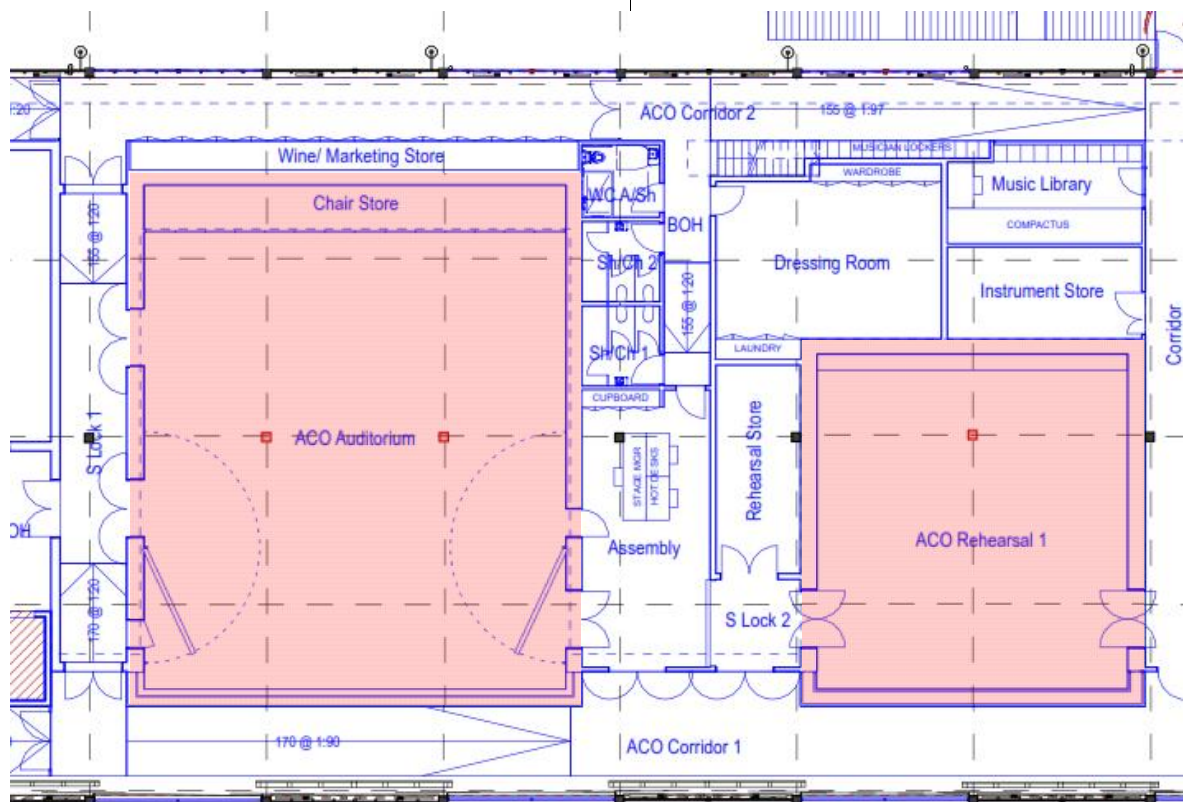
The ACO auditorium is located in the northern half of the upper shed. To achieve the required volume, the central valley will be replaced with a flat roof. Four storey posts are to be removed and the existing trusses are to be reinforced to achieve the required span. The auditorium is proposed to have full height glazing for three bays on the east side providing expansive views of the Sydney Harbour Bridge as the backdrop to the performance. The proposal to reinstate high level glazing along the upper level of the east facade will enhance these views from within the auditorium. Floated floor for main space. Isolated ceiling and lining with rain noise control. Internal walls mounted on floated floor. Secondary glazing to outside.

POSITIVE EFFECTS:

Retention of large spaces.

NEGATIVE EFFECTS:

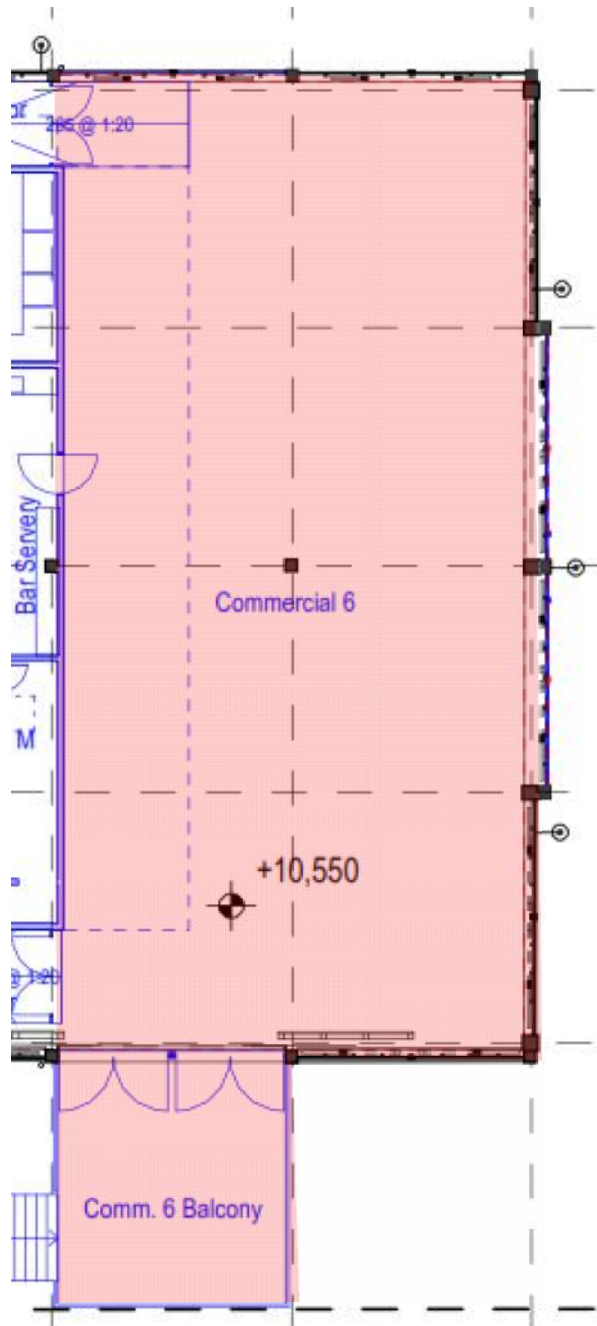
Removal of three timber posts. Mitigated by improved functionality. Impact is minor.



