

STATEMENT OF HERITAGE IMPACT



State Significant Development Application SSD-76440958

221-291 Crown Street, 216-238 Keira Street and Nos 86-90

Burelli Street, Wollongong, NSW

July 2025 | J4205_05

**Weir
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Heritage

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Report Details	
Statement of heritage impact for:	State Significant Development Application SSD-76440958 Nos 221-291 Crown Street, Wollongong, NSW
Prepared For	Wollongong Developments No.8 Pty Ltd

We acknowledge that the land on which we live, learn and work as the traditional country of the Gadigal people of the Eora Nation. We acknowledge these traditional owners of this land and acknowledge their living cultures and the unique roles they have played in maintaining life, language, and culture in this region. We pay respect to their Elders past, present and emerging and all aboriginal people.

Cover photo: Marcus Clark Building, 1957.
Daily Mercury, 12 August, 1957.

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1.0 INTRODUCTION

1.1 Preamble

This Statement of Heritage Impact (SoHI) has been prepared by Weir Phillips Heritage on behalf of Wollongong Developments No.8 Pty Ltd ('the Applicant') supports a State Significant Development Application (SSDA) for an Infill Affordable Housing Development, SSD-76440958, for the site at 221-291 Crown Street, 216-238 Keira Street and 86-90 Burelli Street, Wollongong (the site).

Specifically, consent is sought for the following development in this SSDA:

- Demolition of existing structures on the site, retention of heritage facades, tree removal and site excavation for new basement.
- Construction of a new mixed-use development consisting of:
 - Four residential towers, ranging from 16 to 38 storeys and comprising 546 apartments including:
 - Approx. 414 market apartments.
 - Approx. 132 affordable apartments.
 - Residential lobbies and podium.
 - Communal open space.
 - A 10-storey commercial office building, an 8-storey hotel comprising 166 rooms, and numerous retail tenancies (including a supermarket) consisting of:
 - 10,009 sqm of commercial GFA.
 - 8,793 sqm of hotel GFA.
 - 3,781 sqm of retail GFA.
 - 1,510 sqm of retail supermarket GFA.
- Car, motorcycle and bicycle parking for residents, workers and visitors across two basement levels, mezzanine, lower ground and levels 1 and 2 including:
 - 774 car parking spaces, including:
 - 547 residential spaces (including accessible spaces).
 - 49 residential visitor spaces.
 - 63 commercial/retail/residential visitor spaces.
 - 25 commercial/retail (staff) spaces.
 - 10 hotel (staff only) spaces.
 - 80 retail (supermarket) spaces.
 - Five (5) loading bays.
 - 320 bicycle parking spaces.
 - 47 motorcycle parking spaces.
- New public open space including a new public plaza.
- Associated landscaping and public domain works.

The site is located within the Wollongong Local Government Area (LGA). There is one heritage item on the site listed by Schedule 5 Part 1 of the *Wollongong Local Environmental Plan 2009 (WLEP)*, being the 'Former Marcus Clark Building,' No. 281-291 Crown Street, Wollongong (I6474). The site is also located within the vicinity of several heritage items listed by this plan and/or by the State Heritage Register or a s170 Register under the *NSW Heritage Act 1977*.

Under Part 5.10 of the *WLEP*:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area

concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The most appropriate heritage management document in this instance is a Statement of Heritage Impact (SoHI).

This SoHI has been prepared in conjunction with architectural plans prepared by DKO and landscape plans prepared by Land + Form, as well as documentation prepared by others. It has been prepared at the request of Wollongong Developments No.8 Pty Ltd.

1.2 Authorship

This statement has been prepared by Alice Fuller, B.App.Sc.(CCM), M.Hert.Cons.(Hons), and James Phillips, B.Sc.(Arch.), B.Arch., M.Herit.Cons.(Hons), of Weir Phillips Heritage and Planning.

1.3 Limitations

This SoHI builds on an earlier SoHI (then called an HIS) prepared by Weir Phillips Heritage and Planning to accompany a Development Application (DA-2021/957) and hereafter referred to as the *HIS 2022*. This DA was approved in December 2022.

The only building on the site that is subject to a statutory heritage listing is the Former Marcus Clark Building, No. 281-291 Crown Street. The brief did not include the provision of histories and heritage assessments for the other buildings on the site. Whilst the street facing elevations of some of these buildings are described, it is noted that there is an existing approval for the removal of these buildings, excluding the facade of the Crown Hotel under DA-2021/957). See Section 1.6 below.

The brief did not include an Aboriginal or Historical Archaeological assessment. A separate historical archaeological assessment has been prepared by Austral Archaeology and should be referred to. It is understood that the proponents have engaged separately with local Aboriginal elders.

Wollongong Council do not hold any building plans for the Former Marcus Clark Building that date before 1980, which is the primary period of interest for this building. Only that part of the building occupied by Spotlight was accessible at the time the site visit was carried out. Note: the existing DA approval provides for the removal of the interiors.

Heritage items in the vicinity of the site were inspected from the public domain only. The information provided by the State Heritage Inventory (SHI) listing sheets for these items was relied upon.

1.4 Methodology

A project specific site visit was carried out in April 2025. Unless otherwise stated, the photographs in this statement were taken by the authors on this occasion. These photographs are supplemented with images from the site visit undertaken in 2022 and from Google Maps as accredited.

This SoHI has been prepared with reference to the Heritage NSW publication *Guidelines for preparing statements of heritage impact* (2023) and with reference to the Council planning documents listed under Section 10 below.

1.5 Site Location and Identification

1.5.1 Site Location

The site is situated at 221-291 Crown Street, 216-238 Keira Street and 86-90 Burelli Street, Wollongong, within the Wollongong Local Government Area (LGA).

The site forms part of the Wollongong City Centre Precinct, as identified in the Wollongong Local Environmental Plan 2009 (WLEP). It is well located, being approximately 280m from Wollongong Train Station which provides services within Wollongong and to the Sydney CBD. It is adjacent to Wollongong Central shopping centre, a major regional retail hub. The site has ample access to public open space being less than 50m from MacCabe Park.

The site comprises a significant landholding of approximately 13,088m² with frontages to Crown Street, Keira Street, Burelli Street and Atchison Street. The site is owned by Wollongong Developments No.8 Pty Ltd

Figure 1 shows the location of the site within the wider area.

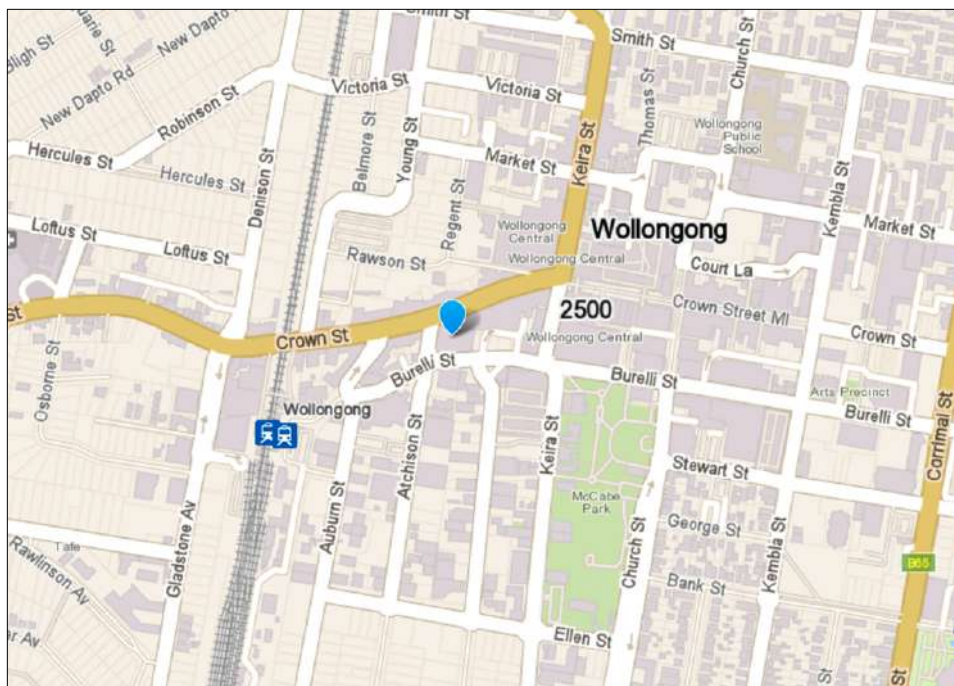


Figure 1: Location of the site within Wollongong.

Whereis.com.au.

The site comprises an area of approximately 13,088 sqm with frontages to Crown Street (Princes Highway) to the north; Keira Street to the east; Burelli Street to the south; and Atchison Street to the west. Refer to Figure 2.



Figure 2: Site boundaries.

Source: Nearmap, edits by Ethos Urban

The site area and legal description is recorded in **Table 1**.

Table 1 Site Description

Legal Description	Address
Lot 1 in DP 112417	216-222 Keira Street
Lot 100 in DP 774957	226-230 Keira Street
Lot 9 in DP 551157	232-234 Keira Street
Lot 8 in DP 546125	236-238 Keira Street
Lot 1 in DP 88455	86 Burelli Street
Lot 4 in DP 17979	
Lot 5 in DP 17979	
Lot B in DP 395330	90 Burelli Street
Lot 1 in DP 220513	221-229 Crown Street
Lot 3 in DP 17979	231 Crown Street
Lot 2 in DP 17979	233-235 Crown Street
Lot 1 in DP 17979	
Lot 7 in DP 878243	237-241 Crown Street
Lot 1 in DP 1135333	243-251 Crown Street
Lot 1 in DP 226374	253-259 Crown Street

Lot 1 in DP 183348	
Lot 2 in DP 226374	
Lot 3 in DP 319452	261 Crown Street
Lot 2 in DP 319452	269-271 Crown Street
Lot 1 in DP 319452	
Lot 2 in DP 181570	273-279 Crown Street
Lot 1 in DP 1116034	
Lot 1 in DP 82673	281-291 Crown Street
Lot 1 in DP 117019	
Lot 1 in DP 927806	281-291 Burelli Street
Lot 1 in DP 1198873	
Lot 1 in DP 1087986	

1.5.2 Site Identification

Table 2 summarises the principal information for the site.

Address and Lot Identification	See Table 3 in Section 2.3 below for a full list of addresses and lots comprising the site.
Local Government Area	City of Wollongong Council.
Land Use Zoning	B3: Commercial Core (<i>WLEP</i>).
Built Elements	Various commercial buildings ranging from single storey to seven storeys. See Table 3 in Section 2.3 below.
Heritage Status (Statutory)	Part of the site only. Listing is as follows: Schedule 5 Part 1 of the <i>Wollongong LEP 2019</i> : 'Former Marcus Clark Building,' No. 281-291 Crown Street, Wollongong (I6474). Listing boundaries: Lot 1 D.P. 927806; Lot 1 D.P. 1087986; Lot 1 D.P. 82673 and Lot 1 D.P. 117019). Local significance.

Table 2: Site Summary.

1.6 Project Background

An existing consent approved on 12 December 2022 (DA-2021/957) applies to the site. The consent was granted for the demolition of existing structures, retention of heritage facades, tree removal, excavation for basement car parking and construction of a mixed-use development at the street block bound by Crown, Keira, Burelli and Atchison Streets, comprising three (3) residential towers (shop top housing), one (1) commercial building, retail shops, entertainment facilities (cinema, exhibition/performance space) and a wellness centre (pool, gym, and health services).

1.7 Secretary’s Environmental Assessment Requirements

This SoHI has been prepared to respond to the Secretary’s Environmental Assessment Requirements (SEARS) dated 8 October 2024 for SSD-76440958. Specifically, this report has been prepared to respond to those SEARS summarised in the table below.

Requirements	Response
19. Environmental Heritage Where there is potential for direct or indirect impacts on the heritage significance of environmental heritage, provide a Statement of Heritage Impact and Archaeological Assessment (if potential impacts to archaeological resources are identified), prepared in accordance with the relevant guidelines, which assesses any impacts and outlines measures to ensure they are minimised and mitigated.	This report provides a SoHI only. Refer to the separate archaeological report prepared by others.

Table 3: SEARS Heritage Requirements.

2.0 SITE ASSESSMENT

2.1 Preamble

Sections 2.2 and 2.3 below describes the site as a whole. Section 2.4 describes the heritage item on the site, being the Former Marcus Clark Building, in greater detail. The following should be read in conjunction with Figure 3 below and the survey that accompanies this application.

2.2 The Site

The site is bounded by Crown Street (Princess Highway) to the north; Keira Street to the east; Burelli Street to the south; and Atchison Street to the west. The site is approximately 13,088 sqm in area. There is a 4.5m fall along the Crown Street frontage and a 6m fall along the Burelli Street frontage. The site falls more steeply to the south, with a 5m fall along the Atchinson Street boundary and a 6m fall along the Kiera Street boundary. This results in a 11m cross fall from the north western corner to the south eastern corner.

Buildings (see Figure 3 and Table 3 below) cover the majority of the site area. These buildings are built to their Crown Street, Keira Street, Burelli Street and/or Atchison Street boundaries. There is a small car parking area off Burelli Street. A narrow laneway, with two access points, runs into the site from Burelli Street, providing access to the rear of properties fronting Crown, Keira and Atchison Streets.

There are several trees on the site. Refer to the arborist report prepared by others. None of the planting is, however, of heritage significance.

As noted above, the approval for DA-2021/957 provides for the demolition of all the buildings on the site except for part of the façade of the Former Marcus Clark Building and its clock tower and part of the façade of the Grand Hotel. The buildings on the site are briefly identified in Section 2.3 below. The Former Marcus Clark Building and the pre-World War II buildings, including the Grand Hotel, are described in Section 2.4 and 2.5 respectively.



Figure 3: Aerial Photograph over the Site. The solid red line defines the site boundary. The colours and numbers relate to Table 3 below.

SIX Maps; addition in red by WP Heritage.

2.3 The Buildings: Overview

The buildings on the site range in date and style from the Late Federation/Interwar period to the present day. These buildings and the lots they stand on, are briefly identified in Table 3.

Address	Brief Description	Image
No. 281-291 Burelli Street (Lot 1 D.P. 927806; Lot 1 D.P. 1087986; Lot 1 D.P. 82673; Lot 1 D.P. 117019 and Lot 1 D.P. 1198873).	This building, the Former Marcus Clark Building, occupies the western end of the site and has frontage to Crown Street, Atchison Street and Burelli Street. It is listed as a heritage item by the <i>WLEP</i>. This building is described in Section 2.4 below. It is the only heritage listed building on the site. It is shaded light red and marked '1' in Figure 3 above.	 North western corner of the Former Marcus Clark Building.

Address	Brief Description	Image
		 Secondary frontage, part of the listing for the Marcus Clark Building on Crown Street.
No. 273-279 Crown Street (Lot 2 D.P. 181570; Lot 1 D.P. 1116034; and Lot 2 D.P.326530).	This building fronts Crown Street and presents to the street as a storey Post World War II commercial building with a fixed windows and a high largely un-ornamented parapet. This building is shaded green and marked '2' in Figure 3 above.	
No. 269-271 Crown Street (Lots 1 and 2 D.P. 319452).	This building fronts Crown Street. It presents to the street as a much-altered two storey Federation/Interwar period commercial building with modern shop fronts and large arched openings fitted with metal framed glazing at first floor level. This building is shaded light blue and marked '3' in Figure 3.	

Address	Brief Description	Image
No. 261 Crown Street (Lot 3 D.P. 319452).	This building fronts Crown Street. It presents to the street as a late Federation/early Interwar period two storey commercial building. The shop fronts, awning and first floor windows have been replaced. The parapet is simply detailed. This building is shaded yellow and marked '4' in Figure 3 above.	
No. 253-259 Crown Street (Lot 1 D.P. 183348; Lots 1 and 2 D.P. 226374).	This building fronts Crown Street. It presents to Crown Street as a four storey c.1960s-1980s concrete framed commercial building. This building is shaded purple and marked '5' in Figure 3.	
No. 243-251 Crown Street (Lot 1 D.P. 1135333; Lot 7 D.P. 878243).	This building fronts Crown Street. It presents to Crown Street as a three storey c.1960s-1980s concrete framed commercial building. This building is coloured grey and marked '6' in Figure 3.	

Address	Brief Description	Image
No. 233-235 Crown Street (Lot 1 D.P. 17979; Lot 2 D.P. 17979).	This building fronts Crown Street. It presents to the street as a single storey Post World War II building. This building is marked '7' and coloured pink in Figure 3.	
No. 231 Crown Street (Lot 3 D.P. 17979).	This building fronts Crown Street. It presents to the street as a post 1980s three-four storey stepped building. It is single storey at the street front. This building is marked '8' and coloured dark blue in Figure 3.	
No. 221-229 Crown Street (Lot 1 D.P. 220513).	This building lies on the corner of Crown and Keira Streets. It is a seven-storey storey post 1970s commercial building on the corner of Burelli Street. This building is marked '9' and coloured orange in Figure 3.	

Address	Brief Description	Image
No. 216-222 Keira Street (Lot 1 D.P. 112417).	This building fronts Keira Street. It presents to the street as a single storey Post World War II commercial building with simply detailed parapet. This building is marked '10' and coloured dark green in Figure 3.	
No. 226-230 Keira Street (Lot 100 D.P. 774757).	This building fronts Keira Street. It is a two storey Late Federation/ Interwar period building with simple detailed parapet. This building is marked '11' and coloured dark purple in Figure 3.	
No. 232-234 Keira Street (Lot 9 D.P. 551157).	This building fronts Keira Street. It is a two storey Late Federation/ Interwar period building with simple detailed parapet. Refer to Section 2.5 below. This building is marked '12' and coloured dark yellow in Figure 3.	

Address	Brief Description	Image
No. 236-238 Keira Street (Lot 8 D.P. 456125).	This building fronts Keira Street. It presents to the street as a two storey Federation/ interwar (?) period building with engaged piers and high parapet. This building is marked '13' and coloured dark orange in Figure 3. Refer to Section 2.5 below.	
No. 86 Burelli Street (Lot 1 D.P. 88455; Lot 4 D.P. 17979; Lot 5 D.P. 17979).	This building stands on the corner of Keira Street and Burelli Street. Three storey Interwar Functionalist Style hotel, with later additions. Refer for further detail to Section 2.5 below. This building is marked '14' and coloured dark red in Figure 3.	
90 Burelli Street Lot B D.P. 395330).	Back-lot behind No. 237-241 Crown Street. This lot is marked '15' and is not coloured in Figure 3.	

Table 4: Lots and Buildings on the Site

2.4 The Former Marcus Clark Building

The building(s) on the lots part of the heritage curtilage of the Former Marcus Clark Building can be divided into number of distinct sections, which are identified in Figure 4.



Figure 4:
Sections of the heritage listed building(s) referred to below.

SIX Maps; annotations by WP Heritage and Planning.

2.4.1 Exterior

Two distinct elevations are presented to **Crown Street**.

The eastern-most section of the Crown Street elevation (associated with the roof form marked '1' in Figure 4 above) is two storeys in height to Crown Street. At ground floor level, the walls are rendered and painted. There are large metal framed shop windows. There is a suspended awning, separate from the awning of the western end of the building. The first floor elevation is blind and rises seamlessly into the parapet, which is lower than the western section of the elevation. This part of the elevation is clad in metal sheeting and has no architectural detailing. This is the only elevation of this part of the building that is visible. Refer to Figure 5.



Figure 5: Eastern most end of the building on the heritage listed site, Crown Street elevation.

The western section of the Crown Street elevation (associated with the roof form marked '2' in Figure 4 above) is constructed of rendered and painted masonry. At ground floor level there are large metal framed shop windows surrounded by glazed blue square tiles at ground floor level. Entrances are recessed and lined in red granite. The ground floor is divided from the first floor by a suspended metal awning, the underside of which is lined with asbestos 'tile' sheeting.

At first floor level, the walls are rendered and painted. There are regularly spaced groups of three timber framed double hung windows (with a single pane to each sash) separated by masonry spandrels. Ledge lines emphasise the horizontality of this part of the elevation.

The above detailing continues around the **north western corner elevation**. There are no openings at first floor level in this elevation. A square clock tower (with clock hands removed) rises above the parapet.

Refer to Figures 6 to 11.



Figure 6: Northern elevation of the western building.



Figure 7: The north western corner of the building.



Figure 8:
Looking along the
Crown Street
elevation, showing
the large metal
framed shop
windows.



Figure 9: Detail of one of the Crown Street entrances with red granite.



Figure 10: Detail of one of the Crown Street entrances with red granite.



Figure 11:
Detail of the
asbestos tile
sheeting to the
underside of the
awning.

The **Atchison Street, western, elevation** of the 1921/1957 is similarly detailed to the Crown Street elevation. The parapet steps down in height. As the site falls, the double hung windows of the first floor of the Crown Street elevation correspond to the second floor level of this elevation. Below these windows, there are horizontal openings. The suspended awning steps down in line with the fall of the street. Refer to Figure 12 and 15



Figure 12:
Western
elevation.
This section
lies under the
roof forms
marked '2'
and '3' in
Figure 4.



Figure 13:
Continuing
south along
the western
elevation.
This section
lies under
the roof
form
marked '3'
in Figure 4.



Figure 14:
Continuing
south along
the western
elevation.
This section
lies under
the roof
form
marked '3'
in Figure 4.



Figure 15:
Detail of the
main
entrance in
the western
elevation.

Figure 16 illustrates the **south western corner** of the building. The awning continues around this corner, as does the blue tiling and large shop windows at ground floor level. At first floor level there are two horizontal openings fitted with timber framed windows. At second floor level, there are two large openings fitted with three timber framed double hung windows.



Figure 16:
South western corner. This section lies under the roof form marked '3' in Figure 4.

Figures 17 and 18 illustrate the southern, **Burelli Street elevation**, which comprises three distinct parts, reflecting the three separate roof forms that lie above. This elevation extends beyond the boundaries of the heritage listing. The western-most end (under the roof form marked '3' in Figure 17) reads as being four storeys in height and constructed of rendered and painted masonry. There are large openings at ground floor level fitted with roller doors and metal framed and glazed doors. At first floor level, there are openings (of two sizes) fitted with timber framed double hung windows (with a single pane to each sash). This level corresponds with ground floor level on Crown Street. At second floor level there are horizontal highlight openings fitted with timber framed windows. The upper most level has large openings fitted with fitted with timber framed double hung windows (with a single pane to each sash).

The central part of this elevation (under the roof form marked '4' in Figure 17 above) steps down in height. This part of the elevation is clad. There is a roller door at ground floor level and metal framed and glazed doors. At first and second floor level there are metal framed windows of various sizes. Refer to Figure 17.

The south eastern corner of the building (outside of the boundaries of the heritage listing) is constructed of masonry at ground floor level and is clad in corrugated metal sheeting at first and second floor levels. It has metal framed windows. There is carparking under the building at ground level. Refer to Figures 18 and 19.



Figure 17:
Western end of
the southern
elevation.



Figure 18:
Eastern end of
the southern
elevation.



Figure 19:
South western
corner.



Figure 20:
Eastern elevation of
the later addition.

As demonstrated by the aerial photograph, Figure 4, the building(s) has various roof forms. Roof forms are skillion roof forms or low-pitched roof forms, clad in corrugated metal sheet.

