

SPECULATIVE WAREHOUSE / INDUSTRIAL FACILITY

HORSLEY DRIVE BUSINESS PARK

AT PROPOSED LOT 2,

CORNER OF HORSLEY DRIVE AND COWPASTURE ROAD

HORSLEY PARK

SP2 - WSPT - DA - 000 - A	TITLE SHEET
SP2 - WSPT - DA - 001 - A	LOCATION PLAN
SP2 - WSPT - DA - 002 - A	SITE ANALYSIS
SP2 - WSPT - DA - 003 - A	SITE PLAN
SP2 - WSPT - DA - 004 - A	TRUCK TURNING DIAGRAMS - SHEET 1
SP2 - WSPT - DA - 005 - A	TRUCK TURNING DIAGRAMS - SHEET 2
SP2 - WSPT - DA - 006 - A	STAGING PLANS
SP2 - WSPT - DA - 100 - A	WAREHOUSE / INDUSTRIAL FACILITY PLAN
SP2 - WSPT - DA - 110 - A	OFFICE 01 FLOOR PLANS
SP2 - WSPT - DA - 111 - A	OFFICE 02 FLOOR PLANS
SP2 - WSPT - DA - 200 - A	ELEVATIONS
SP2 - WSPT - DA - 210 - A	SECTIONS
SP2 - WSPT - DA - 400 - A	LIGHTING PLAN
SP2 - WSPT - DA - 500 - A	COLOURED ELEVATIONS
SP2 - WSPT - DA - 600 - A	OFFICE 01 PERSPECTIVE
SP2 - WSPT - DA - 610 - A	OFFICE 02 PERSPECTIVE



NSW GOVERNMENT
Planning

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Approved Application No. SSD 7564

granted on the 19 October 2016

Signed [Signature]

Sheet No. 1 of 27





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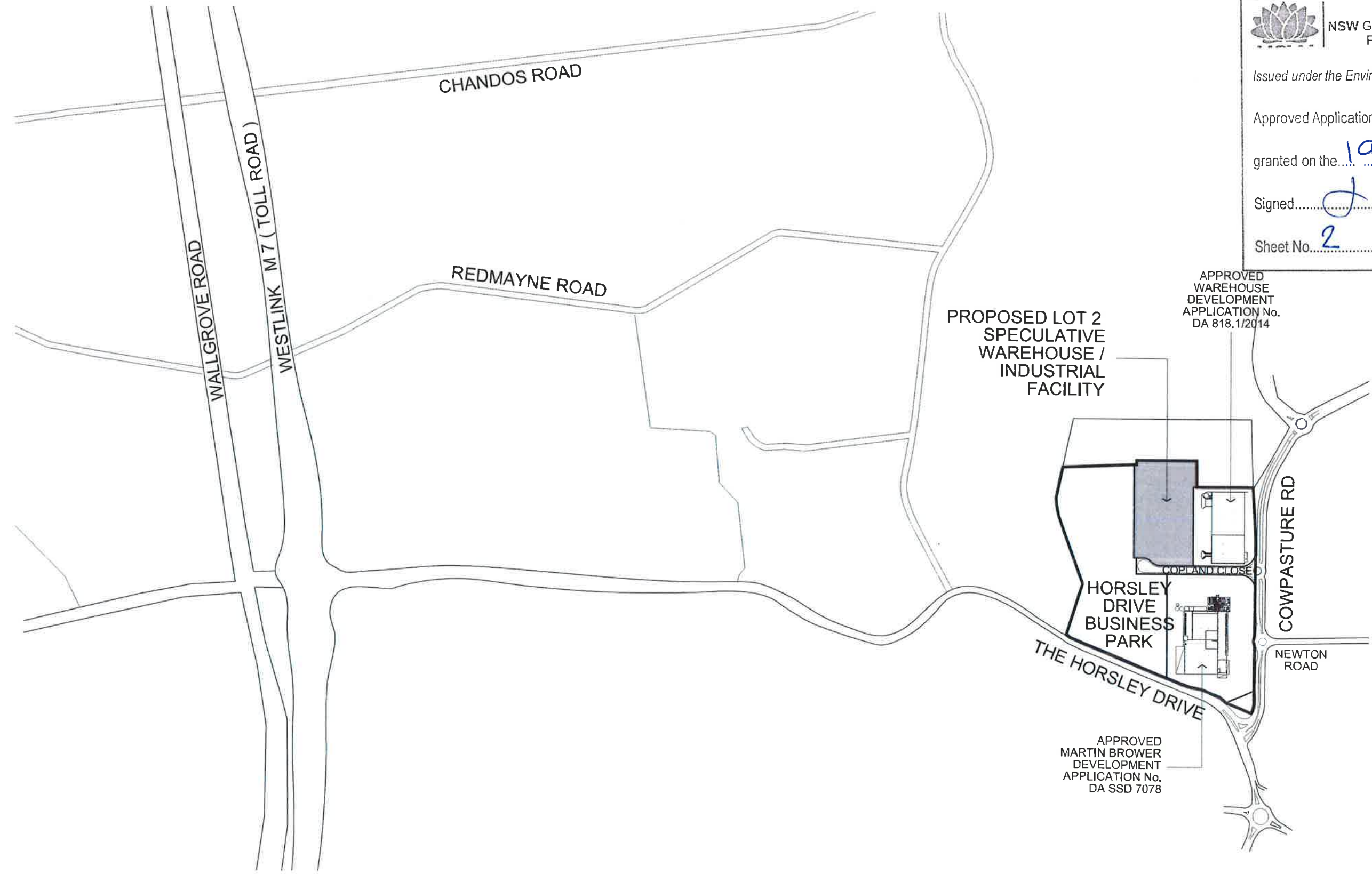
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Sheet No. 2 of 27



01 LOCATION PLAN
1:4000 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.
 ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION
 1 HOMERUSH BAY DRIVE
 BUILDING G, LEVEL 3
 RHOES NSW 2138
 PO BOX 1307
 RHOES NSW 2138
 PHONE 02 9187 2000
 FAX 02 9187 2098

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
LOCATION PLAN

SCALE 1:4000 @ B1
 DRAWN MR
 CHECKED JO
 DATE 24.03.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER
SP2-WSPT-DA-001 A

REVISION	DESCRIPTION	DATE
A	DA ISSUE	21.04.16

NSW GOVERNMENT
Planning

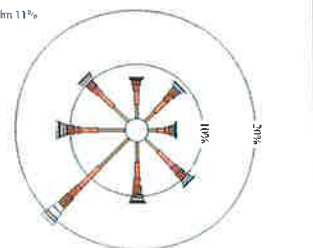
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Approved Application No. **SSD 7564**

granted on the **19 October 2016**

Signed **J**

Sheet No. **3** of **27**



COMMERCIAL & INDUSTRIAL DIVISION
1 HARBORVIEW DRIVE
BUILDING 3, LEVEL 3
PO BOX 3307
RHODES NSW 2138
PHONE 02 9167 2000
FAX 02 9167 2208

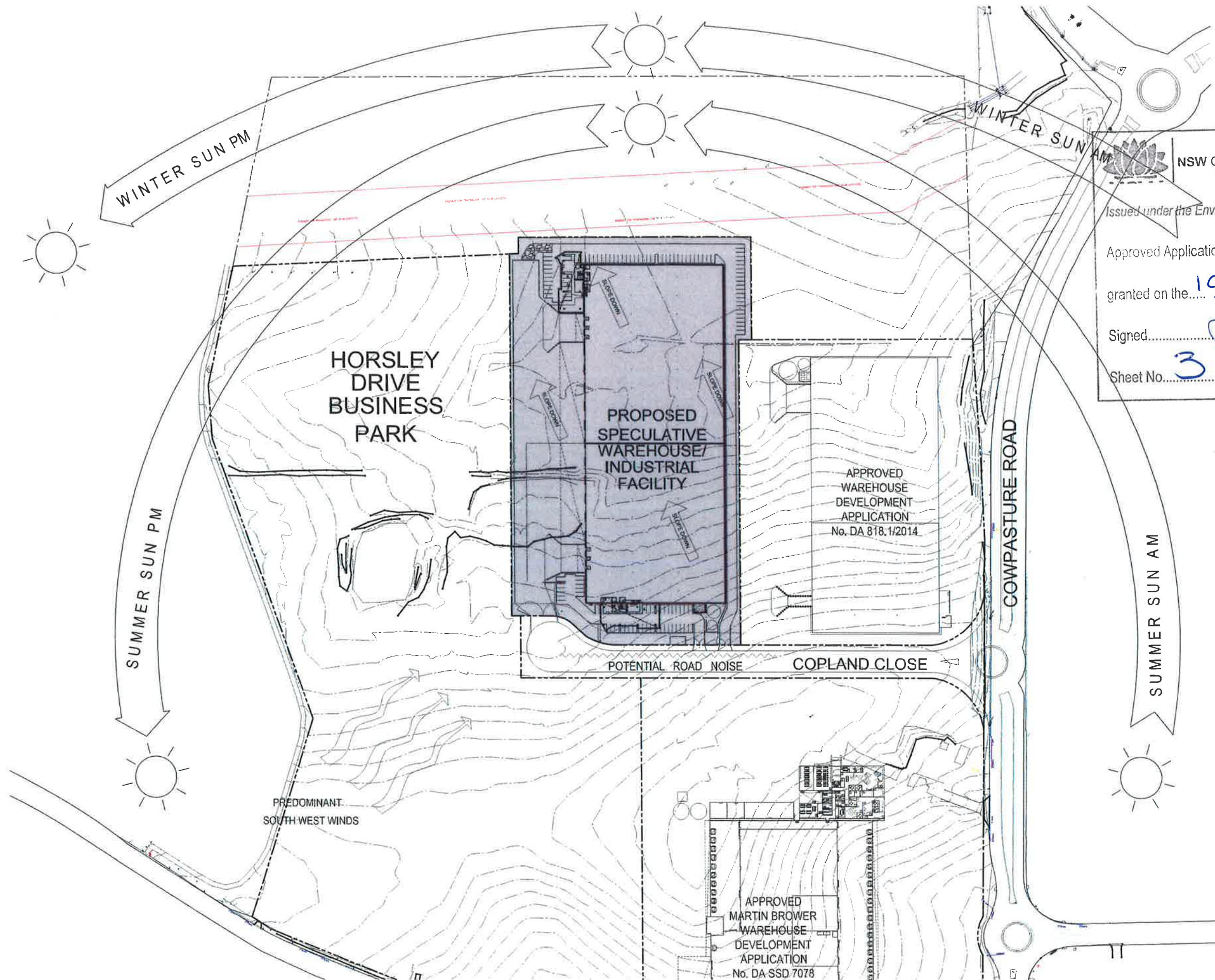
PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
SITE ANALYSIS

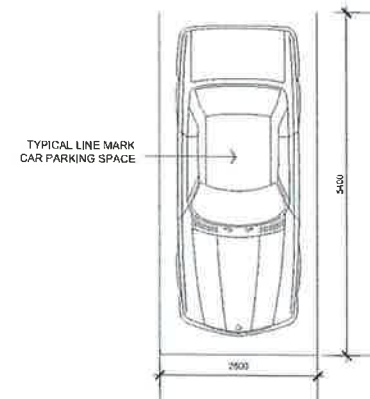
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DATE 24.03.16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP2-WSP-DA-002 A

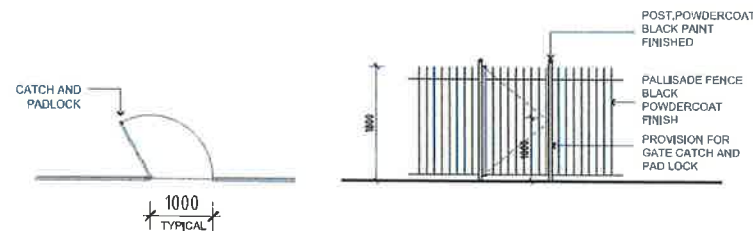


01 SITE ANALYSIS PLAN
14,000 @ B1

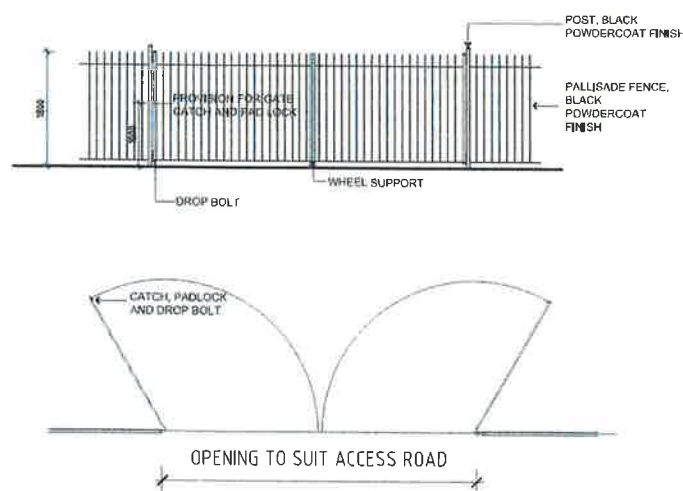
ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.
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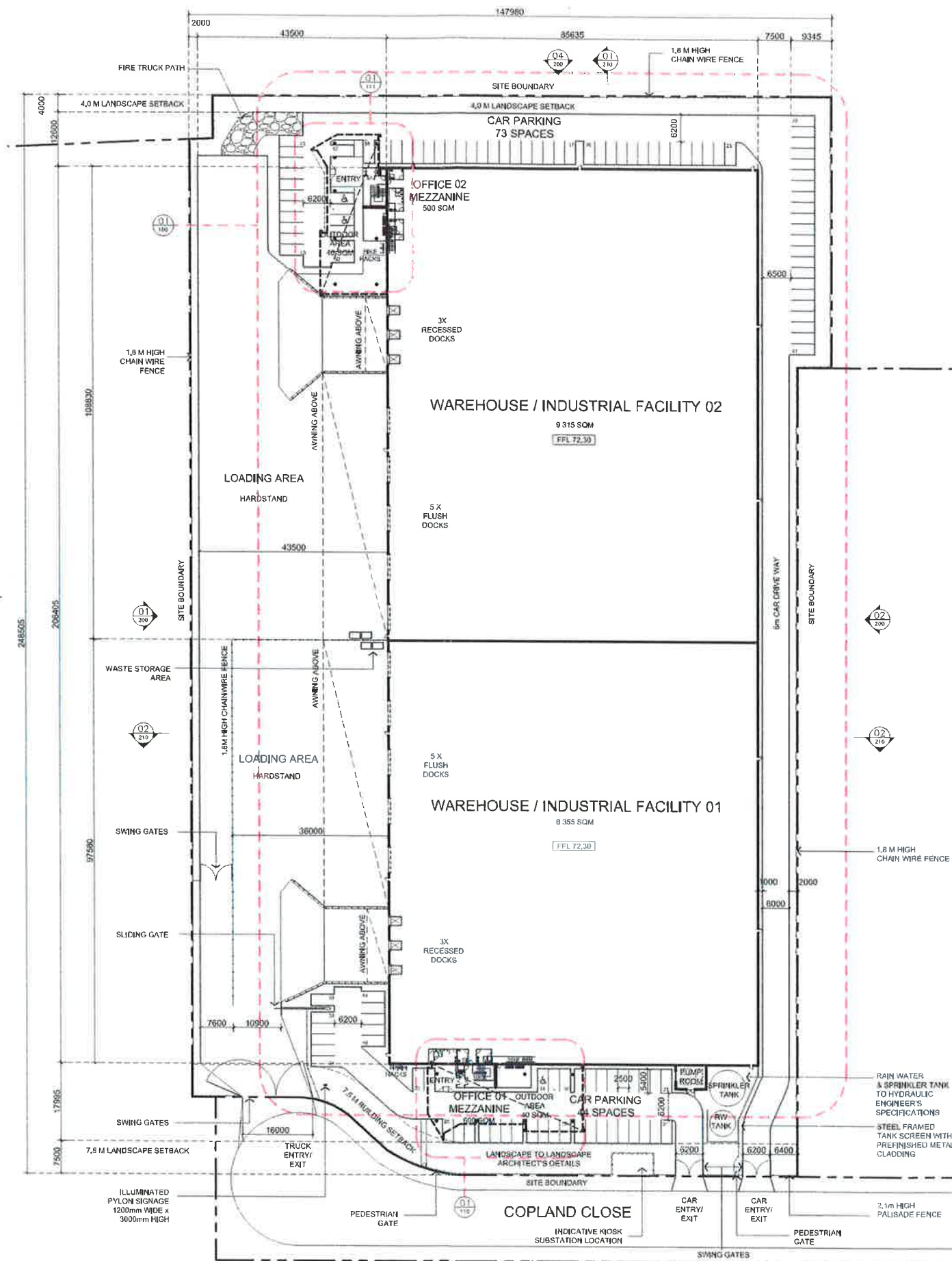
04 TYPICAL PERPENDICULAR PARKING SPACES DETAILS
 SCALE - 1:50 @ B1



03 PLAN & ELEVATION SWING GATE (PEDESTRIAN)
 PALLISADE FENCE - 1:50 @ B1



02 PLAN & ELEVATION SWING GATE (VEHICLE)
 PALLISADE FENCE - 1:50 @ B1



01 SITE PLAN
 1:500 @ B1

DEVELOPMENT AREAS	
SITE AREA	34 538 SQM
WAREHOUSE / INDUSTRIAL FACILITY 01	8 355 SQM
MEZZANINE OFFICE 01	500 SQM
ENTRY FOYER	50 SQM
TOTAL BUILDING AREA	8 905 SQM
AWNING	1 015 SQM
WAREHOUSE / INDUSTRIAL FACILITY 02	9 315 SQM
MEZZANINE OFFICE 02	500 SQM
ENTRY FOYER	50 SQM
TOTAL BUILDING AREA	9 865 SQM
AWNING	1 015 SQM
TOTAL BUILDING AREA	18 770 SQM
CAR PARKING	
CAR PARKING PROVIDED	117 SPACES
MASTER PLAN APPROVED CAR PARKING REQUIRED (1 space per 200 SQM GFA)	93 SPACES

NSW GOVERNMENT Planning	SITE COVERAGE 54.3 %
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Sheet No. **4** of **27**



COMMERCIAL & INDUSTRIAL DIVISION
 1 HANCOCK BAY DRIVE, SYDNEY NSW 2150
 PHONE 02 9757 2001
 FAX 02 9757 2998
 PO BOX 1307, SYDNEY NSW 2128

PROJECT
 SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
 PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COMFASTURE ROAD, HORSLEY PARK

