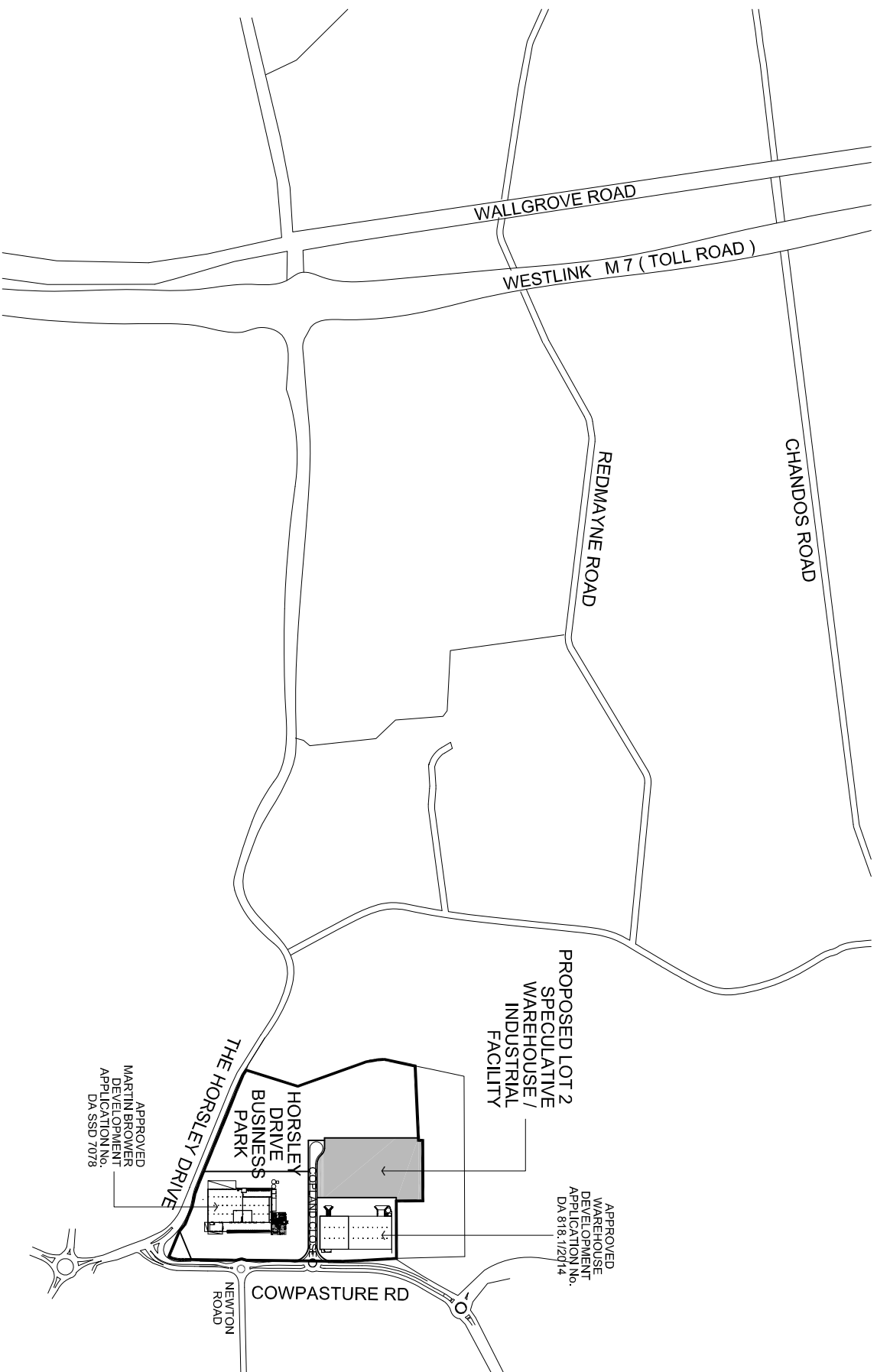


SPECULATIVE WAREHOUSE / INDUSTRIAL FACILITY
HORSLEY DRIVE BUSINESS PARK
AT PROPOSED LOT 2,
CORNER OF HORSLEY DRIVE AND COWPASTURE ROAD
HORSLEY PARK

SP2 - WSPT - DA - 000 - A	TITLE SHEET
SP2 - WSPT - DA - 001 - A	LOCATION PLAN
SP2 - WSPT - DA - 002 - A	SITE ANALYSIS
SP2 - WSPT - DA - 003 - A	SITE PLAN
SP2 - WSPT - DA - 004 - A	TRUCK TURNING DIAGRAMS - SHEET 1
SP2 - WSPT - DA - 005 - A	TRUCK TURNING DIAGRAMS - SHEET 2
SP2 - WSPT - DA - 006 - A	STAGING PLANS
SP2 - WSPT - DA - 100 - A	WAREHOUSE / INDUSTRIAL FACILITY PLAN
SP2 - WSPT - DA - 110 - A	OFFICE 01 FLOOR PLANS
SP2 - WSPT - DA - 111 - A	OFFICE 02 FLOOR PLANS
SP2 - WSPT - DA - 200 - A	ELEVATIONS
SP2 - WSPT - DA - 210 - A	SECTIONS
SP2 - WSPT - DA - 400 - A	LIGHTING PLAN
SP2 - WSPT - DA - 500 - A	COLOURED ELEVATIONS
SP2 - WSPT - DA - 600 - A	OFFICE 01 PERSPECTIVE
SP2 - WSPT - DA - 610 - A	OFFICE 02 PERSPECTIVE



COMMERCIAL & INDUSTRIAL DIVISION
1/1000 @ B1
DRAWN BY: J. WILSON
CHECKED BY: J. WILSON
DATE: 24/03/15
DWG NUMBER: 000-00-000

PROJECT
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY

APPROVED LOT 2, CORNER OF HORSLEY DRIVE & COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
LOCATION PLAN

01
1/1000 @ B1
LOCATION PLAN

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS ARE TO BE +/- 1000mm.