2.4.2 Interior

The interior of that part of the building occupied by Spotlight was photographed in 2021. No major changes have occurred since this time. This tenancy comprises the areas marked '2' and '3' in Figure 4 above. No access was provided to the remainder of the interior. The existing DA approval provides for the removal of these interiors.

The floor plates of the Spotlight building tenancy are largely open. The floors/ceilings are supported by regularly spaced masonry piers.

There are a number of staircases connecting the levels; balustrades comprise metal rods with timber rails. If these staircases are associated with the 1921 building, as is suggested by those staircases with pressed metal panels to the underside, they were, with the exception of the pressed metal panels, refurbished as part of the 1950s fit-out.

Part of the basement level (relative to Crown Street) has a decorative pressed metal ceiling. The remainder of the ceiling at this level comprises drop-in panels.

The ceilings at ground and first floor levels are plain. The columns have quad cornices.

A lift (modern fit-out) that marks the eastern edge of the 1921 building. The staircase beside this lift has walls clad to dado height in timber paneling, part of the 1950s fit out.

The windows above ground floor level have simply profiled timber archives.

Figures 19 to 30 illustrate typical interiors.



Figure 21:
Basement level.
WP Heritage, 2021.



Figure 22:
Detail of the pressed metal ceiling at basement level.
WP Heritage, 2021.



Figure 23:
Detail of the pressed metal beneath the staircases and the pressed metal cornice to beams.
WP Heritage, 2021.



Figure 24: Lift on the eastern edge of the 1921 building.
Figure 25: Staircase on the southern side of the lift.
 WP Heritage, 2021.



Figure 26:
Basement level of the extension.
 WP Heritage, 2021.

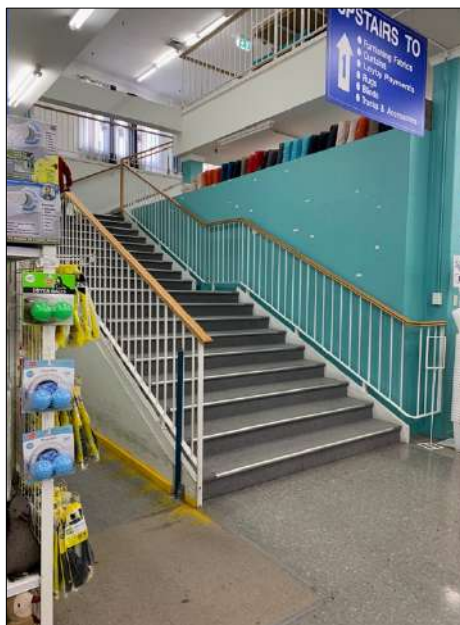


Figure 27: Typical staircase detail. Council records suggest that this staircase was widened in the 1980s/1990s and a lift removed.
Figure 28: Ground floor.
 WP Heritage, 2021.



Figure 29:
First floor.
WP Heritage, 2021.



Figure 30:
Typical window joinery
at first floor level.
WP Heritage, 2021.

The unoccupied ground floor of the 1959 extension was viewed through the Crown Street windows. The floor plate is similarly open. The supporting pillars have modern cladding. Refer to Figure 41.



Figure 31:
Ground floor of the
1959 extension.
WP Heritage, 2021.

The remainder of the building was not available for inspection.

2.5 Other Pre World War II Buildings on the Site (Facades Only)

Although the following buildings have been approved for demolition under DA-2021/957, they are briefly described, given that they are Pre-World War II buildings.

2.5.1 Nos. 226-238 Keira Street

The Keira Street elevation of **Nos. 226-230 Keira Street** is constructed of brick and is two storeys in height. A large opening has been cut into the elevation at ground floor level and modern metal framed doors and windows installed. The shop front is protected by a suspended metal awning, the underside of which is clad in metal panelling (not decorative pressed metal).

There are two small openings at first floor level, each fitted with a pair of timber framed casement windows. Each opening has a metal awning supported by metal stays. The brickwork of this part of the elevation has been painted.

The elevation rises into a high parapet that conceals the roof from the street. The parapet is simply detailed with a inset rendered rectangular panel above the window openings. The top of the parapet steps down in the centre and is capped with render.

The elevation abuts Nos. 232-234 Keira Street to the south. It is separated from No. 216-222 Keira Street to the north by a narrow passageway that is blocked off to the street.

Figure 32 illustrates the Keira Street elevation of this building.



Figure 32:
No. 226-230 Keira
Street.

No. 232-234 Keira Street is constructed of painted and rendered masonry and is two storeys in height. There is a single opening- an inset single panel door off set to the south- ground floor level. A suspended awning divides the ground and first floor elevations.

The first floor of the elevation is divided into two equal bays by an engaged pier, which is matched by piers at either end of the elevation. There is an opening within each bay, each fitted with three timber framed casement windows. The two openings have awnings supported by simply detailed timber brackets. There is a continuous cornice running across the elevation, above the windows.

The elevation rises into a high parapet that conceals the roof from the street. The two outer piers continue into the parapet. The central section of the parapet steps upwards. Each section of the top of the parapet is capped by a rendered cornice. There is a rectangular panel set above the lower cornice line, within the parapet.

The elevation abuts Nos. 226-230 Keira Street to the north. It is separated from No. 236-238 Keira Street to the south by a narrow passageway. A brick wall set within the passageway blocks access from the street.

Figure 44 illustrates the Keira Street elevation of this building.



Figure 33:
No. 232-234 Keira Street.

No. 236-238 Keira Street is constructed of painted brick and painted and rendered masonry and is two storeys in height. There is a large boarded- in opening at ground floor level; an inset door provides access at the northern end.

The first floor of the elevation is divided into three bays by engaged piers, which are matched to either side of the elevation. This part of the elevation is rendered. The piers have incised lines representing Ashlar lines and rise to the top of the elevation.

There is a large opening in each of the bays fitted with metal framed windows with horizontal and vertical glazing bars.

The elevation rises into a high parapet that conceals the roof. There is a blind rendered plaque in each bay above the window. A cornice line runs across the top of the parapet. A central pediment rises above this cornice.

The façade is separated from No. 234-236 Keira Street to the north by a narrow passageway. A brick wall set within the passageway blocks access from the street. The façade abuts the Grand Hotel to the south.

This building has no awning. Figure 32 illustrates the Keira Street elevation.



Figure 34:
No. 236-238 Keira Street.

2.5.2 Grand Hotel

The original part of the Grand Hotel, built in 1938, stands on the north western corner of Burelli Street and Keira Street and has been designed to address both street frontages. The building is a three storey Interwar Functionalist Style brick building. It is built to its street boundaries.

The Kiera Street elevation is banded. The majority of the once face brickwork at ground floor level has been rendered and painted; the surviving brickwork has been painted. Door openings are recessed into square openings. There are several openings flush with the wall in which are set fixed and operable glazed panes. The banded cream and red face brickwork has survived at first and second floor levels. The windows in these levels are aluminium framed. Note the simply detailed engaged piers that rise into the parapet.

The parapet steps up as it rounds the corner. The ground floor brickworks is painted; the first and second floors retain their face brick finish. There is a three sided bay

window set in the corner at ground floor level with projecting concrete hood and aluminium framed windows. At first floor level, there is a rounded glazed bay; at second floor level, a door opens onto a recessed balcony with steel balustrade.

The Burelli Street elevation similarly has painted brickwork at ground floor level and face brick (banded) at first and second floor levels. There are various openings at ground floor level and a number of surviving timber framed windows, including a double hung windows with horizontal glazing bars, typical of the late 1930s. The windows at first and second floor level are aluminium framed.

The 1956 addition at the western end is built to its Burelli Street frontage. It has a face brick and painted brick elevation. There is a suspended steel awning; a parapet conceals the roof form. All the windows and doors are metal framed.

Refer to Figures 33 to 39.



Figure 35:
Kiera Street
elevation of the
Grand Hotel.



Figure 36:
Keira Street/
Burelli Street
corner of the
Grand Hotel.
Google Maps,
July 2024.



Figure 37:
Burelli Street
elevation of the
original section
of the Crown
Hotel.



Figure 38:
Western end of
the Burelli
Street
elevation,
showing the
1956 addition.



Figure 39:
Western
elevation of the
Grand Hotel.

2.6 The Surrounding Area

2.6.1 The Existing Setting

As set out in Urban Design Report, Wollongong's topography is defined by the dramatic contrast that exists between its narrow coastal plain backed by the steep Illawarra Escarpment and the prominent ridges of Mount Keira and other high points that rise abruptly from the coastal plain. The following concentrates on the more immediate setting whilst acknowledging the significance of the escarpment within the broader setting and within view corridors out of the Central Business District (CBD).

The site is located within a commercial setting that is characterised by buildings built to their street boundaries and occupying the majority of their entire site area. Buildings range in date from the Late Victorian/Federation periods through to the current day and in size from single storey to new tower blocks under construction. Uses are mixed. Refer to Figure 40.



Figure 40: Aerial photograph over the site and the surrounding area.

SIX Maps; annotations by WP Heritage and Planning

The section of **Crown Street** in which the site lies falls very gently to the east. The street is wide and carries traffic in both directions. There are wide pathed footpaths to either side. There are no street trees within this part of Crown Street. The street is lined with commercial buildings dating from the Federation period to the current day. They are predominately two storeys in height to the street; there is a seven storey building on the corner of Crown Street/Keira Street corner of the subject site. Most of the buildings have suspended awnings, providing almost continual cover along the footpath. Most also have parapets, concealing roof forms from the street.

To the immediate east of the site, on the south western corner of Crown Street and Atchison Street lies Nos. 293-297 Crown Street. The building on this site is two storeys to Crown Street and three storeys to Atchison Street. It is brick commercial building in the Interwar Functionalist Style, built to its street boundaries. Continuing east along this part of Crown Street are one to three storey Late Federation/Interwar period commercial buildings. The two corners of Crown and Station Street are occupied by the c.1927 Grand Hotel and the relatively recently constructed eight storey mixed use building at No. 313-323 Crown Street. This building is prominent in the existing streetscape.

North of the site, on the opposite site of Crown Street lie two storey (to the street) Victorian, Federation and Interwar period shop fronts with later infill. Recently constructed high rise towers are visible on the skyline behind the buildings fronting the Crown Street block. As set out in Section 4.2 of this statement, there are several heritage items within this block. The eastern end of the block is terminated by a large glass and steel building, part of Wollongong Mall.

Figures 41 to 47 illustrate Crown Street in the vicinity of the site.



Figure 41:
Crown Street
looking west of the
site, showing the
Interwar period
building on the
opposite corner of
Crown and
Atchinson Streets
and the distant
former Grand Hotel
(painted green)
beyond. Note the 8
storey building
beyond the former
hotel on the RHS of
the image.



Figure 42 and Figure 43: Crown Street opposite the western end of the site, showing the one and storey scale at the street front, with tall towers to the rear and in the blocks behind. The two storey building visible in Figure 43 ('Unknown Group') is listed as a heritage item by the *WLEP* and is discussed further in Section 4.2 below



Figure 44: The northern side of Crown Street, opposite the site.



Figure 45:
Continuing east of
Figure 43. Some of
these building are
listed as heritage
items by the *WLEP*
and are described
in Section 4.2
below.



Figure 46:
Glass and steel
building on the
corner of Crown
Street and Kiera
Street, opposite the
site.

To the immediate west of the site, on the opposite side of Keira Street, Crown Street becomes a paved pedestrian mall, part of Wollongong Central Shopping Centre. There is a narrow two storey commercial building of indeterminate age directly opposite the site and a modern five plus storey (street wall height) building on the diagonally opposite corner. An enclosed pedestrian link crosses the mall at first floor level. The mall terminates the vista in this part of the street.

Keira Street in the vicinity of the site falls to the south. The street is wide and carries traffic in both directions. There are wide pathed footpaths to either side. There are no street trees.

The Wollongong Central Shopping Centre lies on the eastern side of the street, opposite the site. It is built to its lot boundary and presents a two-three storey wall height to the street, with little articulation above ground floor level. Part of the centre extends over Keira Street at first floor level to provide a covered drop-off point. Refer to Figures 45 and 46.



Figure 47:
The eastern side
of Keira Street,
northern end
opposite the
intersection with
Crown Street.



Figure 48:
The eastern side
of Keira Street,
opposite the site,
looking south.
Google Maps, July
2024.

Burelli Street in the vicinity of the site rises gently to the west. The street is wide and carries traffic in both directions. There are wide pathed/bitumen surfaced footpaths to either side. There are irregularly spaced street trees, including outside of the subject site. Opposite the site lie single storey buildings, on-grade car parks and a single storey structure with roof top parking. Refer to Figures 49 and 50.



Figure 49:
Burelli Street,
opposite the site.



Figure 50:
Burelli Street,
opposite the site,
further west.

Atchison Street in the vicinity of the site rises towards Crown Street. The street is narrower than Crown Street and carries traffic in one direction only. There are paved/bitumen surfaced footpaths to either side and two street trees, both outside of the subject site.

The Interwar Functionalist Style building at No. 293-297 Crown Street, opposite the site on the corner of Crown Street, was described above and illustrated by Figure 31. To the rear of this building, and accessed from Atchison Street, lies a car park. No. 2 Atchison Street, on the north western corner of Atchison Street and Burelli Street, appears to be a Federation/ Interwar period single storey brick dwelling with a modern shop extension. Note in Figure 51 below how the towers north of Crown Street are highly visible in views north up the street.

No. 10 Atchison Street, on the south western corner with Burelli Street, diagonally opposite the former Marcus Clark Building is a large modern three storey building housing the State Emergency Service. The corner of this site is landscaped. No. 1-5 Atchison Street is a modern two storey flat roofed commercial building with a carpark to the rear.

Refer to Figure 51 and 52.



Figure 51: Atchinson Street opposite the site.

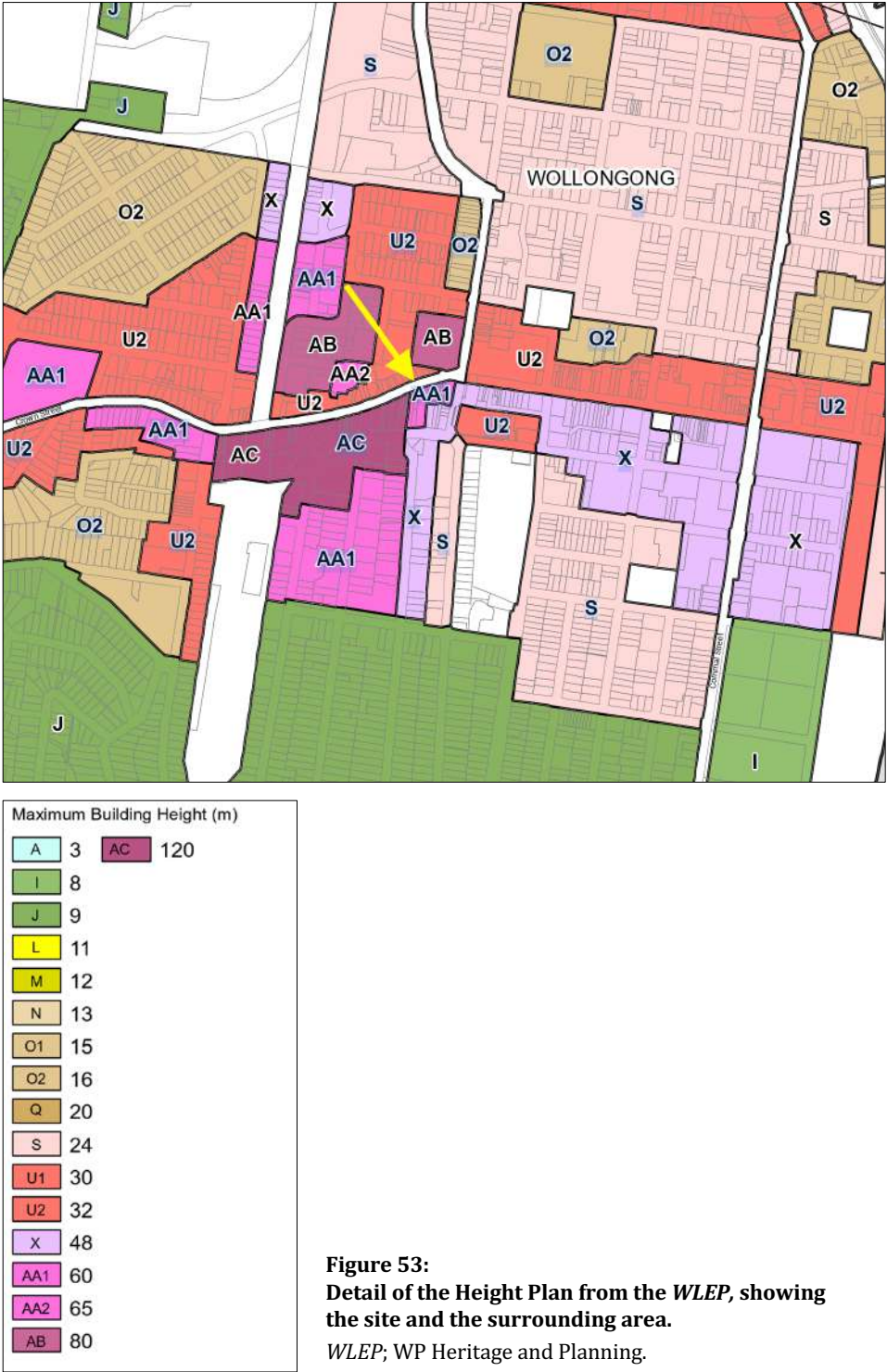


**Figure 52:
SES quarters on
the diagonally
opposite corner
of Burelli and
Atchinson Street,
opposite the
former Marcus
Clark Building.**

2.6.2 The Desired Future Setting

As set out further in the Statement of Environmental Effects (SEE) that accompanies this application, the character of this part of Wollongong will change as non-heritage listed sites begin to be development in line with uplift in height and FSR that applies to this area under the *WLEP* and as applied under various State Government initiatives to increase height and density in areas within major transport hubs. Wollongong has a targeted population increase of 6,000 residents with the CBD and an additional 10,000 jobs over an approximate 25 year period. As demonstrated by Figure 54 below, permissible heights under the *WLEP*, excluding the additional heights permitted under, for example, the *SEPP (Housing) 2021*, in the area immediately surrounding the site range from 30m to 120m. As illustrated by Figure 42, 43 and 51 above, buildings of a substantially larger

massing and scale have already been constructed within the immediately surrounding area and have been approved for the subject site under the current DA.



3.0 HISTORICAL DEVELOPMENT

3.1 Preamble

The following provides a history of the Former Marcus Clark Building only, being the only statutory listed heritage item on the site. Given that the brief for this statement did not include an archaeological assessment, the following does not consider the pre 1920 history of the site in any detail. A brief summary is provided in section 3.2 below.

Note: this submission includes a historical archaeological assessment prepared by Austral Archaeology dated April 2025. Refer to this report for a detailed history of the whole site from the early nineteenth century.

3.2 Brief History of Wollongong and the Site Prior to 1920

Wollongong lies within the traditional lands of people part of the Dharawal language group, including the Wadi, Thurawal, Wandandian and Jerringa people. The name 'Illawarra' is an Aboriginal word for 'echidna' or 'spiny anteater'; 'Wollongong' is derived from an Aboriginal word for the coast (headland) in the vicinity of Wollongong Harbour.¹

The British Colony of NSW was officially established in Cadi Country in January 1788. Ignoring the presence of the Aboriginal people, all land was declared to be Crown Land. Within ten years, the colonists had begun exploring the Illawarra region. Timber getters and 'squatters' followed in their wake. The first grants in the vicinity of Wollongong were made in 1816-1817.

Wollongong had several advantages over other early centres in the Illawarra area, not the least of which was its natural harbour. During the late 1820s, the government chose to make it an official centre for administration. The Township of Wollongong was laid out by Surveyor General Sir Thomas Mitchell in 1834. The township lies partially on a 300 acre grant made to Charles Throsby Smith and partly on a 40 acre grant made to Edward Bourke. The original township lay between Crown and Smith Streets and Keira and Harbour Streets.² The subject site lies outside of these boundaries.

Surveyor Mitchell provide for a gaol, courthouse, hospital and market square in the new township.³ A visitor to the area in 1836 noted a modest beginning. By this time, there was a police station, two stores, two public houses, a Roman Catholic Chapel and a few dwellings.⁴ The future of Wollongong was assured when work began on the construction of the harbour basin in 1837.

The heritage item on the subject site, being the Former Marcus Clark Building, stands on land original granted to Edmund Bourke on 8 February, 1840. Bourke was an Irish born emancipist who had settled in Wollongong in the 1820s.⁵ By 1848, eight years after Bourke had obtained his land grant, Wollongong boasted a population of 515 inhabitants. In this year, *Wells' Gazetteer* described it as a 'little seaport town' that was

¹ Michael Organ and Carol Speechly, 'Illawarra Aborigines,' in in Jim Hagan & Andrew Wells (eds.), *A History of Wollongong*, NSW, University of Wollongong Press, 1997, pp. 7 and 8.

² Catherine Warne, *Pictorial History of Wollongong*, NSW, Kingsclear Books, 2007, p.19; See John McQuilton, 'Settlement,' in Jim Hagan & Andrew Wells (eds.), *A History of Wollongong*, NSW, University of Wollongong Press, 1997, p.30.

³ *Ibid.*

⁴ James Jervis, 'Illawarra: A Century of History, 1788-1888,' *Royal Australian Historical Society Journal and Proceedings*, Volume XXVII, Part II, 1942.

⁵ See Certificate of Title Volume 7077 Folio 248. NSW LPI.

the 'usual resort for invalids.'⁶ Wollongong grew steadily as dairying and coal mining developed within the surrounding area to supplement and/or replace the earlier agricultural and timber getting activities. In response to this growth, Wollongong Railway Station opened in 1887, bringing the township to within five hours of Sydney. The location of the subject site close to the railway station was highlighted when the land was offered for sale as part of the Kenny Estate subdivisions of the late 1880s. The land on which the core of the Former Marcus Building now stands- being Lots 1, 2 and 3 of Section 2 of the Kenny Estate- was marked as 'not available for sale' in a plan of the estate dated 1886. Refer to Figure 54. While no buildings are shown on Lots 1, 2 and 3 by this plan, a number of buildings are identified in the immediately surrounding area, including houses, hotels, shops and a 'shoeing forge' on Keira Street South.

