

SITE 53, 2 FIGTREE DRIVE SYDNEY OLYMPIC PARK, NSW 2127

LANDSCAPE DOCUMENTATION

DEVELOPMENT APPLICATION

(amended in response to GMU comments)

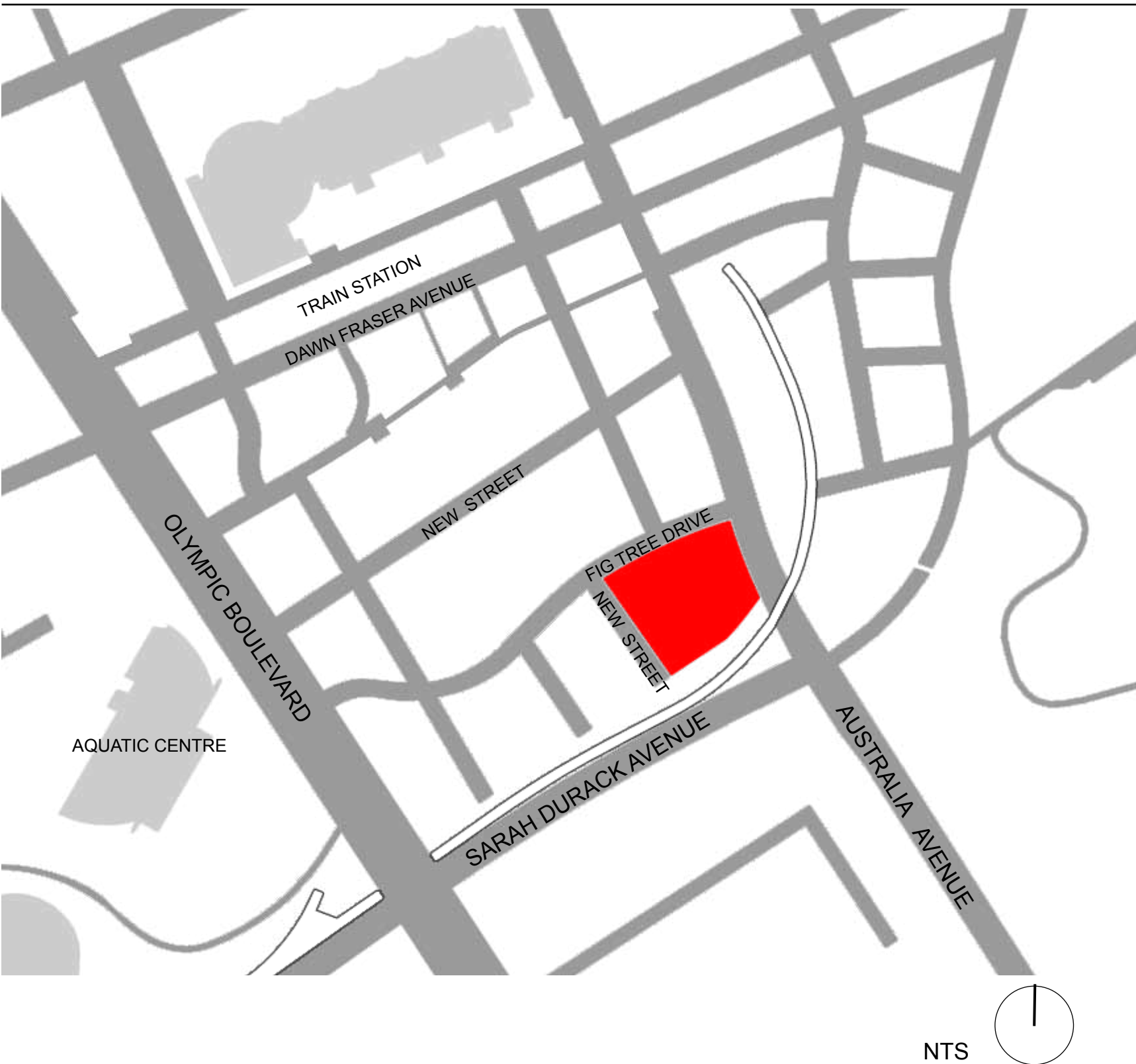
DRAWING REGISTER

Dwg No.	Drawing Title	Size	Scale	Revision
General				
LA-DA-00	Cover Page + Drawing Schedule	A1	N/A	F
LA-DA-01	Landscape Design Statement	A1	N/A	F
LA-DA-02	Landscape Design Statement	A1	N/A	F
LA-DA-03	Design Compliance	A1	N/A	F
Plans				
LA-DA-04	Level 02	A0	1:200	F
LA-DA-05	Level 01 Upper Ground	A0	1:200	F
LA-DA-06	Level B01 Basement 01	A0	1:200	F
Sections				
LA-DA-07	Typical Landscape Sections	A1	1:50	F
LA-DA-08	Typical Landscape Sections	A1	1:50	F
LA-DA-09	Typical Landscape Sections	A1	1:50	G
LA-DA-10	Typical Landscape Sections	A1	1:59	F
LA-DA-11	Typical Landscape Sections	A1	1:50	F
LA-DA-12	Typical Landscape Sections	A1	1:50	G
LA-DA-13	Typical Landscape Elevation	A1	N/A	G
LA-DA-14	Landscape Visualisation	A1	N/A	G
LA-DA-15	Typical Landscape Sections	A1	1:50	G
LA-DA-16	Typical Landscape Sections	A1	1:50	G
LA-DA-17	Typical Landscape Sections	A1	1:50	G
LA-DA-18	Typical Landscape Sections	A1	1:50	G
LA-DA-19	Typical Landscape Sections	A1	1:50	F
LA-DA-20	Typical Landscape Sketch	A1	N/A	F
LA-DA-21	Typical Landscape Elevation	A1	N/A	G
Palettes				
LA-DA-22	Planting Palette	A1	N/A	F
LA-DA-23	Planting Palette	A1	N/A	F
LA-DA-24	Planting Palette	A1	N/A	F
LA-DA-25	Tree Location Plan (podium)	A1	N/A	G

GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY**
- * Do not scale from drawings
 - * All discrepancies or conflict should be brought to the attention of the Project Landscape Architect
 - * Larger scale drawings and written dimensions take preference
 - * All dimensions in mm unless otherwise stated.
 - * All tree dimensions and RLs in metres.
 - * Use figured dimensions only.
 - * Verify all dimensions on site before the commencement of any works.
 - * Contractors shall locate and protect all services prior to construction.
 - * All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
 - * Structural Details shall be subject to Engineer's Specifications.
 - * Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
 - * All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
 - * Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
 - * No responsibility will be taken by 360 degrees. for any variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
 - * Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location. it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
 - * This Drawing is copyright to 360 degrees.