DRAWING TITLE
 SITE PLAN

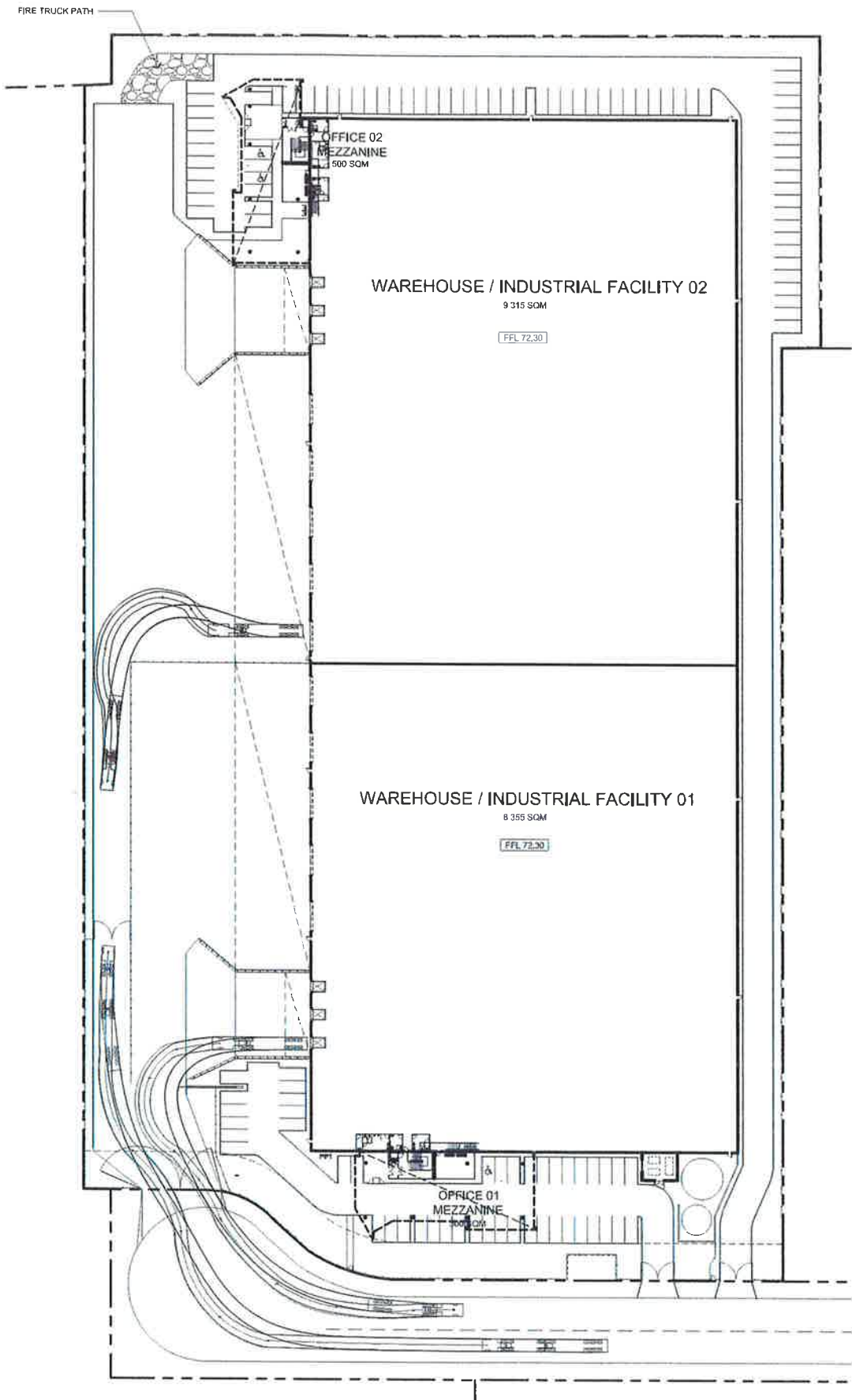
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 DRAWN MR
 CHECKED JQ
 DATE 24.03.18
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

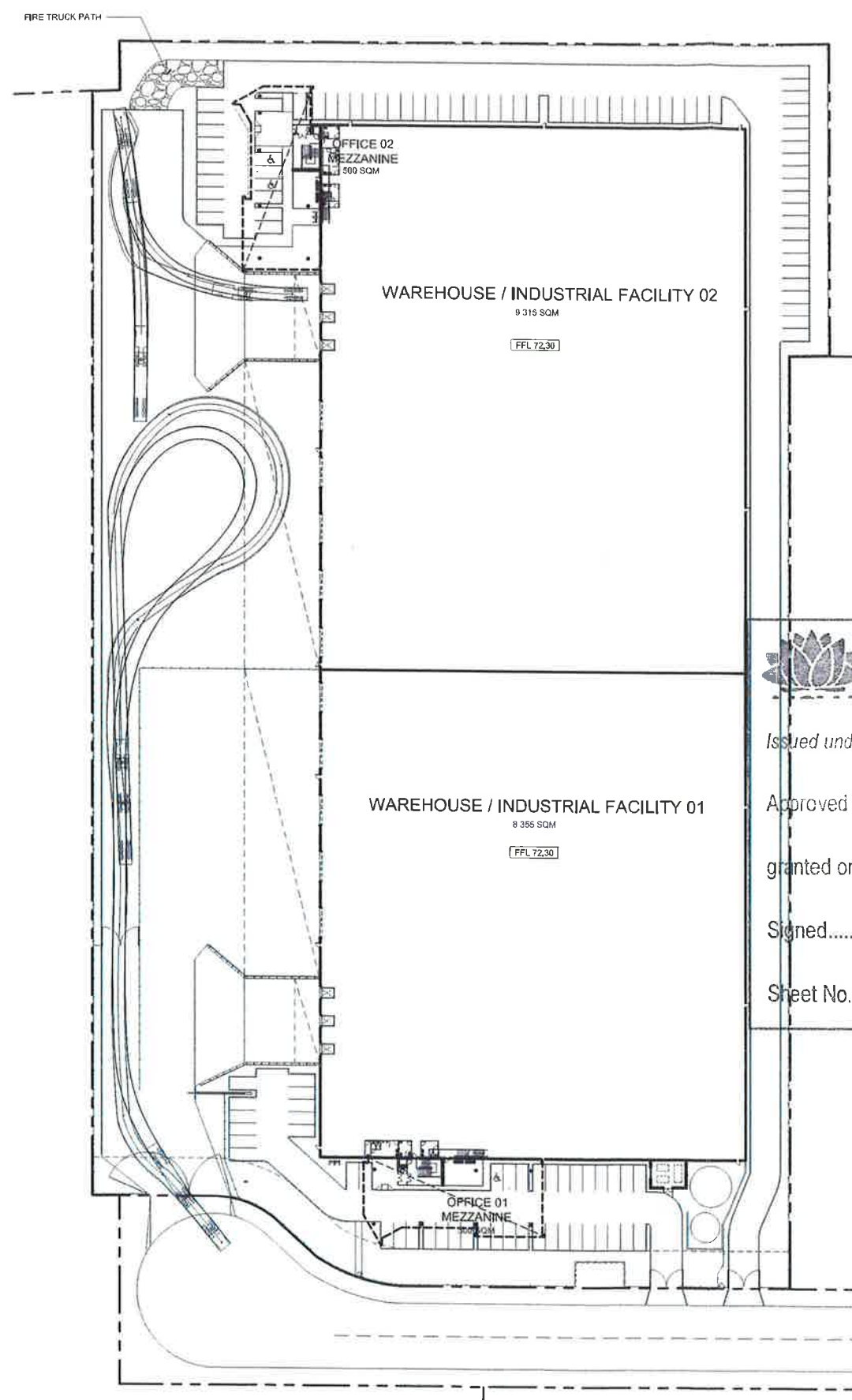
SP2-WSP1-DA-003 A

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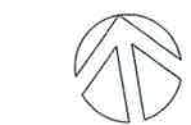
01 SEMI-TRAILER TURNING DIAGRAM 01
1:500 @ B1

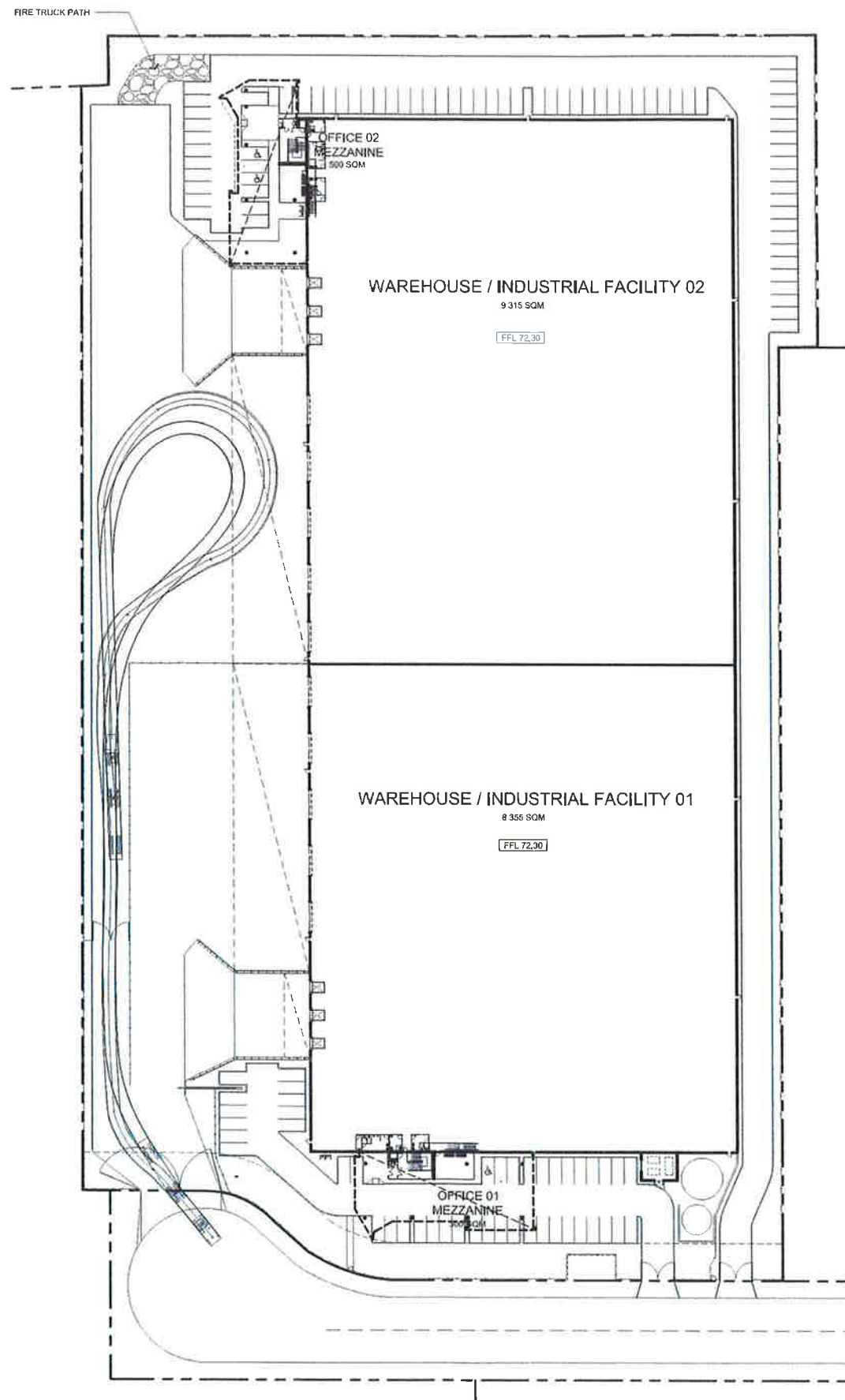


02 B-DOUBLE TURNING DIAGRAM 02
1:500 @ B1

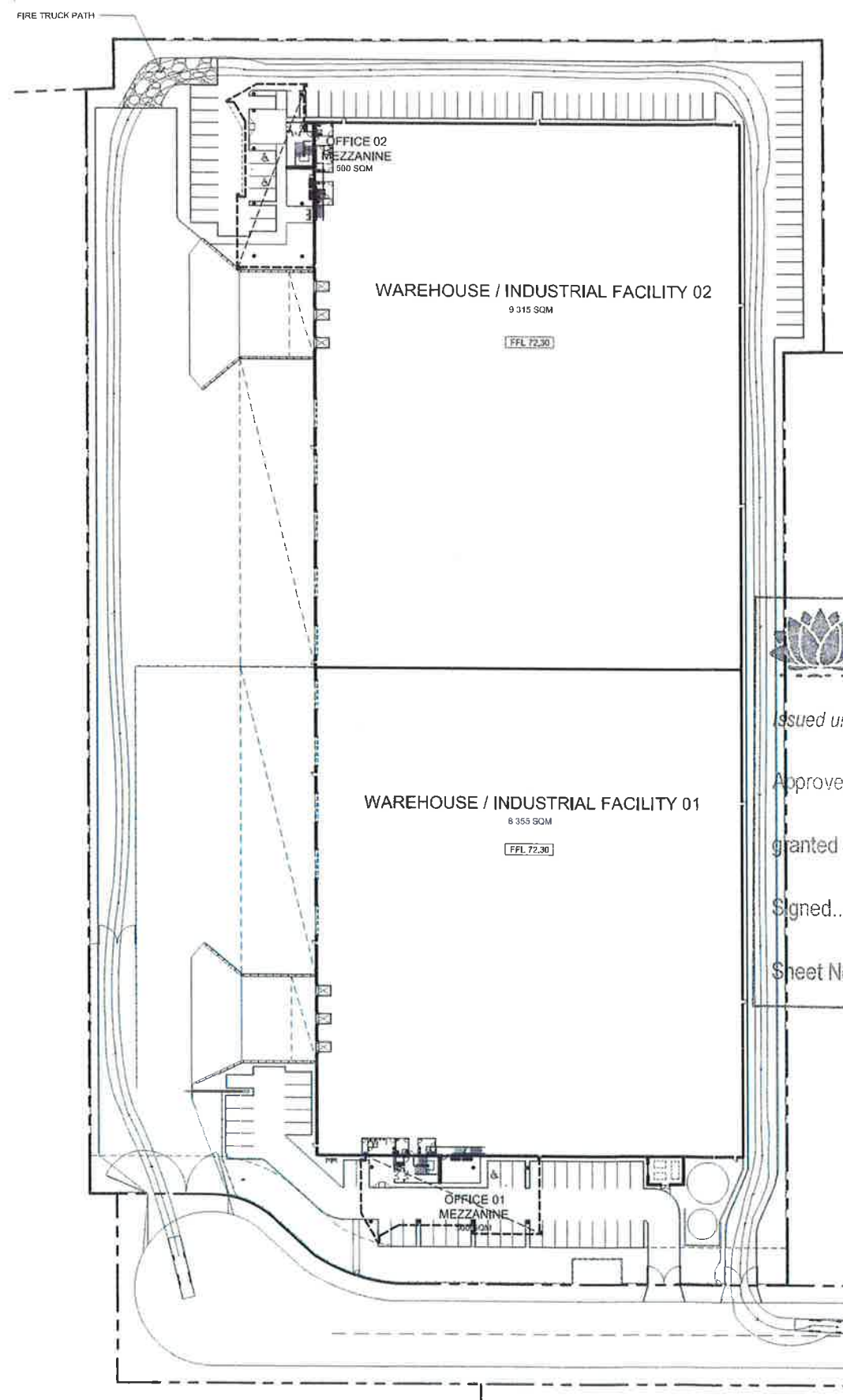
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 **NSW GOVERNMENT**
Planning
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granted on the 19 October 2016
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FRASERS PROPERTY
COMMERCIAL & INDUSTRIAL DIVISION
1 HUNTERBAY DRIVE, BUILDING C, LEVEL 3, RUSSELLS NSW 2135
PHONE 02 9767 3000 FAX 02 9767 2908
PO BOX 3307 RUSSELLS NSW 2138
PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY
ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COMPASTURE ROAD, HORSLEY PARK
DRAWING TITLE
TRUCK TURNING DIAGRAMS SHEET 1
SCALE 1:500 @ B1
DRAWN MR
CHECKED JQ
DATE 24.03.16
JOB NUMBER 0000-00-000
DRAWING NUMBER ISSUE
SP2-WSP1-DA-004 A



01 B-DOUBLE TURNING DIAGRAM 03
1500 @ B1



02 FIRE TRUCK TURNING DIAGRAM 04
1500 @ B1

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A	DA ISSUE	21.04.16



NSW GOVERNMENT
Planning

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Approved Application No. SSD 7564

granted on the 19 October 2016

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Sheet No. 6 of 27



**FRASERS
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION
1 HICKMATH BAY DRIVE
BUNBURY NSW 2155
PO BOX 3307
BUNBURY NSW 2158
PHONE 02 9747 2000
FAX 02 9747 2000

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COMPASTURE ROAD, HORSLEY PARK

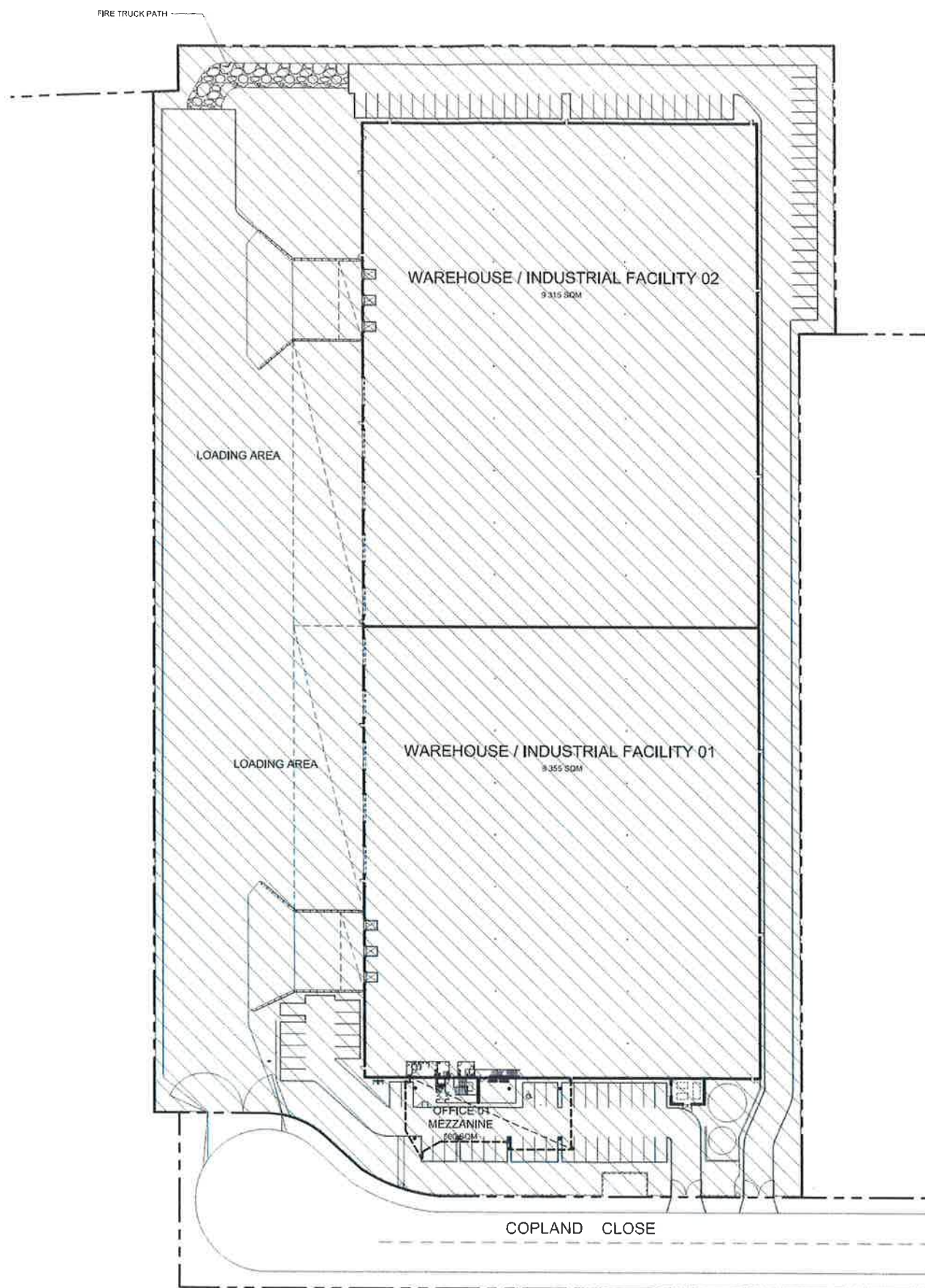
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**TRUCK TURNING
DIAGRAMS
SHEET 2**