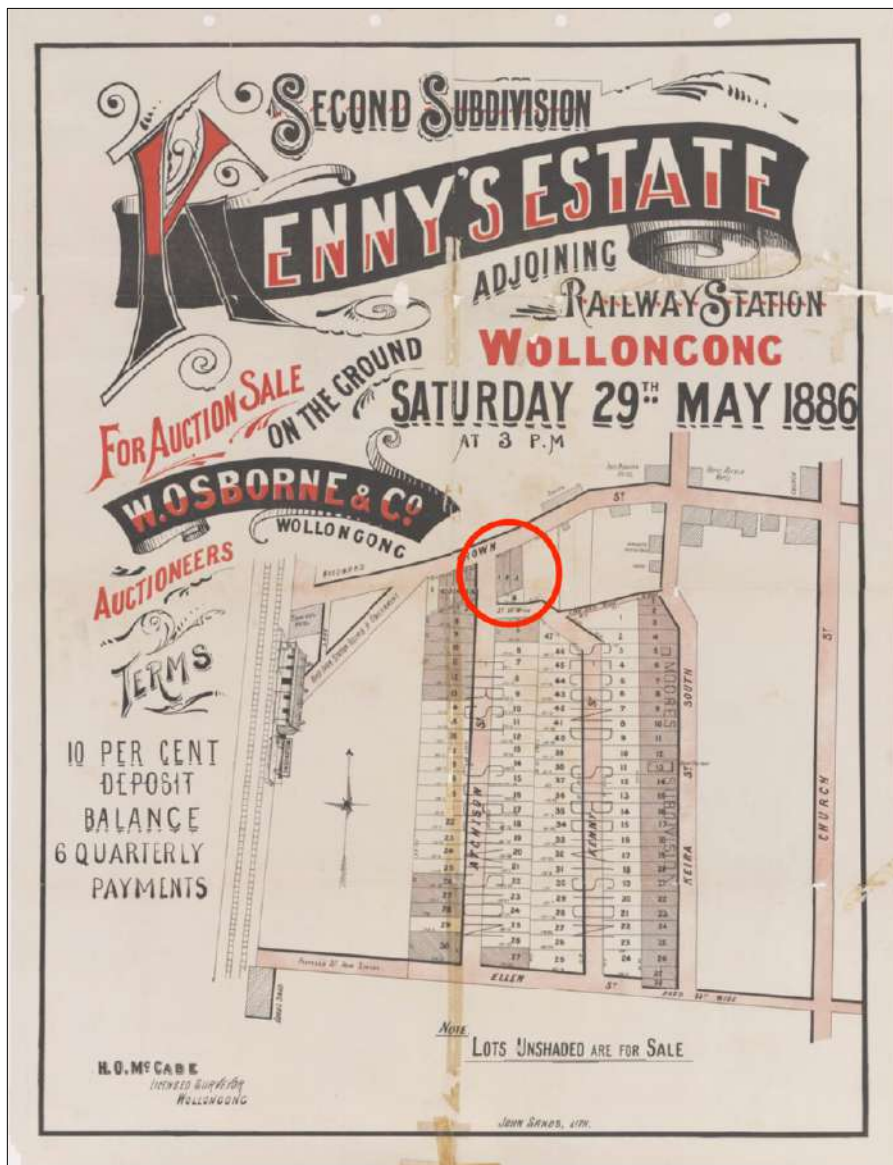


Figure 54: Second Subdivision Kenny's Estate, 1886.

National Library of Australia; annotations in red by WP Heritage and Planning.

⁶ W.H. Wells, *A Geographical Dictionary of Gazetteer of the Australian Colonies 1848*, p. 429. Facsimile edition published in NSW by the Council of the Library of New South Wales, 1970.

Who first purchased the Lots 1, 2 and 3 from the Kenny Estate has not been determined for the purposes of this statement. As set out below, by 1920, this land was owned by Marcus Clark & Co Ltd.⁷

3.3 Marcus Clark & Co. Ltd

3.3.1 The Foundations of Marcus Clark & Co. Ltd

Marcus Clark & Co. was established by Henry Marcus Clark (1859-1913) in Newtown, Sydney in 1883 when he purchased a modest drapery business from his former employer John Kingsbury. Over the following twenty years, the Company developed to become one of Sydney's largest department stores. Within eleven years, Clark had opened two new stores, in Marrickville and Bondi Junction, followed soon after by a store near Railway Square, Sydney, which gave the Company direct access to the Parcels Office at Central Railway Station and thus to the extensive mail order market. By 1906, the Company were employing 600 staff.⁸

Marcus Clark & Co.'s success rose out of its enormous range of stock and the fact that it offered not only mail order sales, but also credit facilities and a time payment system, services that weren't offered by their primary rivals, Mark Foy and Anthony Hordern & Sons. The Company manufactured some of their own goods, notably furniture and furnishing. The *Evening News* reported in 1902 that:

'The name of Marcus Clark is a household word, not only in the city and suburbs, but throughout the whole state....The firm is well known for the excellent quality of their goods, and a really first-class article may be obtained at a reasonable figure, and in some instances the prices are ridiculously low.'⁹

By 1913, the year of Henry Marcus Clark's death, Company boasted that they had 100,000 customers on their books.¹⁰ Following Henry Clark's death, the Company passed into the control of his son, Reginald Marcus Clark, later Sir Reginald Marcus Clark.¹¹

3.3.2 Marcus Clark Establish a Sample Store in Wollongong

Marcus Clark & Co. did not rely solely on their mail order catalogue to attract country customers. During the late nineteenth and early twentieth century, the Company opened a number of stores in country New South Wales.

Marcus Clark opened a 'sample store', manned by a resident representative, in

⁷ Certificate of Title Volume 7077 Folio 248. NSW LPI.

⁸ For further information see: Peter Spearritt, 'Clark, Sir Reginald Marcus (1883–1953)', *Australian Dictionary of Biography*, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/clark-sir-reginald-marcus-5667/text9569>, published first in hardcopy 1981, accessed online 10 December 2020.

⁹ 'Marcus Clark & Co.', *Evening News*, 17 December, 1902, p.7.

¹⁰ Michael Lech, 'Marcus Clark and Co.' *Dictionary of Sydney*, 2011. https://dictionaryofsydney.org/entry/marcus_clark_and_co

¹¹ For further information see: Peter Spearritt, 'Clark, Sir Reginald Marcus (1883–1953)', *Australian Dictionary of Biography*, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/clark-sir-reginald-marcus-5667/text9569>, published first in hardcopy 1981, accessed online 10 December 2020.

Wollongong in 1902 on the opposite side of Crown Street to the subject site.¹² The Company's sample stores, while not large, provided shoppers with a personalised service, allowing them to successfully compete with the lucrative mail order trade of their main rivals, such as Anthony Hordern & Sons.

The Wollongong sample store served a population that was slowly but steadily increasing.¹³ To better cater for the local market, the Company set about building a larger store. In August 1905, the *Illawarra Mercury* noted that Marcus Clark were building new premises in 'Upper Crown Street.'¹⁴ This store appears to have opened the following year. In December 1906, the Company were able to boast of a:

'...palatial shop, and the well-assorted and up-to-date stock is thoroughly in keeping with the premises. They are universal providers, giving customers the privilege of obtaining all classes of goods on a very convenient time payment system.'¹⁵

Figure 55 illustrates the 1906 branch store.



Figure 55: Marcus Clark & Co. Staff, 1910.

Wollongong Library.

Two years later, the *Illawarra Mercury* enthused:

'Marcus Clark and Co.- A striking example of rapid growth arising from favourable circumstances, careful and enterprising management.....The firm has gained a reputation second to none- for when everything is sent out from the establishment the public know it is exactly as represented- a fact which accounts of for the large and rapid increase in trade. The stock

¹² Former Marcus Clark Building, No. 281-291 Crown Street, Wollongong. State Heritage Inventory Database No.: 5062667; *Souvenir of Wollongong: The Pride of Illawarra*, NSW, Marcus Clark & Co. Ltd, Wollongong, 16 June, 1921.

¹³ Refer to population statistics in Jim Hagan and Andrew Wells, *A History of Wollongong*, The University of Wollongong Press, 1997, p.267.

¹⁴ 'The Searchlight', *Illawarra Mercury*, 25 August, 1905, p.4.

¹⁵ 'Shops at Christmas,' *Illawarra Mercury*, 18 December, 1906, p.2.

consists primary of high-class drapery and clothing, furniture, ironmongery, crockery,, and glassware and the thousand and one things that go to make up a first-class store. If the window display is a criterion, then the stock of Messrs. Marcus Clark and Co., is certainly unique in character.’¹⁶

The exact location of this building is not clear. The *South Coast Times* recorded that it was ‘opposite Carrington Terrace.’¹⁷ It is unlikely to have stood on the land now occupied by the subject heritage item. There are later references, after the subject building was opened for business in 1921, to Marcus Clark & Co.’s old store. According to a notice in the *Illawarra Mercury* in July 1921, for example, Mr. H.S. Buckland, an ironmonger, had

‘...moved into the premises in Crown Street, Wollongong, formerly occupied by Messrs. Marcus Clark and Co.’¹⁸

There a second reference, dated 1940, to another business occupying ‘Marcus Clark’s old building.’¹⁹ Marcus Clark & Co. did, however, purchase land part of the site of the heritage item (now Lot 1 D.P. 927806) in 1906, perhaps with an eye to future expansion.²⁰

Other branch stores operated by the Company in 1906 were located at North Sydney, Petersham, North Sydney, Waverley, Newcastle and Lithgow.²¹ The 1915 *John Sands’ Sydney and Directories* lists stores at Armidale, Dubbo, Goulburn, Gunnedah, Inverell, Lismore, Lithgow, Narrabri, Newcastle, Nowra, Tamworth and Wollongong.²²

The Wollongong store prospered and extensive alterations were carried out to the building in 1911.²³

3.3.3 Marcus Clark’s New Wollongong Building (1921)

Over time, the Company purchased additional land in Crown Street. As noted above, they purchased part of the subject site in 1906. By 1920, they owned a large lot on the corner of Crown and Atchison Streets.²⁴ In April 1920 the *Illawarra Mercury* reported that the Company had lodged plans with Wollongong Council to build a new store on this land. No architectural plans or documentation associated with this building has been located during the course of research for this statement. The *Illawarra Mercury* described the proposed new building as follows:

‘It will be an elaborate structure and will be a decided addition to the architecture of the town. A clock tower, to be illuminated by electric light, surmounts the spacious building, designed on most modern lines.

¹⁶ ‘Round the Shops,’ *Illawarra Mercury*, 18 December, 1908, p.2.

¹⁷ ‘Week by Week,’ *South Coast Times and Wollongong Argus*, 26 August 1905, p.8.

¹⁸ ‘Business Change,’ *Illawarra Mercury*, 8 July, 1921, p.6.

¹⁹ ‘Searchlight,’ *Illawarra Mercury*, 9 February, 1940, p.9.

²⁰ Certificate of Title Volume 1683 Folio 205. NSW LPI.

²¹ ‘Marcus Clark and Co. Ltd,’ *The Sydney Mail and New South Wales Advertiser*, 17 January, 1906, p.172.

²² Michael Lech, ‘Marcus Clark and Co.’ *Dictionary of Sydney*, 2011.

https://dictionaryofsydney.org/entry/marcus_clark_and_co

²³ ‘Enlarging Premises,’ *Illawarra Mercury*, 12 December, 1911, p.3.

²⁴ ‘Week by Week,’ *South Coast Times and Wollongong Argus*, 25 April, 1919, p.10. The land title is difficult to determine. See: C.T. Volume 7077 Folio 248; C.T. 1683 Folio 205. NSW LPI.

The alderman commented in favourable terms on the enterprise of the firm. The contract will be carried out by the firm's building staff. The top floor will be let as offices.'²⁵

Special features, such as the use of 'chains' to hold the awning, rather than posts, were noted.²⁶ In time, suspended awnings, such as those used on the new building, would replace the traditional posted awnings above footpaths along main streets such as Crown Street, particularly as vehicular traffic increased.

The Company erected the building with 'an eye to the future.'²⁷ The *Souvenir* produced by Marcus Clark & Co Ltd to mark the opening of their new Wollongong store noted that it now served a population of 7,000 people within the municipal area and about 25,000 in the wider district.²⁸ The *Souvenir* describes the thriving industries of the area—mining, dairying and agriculture, the 'live body' of the local Chamber of Commerce and the many tourist attractions.²⁹

Work on the new building was underway by April 1920.³⁰ The walls were reportedly constructed of cement building blocks produced by the Wollongong Cement Brick Co., North Wollongong.³¹ The floor space of the building was 24,000 square feet; there was a 130 ft window frontage; and 400 ft of counter space. The construction costs were said to be £20,000. The building was graced with a 60 ft clock tower which became a landmark within the centre of Wollongong town centre. The Company boasted:

'We do not claim that it is the largest provincial store in the Commonwealth, but we do unhesitatingly assert that there is no finer building of its nature in New South Wales...'³²

The architects of the new building were Messrs Spencer, Hanson and Partners and the builders F.C.W. Powell & Co. Pty Ltd.³³ Nothing is known about this architectural practice and no further examples of their work have been located.³⁴

The new store was officially opened on 16 June, 1921, an event that was reported by all the local newspapers. In a speech at the opening of the building, chairman of the board (R.M. Clark), noted that while the new building was the 'best store on the southern side of Sydney,' they hoped that in future years they would have to provide a 'bigger building still.'³⁵ Clark hoped that the store would mean that their competitors would also put up better buildings and thus encourage local growth.

The *Illawarra Mercury's* report of the opening provides some understanding of the

²⁵ 'New Premises,' *Illawarra Mercury*, 23 April, 1920, p.2.

²⁶ 'Wollongong Council,' *South Coast Times and Wollongong Argus*, 23 April, 1920, p.14.

²⁷ *Souvenir of Wollongong: The Pride of Illawarra*, NSW, Marcus Clark & Co. Ltd, Wollongong, 16 June, 1921.

²⁸ *Ibid.*

²⁹ *Souvenir of Wollongong: The Pride of Illawarra*, NSW, Marcus Clark & Co. Ltd, Wollongong, 16 June, 1921.

³⁰ 'Week by Week,' *South Coast Times and Wollongong Argus*, 23 April, 1920, p.10.

³¹ 'Building Blocks,' *Illawarra Mercury*, 17 December, 1920, p.2.

³² *Souvenir of Wollongong: The Pride of Illawarra*, NSW, Marcus Clark & Co. Ltd, Wollongong, 16 June, 1921.

³³ 'Firm's History is one of Expansion,' *Daily Mercury*, 12 August, 1957, p.12.

³⁴ References in TROVE. A partnership known as Spencer, Hanson and Blackman was formed in 1954 and Spencer, Hanson and Partners in 1959, both well after the construction of this building. There are no earlier references to a partnership of this name.

³⁵ 'More Progress,' *Illawarra Mercury*, 17 June, 1921, p.4.

building's layout when it first opened:

'...The large assemblage of persons then entered the building and inspected the various departments, a feature of which is the wide space between counters (which are of Pacific oak) and the provisions made to give good light in all part of the building. The clothing, millinery, boots and other departments are on the ground floor, whilst the basement, which is well lighted and elaborately fitted out also, is devoted to furniture, carpets, crockery etc. The third floor comprises suits of offices, which are let to tenants....'³⁶

The suites of offices were known as Marcus Clark Chambers.

Additions were carried out to the building in 1927, including the installation of a lift. The Company also reclaimed the third floor for their own use. The *Illawarra Mercury* reported that:

'The additions proposed to be carried out to Marcus Clark & Co.'s premises at Wollongong will make it one of the most up-to-date shops in the State. Outside of the cities there will not be any other country store fitted with an automatic electric lift. The partitions are being removed from the top floor, which will be utilised to display the furniture and some other of the firm's modern departments.'³⁷

Later that year, the local newspapers reported that:

'The stairway from Crown Street which formerly served the suite of offices known as Marcus Clark Chambers, has been done away with.... At the rear of the ground floor a new stairway has been provided, and also an electric lift to convey passengers and goods to the top floor.

It was on ascending to the second floor that the greatest improvement was noticed, for a show room, 50ft. by 30ft has been built in addition to the floor space previously occupied by offices, and which has also been converted into a spacious show room the full width of the building. These show rooms are well-lighted and will prove ideal for the display of furniture which the firm proposed to remove from the basement so that it can be inspected to better advantage by intending purchasers.'³⁸

'....Adjoining these (i.e. the above showrooms), overlooking Crown Street, are four smaller rooms, in which bedroom suits and their miscellaneous appointments will be displayed to the very best advantage....

One of Weygoods electric passenger lifts, to carry a ton and accommodate eight persons at one time, is also be installed. This will serve three floors and is the first of its kind to be constructed in Wollongong.'³⁹

The works were completed by November 1927.⁴⁰

The *South Coast Times and Wollongong Argus* considered the improvements made by Marcus Clark & Co. to be a sign of a strong economy:

³⁶ 'The Opening Ceremony,' *Illawarra Mercury*, 17 June, 1921, p.4.

³⁷ 'Big Improvements,' *Illawarra Mercury*, 5 August, 1927, p.9.

³⁸ 'Extensive Improvements,' *Illawarra Mercury*, 21 October, 1927, p.1.

³⁹ 'Marcus Clark & Co.,' *South Coast Times and Wollongong Argus*, 21 October, 1927, p.7

⁴⁰ 'Marcus Clark & Co. Ltd,' *Illawarra Mercury*, 18 November, 1927, p.5.

'Business- Here one finds oneself in a town with endless possibilities and where it is now practically assurance that the population will be doubled in the next few years, thus giving a lot of scope of the go-ahead to the business man who is always looking for bigger figures....To give the outside public some idea of what is going on here: during the last two years something like 20 shops have been built and many of the older ones remodelled, and it indeed speaks well for the town when an old firm like Marcus Clark are now remodelling their large shop, built only a few years ago, and one of the largest retail shops outside Sydney; they have given their office tenants notice and are making a large show room upstairs.....the firm of Marcus Clark must be well pleased with their business venture in Wollongong to so largely increase their premises here.'⁴¹

Over the ensuing years, the local newspapers continued to report on new developments at what they called the 'Big Store' or 'Marcus Clark Corner,' some of which involved alterations to building fabric. These included the opening of a music and radio department in the late 1920s; building extensions and provision of new facilities in 1932, including the opening of a hairdressing salon, tea rooms and a ladies retiring room; and the provision of an air raid shelter in the basement in 1942.⁴²

The Company and their staff were closely involved in the local community, frequently contribution to local fund raising and events. The activities of the Marcus Clark Social Club and of senior or long term staff were frequently reported in the local papers.

Figures 56 to 60 illustrate the building and its setting between 1921 and 1945. The general photographs of Crown Street and the aerial photographs clearly show why the building was referred to as the 'Big Store' as well as demonstrating the landmark status of its tower.

⁴¹ 'Wollongong's Growth,' *South Coast Times and Wollongong Argus*, 12 August, 1927, p.10.

⁴² 'Improvements at the Big Store,' *Illawarra Mercury*, 7 October, 1932, p.1; 'Air Raid Shelters,' *Illawarra Mercury*, 6 February, 1942, p.7.



Figure 56: The Marcus Clark Store on the site, 1921.

Souvenir of Wollongong: The Pride of Illawarra, NSW, Marcus Clark & Co. Ltd, Wollongong, 16 June, 1921.



Figure 57: Crown Street, 1922, showing the dominance of the tower on approach along the street from the west.

Wollongong Library.



Figure 58: Wollongong, 1921. Showing the building in its setting. The clock tower is a dominant element in the skyline.
Wollongong Library.



Figure 59: Aerial Photograph over the site in 1938. The building has two distinct roof forms and does not extend as far as Burelli Street. At this time, the Company did not own the small lot on the corner with Burelli Street. Note the distinct roof form of the building on Lot 1 D.P. 927806. This building- single storey with a high parapet- is just visible in Figure 7 above.

Wollongong Council; annotation by WP Heritage and Planning.



Figure 60: Crown Street, 1945. Showing the building in its setting. This photograph also shows the other buildings, since demolished or substantially altered, on the larger site of the proposed development.

Wollongong Library.

3.3.4 Major Alterations and Additions (1957)

The Marcus Clark Building was completely remodeled in 1957.⁴³ No plans or documentation for this work have been located. The 'superfluous ornament' was stripped from the 'famous' clock tower, which was also shortened and widened, to give it a 'more modern appearance.' The moderne style:

'...was characterized by its interest in the expression of progress, often through reference to modern vehicles, speed and other machinery, with plain, reductive detailing and simple bold forms... Significant emphasis was placed on the horizontal and/or vertical composition of the building, which was often exaggerated.....so that buildings appeared to reach for the sky or the horizon....'⁴⁴

The building was expanded to incorporate No. 287-291 Crown Street, thereby increasing the floor space to 51,000 sq. ft and the Crown Street frontage to 100 ft. According to the paper, almost all the old building was demolished and rebuilt 'piece by piece' so that trading could continue during construction. The only part of the old store said to have remain untouched were the foundations under the front portion. A new awning was erected and the building extended through to Burelli Street, where it became four storeys high. The main entrance from Crown Street was finished in polished red Swedish marble; pale blue terracotta tile framed the windows. The Company evidently foresaw a bright future; the foundations were made deep enough to carry additional storeys for future expansion. ⁴⁵

As part of the works, interior fit outs were replaced. The State Heritage Inventory (SHI) listing sheet for the item states that the original staircase and lift well in the eastern part of the building were retained and an additional staircase was built (located in the

⁴³ Council records were searched. The plans for this work have not survived.

⁴⁴ Julie Willis, 'Moderne,' in Philip Goad and Julie Willis (eds.), *The Encyclopaedia of Australian Architecture*, New York, Cambridge University Press, 2012, pp.462-464.

⁴⁵ 'Store has twice the space,' *Illawarra Mercury*, 12 August, 1957, p.11.



Figure 62: A 'pleasing design,' 1957.
Daily Mercury, 12 August, 1957.



Figure 63: Interior, 1957.
Daily Mercury, 12 August, 1957.

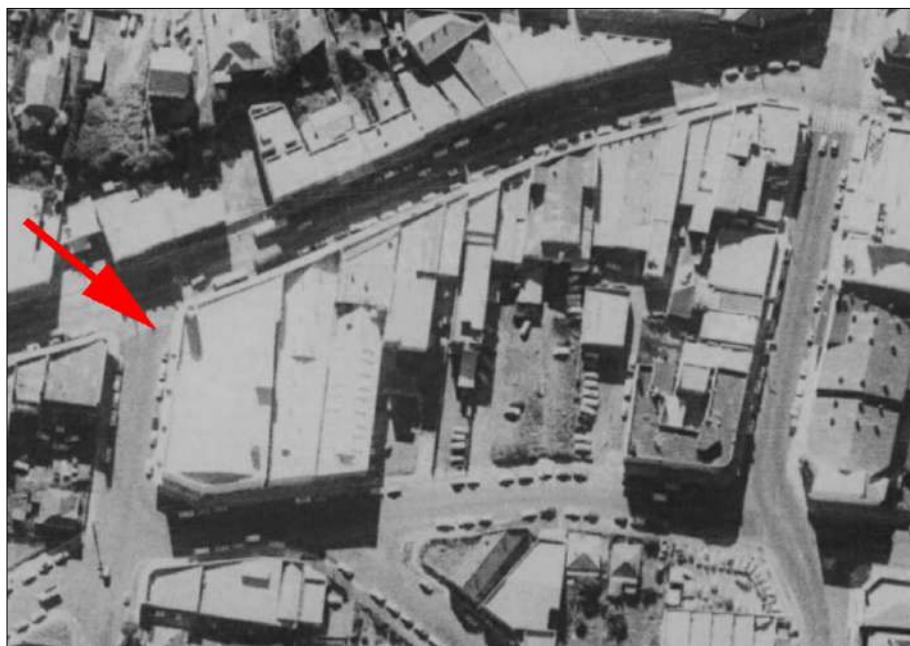


Figure 64: Aerial photograph over the site, 1961. The roof forms correspond to the existing buildings on the site.