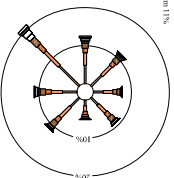
SCALE: 1:1000 @ B1
DRAWN BY: J. WILSON
CHECKED BY: J. WILSON
DATE: 24/03/15
DWG NUMBER: 000-00-000
ISSUE
SP2-MSPT-DA-001 A

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REVISION	DESCRIPTION	DATE
A	As Issued	22/04/16



Contour 11%



COMMERCIAL & INDUSTRIAL DIVISION
1 HERBERT ROAD, SYDNEY
NSW 1585
PHONE 02 957 2000
FAX 02 957 2001
WWW.FRASERS.COM.AU

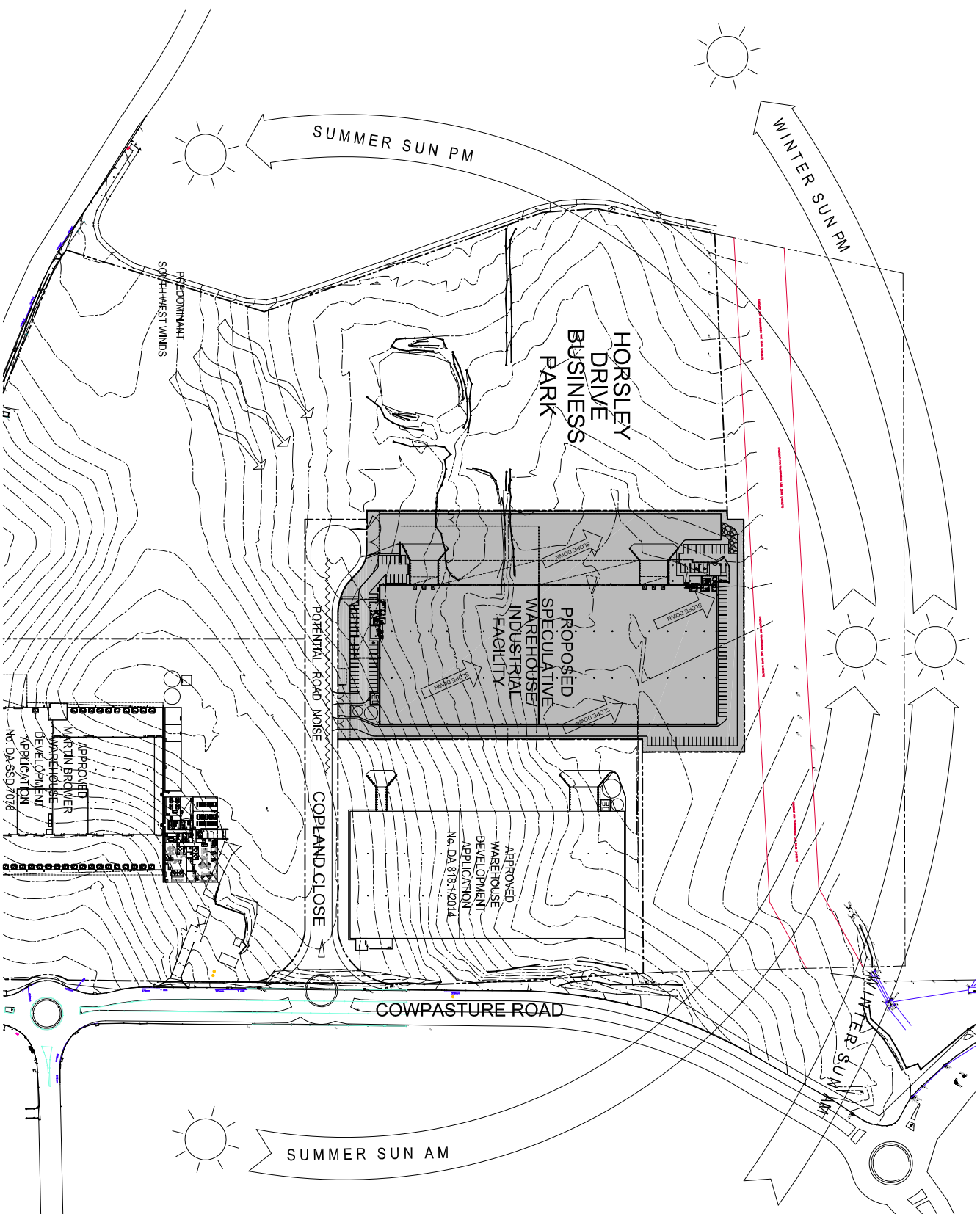
PROJECT
SPECIALIST WAREHOUSE/INDUSTRIAL FACILITY

ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COWPASTURE ROAD, HORSLEY PARK

DRAWING TITLE
SITE ANALYSIS

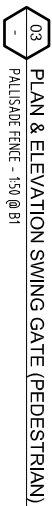
SCALE
1:500 & B1
DATE
24.03.16
DRAWING NUMBER
SP2-MSPT-DA-002