SCALE 1:500 @ B1
DRAWN WR
CHECKED JQ
DATE 24.03.16
JOB NUMBER 0000-00-000

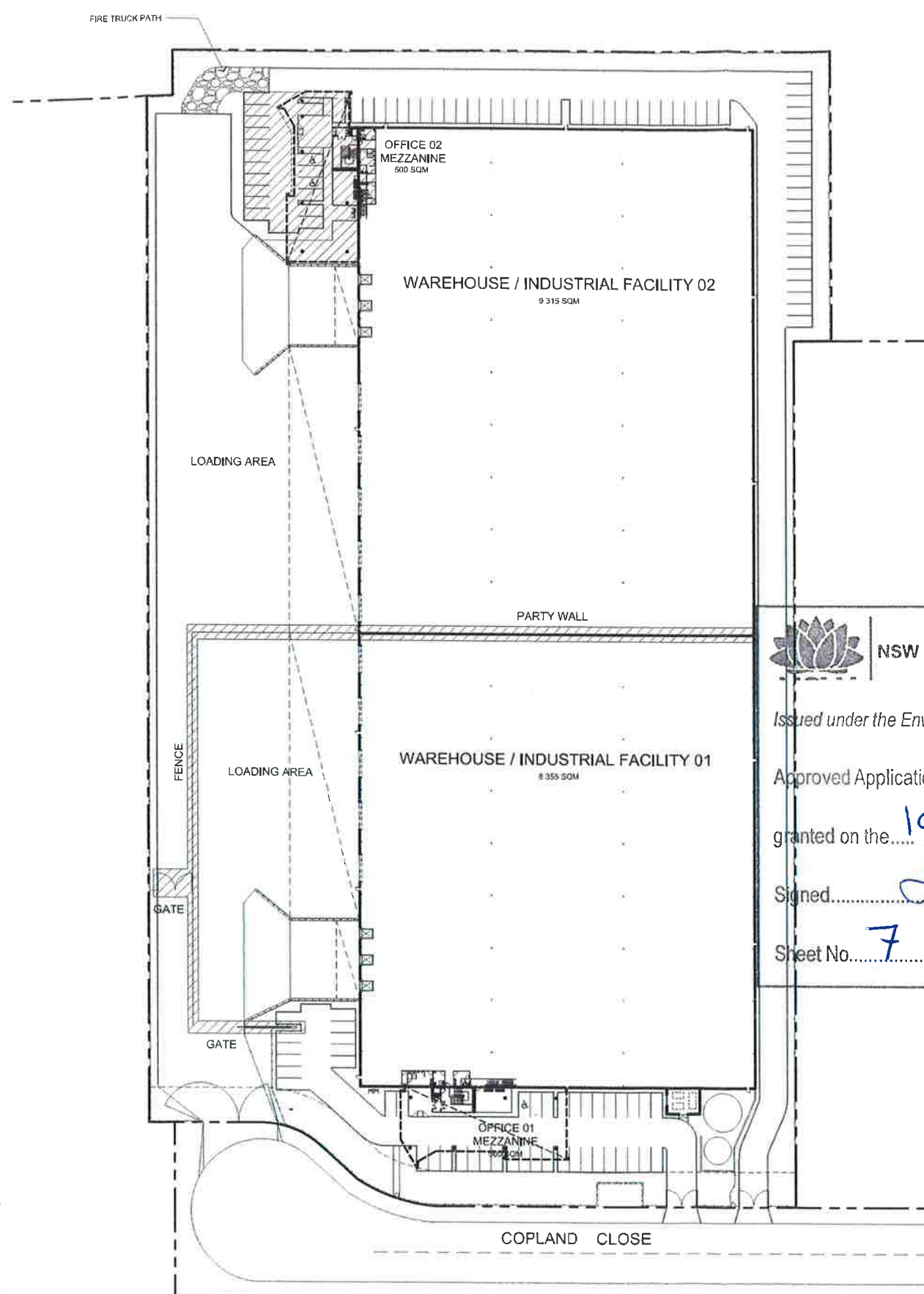
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SP2-NSPT-DA-005 A

REVISION	DESCRIPTION	DATE
A	24 SEP	21.04.18



01 STAGING PLAN - STAGE 01
 1:500 @ B1



02 STAGING PLAN - STAGE 02
 1:500 @ B1



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granted on the **19 October 2016**

Signed **J**

Sheet No. **7** of **27**



COMMERCIAL & INDUSTRIAL DIVISION
 1 HARGREAVES BAY DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PHONE 02 9767 2000
 FAX 02 9767 2508
 P.O. BOX 3308
 RHODES NSW 2138

PROJECT
 SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

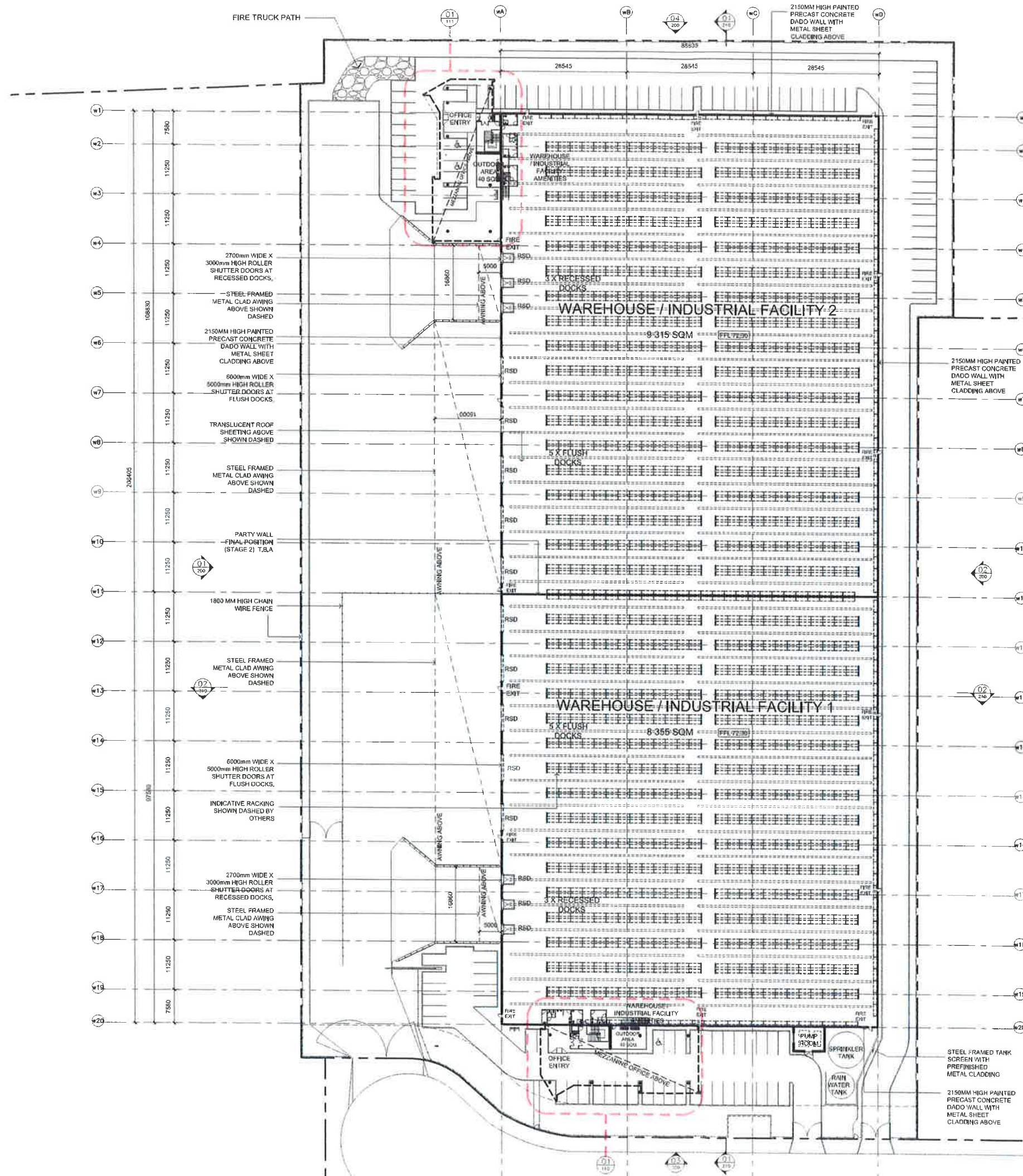
ADDRESS
 PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
 & COMPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
 STAGING PLANS

SCALE 1:500 @ B1
 DRAWN MR
 CHECKED JG
 DATE 24.03.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER
SP2-WSP1-DA-006

ISSUE
A



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COMMERCIAL & INDUSTRIAL DIVISION
 1 HAMBURGH DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PHONE 02 9767 2000
 FAX 02 9767 2000
 PO BOX 1307
 RHODES NSW 2138

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COMPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
WAREHOUSE
/INDUSTRIAL FACILITY

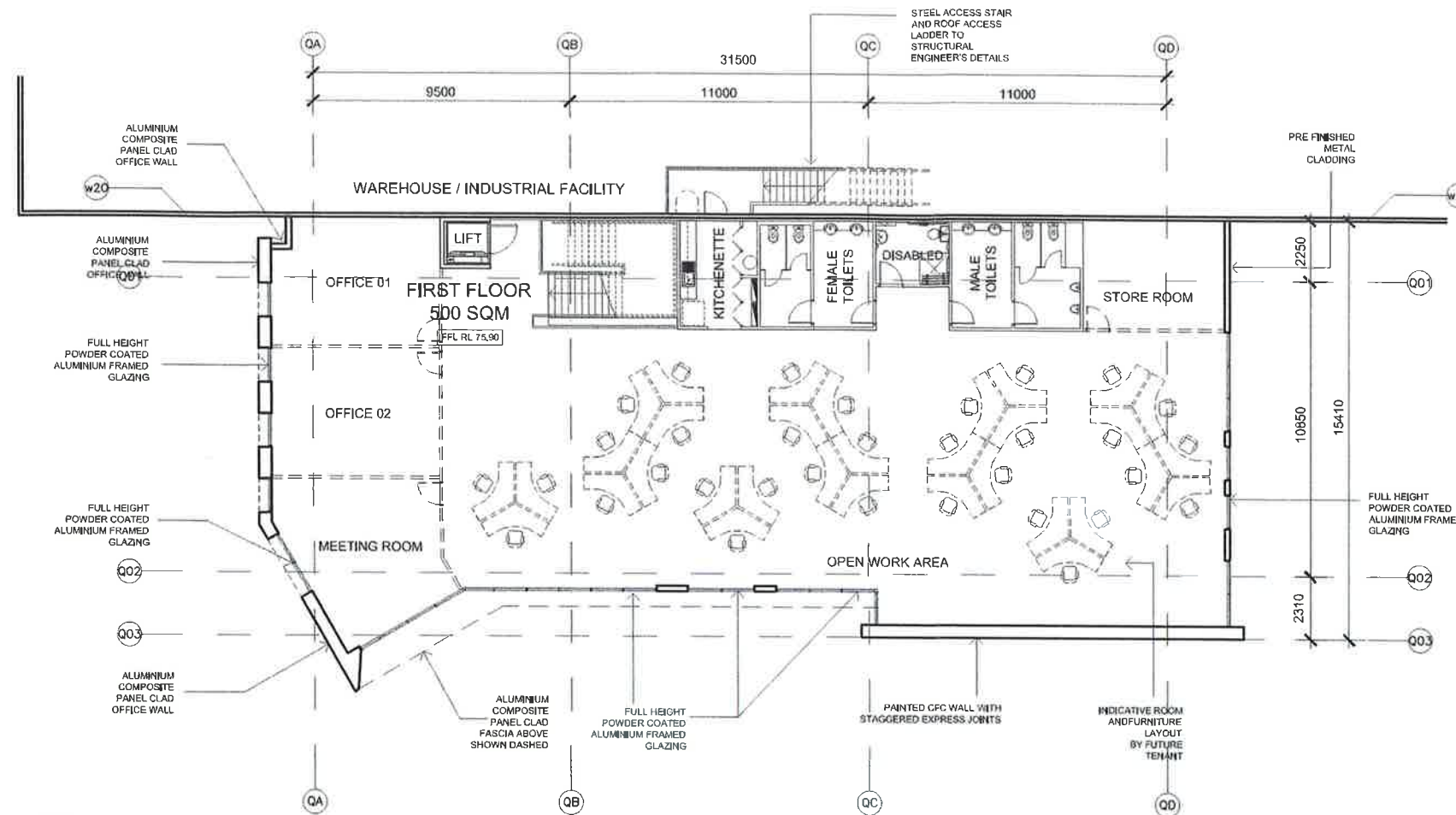
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 JOB NUMBER 0000-00-000

DRAWING NUMBER 5507564-01

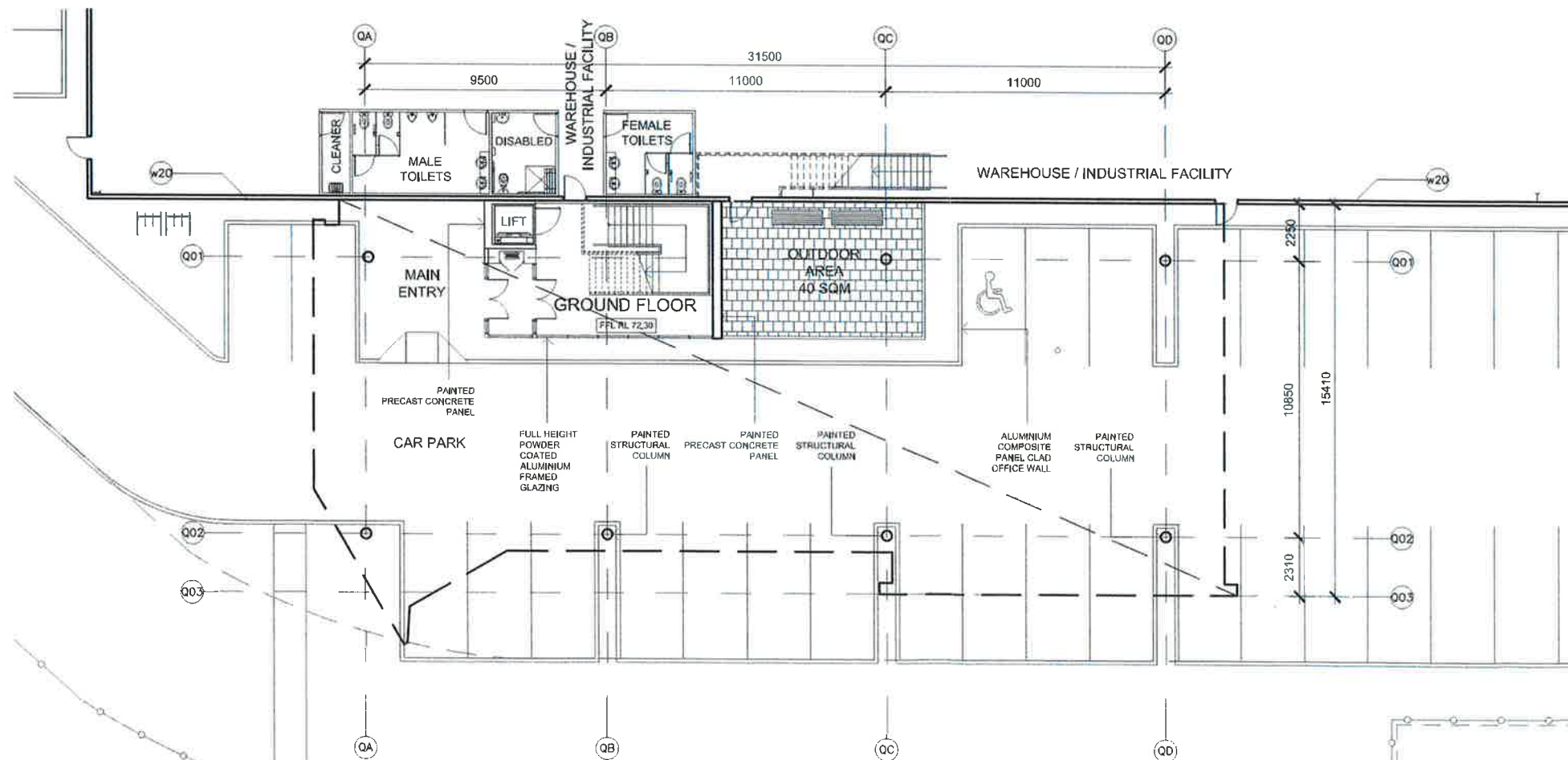
SP2-WSPT-0A-100 A

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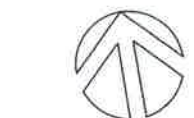
02 FIRST FLOOR PLAN
 1:100 @ B1



01 GROUND FLOOR PLAN
 1:100 @ B1

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 Sheet No. 9 of 27



FRASERS PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION
 1 HORSLEY BAY DRIVE
 BUILDING C, LEVEL 1
 RHOODES NSW 2138
 PHONE 02 9767 2000
 FAX 02 9767 2908
 PO BOX 1307
 RHOODES NSW 2138

PROJECT
 SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

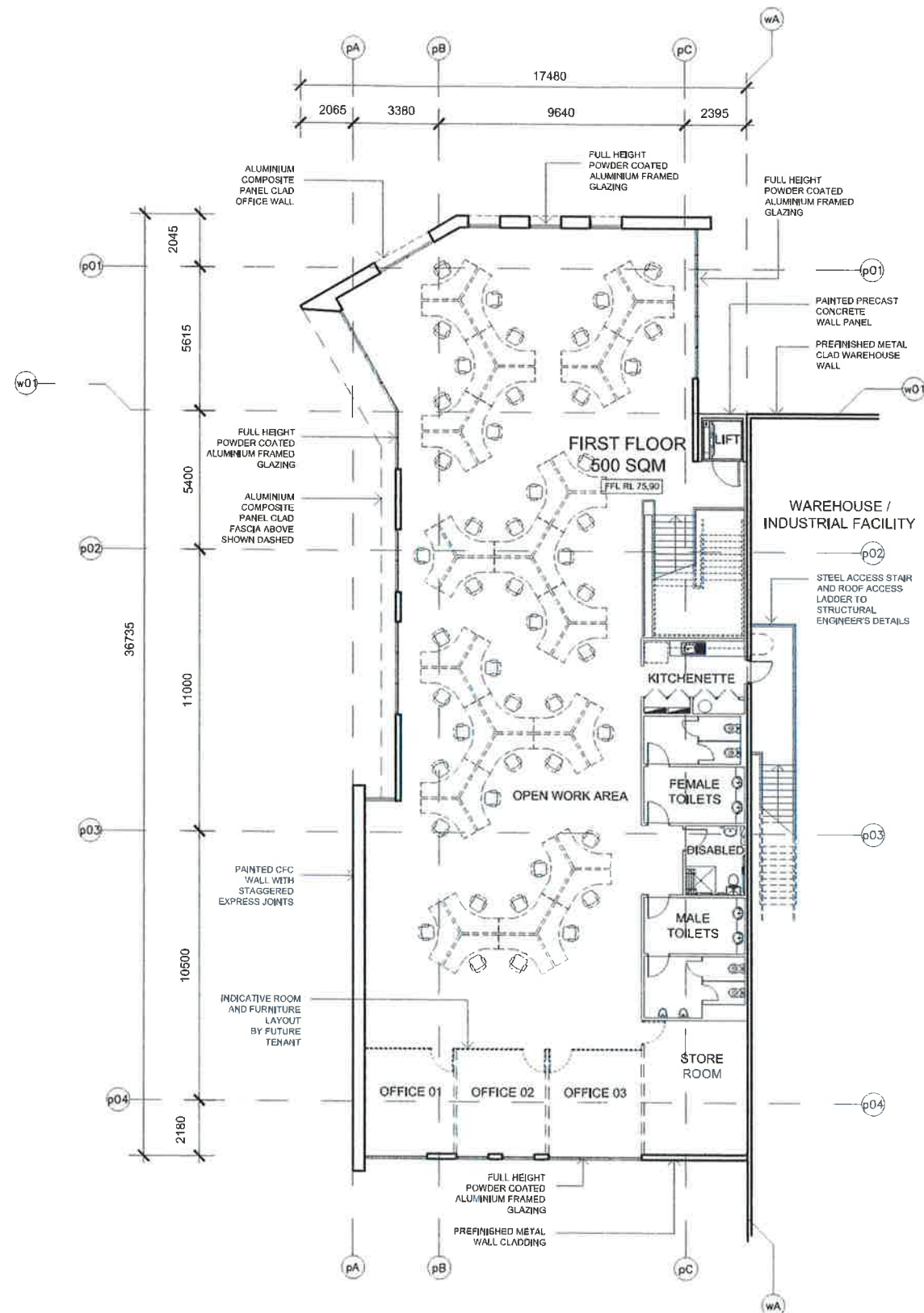
ADDRESS
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DRAWING TITLE
 OFFICE 01 PLAN