LOCATION PLAN



To be read in conjunction with
response to GMU comments

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response to GMU comments**

INTRODUCTION

360 Degrees Landscape Architects have been engaged by Mirvac Projects Pty Ltd to prepare a Landscape Design for the proposed residential development at (Site 53) 2 Figtree Drive, Sydney Olympic Park. This statement will describe the landscape concept for the site and provide a framework for detailed design and documentation.

As part of a collaborative design team, 360 Degrees Landscape Architects propose to create a community responsive development through an engaging and memorable landscape design. The proposed DA Landscape Plan has been designed and set out in accordance with;

- Sydney Olympic Park Urban Elements Design Manual (UEDM)
- Sydney Olympic Park Environmental Guidelines
- Sydney Olympic Park Master Plan 2030 (MP2030)
- Architectural plans by BVN, and
- Arborist report by Arboreport

Careful consideration of the architectural building and conceptual collaboration with the planner, the client, architects and consultant team has contributed to the landscape design solutions.

In general the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale of the development. The plant selection has been made from plant species suited to various microclimatic conditions and site requirements with local native and indigenous species used where applicable, including a review of Council's weed management policy and the Sydney Water Plant Selector and the BASIX Indigenous Plant List.

The sequence of landscape components (streetscape and entries, the communal courtyard, private gardens and communal path network) combine to create an integrated, verdant and diverse sequence of spaces that contributes to both the private domain of the residents and the public domain of the neighbourhood.

The overall design aims for an environmental and socially sustainable landscape and an integrated landscape experience with the building architecture and function, activating the site and creating a vibrant precinct and place to live.

The communal open spaces have been designed with the intention to form a focus on the development and provide landscape buffers and pockets between the buildings, apartments and common areas. These spaces also provide pleasant outlooks for residents and neighbouring properties, spaces that generate activity and interaction to create a sense of community, providing social and recreational opportunities. The proposed Landscape design will contribute to the urban character, visual quality and biodiversity of the area.

The primary landscape architectural components of this project can be divided as follows for descriptive purposes;

- Streetscape and Entries
- Communal Open Space
- Private Courtyards
- Public Retail Plaza
- SOPA Linear Park Treatment

STREETSCAPE AND ENTRIES

The Streetscape and Entries are for residents and visitors, integrating the private and the public domain. The landscape allows for visual clarity to the development entries with generous planted areas within the landscape setback for communal open space and a consistent, body corporate managed landscape.

The development has 2 existing street frontages and a 3rd which will be constructed in accordance with SOPAs guidelines and masterplan requirements as part of the development (refer to the civil engineers documentation for design and alignment). Each building is accessed via a primary off street lobby entry on Fig Tree Drive, while secondary development entrances are provided along or New Street and the linear park frontage, facilitating park access and creating and engaging an active interface, and retail activation occurs on Australia Avenue.

Fig Tree Drive public domain will be upgraded by SOPA, our accompanying design is documented in accordance with SOPA Guidelines, consisting of a 2.7m wide grass verge, 1.8m wide asphalt path along the property boundary and new street tree planting of *Eucalyptus saligna* as per SOPA UEDM. The existing street trees along Fig Tree Drive are to be removed to facilitate construction of the compliant public domain streetscape.

From the property boundary on Fig Tree Drive the buildings are setback a minimum of 8000mm providing a generous landscape transition zone between public domain and built elements. Within this setback there is a min 2000mm wide landscape area which shall be under the control and maintenance of the body corporate to ensure a consistent landscape

frontage to the public interface, and the remaining landscape zone will be private courtyard gardens to the ground floor apartments which will also have gated street entries. The landscape design enables family oriented apartment design with the incorporation of private gardens, while also establishing passive surveillance of the street and an urban character as set out in the UEDM. Further to the private residential entries, the primary Building Entries fronting Fig Tree Drive incorporates a secure entry portal with intercom etc, letter boxes and development/building signage.

The New Street has been designed to meet the SOPA UEDM, consisting of a 1.7m turf verge planted with *Fraxinus oxycarpa*, a 2m asphalt pedestrian path and garden up to the property boundary. The buffer planting generally consists of native shrubs, grasses and ground cover planting, including *Baekea virgata*, *Crocea exalata*, *Prostanthera ovata*, *Lomandra 'Lime Tuff'*, *Dianella 'Little Jess'* and *Myoporum parvifolium* (refer to the plant schedule for detailed list). At the southern end of New Street, the footpath has a pedestrian crossing which traverses the vehicle entry driveway to the development and connects to the linear park via an accessible 1:20 pathway. The existing *Ficus macrophylla*, which is currently located along the western site boundary will be transplanted to the southern end of the western boundary interface with the linear park to enable the construction of New Street in accordance with the UEDM. Refer to the arborist report for further information. An existing stand of trees along the southern boundary are identified for removal, noted within the Arborist report of low value, to facilitate necessary site excavation and reconciliation of levels. The southern interface of the site will be heavily planted with shrubs, small trees and pocketed parkland to provide a unified landscape with the adjacent linear park.

Australia Avenue has been designed in accordance with SOPs UEDM, retaining and protecting the existing pedestrian pathway, verge and street tree planting of *Eucalyptus microcorys*. The landscape setback between the existing footpath and development building will be planted out predominantly with native species to provide a soft landscape buffer to the built form and pedestrians along Australia Avenue. The planting is to include *Baekea virgata*, *Crowea exalata*, *Prostanthera ovata*, *Lomandra 'Lime Tuff'*, *Dianella 'Little Jess'* and *Myoporum parvifolium* (refer to the plant schedule for detailed list). This corridor of landscape along the building fronting Australia Avenue will also include eucalypt tree planting providing wind break to potential downwash off the building while enabling clear visual permeability from the street to the retail.

The planting to the development (on private title) will be maintained as part of the strata management program to ensure planting stays consistent and healthy and access to the private open spaces has been provided for convenience and maintenance.

Views into to the Communal Gardens will be seen from the Street creating a visual link between the public domain and the gardens and a sense of visual permeability. The articulation between the buildings allows for a green corridor of planting that surrounds each building.

COMMUNAL OPEN SPACE

The Communal Garden provides residents with a space for passive and active recreation with seasonal solar access and/or shade. This area is directly accessed from within each building, the adjacent linear park, and is the primary pedestrian connection from the building lobbies to the street entry points. It is envisaged the communal podium landscape will be highly activated by residential pedestrian movement (entering and existing the complex), children playing, and general activities including small gatherings and individual respite. To facilitate for the broad usage of the landscape a series of spaces has been developed which are connected via a path tapestry, while the primary pedestrian path provides direct connection to building lobbies. The spaces include communal seating edges, pocketed lawn areas, informal childrens play spaces, bocce courts and active open areas.