01 SITE ANALYSIS PLAN
14,000 @ B1



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SP2-MSPT-DA-002 A



DEVELOPMENT AREAS	
SITE AREA	34 536 SQM
WAREHOUSE / INDUSTRIAL FACILITY 01	8 355 SQM
MEZZANINE OFFICE 01	500 SQM
ENTRY FOYER	50 SQM
TOTAL BUILDING AREA	8 905 SQM
AWNING	1 015 SQM
WAREHOUSE / INDUSTRIAL FACILITY 02	9 315 SQM
MEZZANINE OFFICE 02	500 SQM
ENTRY FOYER	50 SQM
TOTAL BUILDING AREA	9 865 SQM
AWNING	1 015 SQM
TOTAL BUILDING AREA	18 770 SQM
CAR PARKING	
CAR PARKING PROVIDED	117 SPACES
MASTER PLAN APPROVED CAR PARKING REQUIRED (1 space per 200 SQM GFA)	93 SPACES
SITE COVERAGE	54.3 %

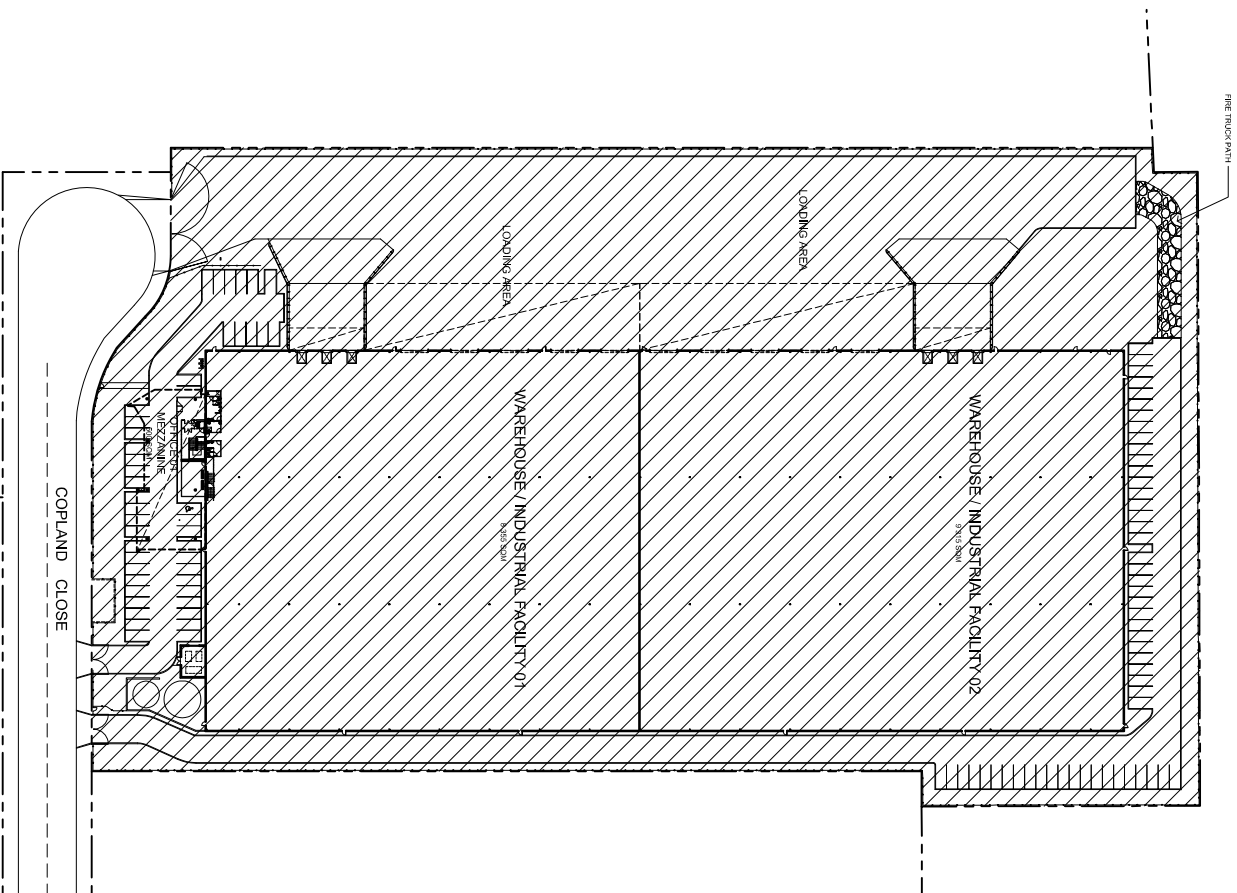


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PROPERTY

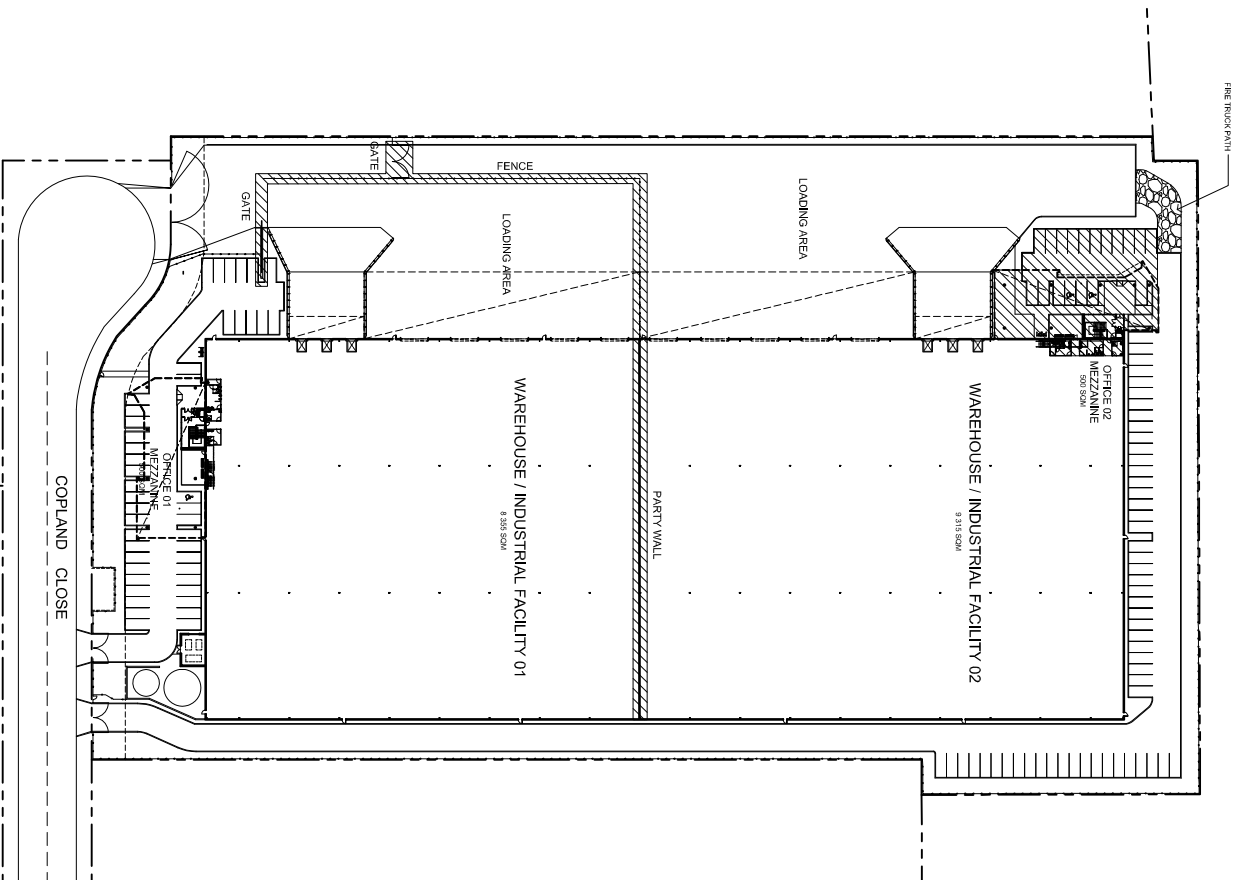
PROJECT	COMMERCIAL & INDUSTRIAL DIVISION	
	1. LOCATION AND SITE	PHONE
	BUILDING C. DATE 3	FAX
	PG. DATE 2003	02. 9/97 2000
	PROJECT 009 2158	02. 9/97 2008
SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY		
ADDRESS	PROPOSED LOT 2, CORNER OF HORSLEY DRIVE & COMPANISTON ROAD, HORSLEY PARK	
DRAWING TITLE	SITE PLAN	

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REVISION	DESCRIPTION	DATE
A	As Issued	27.04.16