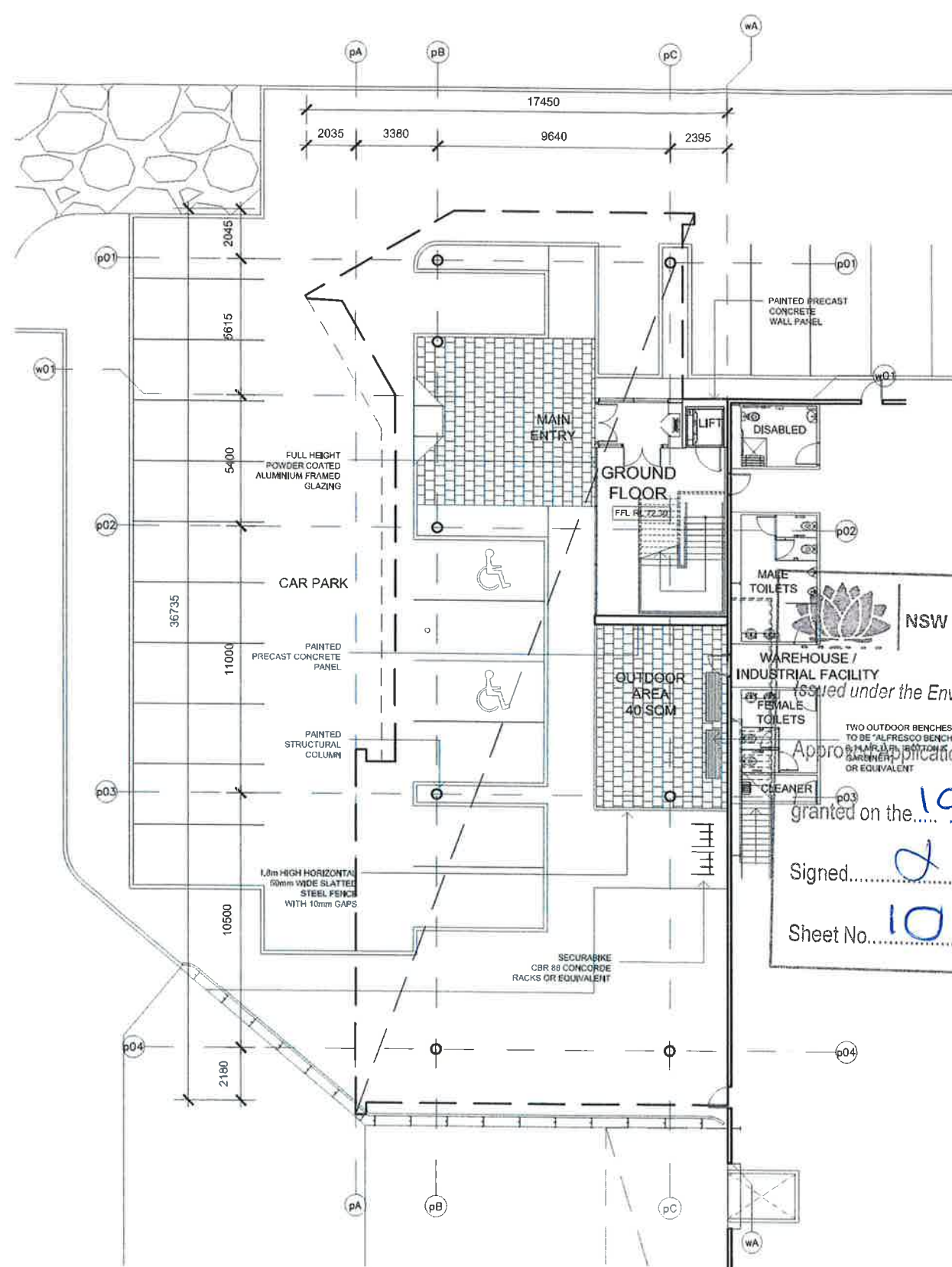
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 CHECKED JQ
 DATE 24.03.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

SP2-WSPT-0A-110 A



02 FIRST FLOOR PLAN
 1:100 @ B1



01 GROUND FLOOR PLAN
 1:100 @ B1

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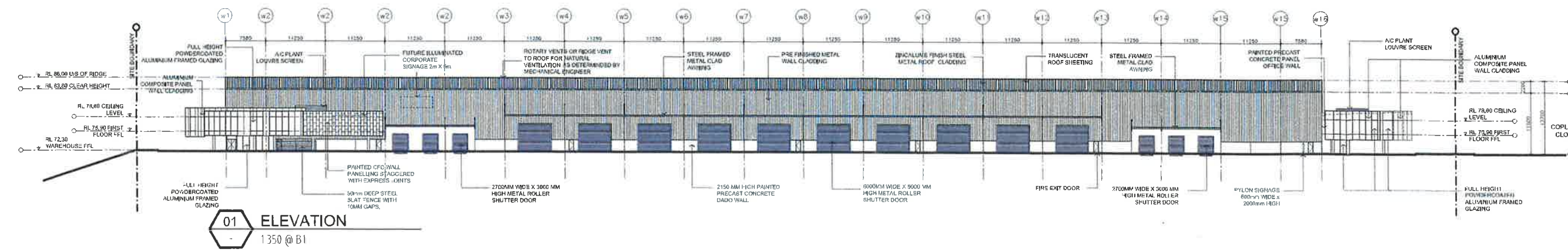
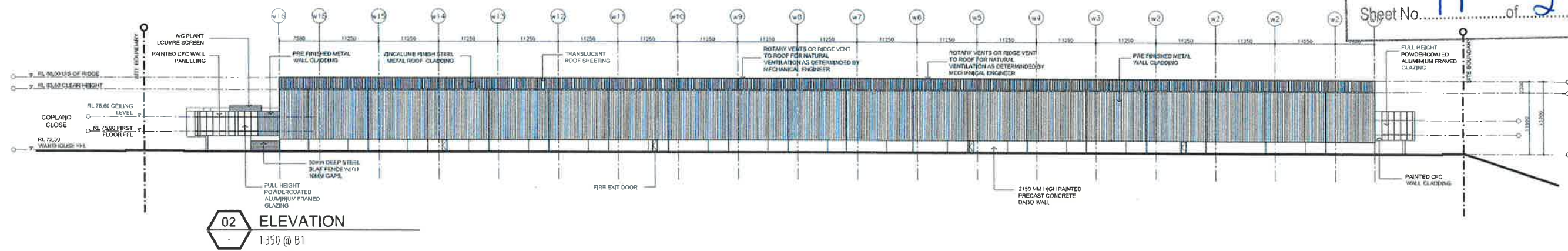
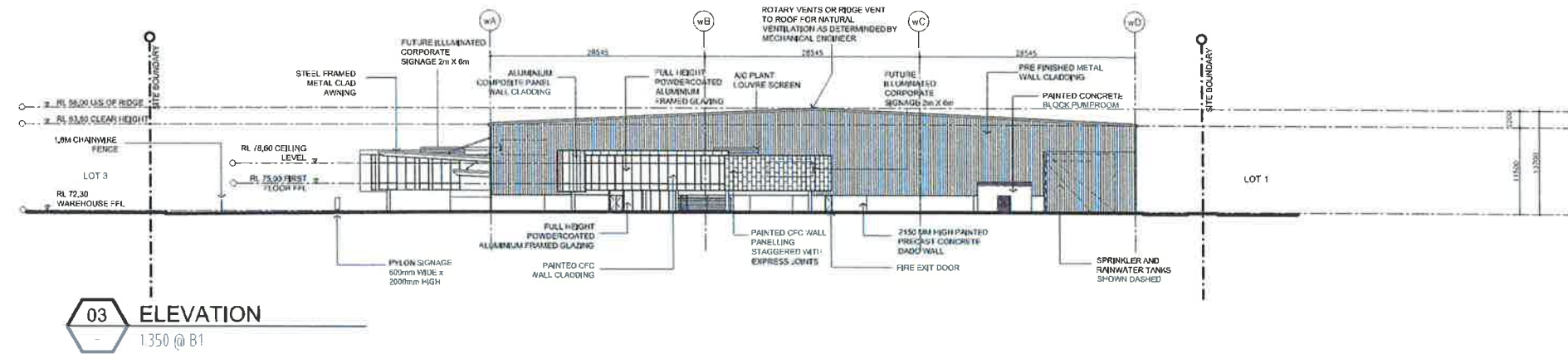
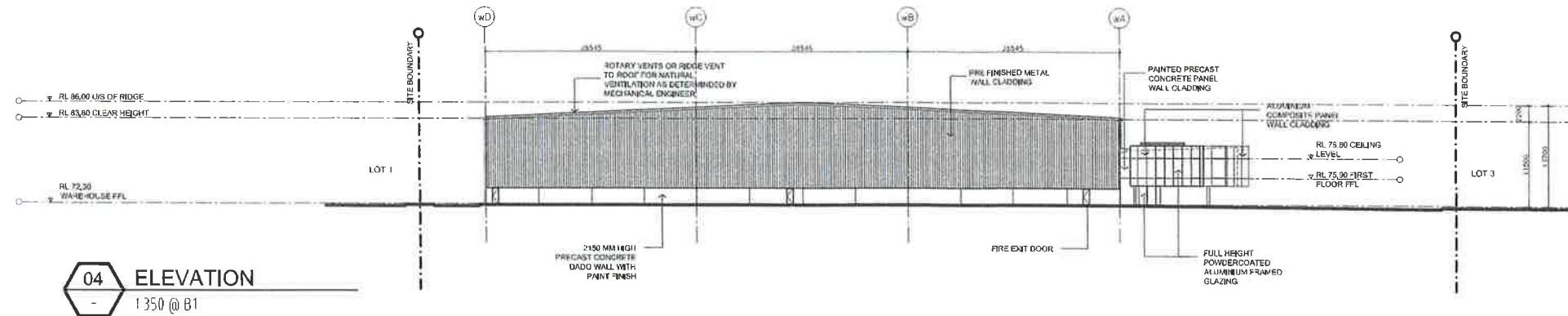
COMMERCIAL & INDUSTRIAL DIVISION
 1 HAMBURGH BAY DRIVE
 BUILDING C, LEVEL 3
 RHODES NSW 2138
 PHONE 02 9167 2000
 FAX 02 9167 2900
 PO BOX 2207
 RHODES NSW 2138

PROJECT
 SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY
 ADDRESS
 PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
 & COMPASTURE ROAD, HORSLEY PARK
 DRAWING TITLE
 OFFICE 02 PLAN

SCALE 1:100 @ B1
 DRAWN MR
 CHECKED JO
 DATE 24.03.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE
SP2-WSP-0A-111 A

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Planning

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granted on the **19 October 2016**

Signed **[Signature]**

Sheet No. **11** of **27**



COMMERCIAL & INDUSTRIAL DIVISION
 1 HAWKSWORTH DRIVE
 BUILDING C, LEVEL 3
 RIVINGTON NSW 2155
 PO BOX 3307
 RIVINGTON NSW 2158

PHONE 02 9767 2000
 FAX 02 9767 2009

PROJECT
 SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
 PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
 & COMPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
 ELEVATIONS

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REVISION	DESCRIPTION	DATE
A	DA ISSUE	21.04.16



NSW GOVERNMENT
Planning

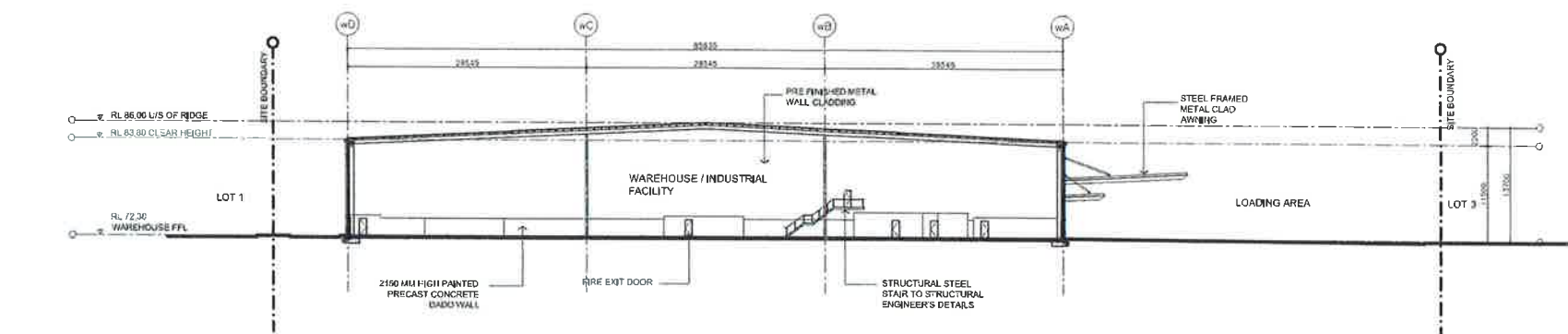
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Approved Application No. 5507564

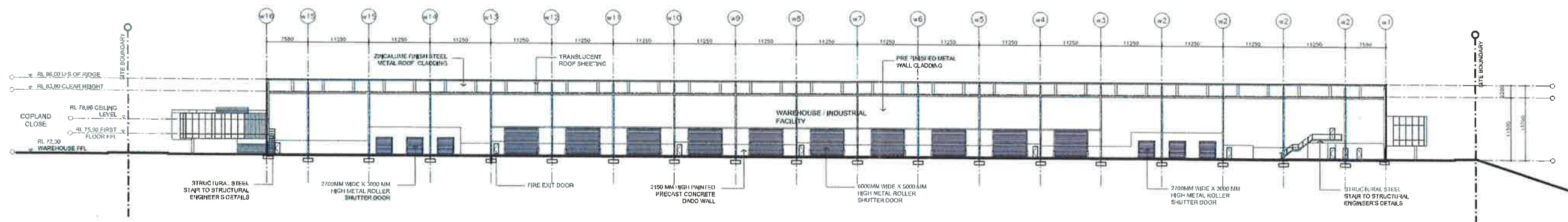
granted on the 19 October 2016

Signed [Signature]

Sheet No. 12 of 27



02 SECTION
1:350 @ B1



01 SECTION
1:350 @ B1



**FRASERS
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION
1 HENDERSON BAY DRIVE
BUILDING C, LEVEL 3
PO BOX 1507
RUSSELLSBY NSW 2132
PHONE 02 9587 2000
FAX 02 9587 2308

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
SECTIONS

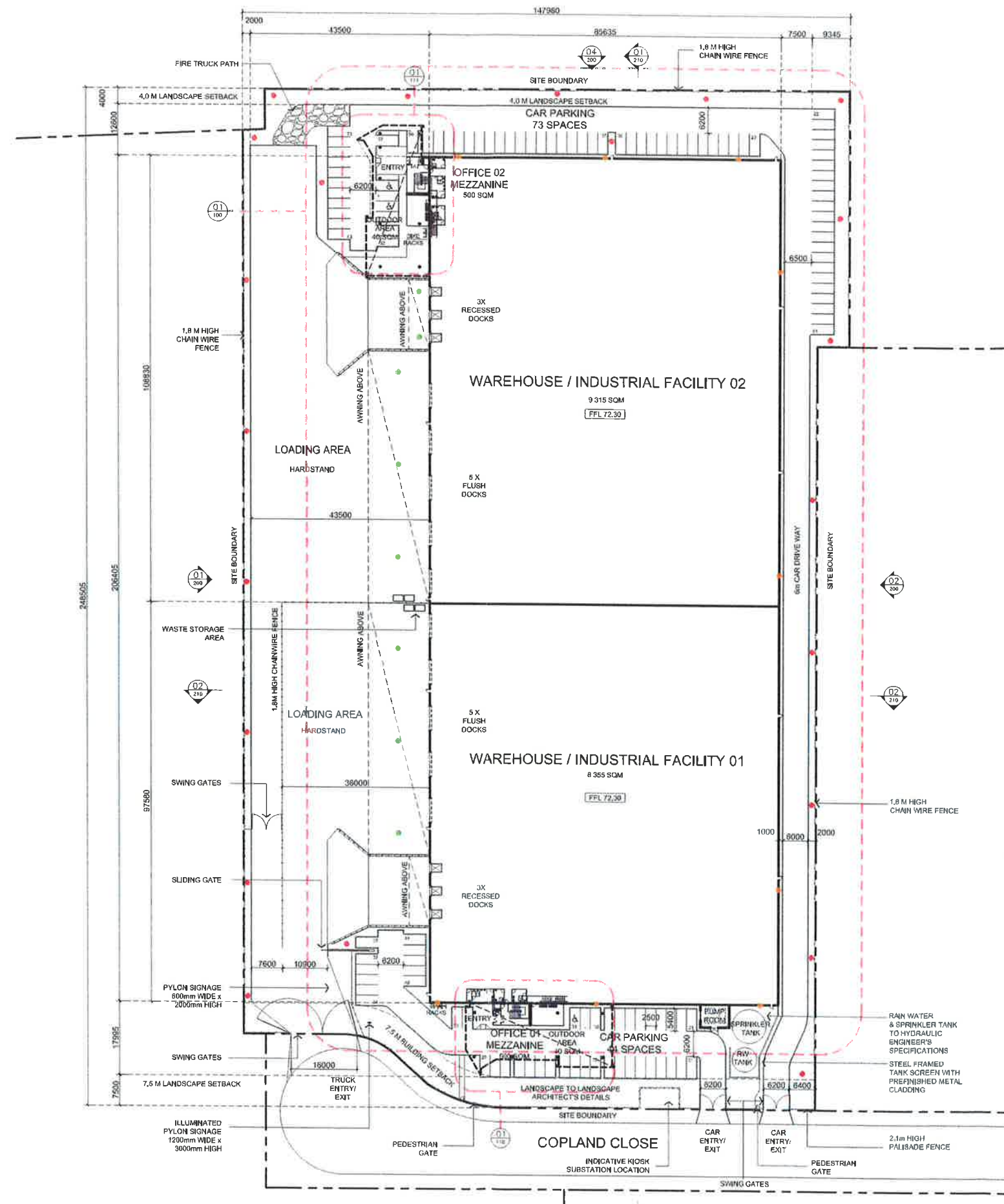
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SCALE 1:350 @ B1
DRAWN MR
CHECKED JQ
DATE 24.03.16
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

SP2-WSP-DA-210 A



LEGEND

- CAR PARK LIGHT APPROX 5M HIGH
- WALL MOUNTED LIGHTING
- LIGHT TO UNDERSIDE OF AWNING

FINAL LIGHT POSITIONS SUBJECT TO BCA REQUIREMENTS



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granted on the 19 October 2016

Signed [Signature]

Sheet No. 13 of 27



**FRASERS
PROPERTY**

COMMERCIAL & INDUSTRIAL DIVISION
 1 HORSLEY DRIVE
 BUILDING C, LEVEL 1
 RAILCROSS NSW 2139
 PO BOX 1307
 RAILCROSS NSW 2138

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COMPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
LIGHTING PLAN

SCALE 1:500 @ B1
 DRAWN MR
 CHECKED JO
 DATE 24.03.16
 JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE

SP2-WPT-DA-400 A

01 LIGHTING PLAN
1500 @ B1

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REVISION	DESCRIPTION	DATE
A	34.03.16	24.03.16

LEGEND

COLORBOND FINISHES

- E-C01 WAREHOUSE WALLS, AIRING CAPPING COLORBOND 'WINDSPRAY'
- E-C02 WAREHOUSE WALLS COLORBOND 'SHALE GREY'
- E-C03 WAREHOUSE WALL, GUTTERS & WAREHOUSE ROOF TRIMS COLORBOND 'WINDSPRAY'
- E-PT1 FIRE EXIT DOORS, SELECTED PRECAST DADO PANELS TO MATCH COLORBOND 'WINDSPRAY'
- E-PT2 FIRE EXIT DOORS, SELECTED PRECAST DADO PANELS TO MATCH DULUX 'CARCRA' P1219
- E-PT3 ROLLER SHUTTERS TO MATCH COLORBOND 'WINDSPRAY'
- E-PT4 PAINTED CFC WALL TO MATCH COLORBOND 'SURFMIST'

PANEL FINISHES

- E-AC1 ALUMINIUM COMPOSITE PANEL OFFICE WALLS TO MATCH DULUX 'CARCRA' P1219
- E-AC2 ALUMINIUM COMPOSITE PANEL OFFICE WALL COLOUR TO MATCH COLORBOND 'WINDSPRAY'
- E-AC3 ALUMINIUM COMPOSITE PANEL OFFICE WALL COLOUR TO MATCH COLORBOND 'SURFMIST'

MISCELLANEOUS

- E-BR1 GLAZED BRICKWORK ON OFFICE WALL TO BE 'CHARCOAL GREY'
- E-GL1 EXTERNAL GLAZING
- E-RF1 ROOF, SPRINKLER TANKS ZINCALUME

NOTE: COLOUR SWITCHES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY. FOR TRUE COLOUR REFERENCES, PLEASE REFER SAMPLE FROM MANUFACTURERS.