The childrens play space are proposed to the southern edge of the podium landscape to provide a visual link to the adjacent linear park and isolate any associated noise to the edge of the development within close proximity of the community facilities room. The space will incorporate combination of softfall, planting and flexible play equipment such as mounded softfall.

Tree and lush screen planting have been incorporated to the buildings periphery to minimize privacy issues between the communal and private spaces. The proposed Communal Gardens, particularly the tree planting has been designed to create a suitable balance of privacy, amenity and solar access. A diversity of plant species is continued through the gardens while the required through-site view corridor as required by the SOPA MP2030 is maintained.

The garden beds will be planted with a melange of species - predominantly native plants, some indigenous plant species accented with exotics, selected as required to meet the micro-climatic conditions. A boulevard of large evergreen trees along building 3 and 4 eastern edge delineates the main pedestrian walkway and reinforces the building entries while mitigating potential wind downwash and improved privacy. Screen planting such as *Syzygium* 'Cascade', *Acmena* 'Sublime', and *Camellia*'s will be positioned close to the private courtyard interface while tree plantings of *Trisaniopsis*, *Elaeocarpus*, *Waterhousea* and *Ulmus parvifolia* will be strategically placed throughout the landscape and building entries to allow filigree patterns and filtered light into the courtyards. The planting selection has been developed to provide colour variation and offer seasonal scent when flowering.

	ISS.	AMENDMENT	DATE	BY	ARCHITECT		IMPORTANT NOTES: All dimensions to be brought to the attention of the Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All measurements are to face. Use figured dimensions only. Units of measurement are all metric by the centimetre or millimetre. Construction shall include and protect all services prior to construction. All work shall be carried out in accordance with AS/NZS 4576 and Local Government Regulations. Detailed Details shall be subject to Engineer's Specifications. Changes to Other Parties Details shall be subject to Project Engineer's Specifications. The Contractor shall ensure compliance with the relevant standards according to Landscaping Council and Engineer's Specifications. No responsibility will be taken by BVN except for any variations in design, construction method, material specified and general specifications without permission from the Project Engineer or Landscape Architect. This Drawing is copyright to BVN.	CLIENT MIRVAC Level 28, 200 George St Sydney NSW 2000	CHECKED LB	DWG. TITLE DESIGN STATEMENT	
A	B	DRAFT Development Application	20.09.16	LB/KR	BVN Architecture 255 Pitt Street Sydney, NSW, 2000, AUS T +61 2 8237 7200			SCALE	DRAWN KR	ISSUE Amended DA	PROJECT SOP53 - 2 Figtree Drive, Sydney Olympic Park
B	C	DRAFT Development Application	27.09.16	LB/KR							
C	D	DRAFT Development Application	29.09.16	LB/KR							
D	E	DRAFT Development Application	15.11.16	LB/KR							
E	F	Development Application	22.11.16	LB/KR							
F											



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LA-DA-01

20m VIEW CORRIDOR to MOUND/MARKER
- As specified in the DCP

LEGEND

	MAIN SITE ENTRIES - THROUGH COLONNADE		PUBLIC ACCESS - STAIR ACCESS
	BUILDING / SITE ENTRIES - ALL ABILITY ACCESS		PRIVATE RESIDENTIAL ENTRIES - ACCESS VIA STREET
	BUILDING / SITE ENTRIES - STAIR ACCESS		PRIVATE RESIDENTIAL ENTRIES - ACCESS VIA INTERNAL COMMUNAL GARDENS
	PUBLIC ACCESS - ALL ABILITY ACCESS		SECURE LINE - 1.8m FENCE
			SITE BOUNDARY

COMPLIANCE	ACHIEVED
50 % of ground floor apartments need to have individual entries	Achieved
Ensure site boundaries and private and communal space boundaries are clearly defined and secure..	Achieved

LEGEND

-  PUBLIC ACCESSIBLE AREAS
-  COMMUNAL OPEN SPACE
-  PRIVATE ACCESS COURTYARDS

COMPLIANCE	ACHIEVED
A minimum of 30% of the residential site area is to be open space, ground level private open space and/or ground level communal open space and/or setbacks	Achieved
Provide communal open space to all residential apartment buildings at a minimum size of 60m ² with a minimum dimension of 6m.	Achieved

LEGEND

 DEEP SOIL ZONE = 2298m²

 PERMEABLE PAVING = 163m²

COMPLIANCE	ACHIEVED
minimum of 20% of the sites open space area is to be deep soil.	Achieved
Total req = 2259m2	Deep Soil + Permeable paving = 2461m2
Areas included as deep soil are to have a minimum dimension of 2m.	Achieved

LEGEND

	COMMUNAL GARDENS		MAIN ENTRY / CIRCUIT PATHS -ALL ABILITY ACCESS
	BODY CORPORATE LANDSCAPE ZONE		
	PRIVATE COURTYARDS (HARDSTAND)		ENTRY/ CIRCUIT PATHS -STAIR ACCESS
	PRIVATE COURTYARDS (SOFTSCAPE)		
	PAVILIONS (COMMUNAL)		SECONDARY CIRCUIT PATHS
	HARDSTAND AREAS (COMMUNAL)		

The landscape design for SOP53 has considered all relevant planning controls and addresses each item satisfying the minimum requirement. The following statement identifies each control and confirms compliance. The diagrams above have been prepared to illustrate design compliance.

- Retain existing ground levels and significant mature trees identified in the Sydney Olympic Park 2030 Significant Tree Register.
- Transplanted trees (Large Fig on New Street) must be incorporated into new courtyards or landscape areas within the site.

- Provide setbacks as required in the Building Zone and Setbacks Plan for the relevant precinct. (As per BVN architectural design - No building is to be built within the setback zone – however, above ground articulation in the form of balconies, sunscreens, bay windows and the like may extend 300mm into the front setback zone.)
- A minimum of 50% of the front setback is planted.
- > 50 % of ground floor apartments have individual entries.

- A minimum of 30% of the residential site area is open space, ground level private open space and/or ground level communal open space and/or setbacks.
- Provide communal open space to all residential apartment buildings at a minimum size of 60m² with a minimum dimension of 6m.
- Ensure a minimum of 50% of the communal open space area is unpaved and planted.
 - Ensure communal open space is designed to provide:
 - a balance of sunshine and shade.
 - Accessible and safe routes through the area between buildings
 - Privacy for dwellings and their associated outdoor spaces addressing the larger communal space
 - Accessible and screened service areas.

- Ensure site boundaries and private and communal space boundaries are clearly defined and secure.
- Ensure all communal and public site areas have clear sight lines and minimize opportunities for concealment.