01 STAGING PLAN - STAGE 01
1:500 @ B1



02 STAGING PLAN - STAGE 02
1:500 @ B1

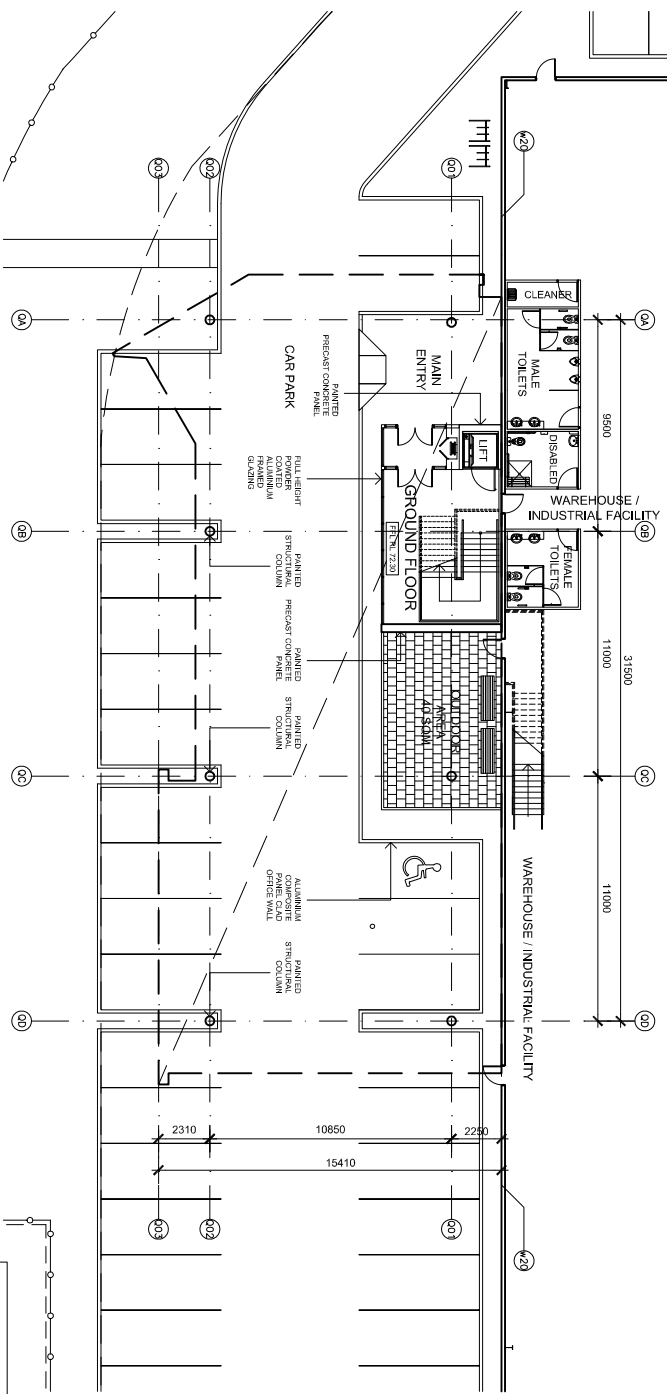
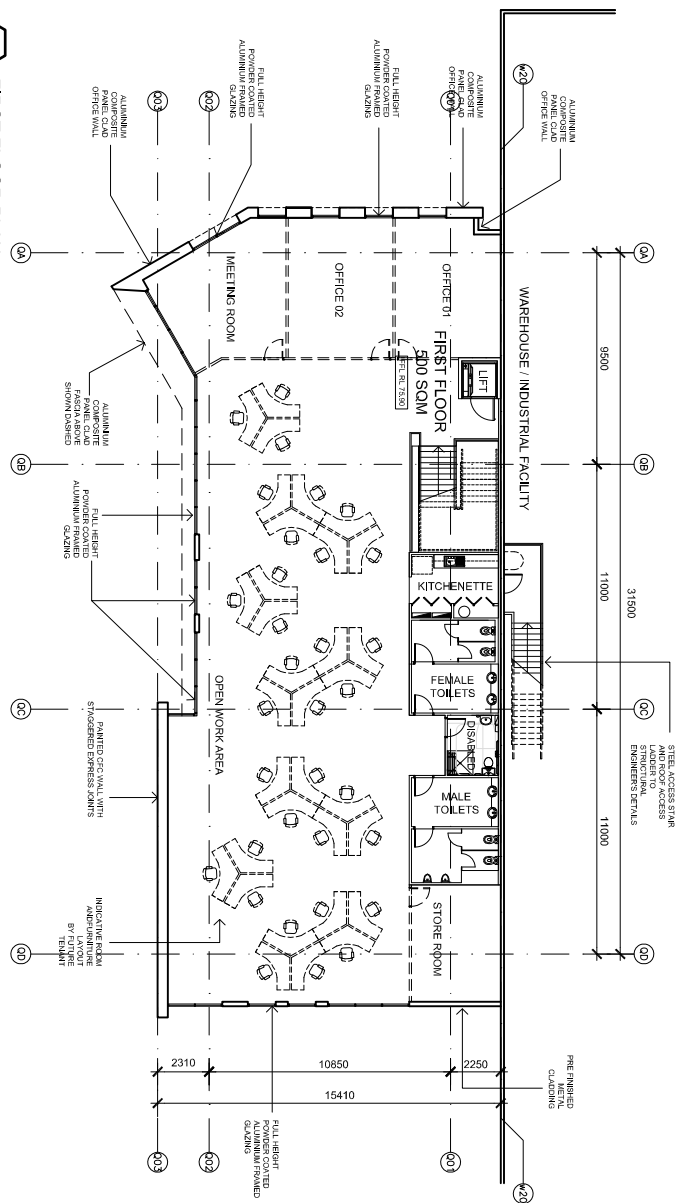


COMMERCIAL & INDUSTRIAL DIVISION
1000 WEST 10TH AVE
SUITE 100
VANCOUVER, BC V6H 3G3
TEL: 604.278.2138
FAX: 604.278.2139

PROJECT
SPECIALTINE WAREHOUSE/INDUSTRIAL FACILITY
ADDRESS
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COMRASTURE ROAD, HORSLEY PARK
DRAWING TITLE
STAGING PLANS