COMMERCIAL & INDUSTRIAL DIVISION
1 HOBBS ROAD DRIVE
BUILDING C, LEVEL 3
FRASERS NSW 2158
PO BOX 3307
HOBBS NSW 2158
PHONE 02 9767 2000
FAX 02 9767 2005

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COMPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
COLOUR ELEVATIONS

SCALE
DRAWN MR
CHECKED JQ
DATE 24.03.16
JOB NUMBER 0000-00-000

DRAWING NUMBER ISSUE
SP2-WSP1-DA-500 A



NSW GOVERNMENT
Planning

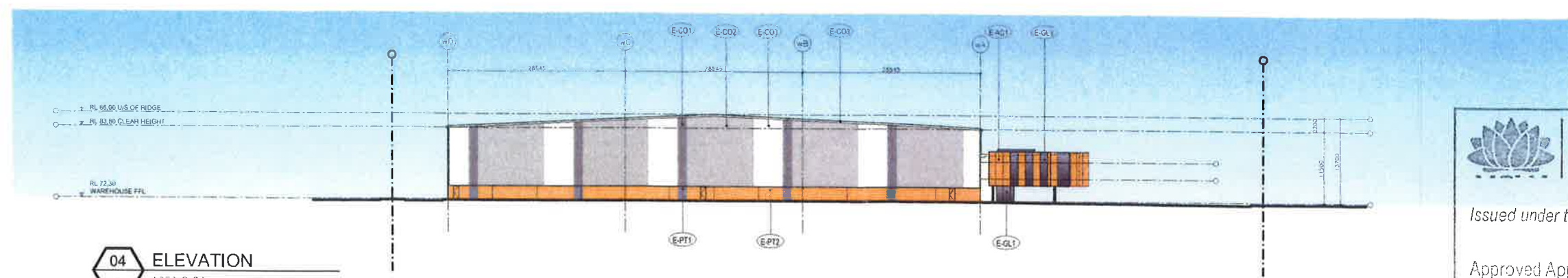
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Approved Application No. **SSD 7564**

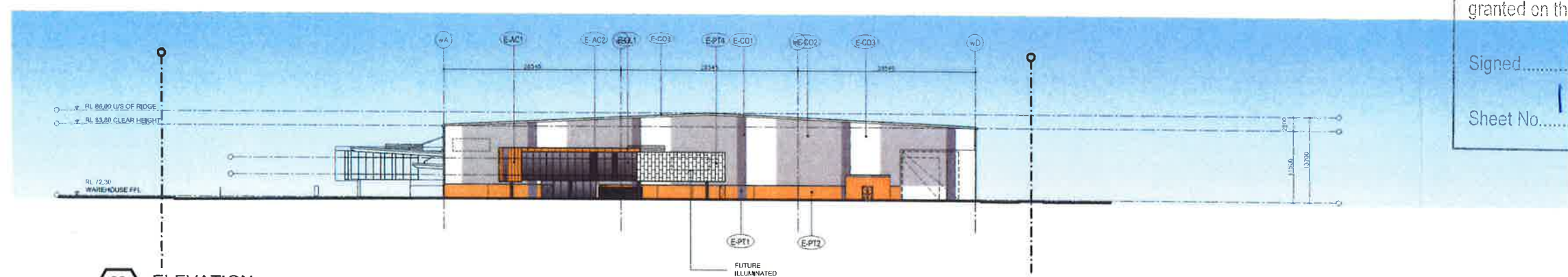
granted on the **19 October 2016**

Signed

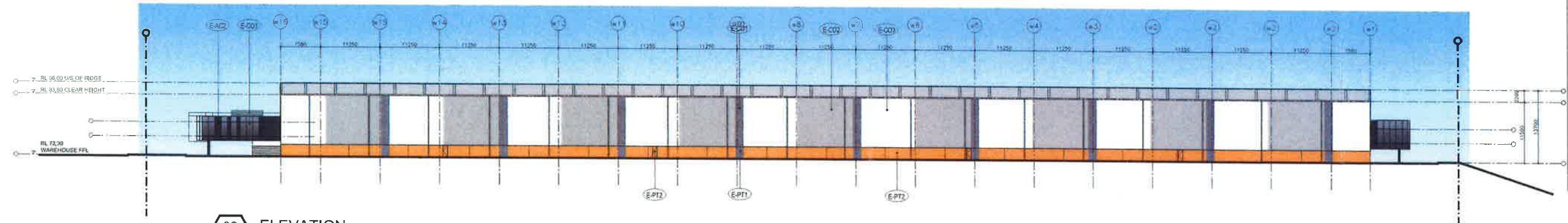
Sheet No. **14** of **27**



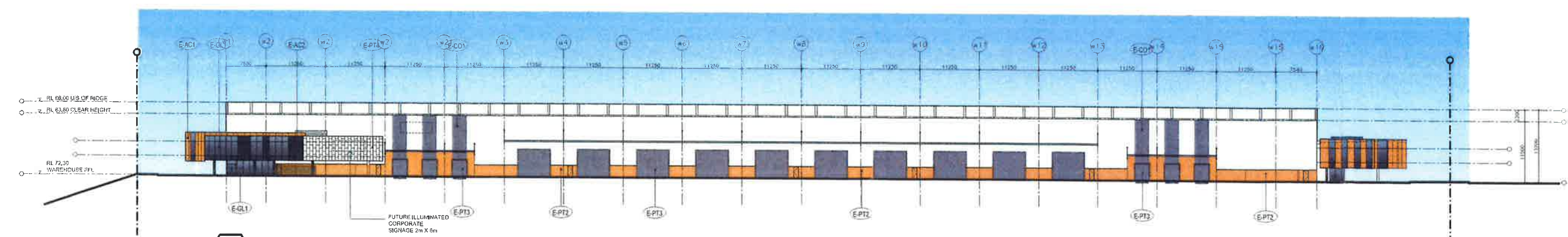
04 ELEVATION
1:350 @ B1



03 ELEVATION
1:350 @ B1



02 ELEVATION
1:350 @ B1



01 ELEVATION
1:350 @ B1

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS, FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS ARE TO BE +/- 1000mm.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS ON SITE.
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REVISION	DESCRIPTION	DATE
A	ISSUE	31.04.16



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19 October 2016

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Sheet No. 15 of 27

02 OFFICE 01 - PERSPECTIVE
NTS



COMMERCIAL & INDUSTRIAL DIVISION
1 HUMEBOURNE DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PHONE 02 8767 2000
FAX 02 8767 2998
RFB 800 1307
RHODES NSW 2138

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
OFFICE 01-PERSPECTIVE

SCALE: 1:350 @ B1
DRAWN: MR
CHECKED: JQ
DATE: 24.03.16
JOB NUMBER: 0500-00-000

DRAWING NUMBER
SP2-NSPT-DA-010 A



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REVISION	DESCRIPTION	DATE
A	DA ISSUE	21.04.16

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17 October 2016

2
16 of
27



02 OFFICE 02 - PERSPECTIVE
NTS



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMERUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2135
PHONE 02 9757 2000
FAX 02 9757 2008
PO BOX 3307
RHODES NSW 2138

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COWPASTURE ROAD, HORSLEY PARK

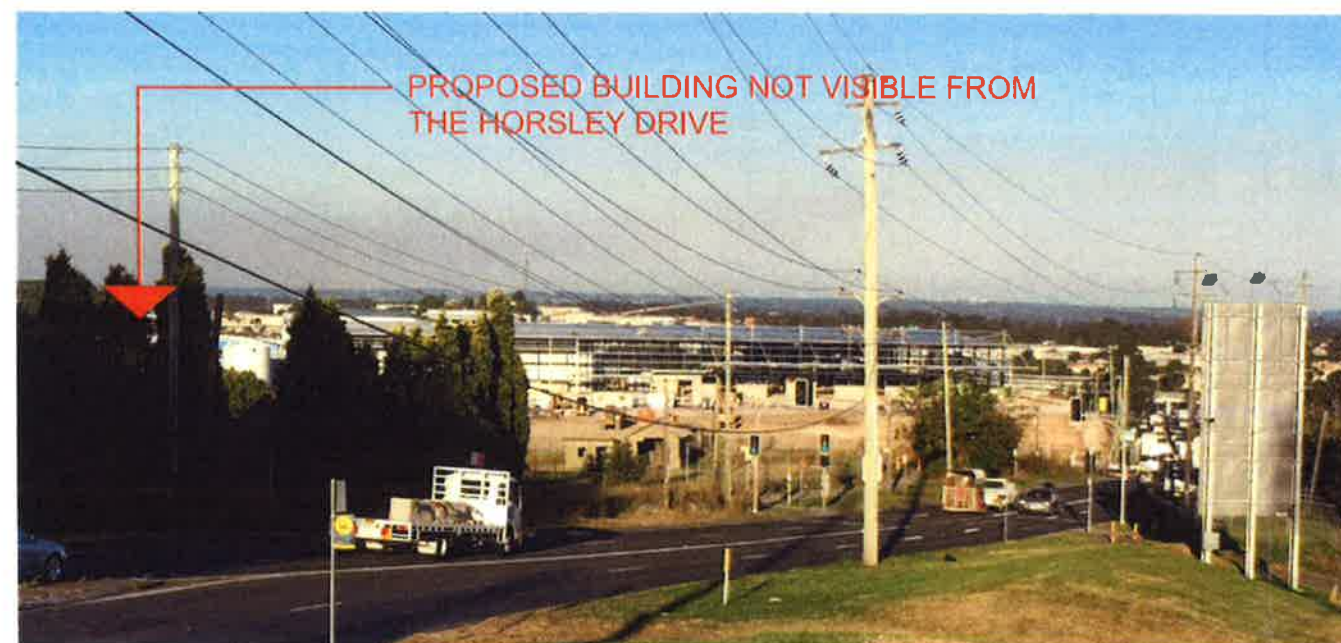
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CHECKED JO
DATE 24.03.16
JOB NUMBER 0000-00-000

DRAWING NUMBER
SP2-WSP-0A-000 A



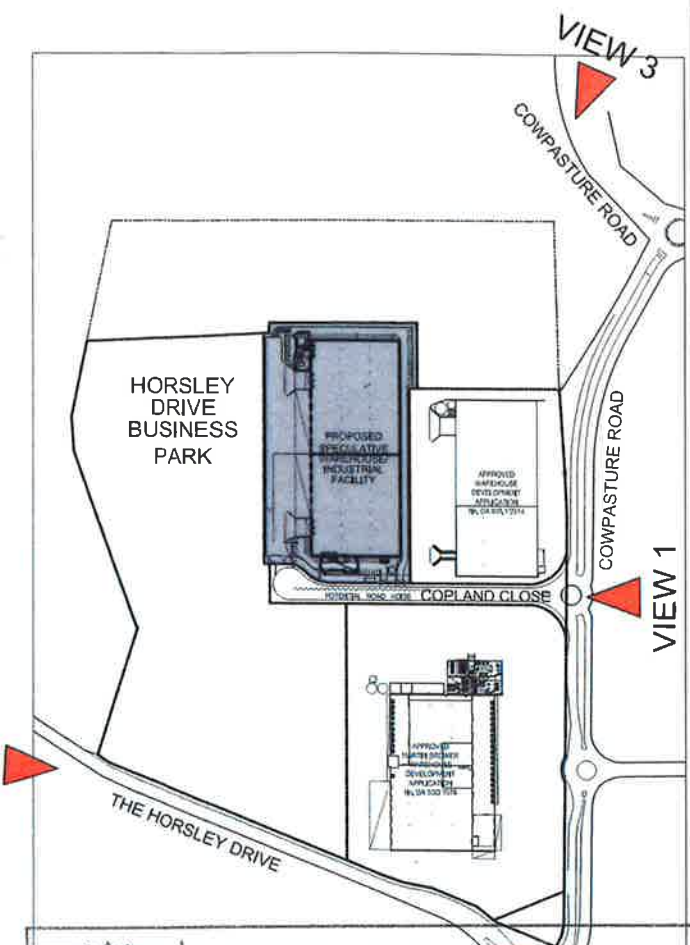
01 VIEW 1 - COWPASTURE ROAD ESTATE ENTRY
NTS



02 VIEW 2 - THE HORSLEY DRIVE
NTS



03 VIEW 3 - COWPASTURE ROAD
NTS



KEY PLAN GOVERNMENT Planning

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granted on the 19 October 2016

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Sheet No. 17 of 27

FRASERS PROPERTY

COMMERCIAL & INDUSTRIAL DIVISION

PHONE 02 9167 2000 FAX 02 9167 2600

PROJECT SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COWPASTURE ROAD, HORSLEY PARK

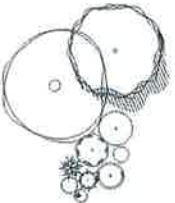
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SCALE NTS
GRAPH MR
CHECKED JG
DATE 23.05.16
JOB NUMBER 0000-00-000

DRAWING NUMBER 15992

SP2-WSPT-DA-620 A

DWG NO.	ISSUE	DRAWING TITLE
LA-00	A	COVER SHEET / LEGEND / PLANT SCHEDULE
LA-01	A	LANDSCAPE PLAN
LA-02	A	LANDSCAPE PLAN
LA-03	A	LANDSCAPE PLAN



Proposed Trees, Shrubs & Groundcovers


MP1 (Mass Planting Type 1)


TU1 (Turf Type 1)


FG1 (Feature Gravel Type 1)


FG2 (Feature Gravel Type 2)


TE1 (Timber Edge)


Fence (By Others)


Site Boundary

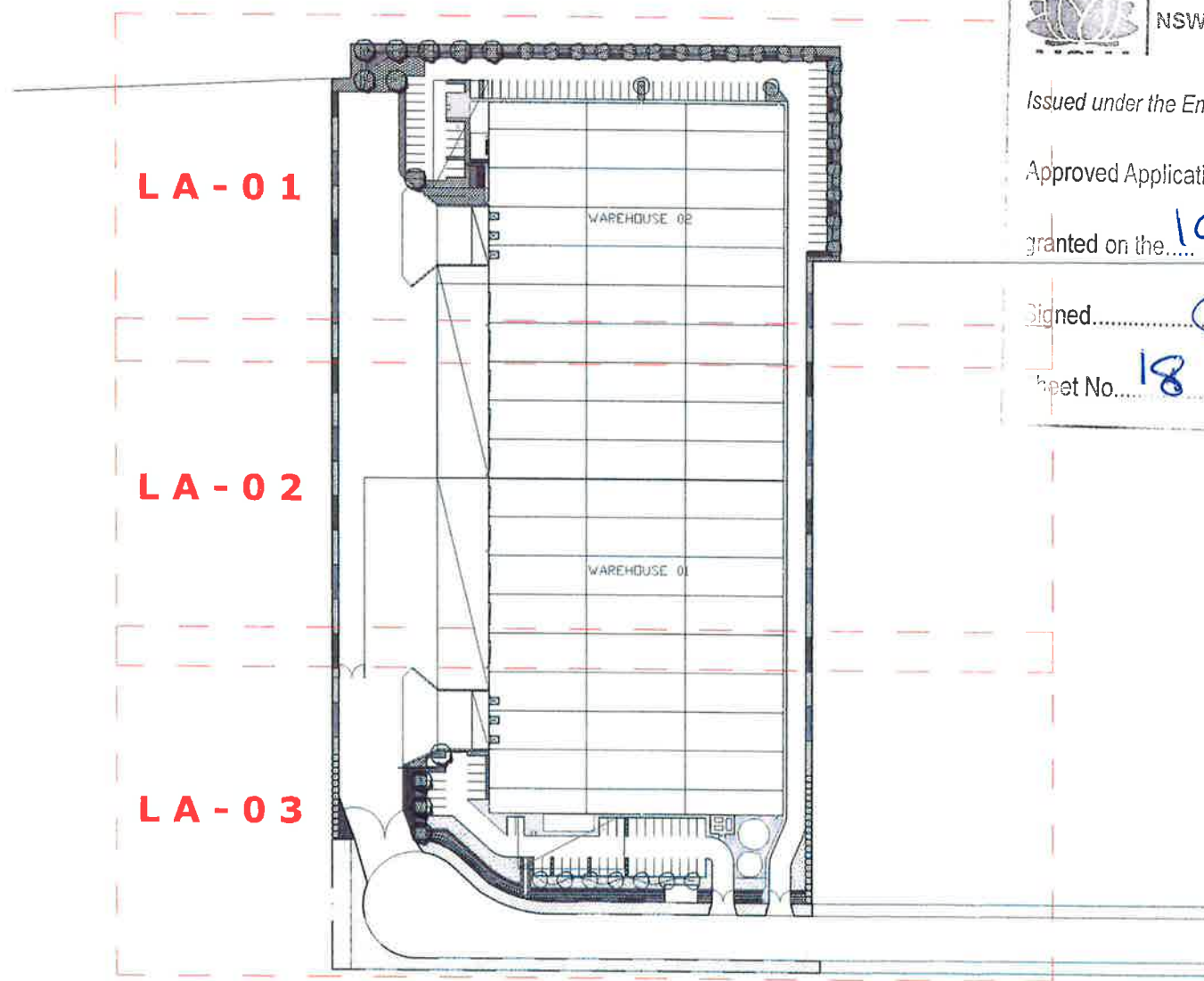

Excluded. Refer Landscape Master Plan for Scope Of Works


Gravel Fire Truck Path

LEGEND

CODE	SPECIES	COMMON NAME	HEIGHT	POT SIZE	HATCH	TOTAL
TREES						
CAN	Cupaniopsis anacardioides	Tuckeroo	12M	75L	as shown	8
MEX	Magnolia 'Exmouth'	Exmouth	10M	200L	as shown	12
TLL	Tristaniaopsis 'Luscious'	Water Gum	10M	100L	as shown	21
WFL	Waterhousia floribunda	Weeping Lily Pilly	6M	45L	as shown	33
SHRUBS						
Asq	Aphelandra squarrosa	Zebra Plant	0.6M	200mm		39
Be	Banksia ericifolia	Heath-leaved Banksia	2M	200mm		350
Bjp	Buxus japonica	Japanese Box	0.6M	200mm		96
Clj	Callistemon 'Little John'	Little John	0.8M	140mm		260
Dv	Dodonaea viscosa	Hop Bush	3M	200mm		180
Gsg	Grevillea 'Sandra Gordon'	Sandra Gordon	3.5M	200mm		160
Ngs	Nandina 'Gulf Stream'	Gulf Stream	0.6M	200mm		550
Prr	Photina 'Red Robin'	Red Robin	3M	300mm	as shown	60
Pxn	Philodendron 'Xanadu'	Xanadu	1.2M	200mm		57
Rsm	Rhaphelepis 'Snow Maiden'	Indian Hawthorne	0.8M	200mm		456
Sam*	Syzigium 'Alyn Magic'	Alyn Magic	1.5M	200mm	as shown	55
Sam	Syzigium 'Alyn Magic'	Alyn Magic	1.5M	300mm		1493
Vo	Viburnum oddotissorum	Sweet Viburnum	4M	300mm	as shown	104
GROUNDCOVERS						
cap	Carex appressa	Tall Sedge	0.8M	tube		12950
dlr	Dianella 'Little Rev'	Little Rev	0.3M	tube		6660
lkt	Lomandra 'Katrinus'	Katrinus	0.8M	tube		5920
lvd	Lomandra 'Verday'	Verday	0.4M	140mm		955
tjm	Trachelospermum jasminoides	Star Jasmine	0.2M	140mm		1562