- A minimum of 20% of the sites open space area is to be deep soil.
- Areas included as deep soil are to have a minimum dimension of 2m.
- Consolidate areas of deep soil within sites and between adjacent sites to increase the benefits.
- A minimum of 1 large tree with a minimum height of 12m in soil >1m deep is to be planted per 60m² of courtyard space.

- Priorities drought tolerant plant species
- Designing planters to support the appropriate soil depth and plant selection and to accommodate the largest volume of soil possible to a maximum depth of 1.5m
- Minimum soil depths are identified in detail sections. Typically soil depth is minimum of 300mm with localised mounding to 1000mm for trees

- Unless otherwise stated in the Precinct Controls the max height for front fence is 1.2m from the finished footpath level of the adjoining street.
- Design fences to highlight building entrances and allow for outlook and casual street surveillance.
- Integrated with the building and landscape through the use of common materials and detailing.

ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LBK
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D	DRAFT Development Application	29.09.16	LBK
E	DRAFT Development Application	15.11.16	LBK
F	Development Application	22.11.16	LBK

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IMPORTANT NOTES:

Do not scale from drawings.

All discrepancies to be brought to the attention of the Landscaped Architect.

Larger scales drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.

All true dimensions and 1/16 in. increments.

Use figured dimensions only.

Verify all dimensions on site before the commencement of any works.

Construction shall locate and provide services prior to construction.

All work shall be carried out in accordance with ASIA, SICA and Local Government Regulations.

Structural Details shall be subject to Engineer's Specifications.

Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.

Work shall be done in accordance with the specified Trade Manual according to Landscape Drawings and Engineer's Specifications.

Work shall be done by 300 gages, for any variations in design, construction method, materials specified, or general specifications without permission from the Project Engineer or Landscape Architect.

CLIENT MIRVAC Level 28, 200 George St Sydney NSW 2000	
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SCALE	DRA KR
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ISSUE
Amended F

DWG. TITLE
DESIGN COMPLIANCE

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LA-DA-03



- LEGEND**
- 1 PRIVATE COURTYARDS
 - 2 BUILDING 3 & 5 PEDESTRIAN ENTRY BRICK COLONNADE
 - 3 PATHWAY VERGE AND STREET TREE PLANTINGS AS PER UEDM (REFER SECTIONS FOR FURTHER DETAIL)
 - 4 MIN 2M WIDE COMMUNAL LANDSCAPE MAINTAINED BY BODY CORPORATE
 - 5 1.5M HIGH PALISADE FENCE WITH GATE ACCESS TO PRIVATE COURTYARDS
 - 6 NEW STREET TREE PLANTING - EUCALYPTUS SALIGNA
 - 7 PRIVATE PEDESTRIAN ENTRY TO TERRACES OFF FIGTREE DRIVE
 - 8 BRICK PORTAL TO PRIVATE RESIDENTIAL ENTRIES
 - 9 FIRE BOOSTER

Notes

1. All planting areas to be mulched, typically 75mm depth. Organic mulch to conform to AS 4454 - 2003 Compost Soil Conditioners & Mulches
2. Soils to conform to AS 4419 - 2003 Soils for Landscaping & Garden Use
Soil Depths:
 - Grass Areas minimum 300mm deep
 - Planting/Garden areas minimum 450mm deep
3. All planting areas to have drip irrigation lines with a backup connection to main water supply, installed to satisfy all current Sydney Water requirements and relevant Australian Standards.
4. Refer to arborist report prepared by Arboreport Vegetation Management Consultants for details of tree protection measures, trees for removal and transplant process.

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D	DRAFT Development Application	28.09.16	LBKR
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Verify all dimensions on site before the commencement of any works.
Use figured dimensions only.
Constructors shall locate and protect all services prior to construction.
All work shall be completed in accordance with AS/NZS 3000 and Local Government Regulations.
Reserve all rights for the use of the drawings for the purpose of the project.
Design & Water Features Details shall be subject to Hydraulic Engineer's Specifications.
All work shall be completed in accordance with the Project Engineer or Landscape Architect.
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MIRVAC
Level 28, 200 George St
Sydney NSW 2000



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1:200 @ A0

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DWG. TITLE

Landscape Plan - Level 2

PROJECT

SOP53 - 2 Fig Tree Drive, Sydney Olympic Park

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LA-DA-04



- LEGEND**
- 1 PRIVATE COURTYARDS
 - 2 BUILDING 1 & 2 PEDESTRIAN ENTRY BRICK COLONNADE
 - 3 PATHWAY VERGE AND STREET TREE PLANTINGS AS PER UEDM (REFER SECTIONS FOR FURTHER DETAIL)
 - 4 BUILDING 3 & 5 PEDESTRIAN ENTRY COLONNADE
 - 5 1.8M HIGH PALISADE FENCE WITH GATE ACCESS TO PRIVATE COURTYARDS
 - 6 NEW STREET TREE PLANTING (AS PER SOP UEDM)
 - 7 PRIVATE PEDESTRIAN ENTRY TO TERRACES OFF FIGTREE DRIVE
 - 8 BUILDING 2 LOBBY
 - 9 BUILDING 3 LOBBY
 - 10 RAISED DECK PLATFORMS WITH FEATURE TREE PLANTING (CHINESE ELM)
 - 11 OUTDOOR PORTAL STRUCTURES FOR SMALL GROUP GATHERING AND ENTERTAINING
 - 12 PRIMARY CIRCULATION PATHS
 - 13 SECONDARY CIRCULATION PATHS
 - 14 RAISED GARDEN BEDS AND LAWN POCKETS WITH STEEL EDGES (NOMINAL 300MM ABOVE FSL)
 - 15 PASSIVE SEATING SPACES FOR QUIET REFLECTION AND PRIVACY
 - 16 BOCCIE COURT
 - 17 CHILDRENS PLAY SPACE
 - 18 STAIR CONNECTION FROM COMMUNAL PODIUM LANDSCAPE TO PUBLIC LINEAR PARK
 - 19 BREAK OUT SPACE FROM COMMUNAL FACILITIES ROOM AND GYM
 - 20 PEDESTRIAN PATH CONNECTING FIG TREE DRIVE ENTRY TO BUILDING 3 LOBBY, WITH BOULEVARD OF TREES
 - 21 LARGE OPEN LAWN AREA FOR ACTIVE PLAY (KICK AND THROW)
 - 22 DENSE PLANTING TO BUILDING EDGE TO PROVIDE PRIVACY AND MITIGATE WIND
 - 23 HERB AND VEGETABLE GARDEN
 - 24 SEATING WALL UNDER COLONNADE
 - 25 EXTERNAL LOBBY SEATING AREA

Notes

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Consult with client.
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Verify all dimensions on site before the commencement of any works.
Constructors shall locate and protect all services prior to construction.
All work shall be constructed in accordance with AS/NZS 3600 and Local Government Regulations.
Retained structures shall be subject to structural engineer's specifications.
Drainage & Water Features Details shall be subject to Hydraulic Engineer's Specifications.
All work shall be carried out in accordance with the Project Engineer or Landscape Architect.
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DWG. TITLE
Landscape Plan - Level 1