SCALE 1:500 @ B1
DRAWN BY
CHECKED BY
DATE 24.03.16
JOB NUMBER 0000-00-000
DRAWING NUMBER
ISSUE

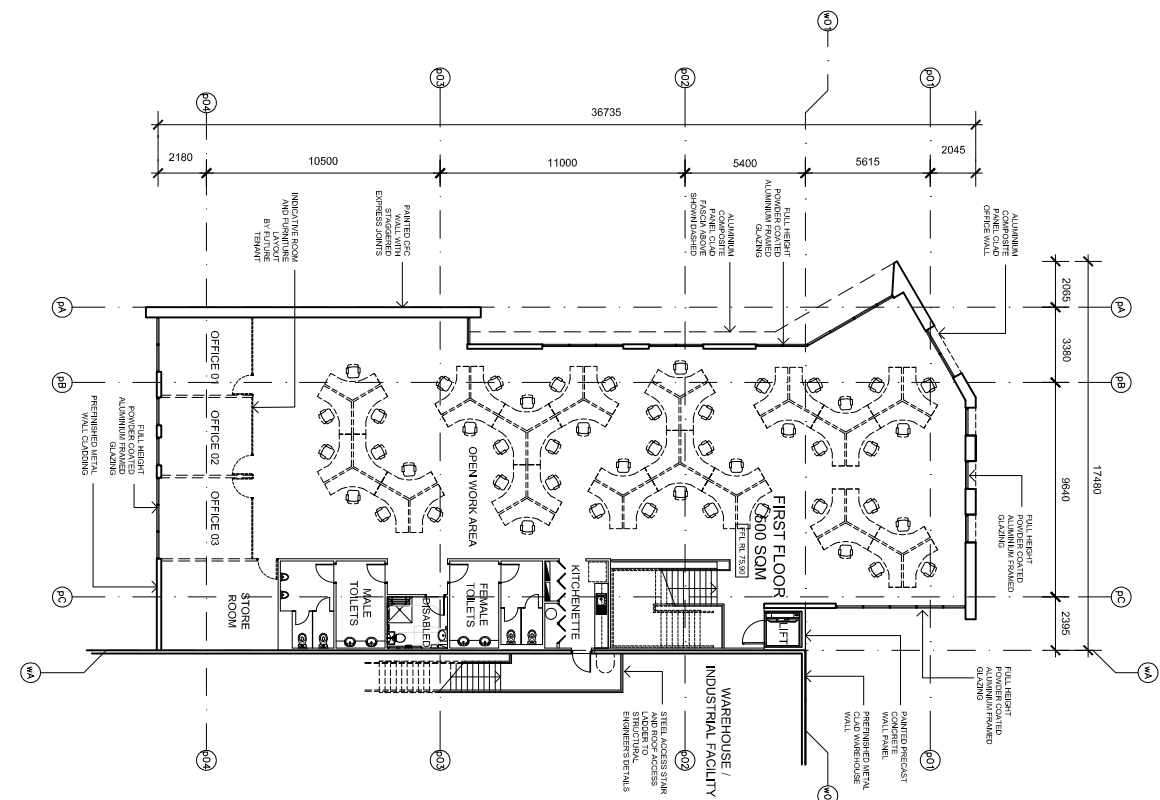
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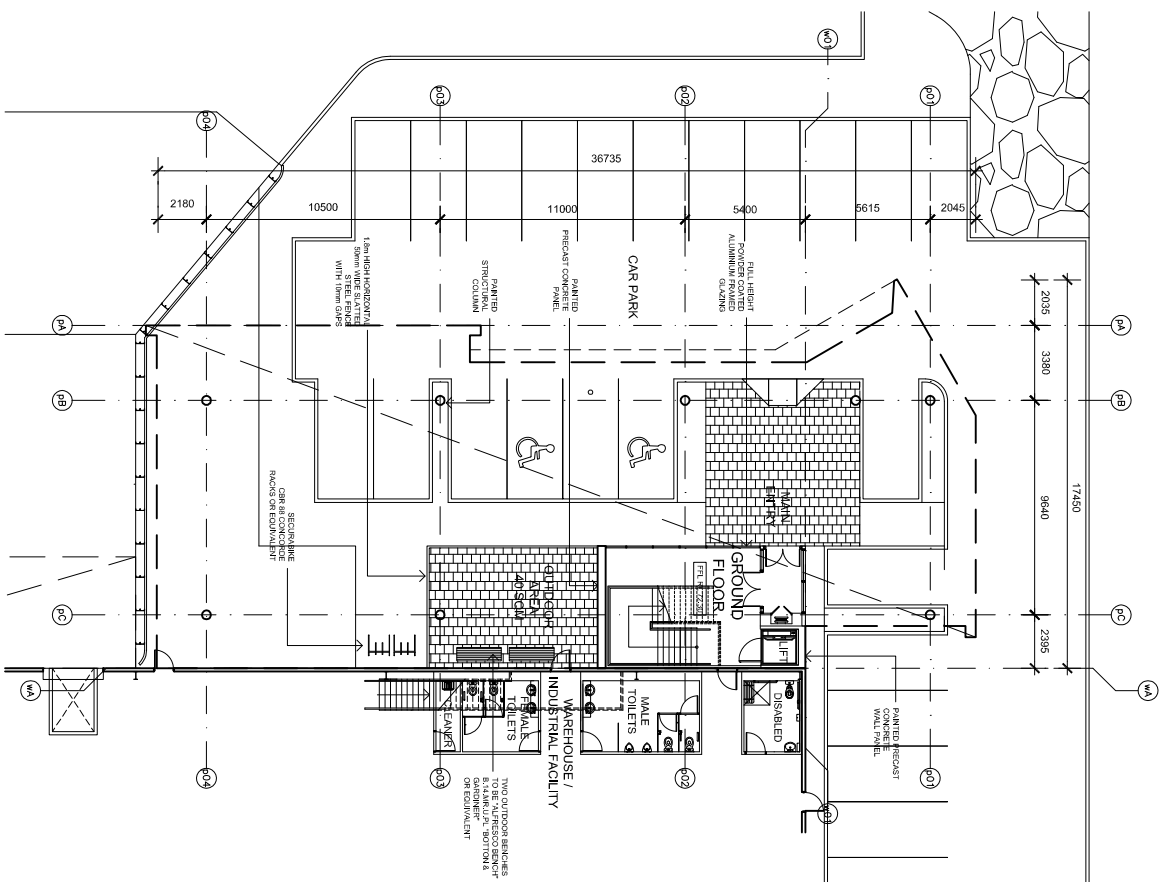
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 ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION
 1/100 @ B1
 DATE 24/03/16
 DRAWN BY 000-00-000
 PROJECT SPECULATIVE WAREHOUSE/INDUSTRIAL FACILITY
 PROPOSED LOT 2, CORNER OF HORSELEY DRIVE & COMRASTURE ROAD, HORSELEY PARK
 OFFICE 01 PLAN