Wollongong Council.

The 1950s were a period of growth for Marcus Clark Ltd under Sir Reginald's brother, Roland Cuthbert Clark. A second and third generation of Clark family members were also involved in the management of the company. Employee numbers reached almost 2000 by 1958.⁴⁸ Wollongong was also booming. The expansion of the Port Kembla Steelworks, among other factors, drove a period of prosperity that lasted from 1945 to 1976. During this period, Wollongong was one of the fastest growing areas in Australia.⁴⁹

3.4 Waltons Ltd and Spotlight

After the boom years of the Post World War II period, Marcus Clark & Co. experienced financial difficulties during the 1960s as a result of changing demographics and shopping patterns. Their demise had been hastened by their steeply growing debt. Their moves to tighten control over their customer credit service- a system that had served them well during the early twentieth century- lead to a drastic decrease in sales. The Company's landmark Railway Square store closed in 1965. Members of the Clark family continued to control the Company until January 1966 when Marcus Clark & Co. Ltd accepted a take-over offer by their rival, Waltons Ltd.⁵⁰

Waltons Ltd had its origins in a menswear store opened in George Street Sydney by John Robert Walton (later Sir John) in 1951. In 1955, he formed an alliance with the American giant Sears and Roebuck. In addition to acquiring Marcus Clark, Waltons took over Anthony Hordern & Sons, merging their country store operating into the Walton group. They also acquired McDowell's department stores. By 1972, when Sir

⁴⁸ Michael Lech, *op.cit.*, 2011.

⁴⁹ Robert Castle, 'Steel City: The Economy, 1945-1995) in Jim Hagan and Andrew Wells (eds.), *op.cit.*, 1997, p.71.

⁵⁰ Michael Lech, *op.cit.*, 2011.

John Walton retired as executive chairman, the Company had 96 department stores.⁵¹ By June 1967, Waltons were occupying the Former Marcus Clark Building in Crown Street, Wollongong.⁵² The land title, however, was not officially registered to Waltons Ltd until 19 June, 1981.⁵³ Waltons already had a store in Wollongong, having acquired an existing business in Crown Street in November 1953.⁵⁴ This store continued to operate.

Alterations to the building were approved on 20 July 1971 (Application no: 71/1616). Refer to Figure 65. This is the first colour photograph available of the building. Note the white walls and red lettering.



Figure 65: Waltons, undated.
Wollongong Library.

Waltons Ltd were still occupying the building in 1981 when an application was made to Council for internal works (DA1981-1242). Waltons faced increased competition from the new retail opportunities presented by the Gateway Shopping Centre, opened along the road in 1977 and, during the 1980s, better access to Sydney retail stores following the electrification of the South Coast rail line.

Waltons Ltd was sold to businessman Alan Bond in 1981. The takeover was not a success and the company lost \$199 million in 1983. The name disappeared when Bond sold and split up the Company in 1987. The new owners, Cookes family, turned the remaining stores into Venture and Norman Ross Outlets.⁵⁵ The subject site was sold to Ruanmore Pty Ltd (later S.B. M Nominees Pty Ltd) on 18 August, 1986 and to Zacmore Pty Ltd and Monit Nominees Pty Ltd on 24 March, 1988.⁵⁶ The existing occupants,

⁵¹ World Heritage Encyclopedia, Waltons (department store), undated. Self.gutenberg.org.; National Library of Australia Catalogue.

⁵² '(Waltons)', *Illawarra Mercury*, 17 June, 1967, p.3.

⁵³ C.T Volume 7077 Folio 248. NSW LPI.

⁵⁴ 'Big Merger of Stores,' *South Coast Times and Wollongong Argus*, 5 November, 1953, p.1.

⁵⁵ World Heritage Encyclopedia, Waltons (department store), undated. Self.gutenberg.org.

⁵⁶ Volume 15466 Folio 191; Auto Consol 15466-191. NSW LPI.

Spotlight (est. 1973), first occupied the site in 1988 (DA1988-805).

The property was sold to the current owners, WIN Properties Pty Ltd, who had been slowly acquiring property along Crown Street, on 2 September, 2015.⁵⁷ WIN Properties Pty Ltd is the commercial and residential property arm of the media company who own the WIN Television network. WIN Television are an important local company, based in Wollongong. WIN commenced transmissions on 18 March, 1964 as a single Wollongong-only station and has since become Australia's largest regional commercial television network, broadcasting to more of regional Australia than any other regional commercial network.⁵⁸

3.5 Other Buildings on the Site

The **Grand Hotel**, on the corner of Keira Street and Burelli Street, whilst not listed as a heritage item by the *WLEP*, is of as an example of the Interwar Functionalist Style. Given that Council has expressed interest in this building and that it is to be part retained under DA-2021/957, its history is briefly considered below.

By 1937, the land on which the hotel stands was owned by the Grand Hotel Pty Ltd.⁵⁹ The existing hotel was designed by 'Mr. Marsh' for Mr. O. Welch and erected by Welch Bros. It was opened, with much fanfare, in December 1938.⁶⁰ A photograph of the newly completed building was published in *Building* magazine in September 1938 as part of a review of new South Coast buildings. The accompanying comment reads:

'The Grand Hotel is one of Wollongong's new hotels, and the horizontality of its design definitely marks it as a building of recent date. The effect is achieved by the utilisation of alternating bands of light and dark brickwork...'⁶¹

The hotel was tied to Tooth & Co., one of the major players in the brewing and hotel industries at this time. Figure 66 provides a photograph from the Tooth & Co. Archives of the hotel in its first year of operation.



Figure 66: Grand Hotel, Wollongong in 1938 (Detail).

Tooth & Co. Yellow Cards, NBA, ANU.

⁵⁷ Certificate of Title Volume 15466 Folio 191; Auto Consol 15466-191. NSW LPI.

⁵⁸ Wintv.com.au.

⁵⁹ Book 1777 No. 907; Certificate of Title Volume 6826 Folio 38. NSW LPI.

⁶⁰ 'The Grand Hotel,' *South Coast Times and Wollongong Argus*, 3 December, 1937, p.7.

⁶¹ *Building*, 24 September, 1938, p. 28.

The Interwar Functionalist Style of the hotel was a popular architectural style for hotels of this period. Tooth & Co., re-modelled many of the hotels that they owned or had a major interest, in this style during this period.

The building underwent a significant refurbishment in 1956, including an addition on the western side.⁶² This addition is noted in the Tooth & Co. Yellow Cards as a new wing comprising three floors of nine suites with bathrooms and a new lounge, to be constructed at a cost of £150,000.⁶³ Figure 67 provides a photograph of the hotel after these works were executed. The hotel appears to have been owned by Tooth & Co. by this time.⁶⁴



Figure 67: Grand Hotel, Wollongong in 1959.

Tooth & Co. Yellow Cards, NBA, ANU.

The hotel later traded under the names of Hals Tavern and Cooneys. The name reverted to the Grand Hotel in 2009, when the building was again refurbished.⁶⁵

3.6 Recent History

As set out in Section 1.6, DA-2021/957 was approved in December 2022. The consent approved plans prepared by BVN for the demolition of existing structures, retention of heritage facades, tree removal, excavation for basement car parking and construction of a mixed-use development at the street block bound by Crown, Keira, Burelli and Atchison Streets, comprising three (3) residential towers (shop top housing), one (1) commercial building, retail shops, entertainment facilities (cinema, exhibition/performance space) and a wellness centre (pool, gym, and health services). Refer to Figure 68.

⁶² Refer to feature article 'Grand Hotel Supplement' in *Illawarra Mercury*, 23 July 1956, pp.6-16.

⁶³ *Tooth & Co., Yellow Cards: Grand Hotel, Wollongong*. NBA, ANU.

⁶⁴ Date of purchase, 1961. *Tooth & Co., Yellow Cards: Grand Hotel, Wollongong*. NBA, ANU.

⁶⁵ 'Original pub name fits grand transformation', *Illawarra Mercury*, 25 July, 2009, p.57.

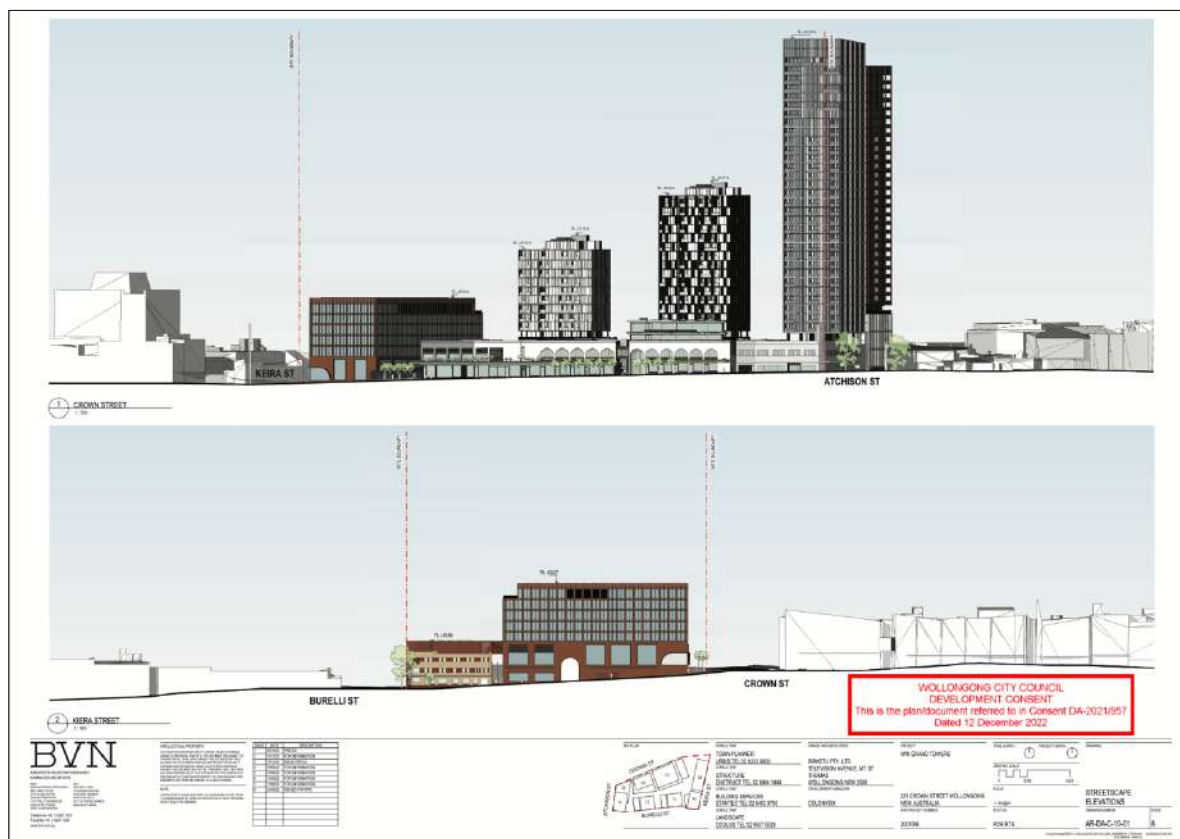


Figure 68: Crown (top) and Kiera (bottom) elevations approved under DA-2021/957.
BVN.

4.0 ASSESSMENT OF SIGNIFICANCE

4.1 Statutory Heritage Listings for the Site

No part of the subject site is listed on the National Heritage List under the *Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act)*.

No part of the subject site is listed on the State Heritage Register under the *NSW Heritage Act 1977*.

One part of the site is listed as a heritage item by Schedule 5 Part 1 of the *Wollongong LEP 2019* as follows:

‘Former Marcus Clark Building,’ No. 281-291 Crown Street, Wollongong (I6474). Listing boundaries: Lot 1 D.P. 927806; Lot 1 D.P. 1087986; Lot 1 D.P. 82673 and Lot 1 D.P. 117019). Local significance. This area is coloured brown and labelled ‘I6474’ in Figure 53 below.

No part of the subject site is located within a Conservation Area listed by Schedule 5 Part 2 of the *WLEP*.

The *WLEP* does not include Schedule 5 Part 3, identifying significant archaeological sites.

4.2 Heritage Items in the Vicinity of the Site

4.2.1 Identifying Items in the Vicinity

For the following, refer to Figure 69, a detail of the *WLEP* Heritage Plan showing the site and the surrounding area. In this plan, the site is outlined in red. Heritage items listed by Schedule 5 Part 1 of the *WLEP* are coloured brown (built) or green (landscape) and are numbered. Conservation Areas are hatched in red and numbered. Heritage items listed on the State Heritage Register under the *Heritage Act 1977* are hatched in blue. The numbers relate to the *WLEP*.

There is no statutory definition for ‘in the vicinity’ regarding heritage items. For the following, ‘in the vicinity’ has been determined by physical proximity to the site, existing and potential view corridors and the nature of the proposed works.

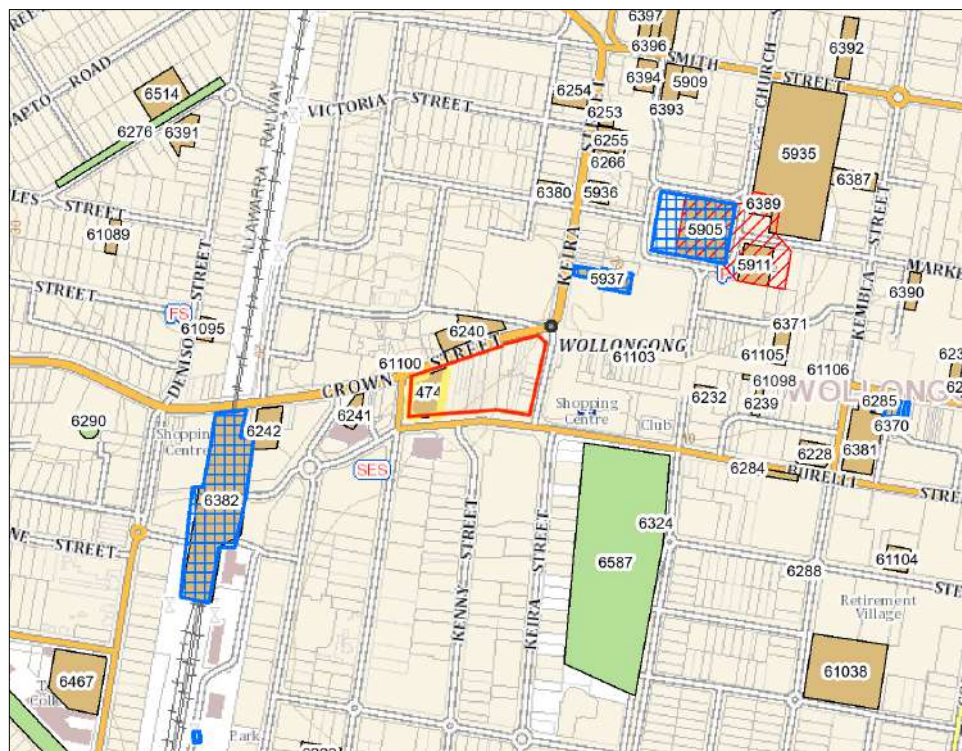


Figure 69: Heritage items and conservation areas in the vicinity of the site, which is outlined in red.

WLEP; annotation by WP Heritage and Planning.

The closest heritage items to the site are identified in Table 4 below. The criteria under ‘reasons for listing’ references the Heritage NSW criteria. The criteria applicable to each item are as recorded on the State Heritage Inventory listing sheets for each item. The definitions for each criterion can be found in Section 4.6 below.

Item	Level of Listing	Reasons For Listing	Image
<i>Row of Shops</i> , Nos. 230-264 Crown Street (16240)	Schedule 5 <i>WLEP</i> : Local.	Criteria (a), (c), (f) and (g)	
<i>Cadwell's Building</i> , Nos 280-282 Crown Street (61100)	Schedule 5 <i>WLEP</i> : Local.	Criteria (a), (c), (d) and (g)	
<i>City Pacific International, former Crown Hotel</i> , No. 309 Crown Street (16241)	Schedule 5 <i>WLEP</i> : Local.	Criteria (a), (c), (e) and (g)	
<i>Hotel</i> , No. 329 Crown Street (16242)	Schedule 5 <i>WLEP</i> : Local.	Criteria (a), (c), (e) and (g)	
<i>Canary Date Island Palms</i> , Church Street, MacCabe Park (16587)	Schedule 5 <i>WLEP</i> : Local.	Criteria (e), (f) and (g)	

Item	Level of Listing	Reasons For Listing	Image
<i>Shop</i> , No. 151-161 Crown Street, part (I6232)	Schedule 5 <i>WLEP</i> : Local.	Criteria (a), (c) and (g)	
<i>House</i> , 366 Crown Street (I6242)	Schedule 5 <i>WLEP</i> : Local	Criteria (a), (c) and (g)	
<i>Wollongong Railway Station</i> , Loudon Square (I6382)	State Heritage Register: 01289 RailCorp s170. Schedule 5 <i>WLEP</i> : State.	Criteria (a), (c), (d), (f) and (g)	
<i>Regent Theatre</i> , No. 197 Keira Street (I5937)	State Heritage Register: 01735. Schedule 5 <i>WLEP</i> : State	Criteria (a)-(g)	

Item	Level of Listing	Reasons For Listing	Image
<i>St Michael's Anglican Church of Australia including church hall, rectory and significant trees</i> , No. 74 Church Street, Wollongong (15905)	State Heritage Register: 00602 Schedule 5 WLEP: State	Criterion (a), (c), (d), (e), (f) and (g)	

Table 5: Identification of Heritage Items in the Vicinity of the Site.

The closest heritage items to the site are Cadwell's Building, Nos 280-282 Crown Street; the row of shops at Nos. 230-264 Crown Street (16240); and the City Pacific International, former Crown Hotel No. 309 Crown Street (16241). Slightly further removed is the Regent Theatre, No. 197 Kiera Street (5937), which is also listed on the State Heritage Register. These items are assessed in greater detail below.

The other items identified in Table 4 are more distantly located and are separated by intervening buildings. It is acknowledged, however, that the massing and scale of the proposed works is such that the proposed tower on the site is likely to be visible from these items (and even from items further removed, not identified in Table 4 above) and that it will form part of their wider setting.

4.2.2 Cadwell's Building, Nos 280-282 Crown Street

History

The State Heritage Inventory listing sheet provides the following brief history for this item:

'The Caldwell Building first appears in 1926 historic newspapers, described the building opposite Marcus Clark Department store. In 1926 the site was operating as the Williams Business College. By 1929 Cahill's clothing store had moved into the Caldwell's building.

In 1933 a pepper attack on the clerk of Mr J A Doutty trading under the name of the Mont de Piete in Caldwell's Building, left the 20 year old clerk with eye injuries and a blow to the head that left the victim unconscious. The Report notes that Caldwell's butchery was also operating on the ground floor of the building (The Sun, 10 November 1933).

During the 1940's the building was converted into the Wollongong Trades Hall and hosted meetings and other information sessions to facilitate the corporation of various trade unions that had boomed post WWII with the expansion of Port Kembla and the steelworks industry such as the Federated Ironworkers Association of Australia.'⁶⁶

⁶⁶ *Cadwell's Building*, Nos 280-282 Crown Street, Wollongong. State Heritage Inventory, Heritage Item ID: 5067552.

Description

The building presents to Crown Street (and the site) are a two storey Interwar period shop-residence. The elevation to Crown Street is simply detailed and is constructed of rendered and painted masonry. The elevation is divided into two by a suspended awning. The detailing of the ground floor shop fronts vary. The elevation above the awning is divided by engaged piers that rise above the parapet. The straight line of the parapet is broken by low curved pediments above the second and fifth bays. There is a single or double window within each bay.

Refer to Figure 70.



Figure 69:
The heritage item from Crown Street. This photograph was taken from outside of the former Marcus Clark Building.

View Corridors

The principal view corridors towards this building are obtained from directly outside of it on Crown Street and on approach up Atchison Street from the south. Refer to Figures 43 and 44 above. View on approach along Crown Street from the east are limited, unless standing at a wide angle, by adjoining buildings and, on approach from the west, by the slight bend in the street.

The principal views out of this item are over Crown Street and down Atchinson Street.

Integrity

Shop fronts have been altered over time. The window frames at first floor level may have been replaced. Note: the interior and the rear of the building were not inspected.

Significance

The State Heritage Inventory Listing Sheet for this item provides the following statement of significance:

‘Caldwell's Building is significant to the local area for historic, aesthetic and social reasons. The building provides evidence of the development of the commercial centre of Wollongong in the early twentieth century and contributes to the historic character of the street. The remaining rear wings containing residences may be rare at the local level. The building provides evidence of the expansion of the commercial area of the City towards the railway station as the population of the township grew. The building has social significance for its contribution and role in supporting the Union movement, as the site of the Trade Union Hall. The building is located opposite the intersection of Atchison Street, and is visible from a significant

distance from south Wollongong, contributing to its prominence. The removal of the oversized signage and first floor security grills combined with an appropriate colour scheme would assist the building in reclaiming its former place as a well-considered and substantial commercial building in the precinct.⁶⁷

Curtilage

The item has a lot boundary curtilage.

Summary of Relationship to the Site

This item lies opposite the former Marcus Clark Building and thus the subject site. It is visible in view corridors towards it, including up Atchison Street, and vice versa. It forms part of its immediate setting. The two buildings read as being of different historic periods and architectural styles.

4.2.3 Row of Shops, Nos. 230-264 Crown Street

History

The State Heritage Inventory Listing Sheet for this item provides the following brief history for this item. These notes relate to the Excelsior Hall, one of the buildings within this group:

‘Howarth’s Excelsior Hall

(Herben 2015): Mr William Louis Howarth, who was Wollongong Council’s Mayor from 1929-1932, planned to build the Hall and was approved by the Council for constructing new building on the Northern side of upper Crown Street. The excavation started in 1926 and the Hall opened for public inspection on 24 December 1927.

Mr Fred Saidy occupied the ground floor tenant to sell textiles such as twill sheeting, casement cloth, calico and items such as golf shirts and men’s pyjamas in early years. In December 1929, Wollongong Industrial Co-Operative Society Ltd transferred its grocery department to Howarth’s building. After that, the tenant was occupied by the New World Café around 1933 and moved out in 1935. In 1937, Howarth’s daughter Gladys, then Mrs Roberts operated the upper floor as a function centre and ballroom for catering services. Henry and Matilda Pearson who acted as caretakers and assisted Mrs Roberts in her business were living in the hall at the time. About 1940 McAllister and Agnew opened their business in the building and was later occupying the whole of the building in 1950s. the ground floor was mainly furnishings, second floor was the manager’s office with some furniture, and the third floor was occupied by French polishers and carpet layers.

Building Features

The building style seems to be influenced by Renaissance architecture based on its quirkily arranged elements and symmetrical feature. The above awning retains the triple arch flanked by rectangular openings under the pediment. This design was used by many designers including Andrea Palladio. The three-light window in the centre act as an arcade with half-column mullions and curious end

⁶⁷ *Cadwell’s Building*, Nos 280-282 Crown Street, Wollongong. State Heritage Inventory, Heritage Item ID: 5067552.

pilasters. This arcade fits beneath a simple main entablature, surmounted by a parapet and merely shows the machicolation motifs. The metal frames are subdivided and have fanlight top panels. The stairs originally led to the dance hall which is now leading to an amusement parlour (Twentieth Century Architecture in Wollongong 2001 p.60). Some years ago the awning on the building front collapsed and for some time it was propped up. The façade of the building is now restored and rejuvenated (Herben 2015).