PROJECT
SOP53 - 2 Fig Tree Drive, Sydney Olympic Park

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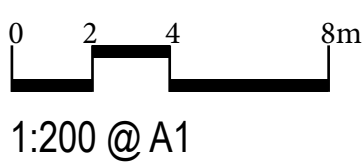
LA-DA-05



- LEGEND**
- 1 EXISTING PLANTED VERGE
 - 2 EXISTING STREET TREE *EUCALYPTUS MICROCORYS* TO BE RETAINED AND PROTECTED
 - 3 RETAIN EXISTING ASPHALT PATHWAY
 - 4 MOUNDED LANDSCAPE EDGE PLANTED WITH NATIVE TREES, SHRUBS AND GRASSES. *EUCALYPTUS* TREES TO MAINTAIN SIGHT LINES INTO RETAIL SPACE FROM AUSTRALIA AVENUE
 - 5 MULCH UNDER EXISTING FIG TREE
 - 6 EXISTING *FICUS MACROPHYLLA* (T3) TO BE RETAINED AND PROTECTED, REFER TO ARBORIST REPORT
 - 7 “ ROCLA PERMA TRAK ” RAISED BOARDWALK
 - 8 TERRACED SEATING/PLAY STRUCTURE
 - 9 BUILDING 2 SECONDARY ENTRY LOBBY
 - 10 EXISTING CONCRETE RETAINING WALL
 - 11 RETAIL SPACE
 - 12 EXISTING SOPA PARKLAND, TO BE RETAINED AND PROTECTED, REINSTATED WHERE DAMAGED
 - 13 PEDESTRIAN PATH AND STEPS PROVIDE ACCESS TO LINEAR PARK FROM THE COMMUNAL LANDSCAPE PODIUM
 - 14 PROPOSED LAWN AREA (LINEAR PARK)
 - 15 TRANSPLANTED *FICUS MACROPHYLLA* (T1). REFER ARBORIST REPORT AND TRANSPLANT DA
 - 16 ACCESSIBLE RAMP TO RETAIL FORECOURT
 - 17 RETAIL PLAZA
 - 18 SEATING RETAINING WALL TO FORECOURT
 - 19 ACCESS STEPS TO RETAIL SPACE
 - 20 EXISTING *FICUS RUBIGONOSA* (T2) TO BE RETAINED AND PROTECTED, REFER TO ARBORIST REPORT
 - 21 BICYCLE PARKING LOOPS
 - 22 DASHED LINE INDICATES TREE PROTECTION ZONE (REFER ARBORIST REPORT)
 - 23 SECONDARY PEDESTRIAN ENTRY TO BUILDING 2 LOBBY VIA STEPS CONNECTING TO LINEAR PARK
 - 24 SECONDARY PEDESTRIAN ENTRY TO BUILDING 3 LOBBY FROM NEW STREET
 - 25 PERMEABLE PAVING TO ALLOW FOR SERVICE VEHICLE ACCESS TO SUBSTATION.

Notes

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- 2. Soils to conform to AS 4419 - 2003 Soils for Landscaping & Garden Use
Soil Depths:
 - Grass Areas minimum 300mm deep
 - Planting/Garden areas minimum 450mm deep
- 3. All planting areas to have drip irrigation lines with a backup connection to main water supply, installed to satisfy all current Sydney Water requirements and relevant Australian Standards.
- 4. Refer to arborist report prepared by Arboreport Vegetation Management Consultants for details of tree protection measures, trees for removal and transplant process.



ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LBKR
C	DRAFT Development Application	27.09.16	LBKR
D	DRAFT Development Application	28.09.16	LBKR
E	DRAFT Development Application	15.11.16	LBKR
F	Development Application	22.11.16	LBKR

DATE	BY
20.09.16	LBKR
27.09.16	LBKR
28.09.16	LBKR
15.11.16	LBKR
22.11.16	LBKR



IMPORTANT NOTES:
Consult with client.
All dimensions to be brought to the attention of the Landscape Architect.
Landscape drawings are not to be used for construction. All dimensions in mm unless otherwise stated.
Verify all dimensions on site before the commencement of any works.
Confirmations shall be made and agreed prior to construction.
All work shall be completed in accordance with AS/NZS 3845 and Local Government Regulations.
Drainage & Water Features Details shall be subject to Hydraulic Engineer's Specifications.
All work shall be completed in accordance with the Project Engineer or Landscape Architect.
This drawing is copyright to BVN.

CLIENT
MIRVAC
Level 28, 200 George St
Sydney NSW 2000



CHECKED
LB

DWG. TITLE

Landscape Plan - Basement 1 / Retail

PROJECT

SOP53 - 2 Fig Tree Drive, Sydney Olympic Park

ISSUE
Amended DA

360°
Studio 1, 1 Marys Place
Surry Hills NSW 2010
p +612 9332 3601
w www.360.net.au
ABN 60 146 901 326

LA-DA-06



- | | |
|----|--|
| 1 | 2.70 m WIDE TURF VERGE (AS PER SOPA UEDM) |
| 2 | STREET TREE <i>EUCALYPTUS SALIGNA</i> (AS PER SOPA UEDM) |
| 3 | FIG TREE DRIVE |
| 4 | 1.80 m WIDE ASPHALT PATH BY SOPA (AS PER SOPA UEDM) |
| 5 | PATH TO PRIVATE ENTRY WITHIN BODY CORPORATE MANAGER LANDSCAPE ZONE |
| 6 | INSITU BRICK RETAINING WALL AND STEPS FOR TERRACING |
| 7 | NATIVE SHRUBS AND TREES TO PROVIDE PRIVACY TO PRIVATE COURTYARDS |
| 8 | 1.20 m HIGH PALISADE FENCE TO PRIVATE COURTYARDS |
| 9 | PRIVATE COURTYARD LAWN |
| 10 | PRIVATE DINING TERRACE |
| 11 | MOUNDED LANDSCAPE EDGE PLANTED WITH NATIVE GRASS |
| 12 | FEATURE TREE TO PRIVATE COURTYARD |
| 13 | EUCALYPT PLANTING TO LANDSCAPE BUFFER |
| 14 | BRICK PORTAL TO PRIVATE RESIDENTIAL ENTRIES |