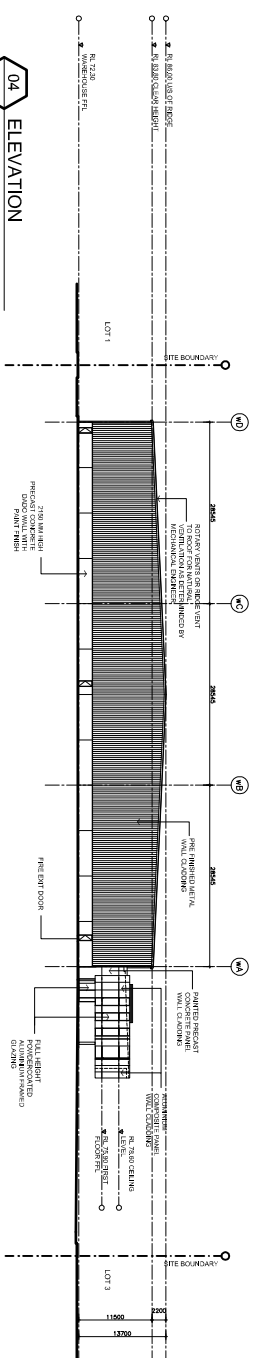


02
-
FIRST FLOOR PLAN
1:100 @ B1

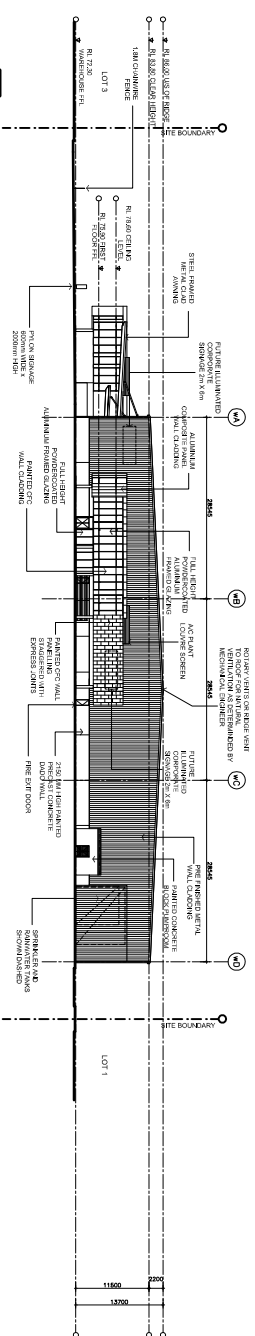


01
-
GROUND FLOOR PLAN
1:100 @ B1

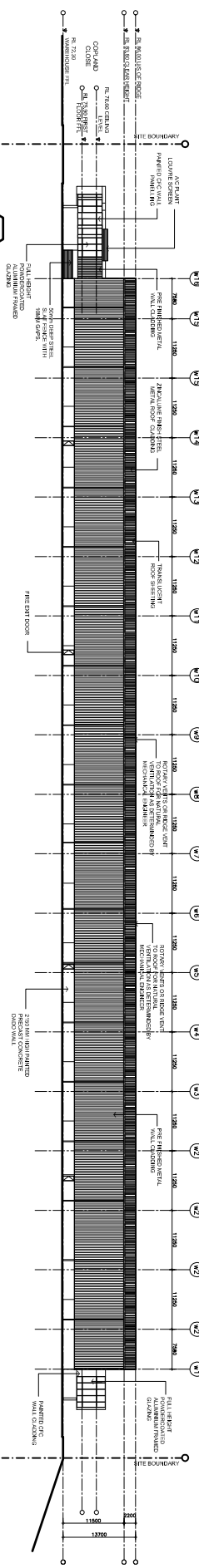
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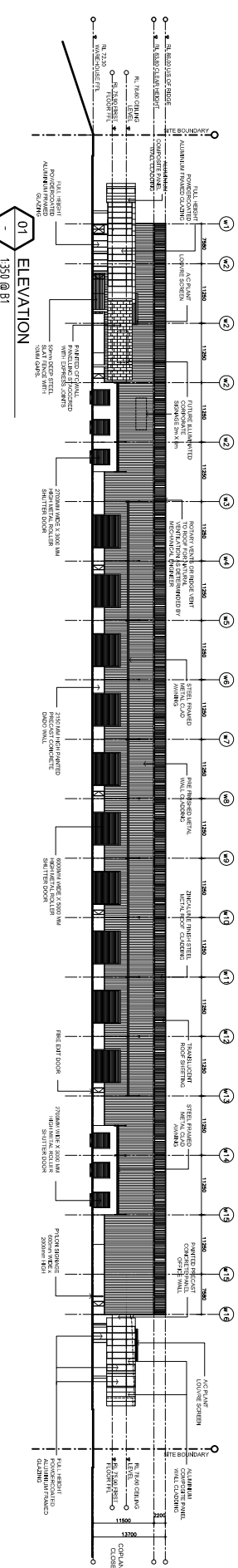
04
-
ELEVATION
1:350 @ B1