Service

Howarth's Excelsior Hall served as a dinner place and held meetings in early years. Events such as dinner celebration for the opening of Illawarra Mutual Building Society (1930) on Crown Street opposite the Hall was held in the Hall.⁶⁸

Description

The State Heritage Inventory Listing Sheet for this item provides the following description of this item:

'The shops retain largely intact Federation-period facades above awning level. The shopfronts at street level have been substantially modified. The shops retain evidence of the original small shop layout with residences on the upper floor and rear wings facing Crown Lane. Some facades of the buildings have been damaged and 260- 262 Crown Street has lost its façade due to intrusive alternation in 1960s.

248-250 Crown Street

The building consists of the following:

- Brick Piers;
- Brick Work;
- Three Feature elements;
- Mix of timber and more modern window treatment;
- Notable awning;
- Tiled front built up to floor level;
- Fixed glass/ windows and doors.

It is noted that the front building is damaged due to the past addition and alternation. Damages on the facades including drill/ fixture holes which are presumably from past signage.⁶⁹

Refer to Figures 60 and 71.

⁶⁸ *Row of Shops*, Nos. 230-264 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700644.

⁶⁹ *Ibid.*



Figure 70:
Looking east
towards the row
of heritage
listed
properties. This
photograph
shows the
relationship of
the site to these
items.



Figure 71:
Excelsior Hall.

View Corridors

The principal view corridors towards these buildings are obtained from directly in front of them, from the opposite side of Crown Street. There are angled view corridors across the front elevation when approaching in either direction along Crown Street, when standing at a wide angle. The subject site lies within these view corridors. Refer to the photographs of view corridors along Crown Street in Section 4.3 below.

The principal view corridors out of these buildings are over Crown Street towards the subject site. The subject site lies within these view corridors.

Integrity

The following relates to the Crown Street elevations only. The integrity of Crown Street elevations of individual buildings within this group is mixed. Shop fronts have been replaced overtime and brickwork painted. At first floor level, some window frames have been replaced. The Excelsior Hall has no awning. Despite these alterations, the group is clearly identifiable as a group of Federation and Interwar period commercial buildings with, originally, residences on the upper floor.

Significance

The State Heritage Inventory Listing Sheet for this item provides the following statement of significance for this group:

‘The Crown Street group is significant for the evidence it provides of the development of the commercial centre of Wollongong in the early twentieth century. The group contributes strongly to the historic character of the streetscape. The Excelsior Hall has a particularly strong presence on the street. The relationship of the shops to the rear lane is also partially intact. The remaining rear wings containing residences may be rare at the local level. The row of shops is significant for its historical associations with the early development and use of Crown Street as the main street and commercial centre of Wollongong. The row of shops developed in association with the region’s World War II and postwar industrial boom and expansion of the area (due to increased demand for Port Kembla’s steel and coal in the late 1950s) which turned Wollongong into a city. The group of shops retain evidence of Federation-period town development, with residences on the upper floors and rear-lane access. Crown Street is associated with significant industrial union movements in the early twentieth century. The presence in the group of Howarth’s Excelsior Hall, 238–244 Crown Street suggests an association with William L Howarth, who formed the City Market Growers and Agents Association in 1906 and who was alderman of Wollongong Council between 1914 and 1934. Howarth represented the town’s commercial and professional men and adopted a policy of zero-tolerance toward public expression of labour’s discontents and was ‘infamous for his hostility to the unemployed in particular and the labour movement in general. It is believed that Howarth owned the building at 240–242 Crown Street and lived at 9 Crown Lane, a residence above the shops with lane access. The row of shops retains evidence of the early layout of low-scale commercial development located on a major street, with residences on the upper floor and yards and outbuildings to the rear facing Crown Lane. The group has a strong architectural presence on the street, being a key element in the curved vista from the corner of Crown Street and Crown Lane and prominent in views in both directions along Crown Street. The shops have intact rear wings containing residences and outbuildings which may be rare at the local level. The group is an important Federation-period townscape/streetscape element representative of low-scale commercial development on a major street with residences on the upper floor and to the rear (with lane access).’⁷⁰

This statement is adopted for the purposes of this assessment.

⁷⁰ *Row of Shops*, Nos. 230-264 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700644.

Curtilage

Each separate building within this group has a lot boundary curtilage.

Summary of Relationship to the Site

This item lies opposite the eastern part of the subject site. It is visible in view corridors towards it and vice versa. It forms part of its immediate setting.

4.2.4 City Pacific International, former Crown Hotel, No. 309 Crown Street

History

The State Heritage Inventory Listing Sheet for this item provides the following history for this item:

'Construction

The hotel commenced its construction in September 1926 and was completed on 9th June 1927. Charles P. Hansen offered several citizens to inspect the hotel around August 1927 when the construction was nearly completed. The hotel was intended to be officially opened by the Mayor Ald. Smith at that time but was abandoned due to the licence was not granted by the Court until 2 o'clock where this function would be abandoned (The Illawarra Mercury Friday 28th October 1927).

Layout and Interior

(The South Coast Times and Wollongong Argus Friday 12th August 1927): "The occasion was the initial switching on of the electric light to ascertain if everything was in order. It proved to be so. Visitors were agreeably surprised at the all-round excellence and general appearance of the building. When it is furnished the effect should be well-nigh perfect. The main entrance is from Station Street, the handsome vestibule doors of maple, opening into a hallway eleven feet wide. On the left is the public bar, the dimensions of which are 36feet by 40 feet. It is fashioned on the American principle, a hanging canopy with neatly designed lead lights surmount the bar counter, which is 67 feet in length.

Three large double doors give entrance to the bar from the Crown Street side. The interior is tiled throughout. The cellar, which runs the full length of the bar, is one of the best. It was excavated from solid rock. A large parlour and saloon bar adjoin the public bar and are fitted with all modern facilities. The woodwork is of polished maple (wax finished). There is a wide maple staircase leading from the main entrance to the first and second floors, fifteen bedrooms are situated on the first floor, and four on the second, with a hallway on the first floor 107 feet in length.

A cosy sitting-room and a writing room lead on to a spacious balcony on the Station Street side. Each and every bedroom has a charming outlook, the view on all sides being all that could be desired. The ceilings throughout consist of plaster-sheets attractively panelled. In the large lounge-room the colour scheme has been varied, the walls being papered in a unique manner. The fire-place in this room has been tuck-pointed, giving a capital effect.

A feature of the dining-room 36 feet by 22 feet, is the panelled canopy and mantle, with tuckpointed fire-place, the ceiling being heavily beamed. Adjoining is the kitchen, 26 feet by 16 feet, fitted with the latest labour-saving devices and

tilled throughout. A large double oven has been installed, while the pantry is handy and roomy. A tiled toilette is adjacent to the staff dining-room.

There are three large bathrooms and three lavatories on the first floor and one of each on the second. In the basement are the servant's quarters, while three garages and a coach house have been erected in the yard. The fire escape leads from the second floor to the ground floor and on the Station Street frontage a balcony of seven feet in width runs the full length. Hot and cold water is installed throughout. The building is of brick with iron-roof. In short, it is an excellent job, and reflects credit on the architect (Mr Sidney Warden) and the builder (Mr A.D. Dengate)."

Licence

On 24th October 1927, Charles Peter Hansen applied for the licence of the Mt. Keira Hotel, Figtree to be transferred to Crown Hotel. The licence was then transferred to George Clarke.

George Clarke retired in 1933 and the licence was transferred to Ellen Davis who operated the hotel with the assistance of her son Frederick Leonard Davis known as Len.

Ellen Davis died in 1938 and transferred the licence to Frederick Leonard Davis. The hotel licence was granted to Frederick Leonard Davis, Raymond Edward Davis and Ronald James Davis on 27th April 1943.

The licence was transferred to Raymond Edward Davis and Ronald James Davis after Frederick Leonard Davis died in 1954. In February 1957, the licence was transferred to his sister Ada Laura Brigstock.

On 1st February 1967, the licence was transferred to Frederick Leonard Davis's son John Patrick Davis.

On 30th July 1978, Tooth & Co. sold the property to James Puttnam Cullen of "Hotel Mansions" Bayswater Road, Kings Cross and Eileen May Cullen his wife, of "Crown Hotel", Wollongong and James Clinton Cullen, hotelkeeper of "Crown Hotel", Wollongong and Judith Anne Savill, married woman of "Hotel Mansions" Bayswater Road, Kings.

On 15th August 1980 the property purchased by Barnaba Holdings Pty Ltd. Celia Barnaba was a Director/Manager of the family company from June 1979 to December 1986. The name changed in 1985 to City Pacific International. The Barnaba Holdings Company was deregistered in 1991. The hotel was still trading in 2013 albeit under new ownership.

(This has been abridged from Heritage Impact Statement 2019.)

Third Floor Addition

in April 1936, Sidney Warden applied for an addition of a third floor with 17 rooms, with a cost of £4,350 at present value. The addition also includes two garages and a sitting room, and the installation of a hot water service throughout the building. Wollongong Licensing Court granted the application on 26th May 1936. The addition was constructed by Archibald Douglas Dengate.⁷¹

⁷¹ *Former Crown Hotel*, No. 311 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700645.

Description

The State Heritage Inventory listing sheet provides the following description of this item:

‘The current three storey building has a symmetrical façade that was originally face brick with cement-rendered details. The façade features a central arched pediment with recessed balconies below. Overall, it has mixed features of Inter-war Art Deco and Inter-war Free Classical architectural styles. The additional c. 1940 level included a similar façade detail with rendered horizontal banding. The façade was later painted. The façade was repainted in light green and white in 2019.’⁷²

Refer to Figures 72 and 73.



Figure 72:
No. 309 Crown
Street from
Crown Street.



Figure 73:
NO. 309 Crown
Street from
Burelli Street.

⁷² *Former Crown Hotel*, No. 311 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700645.

View Corridors

The principal view corridors towards this building are located from directly outside of it, on the opposite side of Crown Street and Station Street. There are significant view corridors on approach from the west along Crown Street because of the site's corner location. The subject site forms part of these view corridors. Refer to Figure 74. View corridors on approach from the east along Crown Street are less significant. View corridors from Burelli Street are not significant.



Figure 74: The former hotel on approach along Crown Street from the west, with the subject site in the distance.

Google Maps; WP Heritage and Planning.

The item looks over Crown Street and Station Street. There are no significant view corridors towards the site.

Integrity

The ground floor elevation has been substantially altered. The building is intact above the awning, with the exception of the brickwork having been painted. There is a later addition to the south.

Significance

The State Heritage Inventory Listing Sheet for this item provides the following statement of significance:

“The former Crown Hotel at 309 Crown Street is of significance for the local area for historical, aesthetic, and reasons of representativeness. The current hotel building was erected in 1927, with top floor added in 1940. The extant building is a good example of Interwar Free Classical style with some Art Deco elements, and representative of its type and date of construction. It illustrates NSW historic theme of Leisure (Activities associated with recreation and relaxation). The building is a local landmark with architectural and townscape values. It retains ability to

interpret history, primarily through its surviving original or early features, particularly above the awning level.’⁷³

This statement is adopted for the purposes of this assessment.

Curtilage

The item has a lot boundary curtilage.

Summary of Relationship to the Subject Site

The subject site is visible in view corridors that include this item and forms part of its setting, despite separation by a number of buildings, particularly on approach along Crown Street from the west. There are some visual ties between this item and the former Marcus Clark Building in the strong horizontality of the building facades.

4.2.5 Regent Theatre, No. 193 Keira Street

History

The following summaries the history from the State Heritage Register listing sheet.

Herbert Wyndham Jones, a pioneer of the film industry in the Illawarra Region, purchased the land on which the theatre now stands in 1934. The following year, architect Reginald John Magoffin submitted plans to the Chief Secretary for a new theatre. Following approval, Jones launched a new company called the South Coast Theatres Ltd for the construction of the building. The project was delayed for various reasons; Jones died in 1943. His son, Maurice, revived the project in 1947. The original plans were modified (by Magoffin). Offices were added above the vestibule to bring in revenue.

Building commenced in 1950 and took a number of years to complete. The vestibule interior was designed by acclaimed designers Marian Hall Best and Janet Single and is considered one of Best’s most significant public commissions. The theatre finally opened on Boxing Day 1957. It remained in the hands of the original family until the early 2000s.⁷⁴

Description

The State Heritage Inventory listing sheet focuses on the interior of the building. It notes of the exterior:

‘The Regent facade is of robust geometrical composition of Functionalist and Art Deco Form....

The Keira Street entrance to the Regent is through five double glass doors that lead into a 120-foot terrazzo floored vestibule...

The Regent "reveals many overseas influences including the 'atmospheric' theatre type" (Greater Wollongong Heritage Study) It appears to reflect the architectural style of the Museum of Modern Art in New York, 1938/39 by Edward Durrell Stone.’⁷⁵

Refer to Figure 73.

⁷³ *Former Crown Hotel*, No. 311 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700645.

⁷⁴ *Regent Theatre*, No. 197 Kiera Street, Wollongong. State Heritage Inventory, Heritage Item ID: 5053515.

⁷⁵ *Ibid.*



Figure 75:
Regent
Theatre in
Kiera
Street.

View Corridors

The principal view corridors towards the theatre are obtained from Kiera Street. The building on the corner of Crown Street/Keira Street on the subject site is visible from outside of the theatre. Refer to Figure 73. The theatre was not designed to have view corridors out of it. Buildings of the proposed height will be visible above intervening buildings from outside of the theatre.



Figure 76:
Regent Theatre
in Kiera Street.

Integrity

Not assessed for the purposes of this statement.

Significance

The State Heritage Register listing sheet for this item provides the following statement of significance:

‘The Regent Theatre is of State heritage significance for the rare and outstanding interior design of its foyer and mezzanine areas by Marion Hall Best. This was a major commission for a public space by one of

Australia's leading modernist interior designers, and one of the few intact examples remaining of Best's signature "glazing" paintwork. The Regent is also of State significance as an intact and outstanding example of mid-twentieth century professional women's design in NSW. The Regent Theatre is also of State significance for being a rare and intact large capacity cinema. The building and its facade were designed in the Art Deco style by Reginal Magoffin in the mid 1930s although it was not actually built until the mid 1950s. The theatre has significance associated with the introduction of wide screen technology to cinemas in NSW. It still retains its wide screen format and large scale picture palace style auditorium. The Regent also has local significance for its historical associations with Herbery Wyndham Jones, since it represents the culmination of his entrepreneurial endeavours in cinema management in the Illawarra region. The Regent has social significance for the thousands of people from the region who formed its audiences over half a century.⁷⁶

Curtilage

The item has a lot boundary curtilage.

Summary of Relationship to the Subject Site

There is no direct relationship between the subject site and this item. The proposed works will form part of its setting.

4.3 View Corridors

The significant view corridors towards the Former Marcus Clark Building are generally those that include the corner clock tower. The most significant views towards the building are obtained on approach along Crown Street from the east and west, with secondary view corridors from directly outside of the building on Atchison Street. The tower is most prominent on approach from the west along Crown Street because of the site's corner location. The tower is also visible from near the corner of Burelli Street and Atchison Street from the south west.

Figures 77 to 82 illustrate view corridors towards the building from various locations in the public domain.

The building was not designed to have significant view corridors out over the surrounding area. View corridors out of the site are over the immediately adjoining streets.

⁷⁶ *Regent Theatre*, No. 197 Kiera Street, Wollongong. State Heritage Inventory, Heritage Item ID: 5053515.



Figure 77: View on approach along Crown Street from the east. This is a significant view corridor. The tower is less prominent than it would have been prior to 1957 when it was shortened and widened. Other, taller, buildings have also been erected within the surrounding area since this time.



Figure 78: View on approach along Crown Street from the west. This is a significant view corridor, even though the prominence of the clocktower is diminished for the reasons given above.



Figure 79: View towards the site from outside of the state listed Wollongong Station. The south western corner of the building is just visible. The clock tower is not. This is not a significant view corridor.



Figure 80: View towards the site on approach along Burelli Street from the west. This is, at best, a secondary view corridor.



Figure 81:
View towards the site on approach along Burelli Street from the south west. The western elevation and the clock tower are now visible.
WP Heritage and Planning 2021.



Figure 82: View towards the site on approach along Burelli Street from the east. This is not a significant view corridor.

4.4 Integrity

4.4.1 With Regard to the Site as a Whole

The site has a long history involving the construction and demolition of structures. Refer to the archaeological report that accompanies this amended application for an assessment of the integrity of the archaeological resource.

There is an existing approval (DA-2021/957) to demolish all the structures on the site with the exception of part of the façade of the Former Marcus Clark Building and the Grand Hotel (exterior only). Sections 4.4.2 and 4.4.3 consider these buildings. Section 4.4.4 briefly considers the other Pre-World War II buildings (exterior only).

4.4.2 With Regard to the Former Marcus Clark Building

The Former Marcus Clark Building demonstrates mixed integrity. The building(s) on the site were erected in a number of stages. There are no architectural plans or records available to aid in the interpretation of these stages. Alterations and additions made to earlier parts of the building during later phases (for example the works carried out to the 1921 building in 1957) have confused the fabric record.

It is unlikely that the **1906 building** stood upon the site that is now listed as a heritage item under the *WLEP*. While Marcus Clark & Co. did own part of the heritage listed site (the land now Lot 1 D.P. 927806) in 1906, evidence suggests that this building was located elsewhere on upper Crown Street. The roof forms visible in the historic aerial photograph of 1938 (Figure 9) and the recent aerial photograph (Figure 17) suggest that at least part of an older building was later incorporated into the extant building during the works of 1957.

The basic form of the **1921 building**- two storeys with parapet and tower- remains discernable in the Crown and Atchison Street elevations of the extant building. This building was extended in the 1930s and again in the 1950s. The scope of the works in 1930 are unknown. The works of **1957** had a profound impact on the building. As set out above, newspaper articles of the period suggest that the only part of the 'old store' to have remain untouched were the foundations under the front portion. The Federation period detailing was removed, the tower shortened and widened and the awning and shop fronts replaced. The shop fronts and awnings remain substantially intact. The clock mechanism has been removed from the tower, as has all the signage associated with Marcus Clark and Waltons. This signage was once a prominent feature. The roof forms today are substantially those shown by the 1968 aerial.

The building has a long history of **internal** alterations. It is difficult to read the different periods of construction in the extant floor plan and fabric. When constructed in 1921, for example, the upper floor was occupied by commercial chambers. Within ten years, the dividing walls had been removed and the floor re-modelled into showrooms. The extent to which the lower levels were originally divided, if at all, is unknown. The alterations of 1957 were extensive. The interior of the building substantially reads as being of this period. The joinery to the first floor windows and the pressed metal panels at basement level most likely pre-date this work. One or more of the staircases may be

in their original location. They have, however, been refurbished. The lift has also been refurbished.

4.4.3 With Regard to the Grand Hotel Facade

The Grand Hotel has been altered over time. The building has been extended along its Burelli Street frontage. The later addition is, however, readily identifiable as such. The original façade demonstrates a moderate to high degree of integrity. The following alterations are noted:

- The ground floor brickwork has been painted white. Small sections have been rendered and painted. Historic photographs show that this part of the elevation was once constructed of light coloured brick with a dark brick band to the base matching the upper levels. The rendering and/or painting of the brickwork has had a negative impact.
- The suspended awnings has been removed. Historic photographs show an awning, which stepped up in height with the rise of the street, along the Keira Street elevation and a separate, smaller awning, over the entrance off Burelli Street. The removal of the awning has had a negative impact.
- Door openings have been altered at ground floor level in both street elevations. There are original inset doors at towards the southern end of the Burelli Street elevation and towards the eastern end of the Burelli Street elevation. The changes to the openings has had a negative impact.
- Most of the original windows have been removed and replaced with unsympathetic aluminium framed windows. Historic photographs suggest that the original windows were timber framed double hung sash windows with horizontal glazing bars. This work has had a negative impact.
- There are surface mounted services and modern signage. The services are intrusive.

4.4.4 With Regard to the Nos. 232-238 Keira Street Facades

No. 226-230 Keira Street demonstrates mixed integrity. The following is noted:

- The façade was most likely once face brickwork. The painting of the brickwork has had a negative impact.
- There is no surviving physical (or photographic) evidence of the original shop front. The existing shop front is intrusive.
- The suspended awning has been replaced or substantially re-furbished.
- The awnings above the first floor windows are later elements and are intrusive. It is difficult to ascertain if the windows are original or not. The awnings are intrusive.

No. 232-234 Keira Street demonstrates mixed integrity. The following is noted:

- There is no surviving physical (or photographic) evidence of the original shop front. The existing shopfront is intrusive.
- The awning has been refurbished.
- The awnings above the first floor windows are likely a later addition,

No. 236-238 Keira Street demonstrates mixed integrity. The following is noted:

- There is no surviving physical (or photographic) evidence of the original shop front. The existing shop front is intrusive.
- The building likely had an awning, which has been removed. This has had a negative impact.
- The first

4.4.5 With Regard to Setting and View Corridors

As demonstrated by the historic photographs in this statement, the 1921 Marcus Clark Building was a landmark within the immediate vicinity, particularly as approached along Crown Street from the east and west. This landmark status was reduced when the tower was shortened and widened and its Federation Style architectural detailing removed in 1957. As long as the surrounding buildings remained of a smaller scale, however, the building retained a high level of prominence in the streetscape. As building heights have increased, the building has lost some of its landmark status. The removal of the clock face and the iconic businesses of Marcus Clark & Co. and Waltons Ltd have also diminished its landmark status.

The setting of the site has changed over time as the surrounding area has developed. When first constructed in 1921, the building stood in a streetscape of Federation and Interwar period buildings that were substantially smaller in massing and scale. By the 1980s, there were buildings of up to seven storeys in height along this part of Crown Street. The context will change significantly as non-heritage listed sites are developed in line with the *WLEP* controls.

4.5 Comparative Analysis

4.5.1 The Former Marcus Clark Building

The 1921 building was a Federation Style building. The extant building is not a good example of a Late Federation period and style commercial building. The original building has been extended and the Federation Style detailing stripped from it.

The building as it stands is a modest example of the Moderne Style. The best Post World War II example of this style in Wollongong is, arguably, the nearby state heritage listed Regent Theatre, at No. 197 Keira Street. See above. A slightly earlier, and equally fine, example is provided by the National Mutual Life Assurance Building, No. 163-169 Keira Street, erected just prior to the outbreak of World War II. Refer to Figure 83. Both these examples demonstrate a level of architectural sophistication and integrity not demonstrated by the Former Marcus Clark Building. Figure 84 below has been included to illustrate the view from this heritage item towards the site. Buildings of the proposed massing and scale will be visible from outside of this item, behind intervening buildings.



Figure 83:
National Mutual Life
Assurance Building,
Keira Street.



Figure 84:
View from the
National Mutual Life
Assurance Building,
Keira Street towards
the site, marked by
the arrow.