PLANT SCHEDULE



SITE LAYOUT
SCALE: 1:1000


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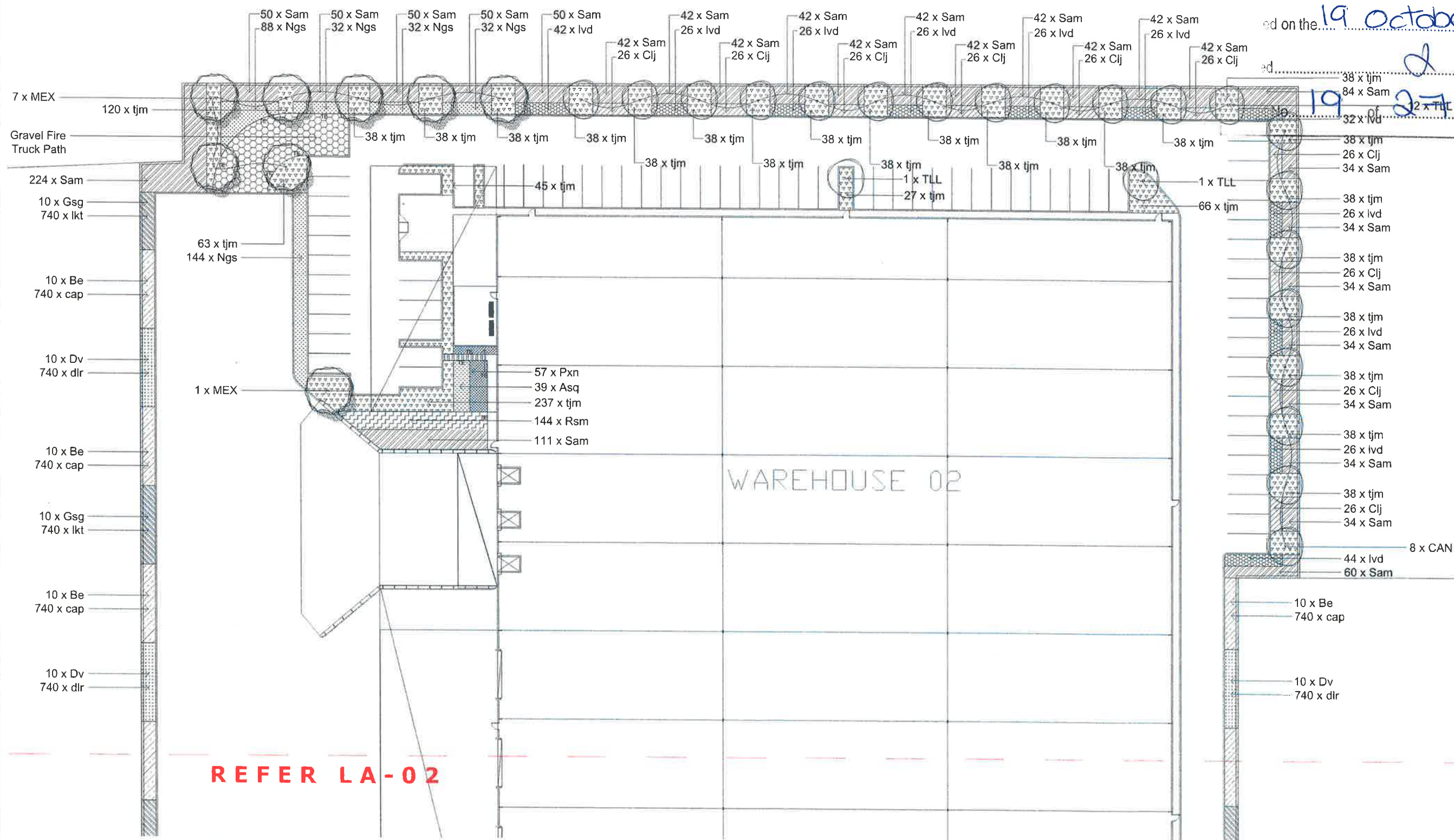
Approved Application No. **SSD7564**

granted on the **19 October 2016**

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Sheet No. **18** of **27**

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK		LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE		
P1	160419	PRELIMINARY	SC	SC		ENGINEER COSTIN ROE CONSULTING			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 2	COVER SHEET		
A	160429	FOR DEVELOPMENT APPLICATION	SC	SC								
										SCALE	PROJECT NO	DRAWING NO
											1610	LA-00



REFER LA-02

LANDSCAPE PLAN
SCALE = 1:200

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK	LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE
P1	160419	PRELIMINARY	SC SC		ENGINEER			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 2	LANDSCAPE PLAN
A	160429	FOR DEVELOPMENT APPLICATION	SC SC		COSTIN ROE CONSULTING				
									SCALE 1:200 B1 PROJECT NO 1610 DRAWING NO LA-01

REFER LA-01

10 x Be
740 x cap

— 10 x Be
— 740 x cap

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Planning

10 x Be
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10 x Gsg
740 x Jkt

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Sheet No. 20 of 27

WAREHOUSE 01

LANDSCAPE PLAN
SCALE - 1/2" = 1'-0"

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK		LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE		
P1	160419	PRELIMINARY	SC	SC		ENGINEER			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 2	LANDSCAPE PLAN		
A	160429	FOR DEVELOPMENT APPLICATION	SC	SC		COSTIN ROE CONSULTING						
										SCALE	PROJECT NO	DRAWING NO
										1:200 B1	1610	LA-02

10 x Gsg
740 x lkt

10 x Be
740 x cap

10 x Dv
740 x dlr

5 x Be
370 x cap

10 x Gsg
740 x lkt

10 x Be
740 x cap

10 x Dv
740 x dlr

5 x Be
370 x cap

10 x Dv
740 x dlr

5 x Be
370 x cap

13 x WFL
108 x lvd

40 x Rsm
30 x Ngs
40 x tjm
216 x lvd
30 x Ngs
40 x tjm
30 x Ngs
40 x tjm

—4 x MEX
—64

64 x Sam

- 52 x Ngs

12 x tjm

Vod

105 x Rsm
120 x lvd

11

6 x Prr

8 x Sam
9 x Prr

8 x Sam*
9 x Prr

8 x Sam*

16 x Vod
8 x Sam*

16 x Vod
8 x Sam*

12 x Vod

8 x Sam*
9 x Prr

12 x Vod

— 15 x lvd

- 10 x Gsg
- 740 x lkt

- 10 x Be
- 740 x cap

10 x Dv
740 x dlr

— 10 x Be
— 740 x cap

NSW GOVERNMENT
Planning

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granted on the 19 October 2016

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Sheet No. 20 x WFL of 27

LANDSCAPE PLAN
SCALE: 1:200

REV	DATE	ISSUE / AMENDMENT	DRAW CHECK		LANDSCAPE ARCHITECT	CONSULTANTS	CLIENT	NORTH	PROJECT	DRAWING TITLE				
P1	160419	PRELIMINARY	SC	SC		ENGINEER			HORSLEY DRIVE BUSINESS PARK SPECULATIVE FACILITY 2	LANDSCAPE PLAN				
A	160429	FOR DEVELOPMENT APPLICATION	SC	SC		COSTIN ROE CONSULTING								
										THIS PLAN IS THE PROPERTY OF THE CLIENT. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFIC PURPOSES ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.				
										SCALE 1:200 B1	PROJECT NO 1610	DRAWING NO LA-03		

HORSLEY DRIVE BUSINESS PARK

CRN HORSLEY DRIVE & COWPASTURE ROAD

WETHERILL PARK NSW



NSW GOVERNMENT
Planning

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Approved Application No. **5507564**

granted on the **12 October 2016**

Signed **[Signature]**

Sheet No. **22** of **27**

DRAWING LIST:

DRAWING NO.	DRAWING TITLE
C0114.92.12-DA10	DRAWING LIST & GENERAL NOTES
C0114.92.12-DA20	EROSION & SEDIMENT CONTROL PLAN
C0114.92.12-DA25	EROSION & SEDIMENT CONTROL DETAILS
C0114.92.12-DA40	CONCEPT STORMWATER DRAINAGE PLAN
C0114.92.12-DA45	CONCEPT STORMWATER DETAILS
C0114.92.12-DA50	FINISHED LEVELS PLAN

SITE PREPARATION NOTES:

- ALL EARTHWORKS SHALL BE COMPLETED GENERALLY IN ACCORDANCE WITH THE GUIDELINES SPECIFIED BY THE GEOTECHNICAL REPORT PSM2343-004R PROVIDED BY PELL'S SULLIVAN MEYNINK DATED DEB 2014. EXISTING LEVELS ARE BASED ON INFORMATION PROVIDED BY LAND PARTNERS CONSULTING TITLED SY073101000 DATED 01 JUNE 2012.
- STRIP ANY TOP SOIL OR DELETERIOUS MATERIAL AND BLEND INTO BATTER TOPSOIL MATERIAL OR STORE AS DIRECTED.
- COMPLETE CUT TO FILL EARTHWORKS TO ACHIEVE THE REQUIRED LEVELS AS INDICATED ON THE DRAWINGS WITHIN A TOLERANCE OF +0mm/-10mm THROUGH BUILDING PADS/PAVEMENTS AND +0mm/-20mm ELSEWHERE.
- TOP 100mm ROCK BELOW BULK EARTHWORKS LEVEL (BEL) IN AREAS OF CUT TO BE RIPPED AND RECOMPACTED IN ACCORDANCE WITH GEOTECHNICAL ADVICE AS 'SITE WON FILL'.
- IN AREAS OF FILL, THE TOP 500mm IS TO COMPRISE OF SELECT CRUSHED ROCK, SITE WON FROM AREAS OF CUT IN ROCK.
- PREPARE STEEP BATTERS TO RECEIVE FILL BY CONSTRUCTING BENCHING TO FACILITATE FILL PLACEMENT AND COMPACTION.
- AREAS TO RECEIVE FILL (THAT ARE NOT ON BENCED BATTERS) AND AREAS IN CUT SHALL BE PROOF ROLLED TO IDENTIFY ANY SOFT HEAVING MATERIAL. SOFT MATERIAL SHALL BE BOXED OUT AND REMOVED PRIOR TO FILL PLACEMENT.
- SITE WON FILL TO BE PLACED IN MAXIMUM 300mm LOOSE LAYERS AND COMPACTED TO 100% STANDARD AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- IMPORTED FILL SHALL BE PLACED IN MAXIMUM 300mm LOOSE LAYERS AND COMPACTED TO 100% STANDARD AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- MAXIMUM PARTICLE SIZE TO BE THE SMALLER OF 150mm OR HALF THE (LOOSE) LAYER THICKNESS AND/OR TWO THIRDS THE LAYER THICKNESS AFTER COMPACTION.
- ALL EARTHWORKS SHALL BE COMPLETED UNDER LEVEL 1 CONTROL IN ACCORDANCE WITH AS 3798-2007.
- PRIOR TO ANY EARTHWORKS, EROSION CONTROL AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE COMPLETED.
- EXISTING ROCK, IF ANY, SHALL BE REMOVED BY HEAVY ROCK BREAKING OR RIPPING.
- MATCH EXISTING LEVELS AT BATTER INTERFACE.
- CONTRACTOR TO MATCH EXISTING LEVELS AT THE INTERFACE OF EARTHWORKS AND EXISTING SURFACE AT BATTER LOCATIONS OR WHERE NO RETAINING WALLS ARE PRESENT. ANY DISCREPANCY BETWEEN DESIGN AND EXISTING LEVELS TO BE REFERRED TO THE ENGINEER FOR DIRECTION OR ADJUSTMENTS TO DESIGN LEVELS.

ELECTRONIC INFORMATION NOTES:

- THE ISSUED DRAWINGS IN HARD COPY OR PDF FORMAT TAKE PRECEDENCE OVER ANY ELECTRONICALLY ISSUED INFORMATION, LAYOUTS OR DESIGN MODELS.
- THE CONTRACTOR'S DIRECT AMENDMENT OR MANIPULATION OF THE DATA OR INFORMATION THAT MIGHT BE CONTAINED WITHIN AN ENGINEER-SUPPLIED DIGITAL TERRAIN MODEL AND ITS SUBSEQUENT USE TO UNDERTAKE THE WORKS WILL BE SOLELY AT THE DISCRETION OF AND THE RISK OF THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO HIGHLIGHT ANY DISCREPANCIES BETWEEN THE DIGITAL TERRAIN MODEL AND INFORMATION PROVIDED IN THE CONTRACT AND/OR DRAWINGS AND IS REQUIRED TO SEEK CLARIFICATION FROM THE SUPERINTENDENT.
- THE ENGINEER WILL NOT BE LIABLE OR RESPONSIBLE FOR THE POSSIBLE ON-GOING NEED TO UPDATE THE DIGITAL TERRAIN MODEL, SHOULD THERE BE ANY AMENDMENTS OR CHANGES TO THE DRAWINGS OR CONTRACT INITIATED BY THE CONTRACTOR.

GENERAL NOTES:

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ENGINEER'S DRAWINGS ISSUED IN ANY ELECTRONIC FORMAT MUST NOT BE USED FOR DIMENSIONAL SETOUT. REFER TO THE ARCHITECT'S DRAWINGS FOR ALL DIMENSIONAL SETOUT INFORMATION.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.

STORMWATER DRAINAGE NOTES:

- ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
- THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
- ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON FINISHED LEVELS PLANS D501 & D502.
- PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
- EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
- ALL STORMWATER PIPES #375 OR GREATER SHALL BE CLASS 2 REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- ALL PIPES UP TO AND INCLUDING #300 TO BE UPVC GRADE S80 UNDO.
- PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
- ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE Fc 25 MPa. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
- IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
- PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED. RAM AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EDGED RAMMERS OR OTHER SUITABLE TAMPING DETAILS.
- WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED #100 UPVC TO EACH SIDE OF PIPE.
- ALL SUBSOIL DRAINAGE LINES SHALL BE #100 SLOTTED UPVC WITH APPROVED FILTER WRAP LAID IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT/ LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
- ALL PIPE GRADES 1 IN 100 MINIMUM UNDO.
- PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
- MIN. 600 COVER TO PIPE OVERLY BEING ROADS & MIN. 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
- PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY', THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS B 'MEDIUM DUTY' UNDO.
- PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
- DOWN PIPES (DPI) TO BE AS PER HYDRAULIC ENGINEERS DETAILS WITH CONNECTOR TO MATCH DP SIZE UNDO ON PLAN. PROVIDE CLEANING EYE AT GROUND LEVEL.
- PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.

EROSION CONTROL NOTES:

- ALL CONTROL WORK INCLUDING DIVERSION BANKS AND CATCH DRAINS, V-DRAINS AND SILT FENCES SHALL BE COMPLETED DIRECTLY FOLLOWING THE COMPLETION OF THE EARTHWORKS.
- SILT FENCES AND SILT FENCE RETURNS SHALL BE ERECTED CONVEX TO THE CONTOUR TO POND WATER.
 - HAY BALE BARRIERS AND GEOTEXTILE FENCES ARE TO BE CONSTRUCTED TO TOE OF BATTER, PRIOR TO COMMENCEMENT OF EARTHWORKS, IMMEDIATELY AFTER CLEARING OF VEGETATION AND BEFORE REMOVAL OF TOP SOIL.
 - ALL TEMPORARY EARTH BERM, DIVERSION AND SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED AND MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
 - CLEAR WATER IS TO BE DIVERTED AWAY FROM DISTURBED GROUND AND INTO THE DRAINAGE SYSTEM.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROVIDING ON GOING ADJUSTMENT TO EROSION CONTROL MEASURES AS REQUIRED DURING CONSTRUCTION.
 - ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR LOGGING, TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE, APPROVED LOCATION.
 - ALL FINAL EROSION PREVENTION MEASURES INCLUDING THE ESTABLISHMENT OF GRASSING ARE TO BE MAINTAINED UNTIL THE END OF THE DEFECTS LIABILITY PERIOD.
 - ALL EARTHWORKS AREAS SHALL BE ROLLED ON A REGULAR BASIS TO SEAL THE EARTHWORKS.
 - ALL FILL AREAS ARE TO BE LEFT WITH A BUND AT THE TOP OF THE SLOPE AT THE END OF EACH DAYS EARTHWORKS. THE HEIGHT OF THE BUND SHALL BE A MINIMUM OF 200mm.
 - ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND HYDOMULCHED WITHIN 10 DAYS OF COMPLETION OF FORMATION.
 - AFTER REVEGETATION OF THE SITE IS COMPLETE AND THE SITE IS STABLE IN THE OPINION OF A SUITABLY QUALIFIED PERSON ALL TEMPORARY WORK SUCH AS SILT FENCE, DIVERSION DRAINS ETC SHALL BE REMOVED.
 - ALL TOPSOIL STOCKPILES ARE TO BE SUITABLY COVERED TO THE SATISFACTION OF THE SITE MANAGER TO PREVENT WIND AND WATER EROSION.
 - ANY AREA THAT IS NOT APPROVED BY THE CONTRACT ADMINISTRATOR FOR CLEARING OR DISTURBANCE BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEARLY MARKED AND SIGN POSTED, FENCED OFF OR OTHERWISE APPROPRIATELY PROTECTED AGAINST ANY SUCH DISTURBANCE.
 - ALL STOCKPILE SITES SHALL BE SITUATED IN AREAS APPROVED FOR SUCH USE BY THE SITE MANAGER. A 6m BUFFER ZONE SHALL EXIST BETWEEN STOCKPILE SITES AND ANY STREAM OR FLOW PATH. ALL STOCKPILES SHALL BE ADEQUATELY PROTECTED FROM EROSION AND CONTAMINATION OF THE SURROUNDING AREA BY USE OF THE MEASURES APPROVED IN THE EROSION AND SEDIMENTATION CONTROL PLAN.
 - ACCESS AND EXIT AREAS SHALL INCLUDE SHAKE-DOWN OR OTHER METHODS APPROVED BY THE SITE MANAGER FOR THE REMOVAL OF SOIL MATERIALS FROM MOTOR VEHICLES.
 - THE CONTRACTOR IS TO ENSURE RUNOFF FROM ALL AREAS WHERE THE NATURAL SURFACE IS DISTURBED BY CONSTRUCTION, INCLUDING ACCESS ROADS, DEPOT AND STOCKPILE SITES, SHALL BE FREE OF POLLUTANTS BEFORE IT IS EITHER DISPERSED TO STABLE AREAS OR DIRECTED TO NATURAL WATERCOURSES.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SLOPES, CROWNS AND DRAINS ON ALL EXCAVATIONS AND EMBANKMENTS TO ENSURE SATISFACTORY DRAINAGE AT ALL TIMES. WATER SHALL NOT BE ALLOWED TO POND ON THE WORKS UNLESS SUCH PONDING IS PART OF AN APPROVED ESCP / SWMP.