03
-
ELEVATION
1:350 @ B1

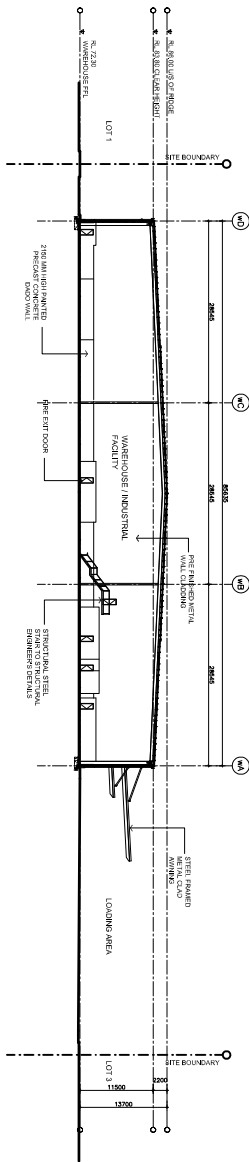


02
-
ELEVATION
1:350 @ B1

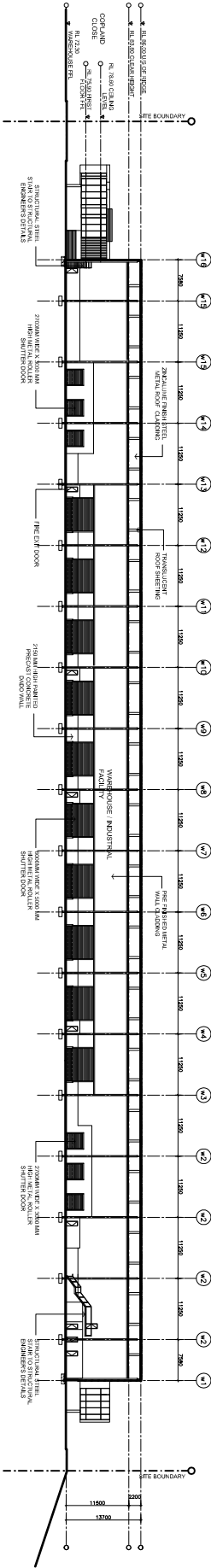


01
-
ELEVATION
1:350 @ B1

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02 SECTION
1:350 @ B1



01 SECTION
1:350 @ B1



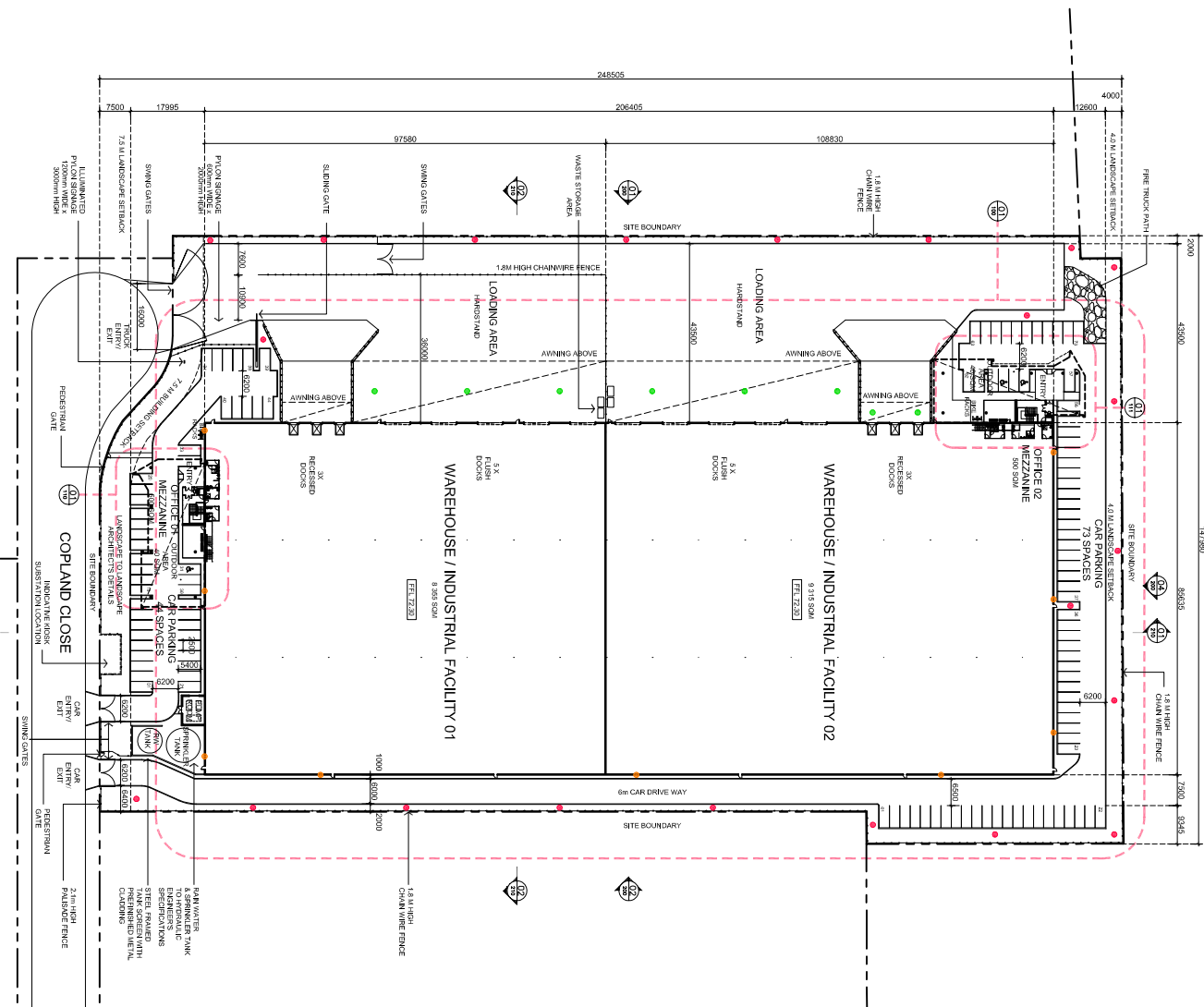
COMMERCIAL & INDUSTRIAL DIVISION
15.04.16
PROJECT: PROPOSED LOT 2, CORNER OF HORSELEY DRIVE & COMPTON DRIVE, HORSELEY PARK
DRAWING TITLE: SECTIONS

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SCALE	1:350 @ B1
DRAWN	MR
CHECKED	MR
DATE	24.03.16
BY NUMBER	000-00-000
DRAWING NUMBER	SP2-MSPT-DA-210
ISSUE	A

LEGEND	
●	CAR PARK LIGHT APPROX 5M HIGH
●	WALL MOUNTED LIGHTING
●	LIGHT TO UNDERSIDE OF AWNING

FINAL LIGHT POSITIONS SUBJECT TO BCA REQUIREMENTS



01 LIGHTING PLAN
1:500 @ B1



PROJECT
SPECIALIST WAREHOUSE/INDUSTRIAL FACILITY
PROPOSED LOT 2, CORNER OF HORSLEY DRIVE
& COMPTON ROAD, HORSLEY PARK
DRAWING NUMBER
SP2-WSPT-DA-400
DATE
24/03/16
BY
000-00-000
SCALE
1:500 @ B1
SHEET
1 OF 1
ISSUE
A