4.5.2 The Grand Hotel

There are seventeen hotels listed as heritage items by Schedule 5 Part 1 of the *WLEP*. Most are Victorian or Federation period hotels. There are three heritage listed hotels within Wollongong, all in Interwar styles: the former Crown Hotel (Interwar Free Classical Style, No. 309 Crown Street), Tattersall's Hotel (Interwar Georgian Revival Style, No. 329-333 Crown Street) and the Hotel Illawarra (Interwar Functionalist, No. 329-333 Crown Street). Of these, the Hotel Illawarra is the most outstanding example in terms of architectural significance. This is a much finer and more intact example of the Interwar Functionalist Style than the Grand Hotel, as is the National Mutual Life Assurance Building (see Figure 65 above). Refer to Figure 85.



Figure 85:
Hotel Illawarra.

4.5.3 Nos. 226-238 Keira Street Facades

Late Federation/Interwar period shop buildings are not uncommon in Wollongong. The best examples are heritage listed, including Nos. 230-264 Crown Street (see Figure 48 above). The subject buildings do not demonstrate a comparable level of integrity or architectural merit; its setting, which is dominated by the shopping centre that lies opposite it, is detracting.

4.6 Significance of the Former Marcus Clark Building

No provision has been made for a detailed assessment of significance for any other building on the site other than the Former Marcus Clark Building.

Refer to the archaeological assessment for an assessment of the European archaeological significance of the site.

4.7 Assessment Under NSW Heritage Division Criteria

The site is assessed for significance under the following criterion of the NSW Heritage Office, now Heritage NSW. The Guidelines for Inclusion / Exclusion are as provided by *Assessing Heritage Significance, NSW Heritage Manual Update*.

4.7.1 Criterion (a)

An item is important in the course, or pattern, of New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
shows evidence of a significant human activity	has incidental or unsubstantiated connections with historically important activities or processes
is associated with a significant activity or historical phase	provides evidence of activities or processes that are of dubious historical importance

Guidelines for Inclusion	Guidelines for Exclusion
maintains or shows continuity of a historical process or activity	has been altered so that it can no longer provide evidence of a particular association

The Former Marcus Clark Building at No. 281-291 Crown Street, Wollongong has local historic significance for its long association with department store and large scale retailing. The association of the site with Marcus Clark & Co. began in 1906 when they first acquired land. The extant building was erected in 1921 and occupied by them until the 1960s, when it was occupied and later owned by Waltons Ltd. It is now a Spotlight store.

When constructed in 1921, the building formed part of a pattern of regional stores operated by Marcus Clark & Co. during the Federation and Interwar periods. By virtue of its size and level of detailing, it demonstrated a level of confidence in the future growth of Wollongong and the surrounding district. Its clock tower made it a landmark within the city centre. The extension and modernisation of the building in 1957 is similarly a reflection of a forward-looking Wollongong that was, over the following twenty years, to become one of the fastest growth centres in New South Wales.

4.7.2 Criterion (b)

An item has strong or special association with the life or works of a person, or group of persons, of importance in New South Wales' cultural or natural history (or the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
shows evidence of a significant human occupation	has incidental or unsubstantiated connections with historically important people or events
is associated with a significant event, person, or group of persons	provides evidence of people or events that are of dubious historical importance
maintains or shows continuity of a historical process or activity	has been altered so that it can no longer provide evidence of a particular association

No. 281-291 Crown Street, Wollongong has significance under this criterion for its association with Marcus Clark & Co. and Walton Limited, two historically significant NSW department stores.

4.7.3 Criterion (c)

An item is important in demonstrating aesthetic characteristics and/or a high degree of technical achievement in New South Wales (or the local area)

Guidelines for Inclusion	Guidelines for Exclusion
shows or is associated with, creative or technical innovation or achievement	is not a major work by an important designer or artist

Guidelines for Inclusion	Guidelines for Exclusion
is the inspiration for creative or technical innovation or achievement	has lost its design or technical integrity
is aesthetically distinctive or has landmark qualities	its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded
exemplifies a particular taste, style or technology	has only a loose association with a creative or technical achievement

No. 281-291 Crown Street, Wollongong has local significance under this criterion as a long standing local landmark. When first constructed in 1921, it was a fine example of the Federation Style. Its size, corner location and tower made it a landmark element. The modifications made in 1957 were extensive; the building, is no longer a good example of the Federation period and style. As it stands, the building has minor significance as a modest example of the Moderne Style. Although less prominent than the original clock tower, the tower still retains some landmark qualities as an entry feature of the centre of Wollongong.

4.7.4 Criterion (d)

An item has strong or special association with a particular community or cultural group in New South Wales (or the local area) for social, cultural or spiritual reasons

Guidelines for Inclusion	Guidelines for Exclusion
is important for its association with an identifiable group	is only important to the community for amenity reasons
is important to a community's sense of place	is retained only in preference to a proposed alternative

No. 281-291 Crown Street, Wollongong may have local significance for past employees of Marcus Clark and Walton.

4.7.5 Criterion (e)

An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);

Guidelines for Inclusion	Guidelines for Exclusion
Has the potential to yield new or further substantial scientific and/or archaeological information	The knowledge gained would be irrelevant to research on science, human history or culture
Is an important benchmark or reference site or type	Has little archaeological research potential

Guidelines for Inclusion	Guidelines for Exclusion
Provides evidence of past human cultures that is unavailable elsewhere	Only contains information that is readily available from other resources or archaeological sites

No. 281-291 Crown Street, Wollongong is not significant under this criterion with regard to non-archaeological values.

4.7.6 Criterion (f)

An item possesses uncommon, rare or endangered aspects of New South Wales' cultural or natural history (of the cultural or natural history of the local area)

Guidelines for Inclusion	Guidelines for Exclusion
provides evidence of a defunct custom, way of life or process	is not rare
demonstrate a process, custom or other human activity that is in danger of being lost	is numerous but under threat
shown unusually accurate evidence of a significant human activity	
is the only example of its type	
demonstrate designs or techniques of exceptional interest	
shown rare evidence of a significant human activity important to a community	

No. 281-291 Crown Street, Wollongong is not significant under this criterion.

4.7.7 Criterion (g)

An item is important in demonstrating the principal characteristics of a class of New South Wales (or a class of the local areas):

- Cultural or natural places; or**
- Cultural or natural environments**

Guidelines for Inclusion	Guidelines for Exclusion
is a fine example of its type	is a poor example of its type
has the potential characteristics of an important class or group of items	does not include or has lost the range of characteristics of a type
has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique of activity	does not represent well the characteristics that make up a significant variation of type
is a significant variation to a class of items	

Guidelines for Inclusion	Guidelines for Exclusion
• is part of a group which collectively illustrates a representative type	
• is outstanding because of its setting, condition or size	
• is outstanding because of its integrity or the esteem in which it is held	

No. 281-291 Crown Street, Wollongong has local significance for its long standing association with departmental and large scale retailing. The building was once part of an extensive network of country department stores owned by Marcus Clark and later Waltons Ltd. The building when first constructed was a landmark within the Wollongong Town Centre because of its owners, size, Federation Style detailing and clock tower. Whilst some of its landmark status has been diminished by later alteration, it remains a local landmark.

4.8 Statement of Significance

The SHI listing sheet for the former Marcus Clark Building provides the following statement of significance for it:

‘The former Marcus Clark building provides evidence of the development of department store retailing in Wollongong. The existing site has accommodated department, and large-scale retailer uses since the first Marcus Clark Building opened on the site in 1905. The building, as modified in 1921, provided an excellent example of a Federation commercial building in Wollongong with the decorative clock tower being a significant entry feature to the Wollongong town centre. Modifications to the building, particularly during 1957 have limited the architectural value and streetscape contribution of the building although the clock tower remains as a less spectacular landmark feature and the building retains much of its original form. Some internal features and detailing which are indicative of early department store development in Wollongong remain. The building is likely to be of social significance to the many ex-employees of Marcus Clark’s, Walton’s and Spotlight.’⁷⁷

The following revised statement of significance is provide based on the information contained in this statement:

The former Marcus Clark Building at No. 281-291 Crown Street, Wollongong, New South Wales has local historic, social and aesthetic significance as a long standing and prominent entry feature to the Wollongong Town Centre and as a site long associated with departmental and large scale retailing. Built in 1921 for Marcus Clark & Co. Ltd as one of a number of regional stores, the existing building was once a fine example of a large Federation style and period building with a tall clock tower that dominated the streetscape. The extensive alterations in 1957 diminished its aesthetic significance, if not all its landmark status. Just as the original store projected

⁷⁷ *Former Marcus Clark Building*, No. 281-29 Crown Street, Wollongong. State Heritage Inventory Database No.: 5062667.

confidence in Wollongong’s future, the re-modelled building was an expression of the booming Post World War II economy. In its current form, the building is a modest example of the Moderne Style. The site is likely to be of social significance to the many former employees of Marcus Clark & Co. Ltd and Waltons Ltd.

4.9 Relative Significance

Different components of a place may make different relative contributions to the ability to understand the significance of a site. Loss of integrity and/or poor condition can diminish significance. The following grades of significance, taken from the Heritage NSW publication Assessing heritage significance (2023) are used:

- **Exceptional:** Rare or outstanding element directly contributing to a place or object’s significance.
- **High:** High degree of original fabric.
Demonstrates a key element of the place or object’s significance.
Alterations do not detract from its significance.
- **Moderate:** Altered or modified elements.
Elements with little heritage value, but which contribute to the overall significance of the place or object.
- **Little:** Difficult to interpret.

To which is added:

- **Intrusive:** Fabric that adversely impacts on heritage significance.

The following gradings apply to the item (Table 5).

Grading	Element
Exceptional	No element of this item is graded as having exceptional significance.
High	Two storey façade to Crown Street and the northern end of the Atchison Street including: parapeted form, corner tower, groups of timber framed double hung windows. See Figure 63 below. Shop fronts- granite, wall tiling and metal framed doors and windows. Awning form.
Moderate	Awning fabric. Open floor plates; internal pressed metal ceiling panels. Later additions, outside of Figure 86.
Little	Open floor plate; staircase; lift.
Intrusive	Air conditioning units. Existing exterior signage. Removal of the clock tower movement.

Table 6: Grading of Significance.



Figure 86: Significant section of elevation of the Former Marcus Clark building elevations.

5.0 SCOPE OF WORKS

The following should be read in conjunction with the architectural plans prepared by DKO and landscape plans prepared by Land + Form and the documentation prepared by others.

Specifically, consent is sought for the following development in this SSDA:

- Demolition of existing structures on the site, retention of heritage facades, tree removal and site excavation for new basement.
- Construction of a new mixed-use development consisting of:
 - Four residential towers, ranging from 16 to 38 storeys and comprising 546 apartments including:
 - Approx. 414 market apartments.
 - Approx. 132 affordable apartments.
 - Residential lobbies and podium.
 - Communal open space.
 - A 10-storey commercial office building, an 8-storey hotel comprising 166 rooms, and numerous retail tenancies (including a supermarket) consisting of:
 - 10,009 sqm of commercial GFA.
 - 8,793 sqm of hotel GFA.
 - 3,781 sqm of retail GFA.
 - 1,510 sqm of retail supermarket GFA.
- Car, motorcycle and bicycle parking for residents, workers and visitors across two basement levels, mezzanine, lower ground and levels 1 and 2 including:
 - 774 car parking spaces, including:
 - 547 residential spaces (including accessible spaces).
 - 49 residential visitor spaces.
 - 63 commercial/retail/residential visitor spaces.
 - 25 commercial/retail (staff) spaces.
 - 10 hotel (staff only) spaces.
 - 80 retail (supermarket) spaces.

- Five (5) loading bays.
- 320 bicycle parking spaces.
- 47 motorcycle parking spaces.
- New public open space including a new public plaza.
- Associated landscaping and public domain works.

Materials and finishes for the new works will include face brickwork in red, brown and light grey bricks; textured rendered finishes in various colours including white, light grey, beige, red and dark bronze. Doors and windows will be metal framed.

The retained section of the former Marcus Clark façade will be restored, with works including:

- The reinstatement of the clock faces.
- Repair and restoration of the awning to the retained façade of the former Marcus Clark Building.
- Retention of the existing shop fronts within the former Marcus Clark Building.
- Implementation of the Schedule of Conservation Works prepared as part of DA-2021/957. The façade will be painted white and the awning dark bronze.

Refer to the Schedule of Conservation Works, prepared by Weir Phillips Heritage and Planning, dated 2022. A copy of this Schedule can be found in Appendix 1 of this statement.

The proposed works to the retained façade of the Grand Hotel will include:

- Reinstatement of a suspended awning using the existing fixing points.
- Modifications to the ground floor openings and installation of new metal framed doors and windows.
- Replacement of the aluminium framed windows above ground floor level with new windows with horizontal glazing bars to match the pattern of the original windows.
- Test removal of paint at ground floor level to reinstate face brickwork. Note: this may not be successful because of the texture of these bricks. The alternative is to paint the brick work in a neutral colour (to be matched on site) to compliment the pale brick, with a dark colour corresponding to the darker brick tone at the base, matching the historic photographs. Removing the rendered section is likely to damage the brick. These sections will be painted to match the brickwork.
- Removal of the intrusive services.

The proposed new hotel behind the retained façade will be set back from the façade, but will support the façade.

The proposed landscaping across the site will include the creation of new entry plaza on the corner of Crown and Kiera Streets, a terraced market square, a flexible gathering space, a new laneway between Crown and Burelli Streets and extensive tree planting. Landscaped communal open spaces are proposed at various levels and there will be roof planting to the hotel. The planting palette will include endemic species; material selection will include stone, timber and turf.

6.0 METHOD OF ASSESSMENT

The following is a merit-based assessment. It does not consider compliance or otherwise with Council's numerical controls unless non-compliance will result in an

adverse heritage impact. Refer to the Statement of Environmental Effects (SEE) that accompanies this application. How the proposed design takes into consideration an understanding of County is set out in reports prepared by others.

This statement builds on the early Heritage Impact Statement prepared for DA-2021/957, which pre-dates the Heritage NSW publication *Guidelines for Preparing Statements of Heritage Impact* (2023). Although the issues raised in these guidelines are considered in the assessment below, the 'effect of works' is not formatted to these guidelines.

A Pre-Lodgment meeting was held with Council on 15 October, 2024 prior to Weir Phillips Heritage's engagement for this project. The minutes have been provided and are taken into consideration in the discussion below.

7.0 EFFECT OF WORK ON THE SITE

7.1 On the Marcus Clark Building

7.1.1 Options Considered and Restoration

DA-2021/957 approved the removal of the majority of the Former Marcus Clark Building to the extent illustrated by Figure 87 below. Restoration works were approved to the retained section of the façade and awning. Refer to the Schedule of Conservation Works in Appendix 1.

Extensive consultation was held with Wollongong Council prior to the approval of the DA-2021/957. This recent approval demonstrates that the impacts of removing all but part of the facade is acceptable. The reasons given by the HIS that accompanied the DA were as follows and remain valid. Given the date of the original HIS, the questions answered in response to demolition are those raised by the earlier Heritage NSW guidelines *Statements of Heritage Impact*. These are as follows (in italics):

- *Have all options for retention and adaptive re-use been explored?*

And the related questions:

- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*
- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*
- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*

Weir Phillips Heritage and Planning were engaged in August 2019 to consider the options available for the Former Marcus Clark Building in light of the owner's consolidation of the site and the desired future character of this part of Wollongong as set out by Council controls. A number of options were considered during the preliminary phases:

- 1. Complete removal of the building.*

This options was quickly dismissed on the basis that:

- *There is no compelling justification for the complete demolition of the building under the provisions of the LEP 2009 and DCP 2009.*

- *The historic, aesthetic and social significance of the building as a local landmark.*
- *The site is large with a number of street frontages. The heritage significant part of the Former Marcus Clark building only occupies a small area.*

2. Complete retention of the building.

This option is not feasible if the site is to achieve its highest and best use, given its zoning, that of the surrounding area and the desired future character for the area as expressed by Council controls. It is not considered necessary to retain the understanding of the significance of the item, particularly given that not all parts of the building have a high level of significance, contribute to its landmark status or demonstrate architectural merit.

3. Partial retention.

This was the option recommended by Weir Phillips Heritage and Planning at concept design stage on the basis of the relative heritage significance of different parts of the Former Marcus Clark Building, the existing heritage listing and the desired future character of the area.

The following heritage advice was thus provided as part of the design competition:

- *A tower could be constructed above/behind the former Marcus Clark Building and that this could achieve the height limit for the site proscribed by the Wollongong LEP 2009.*
- *A two-storey street wall should be maintained along Crown Street, with additional levels set back.*
- *The setback of those buildings closest to the Marcus Clark Building should be sufficient to retain the visibility of the clock tower on approach from the west.*
- *The form, finishes, orientation and shape of the proposed new tower require careful consideration.*
- *The new buildings adjoining the retained section of the Marcus Clark Building should maintain the street alignment and have a street height no greater than the parapet of the heritage building, with the levels above stepping back.*
- *Interpretation will be required.*

As the proposal moved forward, two alternative conservation strategies for the retained section of the Former Marcus Clark Building were considered:

- 1. The reconstruction of the façade of the Former Marcus Clarke Building to its 1921 state. This is the recommendation of the State Heritage Inventory listing sheet.*
- 2. The retention and restoration of the façade to its 1957 state.*

While restoration to its original 1921 condition is possible, it is not considered desirable for the following reasons:

- *The evidence is dependent on existing photographs taken at a distance and/or of poor quality. The detailing is not clear; a certain amount of conjecture would be involved in any restoration. Article 20 of the Burra Charter states that reconstruction is only appropriate where there is sufficient evidence to reproduce an earlier state of the fabric.*

- *Restoring the building to its 1921 state would require considerable physical intervention into the fabric of the building, given that the parapets were altered and the clock tower shortened and widened.*
- *The 1957 changes made to the building have architectural validity and integrity as an example of the architecture of this period.*
- *The 1957 presentation is the building that most Wollongong residents and visitors would recognise. It encompasses all the periods of the building's major owners and occupiers- Marcus Clark, Waltons and, more recently, Spotlight. The building as it stands thus has a certain iconic status. Whilst reconstruction can be warranted for places of social significance, even where little fabric remains (Burra Charter: Article 20 Note), it is not warranted in this instance on the basis of social significance because anyone able to recognize the pre-1957 condition of the building would need to be over 70 years of age. The building has presented as a moderne building to the street for over 60 years. The alterations were an expression of the Post World War II expansion of Wollongong. A large part of its social significance is related to its current presentation.*

In conclusion, restoration of the extant fabric, as opposed to reconstruction, preserves the existing fabric and avoids speculation as to how the building might have looked and keeps the works outside the realm of conjecture. Restoration of the existing façade would enhance the status and legibility of the building as it is known by most of Wollongong's citizens, without further diminishing its architectural and physical integrity.

This proposal retains a greater portion of the building's façade than DA-2021/957 and retains the existing shop fronts 'as is', which are a long established part of the character of the building. Refer to Figure 88 below. Whilst the additional parts of the façade to be retained are not as significant as the section retained under the original proposal (and this proposal), they are long standing elements in the streetscape. Their retention will reinforce the former presence of Marcus Clark on this corner on all three street frontages, 'adding substance' to the most important part of the façade, being the Crown Street/Atchinson Street corner.



Figure 87: Detail from the approved architectural plan set for DA-2021/957 showing the extent of demolition approved for the Former Marcus Clark Building (shaded red). The retained section of façade is outlined in black.

BVN; detail of AR-DA-B-21-01 in Stamped Plans, DA-2021/957.

Figure 88: Extent of façade it is proposed to retain under the current application.
DKO.

The proposed restoration works to the retained façade will have a positive impact for the following reasons:

The retained section of the façade of the former Marcus Clark Building will be restored to its condition after the 1957 works, improving its recognition by the vast majority of citizens, reinforcing its presence at streetscape level and reinforcing its iconic status within the Wollongong city centre.

A detailed Schedule of Conservation Works was prepared by Weir Phillips Heritage and Planning to accompany DA -2021/957 and will be implemented as part of this proposal. Refer to Appendix 1. The proposed conservation works will include: render repair, cleaning and painting; tile repair and cleaning; repair/replacement of rain goods; removal of intrusive services; repair and painting of timber framed windows; retention and protection of the stainless steel shop windows; reinstatement of the clock movement; and restoration of the awning.

The proposed layouts behind the retained façade respond to market demand, providing a combination of uses. The new ground and first floor levels are consistent with the openings in the retained façade. As such, the façade will not read as a detached building façade. A part commercial use is proposed for this corner of the site, including a large format retail space, maintaining its historical role.

7.1.2 Impacts of the Proposed New Buildings and Landscaping

The construction of larger scale elements within close proximity to a smaller scale heritage item will have an inherent impact on that item. The approval of DA -2021/957 demonstrates an acceptance of these inherent impacts.

The proposed building directly above the retained façade of the Former Marcus Clark Building, Building 1, will have an acceptable impact for the following reasons:

- A detailed structural methodology will be prepared to ensure that the façade can be retained whilst the remainder of the building is removed and that the façade will be structurally integrated into the new works.
- The proposed new building is set well back from the restored façade on Crown Street and from the clock tower. This maintains some of its prominence on approach along Crown Street from the west, despite the loss of sky behind it. The lesser setback on the Atchison Street than proposed to Crown Street will have an acceptable impact given that the view corridor on approach up Atchison Street is less significant than the view corridor on approach along Crown Street. The proposed setback is sufficient for the Clock tower to still be readily viewed and read as a free standing element as approached up Atchison Street from the south. The restored façade of the building will be the dominant element experienced at street level. This is reinforced by the retention of a full length of Atchinson Street façade, including the Burelli Street corner. The restored clock tower will continue to define the corner of the site on approach along Crown Street from the west and east and on approach up Atchison Street from the south.
- The proposed new building facades have been carefully considered to provide fully resolved elevations that contribute to the City Centre in their own right, whilst still allowing the restored former Marcus Clark Building elevation to be the dominant element at street level. The massing is broken into smaller volumes or bays (vertically) of slightly varying heights. The detailing has a regularity that compliments the retained façade.
- The geometry of the proposed building is such that it does not directly align with the Former Marcus Clark Building façade or, more importantly, the clock tower. This provides the heritage façade with far greater visual prominence when viewed from Crown Street.
- The proposed finishes will subtly contrast with the retained façade and be recessive, at street level, to it.

The other proposed buildings on the site will similarly have an acceptable impact on the retained facade:

- As is the case in the approved DA, each building has an individual expression- in terms of orientation, form, height and materiality. The facades are simply but well articulated with a regularity that compliments the heritage item. The tower elements are well separated from each other. The retained façade will not be surrounded by a block-sized homogenous development. It will read, as it has always read, as part of a block of varied buildings.
- The new street wall directly adjacent to the Former Marcus Clark Building along Crown Street is parapeted and lower in height with the Former Marcus Clark Building. The proposed towers above are set back behind this parapet.
- The awning height of the retained façade is repeated along Crown Street, complimenting the strong horizontal line set by the heritage item. This part of the street wall will be rendered and painted and simply detailed, complimenting the character of the retained façade.