Level 1 Wharf 2/3

Commercial 6 and Balcony

Flexible Open Space



WORK DESCRIPTION:

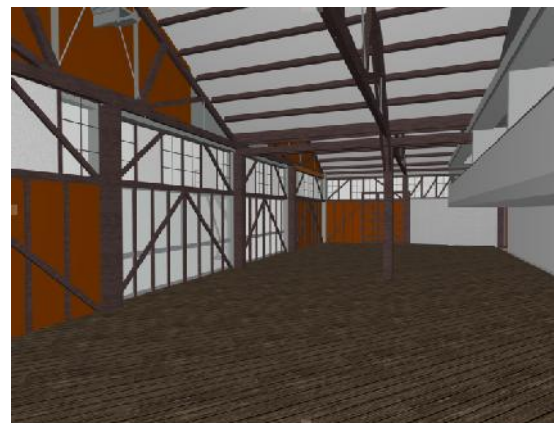
At the north end of the building is a 300m² full height function space with panoramic views of the precinct to the west, the harbour to the north and the Sydney Harbour Bridge to the east. Access to the function space is via an external lift and stair along the eastern facade. The function space has a balcony to the east with stairs accessing the apron of Pier 2/3.

POSITIVE EFFECTS:

The new spatial strategy and logical planning sequence allows for the appreciation of an increased heritage volume that is naturally ventilated and expressed along the eastern and western facade. It also opens the full width of the wharf. This also enables the newly configured spaces beyond to be thermally and acoustically treated in a manner appropriate to their program without compromising the heritage envelope.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



3D by TZG

Level 2 Wharf 2/3

Offices and Meeting Rooms

POSITIVE EFFECTS:

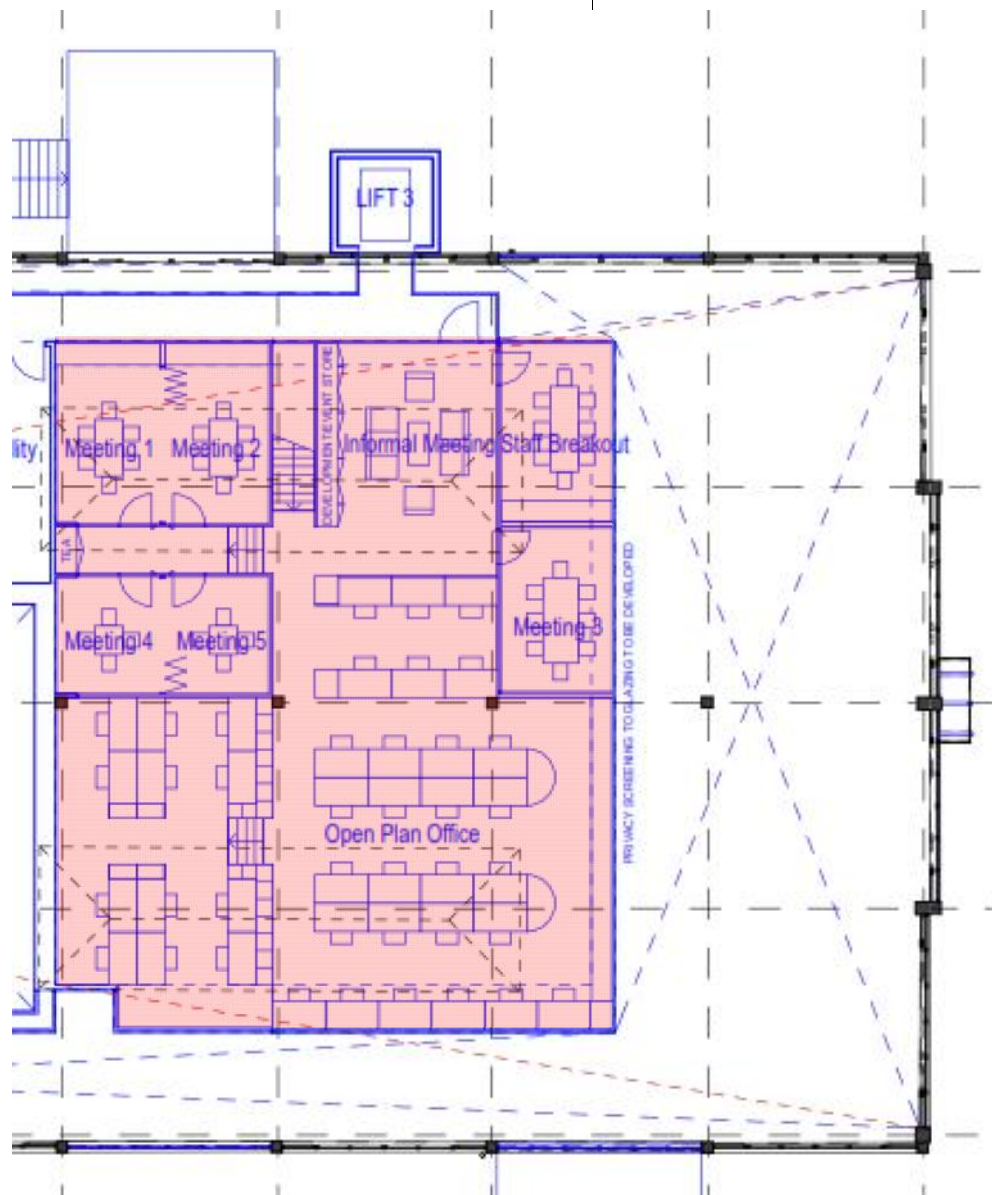
The new insertions need to connect back to the existing structure in a carefully considered manner. Following the precedent that exists elsewhere in Walsh Bay, new structure will be readily identifiable as distinct from the heritage fabric. A sensitive approach to detailing will enable the effective transfer of loads, preserve the heritage interpretation of the original elements, and provide a high quality built outcome that enhances the overall character of the project.