01.50 @ A1 0 1.5 4 6m	<table><tr><td>ISS.</td><td>AMENDMENT</td><td>DATE</td><td>BY</td></tr><tr><td>B</td><td>DRAFT Development Application</td><td>20.09.16</td><td>LB/KR</td></tr><tr><td>C</td><td>DRAFT Development Application</td><td>27.09.16</td><td>LB/KR</td></tr><tr><td>D</td><td>DRAFT Development Application</td><td>29.09.16</td><td>LB/KR</td></tr><tr><td>E</td><td>DRAFT Development Application</td><td>15.11.16</td><td>LB/KR</td></tr><tr><td>F</td><td>Development Application</td><td>22.11.16</td><td>LB/KR</td></tr></table>	ISS.	AMENDMENT	DATE	BY	B	DRAFT Development Application	20.09.16	LB/KR	C	DRAFT Development Application	27.09.16	LB/KR	D	DRAFT Development Application	29.09.16	LB/KR	E	DRAFT Development Application	15.11.16	LB/KR	F	Development Application	22.11.16	LB/KR	<table><tr><td>ARCHITECT</td></tr><tr><td>BVN Architecture 255 Pitt Street Sydney, NSW, 2000, AUS T +61 2 8297 7200</td></tr></table>	ARCHITECT	BVN Architecture 255 Pitt Street Sydney, NSW, 2000, AUS T +61 2 8297 7200	IMPORTANT NOTES: 1. All dimensions to be brought to the attention of the Landscaping Architect. 2. Larger scale drawings and smaller dimensions take precedence. All dimensions in mm unless otherwise stated. 3. All dimensions are to be taken from the face of the wall. 4. All dimensions are to be taken from the face of the wall. 5. All dimensions are to be taken from the face of the wall. 6. All dimensions are to be taken from the face of the wall. 7. All dimensions are to be taken from the face of the wall. 8. All dimensions are to be taken from the face of the wall. 9. All dimensions are to be taken from the face of the wall. 10. All dimensions are to be taken from the face of the wall.	<table><tr><td>CLIENT</td></tr><tr><td>MIRVAC Level 28, 200 George St Sydney NSW 2000</td></tr></table>	CLIENT	MIRVAC Level 28, 200 George St Sydney NSW 2000	<table><tr><td>CHECKED</td></tr><tr><td>LB</td></tr></table>	CHECKED	LB	<table><tr><td>DWG. TITLE</td></tr><tr><td>TYPICAL SECTIONS</td></tr></table> PROJECT SOP53 - 2 Figtree Drive, Sydney Olympic Park	DWG. TITLE	TYPICAL SECTIONS
ISS.	AMENDMENT	DATE	BY																																			
B	DRAFT Development Application	20.09.16	LB/KR																																			
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SCALE	DRAWN																																					
KR	KR																																					
ISSUE																																						
Amended DA																																						



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|--------|----|--|
| LEGEND | 1 | 1.70 m WIDE TURF VERGE (AS PER SOPA UEDM) |
| | 2 | STREET TREE <i>FRAXINUS OXYCARPA</i> (AS PER SOPA UEDM) |
| | 3 | 2.00 m WIDE ASPHALT PATH (AS PER SOPA UEDM) |
| | 4 | LANDSCAPE EDGE PLANTED WITH NATIVE GRASSES AND SHRUBS MAINTAINED BY BODY CORPORATE |
| | 5 | RAISED PLANTER ON SLAB PLANTED WITH NATIVE GRASSES AND SHRUBS |
| | 6 | STEPS WITH HANDRAIL DOWN TO BUILDING 4 LOBBY |
| | 7 | WALKWAY ENTRY TO BUILDING 4 LOBBY |
| | 8 | SCREEN TREE PLANTING TO BALCONIES |
| | 9 | PRIVATE ENTRY PATH TO STREET FRONTING UNIT |
| | 10 | BRICK ENTRY PORTAL TO PRIVATE ENTRY |
| | 11 | PRIVATE COURTYARD TO UNIT |
| | 12 | 1.5M HIGH PALISADE FENCE TO COURTYARDS |
| | 13 | BUILDING 5 LOBBY |
| | 14 | SEAT TO ENTRY |

[illegible]



- | | | |
|--------|----|---|
| LEGEND | 1 | 1.70 m WIDE TURF VERGE (AS PER SOPA UEDM) |
| | 2 | STREET TREE <i>FRAXINUS OXYCARPA</i> (AS PER SOPA UEDM) |
| | 3 | 2.00 m WIDE ASPHALT PATH (AS PER SOPA UEDM) |
| | 4 | RETAINING / BALUSTRADE WALL TO SUBSTATION APRON (TO ENGINEERS DETAIL) |
| | 5 | TURF CELL TO SUBSTATION APRON TO ALLOW FOR WATER PERMEATION |
| | 6 | CLIMBING FIG TO GROW ON RETAINING WALL |
| | 7 | CARPARK ENTRY AND FUTURE ROUND-A-BOUT |
| | 8 | PAVED ENTRY TO BUILDING 3 LOBBY |
| | 9 | BOARDWALK TO LINEAR PARK |
| | 10 | TRANSPLANTED FIG (T1) |
| | 11 | SCREEN TREE PLANTING TO BALCONIES |

Additional information provided in response to GMU comments

ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LBKRR
C	DRAFT Development Application	27.09.16	LBKRR
D	DRAFT Development Application	29.09.16	LBKRR
E	DRAFT Development Application	15.11.16	LBKRR
F	Development Application	22.11.16	LBKRR
G	Amended Development Application - to address GMU comments	07.06.17	LBKRR

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IMPORTANT NOTES:

Do not scale down drawings.

All discrepancies to be brought to the attention of the Landscape Architect before any construction work takes place. All dimensions in mm unless otherwise stated.

All line dimensions and 1:10 in ratios.

Verify all dimensions on site before the commencement of any works.

Contractors shall locate and protect all services prior to construction.

All works shall be carried out in accordance with the UK Civil Engineering Regulations.

Structural details shall be subject to Engineer's Specifications.

Water and Water Features shall be subject to Hydraulic Engineer's Specifications.

All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Specifications.

No responsibility will be taken by 360 degrees, for any variations in design, construction method, materials specified, and general specifications within the drawings or the Project Engineer's Landscape Method.

This Drawing is copyright to 360 degrees.