Refer to Figure 89. These photomontage demonstrates that while the new towers will be visible in view corridors that include the Former Marcus Clark Building tower, the view line on approach along is preserved. As the area is redeveloped in line with the desired future character for it as expressed by Council controls, the proposed new towers will no longer read in isolation. The restoration of the Former Marcus Clark Building façade will help reinforce its presence at streetscape level.



Figure 89: Photomontage of the proposed view towards the site on approach along Crown Street from the west.

Provided by DKO.

7.2 On the Grand Hotel

7.2.1 Restoration Works

Retaining the façade of the hotel is a positive outcome, particularly given that the building is not heritage listed. Retention recognises that, although not subject to a statutory heritage listing the façade has architectural merit and the hotel has played an important role in the social life of Wollongong.

A detailed structural methodology will be prepared to ensure that the façade can be retained whilst the remainder of the building is removed and that the façade will be structurally integrated into the new works.

Removing the later paint and render from the ground floor elevations would be the optimal outcome. Given the textured character of the brickwork, this is unlikely to be successful. In the event that this is unsuccessful, it is proposed to paint the brick/render a light colour (to be matched on site) to compliment the cream of the unpainted brickwork, with a darker band to compliment the darker brickwork to the base.

The reinstatement of the stepped suspended awning will have a positive impact. The awning was an important horizontal element that visually separated the ground and first floor elevations. Without it, the façade appears incomplete.

Changing the openings at ground floor level will have a minimal and acceptable impact. The openings at this level have been altered by past works. The proposed opening compliment the pattern of openings in the upper levels and will provide a coherent elevation.

The removal of the later, intrusive windows and their replacement with timber framed windows that reflect the horizontal glazing bars of the original windows will have a positive impact.

7.2.2 Impacts of the Proposed New Works and Landscaping

The proposed new hotel above the retained facade will have an acceptable impact for the following reasons:

- Although the proposed levels behind the façade are set back from it, they will not run past the window glazing.
- The new hotel is setback from the parapet, allowing it to remain the dominant element at street level. There is a further increase in setback above Level 7, managing massing and scale.
- The new hotel will be readily identifiable as new work. It is appropriate that these works are constructed in new materials that compliment, rather than copy, the banded brickwork of the hotel. The use of a single, consistent, recessive colour and finish and will highlight the banded brickwork of the retained façade.
- The elevations are simply articulated with strong horizontal and vertical lines that complement the retained façade. The expressed floor plates provide a horizontal element that compliments the horizontal banding of the hotel, its parapet and its Functionalist Style. The regular grouping and alignment of windows and their vertical orientation compliments the windows in the upper floors of the retained façade. The design reflects both the rounded character of the upper two levels of the façade and the faceted bay at ground floor level.

Consideration has been given as to how the façade relates to the proposed new buildings at street level on Kiera Street and Burelli Street:

- At Burelli Street, the later addition to the original hotel is retained and new works set back. The nearest tower block, Building 2.3, is separated by a plaza.
- At Keira Street, a deep indent is provided at ground floor level to separate the new part of the hotel from the retained façade, with a 2.5m separation between the façade and the upper levels. The podium of the new hotel is setback from Keira Street, providing for landscaping. The podium height matches the parapet height of the hotel and has been designed to complement the strong horizontal lines of the retained hotel façade. There is a regularity in the design of the elevation that compliments the retained façade.

The other proposed towers on the site will have an acceptable impact on the retained façade given that these towers are in line with the desired future character of the area. The impacts are similar as those on the former Marcus Clark Building

with mitigation measures including separation into distinct tower forms, varied heights and good articulation.

7.3 On the Keira Street Shops

The existing DA approval allows the removal of the Kiera Street shops. The same outcome is sort by this proposal. The reasons why the removal of these shops was proposed and acceptable was set out in the HIS that accompanied the original DA and are as follows:

The decision has been taken by the architects not to retain the shop fronts on the following basis:

- *The shop fronts are not heritage listed and demonstrate reduced integrity and limited architectural merit.*
- *The retention of these shop fronts is not seen to be warranted given the context of the streetscape opposite the site.*
- *Retaining the shop fronts complicates the use of the site because of the differences in floor levels.*

8.0 EFFECT OF WORKS ON HERITAGE ITEMS IN THE VICINITY OF THE SITE

The closest heritage items to the site are Cadwell's Building, Nos 280-282 Crown Street, the row of shops at Nos. 230-264 Crown Street to the north and the former Crown Hotel at No. 309 Crown Street to the west.

The proposed works will have no impact on the fabric of these items and will not block the principal view corridors towards them obtained from the public domain. Given the above, the public will still be able to appreciate and view these items as a fine example of an Interwar period hotel (No. 309 Crown Street) and as good examples of Federation and Interwar period shops (Nos. 230-264 Crown Street and Nos 280-282 Crown Street).

The proposed works will, however, form part of the setting of these items and be visible in view corridors to and from them. The massing and scale of the proposed works has been developed in direct response to zoning and height controls placed by Council on the site and the surrounding area and in response to State housing objectives. In so zoning these sites, Council must have been cognisant of the presence of heritage items in the vicinity and the inherent impact that larger scale buildings can have on their setting.

The proposed works will have an acceptable impact on the setting of Nos. 230-264 and Nos. 280-282 Crown Street for the following reasons:

- The site is separated from these items by Crown Street. The proposed buildings maintain the setback of the existing buildings on the site from Crown Street. The proposed works will not block angled view corridors towards the items on approach along Crown Street.
- The proposal maintains a two storey wall height, in the form of podiums, to Crown Street, which complements the heritage listed buildings on the opposite side of the street. This will be the dominant element at street level.

- The podiums will read as a parapeted wall height, complimenting the buildings on the opposite side of the street, which all have concealed roof forms behind a parapet.
- The podiums are simply detailed in a manner that compliments the heritage items, with large shop fronts below the awning and vertically proportioned windows arranged in groups separated by engaged columns at first floor level. The detailing is simple and will not compete with the Federation and Interwar period detailing of the heritage items.
- The setbacks of the towers behind the Crown Street wall is varied, as is the height and orientation of the towers. They will not present as a high solid wall of the same height and setback above the street wall. Architectural articulation, materials and finishes are varied across the towers, further breaking up massing and scale.
- These items are located north of the site. There will be no overshadowing impacts.

The proposed works will similarly have an acceptable impact on the setting of the former Crown Hotel for the following reasons:

- The hotel is separated from the site by several buildings and by Atchison Street.
- There are a number of taller buildings within the immediate vicinity of this item, including No. 313-323 Crown Street, which lies directly opposite this item.
- The comments regarding the separation of buildings, different orientations and heights, and good articulation above also relate to managing the impact on this item.

9.0 CONCLUSIONS

This SoHI has been prepared to assess a proposed mixed-use development on a site bounded by Crown Street, Keira Street, Burelli Street and Atchison Street, Wollongong, New South Wales. There is one heritage item on this site listed by the *WLEP*, being the Former Marcus Clark Building on the corner of Crown Street and Atchison Street. There is an existing approval for a mixed use development on this site, DA-2021-957.

DA-2021-957 approves the removal of all the buildings on the site with the exception of parts of the façade of the Former Marcus Clark Building and the façade Grand Hotel. The proposal retains a greater portion of the Former Marcus Clark Building façade than DA-2021-957, which will have a positive impact, and the façade of the Grand Hotel, both of which will be restored. Restoration, particularly of the clock tower of the Former Marcus Clark and the awning and timber framed windows in the upper floors of the Grand Hotel, will reinforce their presence in the streetscape, have a positive impact and mitigated the impact of the proposed new towers above.

The proposed new buildings behind the retained facades have been carefully designed to contribute to the Wollongong Town Centre in their own right as well as being

mindful of the inherent impacts that large scale buildings can have on smaller heritage items. The proposal maintains a two storey wall height along Crown Street and is broken into a series of towers of differing orientation, height colour and finishes with varying setbacks. The podiums at street level are orientated to the street, as is appropriate to the retained facades and existing streetscape character. Varying the orientation, height, finishes and colours of the towers above means that the former Marcus Clark Building will not read as having a background comprised of a solid mass of building. The nearest tower is set setback from the clocktower of the former Marcus Clark Building so that it remains a free standing element defining the street corner. Restoration of the clock face will reinforce its presence in the streetscape. The retention of the street wall height along Crown Street is important not only for this building but also for the setting of the two heritage listed groups of shops on the opposite side of Crown Street. These items are located to the north of the proposed works and will not be overshadowed.

The proposal responds to the desired future character of the Wollongong CBD whilst acknowledging and managing the impacts on the significant buildings of the past.

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- 'Wollongong's Growth,' *South Coast Times and Wollongong Argus*, 12 August, 1927, p.10.

10.2 Maps, Plans and photographs

- *Aerial View of Wollongong*, 1938 and 1961. Wollongong Library.
- *Crown Street*, 1922. Wollongong Library.
- *Crown Street*, undated (1930s?). Wollongong Library.
- *Crown Street, 1945*. Wollongong Library.
- *(The Grand Hotel), Building*, 24 September, 1938.
- *(Grand Hotel)*, Wollongong. Tooth & Co. Records, Yellow Card Series. Noel Butlin Archive, ANU.
- *Kenny's Estate, second subdivision, adjoining railway station, Wollongong... for auction sale, on the ground, Saturday 29th May 1886, at 3 p.m.... W. Osborne & Co., Wollongong, auctioneers*. National Library of Australia.
- *Marcus Clark & Co. Staff*, 1910. Wollongong Library.
- *May Day March*, 1930. Wollongong Library.
- *Waltons*, undated. Wollongong Library.
- *Wollongong*, 1921. Wollongong Library.

10.3 NSW LPI

- C.T. Volume 1683 Folio 205; Volume 7077 Folio 248; and Volume 15466 Folio 191.

10.4 Heritage Listing Sheets

- *Former Crown Hotel*, No. 311 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700645.
- *Former Marcus Clark Building*, No. 281-291 Crown Street, Wollongong. State Heritage Inventory Database No.: 5062667.
- *Row of Shops*, Nos. 230-264 Crown Street, Wollongong. State Heritage Inventory Database No.: 2700644.

10.5 Planning Documents

- *Wollongong Development Control Plan 2019*.
- *Wollongong Local Environmental Plan 2019*.

11.0 APPENDIX 1

Schedule of Conservation Works

SCHEDULE OF CONSERVATION WORKS



Former Marcus Clark Building (*Façade*)
281-291 Crown Street, Wollongong NSW

June 2022 | J4205

**Weir
Phillips**
Heritage
and Planning

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1.0 INTRODUCTION

1.1 Preamble

This Schedule of Conservation Works is a comprehensive list of the works that are required to correct damage and deterioration and provide ongoing maintenance to the façade of the Former Marcus Clark Building, No. 281-291 Crown Street, Wollongong, New South Wales.

The site is located within the City of Wollongong. The principal planning control for the site is the *Wollongong Local Environmental Plan 2009 (LEP 2009)*. The Former Marcus Clark Building is listed as a heritage item by Schedule 5 Part 1 of the *LEP 2009*, where it is identified as the 'Former Marcus Clark Building,' No. 281-291 Crown Street (I6474). The site is identified as having local significance.

This schedule of conservation works has been prepared in response to the following Request for Information from Wollongong Council following the submission of a Development Application (DA-2021-957) for the redevelopment of the site bounded by Crown Street, Keira Street, Burelli Street and Atchison Street, Wollongong. The Former Marcus Clark Building lies upon this site. The DA proposes the demolition of the Former Marcus Clark Building with the exception of part of its Crown Street and Atchison Street façades.

Council RFI Request	
RFI Number	Comment
9.1 Marcus Clark Building	Additional detail on the proposed restoration of the facade is also required. A detailed demolition plan is also required for the Marcus Clark building that shows in detail both the demolition required for the broader development and a Schedule of Conservation Works that details restoration to 1957 detail of façade including the awning, windows, clocktower, shop fronts and the relocation of some of the internal pressed metal ceiling panel (SHI part 7.2).

The demolition plan has been prepared by BVN Architecture. A façade retention methodology, to ensure that the façade is retained during construction, has been prepared by Enstruct.

This Schedule of Conservation Works is divided into general corrective works, specified works and cyclical maintenance and will ensure the long-term conservation of the buildings.

1.2 Authorship

This statement has been prepared by Edward Alder, Building and Remedial Works Specialist, and James Phillips, B.Sc.(Arch), B.Arch, M.Herit.Cons.(Hons), of Weir Phillips Heritage and Planning.

1.3 Guiding Documents

This Schedule of Conservation Works shall be read in conjunction with the Weir Phillips Heritage and Planning Heritage Impact Statement dated June 2022. The works shall be guided and limited by the *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) 2013*.

1.4 Location of Works

The Former Marcus Clark Building is located on the south eastern corner of Crown Street and Atchison Street. The building extends through to Burelli Street. Refer to Figure 1. The building lies on Lot 1 D.P. 927806; Lot 1 D.P. 1087986; Lot 1 D.P. 82673; Lot 1 D.P. 117019; and Lot 1 D.P. 119887.

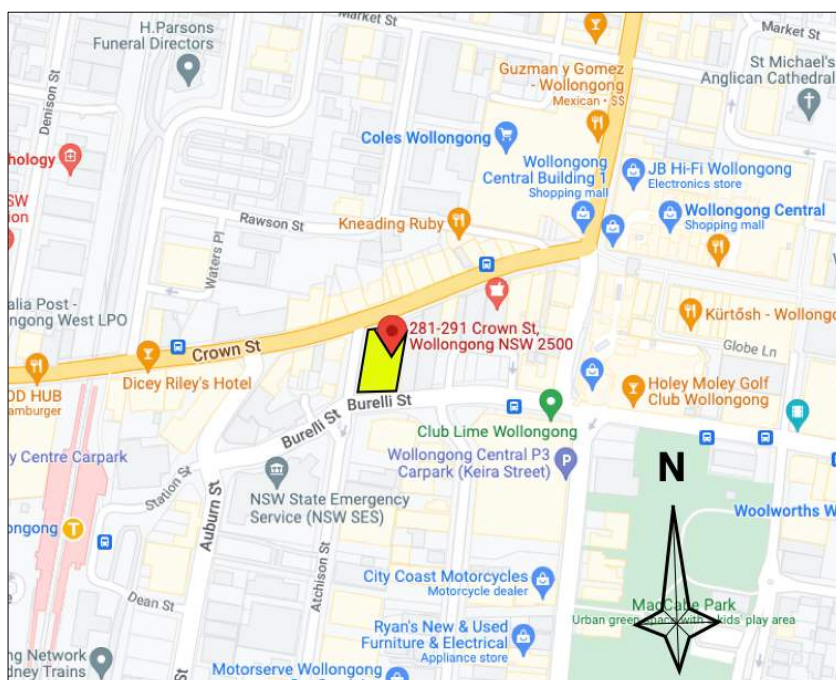


Fig. 1: Site location.

Google Maps; WP Heritage and Planning.

1.5 Purpose of this Corrective Works and Cyclical Maintenance

This plan aims to provide a site reference and a program of corrective works to the façade of the former Marcus Clark Building, No. 281-291 Crown Street, Wollongong NSW requiring implementation over the next few years.

The cyclical maintenance works schedules aims to provide a site reference and a program of ongoing maintenance works to the façade of the former Marcus Clark Building requiring implementation as specified.

This plan is limited to the façade of the building only. Reference is also made to the potential salvage of pressed metal ceiling panels in the lower ground floor level of the building.

1.6 Terminology

The terms fabric, place, preservation, reconstruction, restoration, adaptation and conservation used throughout this report have the meaning given them in *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) 2013*. The following definitions also apply:

Cyclical Maintenance

Maintenance work carried out at a regular, specified interval. The regular expenditure of a small amount of maintenance funds is much better for a building, and more cost effective, than large injections of capital every 20 years or so. People often think that once a building has been ‘restored’ it doesn’t need to be looked at again for many years. Many major repairs to historic buildings could have been prevented if simple things like leaking down-pipes and gutters had been cleaned out or repaired in a timely manner.

Corrective Work

Corrective work is work necessary to bring a building to an acceptable standard (often as recommended by a conservation plan) such as treatment for rising damp; or planned maintenance work to prevent failure which recurs predictably within the life of a building, such as cleaning gutters or painting.

Corrective work is listed as a once only maintenance item in the cyclical maintenance table.

Emergency Corrective Maintenance

Emergency corrective maintenance is work that must be initiated immediately for health, safety and/or security reasons or that may result in the rapid deterioration of the structure or fabric if not undertaken (for example, roof repairs after storm damage, graffiti removal or repairing broken glass). A daily response system detailing who is responsible for urgent repairs should be prepared.

Wherever possible, corrective works and cyclical maintenance works are to be executed within the limitations set out in the relevant sections of the BCA/NCC and applicable Australian Standards. However, the preservation of the original building fabric is to take preference over arbitrary requirements.

1.7 Limitations

The visual inspections from which assessments and this report were made, were from ground level and from within the buildings only. The inspections were neither invasive or exhaustive.

2.0 OVERVIEW OF THE SITE

Figure 2 identifies the extent of the façade considered by this report.

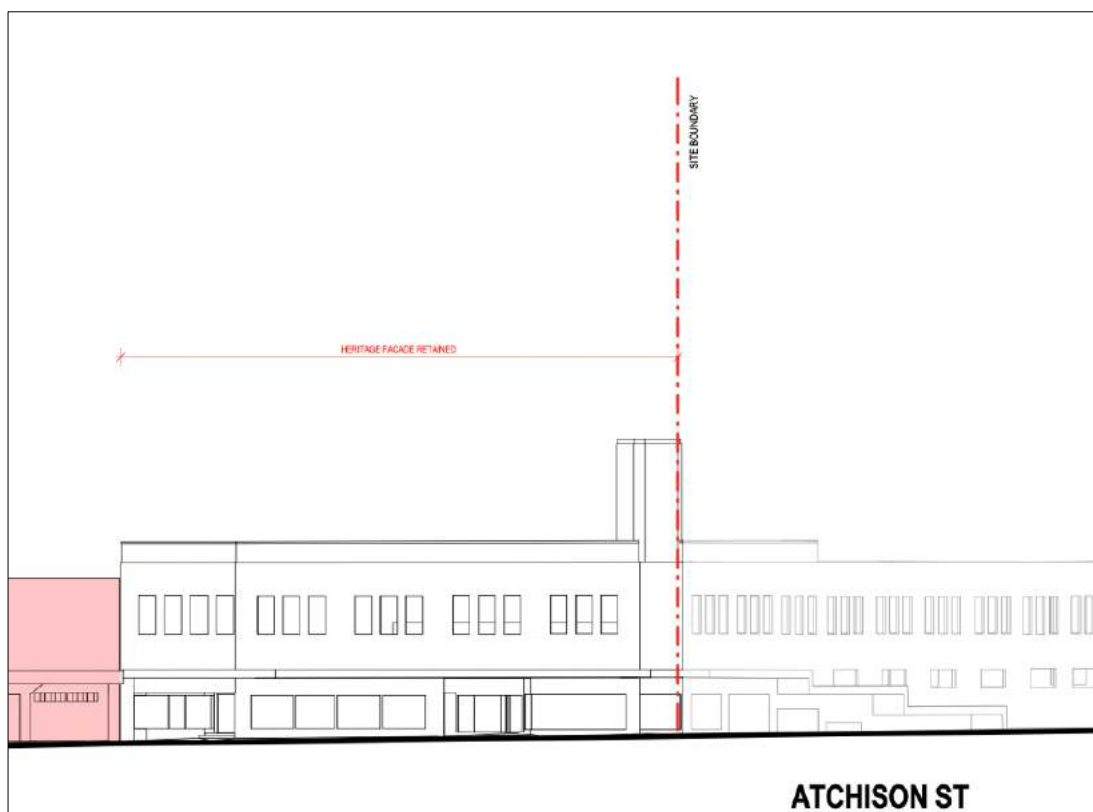


Fig. 2(a): Identifying the extent of the area of conservation works: Crown Street elevation.
Detail of the Demolition Elevations plan prepared by BVN Architecture.

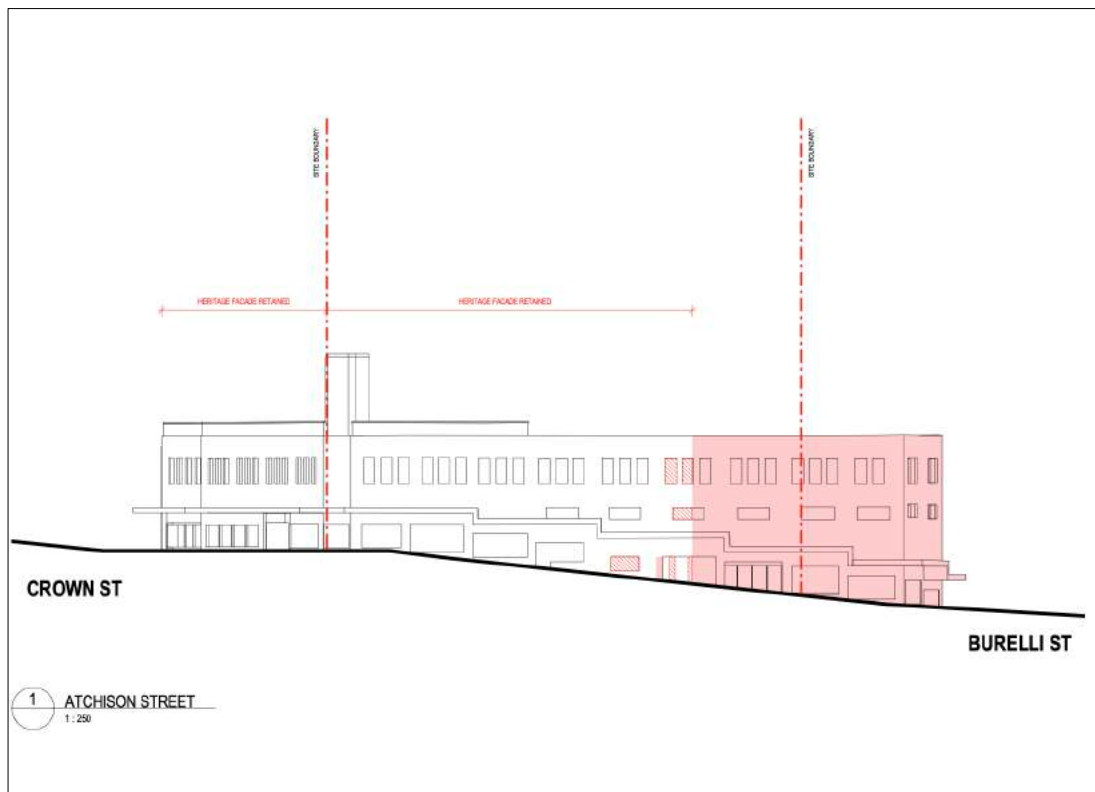


Fig. 2(b): Identifying the extent of the area of conservation works: Atchison Street elevation.
Detail of the Demolition Elevations plan prepared by BVN Architecture.

3.0 CONDITION ASSESSMENT

3.1 Existing Condition of The Facade

The façade of the Former Marcus Clark Building is in a serviceable condition with general ‘wear and tear’ deterioration to the façade at ground floor level and the suspended awning, damage to the double hung timber windows at first floor level and a missing mechanism to the clock tower. The condition and works are detailed below. The following is to be read in conjunction with the photographs in Section 4.0 below.