WORK DESCRIPTION:

ACO's office is located at the northern end of Level 2 accessed via a new external lift and stair on the west facade or internally via a stair from the front of house corridor on the western façade of level 1. The office space overhangs the independent function space and will require acoustic separation to limit disturbance from below during events.

NEGATIVE EFFECTS:

Loss of empty large areas mitigated by improved functionality. Impact is minor.



8.3 Wharf 4/5: Impact of the Design Proposal by Area

Ground Level Shore Shed 4/5

Waste, Commercial and Office Manager



WORK DESCRIPTION:

Removal light weight walls. New layout configuration.

POSITIVE EFFECTS:

Reintroduction of larger areas.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Shore Shed 4/5

Commercial, Rehearsal and Services



WORK DESCRIPTION:

Removal lightweight walls and ceilings.

Removal of roller shutter on Hickson Road.

Insertion of new mezzanine office level.

Introduction of air-conditioning.

POSITIVE EFFECTS:

Better organised areas.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Wharf 4/5

Commercial and Services

WORK DESCRIPTION:

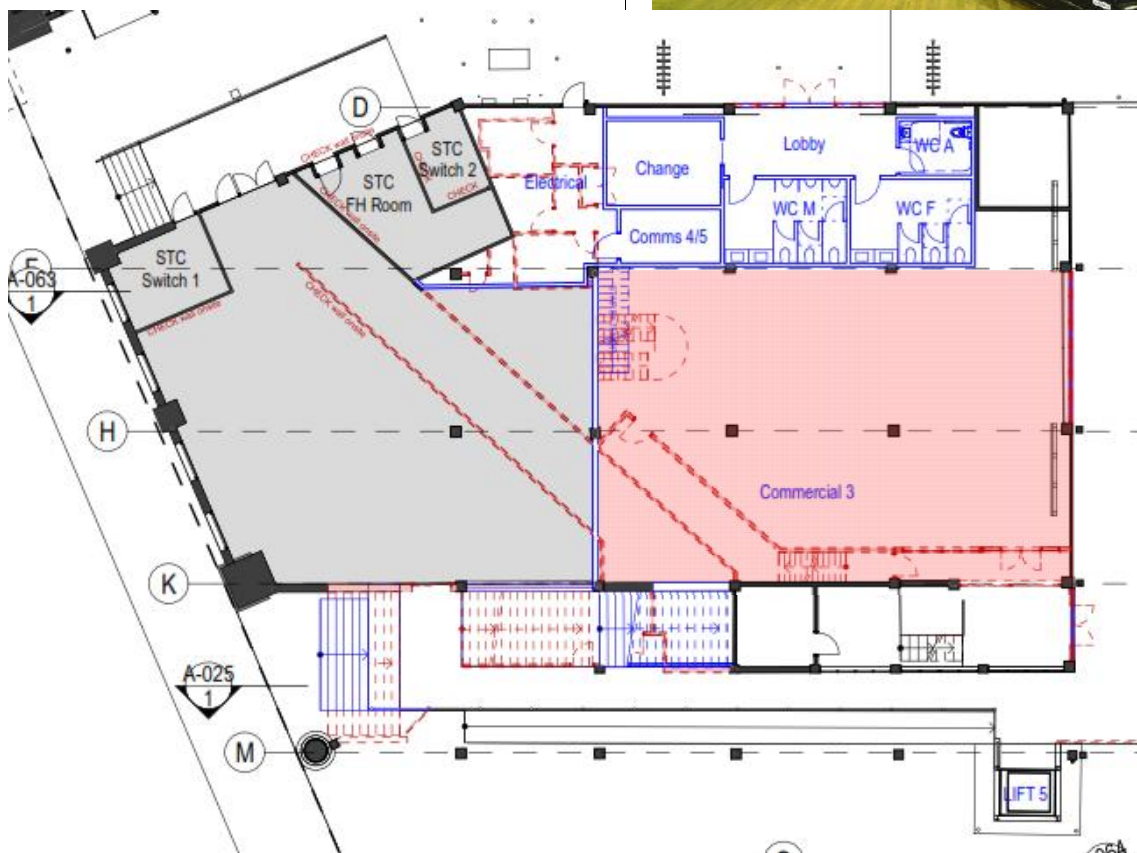
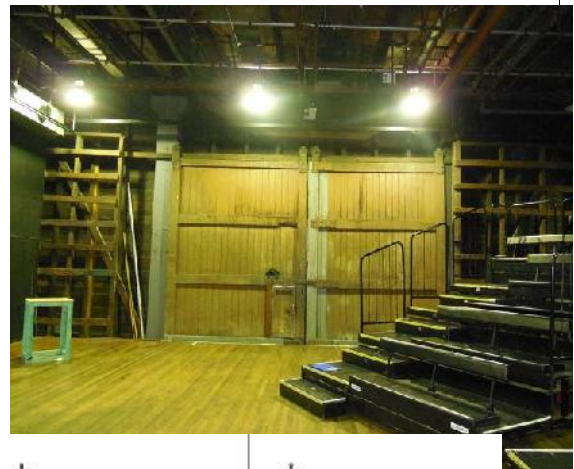
Removal of partition walls and recent mezzanine structures.