FINISHED LEVELS PLAN NOTES:

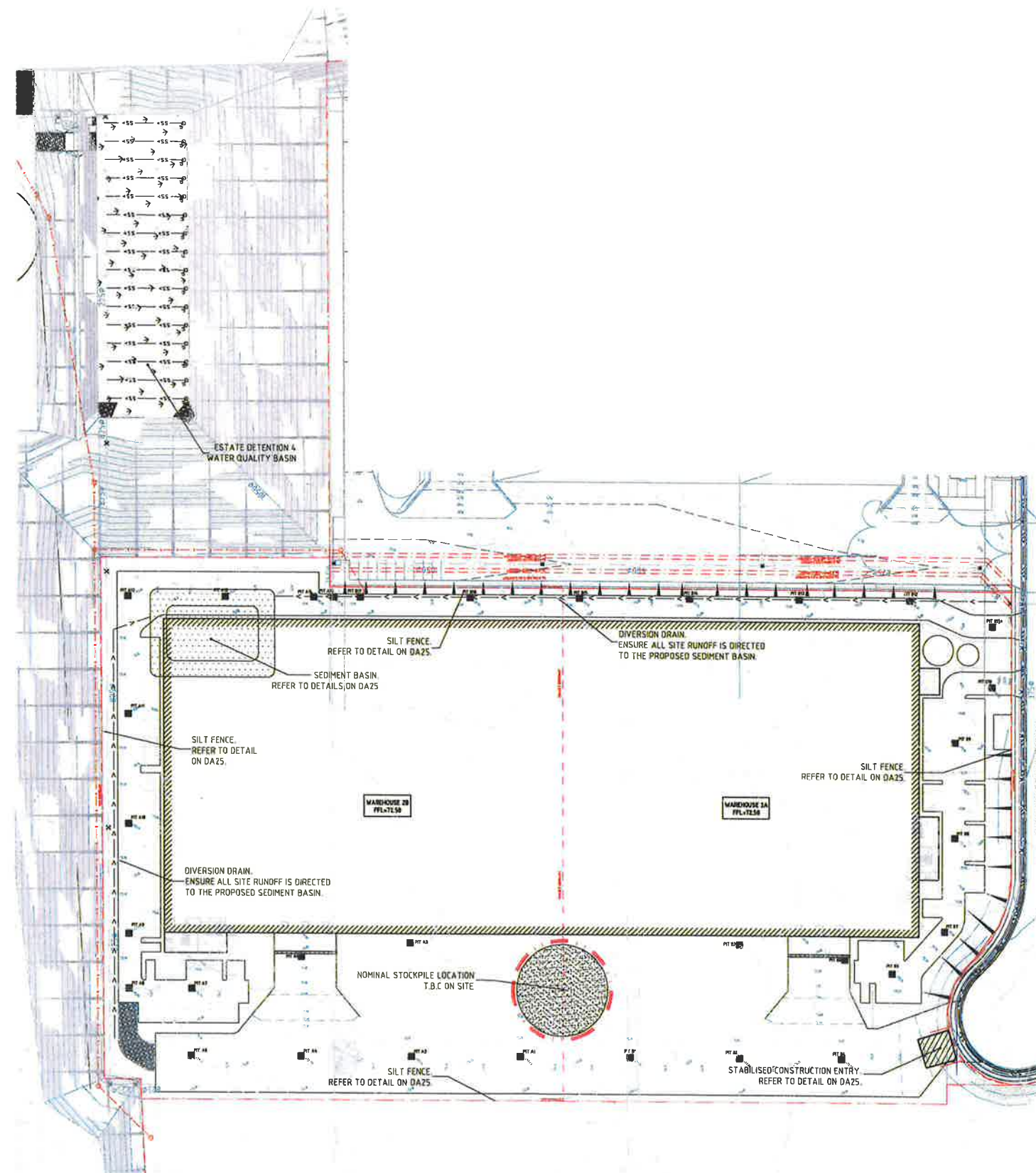
- LEVELS DATUM IS A.H.D.
- ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT LEVELS UNDO ON PLAN.
- THE MAJOR CONTOUR INTERVAL IS 0.5m.
- THE MINOR CONTOUR INTERVAL IS 0.1m.
- MINIMUM PAVEMENT GRADE IS TO BE 1:100 (1%).
- MAXIMUM PAVEMENT GRADE IS TO BE 1:20 (5%) IN CARPARKING AREAS AND 1:25 (4%) ELSEWHERE.
- MAXIMUM RAMP GRADES ARE TO BE 1:12 (8.3%) UNDO ON PLAN.
- PROVIDE MINIMUM 3.0m LONG TRANSITION WHERE CHANGES GRADE EXCEED 1:20 (5%).
- PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF 1V:3H.
- ALL BATTER SLOPE WITH GRADES AT OR EXCEEDING 1V:6H ARE TO BE TURFED IMMEDIATELY OR APPROPRIATE EROSION CONTROL IS TO BE PROVIDED TO THE SATISFACTION OF THE ENGINEER.
- THE ACCESS ROAD TO THE HARVEST AREA IS TO HAVE A CROSSFALL OF 2% AS INDICATED ON PLAN.
- ALL FOOTPATHS ARE TO FALL AWAY FROM THE BUILDING AT 2.5% NOMINAL GRADE.
- ALL PAVEMENTS ARE TO BE SET AT 50mm BELOW THE FINISHED FLOOR LEVEL OF THE WAREHOUSE AND OFFICE AREAS.



LOCALITY PLAN
NOT TO SCALE

FOR DEVELOPEMENT APPLICATION

ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR REVIEW	01.09.16 28.09.16 01.10.16	C B A	AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE	ARCHITECT	CLIENT	PROJECT H.D.B.P. LOT 2 CNR THE HORSLEY DV. & COWPASTURE RD WETHERILL PARK, NSW	DESIGNED BY DATE 01/09/16	CHECKED BY DATE 01/09/16	SCALE AS SHOWN	AND REP. DATE 01/09/16	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 6 Macmillan Street North Sydney NSW 1585 Tel: (02) 9550-1000 Fax: (02) 9550-1001 email: info@costinroe.com.au	Costin Roe Consulting	PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE DRAWING LIST AND GENERAL NOTES C0114.92.12-DA10
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EROSION AND SEDIMENT CONTROL PLAN
SCALE 1:500

SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C0114.92.12-C25.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER - THE BLUE BOOK'. CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (32.2mm).

APPROXIMATE AREA OF DISTURBED SITE = 3.5 Ha

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO COUNCIL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

NOTES:

1. ASSUME TYPE D SOIL (CLAY/SILTY CLAY)
 2. ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)
- SOIL TYPE ASSESSED FROM GEOTECHNICAL REPORT PROVIDED BY PSM TITLED PSM 1869-009 DATED 10 MAY 2012.

SEDIMENT BASIN:

CATCHMENT AREA = 3.46ha
REQUIRED BASIN VOLUME = 836m³
BASE DIMENSION (LxB) = 15.0m x 25m
TOP DIMENSION (LxB) = 24.0m x 34.0m
MAX SIDE SLOPE = 1V:3H
DEPTH = 1.5m
PROVIDED BASIN VOLUME = 872m³



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. 5507564

granted on the 19 October 2016

Signed [Signature]

Sheet No. 23 of 27

EROSION AND SEDIMENT CONTROL NOTES:

REFER TO DRAWING DA10 FOR EROSION AND SEDIMENT CONTROL NOTES

NOTE: ALL LEVELS ARE INDICATIVE ONLY & MAY BE SUBJECT TO MINOR VARIATIONS TO SUIT DETAILED DESIGN.

5m 0 10 20 30 40 50m
SCALE 1:500 AT A0 SHEET SIZE

FOR DEVELOPEMENT APPLICATION

ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR REVIEW	22.05.16 29.06.16 18.06.16	C B A	AMENDMENTS	DATE ISSUE AMENDMENTS	DATE ISSUE AMENDMENTS	DATE ISSUE AMENDMENTS	DATE ISSUE AMENDMENTS	DATE ISSUE AMENDMENTS	DATE ISSUE AMENDMENTS
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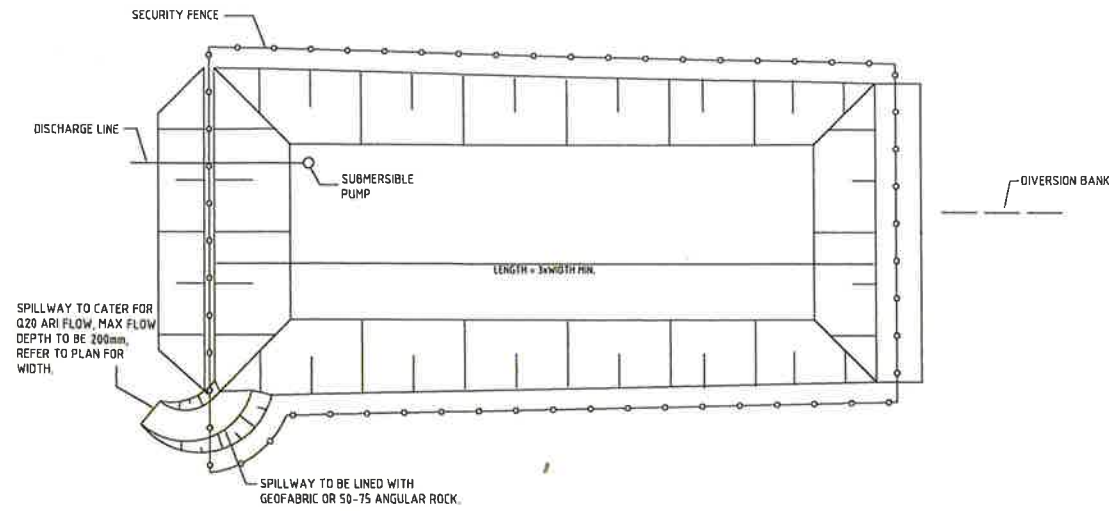
PROJECT
H.D.B.P. LOT 2
CNR THE HORLSEY DV. & COWPASTURE RD
WETHRILL PARK, NSW

Costin Roe Consulting Pty Ltd.
Consulting Engineers
Level 1, 8 Woodville Street
Parramatta, Sydney NSW 2150
Tel: (02) 9611-7000 Fax: (02) 9611-7777
email: info@costinroe.com.au

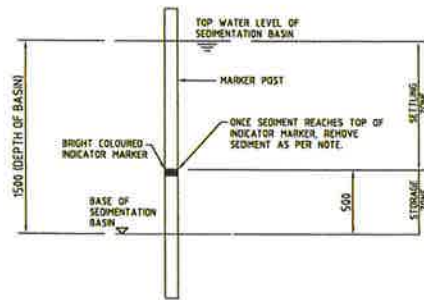
Costin Roe Consulting

DRAWING TITLE
EROSION AND SEDIMENT CONTROL
PLAN
C0114.92.12-DA20

PRECISION | COMMUNICATION | ACCOUNTABILITY



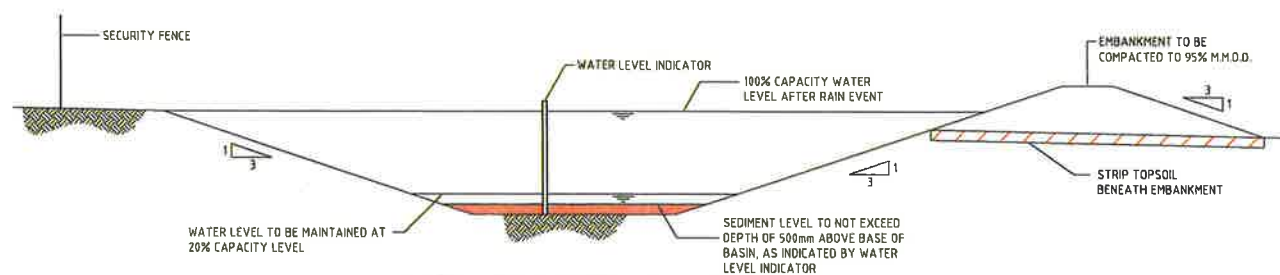
TYPICAL SEDIMENT CONTROL POND PLAN
SCALE 1:250



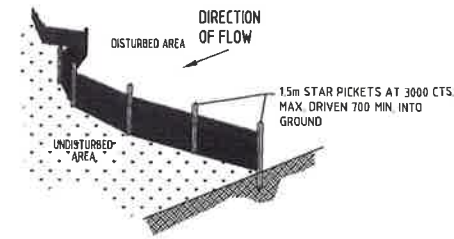
SEDIMENT STORAGE MARKER
SCALE 1:20

SEDIMENT CONTROL POND NOTES:

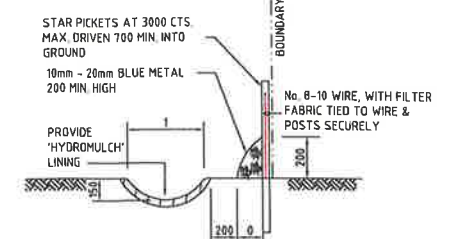
1. TYPE D BASIN IS REQUIRED.
2. VOLUME OF TYPE D POND SHALL BE AS NOMINATED ON DRAWING DA20. NOMINAL POND LOCATIONS AND NOMINAL DIMENSIONS.
3. SEDIMENT BUILD UP TO NOT EXCEED 33% TOTAL CAPACITY OF POND.
4. WATER LEVEL TO BE MAINTAINED AT 20% CAPACITY DURING SETTLING PERIOD.
5. LENGTH TO WIDTH RATIO TO BE 3:1 MIN. TYPICAL DEPTH TO BE 1.5m.
6. PROVIDE SECURITY FENCE TO POND FOR SAFETY.
7. DEWATERING OF POND TO BE PERFORMED TO THE BOTTOM OF THE SEDIMENT SETTLING ZONE FOLLOWING ACHIEVEMENT OF WQ's. MANAGEMENT OF DOSAGE AND DISCHARGE TO BE ACHIEVED IN A TIMELY MANNER BEFORE THE NEXT RAIN EVENT AND WITHIN 5 DAYS OF THE INITIAL RAINFALL EVENT.
8. WATER TO BE DOSED WITH GYPSUM TO ACCELERATE SETTLEMENT OF SUSPENDED SOLIDS.
9. GYPSUM DOSAGE RATE TO BE APPLIED AT APPROX. 32kg PER 100 CUBIC METRE OF COLLECTED RUNOFF.
10. THE USE OF ALUM AS A FLOCCULANT IS NOT RECOMMENDED AND IS TO BE USED ONLY FOLLOWING CONSULTATION WITH AND ACCEPTANCE FROM GOLD COAST CITY COUNCIL ESC OFFICERS.
11. DISCHARGE FROM POND IS PERMISSIBLE WHEN THE WATER PH IS 6.5-8.5 AND IS CLARIFIED TO AT OR BELOW A TSS OF 50mg/L (75 NTU). CLARIFICATION WOULD GENERALLY BE ACHIEVED IN 36-72 HOURS WITH THE USE OF GYPSUM.
12. DEWATERING SHALL BE DONE IN SUCH A MANNER AS TO REMOVE THE RELATIVELY CLEAN WATER WITHOUT REMOVING OR DISTURBING THE SEDIMENT THAT HAS SETTLED. THE PUMP INTAKE PIPE IS NOT TO REST ON THE SETTLED SEDIMENT LAYER.
13. IF WATER EXCEEDS TSS OF 50mg/L (75 NTU) DURING DEWATERING, PUMPING IS TO CEASE.
14. RECORDS ARE TO BE KEPT (ON-SITE AT ALL TIMES) OF ALL MEASUREMENT PRIOR TO, DURING AND AFTER DISCHARGE. RECORDS TO BE MADE AVAILABLE TO COUNCIL OFFICERS UPON REQUEST.



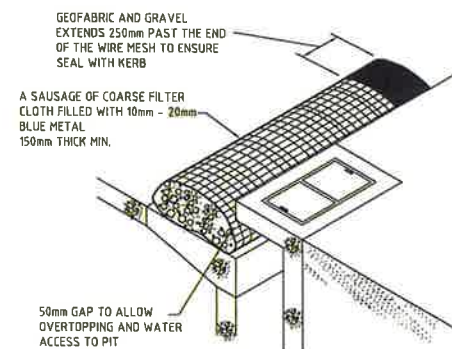
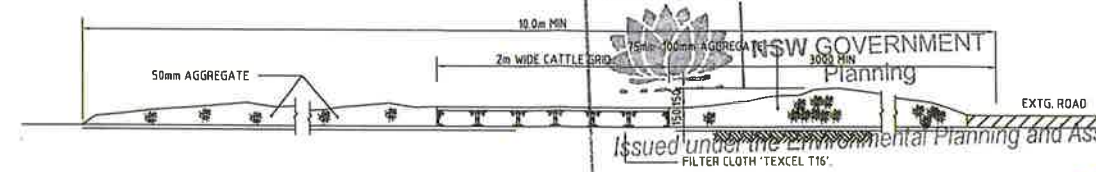
TYPICAL SEDIMENT CONTROL BASIN SECTION
SCALE 1:50



TYPICAL SILT FENCE DETAIL
N.T.S.
PROVIDE 1m RETURNS AT 30m INTERVALS.
TYPICAL

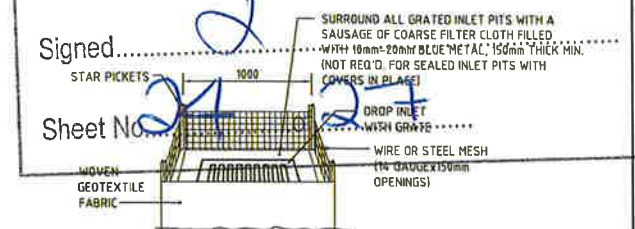


TYPICAL OPEN DRAIN & SILT FENCE
SCALE 1:20

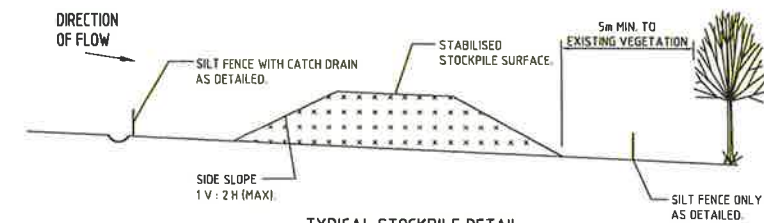


KERB INLET PIT CONTROL
N.T.S.

NOTE: ADOPT ABOVE DETAILS AROUND ALL PITS WITHIN AREA ENCOMPASSED BY SILT FENCE & TO PITS ON THE ROAD ADJACENT TO SITE BOUNDARY.



GRADED INLET PIT FILTER DETAIL
N.T.S.



TYPICAL STOCKPILE DETAIL
N.T.S.

NOTES:

- ALL EROSION & SEDIMENT CONTROL MEASURES TO BE INSPECTED & MAINTAINED DAILY BY SITE MANAGER.
- MINIMISE DISTURBED AREAS.
- ROADS & FOOTPATHS TO BE SWEEP DAILY.
- 12m TURF TO BE PLACED BEHIND KERBS.
- DUST MINIMISATION CONTROL BY WATERING TO BE IMPLEMENTED BY SITE MANAGER AS REQUIRED OR AS DIRECTED BY THE EPA.

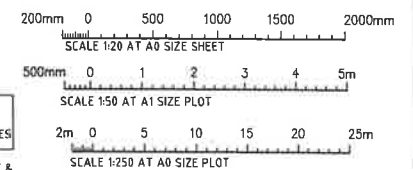
STOCKPILE NOTES

1. PLACE ALL STOCKPILES IN LOCATIONS MORE THAN 5m FROM EXISTING VEGETATION, ROADS & HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT ELONGATED MOUNDS. SIDE SLOPE TO BE 1V:2H MAX.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
4. WHERE STOCKPILES ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, SUITABLY STABILISE OR COVER THE STOCKPILES.
5. CONSTRUCT SILT FENCE WITH CATCH DRAIN ON UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES & SILT FENCE ONLY 1 TO 2m DOWNSLOPE AS SHOWN.