3.2 Ground Floor

The following observations are made:

- The façade wall tiling is to be cleaned (Fig. 4).
- Broken tiles are to be replaced with matching tiles or repaired if no suitable tile is available. Rusting fixing are to be removed from the tiles and the holes repaired, (Fig. 5-6). Surface conduits are to be removed from façade, (Fig. 7).
- Damaged painted render to shop fronts in Atchison Street is to be repaired and painted (Fig. 8).
- Awning water penetration of the concrete beam over the Atchison Street entry is to be investigated as to the source and repaired, (Fig. 9-10)
- Damaged door threshold in Atchison Street is to be repaired if possible or replaced if necessary, (Fig. 11-12).
- Curved stainless steel frame to glass shopfronts and signage is to be retained and protected from damage during all approved building works, (Fig. 13-15).
- Sections of the stainless steel cladding above the shopfront glazing are to be removed to reveal the underlying surface. Guidance from the nominated heritage

consultant is to be sort once the underlying surface is exposed as to how these areas are to be treated, (Fig. 15-16).

3.3 First Floor

3.3.1 Rendered Facade

- All air-conditioning compressors, conduits, air-conditioning pipework, redundant brackets and fixings are to be removed from the facade on both Atchison and Crown Street and the surface made good, (Fig. 17-19).
- All rusting remnants of redundant masonry anchors are to be removed from the facade on both Atchison and Crown Street and the surface made good, (Fig. 20).
- The deformity in the painted render on eastern end on the Crown Street façade is to be investigated, the findings reported to the nominated heritage consultant and guidance sort on any required remediation, (Fig. 21).
- All cracked, crazed and damaged rendered masonry is to be repaired, (Fig. 22-24).
- The rain-heads and down-pipes on the Atchison Street façade are to be retained or replaced with 'like-for-like' rain-heads and down-pipes if corroded beyond repair, (Fig. 25).

3.3.2 Double Hung Timber Windows

- All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored. Window frames and sills are to be repaired where required. Window sashes are to be repaired where required or replaced with 'like-for-like window sashes where the sash is missing or damaged beyond repair. This work is to be executed by an experienced contractor with a history of satisfactory work on heritage buildings, (Fig. 26-31).

3.4 Clock Tower

- All rusting remnants of redundant masonry anchors are to be removed from the clock tower, (Fig. 32).
- The pigeons are to be removed from inside the clock tower and damaged concrete is to be repaired, (Fig. 33).
- The clock tower is to be restored and protected from damage during the course of approved works. The clocks on all three faces are to be reinstated with functioning mechanisms, (Fig. 34).
- The original lettering on the tower should be reinstated to the corner elevation as per the historic photographs in the Heritage Impact Statement. The lettering is located below the clock tower and reads: 'Marcus/Clark/&/Co Ltd/Estd/ 1883.'

3.5 Shop Awnings

3.5.1 Awning Roof and Roof Drainage.

- Evidence on numerous areas on the underside of the shop awning suggests that the awning roof and guttering has rusted out and needs to be replaced, (Fig. 35).
- The drainage system for the shop awning appears to be concealed. This draining system (down-pipes) from the awning is to be thoroughly investigated by an experience roof plumbing contractor with a history of satisfactory work on heritage buildings. If found to be deteriorated, the system is to be replaced.

3.5.2 Structural support for the Awning.

- All support suspension anchors and suspension elements are to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings, (Fig. 36-37).
- While work to the roof of the awning is being undertaken, the structure of the awning that penetrates the masonry wall is to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings.

3.5.3 Awning Ceiling and Facia

- Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting, (Fig. 39).
- Awning facia is to be repaired prior to proper preparation and repainting. Redundant signage is to be removed or reinstated, (Fig. 38-41).
- Rusting and damaged awning soffits lighting is to be replaced. Guidance from the nominated heritage consultant is to be sort on what replacement lighting is appropriate, (Fig. 42).

3.6 Pressed Metal Ceilings – Lower Ground Floor

- The pressed metal ceilings of the lower ground floor are to be salvaged where ever possible, protected from damaged and recycled either in the new construction in a nominated area or delivered to a heritage building centre, (Fig. 43-44).

4.0 PHOTOGRAPHIC RECORD



Fig. 4. The façade wall tiling is to be cleaned. The curved stainless steel shopfront glazing trim is to be retained and protected from damage for the duration of any and all approved building works.

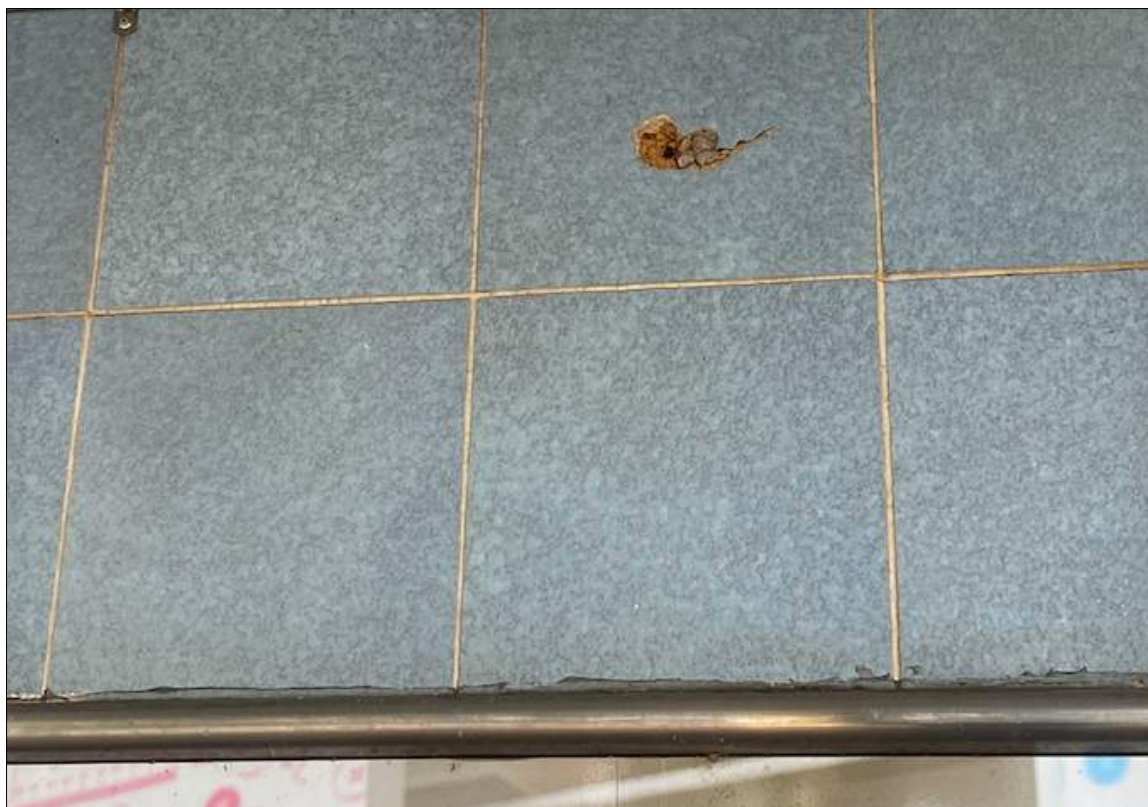


Fig. 5. Broken tiles are to be replaced with matching tiles or repaired if no suitable tile is available. Rusting fixing are to be removed from the tiles and the holes repaired.



Fig. 6. Broken tiles are to be replaced with matching tiles or repaired if no suitable tile is available. Rusting fixing are to be removed from the tiles and the holes repaired.



Fig. 7. Broken tiles are to be replaced with matching tiles or repaired if no suitable tile is available. Surface conduits are to be removed from façade and the damage made good.



Fig. 8. Damaged painted render to shop fronts in Atchison Street.



Fig. 9. Awning water penetration of the concrete beam over the Atchison Street entry.



Fig. 10. Awning water penetration of the concrete beam over the Atchison Street entry.



Fig. 11. Damaged door threshold in Atchison Street.



Fig. 12. Damaged door threshold in Atchison Street.



Fig. 13. Curved stainless steel frame to glass shopfronts and signage is to be retained and protected from damage during all approved building works.



Fig. 14. Curved stainless steel frame to glass shopfronts and signage is to be retained and protected from damage during all approved building works.



Fig. 15. Sections of the stainless steel cladding above the shopfront glazing are to be removed to reveal the underlying surface, Guidance from the nominated heritage consultant is to be sort on how these areas are to be treated.



Fig. 16. Sections of the stainless steel cladding above the shopfront glazing are to be removed to reveal the underlying surface, Guidance from the nominated heritage consultant is to be sort on how these areas are to be treated.



Fig. 17. All air-conditioning compressors, conduits, air-conditioning pipework, redundant brackets and fixings are to be removed from the facade on both Atchison and Crown Street.



Fig. 18. All air-conditioning compressors, conduits, air-conditioning pipework, redundant brackets and fixings are to be removed from the facade on both Atchison and Crown Street.



Fig. 19. All air-conditioning compressors, conduits, air-conditioning pipework, redundant brackets and fixings are to be removed from the facade on both Atchison and Crown Street.



Fig. 20. All rusting remnants of redundant masonry anchors are to be removed from the facade on both Atchison and Crown Street.



Fig. 21. The deformity in the painted render on eastern end on the Crown Street façade is to be investigated and findings reported to the nominated heritage consultant and guidance sort on any required remediation.



Fig. 22. Cracked, crazed and damaged rendered masonry is to be repaired.



Fig. 23. Cracked, crazed and damaged rendered masonry is to be repaired.



Fig. 24. Cracked, crazed and damaged rendered masonry is to be repaired.



Fig. 25. The rain-heads and down-pipes on the Atchison Street façade are to be retained or replaced with 'like-for-like' rain-heads and down-pipes if corroded beyond repair.



Fig. 26. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 27. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 28. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 29. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 30. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 31. All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored.



Fig. 32. All rusting remnants of redundant masonry anchors are to be removed from the clock tower.



Fig. 33. The pigeons are to be removed from inside the clock tower and damaged concrete is to be repaired.



Fig. 34. The clock tower is to be restored and protected from damage during the course of approved works. The clocks on all three faces are to be reinstated with functioning mechanism. The historic wording is to be reinstated on the corner façade below the clock face.



Fig. 35. Evidence on numerous areas on the underside of the shop awning suggests that the awning roof and guttering has rusted out and needs to be replaced.



Fig. 36. All Support suspension anchors and suspension elements are to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings.



Fig. 37. All Support suspension anchors and suspension elements are to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings.



Fig. 38. Awning fascia is to be repaired prior to proper preparation and repainting. Redundant signage is to be removed or reinstated.



Fig. 39. Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting.



Fig. 40. Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting.



Fig. 41. Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting.



Fig. 42. Rusting and damaged awning soffits lighting is to be replaced. Guidance from the nominated heritage consultant is to be sort on what replacement lighting is appropriate.



Fig. 43. The pressed metal ceilings of the lower ground floor are to be salvaged where ever possible, protected from damaged and recycled either in the new construction in a nominated area and/or offered to a heritage building centre.



Fig. 44. The pressed metal ceilings of the lower ground floor are to be salvaged where ever possible, protected from damaged and recycled either in the new construction in a nominated area or delivered to a heritage building centre.

5.0 CORRECTIVE WORKS

Weir Phillips Heritage and Planning		Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-01	Space No:	Facade
		LOCATION: Façade – Ground Floor WORK REQUIRED: The façade wall tiling is to be cleaned. The curved stainless steel shopfront glazing and signage trim is to be retained, protected from damage for the duration of any and all approved building works. This work is to be executed by a licensed contractor with a proven record of satisfactory work to heritage buildings.	
		LOCATION: Western Façade – Ground Floor WORK REQUIRED: Broken tiles are to be replaced with matching tiles or repaired if no suitable tile is available. Rusting fixing are to be removed from the tiles and the holes repaired. This work is to be executed by a licensed contractor with a proven record of satisfactory work to heritage buildings Standard: AS 3958.1-2007 installation of tiles.	
		LOCATION: Western Façade – Ground Floor WORK REQUIRED: Broken tiles are to be replace with matching tiles or repaired if no suitable tile is available. Surface conduits are to be removed from façade. This work is to be executed by a licensed contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3958.1-2007 installation of tiles and AS/NZS 3000:2018, Electrical installations.	
Issue:		June 2022	

Weir Phillips Heritage and Planning		Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-02	Space No:	Facade
		LOCATION: Western Façade – Ground Floor WORK REQUIRED: Damaged painted render to shop fronts in Atchison Street. This work is to be executed by a licensed contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3972-2010 General purpose and blended cements, AS/NZS 2311-2017 Guide to Painting of Buildings and protection, and AS 4361.2-1998 Guide to lead paint management - Residential and commercial buildings.	
		LOCATION: Western Façade – Ground Floor WORK REQUIRED: Provide repair to overhead concrete beam (spalling repairs in required) at the Atchison Street entry. This work is to be executed by an experienced contractor with a proven record of satisfactory repairs to heritage building. Standards: SA HB 84:2018 Guide to concrete repair and protection, AS 1478.2-2005 Chemical admixtures for concrete, mortar and grout, AS/NZS 2311-2017 Guide to Painting of Buildings and protection, AS 4361.2-1998 Guide to lead paint management - Residential and commercial buildings and AS 2312.1:2014 Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings Paint coatings.	
		LOCATION: Western Façade – Ground Floor WORK REQUIRED: Provide repairs to damaged door threshold in Atchison Street. This work is to be executed by an experienced terrazzo contractor with a proven record of satisfactory repairs to heritage building. Standards: SA HB 84:2018 Guide to concrete repair and protection and AS 1478.2-2005 Chemical admixtures for concrete, mortar and grout.	
Issue:		June 2022	

Weir Phillips Heritage and Planning		Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-03	Space No:	Facade
		LOCATION: Northern Façade – Ground Floor WORK REQUIRED: Sections of the stainless steel cladding above the shopfront glazing are to be removed to reveal the underlying surface, Guidance from the nominated heritage consultant is to be sort on how these areas are to be treated once the underlying surface is exposed. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings.	
		LOCATION: Northern and Western Façade WORK REQUIRED: All air-conditioning compressors, conduits, air-conditioning pipework, redundant brackets and fixings are to be removed from the facade on both Atchison and Crown Street. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings. Standard: AS/NZS 3000:2018 Electrical installations.	
		LOCATION: Northern and Western Façade WORK REQUIRED: All rusting remnants of redundant masonry anchors are to be removed from the facade on both Atchison and Crown Street and the fixing's hole repaired. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3972-2010 General purpose and blended cements.	

	LOCATION: Northern Façade WORK REQUIRED: The deformity in the painted render on eastern end on the Crown Street façade is to be investigated and findings reported to the nominated heritage consultant and guidance sort on any required remediation. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings.
Issue:	June 2022

Weir Phillips Heritage and Planning		Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-04	Space No:	Facade
		LOCATION: Northern and Western Façade WORK REQUIRED: All cracked, crazed and damaged rendered and underlying masonry is to be repaired. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 3972-2010 General purpose and blended cements, SA HB 84:2018 Guide to concrete repair and protection, and AS 1478.2-2005 Chemical admixtures for concrete, mortar and grout.	
		LOCATION: Western Façade WORK REQUIRED: The rain-heads and down-pipes on the Atchison Street façade are to be retained or replaced with 'like-for-like' rain-heads and down-pipes if corroded beyond repair. This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings. Standards: AS/NZS 2179.1-1994 Metal Rainwater and AS/NZS 3500.3.2003. Stormwater Drainage.	
		LOCATION: Northern and Western Façade WORK REQUIRED: All the double hung timber windows in the façade in both Atchison and Crown Street are to be restored, Window frames and sill are to be repaired where required, window sashes are to be repaired where required or replaced with 'like-for-like window sashes where sash is missing or damage beyond repair. Glass is to be replaced and the windows are to be properly prepared and painted to paint manufactures specification in approved colour This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings. Standards: AS 1684.2—2006 Timber framing, AS/NZS 2311-2017 Guide to Painting of Buildings and protection, and AS 4361.2-1998 Guide to lead paint management - Residential and commercial buildings.	
Issue:		June 2022	

Weir Phillips Heritage and Planning		Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-05	Space No:	Facade
		LOCATION: Clock Tower WORK REQUIRED: All remnants of redundant masonry anchors are to be removed from the clock tower. The pigeons are to be removed from inside the clock tower and damaged concrete is to be repaired. The clocks on all three faces are to be reinstated with functioning mechanism. The clock tower is to be restored and protected from damage during the course of approved works. This work is to be executed by an experienced contractors with proven records of satisfactory work to heritage buildings. Standard: SA HB 84:2018 Guide to concrete repair and protection, AS 1478.2-2005 Chemical admixtures for concrete, mortar and grout and AS/NZS 3000:2018 Electrical installations.	
Issue:		June 2022	

Weir Phillips Heritage and Planning		Corrective Works <i>should awnings not be replaced</i> Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work	
Sheet No:	CM-06	Space No:	Shop Awnings
		LOCATION: Northern and Western Shop Awnings WORK REQUIRED: Evidence on numerous areas on the underside of the shop awning suggests that the awning roof and guttering has rusted out and needs to be replaced. The drainage system for the shop awning appears to be concealed. This draining system (down-pipes) from the awning is to be thoroughly investigated by an experience roof plumbing contractor with a history of satisfactory work on heritage buildings. If found to be deteriorated the system is to be replaced. This work is to be executed by an experienced contractors with proven records of satisfactory work to heritage buildings. Standards: AS 1562.1 2018 and SA HB 3850.1-2015 Metal Roofing , AS/NZS 2179.1-1994 Metal Rainwater and AS/NZS 3500.3.2003. Stormwater Drainage.	
Issue:		June 2022	

Corrective Works *should awnings not be replaced*
Façade, 281-291 Crown Street, Wollongong NSW
Schedule of Work

Sheet No: **CM-07**

Space No: Shop Awnings



LOCATION: Northern and Western Shop Awnings

WORK REQUIRED:

All support suspension anchors and suspension elements are to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings.

While work to the roof of the awning is being undertaken, the structure of the awning that that penetrate the masonry wall is to be properly inspected by an experienced awning installation contractor with a history of satisfactory work on heritage buildings.

Standards: AS/NZS 5131:2016 Structural steelwork – Fabrication and erection and AS/NZS 1554.1:2014 Structural steel welding - Welding of steel structures.



LOCATION: Northern and Western Façade

WORK REQUIRED:

Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting.

Awning fascia is to be repaired prior to proper preparation and repainting. Redundant signage is to be removed or reinstated.

Rusting and damaged awning soffits lighting is to be replaced. Guidance from the nominated heritage consultant is to be sort on what replacement lighting is appropriate.

This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings.

Standard: AS/NZS 3000:2018 Electrical installations and AS 1562.1-1992 Design and installation of sheet roof and wall cladding Metal



LOCATION: Northern and Western Façade

WORK REQUIRED:

Awning soffits (pressed metal ceilings) are to be retained, repaired prior to proper preparation and repainting.

This work is to be executed by an experienced contractor with a proven record of satisfactory work to heritage buildings.

Standards: AS 1562.1-1992 Design and installation of sheet roof and wall cladding Metal, AS/NZS 2311-2017 Guide to Painting of Buildings and protection, and AS 4361.2-1998 Guide to lead paint management - Residential and commercial buildings.

Issue:

June 2022

Sheet No:

CM-08

Space No:

Façade



LOCATION: Northern and Western Façade

WORK REQUIRED:

Once all remediation to the façade is complete, the entire façade on both Atchison and Crown Streets are to be cleaned, properly prepared and repainted in accordance with any limitations set by statutory authorities and to the paint manufactures specification in approved colours.

Standards: AS 1562.1-1992 Design and installation of sheet roof and wall cladding Metal, AS/NZS 2311-2017 Guide to Painting of Buildings and protection, and AS 4361.2-1998 Guide to lead paint management - Residential and commercial buildings

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6.0 SALAVAGED MATERIALS

Weir Phillips Heritage and Planning	Salvaged Materials 281-291 Crown Street, Wollongong NSW Schedule of Items		
Sheet No:	RM-01	Space No:	Lower Ground Floor
		LOCATION: Pressed Metal Ceilings WORK REQUIRED: The pressed metal ceilings of the lower ground floor are to be salvaged where ever possible, protected from damaged and recycled either in the new construction in a nominated area or delivered to a heritage building recycling centre.	
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7.0 SPECIFIED WORKS

Weir Phillips Heritage and Planning	Corrective Works Façade, 281-291 Crown Street, Wollongong NSW Specified Works		
Sheet No:	SW-01	Space No:	Façade
STRUCTURAL SUPPORT WORK TO FAÇADE: Structural support work for the façade, temporary or permanent, is to have minimal limited disturbance of heritage fabric. Temporary structures, such as scaffolding, is not to be affixed to heritage fabric with masonry anchors or methods that require drilling holes into heritage fabric unless absolutely unavoidable. Standard: AS/NZS 1577:2013 Scaffold decking components. CONCRETE REPAIRS: Should concrete repairs be required, rust is to be completely removed by exposing deteriorated reinforcement to allow proper and complete access to envelop reinforcement steel with concrete repair system so as to prevent further deterioration. This work is to be carried out under the supervision of the structural engineer and heritage consultant and to the specification of the manufacture of the concrete repair mortar and associated products. Standard: SA HB 84:2018 Guide to concrete repair and protection, and AS 1478.2-2005 Chemical admixtures for concrete, mortar and grout. WINDOWS: The windows are to be faithfully restored. New window sashes are to match the profile, dimensions and original window sashes. All sashes should be removed to facilitate repairs, proper preparation and painting to all surfaces of the window and window sashes. Sash cords are to be removed and new parting beads and stop beads that match the original parting beads and stop beads are to provided. Standards: AS 1684.2—2006 Timber framing, AS 2858-2008. Timber - Softwood - Visually stress-graded for structural purposes and AS 3519- 2005 Timber - Machine proof grading.			
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8.0 PLANNED CYCLICAL MAINTENANCE

Weir Phillips Heritage and Planning	Planned Cyclical Maintenance Façade, 281-291 Crown Street, Wollongong NSW Schedule of Work		
Sheet No:	PCM-01	Space No:	Façade
Location: Entire Façade in both Atchison and Crown Streets.			
Element	Maintenance required every three (3) years		
Timber windows	Inspect for deterioration. Repair as required.		
Ground floor shop fronts	Inspect for deterioration. Repair as required.		
Exterior concrete walls	Inspect for deterioration. Repair as required. Replace any rusting fixings, remove all redundant masonry anchor remnants.		
Awning	Inspect for deterioration. Repair as required.		
Clock tower	Inspect for deterioration. Repair as required. Inspect clocks to ensure they are functioning correctly. Repair or replace as required.		
Entire Façade in both Atchison and Crown Streets	Properly inspect and clean façade.		
Element	Maintenance required every sixteen (16) years		
Entire Façade in both Atchison and Crown Streets	Properly prepare and repaint façade to paint manufacture's specifications.		
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