POSITIVE EFFECTS:

Reintroduction of larger area.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Wharf 4/5

Cafe and Studios

WORK DESCRIPTION:

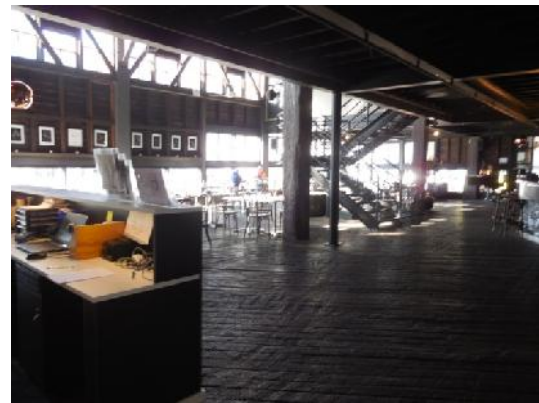
Demolition of stairs.

POSITIVE EFFECTS:

The existent large rooms are kept as they are.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Wharf 4/5

Workshops & Studio

WORK DESCRIPTION:

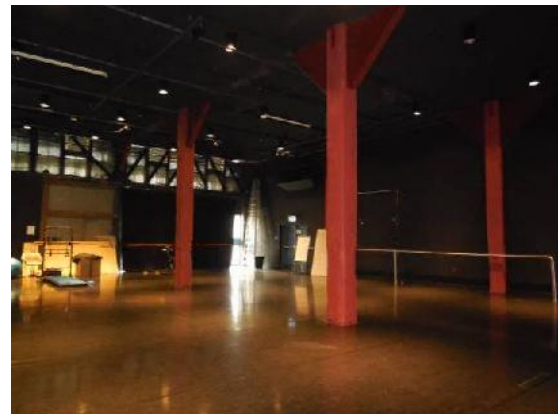
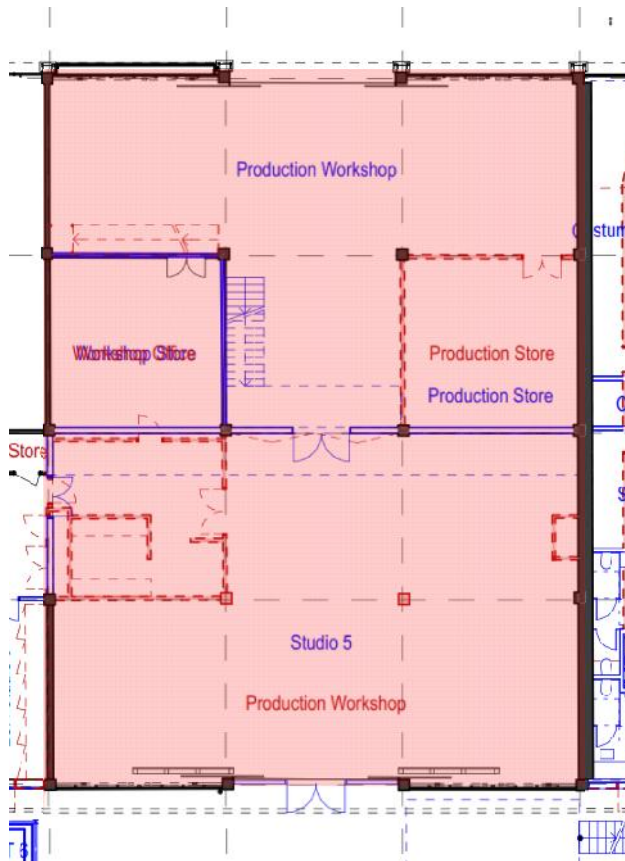
New layout.

POSITIVE EFFECTS:

Improved configuration of large areas.

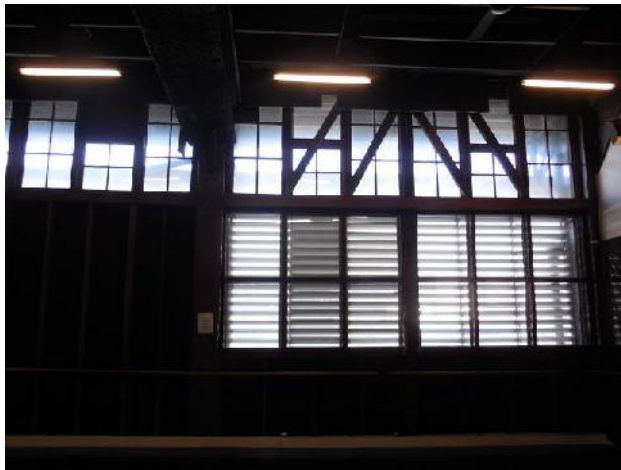
NEGATIVE EFFECTS:

Loss of large open areas mitigated by improved functionality. Impact is minor.



Ground Level Wharf 4/5

Bangarra



WORK DESCRIPTION:

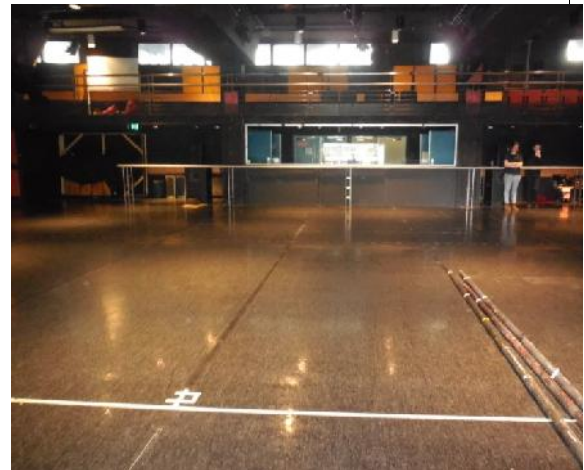
Re-introduction of large open areas.

POSITIVE EFFECTS:

Two studios retained. Recent cellular fit-out removed.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



Ground Level Wharf 4/5

Foyer/Exhibition Space/Function Room



WORK DESCRIPTION:

Demolition of partition walls, recent mezzanine, floor tiling and stairs.