CLIENT
MIRVAC
Level 28, 200 George St
Sydney NSW 2000

SCALE	DRAWN KR
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CHECKED	LB
ISSUE	Amended DA

DWG. TITLE
TYPICAL SECTIONS

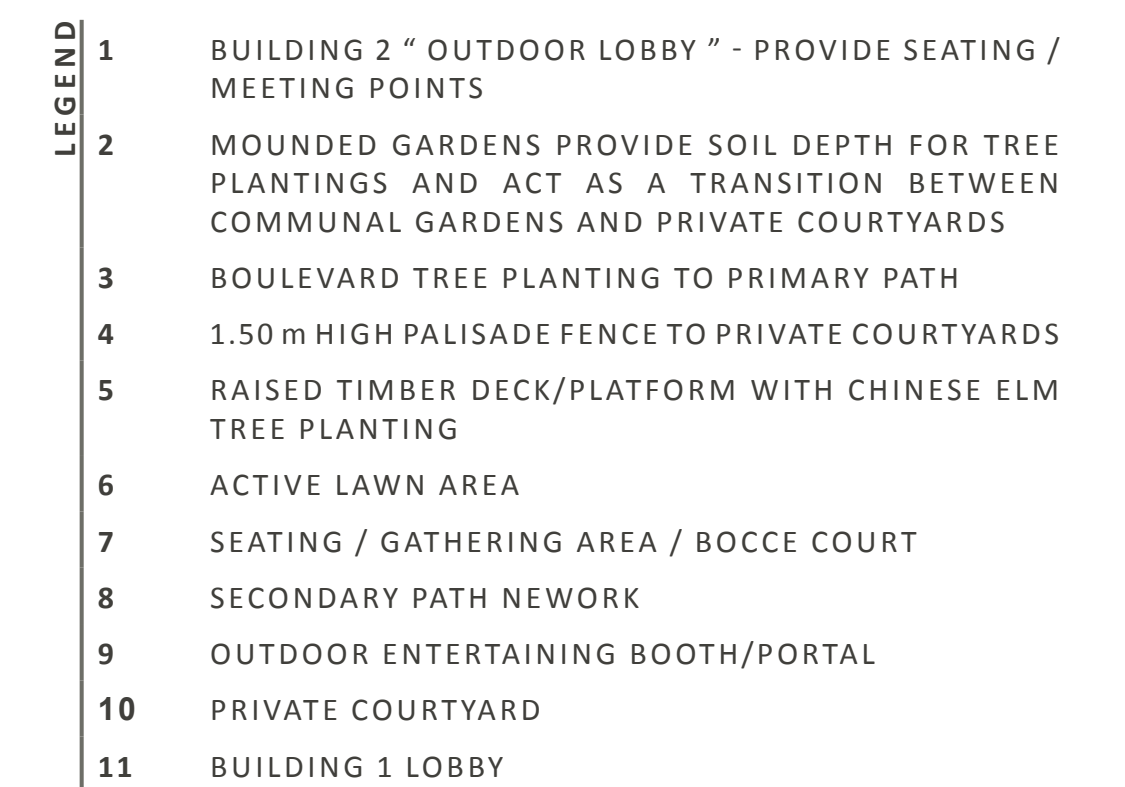
PROJECT
SOP53 - 2 Figtree Drive, Sydney Olympic Park

360
Studio 1, 1 Marys Place
Surry Hills NSW 2010
p +612 9332 3601
w www.360.net.au
ABN: 90 146 901 322

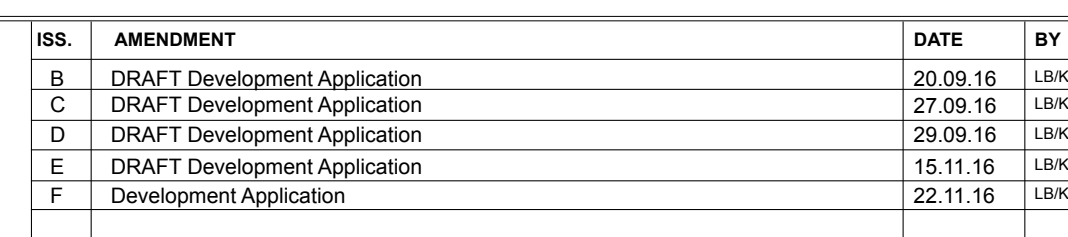
LA-DA-09



KEY PLAN



BASEMENT (B01)



CLIENT
MIRVAC
Level 28, 200 George St
Sydney NSW 2000

CHECKED LB
ISSUE Amended DA

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2



- | | | |
|--------|---|---|
| LEGEND | 1 | EXISTING PLANTED VERGE |
| | 2 | EXISTING STREET TREE EUCALYPTUS MICROCORYS TO BE RETAINED AND PROTECTED |
| | 3 | EXISTING PATHWAY |
| | 4 | MOUNDED LANDSCAPE EDGE PLANTED WITH NATIVE TREES, SHRUBS AND GRASSES |



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-
- The site plan illustrates the layout of the University of Sydney campus. It features a grid-like arrangement of building footprints, primarily in grey, interspersed with green spaces and trees. The plan is bounded by New Street to the west, Fig Tree Drive to the north, and Australia Avenue to the east. A red dashed line outlines a specific area of interest, likely the site of the proposed new building. The plan also shows various internal roads, parking areas, and landscaping elements like trees and lawns.

This architectural section drawing illustrates a building's internal structure and its relationship with the surrounding environment. A large, mature tree with a thick trunk and dense foliage is positioned in the foreground, partially obscuring the building. To the left of the tree, a car is parked on a paved area. A vertical red dashed line, labeled 'PROPERTY BOUNDARY' in red text, runs through the scene. The building itself is a multi-story structure with a brick facade on the ground floor and upper levels. The ground floor features large windows and a series of steps leading up to the entrance. The upper levels have balconies with railings. The drawing includes various callouts and labels: '01' for the car, '02' for the paved area, '03' for the tree, '04' for the ground level, '05' for the tree trunk, '06' for the steps, '07' for the ground level, '08' for the ground level, '09' for the steps, '10' for the paved area, '11' for the ground level, 'LEVEL (01)' for the first floor, and 'BASEMENT (B01)' for the basement level. The drawing is a detailed cross-section showing the building's internal structure, including walls, floors, and roof, as well as the surrounding landscape and infrastructure.

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Additional information provided in response to GMU comments

- | | | |
|--------|----|---|
| LEGEND | 1 | LANDSCAPE TREATMENT TO RETAIL FRONTAGE ALONG AUSTRALIA AVENUE |
| | 2 | TRISTANIOPSIS TREE PLANTING ALONG FRONTAGE |
| | 3 | ACTIVATED RETAIL FORECOURT WITH ACCESS FROM AUSTRALIA AVENUE AND FIG TREE DRIVE |
| | 4 | RETAINED EXISTING FOOTPATH AND VERGE |
| | 5 | EXISTING FICUS MACROPHYLLA TO BE RETAINED AND PROTECTED, REFER ARBORIST REPORT |
| | 6 | 'ROCLA PERMA TRAK' RISED BOARDWALK UNDER RETAINED FIG TREES |
| | 7 | MASS PLANTING UNDER RETAINED FIG TREES |
| | 8 | TALL SCREEN PLANTING TO BASEMENT AIR FLOW LOUVRES |
| | 9 | SEATING / PLAY NODE UNDER FIGS ELEVATED OVER BUTRESS ROOTS (<90MM HIGH) |
| | 10 | STREET TREES ALONG FIG TREE DRIVE |
| | 11 | BUILDING 1 AND 2 ENTRY COLONADE AND PODIUM LANDSCAPE |