EROSION AND SEDIMENT CONTROL NOTES:

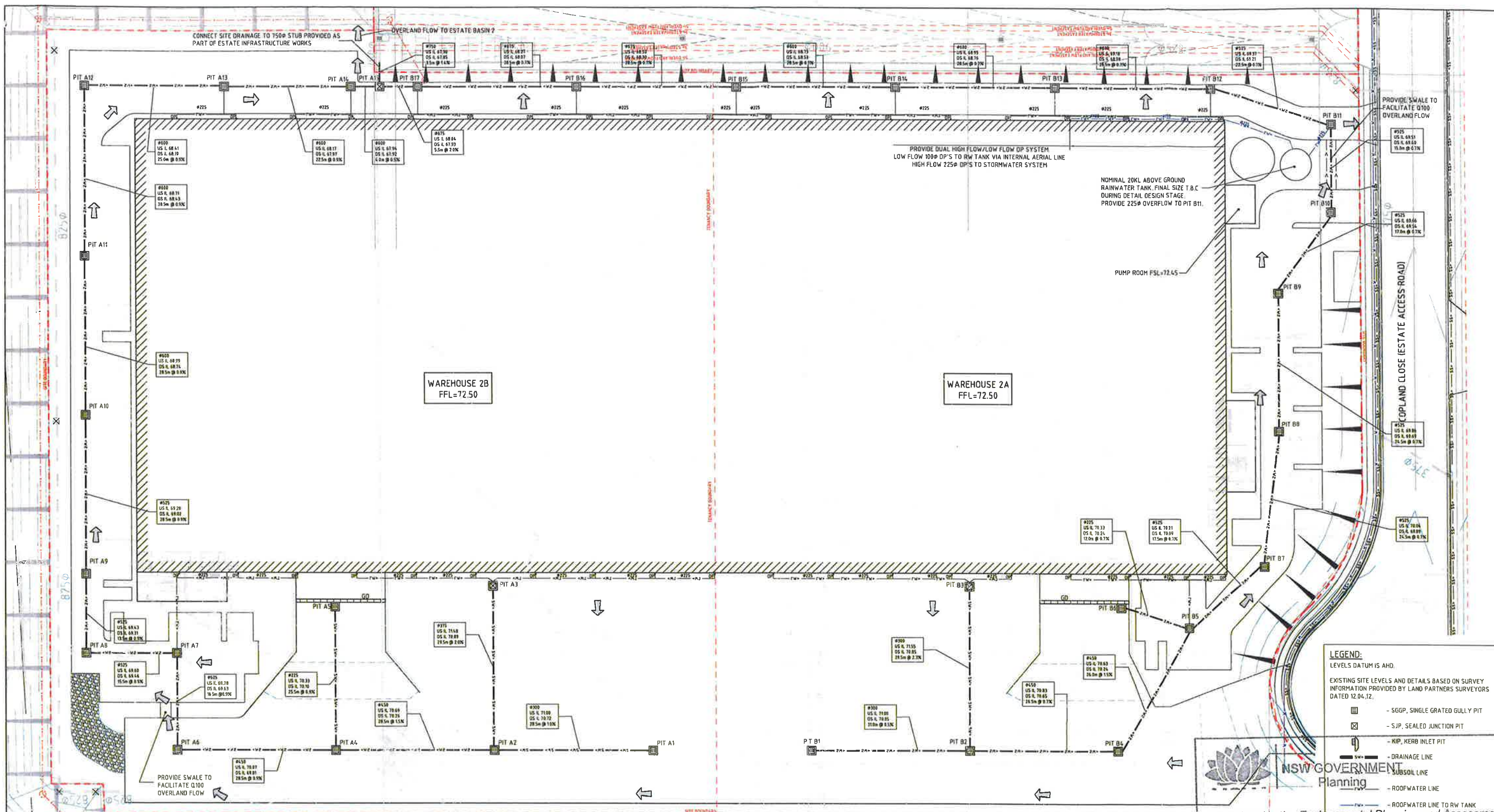
REFER TO DRAWING DA10 FOR EROSION AND SEDIMENT CONTROL NOTES

NOTE: ALL LEVELS ARE INDICATIVE ONLY & MAY BE SUBJECT TO MINOR VARIATIONS TO SUIT DETAILED DESIGN.



FOR DEVELOPEMENT APPLICATION

ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR DEVELOPMENT APPLICATION ISSUED FOR REVIEW AMENDMENTS	02.05.16 C 29.04.16 B 19.04.16 A DATE ISSUE AMENDMENTS	ARCHITECT	CLIENT FRASERS PROPERTY	PROJECT H.D.B.P. LOT 2 CNR THE HORLSEY DV. & COWPASTURE RD WETHRILL PARK, NSW	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Woodville Street Wahbi Bay, Sydney NSW 2000 Tel: (02) 9555-9999 Fax: (02) 9555-9999 email: info@costinroe.com.au	PRECISION COMMUNICATION ACCOUNTABILITY	DRAWING TITLE EROSION AND SEDIMENT CONTROL DETAILS DRAWING NO. C0114.92.12-DA 25
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PIT SCHEDULE

PIT No.	GRATE RL	DEPTH	TYPE	SIZE	COMMENT
PIT A1	72.00	1000	S.G.P.	900x900	
PIT A2	72.00	1310	S.G.P.	900x900	
PIT A3	72.45	970	S.J.P.	900x900	
PIT A4	72.00	1930	S.G.P.	900x900	
PIT A5	71.15	820	S.G.P.	900x900	
PIT A6	72.00	2220	S.G.P.	900x900	
PIT A7	72.00	2400	S.G.P.	900x900	
PIT A8	72.00	2570	S.G.P.	900x900	
PIT A9	72.00	2720	S.G.P.	900x900	
PIT A10	72.00	3010	S.G.P.	900x900	
PIT A11	72.00	3290	S.G.P.	900x900	
PIT A12	72.00	3590	S.G.P.	900x900	
PIT A13	72.00	3830	S.G.P.	900x900	
PIT A14	72.00	4060	S.G.P.	900x900	
PIT A15	72.10	4200	S.J.P.	1200x1200	

⊙ DENOTES PIT TO BE FITTED WITH ENVIROPOD SERIES 200 PIT INSERT.

PIT SCHEDULE

PIT No.	GRATE RL	DEPTH	TYPE	SIZE	COMMENT
PIT B1	72.00	1000	S.G.P.	900x900	
PIT B2	72.00	1170	S.G.P.	900x900	
PIT B3	72.45	900	S.J.P.	900x900	
PIT B4	72.00	1370	S.G.P.	900x900	
PIT B5	72.10	1890	S.G.P.	900x900	
PIT B6	71.15	820	S.G.P.	900x900	
PIT B7	72.10	2040	S.G.P.	900x900	
PIT B8	72.10	2240	S.G.P.	900x900	
PIT B9	72.10	2440	S.G.P.	900x900	
PIT B10	72.25	2740	S.G.P.	900x900	
PIT B11	72.10	2730	S.G.P.	900x900	
PIT B12	72.10	2920	S.G.P.	900x900	
PIT B13	72.10	3150	S.G.P.	900x900	
PIT B14	72.10	3370	S.G.P.	900x900	
PIT B15	72.10	3600	S.G.P.	1200x1200	
PIT B16	72.10	3830	S.G.P.	1200x1200	
PIT B17	72.00	3960	S.G.P.	1200x1200	

⊙ DENOTES PIT TO BE FITTED WITH ENVIROPOD SERIES 200 PIT INSERT.

CONCEPT STORMWATER DRAINAGE PLAN

SCALE 1:250

ISSUED FOR DEVELOPMENT APPLICATION	DATE	ISSUE	AMENDMENTS	DATE	ISSUE	AMENDMENTS	DATE	ISSUE	AMENDMENTS
ISSUED FOR DEVELOPMENT APPLICATION	02.05.16	C							
ISSUED FOR DEVELOPMENT APPLICATION	28.06.16	B							
ISSUED FOR REVIEW	18.06.16	A							

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS

ARCHITECT	CLIENT	PROJECT	DATE	CHECKED	SCALE	CAD FILE	DATE	ISSUE	AMENDMENTS



Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. 350-1564

granted on the 19 October 2016

Signed [Signature]

Sheet No. 25

STORMWATER DRAINAGE NOTES:

REFER TO THE FOLLOWING DATA FOR STORMWATER DRAINAGE NOTES

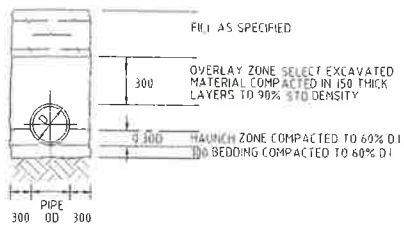
NOTE: ALL LEVELS ARE INDICATIVE ONLY & MAY BE SUBJECT TO MINOR VARIATIONS TO SUIT DETAILED DESIGN.

SCALE 1:250 AT A0 SHEET SIZE

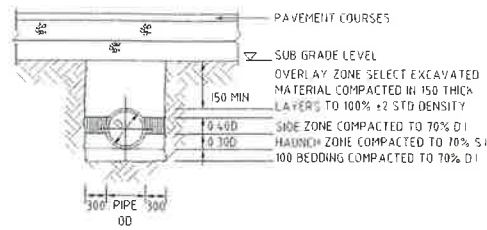
FOR DEVELOPEMENT APPLICATION

PRECISION | COMMUNICATION | ACCOUNTABILITY

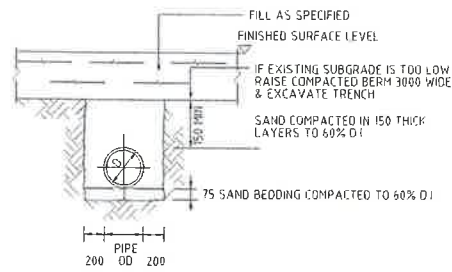
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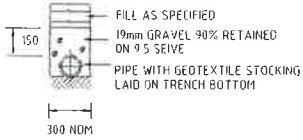
TYPE H1 SUPPORT TO
CONCRETE PIPES AT LANDSCAPED AREAS



TYPE H3 SUPPORT TO
CONCRETE PIPES
UNDER PAVEMENT



SUPPORT TO uPVC PIPES



SUPPORT TO AG DRAIN

SIEVE SIZE	WEIGHT PASSING (%)
19	100
2.36	100 TO 50
0.60	90 TO 50
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0

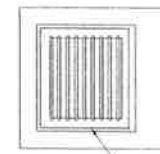
SIEVE SIZE	WEIGHT PASSING (%)
75	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

PIPE LAYING DETAILS
1:20

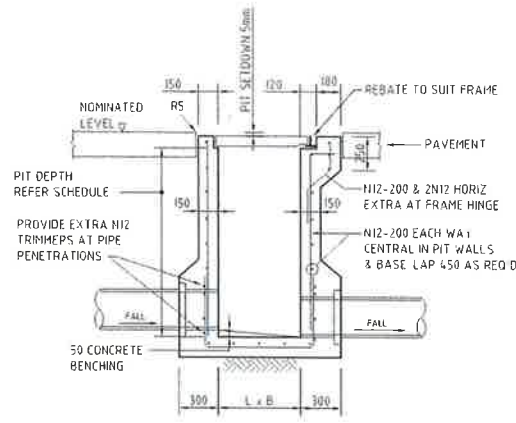
ELEMENT	CLASS	REINFORCEMENT	ADDITIONAL	FINISH
PIPE	30	10	10	10

NOTES:

- WHERE GULLY PIT IS LOCATED ON KERB RETURNS OR BULB OF CURB-DE-SACS PROVIDE CURVED PRECAST CONCRETE LINTELS
- SAG PITS SHALL HAVE LINTEL PLACED CENTRALLY ABOUT THE GRATE
- ALL REINFORCING TO HAVE 30 MIN CLEAR CONCRETE COVER
- FOR PITS DEEPER THAN 1200mm CLIMB RAILS SHALL BE PROVIDED

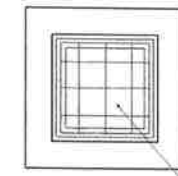


PLAN
SCALE 1:20

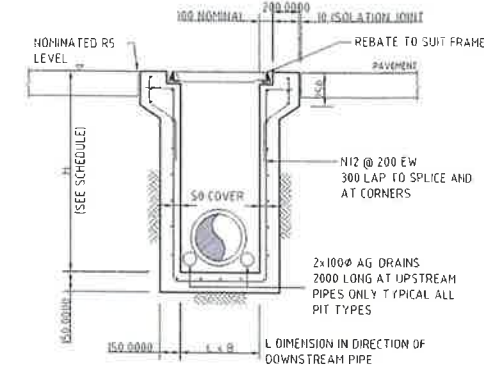


SECTION
SCALE 1:20

SINGLE GRATED GULLY PIT - SGGP

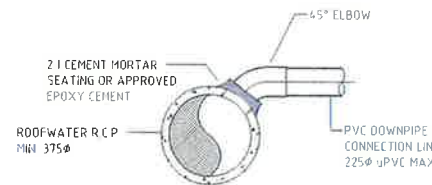


PLAN
SCALE 1:20



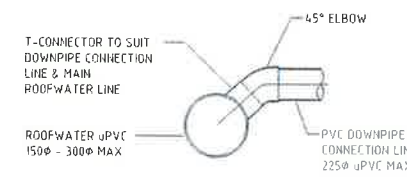
SECTION
SCALE 1:20

SEALED JUNCTION PIT - SJP



DOWN PIPE CONNECTION TO R.C.P. PIPE

- THE R.C.P. STORMWATER PIPE SHALL BE PIERCED BY A HEAT OPENING TO ALLOW THE CONNECTION OF A PVC PIPE
- THE EXPOSED R.C.P. PIPE REINFORCEMENT IS TO BE BENT OUTWARDS TO RETAIN THE MORTAR/JOINT
- THE PVC PIPE SHALL NOT PROTRUDE BEYOND THE INNER SURFACE OF THE R.C.P. STORMWATER PIPE
- THE INTERNAL JUNCTION SHALL BE SMOOTHLY FINISHED SO AS TO PRESENT NO OBSTRUCTION WITHIN THE INTERNAL CHANNEL OF THE R.C.P. STORMWATER PIPE
- PROPRIETARY SADDLES MAY BE USED FOR THE CONNECTION SEATING THE CONTRACTOR IS TO PROVIDE DETAILS OF THE PROPOSED CONNECTION TO THE ENGINEER FOR APPROVAL

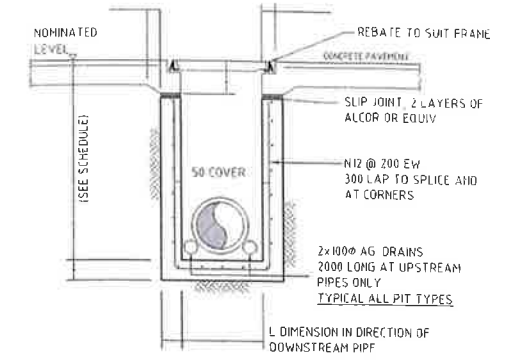


DOWN PIPE CONNECTION TO uPVC PIPE

- PROPRIETARY T-PIECE CONNECTORS SHALL BE USED TO WHERE DIRECT CONNECTIONS ARE REQUIRED TO uPVC PIPES
- ALL JOINTS TO BE SEALED WITH SOLVENT WELDED JOINTS
- THE PVC PIPE SHALL NOT PROTRUDE BEYOND THE INNER SURFACE OF THE STORMWATER PIPE

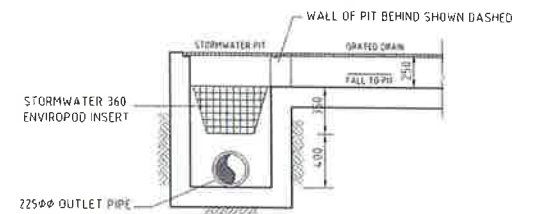
DOWNPIPE CONNECTION DETAILS

SCALE 1:20



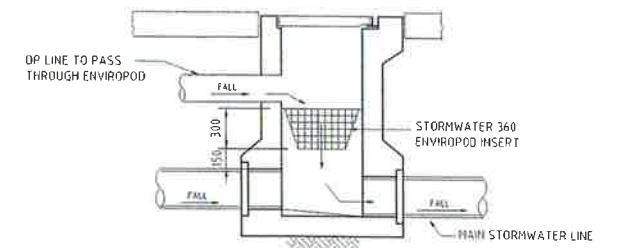
SECTION
SCALE 1:20

ALTERNATIVE PIT DETAIL
GRATE/COVER SUPPORT
CAST-INTO PAVEMENT SLAB
(ADOPT AS REQUIRED FOR SGGP's & SJP's)



SCALE 1:20

GRATED DRAIN/STORMWATER PIT WITH
ENVIROPOD CONFIGURATION



SCALE 1:20

ROOFWATER/STORMWATER PIT WITH ENVIROPOD
CONFIGURATION



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. 5507564

granted on the 19 October 2016

Signed [Signature]

Sheet No. 26 of 27

FOR DEVELOPEMENT APPLICATION



NSW GOVERNMENT
Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No. **5507564**
granted on the **19 October 2016**

Signed **[Signature]**
Sheet No. **27** of **27**

RAINWATER TANK
REFER TO DRG DA40

PUMP ROOM
FFL=72.45

SPRINKLER TANK
FFL=72.45

INDICATIVE SUBSTATION
LOCATION
APPROX RL=72.40

BATTER 1V:3H
MAX

COPLAND CLOSE (ESTATE ACCESS ROAD)

WAREHOUSE 2B
FFL=72.50

WAREHOUSE 2A
FFL=72.50

GRAVEL FIRE PATH

PROVIDE BREAK IN
KERB TO FACILITATE
OVERLAND FLOW

FINISHED LEVELS PLAN
SCALE 1:250

- LEGEND:**
LEVELS DATUM IS AHD.
- EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY
INFORMATION PROVIDED BY LAND PARTNERS SURVEYORS DATED
12.04.12.
- SGGP, SINGLE GRATED GULLY PIT
 - SJP, SEALED JUNCTION PIT
 - KIP, KERB INLET PIT
 - FINISHED PAVEMENT SPOT HEIGHT
 - FINISHED PAVEMENT CONTOUR (MAJOR)
0.5m INTERVALS
 - FINISHED PAVEMENT CONTOUR (MINOR)
0.1m INTERVALS
 - EXISTING SURFACE CONTOUR
 - EXISTING SURFACE SPOT HEIGHT

FINISHED LEVELS NOTES:
REFER TO DRAWING DA10 FOR FINISHED LEVELS NOTES

NOTE: ALL LEVELS ARE INDICATIVE ONLY &
MAY BE SUBJECT TO MINOR VARIATIONS TO
SUIT DETAILED DESIGN.

2m 0 5 10 15 20 25m
SCALE 1:250 AT A0 SHEET SIZE

FOR DEVELOPEMENT APPLICATION

ISSUED FOR DEVELOPEMENT APPLICATION ISSUED FOR DEVELOPEMENT APPLICATION ISSUED FOR REVIEW				ARCHITECT				CLIENT				PROJECT				DRAWING TITLE			
22.05.15				C				H.D.B.P. LOT 2				Costin Roe Consulting Pty Ltd.				FINISHED LEVELS			
21.04.15				B				CNR THE HORLSEY DV & COWPASTURE RD				Consulting Engineers				PLAN			
18.04.15				A				WETHRILL PARK, NSW				Level 1, 9 Woodmill Street, Fairfield, Sydney NSW 2000				PLAN			
AMENDMENTS				DATE				DATE				Tel: (02) 988-1888 Fax: (02) 988-1701 email: info@costinroe.com.au				PRECISION COMMUNICATION ACCOUNTABILITY			
DATE				ISSUE				DATE				C0114.92.12-DA 50				C			