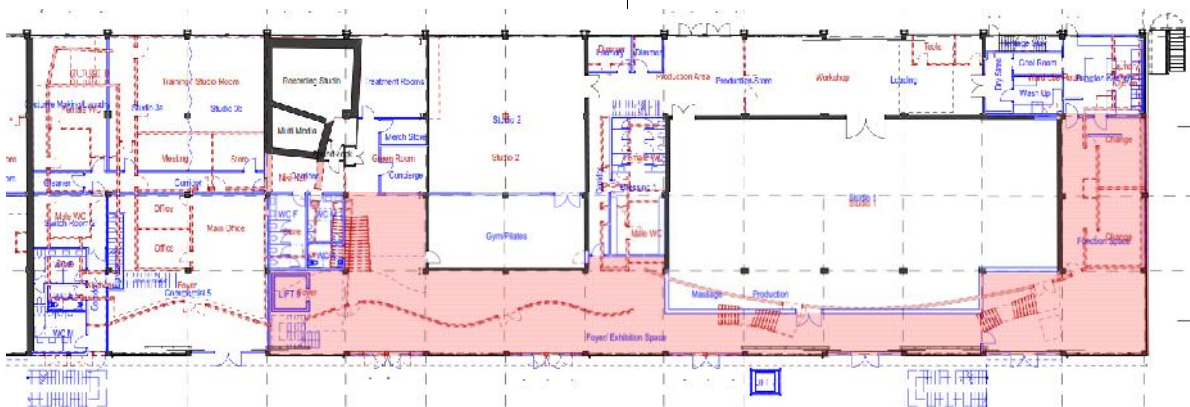
POSITIVE EFFECTS:

Improved configuration of large areas.

New fit-out to create double height foyer exhibition space to the east and function room to the north.

NEGATIVE EFFECTS:

We consider there to be nil/minimal negative effect.



8.5 Conclusions of Impact

This report has examined and reported on the information available as a resource for ongoing restoration and adaptive reuse of the Wharves at Pier 2/3 and 4/5. Throughout the documentation a number of policies and constraints have been incorporated and compiled demonstrating the importance of the Place and to ensure that any use ongoing maintenance or adaptive reuses comply with the Burra Charter and the standards required under the Heritage Act 1977 and Aboriginal heritage legislation in NSW as amended pertaining to items of State Significance.

Wharf 4/5 has a long history as an Arts Pier and as an exemplar has a number of lessons to inform the development of the restored Pier 2/3.

The design for Pier 2/3 and Wharf 4/5 is one which will require alteration to the fabric, and the proposed uses of the buildings will by the nature of the long leasehold, change from an abandoned Port facility to a cultural performance based occupation, for the foreseeable future.

With this in mind the design must address the matters of interpretation of the original fabric in its original context as well as how it the new uses of performance spaces, services and backstage functions are incorporated into without undue damage.

The two Pier structures both include large scale theatres which require alterations to the roof line as well as services interventions and matters of access and fire egress. There will be a constancy in treatments for all areas within the precinct derived from a well considered design philosophy which acknowledges the constraints of building within a state significant site.

The various approvals have instructed the way in which the historical, aboriginal and archaeological research and impacts are to be assessed.

Land and marine based archaeological reports are included.

The design is refined sufficiently to resolve all matters which pertain to the adaptive reuse, the Heritage legislative requirements and the Burra Charter while fulfilling the essential need of providing Performance spaces to international standards.

8.5.1 General

- i **Architectural responses to the need to identify the historic context in the new design** have been considered using the most direct routes and identifying with an industrial aesthetic.

- ii The design has extended the area of **the raised roof section** however it was the conclusion of the Design 5 report that this style of roof was relatively inconspicuous when viewed from key vantage points and vistas.
- iii **Roof plant rooms** on the Pier 4/5 have been historically located to the north between the two pitched roofs.
- iv Pier 4/5 has had an extensive **photovoltaic array installed** on the faces of the roof. This was the subject of a Section 60 approval and shall remain. New PV cells are proposed in a similar manner to the new roof of Pier 2/3.
- v **Services interventions** (note the impact in this document) have been designed to be subservient to the structure. The roof plant has been concealed in Pier 2/3 by the low roof design recommended by Design 5
- vi **Fire rating** Where required by law the structural members have been fire rated in accordance with the code and life safety requirements this may in some instance conceal certain members or be at variance with the Historic Aesthetic. In all cases alternatives have been explored with the final proposal considered to be the most appropriate outcome to comply with all requirements.
- vii **The wharf Apron and performance spaces** are designed in accordance with the original approved proposal and take cognisance of the original wharf layout. These spaces are required to address the life safety needs of the public and comply to those regulations as a priority. The original outline and form of the wharf decks have been interpreted in the design
- viii **The Structural solutions** and removal of heritage fabric have been prepared in a similar manner as described in the Design 5 report.
- ix **The large scale spans** in both wharf buildings are treated similarly and there is a unity in the structural solutions. The impact is acknowledged by Design 5 as being significant to the Exceptional heritage fabric but necessary to achieve the outcomes for the WBAP.
- x The large performance spaces have been reviewed for alternative solutions and the structures have been kept and strengthened rather than removed or replaced. In each large space while the impact is of significance the outcomes comply with the policies in that the form and nature of the building is not lost.
- xi **Minimal material will leave the site** and where possible parts will be dismantled carefully and used in interpretive displays or reused a structural elements **where in the case of Pier 4/5 STC repositioned back three columns where was removed.**
- xii **Architectural responses to the need to identify the historic context in the new design** have been considered using the most direct routes and identifying with an industrial aesthetic.
- xiii **Plant rooms on Pier 2/3** have been generally placed beneath a new low roof system which is below the ridges of the roofs. This is in order to comply with the directives in the