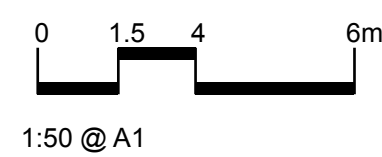


KEY PLAN



LINEAR PARK RETAIL FRONTAGE RETAIL COURTYARD EXISTING FIG TREES FIGTREE DRIVE

ELEVATION - AUSTRALIA AVENUE



ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LBKJ
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255 Pitt Street
Sydney, NSW, 2000, AUS
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IMPORTANT NOTES:

Do not scale from drawings.
Dimensions shall be subject to the attention of the Landscape Architect.
Larger scale drawings and written dimensions take preference. All dimensions in inches unless otherwise stated.
Dimensions and R/Ws shall be in feet and inches.
Use figured dimensions only.
Verify all dimensions on site for the convenience of all project users.
Contractors shall locate and protect all structures prior to any construction.
Work shall be carried out in accordance with ASQA, BSA and Local Government Regulations.
Structure Details shall be subject to Engineer's Specification.
Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
All structures shall be carried out in accordance with the Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
All structures shall be taken to 300 mm deep, for any variations in design, construction method, material specified, and general specifications without permission from the Project Engineer or Landscape Architect.
The Engineer is considered to be the final authority on all matters.

CLIENT
MIRVAC
Level 28, 200 George St
Sydney NSW 2000

SCALE
1:50 at A1

	DRAWN KR
--	-------------

	CHECKED LB
	ISSUE Amended D

DWG. TITLE
TYPICAL ELEVATION

PROJECT
SOP53 - 2 Figtree Drive, Sydney Olympic Park

360 
Studio 1, 1 Marys Place
Surry Hills NSW 2010
+612 9332 3601
www.360.net.au

LA-DA-13

- | | | |
|--------|---|---|
| LEGEND | 1 | LANDSCAPE TREATMENT TO RETAIL FRONTAGE ALONG AUSTRALIA AVENUE |
| | 2 | TRISTANIOPSIS TREE PLANTING ALONG FRONTAGE |
| | 3 | ACTIVATED RETAIL FORECOURT WITH ACCESS FROM AUSTRALIA AVENUE AND FIG TREE DRIVE |
| | 4 | RETAINED EXISTING FOOTPATH AND VERGE |
| | 5 | EXISTING FICUS MACROPHYLLA TO BE RETAINED AND PROTECTED, REFER ARBORIST REPORT |
| | 6 | MASS PLANTING UNDER RETAINED FIG TREES |
| | 7 | TALL SCREEN PLANTING TO BASEMENT AIR FLOW LOUVRES |
| | 8 | STREET TREES ALONG FIG TREE DRIVE |
| | 9 | PODIUM LANDSCAPE |



KEY PLAN

Additional information provided in response to GMU comments



VISUALISATION - CORNER AUSTRALIA AVENUE & FIG TREE DRIVE

ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LBKJ
C	DRAFT Development Application	27.09.16	LBKJ
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G	Amended Development Application - to address GMU comments	07.06.17	LBKJ

ARCHITECT
BVN Architecture
255 Pitt Street
Sydney, NSW, 2000, AUS
T +61 2 8297 7200



IMPORTANT NOTES:

Do not scale from drawings.
Dimensions shall be subject to the attention of the Landscape Architect.
Larger scale drawings and written dimensions take preference. All dimensions in inches unless otherwise stated.
Dimensions and R/W lines shall be in accordance with the following:
Use figured dimensions only.
Verify all dimensions on or before commencement of any work.
Contractors shall locate and protect all services prior to construction.
Work shall be carried out in accordance with ASQA, ASIA and Local Government Regulations.
Structure Details shall be subject to Engineer's Specification.
Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
All structures shall be carried out in accordance with the Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
The Engineer shall be taken to 300 degrees for any variations in design, construction method, material specified, and general specifications without permission from the Project Engineer or Landscape Architect.
The Engineer is considered to be the final authority on all matters.

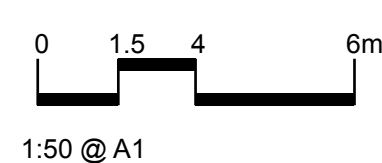
CLIENT
MIRVAC
Level 28, 200 George St
Sydney NSW 2000

SCALE
1:50 at A1

	CHECKED LB
	ISSUE Amended DA

DWG. TITLE
VISUALISATION

PROJECT
SOP53 - 2 Figtree Drive, Sydney Olympic Park



Design amended in response to GMU comments



KEY PLAN

- LEGEND**
- 1 LINEAR PARK
 - 2 TRANSPLANTED FICUS MACROPHYLLA
 - 3 EXISTING LINEAR PARK PATHWAY NETWORK
 - 4 LANDSCAPE EDGE PLANTED WITH NATIVE GRASSES AND SHRUBS
 - 5 1:20 PUBLIC ACCESSIBLE PATHWAY CONNECTING LINEAR PARK AND NEW STREET. CONSTRUCTED USING ROCLA CONCRETE BOARDWALK TO TRAVERSE OVER THE RELOCATED FIG TREE
 - 6 EXISTING LINEAR PARK VEGETATION TO BE RETAINED AND PROTECTED
 - 7 COMMUNAL FACILITIES ROOM
 - 8 EXISTING STORMWATER PIPE
 - 9 SCREEN PLANTING TO BUILDING EDGE
 - 10 MATURE NATIVE TREE PLANTING ALONG LINEAR PARK INTERFACE

SECTION K - BUILDING 3 LINEAR PARK INTERFACE

ISS.	AMENDMENT	DATE	BY
B	DRAFT Development Application	20.09.16	LB/KR
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BVN Architecture
255 Pitt Street
Sydney, NSW, 2000, AUS
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IMPORTANT NOTES:

Do not ignore the following:

- All discrepancies to be brought to the attention of the Landscape Architect before scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
- All line dimensions and R/L in matrix.
- Use figure dimensions only.
- Verify all dimensions on site before the commencement of any works.
- Contractor shall locate and protect all services prior to construction.
- Work shall be carried out in accordance with A/C/N, N/A/C/N and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Features shall be subject to Engineer's Specifications.
- Work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.

Notwithstanding to the above, for any variations in design, construction method, materials specified, all general specifications without permission from the Project Engineer or Landscape Architect.

Attention is requested to the following:

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MIRVAC
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Sydney NSW 2000



CHECKED
LB

ISSUE
Amended DA

DWG. TITLE
TYPICAL SECTIONS

PROJECT
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