- Design 5 report. The design has extended the area of the raised roof section however it was the conclusion of the Design 5 report that this style of roof was relatively inconspicuous when viewed from key vantage points and vistas. Roof plant rooms on Pier 4/5 have been historically located to the north between the two pitched roofs.
- xiv Apron fire escapes and access including lifts and stairs have been incorporated to allow adequate access for egress and equitable access under the DDA and BCA and AS1428. These have been designed in **a simple and sympathetic contemporary aesthetic language** which is consistent throughout the precinct. The escape concepts were approved in the Walsh Bay redevelopment.
 - xv The planning of the interior fitouts is consistent in both Piers where the exterior walls are kept generally clear of the performance or functional spaces.
 - xvi The Architects TZG at Pier 2/3 have **developed a detailing and planning language** which reflects the policies and heritage philosophies and desired outcomes.
 - xvii **Tropman and Tropman** as heritage consultants have observed and advised on the techniques which are to be adopted which will ensure that heritage fabric is not lost or obscured and where there has been no alternative but to remove heritage fabric chiefly to allow the approved performance spaces to be adequately designed, the least intrusive technique have been used at TTA instigation. The design teams have in the main acted in accordance with the policies in the endorsed CMPs and the Design 5 report recommendations.

8.5.2 Summary Comments on SEARS – SSDA Conditions

Prepare a Heritage Impact Assessment that:

- describes the heritage significance of all heritage items on the site (including external, internal and moveable heritage features) and those surrounding the site including submerged maritime heritage and all archaeology;

This has been completed and is included and part of the HIS. A number of reports cover this aspect including an extensive site catalogue with recommendations by GML and also a site specific Interpretation Strategy by CHL consultants. Attached to this HIS is a Maritime Archaeological Report prepared by Cosmos Archaeology, an Terrestrial & Aboriginal Archeological Report prepared by CRM.

- describes the potential impact of the proposal on the significance of the site, its components and values;

This has been completed and is included and part of the HIS. Attached to this HIS is a Maritime Archaeological Report prepared by Cosmos Archaeology, an Terrestrial & Aboriginal Archeological Report prepared by CRM.

- assesses potential impacts of the proposal on Aboriginal cultural heritage values and where Aboriginal cultural heritage values are identified include measures to avoid, conserve or mitigate against the impact and consult with the Aboriginal people to identify the significance of the cultural heritage item;

A Terrestrial & Aboriginal Archeological Report prepared by CRM is attached to this HIS.

- addresses the proposal against the policies of the endorsed Conservation Management Plans for Wharves Precinct and specific buildings and the proposed adaptive reuse measures to minimise impacts on the buildings, moveable heritage items and any archaeology;

This has been completed and is included and part of the HIS

- proposes opportunities to interpret the site's heritage significance and archaeology maritime and historical association; and

This has been completed and is included and part of the HIS

- include a framework to manage and fund the maintenance of public domain/common areas through a committee of owners to maintain a consistent visual character throughout the Walsh Bay Precinct;

This is a redundant requirement. The Walsh Bay Precinct Committee has a series of by-laws which bind all strata owners as part of the Walsh Bay Redevelopment. This as an active and ongoing registered strata committee and includes government authorities as well as private owners. The by-laws and regulations are extensive and cover such matters a signage, garbage and waste access, and the preservation of state significant relics in each Startum Lot.

The liability for relics lies with each Strata 99 year lease owners corporation.

ARTS NSW must comply with the by-laws.

- Provide an Archaeological Assessment and Management plan, prepared by a suitably qualified person, to assess the likelihood of significant historical, maritime and aboriginal archaeology on the site, how this may be impacted by the project and measures to mitigate impacts.

This has been completed and is included and part of the HIS

8.5.3 SSDA Conditions not included in the SEARS

- addresses consistency with the Heritage Council's recommended conditions of consent for SSD 6069 dated 16 September 2016 and B2 – B7 of the Development Consent for SSD 6069 dated 15 May 2015;

- Condition B2 - Heritage requirements for future DAs:

- 1) All future DAs shall be accompanied by a Heritage Impact Assessment;
- 2) All future DAs shall demonstrate compliance with:
 - a) The conclusion and recommendations of the Heritage Impact Assessment prepared by Design 5 dated 23 June 2014;

This has been addressed in the HIS

- b) Undertake complete and comprehensive archival recording of the WBAP in accordance with NSW Heritage Division Guidelines, Copy of the archival documentation to be submitted to City of Sydney Archives, Heritage Council and State Library of NSW.

This has been completed and includes all of the WBAP and Pier 4/5 STC

- c) Prepare an Interpretation Plan for movable heritage currently housed at Pier 2/3 in consultation with RMS and Heritage Council. The Interpretation Plan shall take into consideration the recommendations in section 7.7 of Design 5 HIA. Copy of Interpretation Plan to be submitted to DP&E, City of Sydney and Heritage Council.

Walsh Bay has an overall interpretation plan. The Movable heritage is generally unrelated to the Pier 2/3 and 4/5. The Container which stores found archaeological relics has been catalogued by Robert Varmin and copies of his report and historical assessments are lodged with the Mitchell Library and the OEH.

Two reports one by Godden Mackay Logan *Walsh Bay Pier 2/3 Movable Heritage Catalogue and Significance Assessment, December 2010* and the other by City Plan Heritage *Walsh Bay Pier 2/3 Movable Heritage Use & Interpretation Plan, June 2011*, have been prepared specifically covering the Moveable heritage. As well Tropman have in this submission photographed and identified the objects and compared them to the two previous catalogues and a new Interpretation Strategy has been prepared.

The RMS and the Walsh Bay Precinct Committee are responsible for the relics and Movable heritage found within Pier 2/3. This is so to speak a grave yard of all found objects and Croker notes that excessive use of the items will confuse the interpretation of the spaces.

It is proposed to remove the approved interpretation wall and artifacts in the breezeway of Pier 2/3 and make a new interpretation wall in the foyer of Pier 2/3, including a digital signage. This will require a separate Development Application.

- Condition B7 - Roof penetrations:

1) New penetrations in the roof form of Pier 2/3 shall comply with the design criteria established by Design 5 and included in section 5.4.7 of the Design 5 HIA, including the following:

a) Single breach in the roof in one location only;

IMPACT

The design development has resulted in two upper roof breeches and a smaller roof panel. This is also a method of reducing impact for the services including cooling towers and ducting necessary for the servicing of the theatre. There is a significant impact however the Croker report described the vista as being seen as only a moderate change as the form is modest and the roof materials the same.

Note Pier 4/5 has historically had exposed plant in the roof valley.

b) Should only occur within the central valley;

IMPACT

All roof changes occur in the valley

c) Must not alter any existing roof lanterns and respect prominence of lanterns;

IMPACT

There are no alterations to the Roof lanterns

d) Any alterations should be set back from roof lanterns and preferably centred between them;

IMPACT

The roof alterations are designed to sit below and away from the roof lanterns where they are in the same location. Where the roof extends between the roof spaces they are set back from the lanterns.

There is a significant but moderate impact with the lower roof

The alternative is to expose the plant and equipment

On Pier 4/5 there are two more modest roof extensions which have a lesser impact considering the extensive Photo Voltaic arrays on all roof faces

Also there are a number of plant and equipment platforms

These platforms and the equipment are to be modified to reduce the foot print and thus reduce the impact

8.5.4 City of Sydney agency response not included in the SEARS and SSDA

- SENSITIVE INTRODUCTION OF NEW SERVICES with minimal impact on significant fabric and spaces

IMPACT

The functional requirements for all the theatres rehearsal and production areas where complex services installations are required, have been based on a number of complex factors which include adequate environment and energy efficiency as required by Section J of the BCA Fire restrictions for life safety and preservation of the building, acoustics life safety and egress productions lighting as well as the efficient removal of waste and reticulation of essential services.. The design has been created considering each if these functions but also in the context of the historic structure

There is significant impact redolent in the functions which have been approved and are permitted in the Walsh Bay Arts Precinct. The design has been prepared to ameliorate these impacts as far as is possible.

- THE DESIGN OF THE ACO AUDITORIUM BEING CAREFULLY AND SENSITIVELY CONSIDERED to minimise the impact of removal of columns, on changes to significant fabric, on the Commercial Events/Art Space below and changes to the roof;

IMPACT

The functional requirements for all the theatres rehearsal and production areas where large volumes are required, have been re based on a number of complex factors which include acoustics life safety and egress productions lighting as well as the basics of

performance and sight lines. The design has been created considering each of these functions but also in the context of the historic structure

There is significant impact redolent in the functions which have been approved and are permitted in the Walsh Bay Arts Precinct. The design has been prepared to ameliorate these impacts as far as is possible.

- INVESTIGATE THE LEAST-IMPACT OPTION in relation to opening up the northern most bay on the east and west elevations of Pier 2/3 - altering existing weatherboards to become adjustable louvers, which will be open most of the time, will have a high visual impact;

IMPACT

The design responds adequately to the pier chequer board rhythm minor changes are acceptable in the light of the many and varied adaption's to function in the buildings life and use as a wharf. Are currently proposed less louvered panels on the west facade than the approved SSDA. The impact is reduced.

- THE COMMERCIAL EVENTS/ARTS SPACE be designed such that all amenities and ancillary rooms are reversible and the full height and openness of the space being retained, with any partitions or screens to be temporary and not appearing permanent. The space should be not be modified to accommodate a fully controlled air-conditioned environment;

IMPACT

The design has been carefully guided to avoid unnecessary intervention and provides simple and direct solutions which are subservient in the main to the robust wharf character.

- THE DESIGN OF THE WATERFRONT SQUARE being subject to further development and detail to reduce impact. This is to include adequate delineation of aprons and the square through measures such as the use of different materials. The cover needs to be sympathetic and respectful of the industrial character of the place as well as being a design of high quality;

IMPACT

The Public domain complies with these requirements. The introduction of the new public domain reduces the open area of water by providing an expanded apron for pedestrians. However the new form has open grid mesh and cargo style netting which allows the water to be seen and its extent clearly understood. Refer to the Public Domain drawings and details.

- REMOVING THE DETRACTING SKYLIGHT on the external slopes of the south end of Pier 2/3;

IMPACT

Not part of the scope.

- AN EXTERNAL SIGNAGE STRATEGY being prepared that ties in with the signage within the rest of the precinct.

IMPACT AND ACTION

The Walsh Bay Precinct Committee has carriage over all signage.

In the Walsh Bay Redevelopment approval there was a requirement to prepare information, way finding and interpretation signage. This strategy and sign design was jointly prepared by Spatchurst design and Tropman and Tropman. Interpretation signage was approved by the OEH and DUAP and installed with each Phase

The main interrelation node is to be found in the Breezeway of Pier 2/3. This illustrated glass panelled exhibition was approved by the OEH and DUAP It contains important relics in a curated exhibit. It is proposed to be removed and a new interpretation wall is proposed in the foyer of Pier 2/3. This will require a separate Development Application.

Other interpretation exhibits signage and interpretation are spread across the site and comply with the 1999 Interpretation Plan prepared by Tropman and Tropman and HPA architects. This was approved by the OEH and DUAP.

The signs are to be reviewed every 10 years and the WBPC has commenced a programme of review and repair in need of refreshment now.

Interpretation will be incorporated into the new way funding and signage strategy for the Walsh Bay Art Precinct.

8.5.5 Heritage Council conditions not included in the SEARS and SSDA

- **HERITAGE IMPACT ASSESSMENT**

The recommendations outlined in the Heritage Impact Assessment prepared by Design 5 Architects dated 23 June 2014 shall be implemented.

- This has been addressed in the HIS

- **WATERFRONT SQUARE, STAGE AND PUBLIC ROOF**

Maintain lightness in the design of the waterfront square and public roof in contrast to the existing industrial buildings. The stage, including the roof and any base platform, are to be designed to be temporary so that if removed will not impact on the waterfront square.

- This has been addressed in the HIS

- **PUBLIC SPACE STRATEGY**

A strategy shall be developed to ensure that the private and public spaces are cohesive and controlled in a manner whereby:

(a) Public spaces are retained for public use.

(b) Privately leased areas on the aprons adjacent to commercial tenancies do not intrude into the new public space.

(c) Guidelines are prepared to ensure that there will not be a proliferation of furniture and structures in the new public space and adjacent aprons.

(d) Any awnings and furniture along the aprons and public square must be designed having regard to an overall awning and furniture strategy for the Walsh Bay Wharves. The strategy shall be submitted with any future application that is related to the new waterfront square or use of the existing public spaces.

- This is part of the scope.

- **BALCONIES AND EXTERNAL STAIRS**

(a) All new external stairs must be open and lightweight; not solid as shown in the photomontages.

- The last design comply.

(b) Ensure that stairs do not impinge on openings and that they are lightweight and appear to hang off the gantries (straight or dogleg stairs).

- The last design comply.

(c) Not all stairs and balconies appear to be necessary as some do not lead to public spaces i.e. the Bell's rehearsal room.

-This is a requirement necessary for comply with the BCA and fire egress. More modifications would be required for internal stairs. The language of external stairs were established on Pier 4/5 and followed on Pier 2/3. The use of pier 2/3 was limited in the past decade because for the lack of adequate fire egress. The additional stairs are necessary for safety.

(d) The large balcony on the western elevation of Pier 2/3 may not be appropriate as there were no gantries on this side.

- This theory has been contested in this HIS. Historic drawing by Sydney Harbour Trust show cargo doors and gantry cranes in both eastern and western facades of Pier 2/3. This demonstrates either that those cargo doors have been infilled during the 1920-30's modifications of the Pier or that there was the intention to create them. Gantries are part of the wharf language and were movable along the wharves. Tropman & Tropman CMP agrees to the introduction of gantries. We think Design 5 assumption is a misinterpretation.

(e) No additional marquees, shade structures or enclosures should be fitted on the balconies in the future. These structures and enclosures will not be supported and would diminish the intactness and appearance of the wharf buildings.

- Shade structures are proposed in the public square.

- RETENTION OF SIGNIFICANT FABRIC

All elements proposed to be removed or altered must be reviewed by a heritage professional to assess if the significance of the element has changed and to ensure that significant fabric is not inadvertently removed.

- This is part of the scope.

- ARCHAEOLOGY

The appropriate maritime archaeological assessments must be carried out to inform the detailed design of the project and ensure that there is minimal disturbance to the early wharf fabric.

- This point has been addressed in this HIS and a complete report is attached in the appendix.

A number of potential relics have been identified in this Marine Archaeological Assessment. The detailed engineering subsurface works that is piling and any other

services which may affect the sea floor in the area of the proposed extended or existing wharf apron design should be assessed in accordance with the Heritage Branch Guidelines to determine the potential impact on the relics identified in this report.

Prior to any construction works proceeding an Archaeological Research Design and Method report should be prepared in accordance with the Heritage Branch Guidelines.

9. Conclusions and Recommendations

The works planned for the WBAP must be informed by the relevant controls and legislation and where issues arise these matters should be clearly supported by arguments based on the Australia ICOMOS Burra Charter as well as the recent ICOMOS Charter for THE NIZHNY TAGIL CHARTER FOR THE INDUSTRIAL HERITAGE July 2003 providing best practice for items of industrial heritage.

This report has examined and reported on the information available as a resource for ongoing restoration of the Wharves 2/3 & 4/5. Throughout the documentation a number of policies and constraints have been incorporated and compiled demonstrating the importance of the Place and to ensure that any use and ongoing maintenance complies with the Burra Charter, the standards required under the Heritage Act 1977 and Aboriginal heritage legislation in NSW as amended pertaining to items of State Significance.

The Pier 2/3 structure includes redevelopment of a large scale theatre and rehearsal spaces in the upper shed which requires alterations to the roof line as well as services interventions and matters of acoustics and fire egress. There is a consistency in treatments for all areas within the WBAP derived from a well-considered design philosophy which acknowledges the constraints of building within a state significant site.

The various approvals have instructed the way in which the historical, Aboriginal and archaeological research and impacts are to be assessed.

The Concept and developed design for the WBAP is generally in accordance with the Tropman and Tropman and Graham Brookes CMPs as well acknowledges the directives in the Design 5 HIS.

The adaptive reuse of any structure by its nature will have significant impact upon the place. The impact on the relics is, on occasions, significant in the large performance spaces especially however the language for adaptive reuse of the structure has considered the least interventionist methodology and there has been a striving throughout the precinct to develop the appropriate language in the detailing to allow interpretation of the original fabric and large scale volumes.

The Vivian Fraser “light touch” however has proved to be an excellent basis to take on methodologies for alternative solutions which have the least impact on the buildings and external modifications proposed are sympathetic.

The current Arts and Cultural uses are profoundly significant as a continuum of the intangible cultural heritage which was in fact the well spring of the saving of the relic and its repurposing into the current cultural icon.

The continued sustainability is reliant on the adaptive reuse while the uses themselves very adequately fulfill the visions for the precinct and they are the 1998 Masterplan approval for the eastern half of the site to become an heritage preservation area and cultural facility and the 2014 Walsh Bay Arts Precinct vision now approved in principal which seeks to further develop a world class cultural centre in the heart of Sydney.

This project is considered to suitably address the Heritage Impacts as the requirements of both the SSDA conditions and the SEARS requirements.

The WBAP represents the completion of the vision for a unique cultural precinct, described in the 1999 Master Plan for the Walsh Bay Redevelopment, and it is recommended there should be an Arts Precinct Conservation Management Plan prepared which recognises the new era and future uses of Pier 2/3 and 4/5.

10. References

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- *Appendix E - Archaeological Assessment of areas associated with the development of Pottinger Street and adjacent areas*, *Underground Services Walsh Bay HIS*, Tropman Architects 1998
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